



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
☐ Archaeological Certificate (Form P3)	☐ Site Plan – EPC including any Variances – EPC (Form P1)	☐ Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
☐ Historic Certificate of Appropriateness – Minor (Form L)	☐ Master Development Plan (Form P1)	☐ Adoption or Amendment of Historic Designation (Form L)
☐ Alternative Signage Plan (Form P3)	☐ Historic Certificate of Appropriateness – Major (Form L)	☐ Amendment of IDO Text (Form Z)
☐ Minor Amendment to Site Plan (Form P3)	☐ Demolition Outside of HPO (Form L)	☐ Annexation of Land (Form Z)
☐ WTF Approval (Form W1)	☐ Historic Design Standards and Guidelines (Form L)	☐ Amendment to Zoning Map – EPC (Form Z)
	☐ Wireless Telecommunications Facility Waiver (Form W2)	☐ Amendment to Zoning Map – Council (Form Z)
		Appeals
		☐ Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: City of Albuquerque Saif Ismail		Phone: 505-768-5391
Address: 1 Civic Plaza 7th Floor		Email: sismail@cabq.gov
City: ALBU	State: NM	Zip: 87107
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List all owners:

BRIEF DESCRIPTION OF REQUEST

installing curbside structure to install solar PV panel

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: A1 A1 A Lovelace Hospital	Block: N/A	Unit: N/A
Subdivision/Addition: Lovelace Hospital	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): M-18-2	Existing Zoning: IDO	Proposed Zoning: MX-H
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 5400 Gibsons E Between: Gibson and: Sam Mateo

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: Saif Ismail	Date: 5-10-24
Printed Name:	☒ Applicant or ☐ Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS☐ **ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☒ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ✓ 1) Development Review application form completed, signed, and dated
- ✓ 2) Form P3 with all the submittal items checked/marked
- ✓ 3) Zone Atlas map with the entire site clearly outlined and labeled
- NA 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ✓ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ✓ 8) The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information need on the proposed Site Plan
Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

City of Albuquerque
Department of Municipal Development
1801 4TH Street NW, Building B
Albuquerque, New Mexico 87103

City of Albuquerque PV Solar Energy Projects

To: Planning Department, City Of Albuquerque, Site Development Plan Request

Subject: City of Albuquerque Solar Energy Projects Gibson Health Hub

The city of Albuquerque is Achieving a New Carport structure PV Solar Energy Project

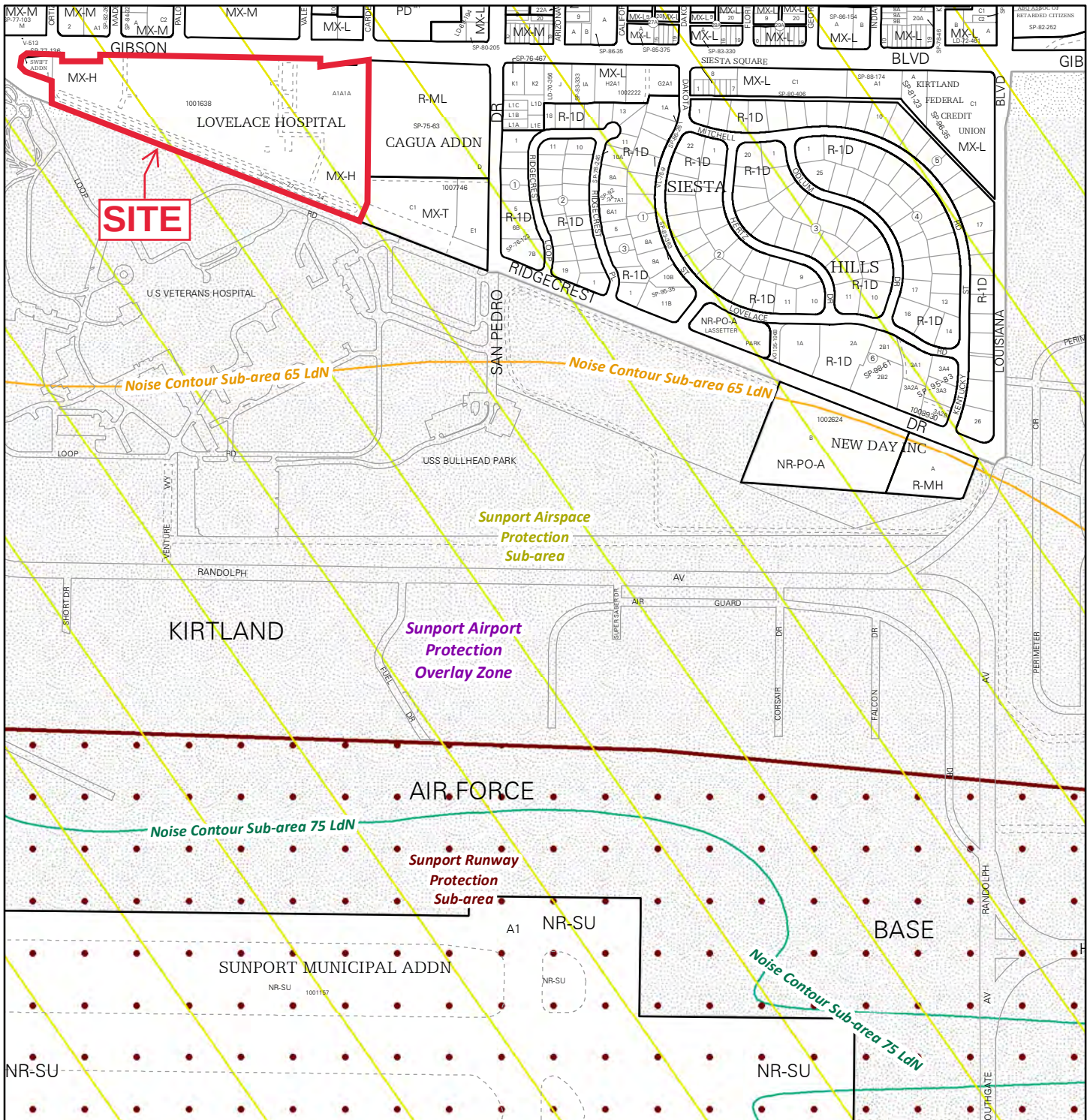
Type:

- **Covered parking**

This project involves the implementation of highly efficient, complete photovoltaic solar energy systems designed to reduce the energy load for the facility. The scope of services for each project will encompass the design and installation of a suitably sized solar array for covered parking. This installation will comply with all relevant regulatory and interconnectivity requirements as detailed in the Scope of Services. There will be no changes to any parking spaces or the site plan..

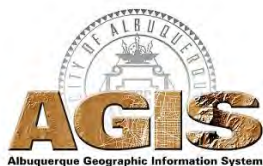
Main Point of Contact:

SAIF ISMAIL, CEM
Energy and Sustainability Division Manager
Energy & Sustainability Management Division
1 Civic Plaza, 7th Floor ESMD
Albuquerque NM 87102
O (505)768-5391
C (505)228-1827
Email: sismail@cabq.gov

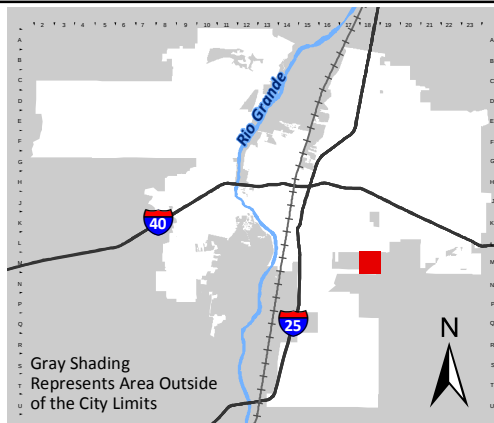


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
M-18-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

OFFICIAL NOTIFICATION OF DECISION

City of Albuquerque
Municipal Development Department
Planning Division
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: August 16, 1985

NOTIFICATION OF DECISION

Kevin Tucker & Associates, Inc.
312 19th Avenue North,
Nashville, Tennessee 37203

File: Z-85-73-1

Location: A tract of land situated in the N1/2, NW1/4, Sec. 36, T10N, R3E, located on the south side of Gibson Boulevard S.E. between Ridgcrest Drive S.E. and San Pedro S.E., containing approximately 16.65 acres. (N-18)

On August 15, 1985, the Environmental Planning Commission voted to approve the change of zone from C-2, C-1 and O-1 to SU-1 for Hospital and Related Facilities and the Site Development Plan for the above reference property based on the following Findings.

Findings:

1. The requested zone map amendment is consistent with the Comprehensive Plan's development objectives for the Established Urban Area.
2. The site has exceptional physical conditions, which are the triangular shape and constriction by two public streets.
3. The site development plan provides for effective and harmonious development of the site.

Conditions:

1. The site plan shall indicate stairs to connect the parking area on Ridgcrest Drive with the parking lots at the places indicated in the staff report; the retaining wall is to be modified to reduce the effect of a long blank wall; signs are to be free standing, approved by staff and in keeping with the general design of the building; sidewalks, where possible, are to extend from the property line to the curb.
2. The landscape plan shall specify the numbers of, and botanical and common names of large deciduous trees. The location of trees should be determined.
3. Handicapped parking spaces immediately to the west of the main entrance must be satisfactory to the Traffic Engineer.
4. Modifications to the southwesterly entrance must be satisfactory to the Traffic Engineer.
5. A replat to combine all of the lands under the control of the Lovelace Foundation must take place prior to final sign-off by the Development Review Board.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY 8/30/85 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$40 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Any person aggrieved with any determination of the Environmental Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 60 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,


Phil Garcia
Assistant City Planner

PG/djw

cc:

Lovelace Medical Center, 5400 Gibson Boulevard SE, 87108
Mr. Hicks, 112 Second Street SW, 87102

LETTER OF ADVICE

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION

AGENDA NUM 32
ENVIRONMENTAL PLANNING COMMISSION
August 15, 1985
Z-85-73-1

Z-85-73-1 Kevin Tucker and Associates, Inc. agents for Lovelace Medical Center requests a change of zone from C-2, C-1 and D-1 to SU-1 for Hospital and Related Facilities and Site Development Plan approval for a tract of land situated in the N1/2, NW1/4, Sec. 16, T10N, R1E, located on the south side of Gibson Boulevard S.E. between Ridgecrest Drive S.E. and San Pedro S.E., containing approximately 16.65 acres. (M-18)

COMMENTS FROM OTHER DEPARTMENTS:

ENVIRONMENTAL HEALTH AND ENERGY DEPARTMENT

Air Pollution Control Division

"A Top Soil Disturbance Permit will be required prior to earthwork."

Administration

"No adverse comment."

FIRE/Planning

"Siesta Hills Neighborhood Association has been notified."

HUMAN SERVICE/Neighborhood Coordination

MUNICIPAL DEVELOPMENT

Engineering

"Hydrology has no objections to the zone change. A Drainage Report must be reviewed and approved prior to site development plan sign-off."

Zoning Enforcement Officer

"No adverse comment."

PARKS AND RECREATION/Planning

"No adverse comment."

POLICE/Planning

"No adverse comment."

PROPERTY MANAGEMENT/Real Estate Officer

"No adverse comment on zone change. Two existing compactors maybe adequate, as per conversation with representative of Lovelace Medical. May require extra compactor at future date."

