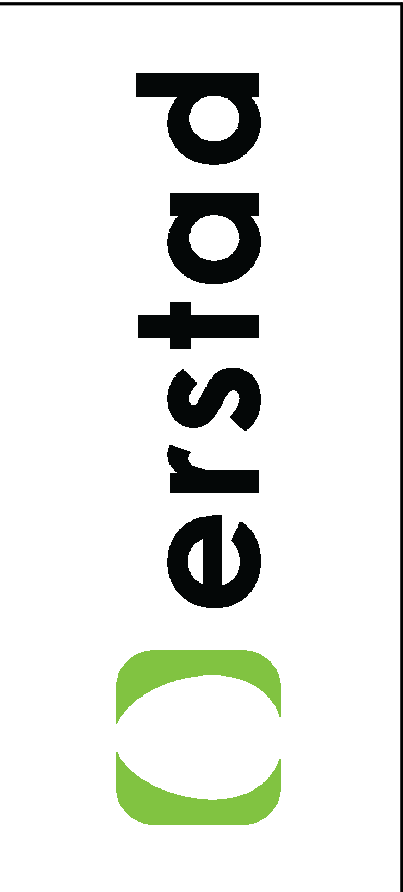


HIGHLIGHTED AA 2024 AREAS



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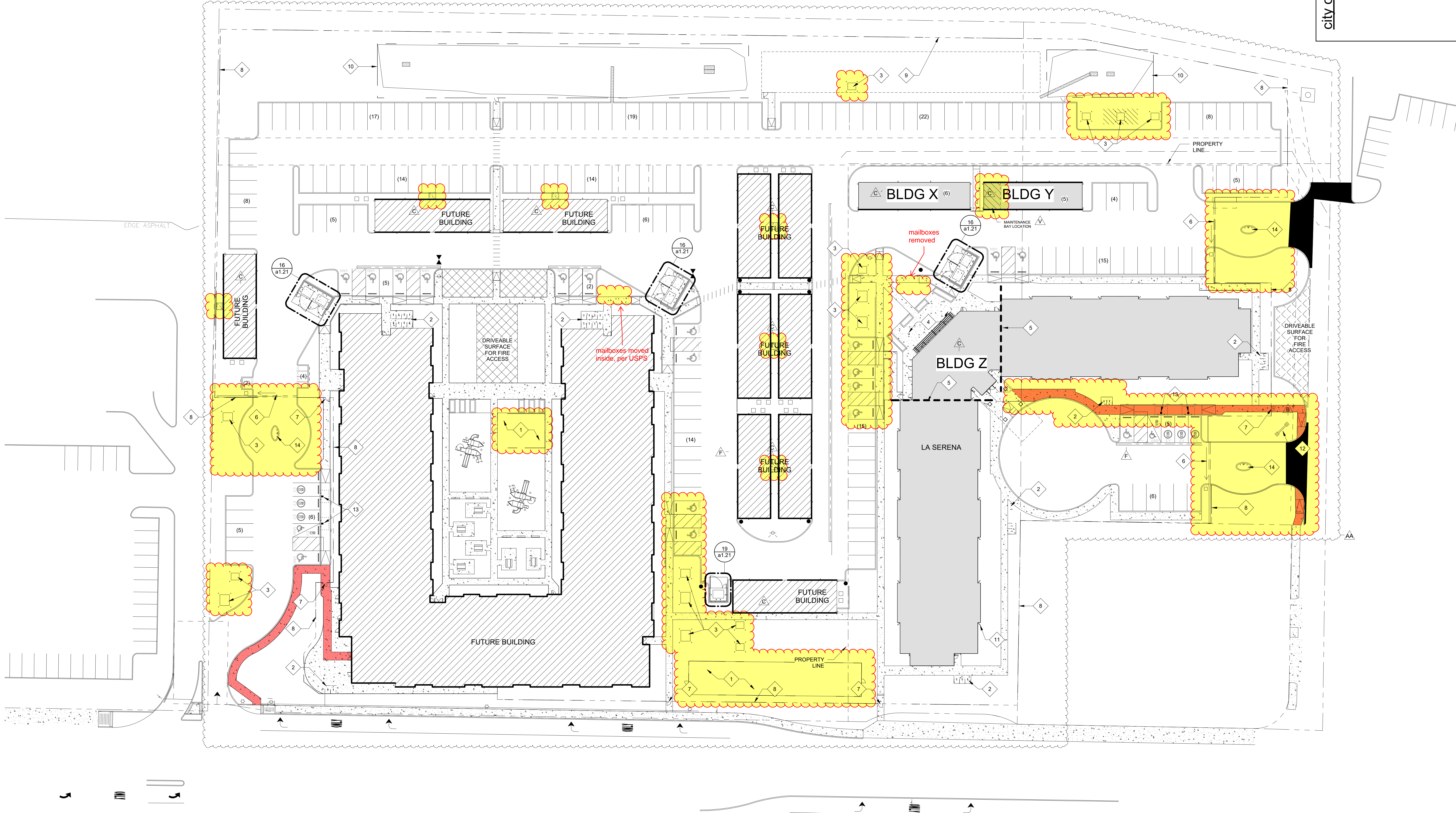
la serena senior apartments
457 coors blvd. nw
albuquerque, new mexico 87121

revision:		
no.	desc.	date
B	MFA	07.15.21
C	CITY COMM	07.15.21
F	VE/ES/C/C	12.13.21
P	PLAN MOD	03.04.24
V	RFI-028	03.28.24
Z	CITY COMM	04.29.24
AA	ASI-008	07.23.24

project: 200405
date: 09.06.2023

revised permit set

architectural site plan
a1.11



architectural site plan
1" = 30'-0"
TRUE & PLAN NORTH

la serena unit counts:		
LA SERENA (BLDG Z):		
	1 bed / 1 bath	2 bed / 2 bath
1st floor	14	10
2nd floor	14	10
3rd floor	16	10
4th floor	16	10
Totals	60	40
= 100 total units		

parking space sizes (city standards):

STANDARD SPACES	=	9'-6" x 18'-0"
COMPACT SPACES	=	8'-0" x 15'-0"
ADA SPACES	=	9'-0" x 18'-0" (w/ 5'-0" wide access aisle)
ADA VAN SPACES	=	11'-0" x 18'-0" (w/ 5'-0" wide access aisle)

parking tabulation:

PARKING REQUIRED PER NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT):	
100 UNITS (1.5 SPACES/UNIT) = 150 SPACES	
30% REDUCTION FOR TRANSIT PROXIMITY: 150 (0.30) = 45	
150 - 45 = 105 SPACES REQUIRED	
PARKING PROVIDED:	
TOTAL SPACES REQUIRED:	105
TOTAL SPACES PROVIDED:	212* (201* ON SITE + 11 IN GARAGES)
SITE ACCESSIBLE PARKING BREAKDOWN:	
ADA SPACES REQUIRED:	12
ADA SPACES PROVIDED:	22* (20* ON SITE + 2 IN GARAGES)
VAN ACCESSIBLE REQUIRED:	2
VAN ACCESSIBLE PROVIDED:	22* (20* ON SITE + 2 IN GARAGES)
MOTORCYCLE REQUIRED:	6*
MOTORCYCLE PROVIDED:	6

* SHARED PARKING AND ACCESS AGREEMENT BETWEEN SAN ROQUE AND LA SERENA LOTS TO BE GRANTED DURING REPLAY OF PROPERTIES

bicycle parking counts:

SITE COUNTS:	
TOTAL REQUIRED	= 23
TOTAL PROVIDED*	= 20 + 36 = 56*
BIKE PARKING BREAKDOWN:	
LA SERENA:	
SITE	= 0
PRIVATE (IN BLDG)	= 20
TOTAL	= 20
SAN ROQUE (FUTURE BUILDING):	
SITE	= 36
PRIVATE (IN BLDG)	= 49
TOTAL	= 85

keynotes:

1. FENCED DOG RUN AREA. SEE LANDSCAPE DRAWINGS. ACCESS GATE LOCATIONS, TRASH CONTAINER AND WASTE BAG STATIONS) PER OWNER.
2. BIKE PARKING AREA. SEE CIVIL AND LANDSCAPE DRAWINGS.
3. TRANSFORMER/UTILITY LOCATION. SEE CIVIL AND ELECTRICAL DRAWINGS.
4. OUTDOOR PATIO AREA. SEE LANDSCAPE DRAWINGS.
5. PROJECT MATCHLINE.
6. (1) 6'-0" HIGH x 25'-0" WIDE PAINTED STEEL SLIDING VEHICULAR GATE WITH AUTO OPERATOR AND REMOTE FOR CONTROL. PROVIDE KEYPAD AND KNOX BOX ON POST FOR GUEST AND EMERGENCY ACCESS. ALL ELECTRIC GATES SHALL BE PROVIDED WITH A KNOX KEY SWITCH FOR EMERGENCY ACCESS. COORDINATE WITH ELECTRICAL DRAWINGS.
7. 3'-0" WIDE MAN GATE AT SIDEWALK WITH FOB ACCESS. COORDINATE WITH ELECTRICAL DRAWINGS.
8. 6'-0" HIGH WROUGHT IRON PERIMETER FENCE ALONG NORTH, SOUTH AND EAST PERIMETER OF SITE. FENCETO TIE INTO EXISTING FENCE AT NORTHWEST AND SOUTHWEST PORTIONS OF SITE. CONFIRM FINAL MATERIAL SELECTION WITH OWNER.
9. EXISTING 6'-0" HIGH METAL FENCE TO REMAIN AT WEST SIDE OF SITE.
10. 4'-0" HIGH WROUGHT IRON PERIMETER FENCE AROUND DRAINAGE POND.
11. DOWNSPOUT, TYP.
12. FUTURE MONUMENT SIGN.
13. ELECTRIC VEHICLE CHARGING BOLLARD.
14. CONCRETE CURB WITH CARD READER AND/OR CALLBOX PEDESTAL AND BOLLARDS. SEE CIVIL AND ELECTRICAL DRAWINGS.

general notes:

- A. THIS SITE PLAN IS PROVIDED FOR GENERAL COORDINATION PURPOSES. REFER TO AND COORDINATE WITH RESPECTIVE CIVIL, LANDSCAPE, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SPECIFIC INFORMATION.
- B. COORDINATE WITH CIVIL DRAWINGS FOR ALL UTILITY LOCATIONS, FINAL GRADING & DRAINAGE.
- C. CONTRACTOR TO VERIFY ALL LOCATIONS AND DIMENSIONS IN THE FIELD.
- D. RE: GEOTECH ENGINEERING REPORT FOR SOIL BEARING PRESSURES, EXISTING SOIL CONDITIONS, AND CONSTRUCTION CONSIDERATIONS.
- E. RE: LANDSCAPE DRAWINGS FOR PLANTINGS.
- F. RE: ELECTRICAL AND BUILDING ELEVATIONS FOR BUILDING MOUNTED EXTERIOR LIGHTING.



KEYED NOTES

- 1 ACCESSIBLE PARKING PER ADA STANDARDS W/ SIGN & PARALLEL CURB RAMPS (SEE DETAILS SHT. C7.0)
- 2 ON-SITE STANDARD CURB & GUTTER (SEE DETAIL SHT. C7.1)
- 3 CONCRETE SIDEWALK (SEE DETAIL SHT. C7.1)
- 4 DUMPSTER (SEE ARCHITECTURAL PLANS)
- 5 BICYCLE RACKS & BICYCLE SPACES (SEE DETAIL SHT. C7.0)
- 6 TRANSFORMER
- 7 EXISTING SIDEWALK
- 8 DRIVABLE SURFACE FOR FIRE ACCESS (SEE ARCHITECTURAL PLANS)
- 9 GARAGE BUILDING—SAN ROQUE—6 BAY STANDARD (SEE ARCHITECTURAL PLANS)
- 10 GARAGE BUILDING—SAN ROQUE—6 BAY ADA (SEE ARCHITECTURAL PLANS)
- 11 GARAGE BUILDING—LA SERENA—6 BAY STANDARD (SEE ARCHITECTURAL PLANS)
- 12 GARAGE BUILDING—LA SERENA—6 BAY ADA (SEE ARCHITECTURAL PLANS)
- 13 MOUNTABLE CURB FOR FIRE ACCESS
- 14 ELECTRIC VEHICLE PARKING SPACES
- 15 PARALLEL CURB RAMP (SEE DETAIL SHT. C7.0)
- 16 FLAIED CURB RAMP (SEE DETAIL SHT. C7.0)
- 17 REMOVE & REPLACE EX. SIDEWALK W/ 6" WIDE SIDEWALK

TRASH COMPACTOR NOTES:

1. SAN ROQUE MAIN BUILDING TO HAVE TWO (2) INTERNAL TRASH CHUTE COMPACTOR ROOMS.
2. LA SERENA MAIN BUILDING TO HAVE ONE (1) INTERNAL TRASH CHUTE COMPACTOR ROOM.
3. EACH EXTERNAL DOUBLE ENCLOSURE SHOWN ON PLAN ARE TO HOUSE ONE (1) TYPICAL EXTERNAL DUMPSTER AND FOR STORAGE OF (1) 2-YARD ROLL-OUT DUMPSTER THAT SERVICES INTERNAL TRASH CHUTE COMPACTORS WITHIN THE SAN ROQUE AND LA SERENA MAIN BUILDINGS.
4. MAINTENANCE STAFF WILL BE REQUIRED TO PLACE 2-YARD DUMPSTERS FROM COMPACTORS IN THE EXTERNAL DOUBLE TRASH ENCLOSURES ON SERVICE DAY.

RECYCLABLES NOTES:

1. RECYCLABLES FOR SAN ROQUE AND LA SERENA MAIN BUILDINGS TO BE COLLECTED IN 90-GALLON BINS, STORED IN THE TRASH CHUTE ROOMS AND TO BE ROLLED OUT TO EXTERNAL ENCLOSURES BY MAINTENANCE STAFF ON SERVICE DAY.
2. 90-GALLON BINS TO BE PLACED IN EACH EXTERNAL ENCLOSURE FOR COLLECTION OF RECYCLABLES FROM THE GARAGE LOFT UNITS.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GENERAL NOTES

1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
7. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
8. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
9. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF.
10. MOTORCYCLE PARKING SPACES SHALL BE DESIGNATED BY ITS OWN CONSPICUOUSLY POSTED UPRIGHT SIGN, EITHER FREE-STANDING OR WALL MOUNTED PER THE ZONING CODE.
11. ALL ASPHALT IS LIGHT DUTY UNLESS OTHERWISE NOTED.

PROJECT NUMBER: PR-2021-005414

APPLICATION NUMBER: SI-2021-01031

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

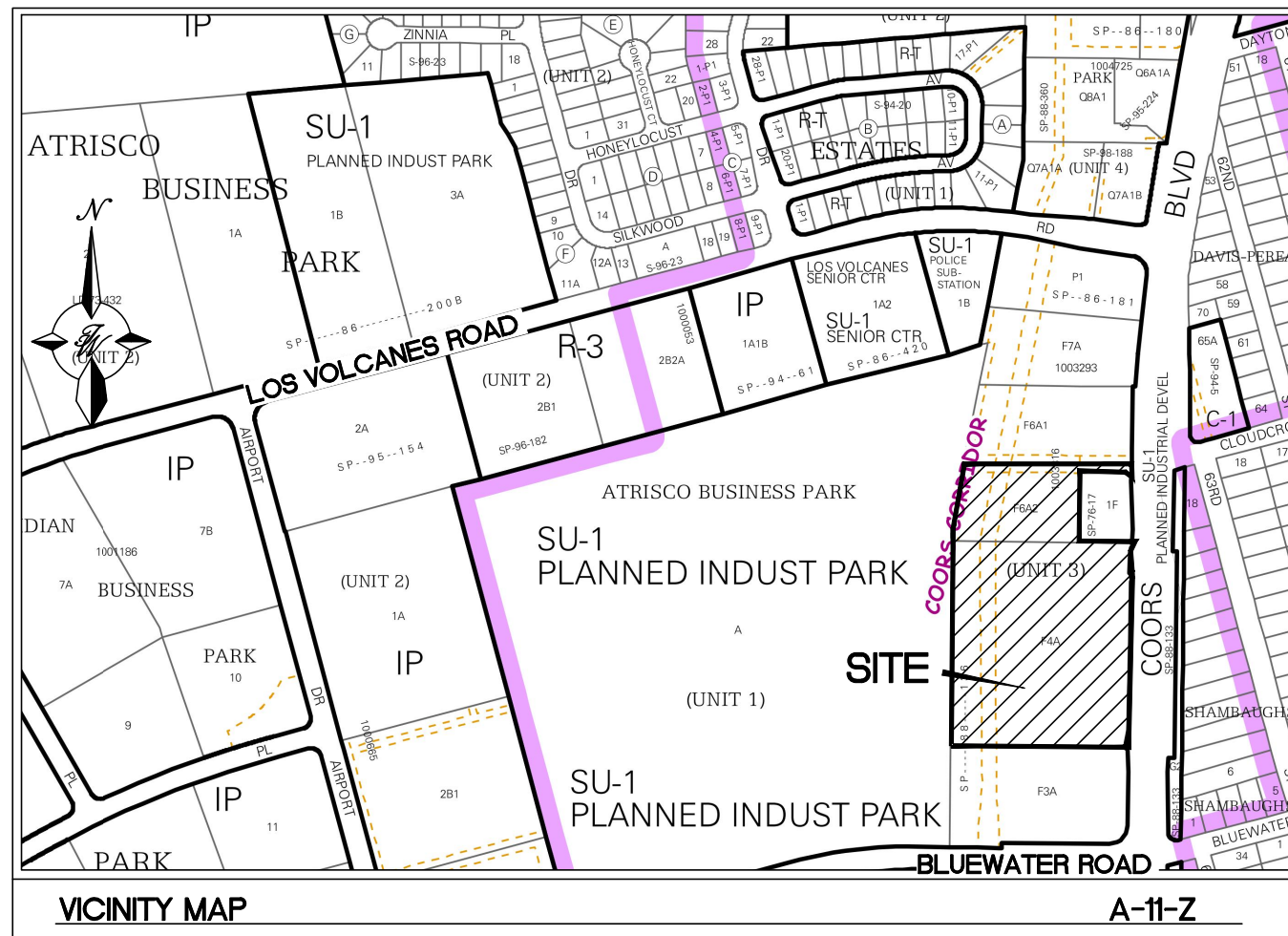
Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

SENIOR HOUSING NOTE:

ALL UNITS ASSOCIATED WITH THE LA SERENA DEVELOPMENT ARE INTENDED TO BE SENIOR HOUSING AND WILL BE REQUIRED AS SUCH.



LEGAL DESCRIPTION:

PROPERTY ADDRESS: (vacant land) on Coors Boulevard N.W., Albuquerque, New Mexico
U.P.C. No. 1-010-058-469-059-406-06
U.P.C. No. 1-010-058-472-018-406-05

LEGAL DESCRIPTION:

Tract F-4-A, of the Plot of Tracts F-3-A, F-4-A & F-6-A, ATRISCO BUSINESS PARK, UNIT 3, Albuquerque, New Mexico, as the same is shown and designated on the plot thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 29, 1988 in Plot Book C36, Folio 97. And Tract F-6-A-2 of ATRISCO BUSINESS PARK, UNIT 3, as the same is shown and designated on the plot thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2004 in Plot Bk. 2004C, Page 388.

GROSS AREA OF SURVEY: 8.9567 Ac., more or less.

