



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Update existing building C to multi-tenant restaurant and retail development, including 76.5 sf of building addition. As well as, revising exiting parking lot layout to accommodate a drive thru.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

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Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

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- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ ACCELERATED EXPIRATION OF SITE PLAN

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 6) Site Plan to be Expired

_ ALTERNATIVE SIGNAGE PLAN

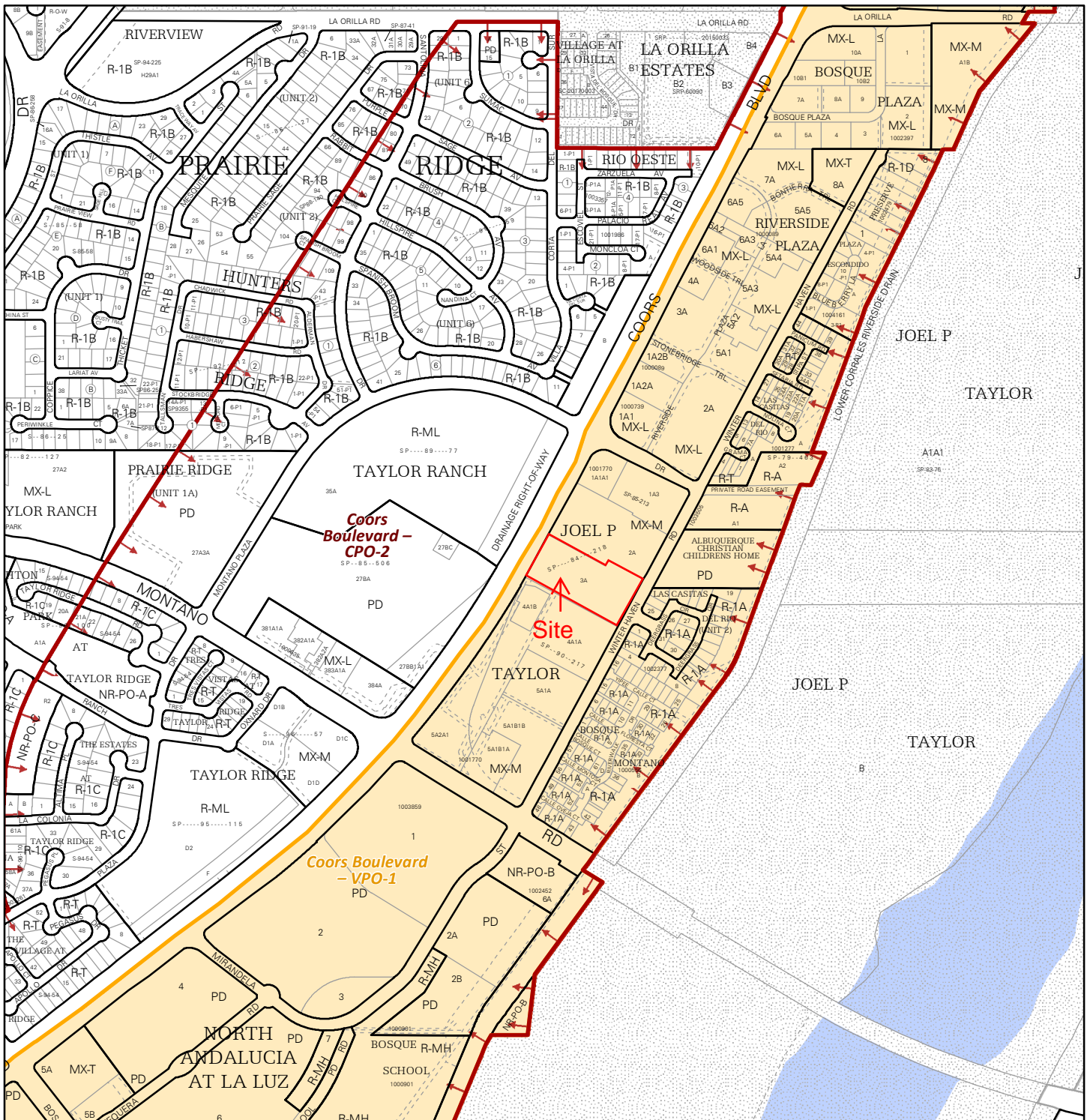
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- 1) Development Review application form completed, signed, and dated
- 2) Form P3 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 4) Letter of authorization from the property owner if application is submitted by an agent
- 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- 7) Sign Posting Agreement
- 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - Office of Neighborhood Coordination notice inquiry response
 - Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - Proof of emailed notice to affected Neighborhood Association representatives

_ ALTERNATIVE LANDSCAPING PLAN

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- 1) Development Review application form completed, signed, and dated
- 2) Form P3 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 4) Letter of authorization from the property owner if application is submitted by an agent
- 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- 6) Landscape Plan



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Rio Grande

40

25

N

Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
E-12-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

City of Albuquerque
Development Facilitation Team
Plaza Del Sol, 600 Second Street NW
Albuquerque, NM 87102

RE: Agent Authorization Notice – 6200 Coors Boulevard NW Albuquerque, NM 87120

To Whom It May Concern,

As the Property Owner, Montano Plaza, LLC, this letter will authorize Maestas Development Group, CenterPoint Integrated Solutions LLC, and Galloway & Company Inc. to act as our representative with filing and processing of the request for all entitlements and permitting actions for the Property and for any other City of Albuquerque applications or requests in connection therewith. This application is requested on behalf of the Property Owner as listed below.