REFUSE REMOVAL AND SERVICES/Refuse Division

TRANSIT/Planning

"Currently the routes 9 and 55 operate on Gibson Blvd. adjacent to this site. The developer is entitled to a 10% bus route proximity credit, bringing the total parking requirement to 789 spaces. The nearby location of Lovelace Medical Center and KAFB have combined to make this segment of Gibson an area of good transit ridership. Transfers from the Route 4, San Mateo, to the routes 9 and 55 have been substantial. Transit amenities on this segment of Gibson would be well used and valuable. Sun-Tran requests that two bus pull off bays with passenger waiting shelters be provided as part of the development. One should be located on Gibson approximately 75 feet from the West end of the site. The second facility should be located on Gibson approximately across from the east end of the circular drive at the main entrance. Sun-Tran staff should be consulted prior to construction to finalize the location and design of the facilities. The developer would be allowed an additional 5% parking credit."

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION

AGENDA NUMBER
ENVIRONMENTAL PLANNING COMMISSION
August 15, 1985
Z-85-73-1

TRANSPORTATION

Traffic Engineer

Planning/Programming

"See attached memo."

"The Lovelace site plan bears on possible future improvement of Gibson Boulevard and/or Ridgecrest Drive. The South Urban Area Corridor Study (SUACS), presently underway by the State Highway Department, City of Albuquerque, and Bernalillo County, is examining various alternatives for improving Gibson Boulevard and/or Ridgecrest Drive to handle projected traffic volumes. Recommendations of the study are not yet available, however, the following interim comments are offered.

The existing right-of-way (R/W) on Gibson Blvd. is 100 feet, whereas the standard for a Principal Arterial in a developed area is 124 feet. Inasmuch as some type of improvement to Gibson is strongly indicated and is actively being considered, it would be prudent to require dedication of a minimum of 12 additional feet as a condition of approval (124-100=24; 2=12).

The site plan changes the medical center's access points along Gibson Boulevard, which is some improvement over the present. Nothing is shown, however, about the existing handicapped crosswalk. If there is to be such a crosswalk, it should be relocated from its current mid-block location. In relation to the Gibson Boulevard alternatives being considered, a crosswalk at the Valencia Drive intersection would probably be appropriate.

There are currently alternatives being evaluated for the Gibson Boulevard improvement and inasmuch as recommendations and decisions are not yet available, no precise R/W requirement or location can be stated at present. Recommendations are anticipated about September 30, 1985. In any case, however, the site plan shows building additions which narrow the distance between the main hospital building and both Gibson Blvd. and Ridgecrest Drive. If approved as submitted, future widening or improvement of the street (for any of the above alternatives) would be extremely difficult. Moreover, the accessways will not work well in relationship to any high-standard street -- radii are too small and there is not enough throat (length) to the openings. Deferral until October and discussions between the study team and the applicant are requested. (See attached comments from the State Highway Department.)"

WATER RESOURCES/Engineering Department

"No comment on the zone change request. If new water and/or sewer services are required, they must be coordinated through WRD."

COMMENTS FROM OTHER AGENCIES

ALBUQUERQUE FLOOD CONTROL AUTHORITY

ALBUQUERQUE PUBLIC SCHOOLS

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION

AGENDA NUM 02
ENVIRONMENTAL PLANNING COMMISSION
August 15, 1985
Z-85-73-1

MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS

"The Long Range Major Street Plan designates Gibson as a principal arterial with a required 124 feet of right-of-way. Adequate right-of-way for Gibson should be reserved.

Ridgecrest is still under consideration as an alternative in the Gibson East Study and may be used as a thoroughfare. Right-of-way should be retained until at least a preferred alternative is selected. Several of the Gibson East alternatives would result in the conversion of the segment between San Mateo and Louisiana to a limited access expressway. Provision for alternate ingress/egress to the Lovelace site should be addressed by the applicant."

STATE HIGHWAY DEPARTMENT

"This site development plan has a great impact on some of the 'Gibson East' alternatives being considered by the SUACS team."

PLANNING DIVISION COMMENTS TO THE ENVIRONMENTAL PLANNING COMMISSION, 7/18/85:

Request Summary:

A zone map amendment and site development plan approval is requested to permit the physical upgrading of one of the metropolitan area's major general hospitals. Demolition, new construction, and rehabilitation will occur on various parts of the 16 acre site. Two variances are also requested as part of the site development plan. One is to allow the part of the south elevation to be constructed to the property line. The other is to permit street trees in the right-of-way on Gibson Boulevard SE.

Applicable Plans and Policies:

The Comprehensive Plan designates this area Established Urban. Development objectives for the Established Urban area include maintenance, improvement, rehabilitation and redevelopment for developed land and residential in-fill for vacant land. The Plan's standard applicable to site development plan review are Urban Area Policy M, concerning architectural design quality in all new development, and Policy O, concerning minimizing the visual distraction of signs.

Neither an Area Plan nor a smaller scale sector development plan containing additional standards for zone map amendments has been prepared for this part of the City. City Council Resolution 270-1980, Policy on Zone Map Amendments, is therefore also used to evaluate the zone map amendment request.

The Long Range Major Street Plan designates Gibson Boulevard as a principal arterial street.

Area Characteristics and Zoning History:

This part of the Established Urban area has been identified by previous planning studies as the Southeast district, defined by Girard Boulevard, Wyoming Boulevard, Central Avenue, and Gibson Boulevard and Kirtland Air Force Base.

The very urban character of this district is enhanced by its age. It is the first area to experience the City's rapid post 1940 growth. It is nearly completely developed. The district's character has been heavily influenced by proximity to Kirtland Air Force Base resulting in major urban uses represented by the Veterans Administration and the Lovelace Hospitals. Both of these influences have resulted in the district having a very large variety of housing types.

The development pattern in the district is rather uniform, with residential areas bordered by arterial streets developed with retail and some service commercial uses.

Land use in the vicinity of the site varies from this general pattern. The Veteran's Administration hospital is immediately south of the site. The City's USS Bullhead Park is south of the site and west of the Veteran's Administration Hospital. Land to the west of San Mateo Boulevard is the undeveloped edge of Kirtland Air Force Base (south of Gibson) and apartments north of Gibson. Land to the north is developed with retail and service commercial uses. Residential land uses (apartments, a nursing home and single family dwellings) are on the east.

Few zone changes and special exceptions have occurred on the site or in its vicinity. A Special Exception was approved on March 8, 1965 for a non commercial radio receiving system for medical research requiring a 105 foot antenna and tower (BA-1934). The tower location was adjacent to Ridgecrest Drive between Cardenas and Cagua Drives if extended.

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION

AGENDA NUMBER
ENVIRONMENTAL PLANNING COMMISSION
August 15, 1985
Z-85-73-1

A zone map amendment west of the site from O-1 and SU-1 for Apartments (319 dwellings in a four story building) was approved on the January 16, 1975 by the Environmental Planning Commission (Z-75-4). Annexation of USS Bullhead Park south of the site was indefinitely deferred by the Environmental Planning Commission on August 20, 1981 (AX-81-5; Z-81-78).

Analysis

1. Zone Map Amendment

A general hospital is one of the most intensive uses of land in an urban area. In addition to being a major source of employment. Its activity occurs 365 days per year, twenty-four hours daily. Hospitals attract other land uses over time, including retailing and service commercial (restaurants, transient lodging), and offices. They also attract many trips, many of which can best be served by transit to both reduce street congestion and to minimize the use of expensive urban land for on site parking.

The characteristics of a hospital are so different from other land uses that they require special consideration not provided for in the standard zones in the Zoning Code.

The amendment to SU-1 for a Hospital and Related Facilities best provides the necessary flexibility to modernize this large and complex facility.

The site is presently zoned C-1, C-2 and O-1, in which a hospital is a non-permissive, permissive, and conditional use respectively.

The C-2 zoned area (excluding Lot 1) is approximately six acres and is generally used for parking. The C-1 and O-1 zoned areas (excluding Lots C, D, and E) are approximately 10.5 acres and contain the original Bataan Memorial Methodist Hospital.

2. Site Development Plan

The site development plan considered by the Commission on August 15th contains revisions of the original submittal for July 30th. The revisions respond to the interdepartmental review comments directed to the earlier version.

The revised site development plan is very thorough in concept and in detail, indicating a high degree of commitment to successfully accommodate the project within the confines of this triangular site.

The site does have exceptional physical conditions, a requirement of Section 42.C.2 in requesting variances.

The size of the site and the location of large existing structures (the exceptional physical condition) does not permit dedication of the twelve feet recommended by the Transportation Department to bring Gibson Boulevard up to current standards for a principal arterial street. This would reduce the parallel access drive to such an extent that the main entrance and many other features would require substantial change, virtually requiring a complete redesign of the entire hospital.

a. Site Plan

General project information is complete with the exception of total square footage to be demolished, remain, and added and building colors. The geographic scope of the revised plan now extends to the small triangular parcel west of the main structure.

Additional phases are identified. One is at the triangular west end of the site where a building will be converted to another medical use. The other is the northeast corner of the expanded center, marked future educational building. Another is a large parking garage proposed as a westward extension of the expanded building. Less detail is appropriately shown for this second phase, requiring future amendment of the plan.

Structural information is complete. The medical center presently consists of eleven permanent buildings. Three will be demolished: the Clinic (Building 1 on the west end); the Purchasing Department Building (Building 10 on the east end). The Radiation Therapy Lab (Building 2) will be demolished. All other buildings will be retained, except Buildings 12 and 13, these temporary buildings will be removed after construction is complete. They will be remodelled and expanded to the east as a single structure. Part of the expanded building would be built to the property line.

The expanded structure admirably retains traces of Pueblo Revival design which has continuously characterized this site. Building 1, the Clinic, dating from 1949 was designed by John Gaw Meem. Orientation to the street is also retained and improved.

Because of the slope of the site, most of the southern edge will be bordered by a retaining wall. The wall height is not specified on the plan. The linearity of the wall should be broken up to avoid a fortress-like appearance and steps should be added from Ridgecrest Drive, (the higher elevation) to the parking lots in two places: opposite the transit shelter on the west end of the site, and at the west end of the expanded building. This would improve internal pedestrian circulation.

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION

AGEND NUMBER: 02
ENVIRONMENTAL PLANNING COMMISSION
August 15, 1985
2-85-73-1

CONDITIONS:

1. The site plan shall indicate stairs to connect the parking area on Ridgecrest Drive with the parking lots at the places indicated in the Staff report; the retaining wall is to be modified to reduce the effect of a long blank wall; signs are to be building mounted; sidewalks are to extend from the property line to the curb.
2. The landscape plan shall specify the numbers of and botanical and common names of large deciduous trees.

Jon P. Messier
Jon P. Messier
Senior Planner

JPH/djw

cc: Kevin Tucker and Associates, Inc., 312 19th Avenue North, Nashville, Tennessee, 37203
Lafayette Medical Center, 5400 Gibson Boulevard, 87108

IT IS REQUESTED THAT THE APPLICANT/AGENT BE PRESENT AT THE HEARING.

Non-structural information is also complete with one exception of detail. The plan depicts the location of two free standing thirty foot high signs; they are not otherwise depicted. Building mounted signs are more appropriate. Parking quantity, arrangement, are adequate and location is acceptable. Ridgecrest Drive continues to be used as a major proportion of the site's parking. With employee parking separated from the balance of the users. A parking deck is shown to accommodate future parking needs. The Traffic Engineering Division previously suggested changes concerning the size of handicapped and non-handicapped spaces, parking on the main entrance drive paralleling Gibson Boulevard, and more direct access to parking lots on the east and west sides of the site and to the service areas on the south. All of these changes have been made on the revised plan. The Planning and Programming Division also suggests relocating the crosswalk on Gibson Boulevard. The revised plan relocates the crosswalk from its present mid-block location eastward to the Valencia/Gibson intersection.

Two landscaped transit shelters with pull-off bays auto be provided in response to the comments of the Transit Department. They will be similar to those scheduled for San Mateo Boulevard.