SITE DATA - SAN ROQUE

PROPOSED USAGE: MULTI-FAMILY AFFORDABLE HOUSING
IDO CLASSIFICATION: RESIDENTIAL MULTI-FAMILY
PROPOSED LOT AREA: 6.22 ACRES (270,843 SF)

MAIN BUILDING AREA: 161,282 SF
GARAGE BLDG AREA (EA): 6-BAY STANDARD = 1,450 SF
TOTAL BUILDING AREA: 6-BAY ADA = 1,642 SF
175,974 SF

GARAGE LOT UNITS: 18 UNITS
MAIN BUILDING UNITS: 117 UNITS
TOTAL UNITS: 135 UNITS

PARKING REQUIRED: 176 SPACES (1.5 SPACES/DU)
W/ 30% REDUCTION (TRANSIT PROXIMITY + MT CORRIDOR IN AREA OF CHANGE): 124 SPACES

SITE DATA - LA SERENA

PROPOSED USAGE: SENIOR LIVING AFFORDABLE HOUSING
IDO CLASSIFICATION: RESIDENTIAL MULTI-FAMILY
PROPOSED LOT AREA: 2.73 ACRES (119,313 SF)

MAIN BUILDING AREA: 78,024 SF
GARAGE BLDG AREA (EA): 6-BAY STANDARD = 1,450 SF
TOTAL BUILDING AREA: 6-BAY ADA = 1,642 SF
81,116 SF

MAIN BUILDING UNITS: 74 UNITS
TOTAL UNITS: 74 UNITS

PARKING REQUIRED: 111 SPACES (1.5 SPACES/DU)
W/ 30% REDUCTION (TRANSIT PROXIMITY + MT CORRIDOR IN AREA OF CHANGE): 78 SPACES

SITE PARKING DATA - OVERALL

TOTAL PARKING REQUIRED: 143 + 108 = 251 SPACES
TOTAL PARKING PROVIDED*: 274 SPACES

ADA PARKING SPACES REQUIRED: 12 SPACES
ADA PARKING SPACES PROVIDED: 20 SPACES
VAN ACCESSIBLE REQUIRED: 2 SPACES
VAN ACCESSIBLE PROVIDED: 20 SPACES

ELECTRIC VEHICLE SPACES REQUIRED: 6 SPACES
ELECTRIC VEHICLE SPACES PROVIDED: 8 SPACES

BICYCLE PARKING REQUIRED: 21 SPACES
BICYCLE PARKING PROVIDED: 24 SPACES

MOTORCYCLE PARKING PROVIDED: 6 SPACES

*SHARED PARKING AND ACCESS AGREEMENT BETWEEN SAN ROQUE AND LA SERENA LOTS TO BE GRANTED DURING REPEAT OF PERMIT

LEGEND

—	PROPOSED CURB & GUTTER
- - -	BOUNDARY LINE
▬	BUILDING
▬	SIDEWALK
—○—	PERIMETER FENCE
—○—	EXISTING CURB & GUTTER
- - -	PROPOSED BOUNDARY LINE
▬	CONCRETE VALLEY GUTTER
(#)	PARKING COUNT
■	EV CHARGING STATION
■	DRAINAGE INLET
▨	CLEAR SIGHT TRIANGLE
▬	ADA ROUTE FROM ROW

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

estad ARCHITECTS, PA
310 N. 3rd Street, Suite 200
Albuquerque, NM 87102
Phone: (505) 858-3100
www.estadarchitects.com

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
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san roque & la serena
441 & 457 coors blvd. nw
albuquerque, new mexico 87121

revision:
no. desc. date
AA#1 12.13.21
AA#2 08.19.24

project: 2020010
date: 07.16.2024
drawn: jm
checked: rb

revised
permit set

Site Plan For
Building
Permit

c1.0



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A RFI #1 06.29.21
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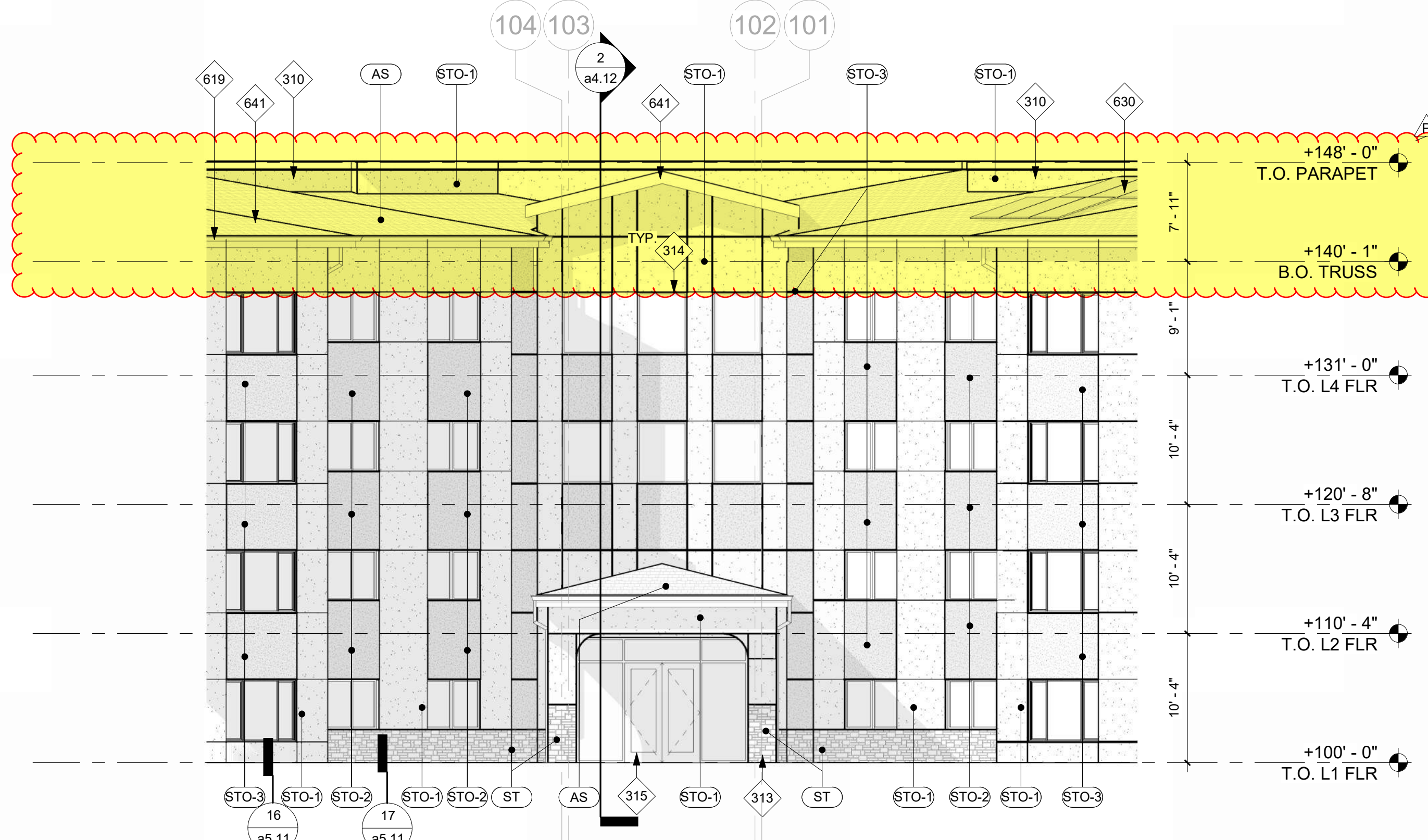
project: 200405
date: 09.06.2023

revised
permit set

exterior
elevations

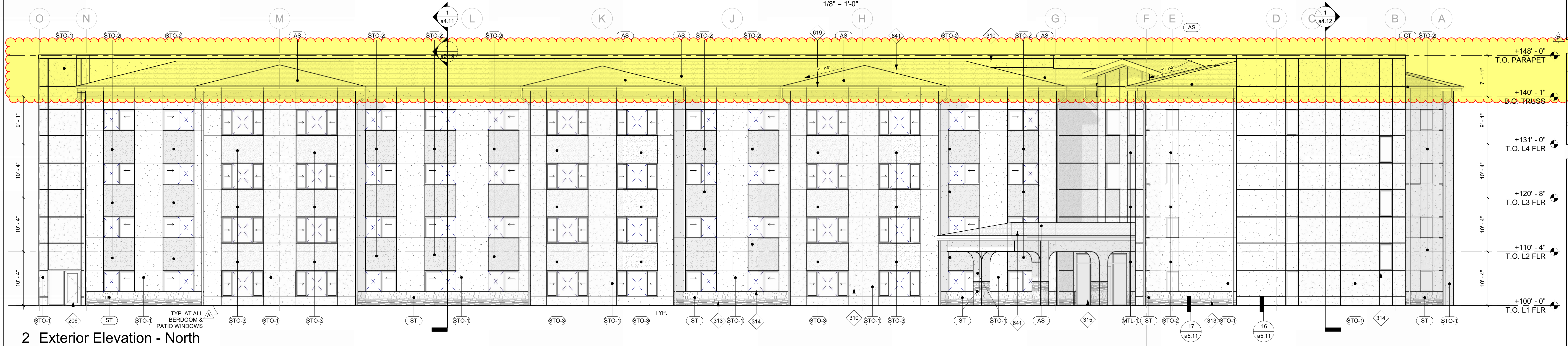
a3.11

- 1.) Roof and parapet heights raised. Parapets now at 148'-0"
- 2.) Center "knuckle" of building roof removed in lieu of a parapet design
- 3.) Revised roof design at front entry parapet center "knuckle"
- 4.) Second trellis element added at rear patio parapet of center "knuckle"



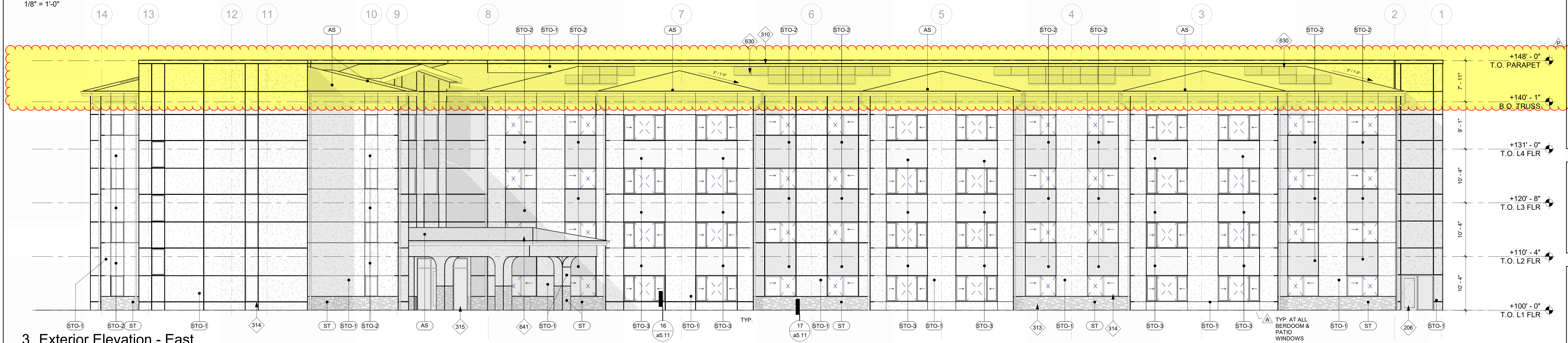
1 Exterior Elevation - Front Entry

1/8" = 1'-0"



2 Exterior Elevation - North

1/8" = 1'-0"



3 Exterior Elevation - East

1/8" = 1'-0"

exterior material schedule:

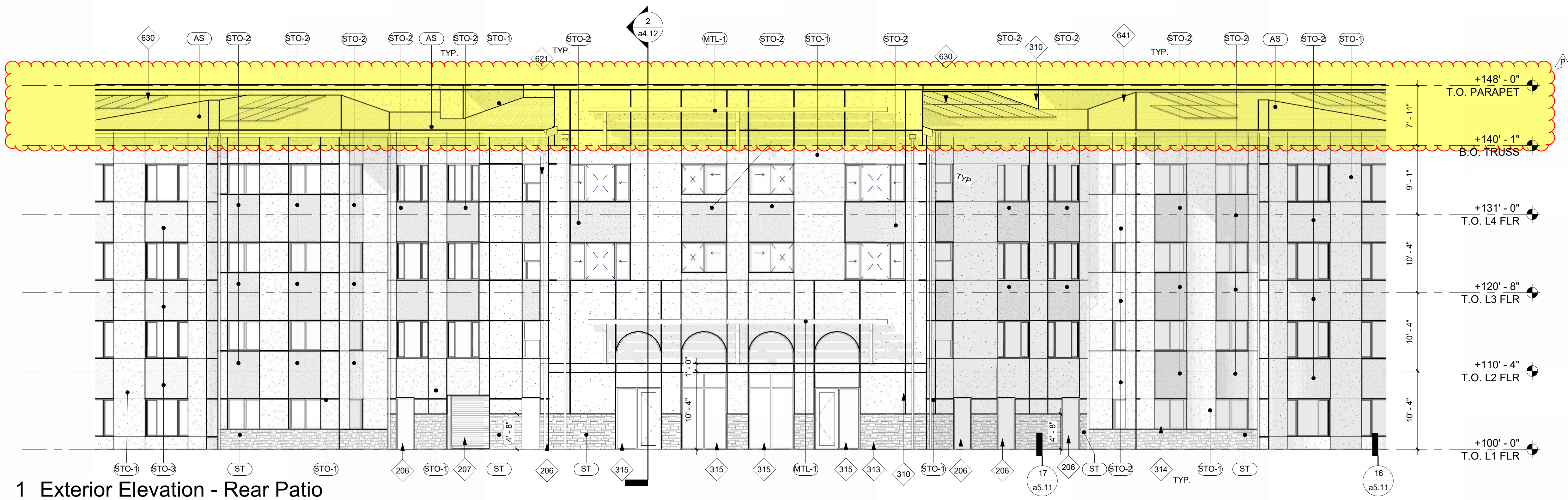
FINISH	KEY	DESCRIPTION	FINISH	KEY	DESCRIPTION
STO-1		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 1 / WHITE (SW 7551)	ST		PRODUCT: MANUFACTURED STONE VENEER COLOR: TEXAS WHITE STRIPSTONE
STO-2		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 2 / BEIGE (SW 7688)	MTL-1		PRODUCT: ALUMIWRAF KNOTWOOD FRAMED BEAM COLOR: WOOD GRAIN
STO-3		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 3 / BLUE (SW 6225)	AS		PRODUCT: ASPHALT SHINGLE ROOF COLOR: TBD

206	HM DOOR + FRAME, PAINTED
310	STUCCO
313	MANUFACTURED STONE VENEER
314	VINYL WINDOW, DARK BRONZE FINISH
315	ANODIZED ALUMINUM STOREFRONT SYSTEM
619	GUTTER
630	SOLAR PANEL ARRAY
641	ASPHALT SHINGLE ROOF

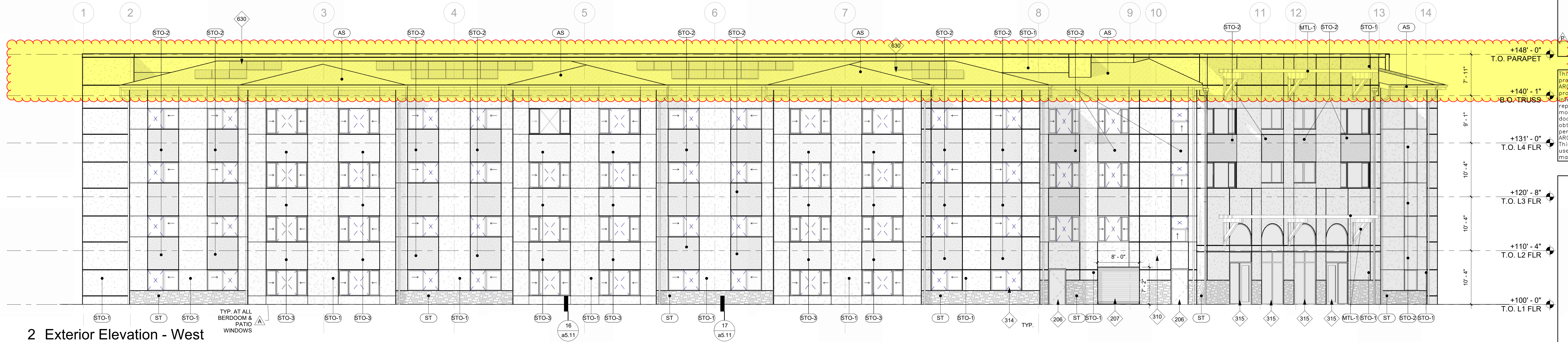
general notes:

- DO NOT SCALE HATCH PATTERNS. FOR MATERIAL REPRESENTATION ONLY.
- PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF.
- EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALLS AND PANELS, AT PENETRATIONS OF UTILITY SERVICE THROUGH WALLS, FLOORS, AND ROOFS, AND ALL OTHER SUCH OPENINGS INTO BUILDING SHALL BE SEALED, CAULKED, GASKETED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN CLOSED POSITION.

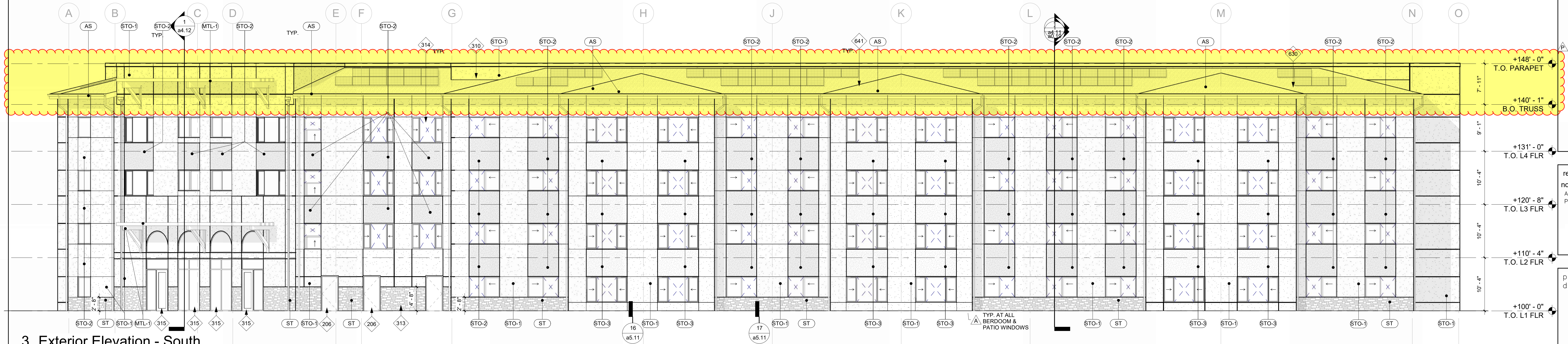
- 1.) Roof and parapet heights raised. Parapets now at 148'-0"
- 2.) Center "knuckle" of building roof removed in lieu of a parapet design
- 3.) Revised roof design at front entry parapet center "knuckle"
- 4.) Second trellis element added at rear patio parapet of center "knuckle"



1 Exterior Elevation - Rear Patio
1/8" = 1'-0"



2 Exterior Elevation - West
1/8" = 1'-0"



3 Exterior Elevation - South
1/8" = 1'-0"

exterior material schedule:

FINISH	KEY	DESCRIPTION	FINISH	KEY	DESCRIPTION
STO-1		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 1 / WHITE (SW 7551)	ST		PRODUCT: MANUFACTURED STONE VENEER COLOR: TEXAS WHITE STRIPSTONE
STO-2		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 2 / BEIGE (SW 7688)	MTL-1		PRODUCT: ALUMINUM WRAP KNOTWOOD FRAMED BEAM COLOR: WOOD GRAIN
STO-3		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 3 / BLUE (SW 6225)	AS		PRODUCT: ASPHALT SHINGLE ROOF COLOR: TBD

206	HM DOOR + FRAME, PAINTED
207	OVERHEAD COILING DOOR, PREFINISHED
310	STUCCO
313	MANUFACTURED STONE VENEER
314	VINYL WINDOW, DARK BRONZE FINISH
315	ANODIZED ALUMINUM STOREFRONT SYSTEM
621	DOWNSPOUT, TYP
630	SOLAR PANEL ARRAY
641	ASHPALT SHINGLE ROOF

general notes:

- A. DO NOT SCALE HATCH PATTERNS. FOR MATERIAL REPRESENTATION ONLY.
- B. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF.
- C. EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALLS AND PANELS, AT PENETRATIONS OF UTILITY SERVICE THROUGH WALLS, FLOORS, AND ROOFS, AND ALL OTHER SUCH OPENINGS INTO BUILDING SHALL BE SEALED, CAULKED, GASKETED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN CLOSED POSITION.