Montano Plaza LLC,

By: 

Name: Wes Butero

Title: Chief Development Officer

October 9, 2024

City of Albuquerque Planning Department
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

RE: 6200 Coors Blvd. NW – Justification Letter

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO – 2023 Annual Update) the Applicant (Maestas Development Group) respectfully requests to the City of Albuquerque, an application for an administrative site amendment (Minor Amendment) review from the previously approved site plan 14EPC-40007, approved under the previous IDO.

The proposed design features the interior remodel and associated parking lot improvements on parcel 3-1 of the lands of Joel P. Taylor. The development is consistent with the current MX_M land use designation. The area of the remodel will be 9.92% of the 199,380 SF total area of the existing site plan.

Per the 6-4(Y)(1)(a), our proposed design will be in compliance with the requirements below.

1. The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.
2. The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.
3. The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.
4. No deviations, Variances, or Waivers shall be granted for minor amendments.

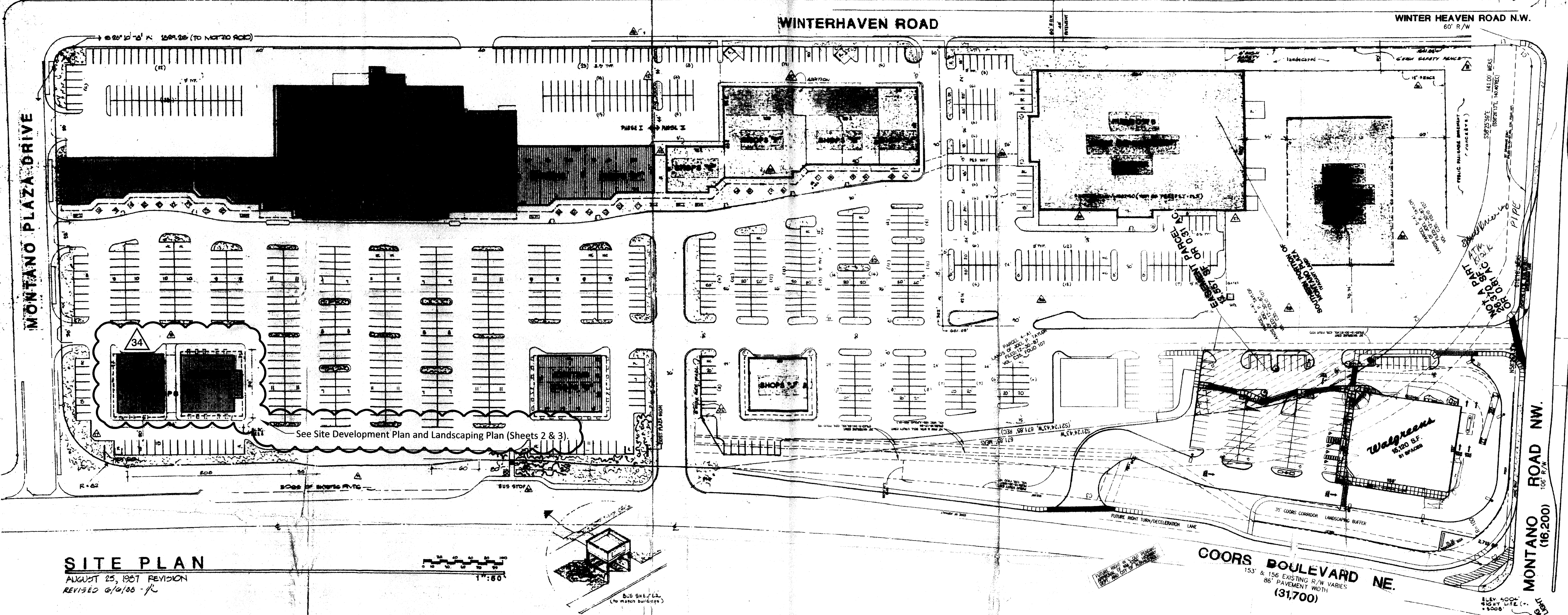
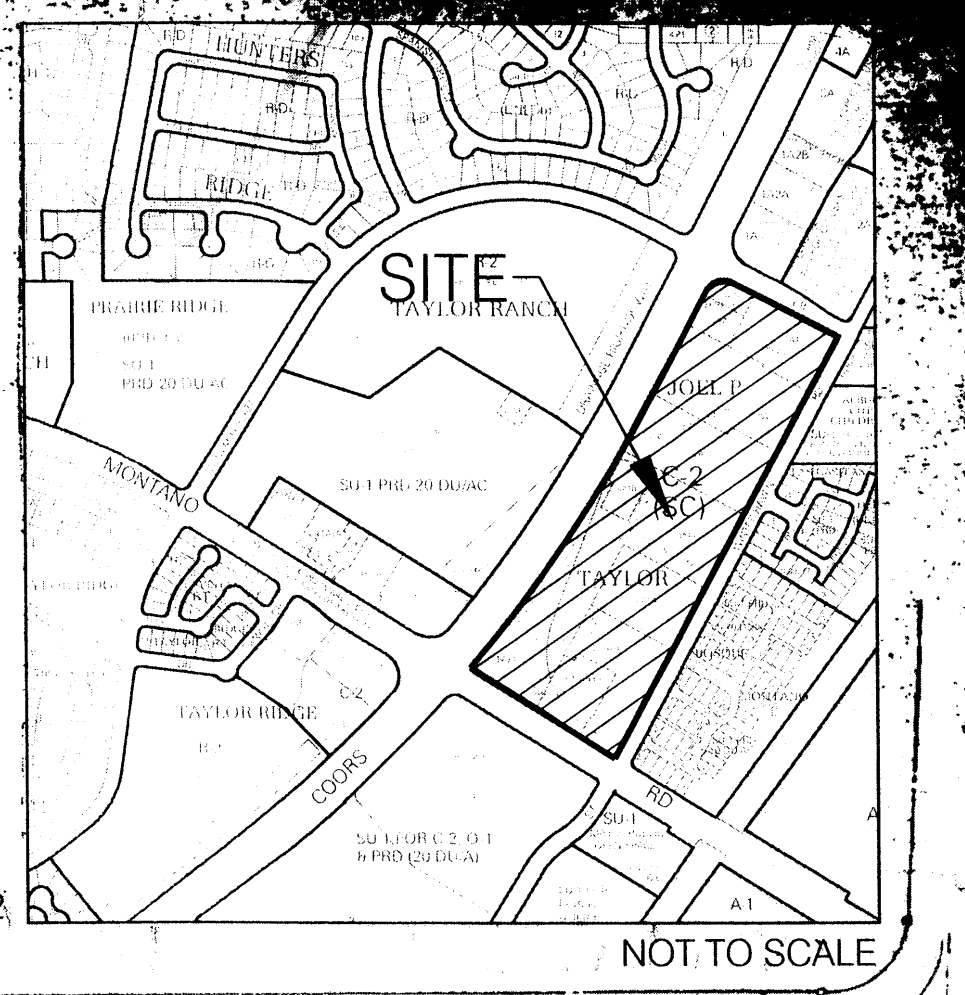
Thank you for considering our proposal.