The helicopter landing pad in the east parking lot is optimally located for the expanded center's internal arrangements. It may be a safety hazard, however, during the aircraft's infrequent use. Staff discussion with the medical center's designers indicate that another location is not available.

b. Landscaping Plan

This element utilizes landscaping in an exemplary manner. It relates the site to public improvements scheduled for San Mateo Boulevard (terminating west of the site) and uses it to soften the visual impact of the building's massing.

The landscaping plan requires some modification regarding shade trees. The plan identifies three types of shade tree: Green Ash, Zelcovia, and River Birch. Because there are many species of Green Ash, the landscaping plan must specify the particular species to be used. Marshall Seedless Green Ash is an appropriate species for this climate and has a taller canopy at maturity than more commonly used Modesto Ash. Trees with a taller canopy would visually aid breaking up the building mass. The landscaping plan also identifies the use of Zelcovia, (a substitute for the Elm; this may not be available) and River Birch, (a tree not appropriate to this environment). Sycamores and Maples are an appropriate substitute species. The common and the botanical names of the trees as well as the number of each species must be more explicitly identified on the landscaping plan.

The plan proposes a variance from the street tree ordinance. Trees are proposed to be placed in Gibson's right-of-way similar to the San Mateo Boulevard street landscaping project but closer to the curb. This variance is necessary if street trees are to be planted at all, as required by ordinance. Placing trees in the sidewalk requires adequate space from the curb and sufficient room for unimpeded pedestrian circulation. Proper tree placement for the requested variance is two feet in back of the curb. This conforms to the pending amendment to the Street Tree Ordinance. A small extension of the sidewalks to the property line allows full compliance with the Sidewalk Ordinance.

c. Drainage Plan

The conceptual drainage plan has also been slightly revised and a drainage report has been submitted to the Engineering Division for review. Any necessary changes in the drainage plan will be identified by the review and will be made prior to re-submittal of the Site Development Plan to the Development Review Board for final sign-off.

FINDINGS:

1. The requested zone map amendment is consistent with the Comprehensive Plan's development objectives for the Established Urban area.
2. The site has exceptional physical conditions.
3. The site development plan provides for effective and harmonious development of the site.

RECOMMENDATION:

APPROVAL of Z 85-73-1 is recommended based on the preceding Findings and subject to the following Conditions.

OFFICIAL NOTIFICATION OF DECISION

City of Albuquerque
Municipal Development Department
Planning Division
P.O. Box 1293, Albuquerque, New Mexico 87103

RECEIVED
AUG 26 1985

Date: August 16, 1985

KEVIN TUCKER & ASSOCIATES

NOTIFICATION OF DECISION

Kevin Tucker & Associates, Inc.
312 19th Avenue North,
Nashville, Tennessee 37203

File: Z-85-75-1

Location: A tract of land situated in the N1/2, NW1/4, Sec. 36, T10N, R3E, located on the south side of Gibson Boulevard S.E. between Ridgecrest Drive S.E. and San Pedro S.E., containing approximately 16.65 acres. (A-10)

On August 15, 1985, the Environmental Planning Commission voted to approve the change of zone from C-2, C-1 and O-1 to SU-1 for Hospital and Related Facilities and the Site Development Plan for the above reference property based on the following findings:

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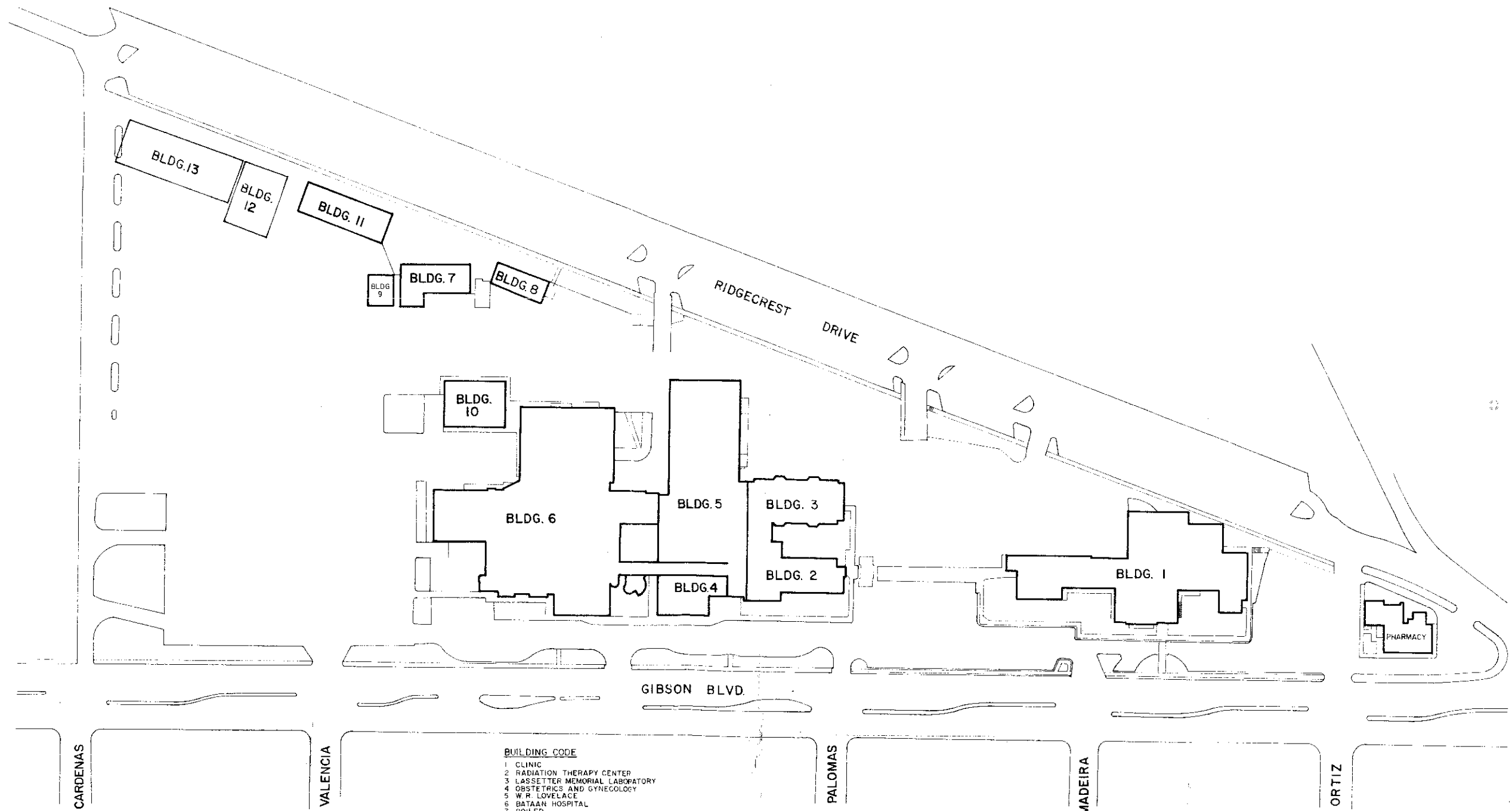
If you wish to appeal this decision, you must do so by 8/30/85 in the manner described below. A non-refundable filing fee of \$40 is required at the time the appeal is filed.

Appeal to the City Council: Any person aggrieved with any determination of the Environmental Planning Commission under this ordinance may file an appeal to the City Council by submitting written application on the planning division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday is listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinance have been properly followed. If it decides that an appeal shall be heard within 60 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSIVE APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

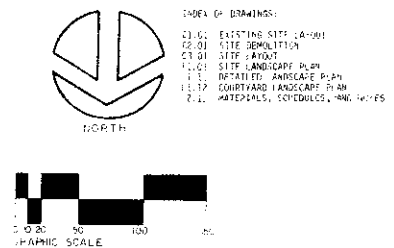
Assistant City Planner

LETTER OF ADVICE



I certify that these plans are consistent with the change of zone from C-2, R-1, and O-1 to M-1 for Hospital and Related Facilities and the specific Site Development Plan approved by the Environmental Planning Commission on August 15th, 1989 (File Number: 7-85-73-1), and that the five conditions of that approval have been satisfied.

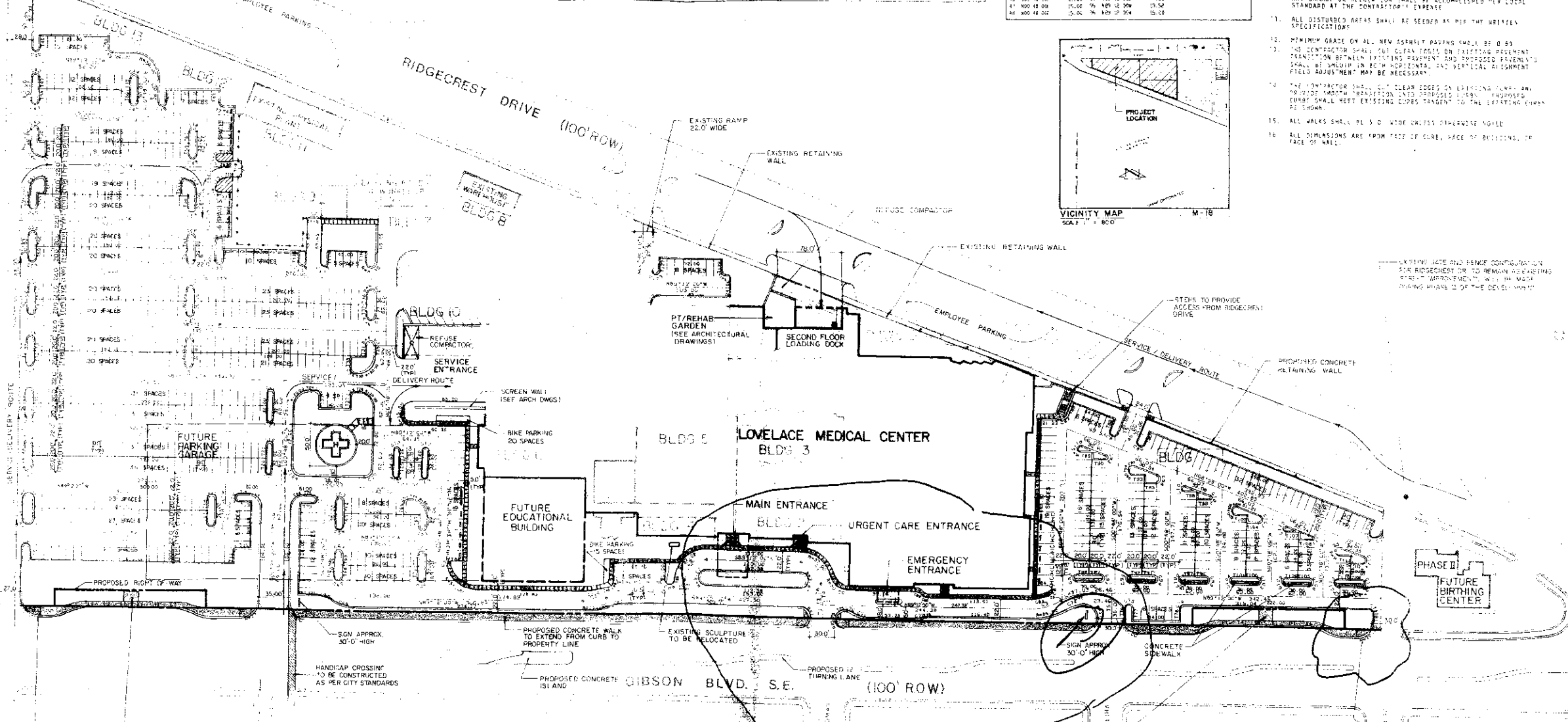
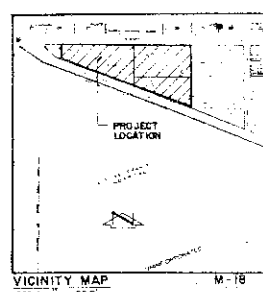
City Planning: *Rubén D. Rojas* Date: 1-23-96
 Traffic Engineering: *Robert J. Smith* Date: 1-2-96
 City Engineering/MAACA: *Paul H. Jones* Date: 1-2-96
 Water Resources: *Jim E. Estep* Date: 1-2-96
 Parks & Recreation: *Joan E. Davis* Date: 1-2-96