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la serena senior apartments
457 coors blvd. nw
albuquerque, new mexico 87121

no.	desc.	date
A	RFI #1	06.29.21
P	PLAN MOD	03.04.24

project: 200405
date: 09.06.2023

revised
permit set

exterior
elevations

a3.12

UNIT TYPE	DESCRIPTION	SHEET	COUNT				TOTAL TYPE COUNT	UNIT SQ. FT.
			LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4		
1/1 A	1 BED, 1 BATH - TYPE A	a2.21	0	1	1	1	3	740 SF
2/2 A	2 BED, 2 BATH - TYPE A	a2.21	0	1	1	1	3	1,100 SF
3/2 A	3 BED, 2 BATH - TYPE A	a2.21	1	1	1	1	4	1,178 SF
1/1 B	1 BED, 1 BATH - TYPE B	a2.22	1	0	0	0	1	742 SF
2/2 B	2 BED, 2 BATH - TYPE B	a2.22	19	23	23	22	87	1,071 SF
3/2 B	3 BED, 2 BATH - TYPE B	a2.22	4	5	5	5	19	1,154 SF
Garage Loft - a	1 BED, 1 BATH - TYPE B	a2.30a	0	18	0	0	0	715 SF
Garage Loft - b	1 BED, 1 BATH - TYPE B	a2.30b	0	2	0	0	0	808 SF
TOTAL UNIT COUNT			25	51	31	30	137	

legend:

- 11

WALL TAG; SEE WALL TYPES ON SHEET a5.00
- 101A

DOOR TAG; SEE DOOR SCHEDULE ON SHEET a6.11
- A

WINDOW TAG; SEE WINDOW SCHEDULE ON SHEET a6.13

keynotes

- 201

OUTLINE OF TRELLIS ABOVE, REFER TO SHEET a2.41
- 204

STOREFRONT SYSTEM WITH DOOR, REFER TO SHEET a6.13
- 216

KNOX BOX
- 228

SEMI-RECESSED FIRE EXTINGUISHER CABINET, SEE DETAIL
- 265

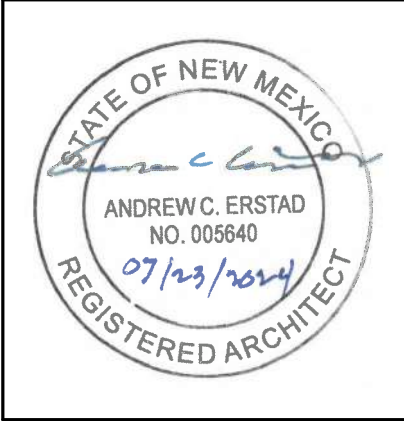
WALL HUNG WATER ABOVE

general notes:

- A. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.
- B. GYPSUM WALLBOARD APPLICATION & FINISHING AT ALL EXPOSED SURFACES TO COMPLY WITH SPECIFICATIONS
- C. UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD / GRID LINE.
- D. UNLESS NOTED OTHERWISE, FACE OF CONCRETE ALIGNS WITH FACE OF SHEATHING.
- E. UNLESS NOTED OTHERWISE, ALL CENTERLINES OF PARTITIONS ARE CENTERLINE OF GRID.
- F. UNLESS DIMENSIONED OTHERWISE, INTERIOR DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITION.
- G. DIMENSIONS ARE TO CENTERLINE OF ROUGH OPENING UNLESS NOTED OTHERWISE.
- H. SEE ENLARGED PLANS FOR WALL, DOOR, AND WINDOW TYPES NOT TAGGED ON THIS SHEET.
- I. ALL RATED ASSEMBLIES TO MAINTAIN CONTINUITY AND PROVIDE THE AIR BARRIER IN DEAD SPACES AND BEHIND PLUMBING WALLS, TUBSHOWERS.
- * UNITS 201, 213 & 217 TO ACCOMMODATE SIGHT & HEARING IMPAIRED ACCESSIBILITY NEEDS INCLUDING:
 - VISIBLE & AUDIBLE NOTIFICATION APPLIANCES COMPLYING WITH NEPA 72.105.2.2) ACTIVATED UPON SMOKE DETECTION AND BUILDING FIRE ALARM.
 - HARDWIRED DOORBELL AT UNIT ENTRY WHICH ACTIVATES AN AUDIBLE TONE AND VISIBLE NOTIFICATION IN LIVING ROOM & BATHROOM.
 - PEEPHOLE WITH MIN. 180 DEGREE RANGE OF VIEW FOR VISUALLY IDENTIFYING VISITOR AT UNIT ENTRY DOOR.

key plan
not to scale

city of albuquerque



erstad

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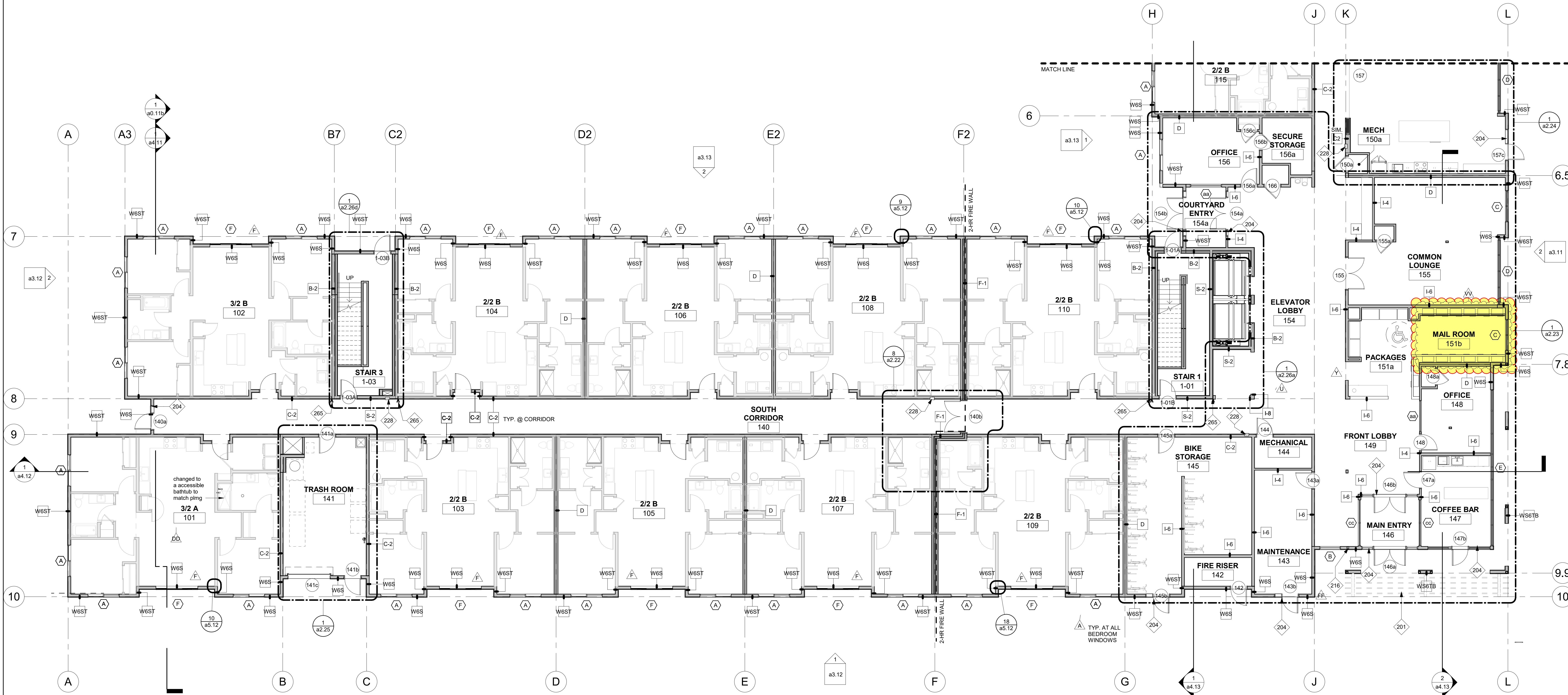
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Y	RFI-037	12.07.23
DD	ASI-007	12.19.23
FF	ASI-006	01.08.24
VV	ASI-011	07.23.24

project: 200207
date: 02.08.2024

permit set

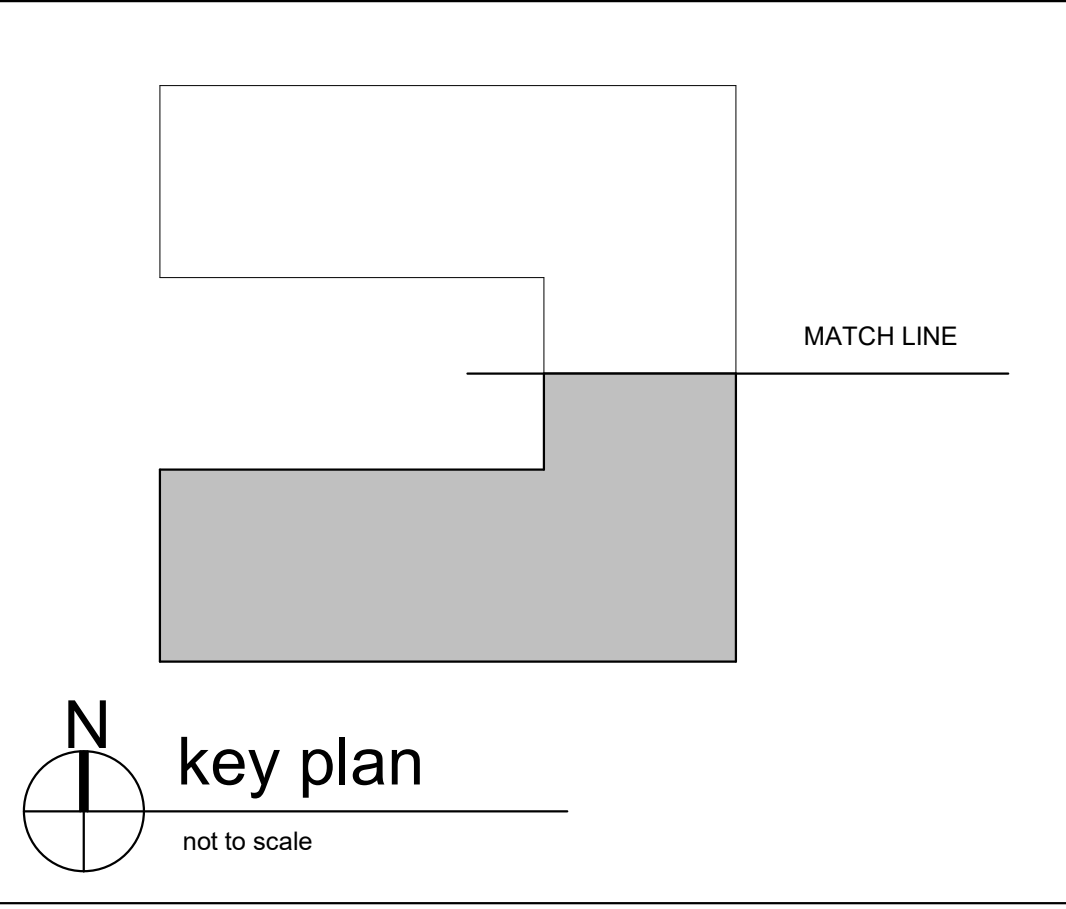
level 1
south floor
plan

a2.11S

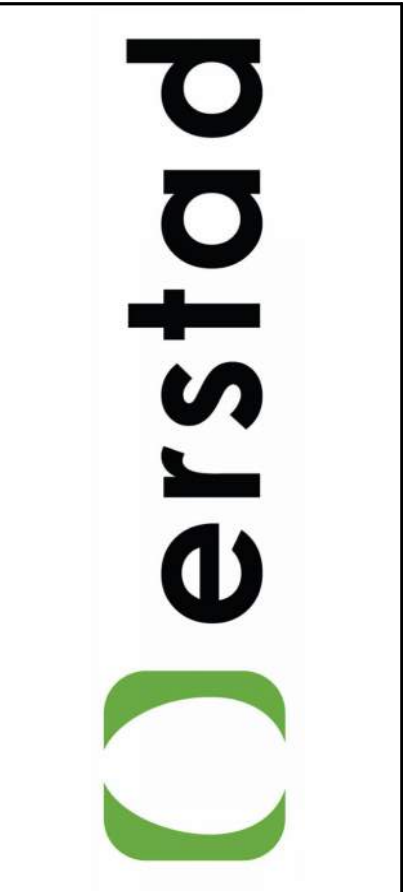


level 1 - south floor plan
1/8" = 1'-0"

- general notes:**
- A. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.
 - B. GYPSUM WALLBOARD APPLICATION & FINISHING AT ALL EXPOSED SURFACES TO COMPLY WITH SPECIFICATIONS.
 - C. UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD / GRID LINE.
 - D. UNLESS NOTED OTHERWISE, FACE OF CONCRETE ALIGNS WITH FACE OF SHEATHINGS.
 - E. UNLESS NOTED OTHERWISE, ALL CENTERLINES OF PARTITIONS ARE CENTERLINE OF GRID.
 - F. UNLESS DIMENSIONED OTHERWISE, INTERIOR DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITION.
 - G. DIMENSIONS ARE TO CENTERLINE OF ROUGH OPENING UNLESS NOTED OTHERWISE.
 - H. SEE ENLARGED PLANS FOR WALL, DOOR, AND WINDOW TYPES NOT TAGGED ON THIS SHEET.
 - I. ALL RATED ASSEMBLIES TO MAINTAIN CONTINUITY AND PROVIDE THE AIR BARRIER IN DEAD SPACES AND BEHIND PLUMBING WALLS, TUBS/SHOWERS.
 - * UNITS 201, 213 & 217 TO ACCOMMODATE SIGHT & HEARING IMPAIRED ACCESSIBILITY NEEDS INCLUDING:
 - VISIBLE & AUDIBLE NOTIFICATION APPLIANCES COMPLYING WITH NFPA 72 (105.2.2) ACTIVATED UPON SMOKE DETECTION AND BUILDING FIRE ALARM.
 - HARDWIRED DOORBELL AT UNIT ENTRY WHICH ACTIVATES AN AUDIBLE TONE AND VISIBLE NOTIFICATION IN LIVING ROOM & BATHROOM.
 - PEEPHOLE WITH MIN. 180 DEGREE RANGE OF VIEW FOR VISUALLY IDENTIFYING VISITOR AT UNIT ENTRY DOOR.



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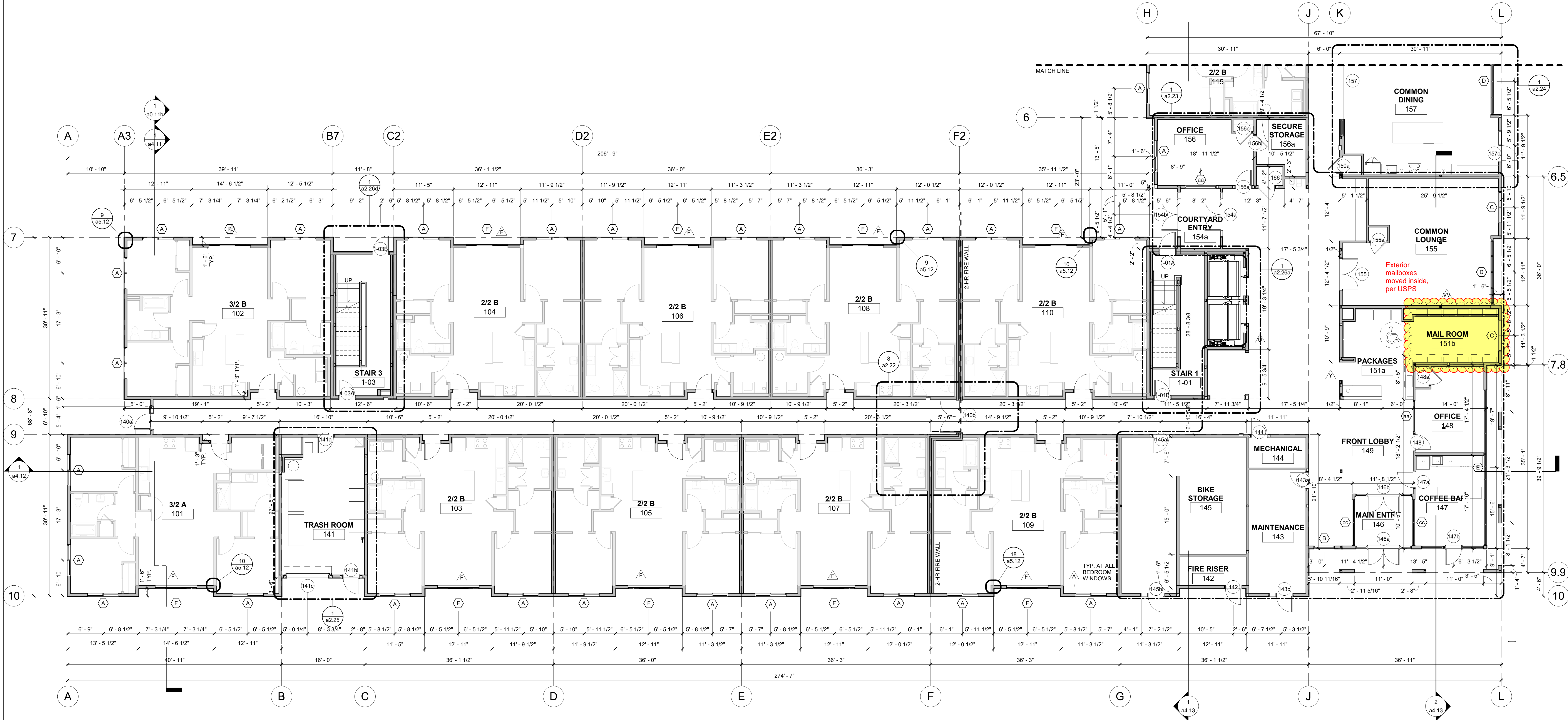
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W	ASI-011	07.23.24

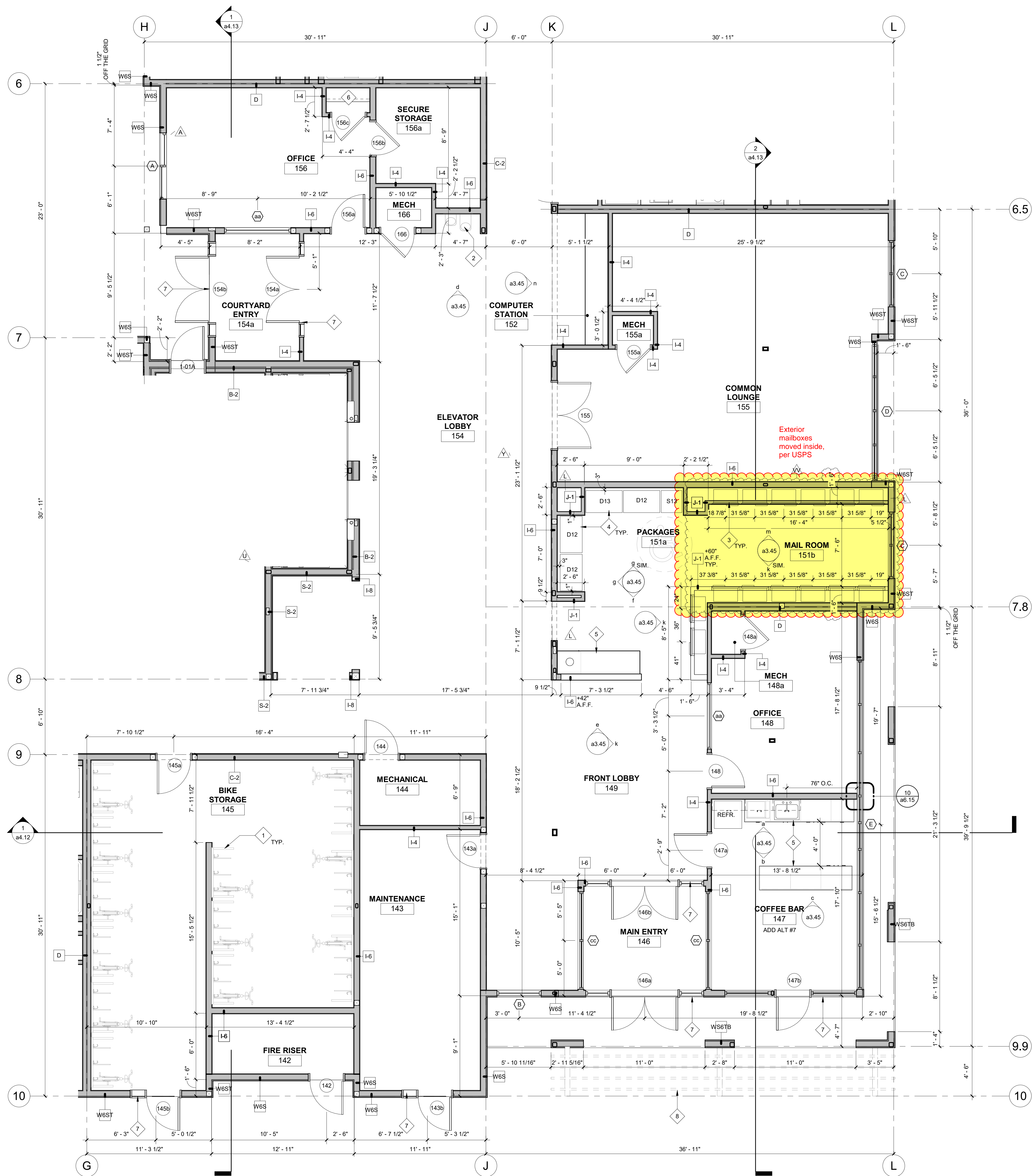
project: 200207
date: 02.08.2024

permit set

level 1
south floor
plan -
dimensions
a2.11Sd

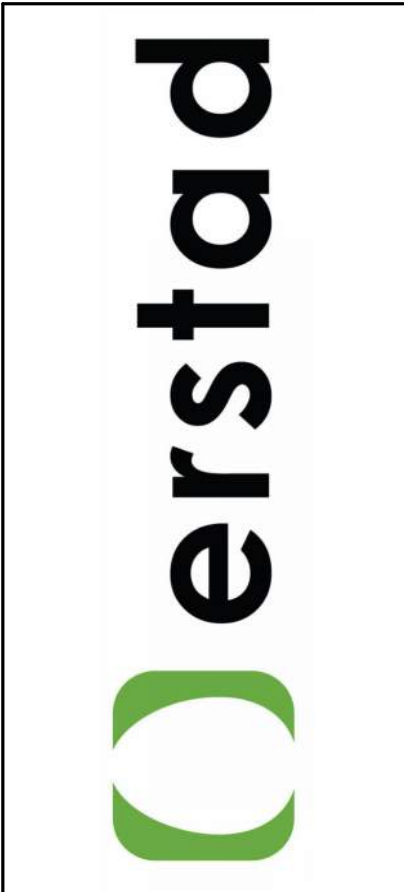
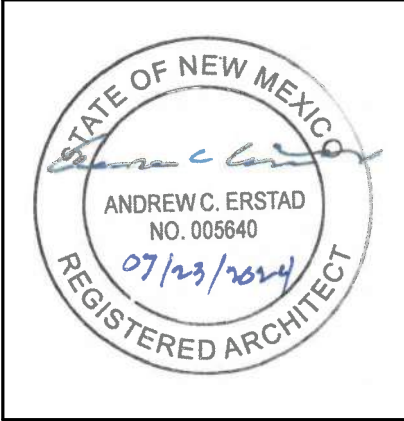


level 1 - south floor plan - dimensions
1/8" = 1'-0"



1 enlarged common areas floor plan
1/4" = 1'-0"

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keynotes:

- BIKE RACKS
- HIGH / LOW DRINKING FOUNTAIN
- MAILBOX SYSTEM WITH INTEGRATED DROP BOX. COORDINATE WITH LOCAL POSTAL SERVICE
- SMART PARCEL SYSTEM. ELECTRICAL POWER AND INTERNET REQUIRED
- BUILT-IN MILLWORK; SEE INTERIOR ELEVATION
- CLOTHES ROD + SHELF; SEE UNIT MILLWORK DETAILS
- STOREFRONT SYSTEM WITH DOOR. REFER TO SHEET #6.13
- TRELLIS ABOVE, REFER TO SHEET #2.41

general notes:

- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.
- GYPSUM WALLBOARD APPLICATION & FINISHING AT ALL EXPOSED SURFACES TO COMPLY WITH SPECIFICATIONS.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS ARE DIMENSIONED TO FACE OF FOUNDATION / GRID LINE.
- UNLESS NOTED OTHERWISE, ALL PARTITIONS ARE DIMENSIONED TO FACE OF STUD.
- UNLESS DIMENSIONED OTHERWISE, INTERIOR DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITION.
- ALL FURNITURE BY OWNER, SHOWN FOR COORDINATION ONLY.
- ALL CASEWORK, FIXTURES, EQUIPMENT, AND FINISHES DEPICTED IN ROOM 147 COFFEE BAR ARE TO BE PROVIDED UNDER ALTERNATE NO. 7 AND ARE NOT INCLUDED IN BASE BID.

revision:		
no.	desc.	date
A	RFI #1	06.29.21
L	ADDENDUM 1	03.16.23
U	ASI-005	10.31.23
Y	RFI-037	12.07.23
W	ASI-011	07.23.24

project: 200207
date: 02.08.2024

permit set

enlarged
plans -
common
a2.23

rcp symbol legend:

○ 6" SURFACE MOUNT LED DOWNLIGHT
(@ UNITS + UNIT ENTRY ALCOVES ONLY)

○ 8" SURFACE MOUNT LED DOWNLIGHT

⊙ DECORATIVE SURFACE MOUNT LED FIXTURE

○ DECORATIVE PENDANT FIXTURE

▭ 12 X 48 SURFACE MOUNT @ UTILITY AREAS

▬ 6" X 48" DECORATIVE SURFACE MOUNT LINEAR

*** WALL MOUNTED VANITY FIXTURE

⌞ EXTERIOR WALL SCONCE

▨ GYP CEILING @ UNDERSIDE OF ASSEMBLY
9' - 0 3/8" AFF

▨ DROPPED GYP CEILING
1 LAYER GYP ON 1 1/2" LIGHT GAUGE FRAMING
(HEIGHT AS TAGGED ON PLANS)

⊞ CEILING MOUNTED DIFFUSER; SEE MECHANICAL

⊞ CEILING MOUNTED RETURN; SEE MECHANICAL

⌞ ROOF ACCESS HATCH

NOTE: NOT ALL SYMBOLS MAY BE USED ON EVERY PLAN.

keynotes:

1. SMALL SURFACE MOUNT FIXTURE CENTERED WITHIN UNIT ENTRY ALCOVE.
2. TRASH CHUTE
3. WALL MOUNTED EXHAUST FAN
4. EXPOSED DUCTING BELOW FIRE ASSEMBLY

general notes:

A. THIS REFLECTED CEILING PLAN IS PROVIDED FOR COORDINATION PURPOSES. COORDINATE AND REFER TO MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

B. UNLESS NOTED OTHERWISE, LIGHT FIXTURES SHALL BE CENTERED WITHIN ROOM, SOFFIT, CEILING TILE AND/OR AREA SHOWN. COORDINATE WITH ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES, SWITCHING, ETC.

C. COORDINATE WITH MECHANICAL DRAWINGS FOR MECHANICAL GRILLE LOCATIONS/TYPES, ETC.

D. ALL GRILLES AND DEVICES MAY NOT BE SHOWN ON THIS PLAN. COORDINATE FINAL LOCATION WITH MECHANICAL AND ELECTRICAL DRAWINGS AND WITH FIELD CONDITIONS.

F. FIELD VERIFY ALL DIMENSIONS.

G. SEE ENLARGED UNIT PLAN SHEETS FOR UNIT RCP'S.

MATCH LINE

N

key plan

not to scale

city of albuquerque

STATE OF NEW MEXICO

ANDREW C. ERSTAD
NO. 005640
07/12/2014

REGISTERED ARCHITECT

erstad

The floor plan for Level 1 - south rcp shows a long, narrow building layout. The plan is divided into several sections. On the left side, there are rooms labeled 3/2 B 102, STAIR 3 1-03, 2/2 B 104, 2/2 B 106, 2/2 B 108, and 2/2 B 110. Below these are rooms 3/2 A 101, TRASH ROOM 141, 2/2 B 103, 2/2 B 105, 2/2 B 107, 2/2 B 109, MECHANICAL 144, BIKE STORAGE 145, and MAINTENANCE 143. On the right side, there are rooms labeled OFFICE 156, SECURE STORAGE 156a, COMMON DINING 157, COMMON LOUNGE 155, MAIL ROOM 151a, OFFICE 148, FRONT LOBBY 149, MAIN ENTRY 146, and COFFEE BAR 147. The plan also shows a COMPUTER STATION 152, ELEVATOR LOBBY 154, and a FIRE RISER 142. Dimensions are provided for various rooms and corridors. A north arrow is located in the top left corner of the plan area.

level 1 - south rcp
1/8" = 1'-0"

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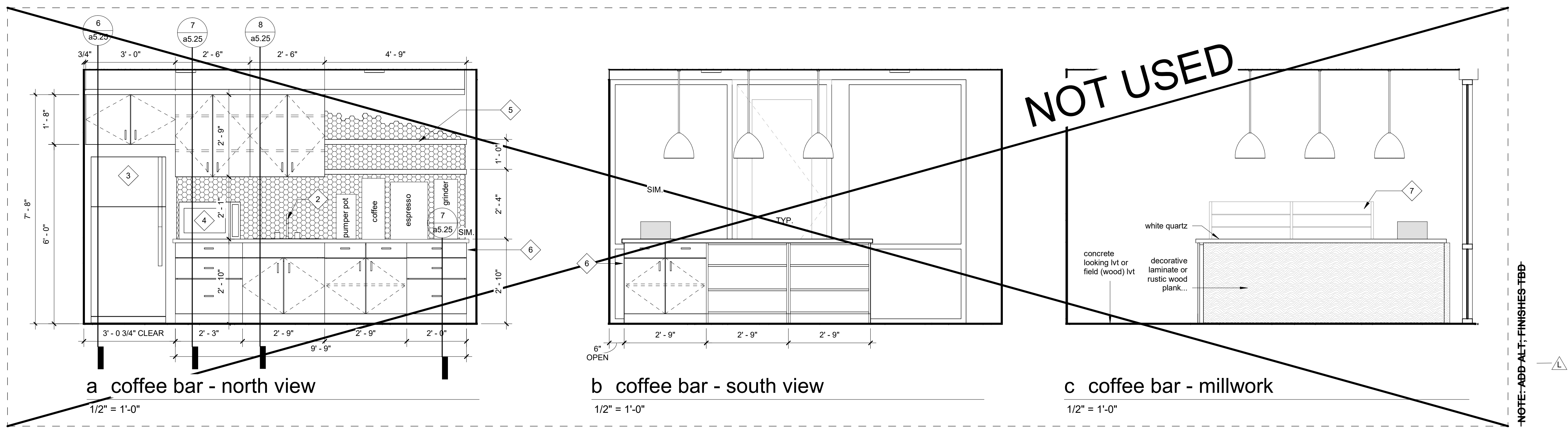
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W	ASI-011	07.23.24

project: 200207
date: 02.08.2024

permit set

level 1
south rcp

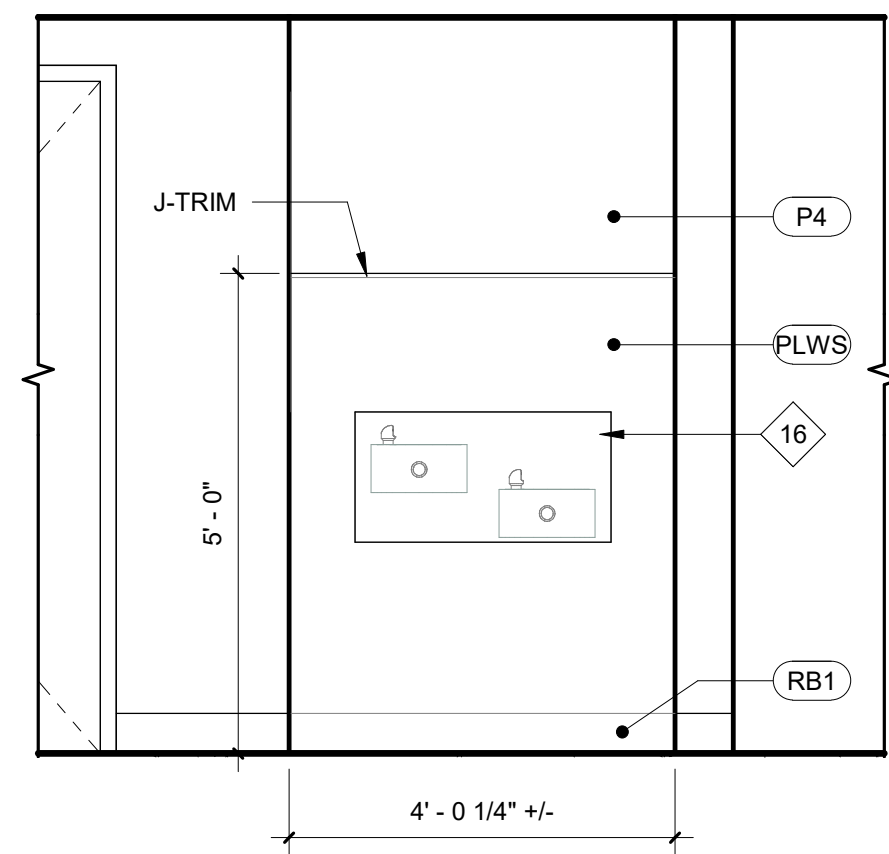
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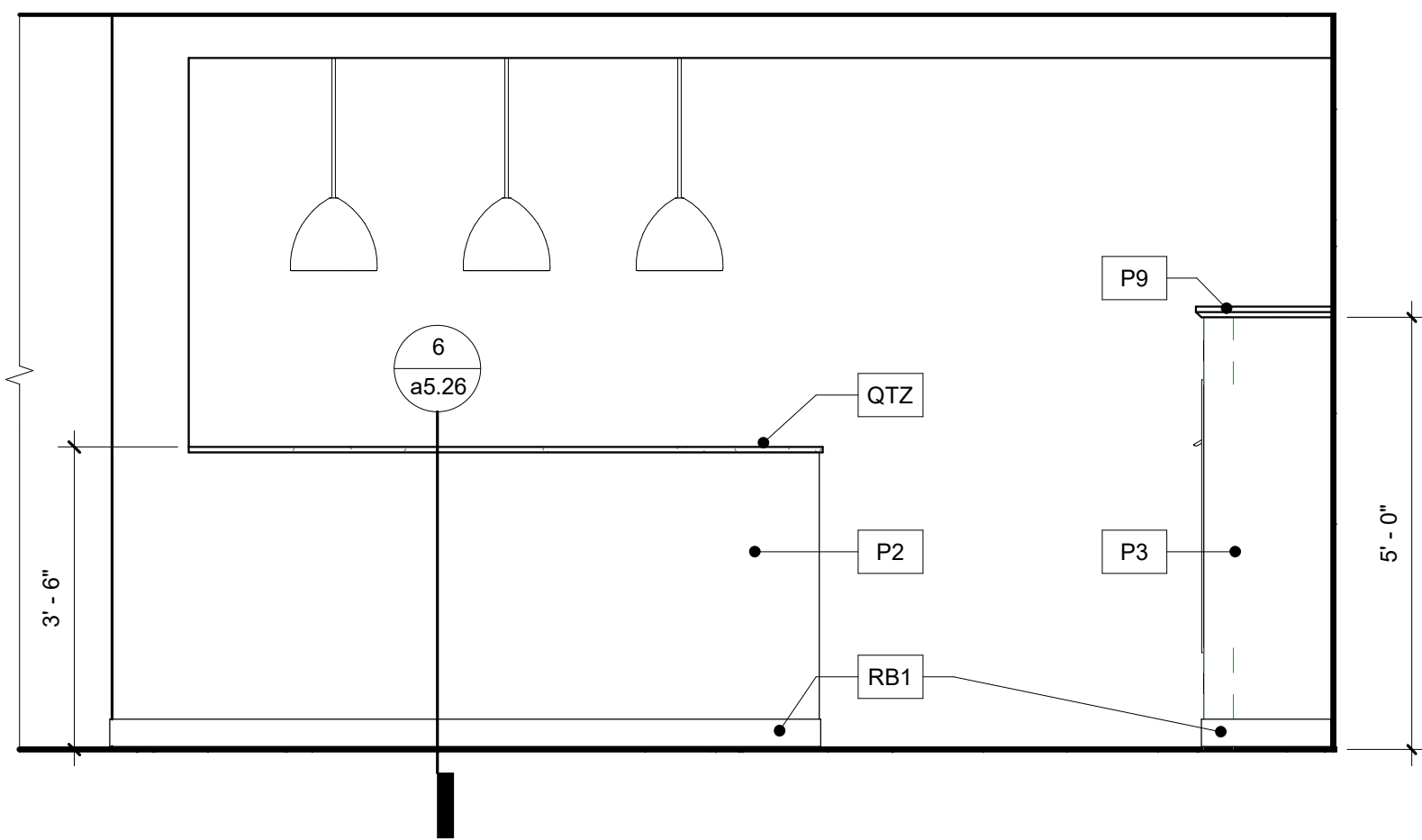
a coffee bar - north view