[illegible]

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141	NO	4000						

- "1. BASE INFORMATION IS A COPY OF THE SURVEY AND TOPOGRAPHIC PLAT PREPARED BY JOHN HARRIS & ASSOCIATES, INC., DATED AUGUST TURNER GROUP, P.C., ANY OF THEIR CONSULTANTS, AND ANY OTHER PARTY SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THIS INFORMATION. PHYSICAL FEATURES NOT DEMONSTRATED AS INDICATED ON SHEET C-2-01 HAVE BEEN REMOVED FROM THE LIST.
- "2. THE BUILDING LAYOUT SHALL BE BASED ON THE ARCHITECTURAL DRAWINGS AND COORDINATED WITH THE ARCHITECT AND EXISTING STRUCTURE TO REMAIN.
- "3. THE SITE LAYOUT SHALL BE BASED ON CONTROL POINTS AS NOTED HEREON. ADJUSTMENTS TO THE LAYOUT MAY BE NECESSARY IN THE FIELD TO MAINTAIN ALIGNMENT AND TO ACQUIRE THE DESIRED ALIGNMENT WITH EXISTING FEATURES TO REMAIN.
- "4. THE CONTRACTOR SHALL CHECK ALL GRADES AND FINAL DIMENSIONS BEFORE BEGINNING AND REPORT ANY DISCREPANCIES TO THE OWNER IMMEDIATELY FOR CORRECTION.
- "5. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS AS PER THE WRITTEN SPECIFICATION TO MAINTAIN THE EXISTING TREES AS INDICATED.
- "6. ALL PARKING SPACES ARE 9' 0" X 18' 0" TYPICAL, WITH VERGEHAIR DRIVES 24' 0" WIDE (MINIMUM) US DRIVEWAY.
- "7. ALL PARKING SPACES INDICATED WITH AN "H" OR "C" INDICATE HANDICAPPED ACCESSIBILITY. THE RECEIVED INTERSECTIONAL SYMBOL FOR HANDICAPPED ACCESSIBILITY IS A 6' 0" WIDE CURB CUT IN THE VEHICLE STALL AS INDICATED IN DETAIL 6, CS-08. THE SYMBOL SHALL BE PAINTED ON THE PAVED SURFACE BY THE WRITER SPECIFICATIONS.
- "8. THE PARKING STALLS SHALL RECEIVE A 4" ALUM WHITE, PAINTED LINE AS PER THE WRITTEN SPECIFICATIONS.
- "9. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL LAWS AND RECEIVE LOCAL APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION.
- "10. THE EXACT LOCATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. CARE SHALL BE TAKEN TO PROTECT ALL UTILITIES FROM AND TO REMAIN AND ALL CONSTRUCTION SHALL BE DONE IN SUCH A MANNER AS TO AVOID DAMAGE TO ANY UTILITY. ANY DAMAGE OR RELOCATION SHALL BE ACCOMPANIED PER LOCAL STANDARD BY THE CONTRACTOR'S EXPENSE.
- "11. ALL DISTURBED AREAS SHALL BE RESEED AS PER THE WRITTEN SPECIFICATIONS.
- "12. MINIMUM GRADE ON ALL NEW SLOPED PARKING SHALL BE 0.5%.
- "13. THE CONTRACTOR SHALL SET CLEAR ZONES ON PROPOSED SIDEWALK TRANSITION BETWEEN EXISTING PAVEMENT AND PROPOSED PAVEMENT INCLUDING IN THE CURBS, SIDEWALKS, AND VERTICAL ALIGNMENT FIELD ADJACENT. IT MAY BE NECESSARY
- "14. THE CONTRACTOR SHALL CLEAN GULLIES ON EXISTING LOWWAYS AND PROVIDE MATCH EXISTING GULLIES AND PROPOSED CURBS. PROPOSED CURBS SHALL MEET EXISTING SIDES TANGENT TO THE EXISTING CURVES OR CHANNEL.
- "15. ALL WALKS SHALL BE 5' 0" WIDE CROSS SECTION UNLESS NOTED

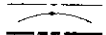


- BUILDING CODE
- 1 CLINIC
 - 2 RADIATION THERAPY CENTER
 - 3 LASSETTER MEMORIAL LABORATORY
 - 4 OBSTETRIC AND GYNCOLOGY
 - 5 W. R. LOVELACE
 - 6 BATAAN HOSPITAL
 - 7 BOILER
 - 8 WAREHOUSE
 - 9 CARPENTER AND PAINT SHOP
 - 10 PURCHASING
 - 11 PHYSICAL PLANT
 - 12 TRAILER / TEMPORARY OFFICE
 - 13 TRAILER / TEMPORARY OFFICE

GENERAL PROJECT DATA

- | | |
|---|-----------------|
| 1. <u>Required On Site Parking</u> | |
| 1 space per 4 beds: 230 beds | spaces |
| Classroom spaces per doctor: 310 doctors | spaces |
| Retail: 1 space per 200 sq. ft.: 3000 sq. ft. | spaces |
| Restaurant: 1 space per 4 seats | spaces |
| 100 bus zone proximity credit: | spaces |
| Total On-Site Required | spaces |
| 2. <u>Provided On Site Parking</u> | spaces |
| Wedgecrest Drive Parking | spaces |
| Total Parking Provided | spaces |
| 3. <u>Handicap Parking</u> | |
| Required: | spaces |
| Provided: | spaces |
| 4. Landscape Area (does not include 8.0 W.) | |
| Required: 7% of paved area | 29,562 sq. ft. |
| Provided: 31% | 129,875 sq. ft. |
| 5. This plan requests a waiver of the 0-1 setback requirements for the rear lot line condition along the southwest corner of the Hospital and Wedgecrest Drive. | |
| 6. This plan requests a waiver of the street tree ordinance along Gibson Boulevard S.E. | |

LEGEND

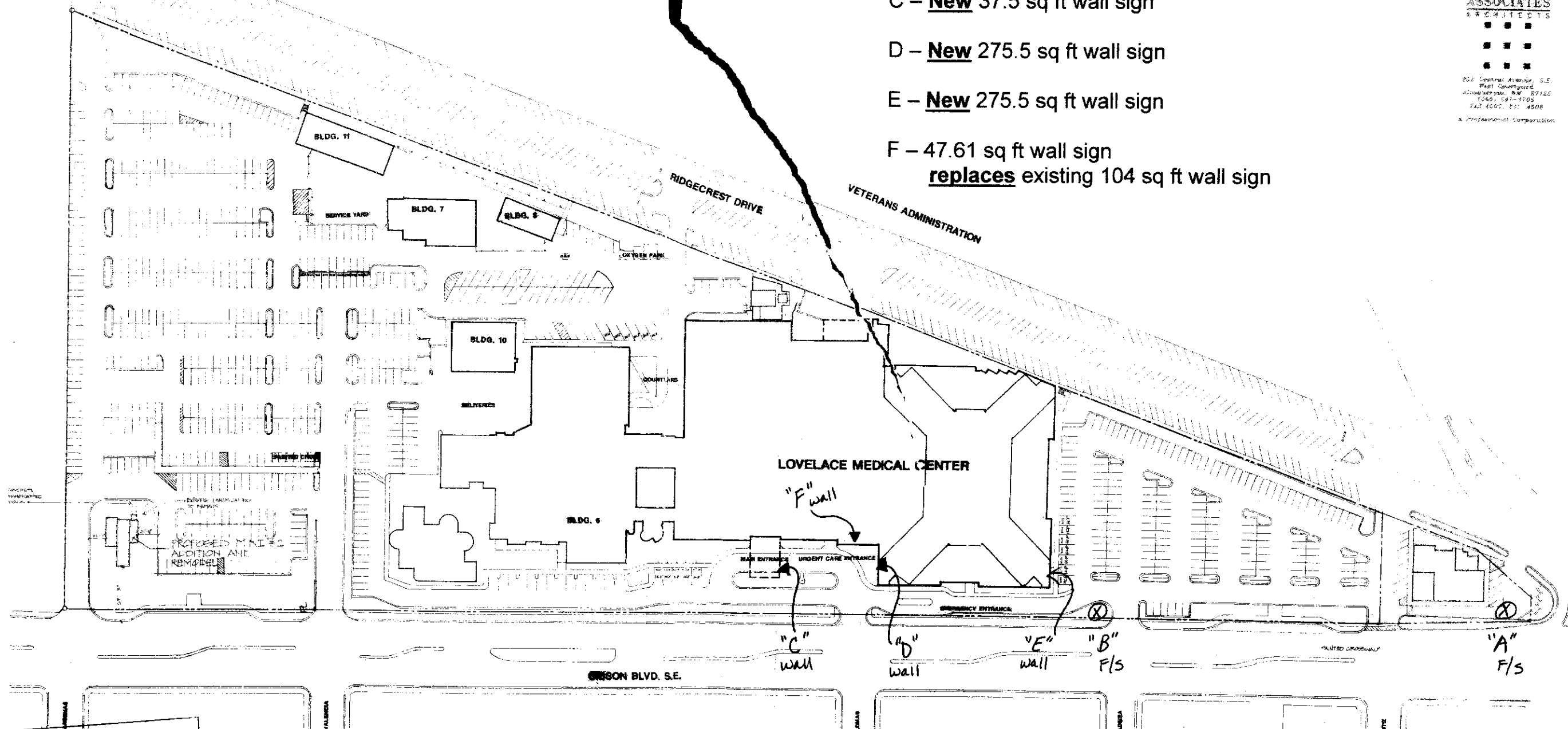
- 
- CENTERLINE OF ROADWAY
POINT OF CURVATURE
PROPERTY LINE
CURB AND GUTTER
EXISTING SIDEWALK
PROPOSED CONCRETE PADS
PROPOSED CONCRETE WALKS
ASPHALT PAVING



LOVELACE MEDICAL CENTER
ALBUQUERQUE, NEW MEXICO

BOLD TURNER GROUP PC
 1000 2nd Ave South
 Atlanta, GA 30309
 404.525.1000
 fax 404.525.1001
 e-mail info@bold.com
 website www.bold.com

- A – New 72 sq ft freestanding sign
- B – 29.25 sq ft freestanding sign, 9' high
replaces existing 32 sq ft freestanding sign, 8' high
- C – New 37.5 sq ft wall sign
- D – New 275.5 sq ft wall sign
- E – New 275.5 sq ft wall sign
- F – 47.61 sq ft wall sign
replaces existing 104 sq ft wall sign



ADMINISTRATIVE AMENDMENT

File #05-00589 Project #1001638

Approval of building-mounted signs only.

Bob Paul 5/17/05
APPROVED BY DATE

GENERAL PARKING AND LANDSCAPING DATA

REQUIRED ON-SITE PARKING

Hospital @ 1 space/2 beds, with 280 beds	115 sp.
Clinic @ 1 space/doctor, with 110 doctors	320 sp.
Realt @ 1 space/200 sq. ft., with 3,000 sq. ft.	15 sp.
Restaurant @ 1 space/4 seats, with 40 seats	10 sp.
Additional square footage remaining on site, of undetermined use @ 1 space/approximate average floor area ratio (FAR) of 1.0	99 sp.
Cosmetic Surgery Addition @ 3 spaces/doctor, with 3 doctors	15 sp.
Education Building - Second floor office space @ 1 space/300 sq. ft. net leasable area, with 3,775 sq. ft.	13 sp.
Magnetic Resonance Imaging Addition @ 1 space/200 sq. ft. of net leasable area, with 1,050 sq. ft.	5 sp.
Subtotal	826 sp.
Bus Route proximity credit, 10% reduction	-51 sp.
TOTAL REQUIRED PARKING	745 sp.

* NOTE: Existing staff to remain at 2 full-time employees at anytime. All patient appointments are scheduled.

TOTAL PARKING PROVIDED

Required	811 sp.
Provided	17 sp.
	33 sp.

LANDSCAPE AREA

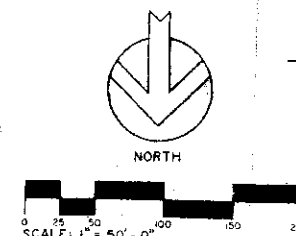
Required @ 7% of paved area	30,225 sq. ft.
Provided @ 3.1% of paved area	133,890 sq. ft.
Total required landscape area by Magnetic Resonance Imaging Addition and Remodel	-2,911 sq. ft.
Additional planting shown on Site Plan	

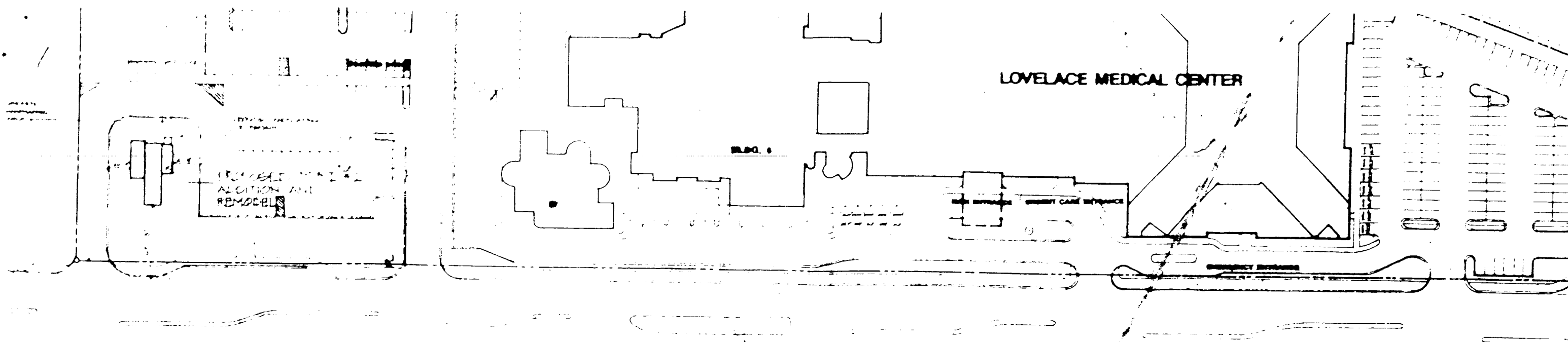
ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. Z-85-73-1
MRT P. 122 EXH. 1
3/10/05
DATE

AMENDED SITE LAYOUT LOVELACE MEDICAL CENTER

Magnetic Resonance Imaging #2 Addition and Remodel

20 JANUARY 1996





GENERAL PARKING AND LANDSCAPING DATA

REQUIRED ON SITE PARKING

Hospital @ 1 space/2 beds, with 230 beds	115 sp.
Clinic @ 1 space/doctor, with 110 doctors	550 sp.
Retail @ 1 space/200 sq.ft., with 3,000 sq.ft.	15 sp.
Restaurant @ 1 space/4 seats, with 40 seats	10 sp.
Additional square footage remaining @ this, of undetermined size @ 1 space/approximate average floor area ratio (= 609 sq.ft.) ... with	99 sp.
Cosmetic Surgery Addition @ 5 space/doctor, with 3 doctors	15 sp.
Education Building: Second floor office space @ 1 space/300 sq.ft. net leasable area, with 3,775 sq.ft.	13 sp.
Magnetic Resonance/Imaging Addition @ 1 space/200 sq.ft. of net leasable area, with 1600 sq.ft.	8 sp.
Subtotal	826 sp.
Bus Route proximity credit, 10% reduction	-81 sp.
TOTAL REQUIRED PARKING	745 sp.

NOTE: Existing staff to remain at 2 full-time employees at anytime. All patient appointments are scheduled.

TOTAL PARKING PROVIDED

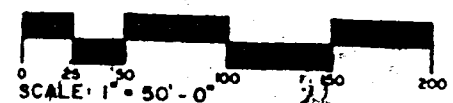
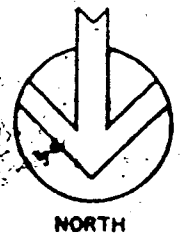
HANDICAP PARKING

Required	17 sp.
Provided	33 sp.

LANDSCAPE AREA

Required @ 7% of paved area	30,225 sq.ft.
Provided @ 3.1% of paved area	133,850 sq.ft.
Total required landscape area by Magnetic Resonance Imaging Addition (1600 sq.ft.)	-251 sq.ft.
Additional planting shown on site plan	

ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. Z-25-1
MSE PLANS DEPT.
SHOW AS SHOWN.
PLANNING DIRECTOR DATE



NEW PARKING REQUIRED:
 $745 + 1363/200 = 751$

NEW LANDSCAPING PROVIDED =
 $133,850 \text{ SF} - 1373 \text{ SF} = 132,477 \text{ SF}$

12/06/01

D
24

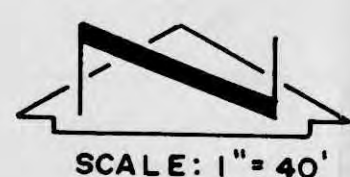
C
20

B
16

A
12

CITY OF ALBUQUERQUE

SAN MATEO BLVD. S.E.



SCALE: 1" = 40'

GIBSON

BOULEVARD

S.E.

LOT 1, SWIFT ADDITION

COSMETIC SURGERY
M18/D7a

WEST PARKING LOT
M18/D7b

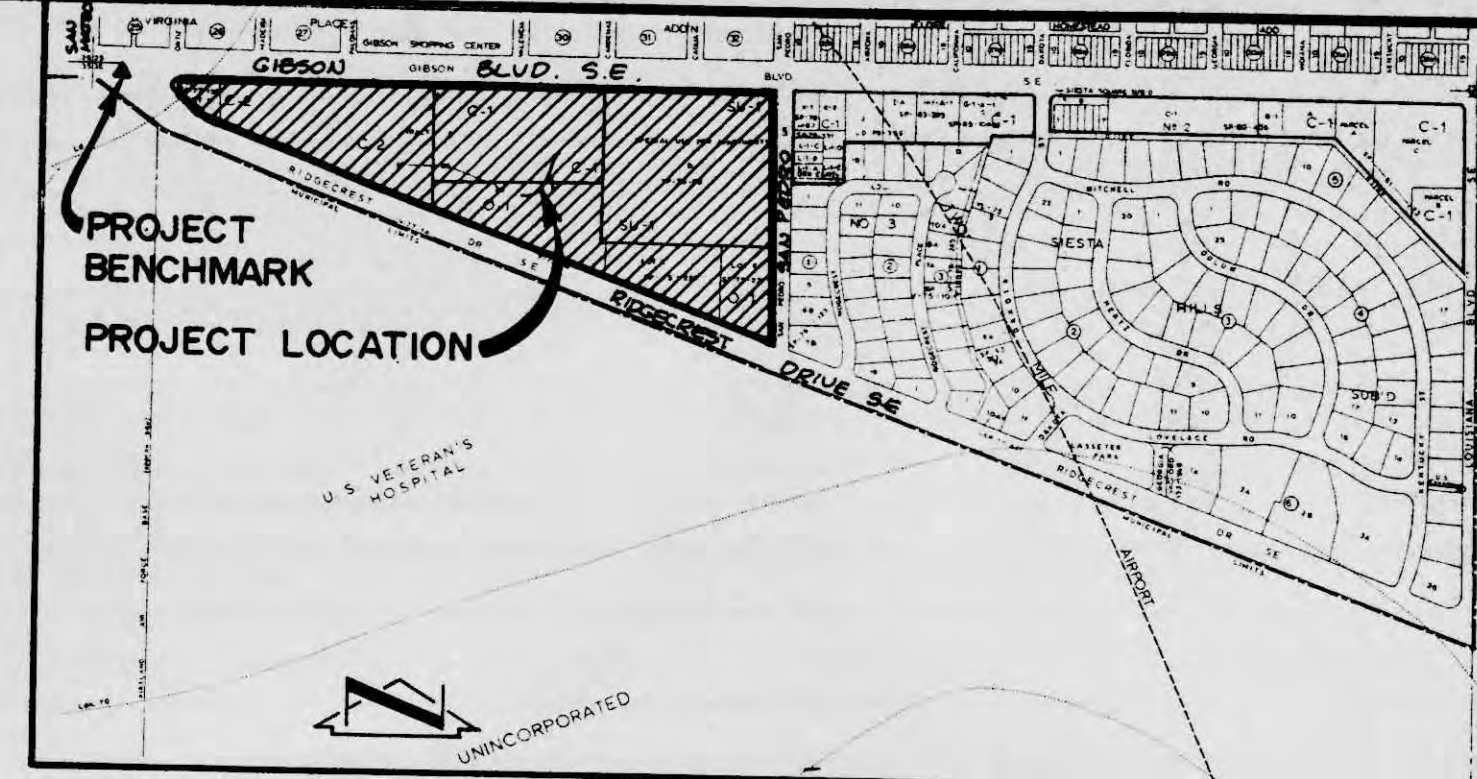
TRACT A-1-A-1
LOVELACE HOSPITAL

RIDGECREST

DRIVE

S.E.

FOR CONTINUATION SEE SHEET 2
MATCH LINE -



VICINITY MAP

SCALE: 1" = 800' (APPROX.)

M-18

PROJECT BENCHMARK

A.C.S. STA. "G-4", BEING A 3/4" ALUMINUM TABLET SET IN CONCRETE PROJECTING 0.5' ABOVE THE ASPHALT PAVEMENT AT THE INTERSECTION OF GIBSON BLVD. S.E. AND SAN MATEO BLVD. S.E. STATION IS STAMPED "ACS, G-4, 1984" ELEVATION = 5317.32 FEET (M.S.L.D.)

TBM

TOP OF CURB ELEVATION LOCATED IN A CORNER OF EXISTING PARKING LOT AS SHOWN ON THE DRAWING ON SHEET 3. ELEVATION = 5316.65 FEET (M.S.L.D.)

LEGEND

- FM FIRE HYDRANT
- LP LIGHT POLE
- PP POWER POLE
- EXISTING CONTOUR LINE
- EXISTING SHRUB/TREE
- C.O. CLEAN OUT
- DRAINAGE BASIN BOUNDARY LINE

LEGAL DESCRIPTION

TRACT A-1-A-1, LOVELACE HOSPITAL

MASTER DRAINAGE PLAN

The following items concerning the Lovelace Medical Center Master Drainage Plan are contained herein:

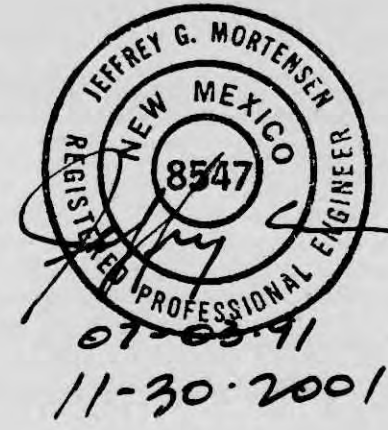
Description	Sheet No.
Vicinity Map	1
Master Grading Plan	1 & 2

The site is located at the southeast corner of the intersection of Gibson Blvd. S.E. and Ridgecrest Drive S.E. At present, the site is developed as a hospital complex complete with buildings, paving and landscaping.