b coffee bar - south view

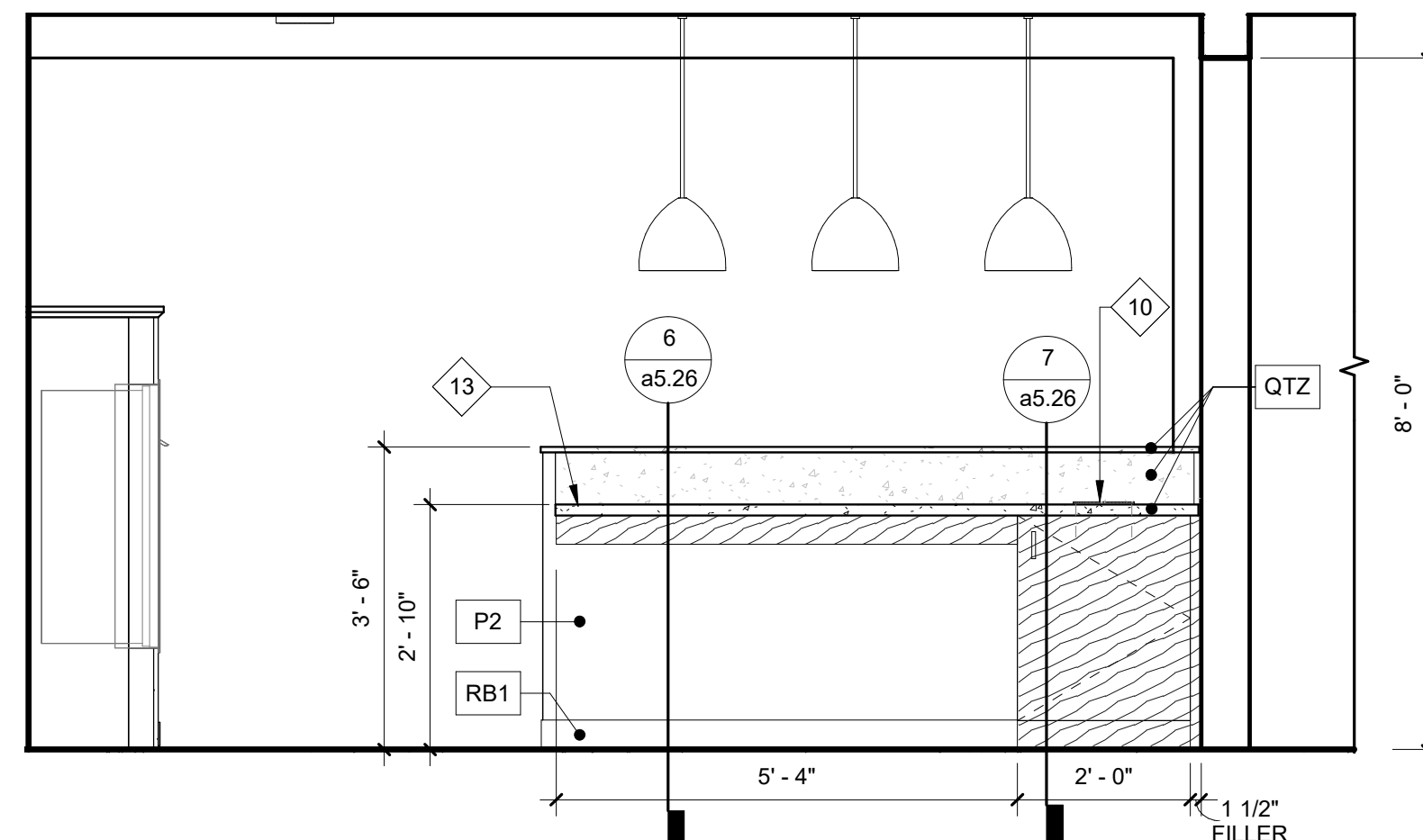
c coffee bar - millwork



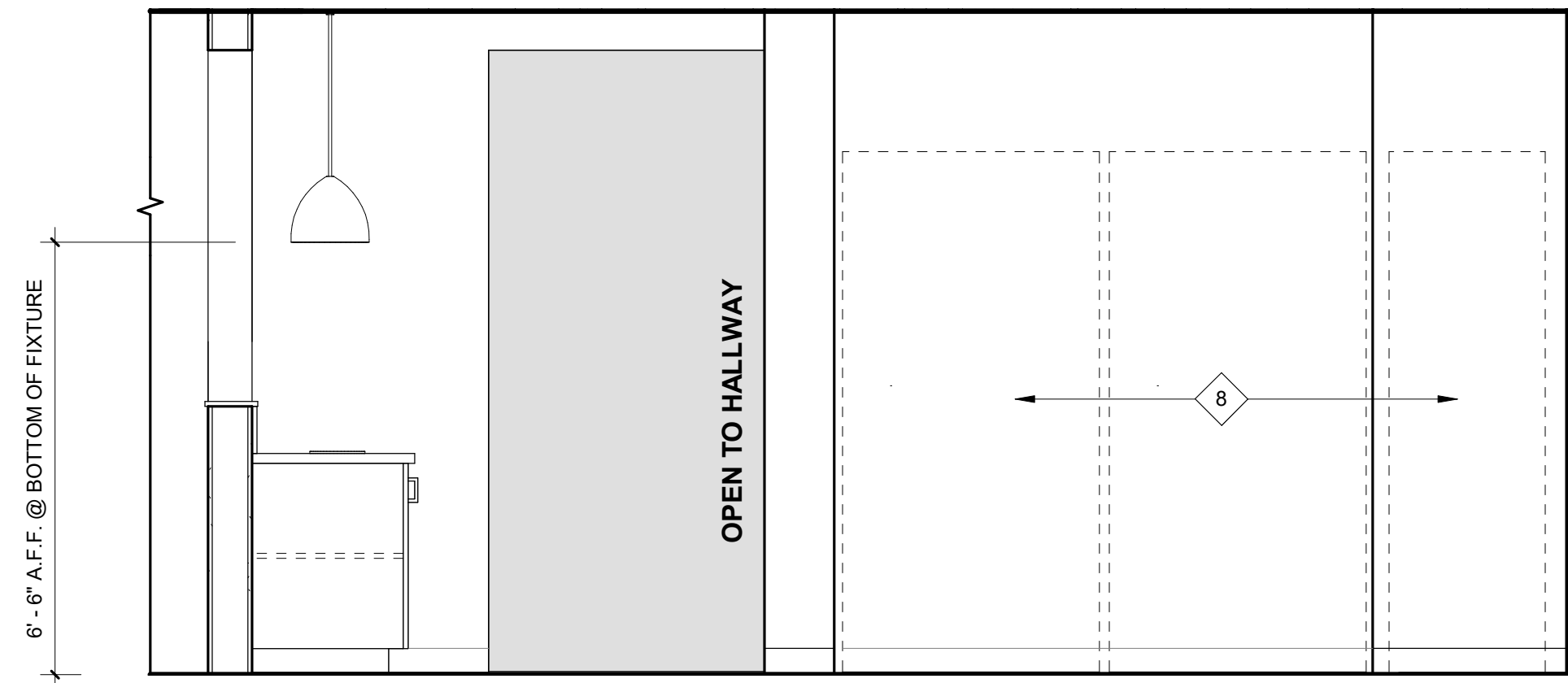
d tile accent @ lobby drinking fountain



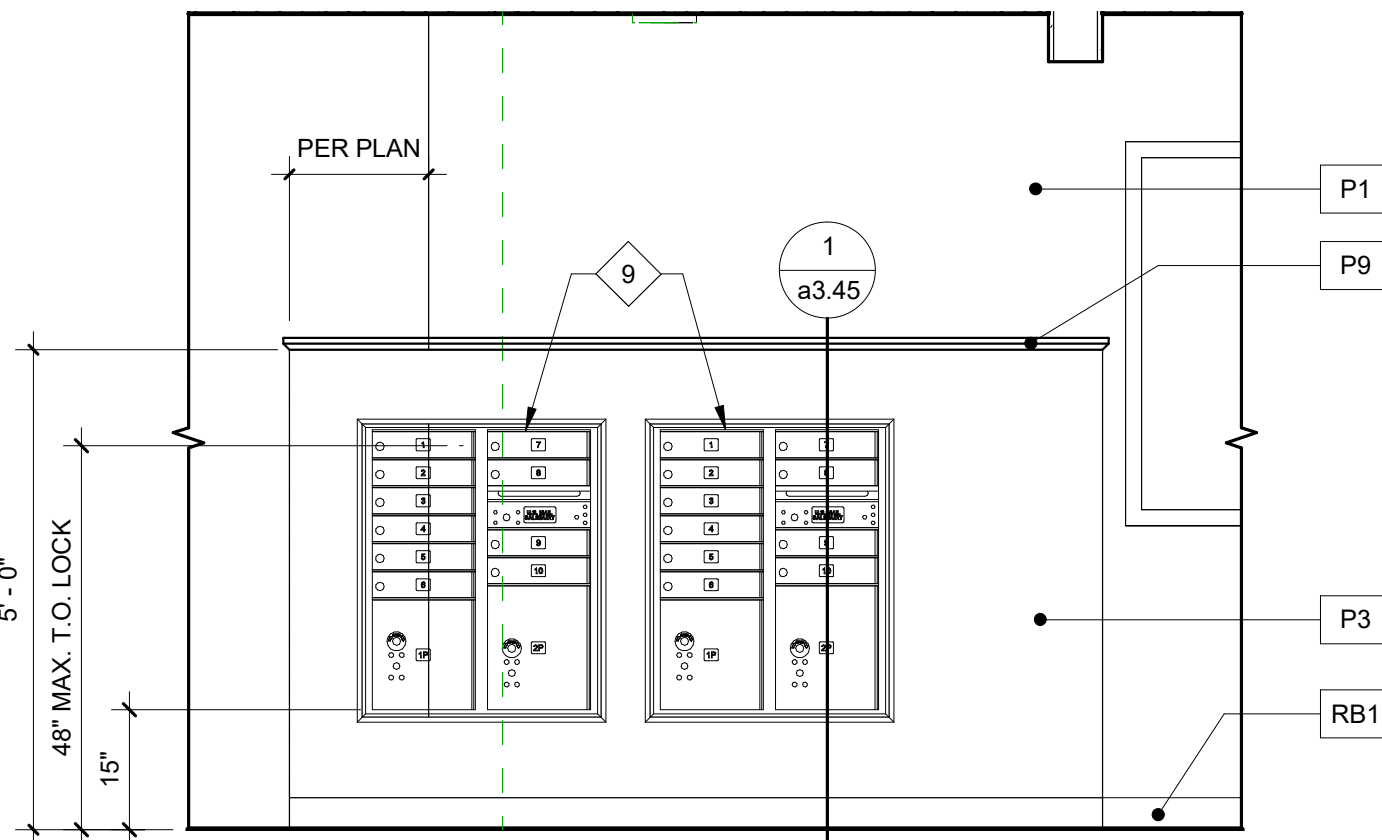
e lobby mail counter - north view



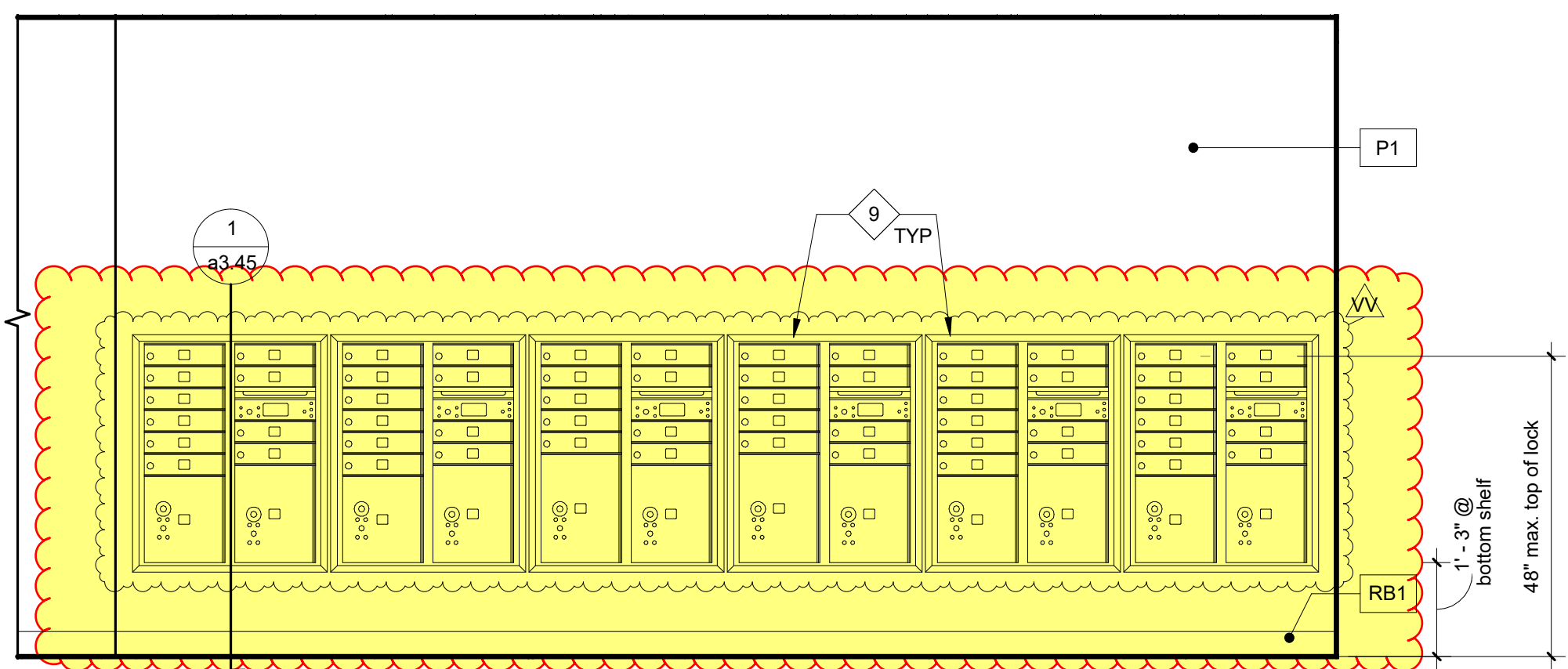
f lobby mail counter - south view



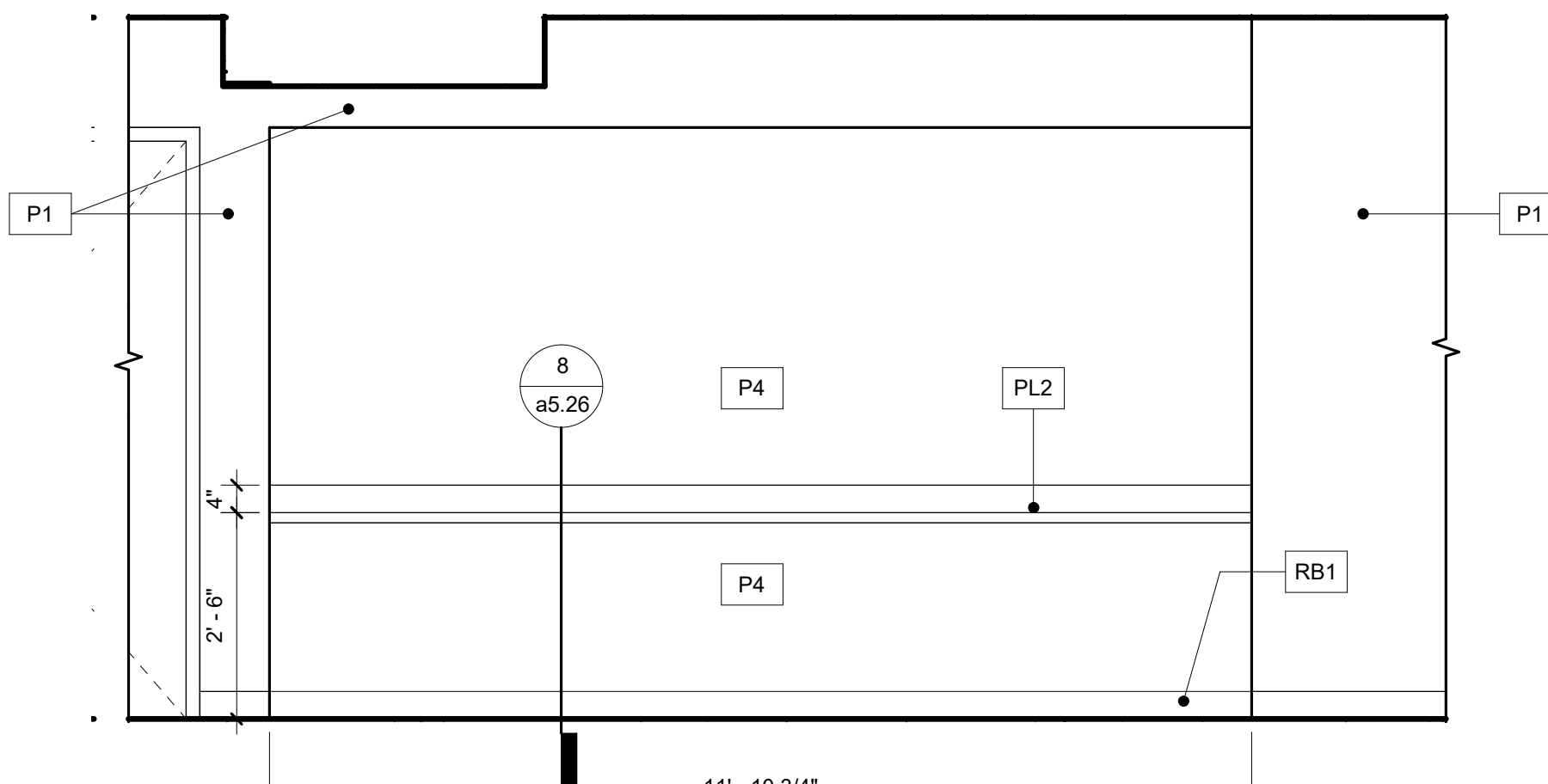
g packages area; typical parcel unit



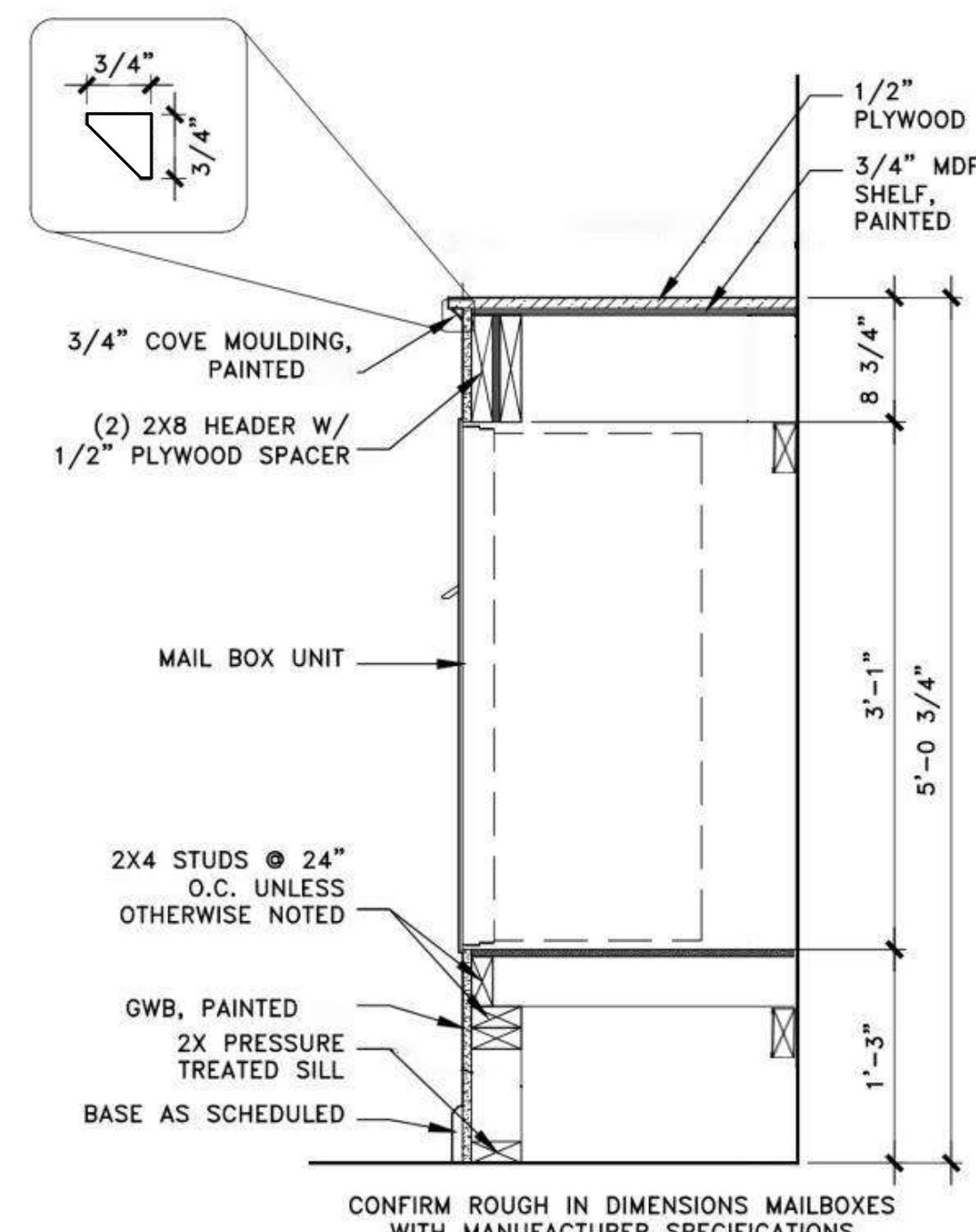
k typical mailbox unit



m typical mailbox unit - full ht wall



n elevator lobby - east view



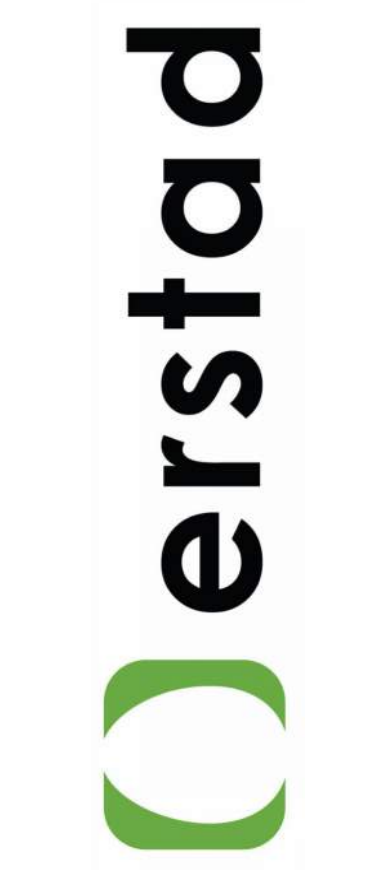
1 mailbox wall section

keynotes:

1. PAINTED SOFFIT TO MATCH WALLS.
2. SINK + FAUCET.
3. REFRIGERATOR.
4. FREE STANDING MICROWAVE.
5. BUILT-IN SHELVEING.
6. FINISHED END PANEL.
7. FREE STANDING SHELVEING; PROVIDED BY OWNER.
8. PARCEL LOCKERS.
9. MAIL BOXES.
10. TRASH CAN GROMMET IN COUNTERTOP.
11. WALL BASE AS SCHEDULED.
12. X
13. RETURN APRON BACK TO WALL.
14. CAP FOR MILLWORK/WALL.
15. X
16. DRINKING FOUNTAIN; HIGH / LOW.

general notes:

- A. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.
- B. GYPSUM WALLBOARD APPLICATION & FINISHING AT ALL EXPOSED SURFACES TO COMPLY WITH SPECIFICATIONS.
- C. REFERENCE 'ADA PLUMBING FIXTURES + ACCESSORIES MOUNTING GUIDE' ON SHEET A3.22 FOR RESTROOM DIMENSIONS.
- D. CONTRACTOR TO PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED ITEMS, INCLUDING ANY OWNER SUPPLIED AND INSTALLED ITEMS.
- E. SEE FLOOR PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
- F. ALL CASWORK, FIXTURES, EQUIPMENT, AND FINISHES DEPICTED IN ROOM 147 COFFEE BAR ARE TO BE PROVIDED UNDER ALTERNATE NO. 7 AND ARE NOT INCLUDED IN BASE BID.



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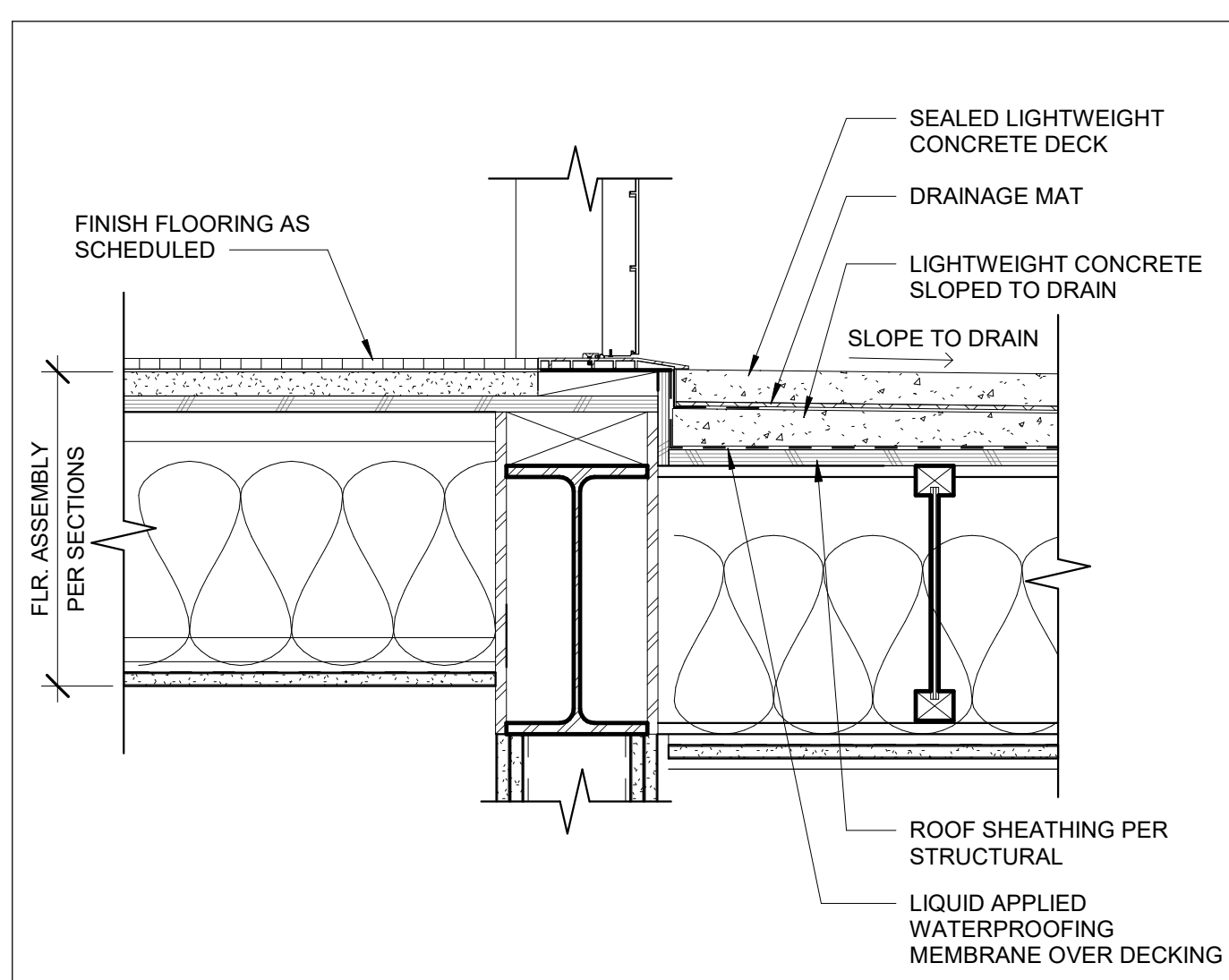
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project: 200207
date: 02.08.2024