As shown by Panel 36 of the National Flood Insurance Program Flood Boundary and Floodway Maps for the City of Albuquerque, New Mexico, this site does not lie within a designated Flood Hazard Zone. The site does drain to a designated Flood Hazard Zone within Gibson Blvd. S.E. and a portion of the neighborhood which lies to the north. System 206-02A, as defined by the City of Albuquerque Master Drainage Study, Plate L-18, has been constructed to mitigate flooding on Gibson Blvd. S.E. below the Kirtland Detention Basin and on the streets immediately adjacent to the north. The Lovelace Hospital complex site has been granted free discharge to Gibson Blvd. S.E. per Hydrology File No. M-18/D7.

The Grading Plan shows 1) existing grades indicated by spot elevations and contour lines at 1'-0" intervals, and 2) the limit and character of existing improvements. The Cosmetic Surgery addition to the hospital complete with buildings, paving, and landscaping discharges its runoff in a northerly direction onto Gibson Blvd. S.E. This portion of the site was approved for free discharge onto Gibson Blvd. S.E. per Hydrology File No. M-18/D7b. Similarly, the West Parking Lot of the hospital complete with paving and landscaping discharges its runoff in a northerly direction onto Gibson Blvd. S.E. This portion of the site was approved for free discharge onto Gibson Blvd. S.E. per Hydrology File No. M-18/D7b. Last of all, the Education Building addition to the hospital complete with buildings, paving and landscaping discharges its runoff in a northerly direction onto Gibson Blvd. S.E. This portion of the site was approved for free discharge onto Gibson Blvd. S.E. per Hydrology File No. M-18/D7c. Flows on Gibson Blvd. S.E. then flow easterly to be discharged into inlets on Gibson Blvd. S.E. which were constructed as part of System 206-02A (defined by the City of Albuquerque Master Drainage Study, Plate L-18).

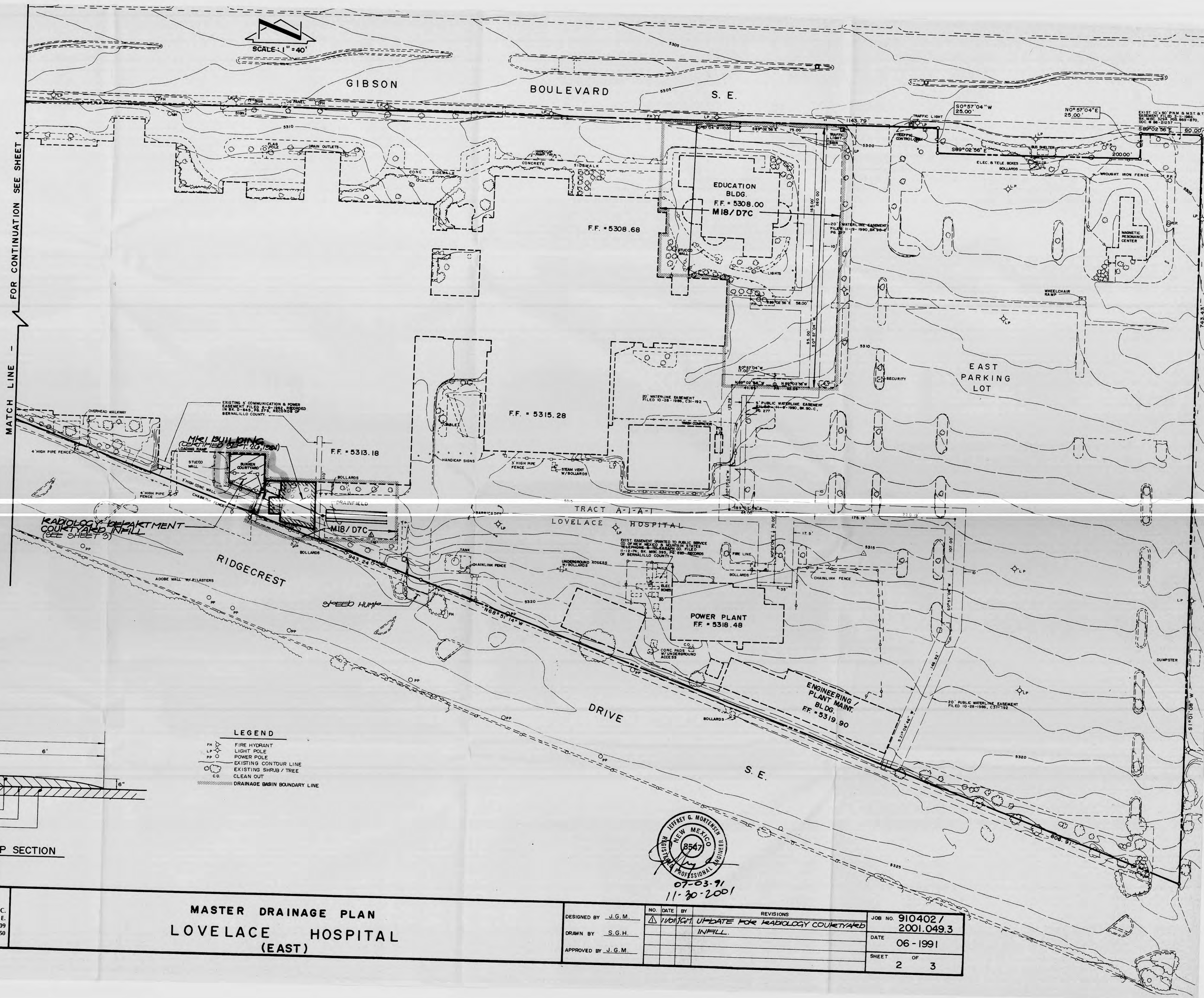
1001638



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505)345-4250

MASTER DRAINAGE PLAN
LOVELACE HOSPITAL
(WEST)

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
J.G.M.	11/01	J.G.M.	UPDATE FOR RADIOLOGY COURTYARD INFILL	910402/ 2001.049.3
DRAWN BY				DATE
S.G.H.				06-1991
APPROVED BY				SHEET 1 OF 3
J.G.M.				



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MASTER DRAINAGE PLAN LOVELACE HOSPITAL (EAST)

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
J.G.M.	11/01/91	U	UPDATE FOR RADIOLOGY COURTYARD INFILL	910402 / 2001.049.3
DRAWN BY	S.G.H.			DATE
06-1991				
APPROVED BY	J.G.M.			SHEET
2				OF
				3

File Path: \\JMA\WORK\2001\11-27-2001
File Name: 104936.DWG
Plot Date: 11-27-2001
Plot Time: 2:03 pm



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS (E) SURVEYORS (S) 345-4250
FAX: 345-4254 E-MAIL: jma@swcp.com

GRADING AND DRAINAGE PLAN
LOVELACE RADIOLOGY DEPARTMENT
COURTYARD INFILL

DESIGNED BY J.G.M.
DRAWN BY J.M.A.
APPROVED BY J.G.M.

NO.	DATE	BY	REVISIONS

JOB NO. 2001.049.3
DATE 11-2001
SHEET 3 OF 3

KEYED NOTES:

1. REMOVE AND DISPOSE OF EXISTING STORM INLET
2. REMOVE AND DISPOSE OF EXISTING 10" STORM DRAIN PIPING
3. REMOVE AND DISPOSE OF EXISTING 8" STORM DRAIN PIPING
4. REMOVE AND DISPOSE OF EXISTING SINGLE "D" STORM INLET AND 12" STORM DRAIN AS NEEDED TO FACILITATE WORK SPECIFIED IN NOTE 7 BELOW
5. REMOVE AND DISPOSE OF EXISTING 10" STORM DRAIN PIPING FROM BUILDING BACK TO EXISTING STORM INLET. INSTALL WATERTIGHT CAP/PLUG AT BUILDING TO TERMINATE EXISTING STORM DRAIN RUNNING BENEATH EXISTING BUILDING.
6. INSTALL TRENCH DRAIN AT BASE OF EXISTING STEPS PER TYPICAL SECTION SHOWN AT RIGHT. FOR DEMOLITION AND MODIFICATIONS TO THE EXISTING STEPS, REFER TO THE ARCHITECTURAL PLANS.
7. INSTALL 12" WATERTIGHT CAP/PLUG TO TERMINATE EXISTING 12" STORM DRAIN
8. INSTALL 1-12"x12"x4" TEE WITH WATERTIGHT COUPLINGS AND OR CONNECTIONS
9. CONSTRUCT 2" DIAMETER WEEPHOLE AT GRADE FOR POSITIVE DRAINAGE OF EXISTING LANDSCAPING WITHIN NEWLY CREATED BASIN A-1
10. INSTALL 4" DIP WITH 2% MINIMUM SLOPE TO NEW 12"x12"x4" TEE
11. EXISTING WALL TO BE REMOVED
12. EXISTING COURTYARD IMPROVEMENTS TO BE REMOVED TO FACILITATE THE PROPOSED BUILDING ADDITION
13. NEW BASIN BOUNDARY BETWEEN BASINS A AND B CREATING NEW SMALLER BASIN A-1
14. PROPOSED ROOF DRAINAGE OF INFILL BUILDING ADDITION DIVERTING RUNOFF FROM FORMER BASIN A (THE SUNKEN COURTYARD) TO THE EXISTING PARKING LOT SOUTH OF THE PROJECT. THIS SIGNIFICANTLY REDUCES THE SIZE OF ORIGINAL BASIN A.
15. EXISTING DRAINAGE BASIN BOUNDARY

PROJECT BENCHMARK

AN ACS STATION "G-4", BEING A 3 1/4" ALUMINUM TABLET SET IN CONCRETE PROJECTING 0.5' ABOVE THE ASPHALT PAVEMENT AT THE INTERSECTION OF GIBSON BLVD. S.E. AND SAN MATEO BLVD. S.E.
ELEVATION = 5317.32 FEET (M.S.L.D.-1929)

T.B.M.

TOP OF CURB ELEV. LOCATED IN A CORNER OF ASPHALT PARKING LOT SOUTH OF THE EXISTING BUILDING AS SHOWN ON THE DRAWING TO THE RIGHT.
ELEVATION = 5316.47 FEET (M.S.L.D.)

LEGAL DESCRIPTION

TRACT A-1-A-1, LOVELACE HOSPITAL

LEGEND

- EXIST. SPOT ELEVATION
- DIRECTION OF FLOW
- EXIST. CONTOUR
- EXIST. BASIN BOUNDARY LINE
- PROPOSED BASIN BOUNDARY LINE
- PROPOSED CONCRETE
- PROPOSED RETAINING WALL
- INFILL BUILDING ADDITION

DRAINAGE PLAN UPDATE

THIS SUBMITTAL REPRESENTS AN UPDATE TO A PREVIOUSLY APPROVED PLAN. THE PREVIOUS PLAN, HYDROLOGY FILE NO. M18/D007D, WAS APPROVED ON JULY 18, 1991 AND CERTIFIED ON SEPTEMBER 26, 1991. THE DRAINAGE CONCEPT FOR THIS PROJECT REMAINS THE SAME. THE PROPOSED REVISION INVOLVES BASINS A AND B ONLY. THE PROPOSED REVISION IS SUMMARIZED AS FOLLOWS:

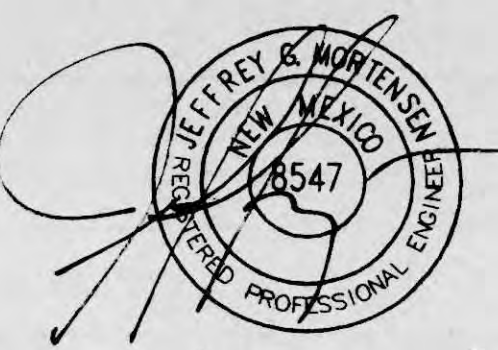
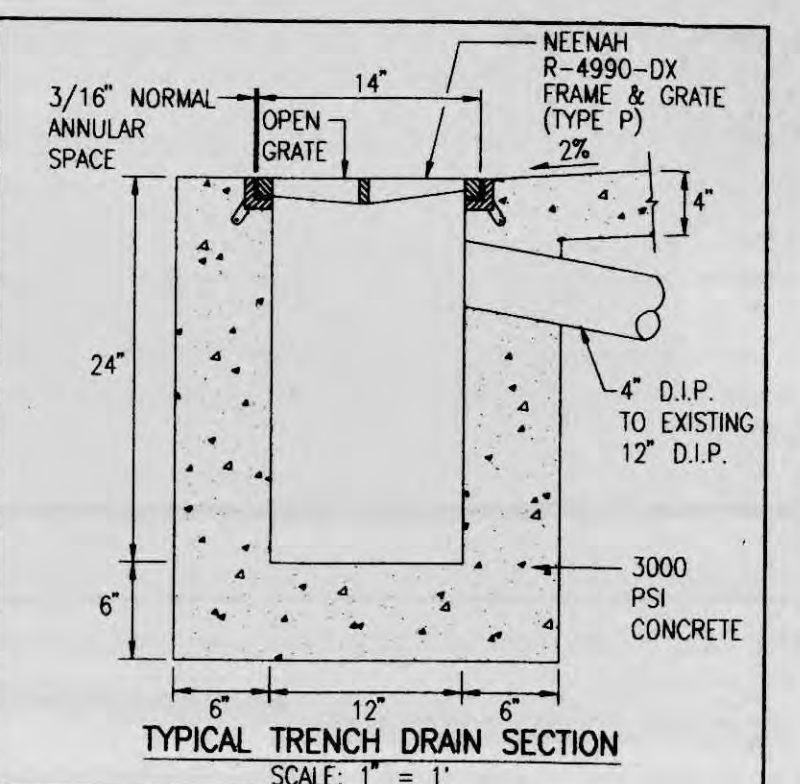
1. THE SUNKEN COURTYARD (BASIN A) WILL BE DELETED IN ITS ENTIRETY AND REPLACED WITH BUILDING INFILL.
2. THE RUNOFF PREVIOUSLY ENTERING BASIN A WILL BE DIVERTED TO THE SOUTH AS OPPOSED TO THE UNDERGROUND STORM DRAIN THAT RUNS BENEATH THE MAIN HOSPITAL AND EVENTUALLY DRAINS TO GIBSON BLVD SE.
3. A SMALL PORTION OF BASIN A WILL REMAIN CONSISTING OF THE EXISTING STAIRS AND A SMALL LANDSCAPED AREA AT THE SOUTHWEST CORNER OF THE 1991 BUILDING ADDITION THEREBY CONSTITUTING A SIGNIFICANT REDUCTION IN THE RUNOFF GENERATED BY BASIN A AND BEING DISCHARGED TO THE EXISTING ONSITE PRIVATE STORM DRAIN SYSTEM.
4. RUNOFF FROM THE STAIRS WILL BE INTERCEPTED BY A NEW TRENCH DRAIN SYSTEM LOCATED AT THE BASE OF THE STAIRS AND DRAINING TO THE EXISTING PRIVATE STORM DRAIN BENEATH THE 1991 BUILDING ADDITION.
5. REPLACING THE SUNKEN COURTYARD (BASIN A) WITH INFILL BUILDING CONSTRUCTION WILL NOT HAVE AN ADVERSE EFFECT ON THE HYDROLOGY OF THE SITE. IN FACT, THIS PROPOSED CHANGE WILL SIGNIFICANTLY REDUCE THE AMOUNT OF RUNOFF BEING DIRECTED TO THE PRIVATE STORM DRAIN SYSTEM BENEATH THE EXISTING BUILDINGS. THE EXISTING STORM DRAIN SYSTEM BENEATH THE EXISTING BUILDINGS HAS HISTORICALLY BEEN PROBLEMATIC FROM A MAINTENANCE STANDPOINT, HENCE THIS PLAN REPRESENTS AN IMPROVEMENT TO THE OVERALL DRAINAGE OF THE HOSPITAL FACILITY.
6. THE SITE WILL CONTINUE TO DRAIN IN A MANNER CONSISTENT WITH THE PREVIOUSLY APPROVED PLANS.
7. THIS PLAN EFFECTIVELY AMENDS AND UPDATES THE PREVIOUSLY APPROVED MASTER DRAINAGE PLAN FOR THIS SITE WHILE SUPPORTING A REQUEST FOR BUILDING PERMIT APPROVAL.

CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 360-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES. PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
7. FOR DEMOLITION OF EXISTING IMPROVEMENTS REFER TO ARCHITECTURAL PLANS.

EROSION CONTROL MEASURES:

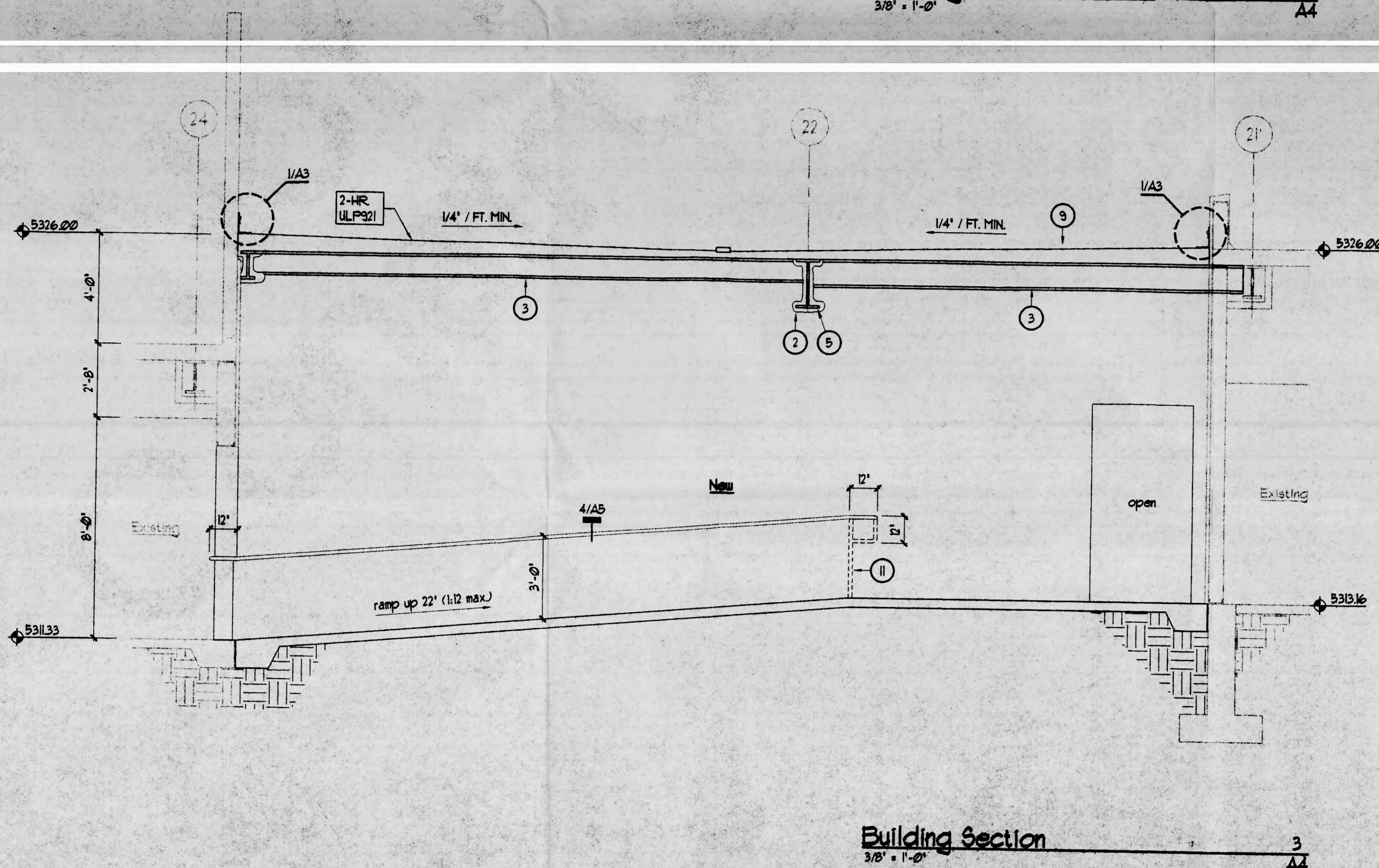
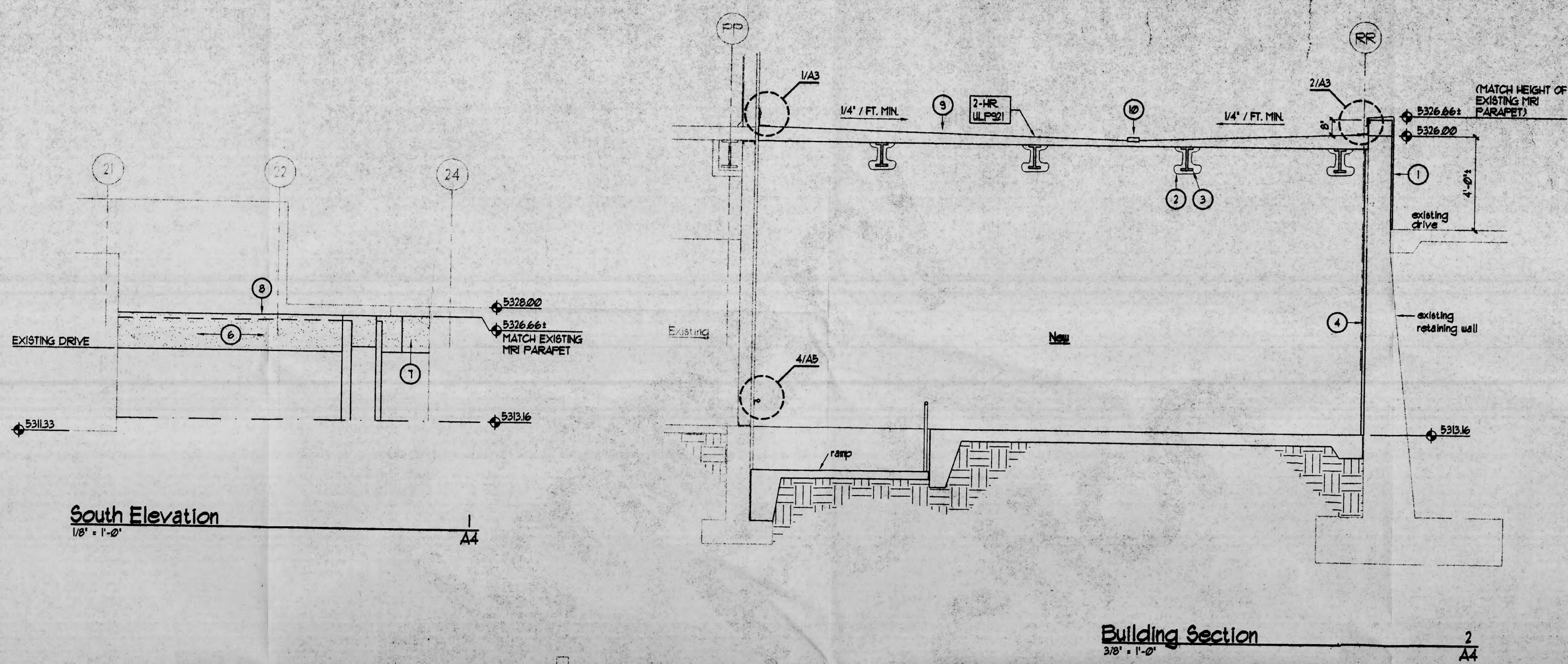
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.