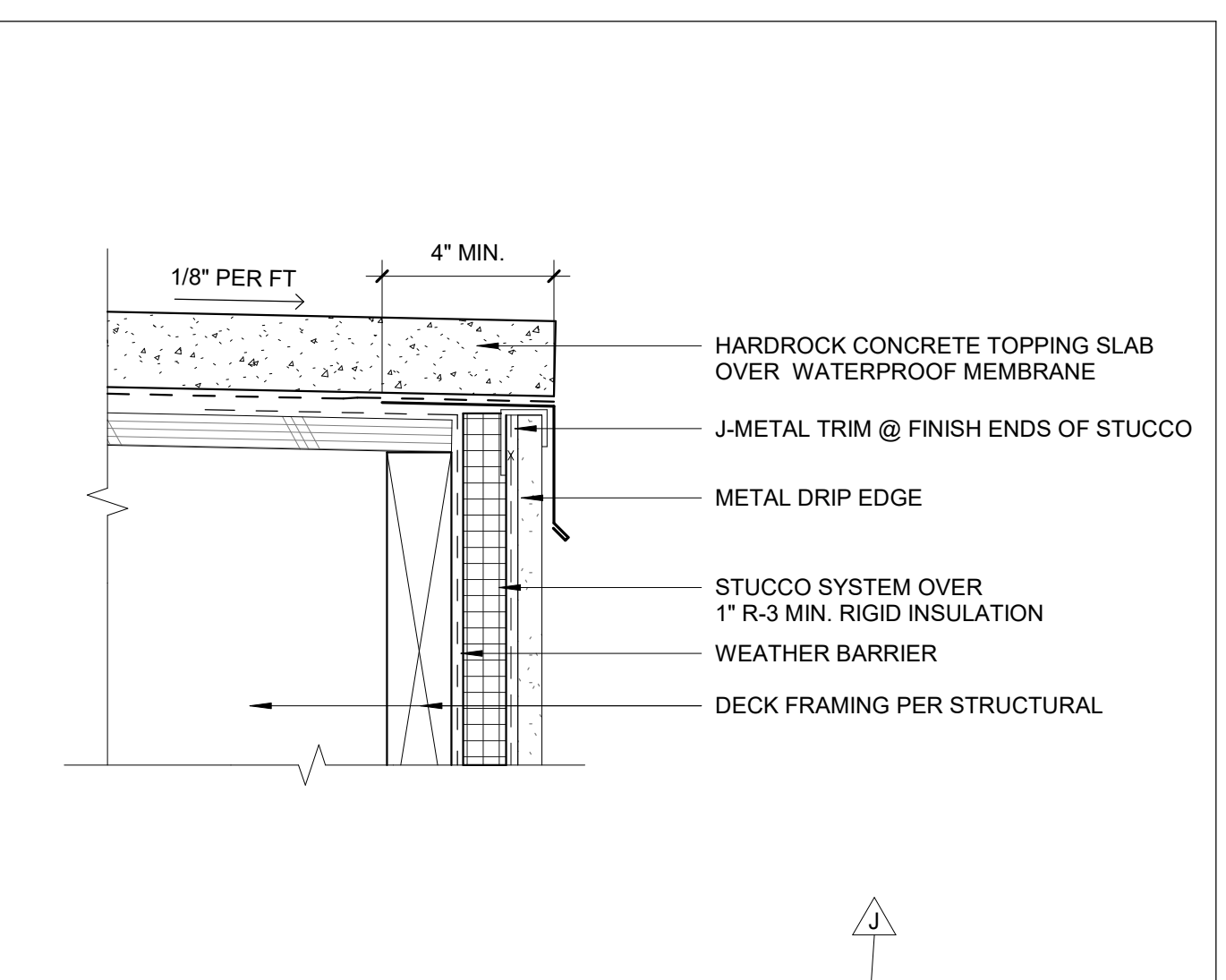
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interior
elevations -
common

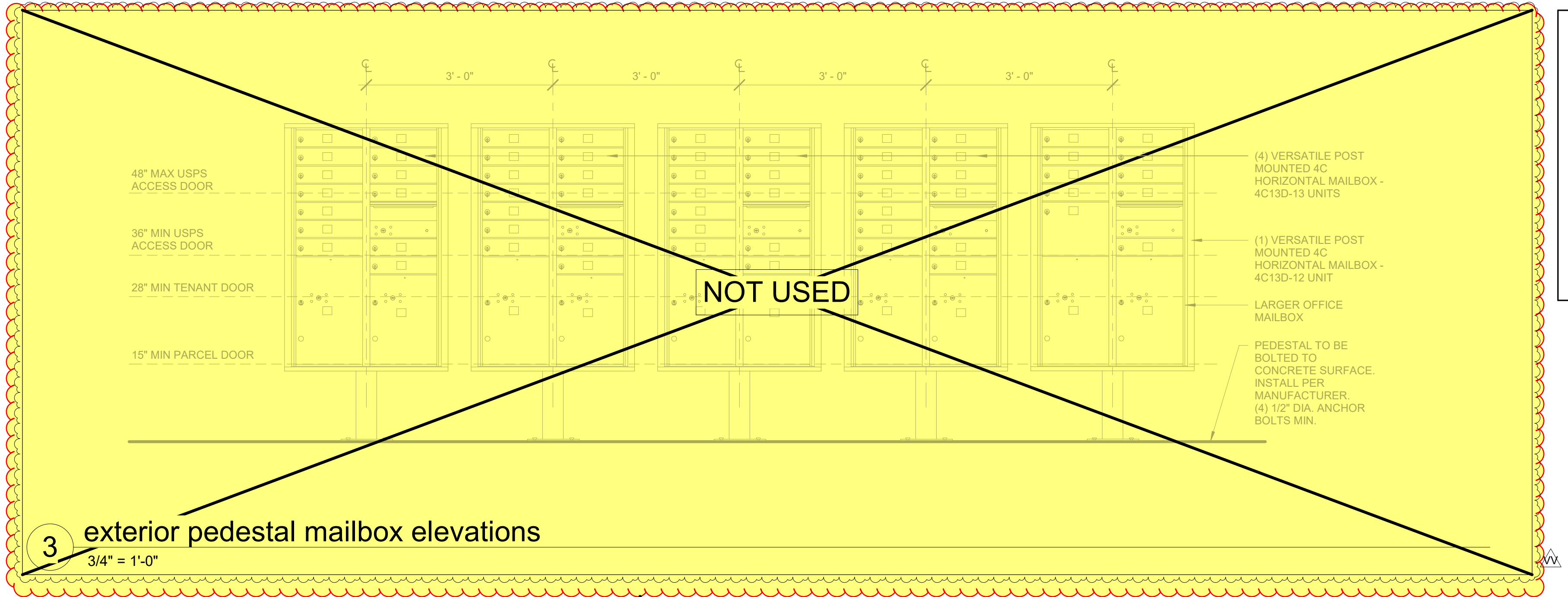
a3.45



1 hallway to roof patio paver
1 1/2" = 1'-0"



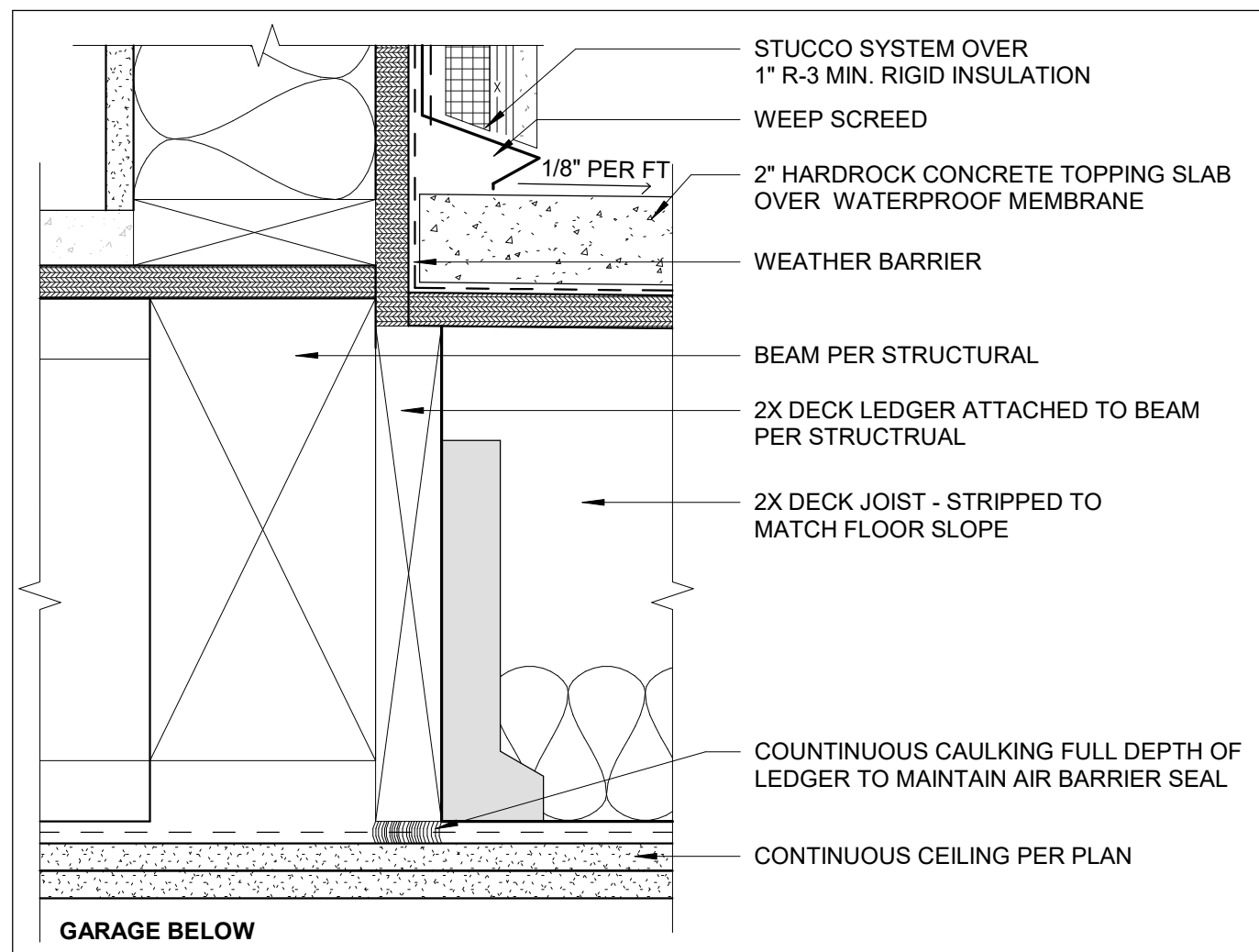
2 landing edge at garage unit entry
3" = 1'-0"



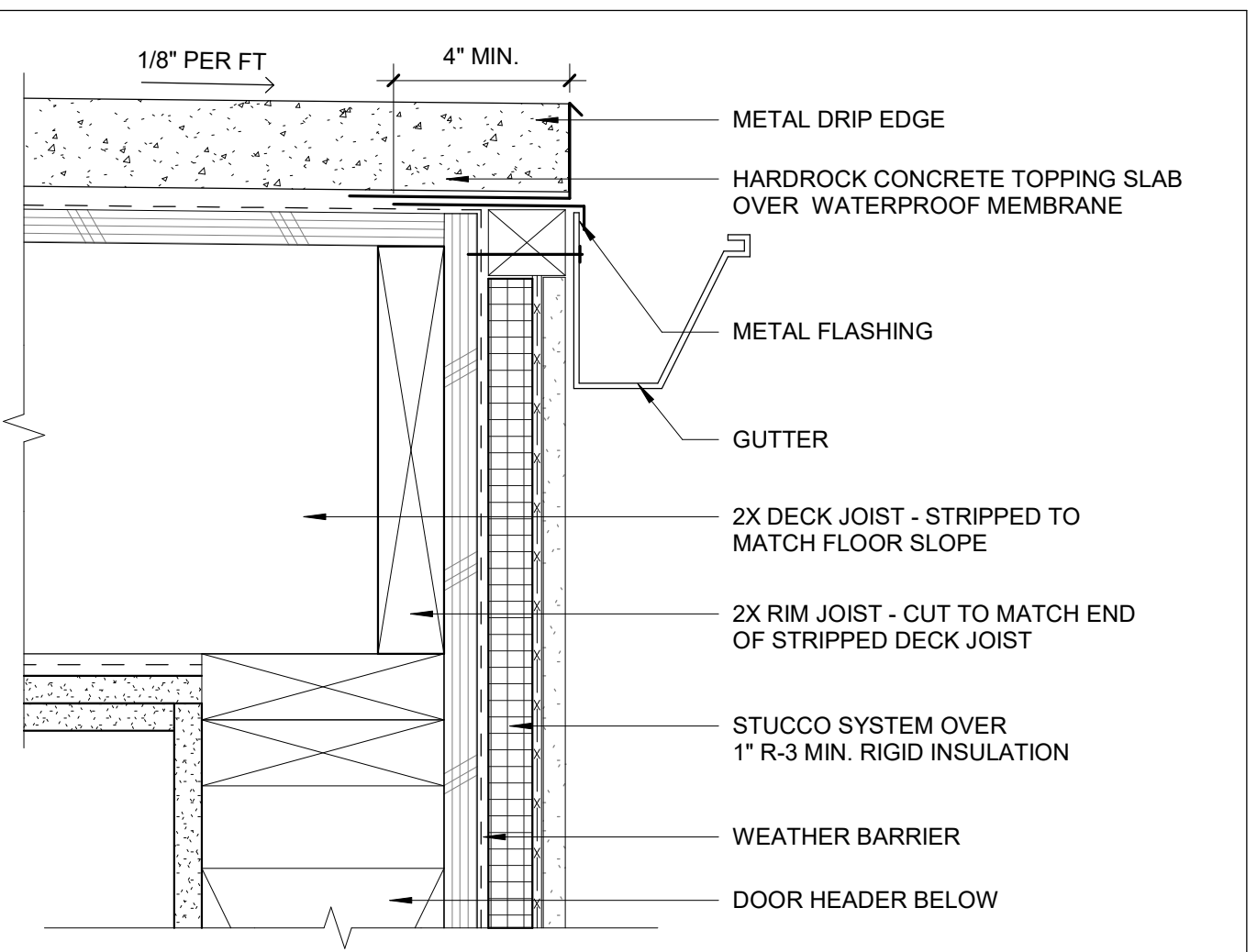
3 exterior pedestal mailbox elevations
3/4" = 1'-0"

city of albuquerque

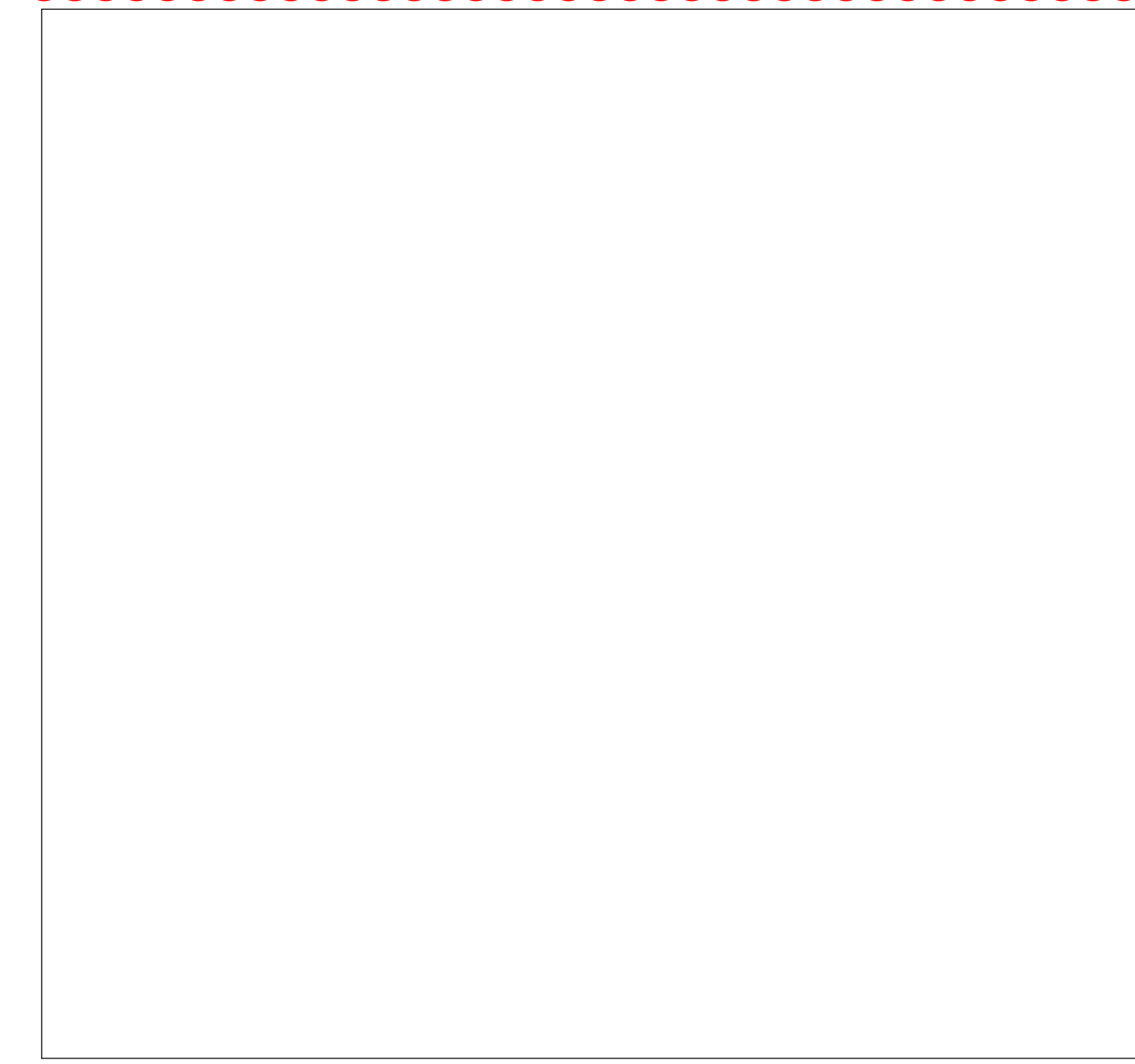
Exterior mailboxes moved inside, per USPS



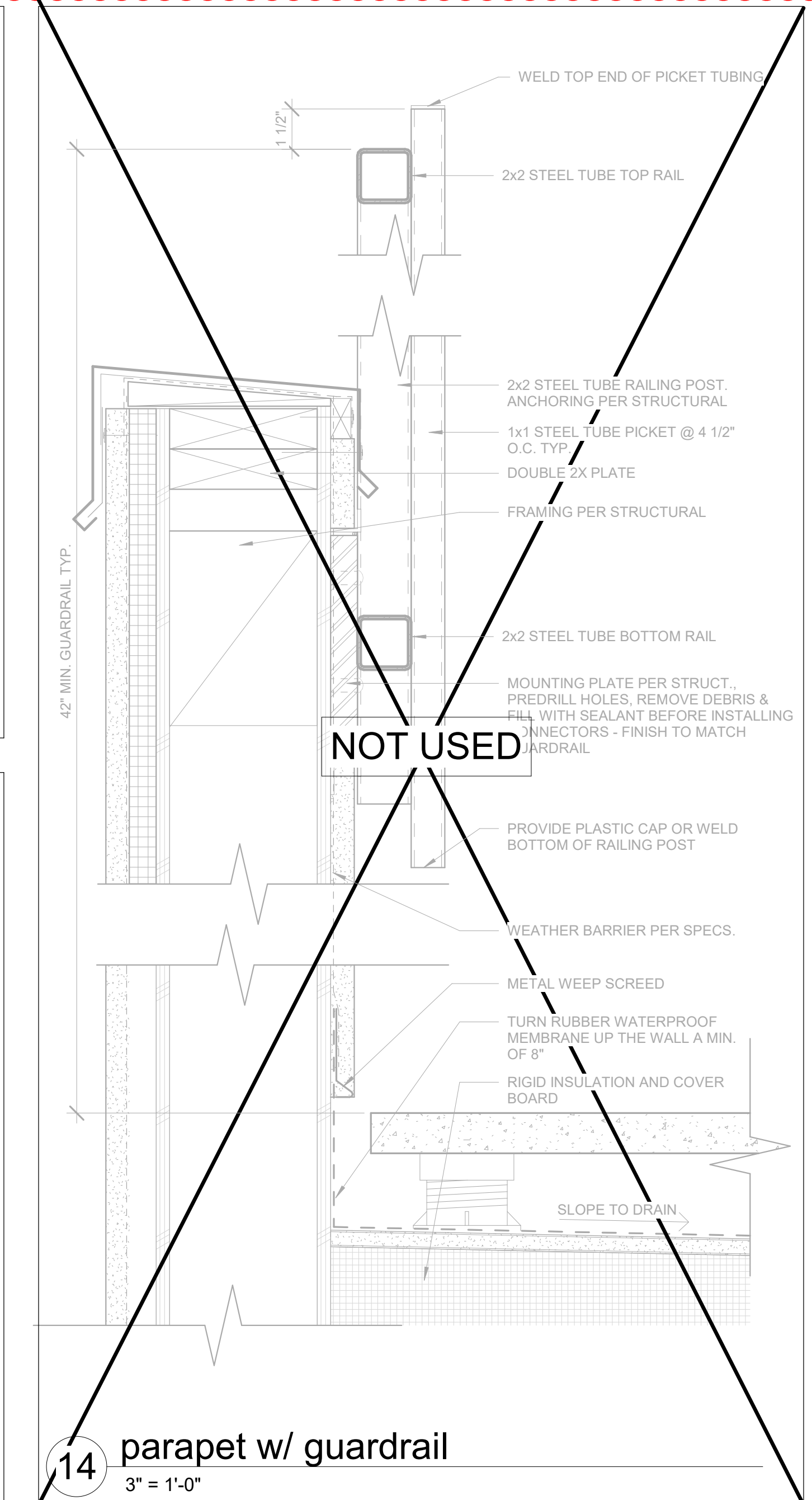
6 garage unit patio to wall
3" = 1'-0"