11-30-2001

Keyed Notes A4:

1. NEW STUCCO.
2. 3-HOUR RATED FIREPROOFING AT STEEL BEAM AND JOISTS.
3. STEEL JOISTS. SEE STRUCTURAL.
4. FINISH WITH METAL FURRING STRIPS AND RIGID INSULATION (NO GYPSUM BOARD AT THIS PHASE).
5. STEEL BEAM. SEE STRUCTURAL.
6. NEW STUCCO AT EXISTING WALL (COLOR TO MATCH EXISTING).
7. NEW STUCCO AT NEW WALL (COLOR TO MATCH EXISTING).
8. NEW RETAINING WALL CAP WITH STUCCO (COLOR TO MATCH EXISTING).
9. ROOF CONSTRUCTION: BALLAST ON MEMBRANE ROOFING ON LIGHT WEIGHT INSULATION CONCRETE ON 1" INSULATION BOARD ON METAL DECKING.
10. ROOF DRAIN. SEE MECHANICAL.
- II. AT OPPOSITE WALL TO BE REMOVABLE FOR FUTURE MODIFICATION.



95% Construction Documents

Radiology Department
Courtyard Infill
Lovelace Medical Center
5400 Gibson Boulevard SE
Albuquerque, New Mexico

Project Title

Drawn By: EB Checked By: WS

Proj. No.: 200132 Date: 11/21/01

©2000 KEYIN GEORGES & ASSOCIATES, P.A.

Revisions Architect Engineer

SOUTH-ELEVATION BUILDING SECTIONS

Sheet Title Sheet of

A4

City of Albuquerque
Department of Municipal Development
1801 4TH Street NW, Building B
Albuquerque, New Mexico 87103

City of Albuquerque PV Solar Energy Projects

To: Planning Department, City Of Albuquerque, Site Development Plan Request

Subject: City of Albuquerque Solar Energy Projects Gibson Health Hub

The city of Albuquerque is Achieving a New Carport structure PV Solar Energy Project

Type:

- **Covered parking**

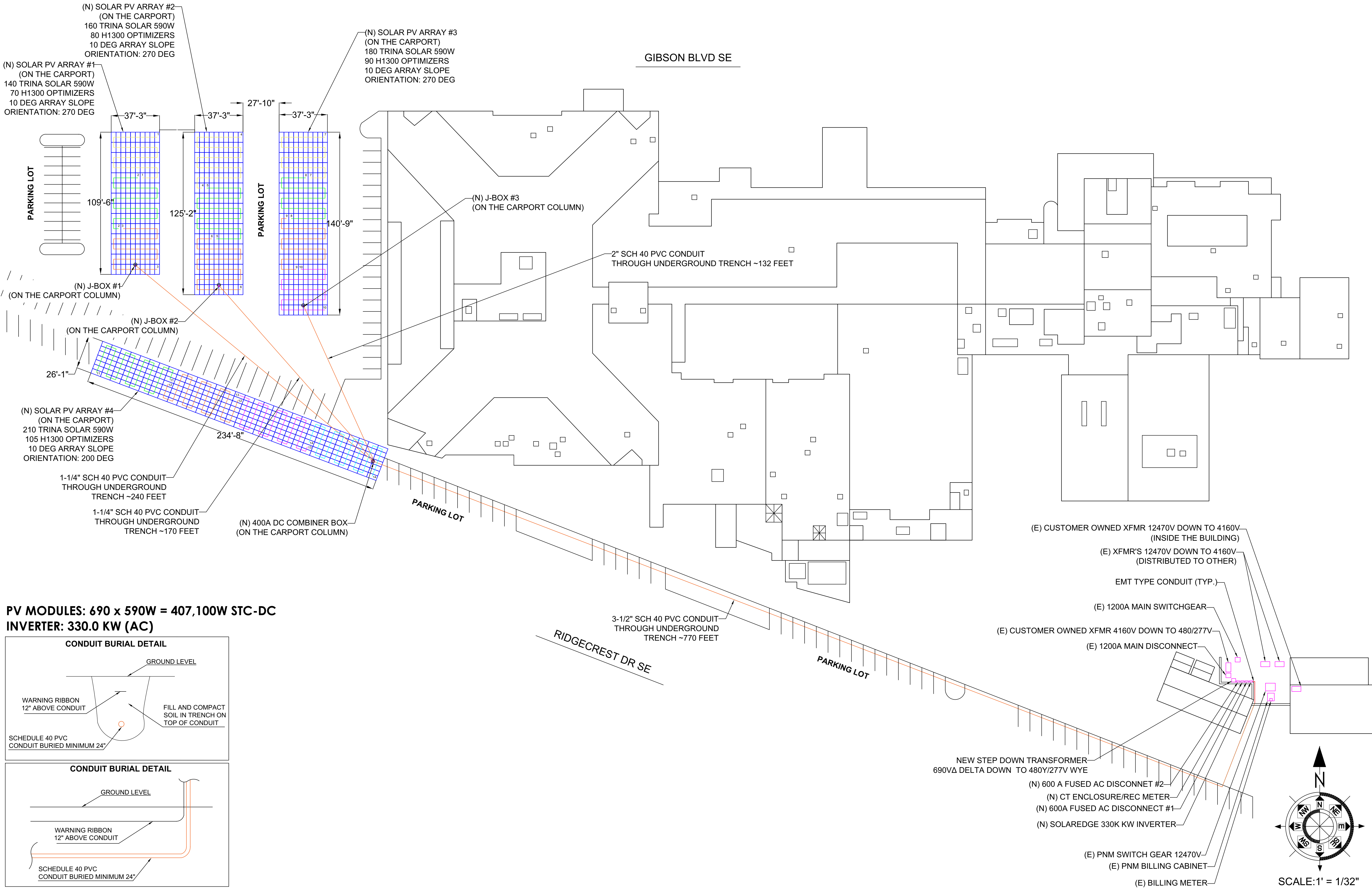
This project involves the implementation of highly efficient, complete photovoltaic solar energy systems designed to reduce the energy load for the facility. The scope of services for each project will encompass the design and installation of a suitably sized solar array for covered parking. This installation will comply with all relevant regulatory and interconnectivity requirements as detailed in the Scope of Services. There will be no changes to any parking spaces or the site plan..

Main Point of Contact:

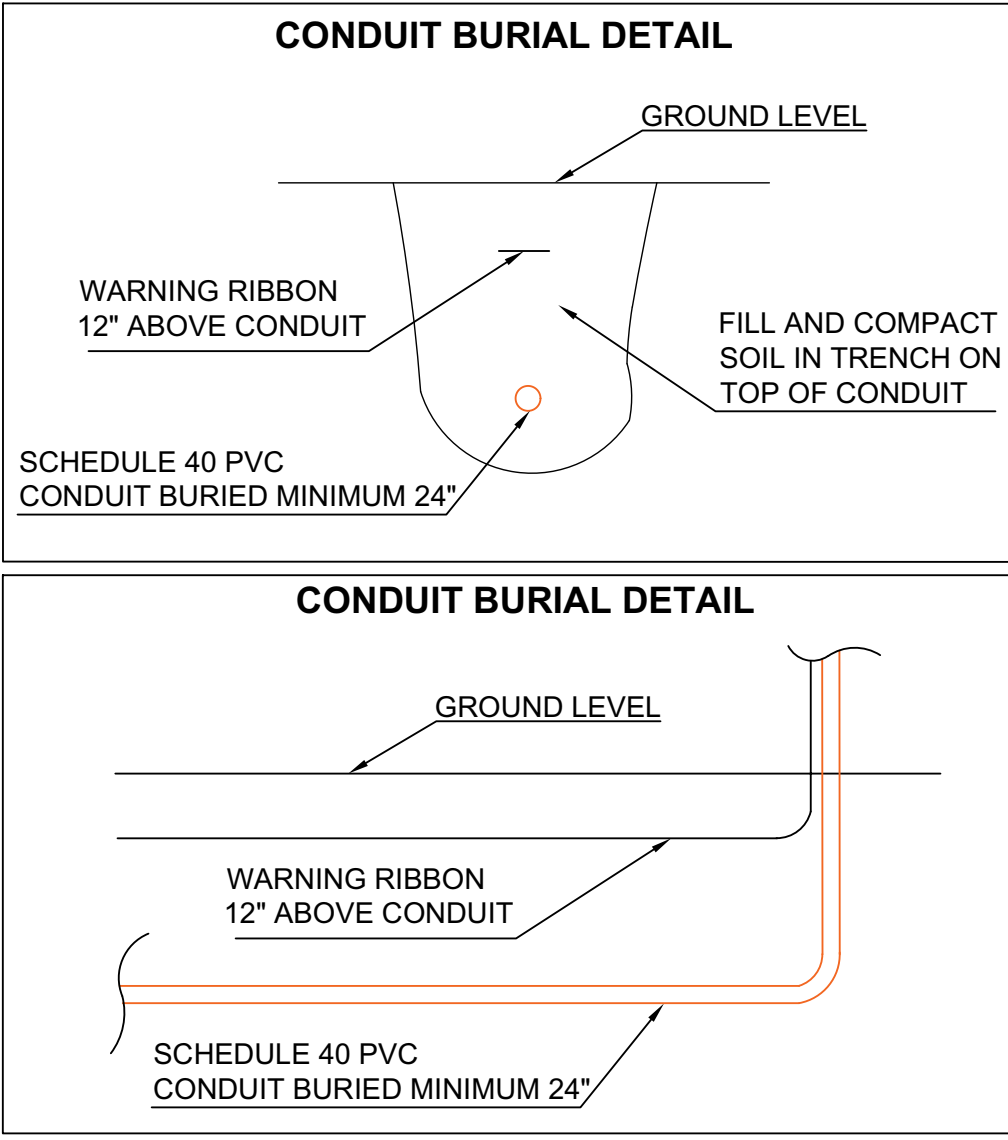
SAIF ISMAIL, CEM
Energy and Sustainability Division Manager
Energy & Sustainability Management Division
1 Civic Plaza, 7th Floor ESMD
Albuquerque NM 87102
O (505)768-5391
C (505)228-1827
Email: sismail@cabq.gov

PHOTOVOLTAIC ARRAY

(690) TRINA Solar 590W Modules
(TSM-590NEG19RC.20 590W 1500V)
(1) Solar Edge 330 KW (SE330K)
(345) Solar Edge H1300 Power Optimizers



PV MODULES: 690 x 590W = 407,100W STC-DC
INVERTER: 330.0 KW (AC)



Drawn by:	NY	
Checked by:		
Date Plotted:	10/07/23	
#	COMMENTS	DATE
1	Correction	02.27.2024


Los Ebanistas,
Inc./Sol Luna Solar
56C County Road 65
Dixon, NM 87527
Phone: (505) 455-8875
Lic.# 33662

X
Mark Johnson

Electrical Consulting by:
José J. Rivera, PE, LEED AP
Senior EE
Solar - EY - Telecom - Buildings - Infrastructure
jrivera@riverape.com
214.724.8154

GIBSON HEALTH HUB (PV)
407.1 KW DC STC/ 378.51KW AC CEC
5400 GIBSON BLVD SE, ALBUQUERQUE, NM 87108



SOLAR ELECTRIC
SITE PLAN

SHEET CONTENTS:
SHEET NO.
PV-1