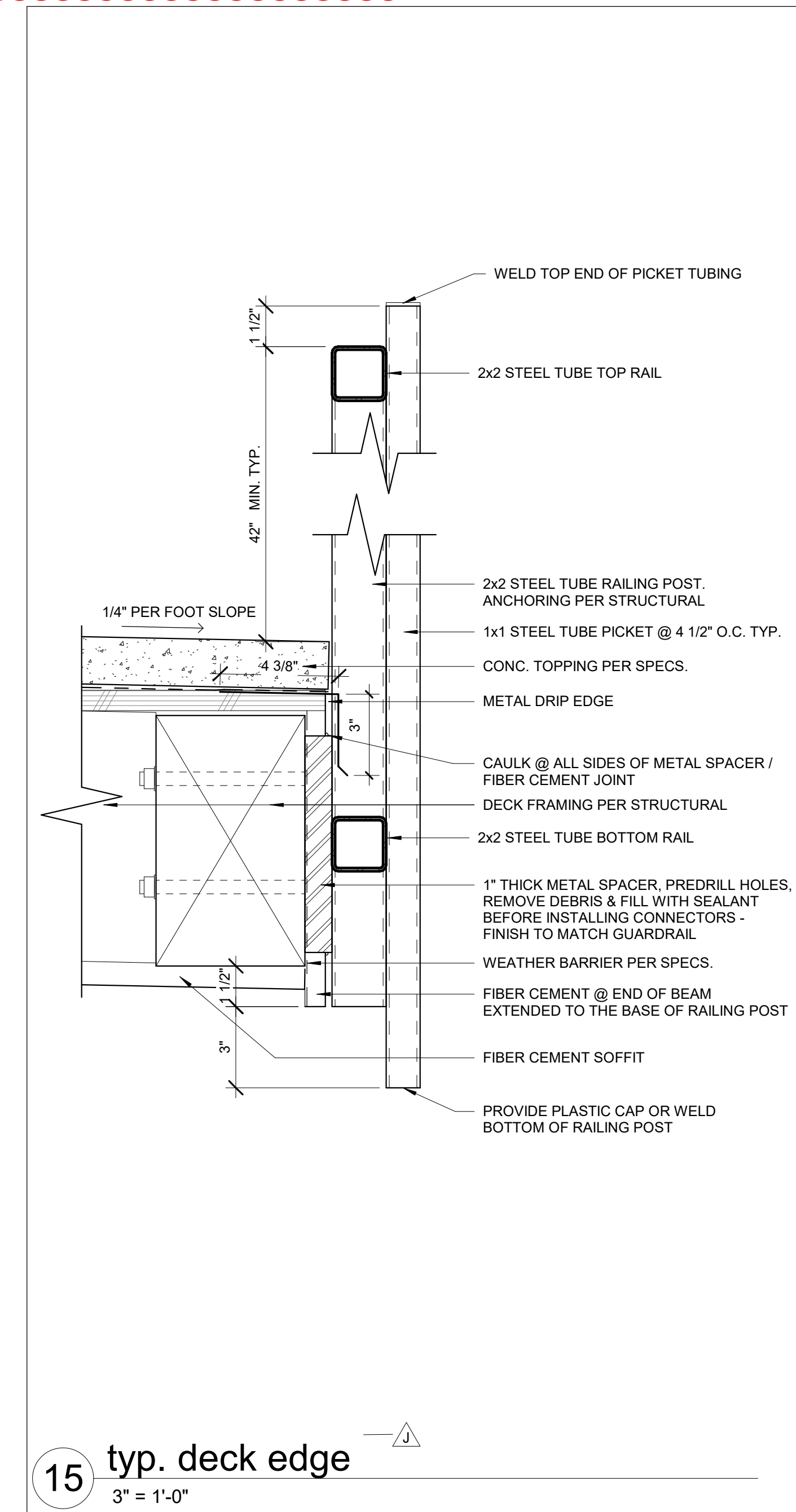
7 deck edge at garage unit
3" = 1'-0"



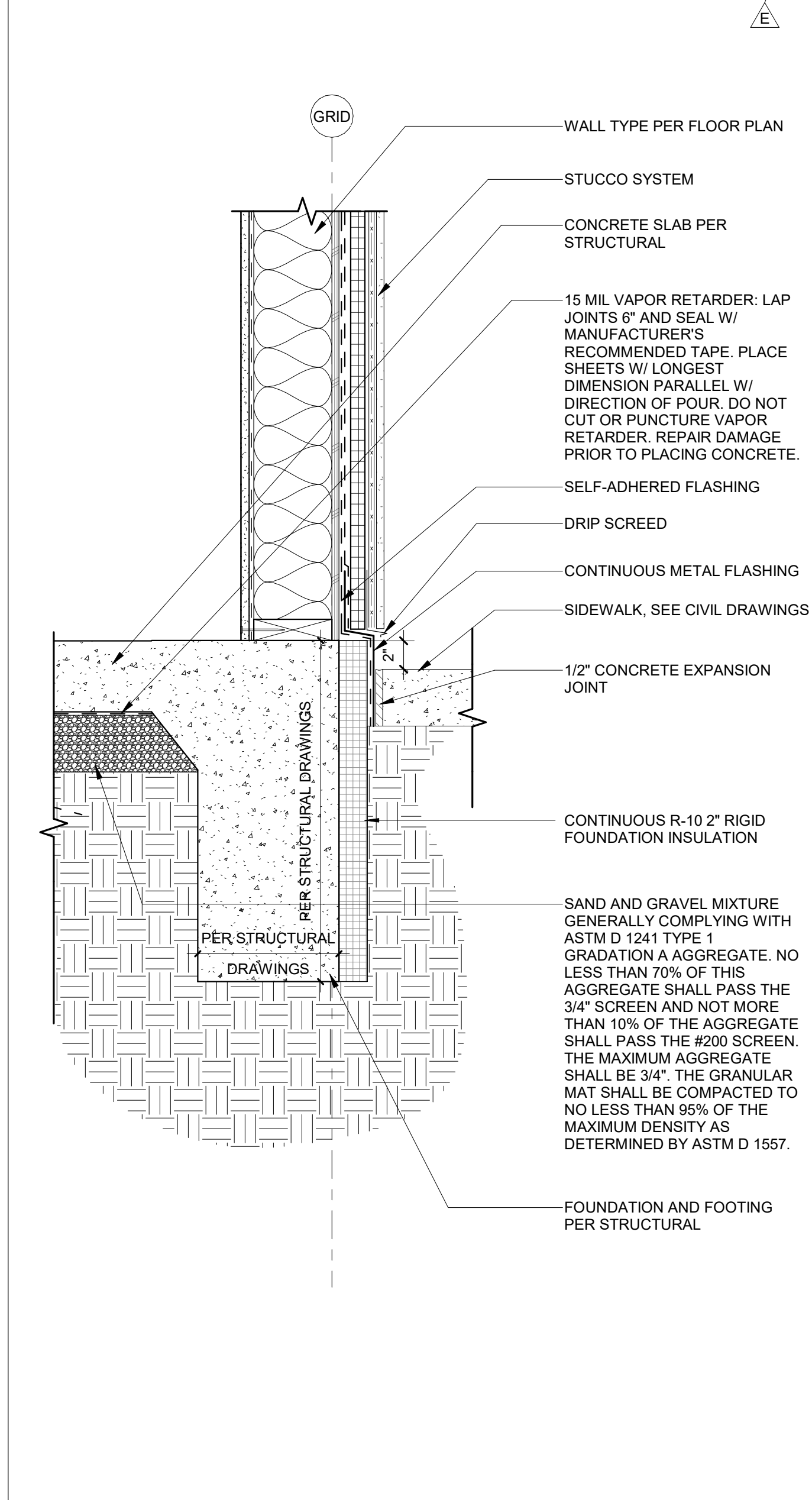
14 parapet w/ guardrail
3" = 1'-0"



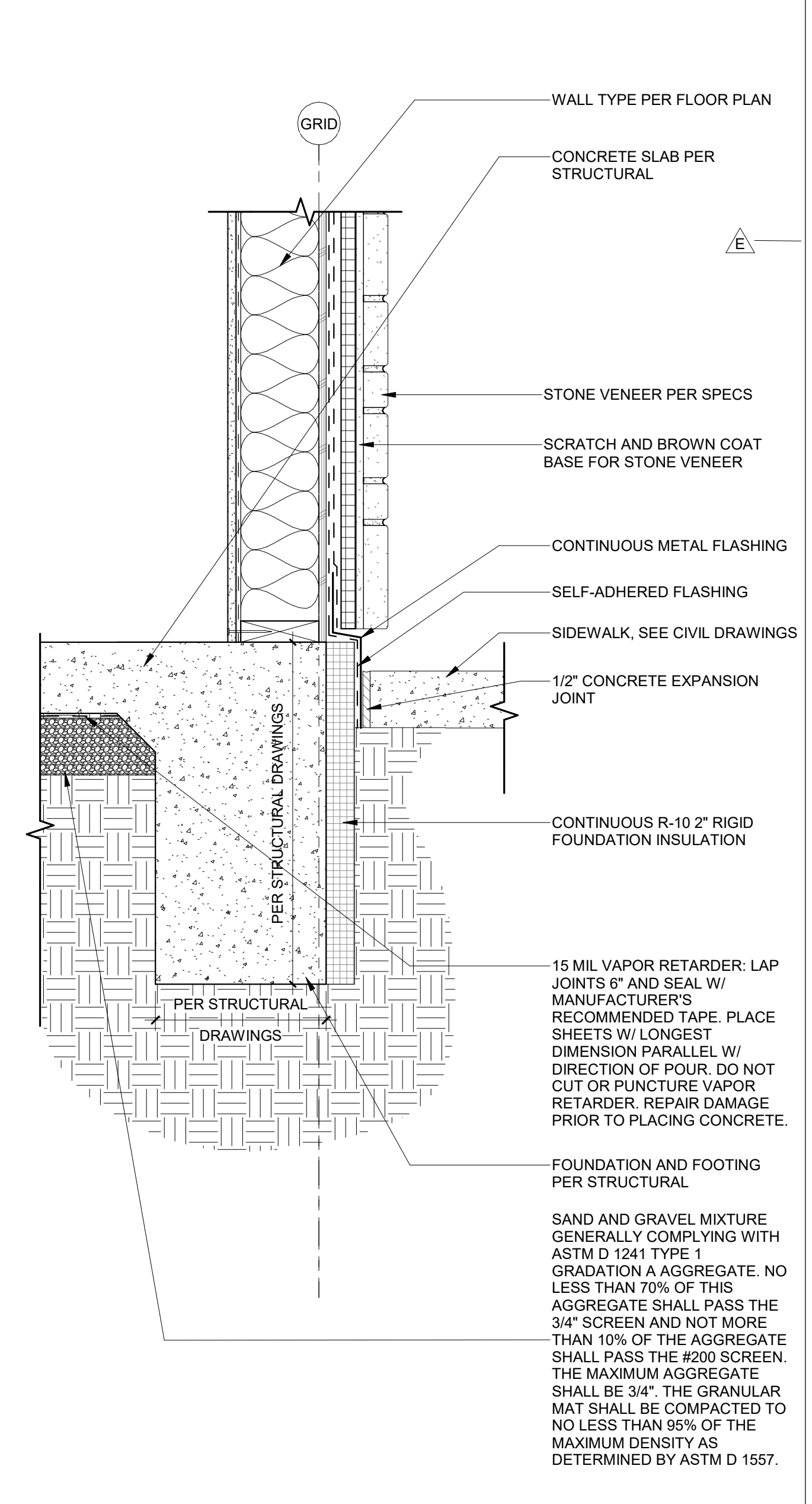
15 typ. deck edge
3" = 1'-0"



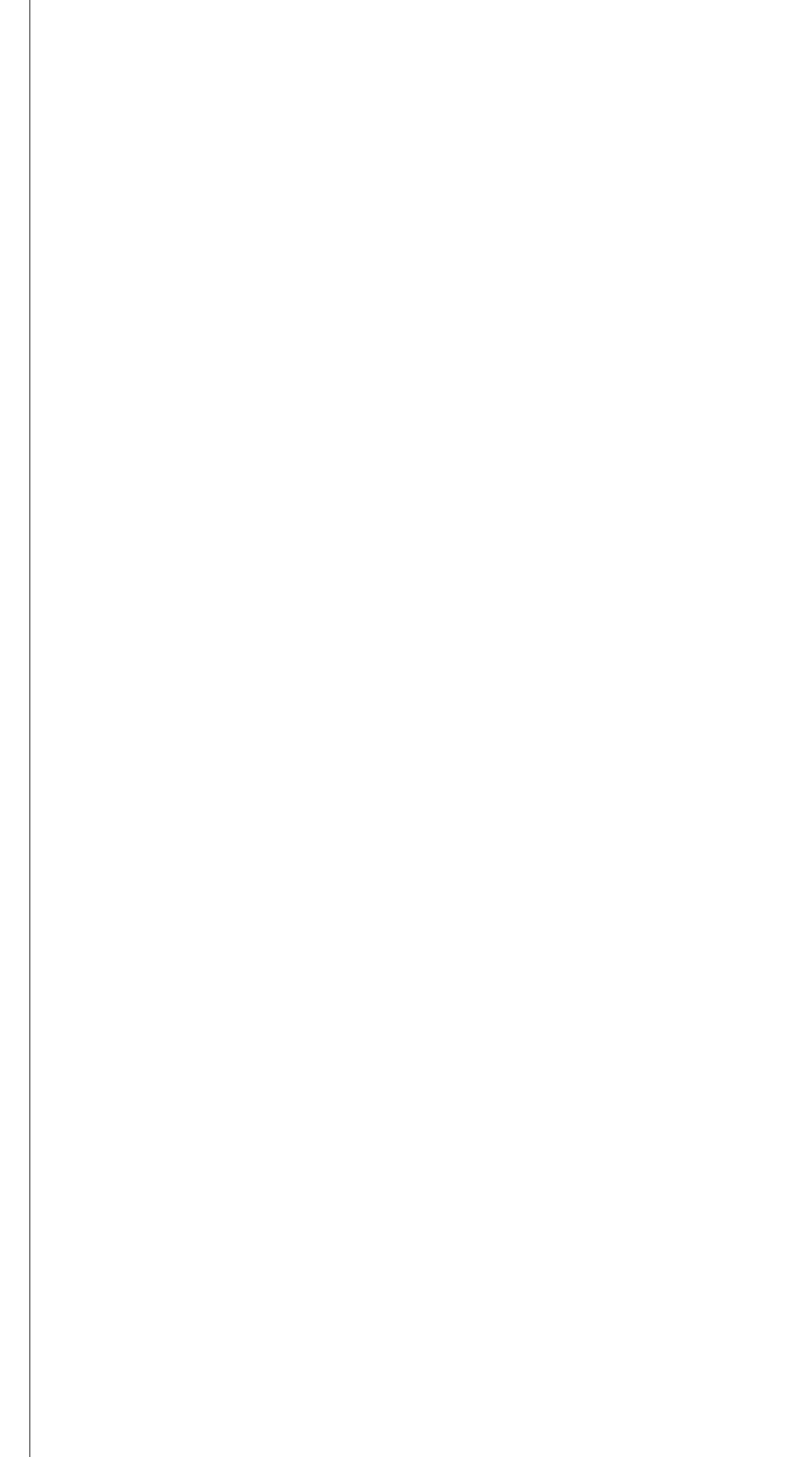
20 exterior wall at grade
3" = 1'-0"



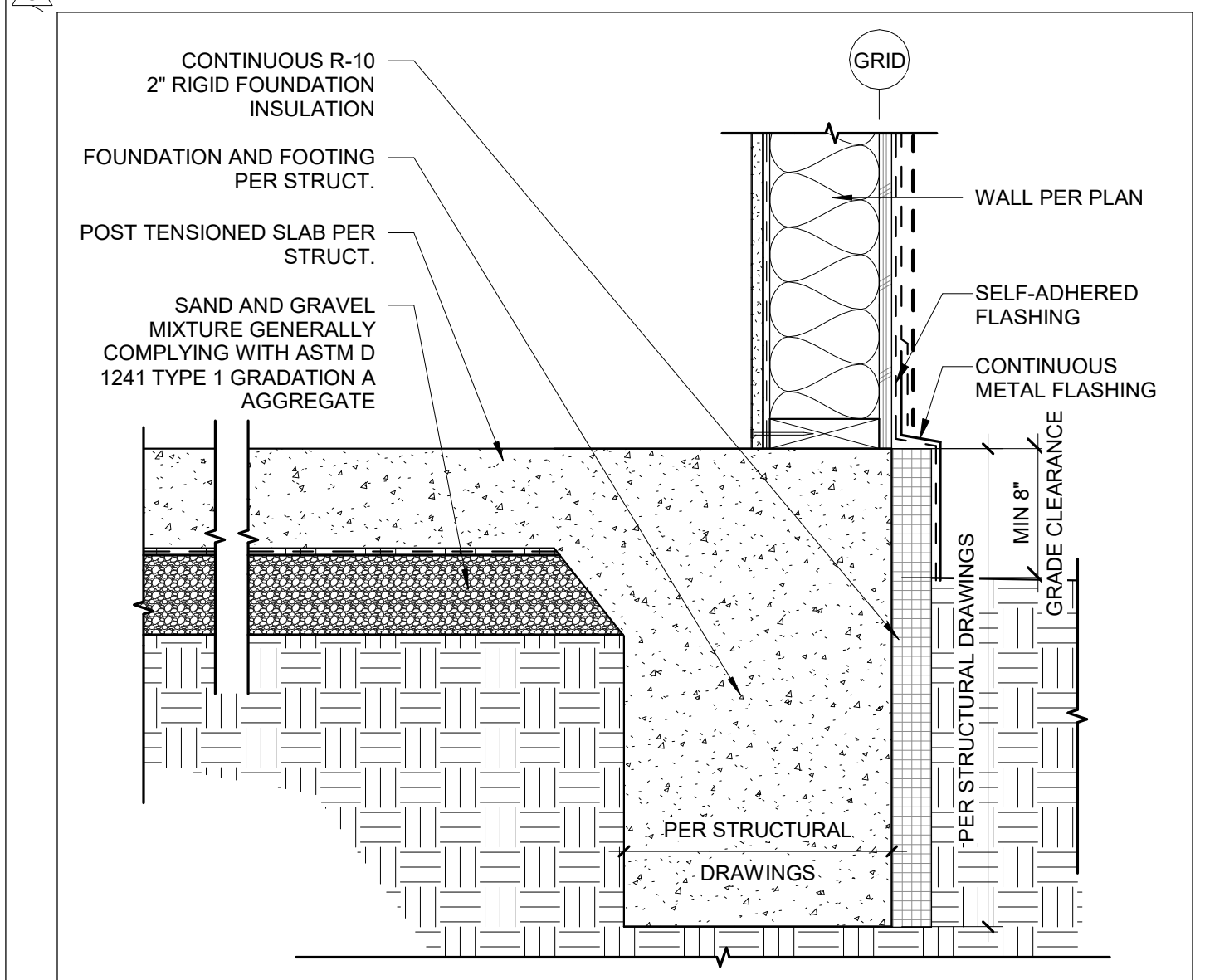
16 foundation @ stucco
1 1/2" = 1'-0"



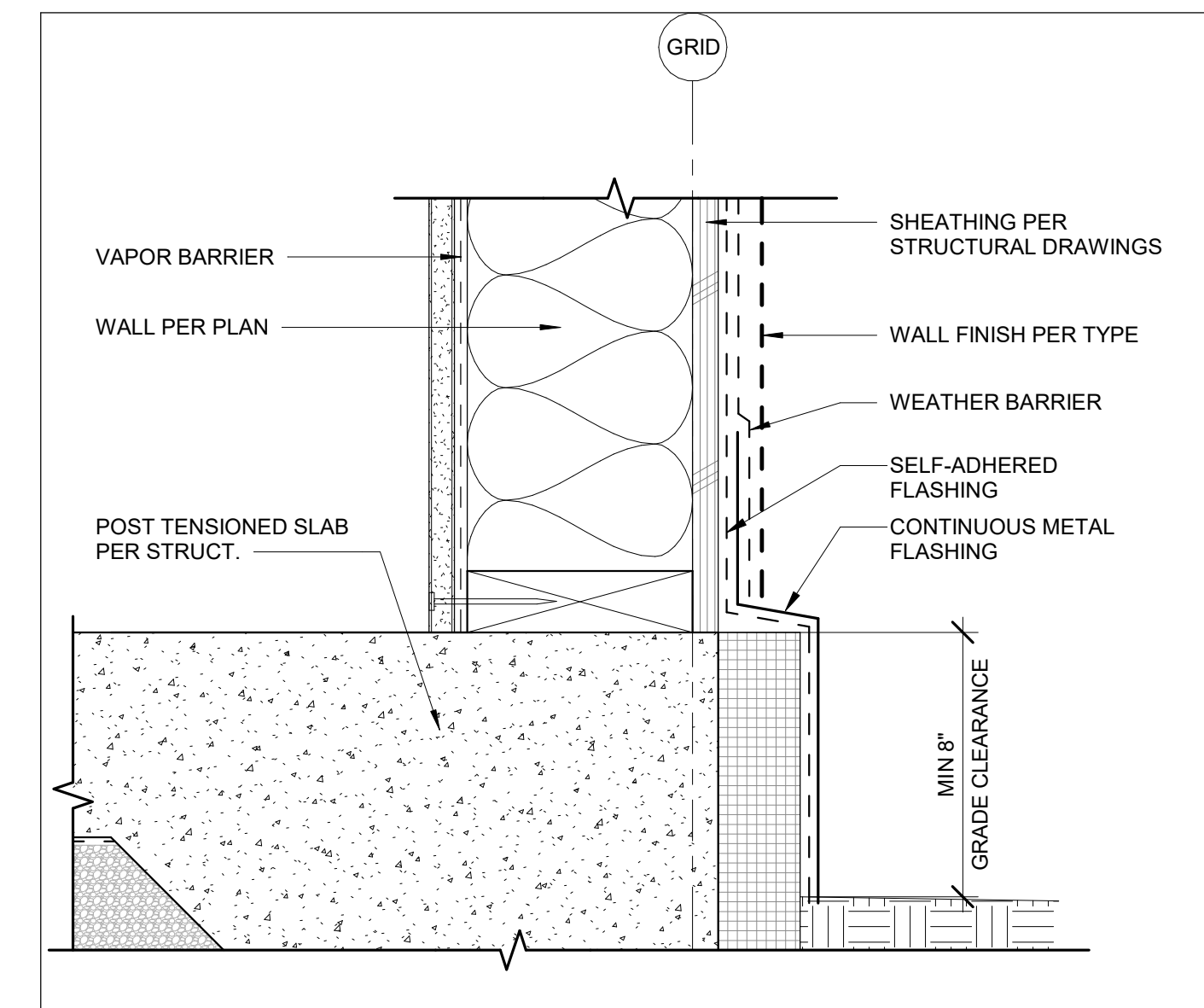
17 foundation @ stone veneer
1 1/2" = 1'-0"



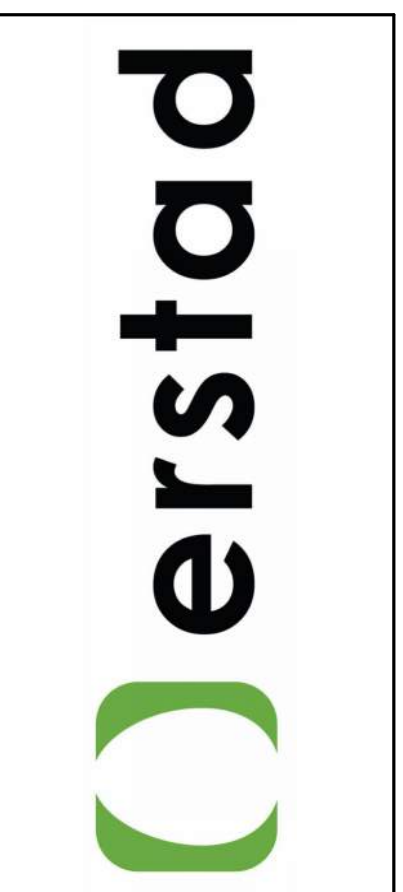
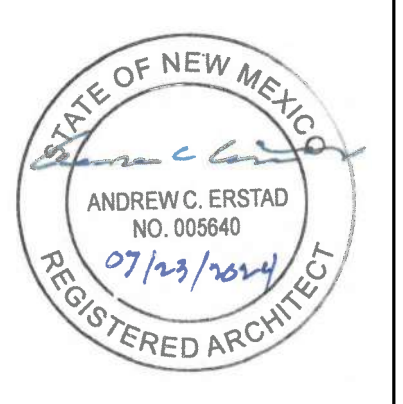
19 insulation @ slab edge
1 1/2" = 1'-0"



20 exterior wall at grade
3" = 1'-0"



20 exterior wall at grade
3" = 1'-0"



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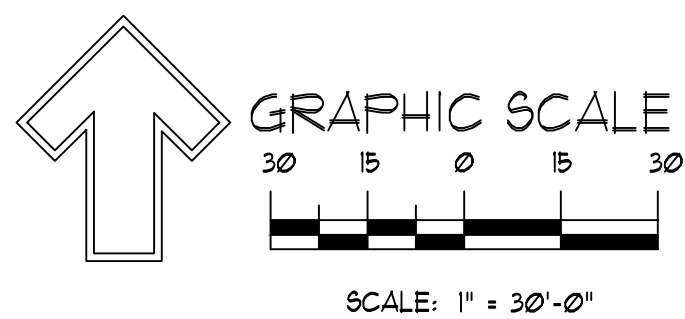
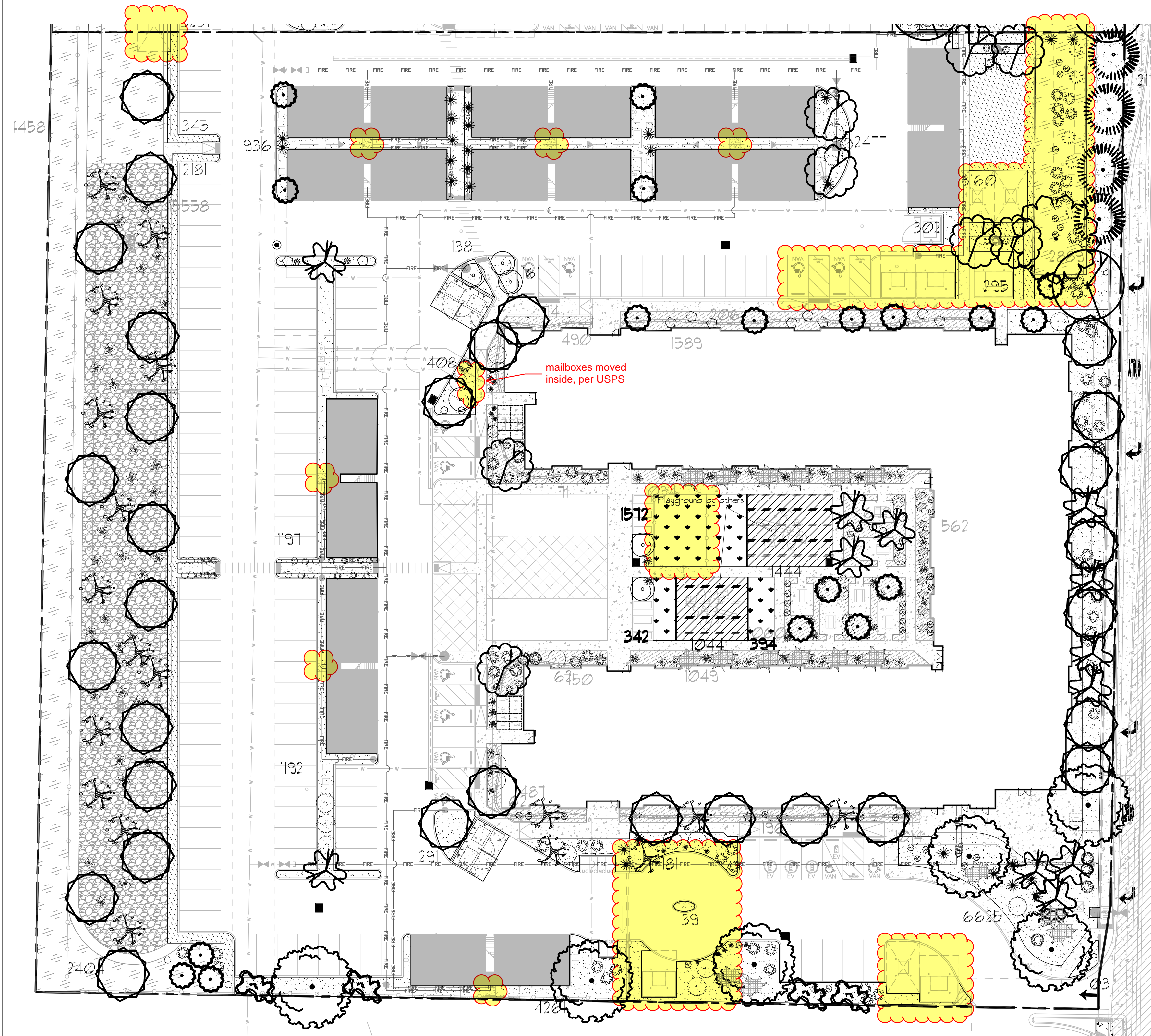
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J	V.E.	11.11.22
O	RFI 007	07.26.23
SS	RFI-067	04.15.24
VV	ASI-011	07.23.24

project: 200207
date: 02.08.2024

permit set

architectural details

a5.11



SAN ROQUE LANDSCAPE LEGEND

EVERGREEN TREES

QTY.	SIZE	COMMON/BOTANICAL NAME	DIMS	WATER USE	COVERAG E	TOTAL COVERAGE
4	6'-8'	Austrian Pine <i>Pinus nigra</i>	35'x25'	M	490.63	1962.52
4	4'-6'	Pinon <i>Pinus edulis</i>	30'x20'	M	314	1256.00

DECIDUOUS TREES

30	2" CAL	Desert Willow <i>Chilopsis linearis</i>	20'x25'	L	490.63	14718.90
18	2" CAL	New Mexico Olive <i>Forestiera neomexicana</i>	15'x15'	M	176.63	3179.34
1	2" CAL	Honey Locust <i>Gleditsia triacanthos</i>	50'x45'	M	1589.63	1589.63
1	2" CAL	Texas Red Oak <i>Quercus buckleyi</i>	40'x40'	M	1256	1256.00
6	2" CAL	Chinese Pistache <i>Pistacia chinensis</i>	45'x40'	M	1256	7536.00
8	2" CAL	Bradford Pear <i>Pyrus calleryana</i>	35'x25'	M	490.63	3925.04
12	2" CAL	Vitex <i>Vitex agnus-castus</i>	20'x20'	M	314	3768.00

TOTAL TREES:

84
TOTAL COVERAG E:
3919.43

SHRUBS & GROUNDCOVERS

QTY.	SIZE	COMMON/BOTANICAL NAME	HxW	WATE R USE	COVERAGE	TOTAL COVERAGE
8	5 Gal	Blue Mist <i>Caryopteris x chinensis</i>	3'x3'	M	1.07	56.56
18	5 Gal	Curl Leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15'x15'	L+	176.63	3179.34
11	5 Gal	Fernbush <i>Ericameria laricifolia</i>	4'x6'	L	28.26	310.86
12	5 Gal	Damianita <i>Orysactinia mexicana</i>	3'x3'	L+	1.07	84.84
9	5 Gal	Grey Leaf Cotoneaster <i>Cotoneaster buxifolius/glaucophyllus</i>	8'x10'	M	18.50	106.50
27	5 Gal	Sotol Yucca <i>Dasylirion wheeleri</i>	5'x5'	L	19.63	530.01
10	5 Gal	Turpentine Bush <i>Ericameria laricifolia</i>	3'x3'	L+	1.07	10.70
12	5 Gal	Manhattan Euonymus <i>Euonymus klatschevianus</i>	6'x6'	M+	28.26	339.12
12	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6'x7'	L	38.47	461.64
14	5 Gal	Red Yucca <i>Hesperaloe parvifolia</i>	3'x3'	L+	1.07	98.98
6	5 Gal	Althea 'Rose of Sharon' <i>Hibiscus syriacus</i>	10'x10'	M	18.50	471.00
11	5 Gal	Blue Holly <i>Ilex x neriifolia</i>	7'x5'	M+	19.63	215.93
6	5 Gal	Spartan Juniper <i>Juniperus chinensis 'Spartan'</i>	15'x6'	L+	28.26	169.56
17	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1'x12'	M	113.04	1921.68
17	5 Gal	Morning Light <i>Miscanthus sinensis var.</i>	5'x5'	M	19.63	333.71
6	5 Gal	Deer Grass <i>Muhlenbergia rigens</i>	4'x4'	L+	12.56	75.36
49	5 Gal	Beargrass <i>Nolina texana</i>	4'x5'	L	19.63	961.87
42	5 Gal	Red Switch Grass <i>Panicum virgatum</i>	4'x3'	M	1.07	296.34
13	5 Gal	Potentilla <i>Potentilla fruticosa</i>	3'x3'	M	1.07	91.91
63	5 Gal	Tree Leaf Sumac <i>Rhus trilobata</i>	6'x6'	L+	28.26	1780.38
13	5 Gal	Knock Out Roses <i>Rosa Knock Out'</i>	3'x4'	L	12.56	163.28
8	5 Gal	Autumn Sage <i>Salvia greggii</i>	2'x3'	M	1.07	56.56

TOTAL SHRUBS:

384
TOTAL COVERAGE:
12376.73

LANDSCAPE NOTES:
The Landscape Contractor is responsible for their own takeoff of quantities and materials. The quantities shown in the legend are for permitting only and shall not be considered for bidding purposes. Any discrepancy between quantities shown on the plan and in the legend shall be ruled by quantities and areas as shown on the plan.

All Nursery stock shall meet the standards of the American Standard for Nursery Stock, April 14, 2014 Edition, ANSI Z601-2014. Only plant material meeting the standards of this publication will be accepted. Only Grade A, number one plant material shall be used. Any trees, shrubs, or groundcover not meeting this requirement shall be removed from the project at the contractors expense, and replaced with material meeting the American Standard requirements. It is the discretion of the Landscape Architect to reject any and all plants not meeting this standard and require replacement at the Contractors expense.

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all landscaping in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel to a minimum depth of 3" shall be placed in all landscape areas as indicated on the plan. Any area that is less than 3" shall be rejected and repaired at the Contractors expense.

14" Pond stabilization to follow section 1013.

5-6" (C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-UC-M5 areas.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	240983
TOTAL BUILDING AREA (SF)	41753
TOTAL NET LOT AREA (SF)	199230
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	29885
TOTAL ON-SITE LANDSCAPE PROVIDED (SF)	61853
TOTAL VEGETATIVE COVERAGE REQUIRED (SF)	50890
TOTAL VEGETATIVE COVERAGE PROVIDED (SF)	91568.16
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF)	12722
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF)	12376.73
PARKING TREES REQUIRED	16
PARKING TREES PROVIDED	26
COOL SEASON GRASS % (NO MORE THAN 10%)	8%
1ST KIND STORY TREES REQUIRED	55
1ST KIND STORY TREES PROVIDED	78

Landscape calculations in the original approved site plan were calculated for the entirety of the site and have been amended to reflect each building respectively.

Gravels and Other Landscape Covers

2	Boulders Bury 1/3 Moss Rock or Equal
80930	Amaretto Brown, Crushed Concrete Basecourse
21902	Landscape Gravel A / Filter Fabric 3/8"-1" Amaretto Brown Gravel
9489	Landscape Gravel B / Filter Fabric 3/8"-1" Blue Sals
16229	Oversize Landscape Gravel / Filter Fabric 2"-4" Blue Sals
2488	Playground Surface By Owner
2308	artificial turf
7347	Native Seed Area High Desert Mix
95 LF	Landscape Concrete Curb

REVISIONS

Date	By	Engineer Comments
8/14/2024	EW	

DESIGNED BY: EW

DRAWN BY: EW

APPROVED BY: D.Mitchell

DATE: 8/14/2024

NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.nmonecall.org

Call two working days before you dig.

FILE ID:

LANDSCAPE PLAN

La Serena Apartments
Albuquerque, NM 87121 157
Coors Blvd. NW

Mitchell Associates, Inc.

205.639.9883

danny@mitchellassociatesinc.com

Seal:

8/14/2024

Project No. 2024-058

DRAWING NO. **LS-101**

LA SERENA LANDSCAPE LEGEND

EVERGREEN TREES

QTY.	SIZE	COMMON/BOTANICAL NAME	DIMS	WATER USE	COVERAG E	TOTAL COVERAGE
8	6'-8'	Austrian Pine <i>Pinus nigra</i>	35'x25'	M	490.63	3925.04
11	4'-6'	Pinon <i>Pinus edulis</i>	30'x20'	M	314	3454.00

DECIDUOUS TREES

8	2" CAL	Desert Willow <i>Chilopsis linearis</i>	20'x25'	L	490.63	3925.04
1	2" CAL	New Mexico Olive <i>Forestiera neomexicana</i>	15'x15'	M	176.63	1236.41
6	2" CAL	Honey Locust <i>Gleditsia triacanthos</i>	50'x45'	M	1589.63	9531.78
4	2" CAL	Texas Red Oak <i>Quercus buckleyi</i>	40'x40'	M	1256	5024.00
4	2" CAL	Chinese Pistache <i>Pistacia chinensis</i>	45'x40'	M	1256	5024.00
5	2" CAL	Bradford Pear <i>Pyrus calleryana</i>	35'x25'	M	490.63	2453.15
10	2" CAL	Vitex <i>Vitex agnus-castus</i>	20'x20'	M	314	3140.00
63					TOTAL COVERAG E:	37119.42

SHRUBS & GROUNDCOVERS

QTY.	SIZE	COMMON/BOTANICAL NAME	HxW	WATER USE	COVERAG E	TOTAL COVERAGE
19	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3'x3'	M	1.07	19.433
20	5 Gal	Curl Leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15'x15'	L+	176.63	3532.60
15	5 Gal	Ferriouah <i>Ericameria laricifolia</i>	4'x6'	L	28.26	423.90
14	5 Gal	Damianita <i>Chrysactinia mexicana</i>	3'x3'	L+	1.07	98.98
0	5 Gal	Grey Leaf Cotoneaster <i>Cotoneaster buxifolius/glaucophyllus</i>	8'x10'	M	78.50	0.00
8	5 Gal	Sotol Yucca <i>Dasylirion wheeleri</i>	5'x5'	L	19.63	157.04
14	5 Gal	Turpentine Bush <i>Ericameria laricifolia</i>	3'x3'	L+	1.07	98.98
0	5 Gal	Manhattan Euonymus <i>Euonymus klatschcnovicus</i>	6'x6'	M+	28.26	0.00
11	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6'x7'	L	38.41	423.17
16	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3'x3'	L+	1.07	113.12
10	5 Gal	Althea 'Rose of Sharon' <i>Hibiscus syriacus</i>	10'x10'	M	78.50	785.00
14	5 Gal	Blue Holly <i>Llex x meserveae</i>	7'x5'	M+	19.63	274.82
1	5 Gal	Spartan Juniper <i>Juniperus chinensis 'Spartan'</i>	15'x6'	L+	28.26	197.82
17	5 Gal	Buffalo Juniper <i>Juniperus sabinia 'Buffalo'</i>	1'x12'	M	113.04	1921.68
6	5 Gal	Morning Light Maidengrass <i>Miscanthus sinensis var.</i>	5'x5'	M	19.63	117.78
15	5 Gal	Deer Grass <i>Muhlenbergia rigens</i>	4'x4'	L+	12.56	188.40
48	5 Gal	Beargrass <i>Nolina texana</i>	4'x5'	L	19.63	942.24
18	5 Gal	Red Switch Grass <i>Panicum virgatum</i>	4'x3'	M	1.07	127.26
16	5 Gal	Potentilla <i>Potentilla fruticosa</i>	3'x3'	M	1.07	113.12
4	5 Gal	Three Leaf Sumac <i>Rhus trilobata</i>	6'x6'	L+	28.26	113.04
1	5 Gal	Knock Out Roses <i>Rosa 'Knock Out'</i>	3'x4'	L	12.56	87.92
22	5 Gal	Autumn Sage <i>Salvia greggii</i>	2'x3'	M	1.07	155.54
301					TOTAL COVERAG E:	10006.74

LANDSCAPE NOTES:
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14-If Pond stabilization to follow section 1013.

5-6(G)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 15 percent of any landscaped area, or 50 percent in DT-UC-M5 areas.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	149181
TOTAL BUILDING AREA (SF)	25324
TOTAL NET LOT AREA (SF)	123857
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	18579
TOTAL ON-SITE LANDSCAPE PROVIDED (SF)	49606
TOTAL VEGETATIVE COVERAGE REQUIRED (SF)	37205
TOTAL VEGETATIVE COVERAGE PROVIDED (SF)	47726.16
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF)	9301
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF)	10006.74
PARKING TREES REQUIRED	16
PARKING TREES PROVIDED	26
COOL SEASON GRASS % (NO MORE THAN 10%)	8%
1ST/2ND STORY TREES REQUIRED	55
1ST/2ND STORY TREES PROVIDED	78

Landscape calculations in the original approved site plan were calculated for the entirety of the site and have been amended to reflect each building respectively.

Gravels and Other Landscape Covers

3364	Anaretto Brown, Crushed Concrete Basecourse
20053	Landscape Gravel A / Filter Fabric 3/8"-1" Anaretto Brown Gravel
11112	Landscape Gravel B/ Filter Fabric 3/8"-1" Blue Sals
36930	Oversize Landscape Gravel / Filter Fabric 2"-4" Blue Sals
11537	Native Seed Area High Desert Mix

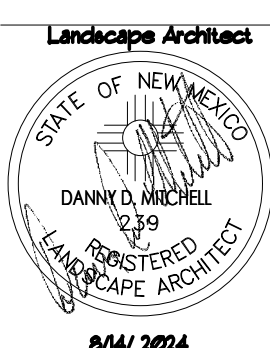
LANDSCAPE PLAN

La Serena Apartments
Albuquerque, NM 87121 157
Coors Blvd. NW

Michell Associates, Inc.



Seal:



Project No. 2024-058
DRAWING NO: LS-102