Sincerely,

1/1/88
 2/1/87
 3/1/85
 3/1/84
 3/1/83
 3/1/82
 3/1/81

MONTANO PLAZA

EAST CORNER COORS ROAD AND MONTANO ROAD NW
ALBUQUERQUE, NEW MEXICO



SITE PLAN
AUGUST 25, 1987 REVISION
REVISED 6/1/88 - JL

- NOTES**
- ① SIGN NOT TO EXCEED 5' IN HEIGHT - 260 SF MAX
 - ② BUILDINGS IN "RED" AREAS - SHOPS "A", "D", BLDG. AREA 3 & BLDG. AREA 4 - NOT TO EXCEED 40' HEIGHT. Height shall be regulated by the Coors Corridor Plan.
 - ③ ANY VISIBLE ROOFTOP EQUIPMENT TO BE SCREENED.
 - ④ ALL BUILDINGS SHALL CONFORM TO SIMILAR ARCHITECTURAL DESIGN, WITH SAME EXTERIOR COLORS - SEE SHED PLAN FOR COLOR CODES & ALTERNATIVE COLORS.

- ③4 January, 2014 - Administrative Amendment;
- Replaces 2 buildings at NW corner with proposed Applebees restaurant.
 - Amends height restrictions to allow elevator tower, rooftop patio, and screening of rooftop equipment.
 - Allows minor variation in color and architectural style.

PHASE I		PHASE II	
SHOPS "A" (EXISTING)	15,230 SF	SHOPS "E" & "F"	4,241 SF
ALBERTSONS "	44,000 "	SHOPS "G"	12,271 "
REVCO "	6,430 "	SHOPS "H"	9,681 "
SHOPS "B" "	11,130 "	SHOP "I"	5,012 "
SHOPS "C" "	5,800 "	SHOPS "E, G & H"	23,992 SF
SHOPS "D" (PROPOSED) (1)	4,990 "	FURROWS WTC	48,600 SF
SHOPS "D" (2)	5,020 "	FURROWS STOP	24,000 "
TOTAL AREA	92,600 SF	SHOPS "J"	5,600 "
		SHOPS "K"	4,588 "
		TOTAL AREA	113,849 - 106,786 SF

① TOTAL AREA - PHASE I + PHASE II = 199,380 SF

PARKING SPACES

REQUIRED: 175,360 / 200 = 877
 14,300 / 500 = 286
 17,000 / 200 = 85
 24,300 / 500 = 486
 292

CREDITS: BUS STOP (1) = 100
 BUS STOP (2) = 100
 TOTAL REQUIRED: (922 - 40) = 882

SPACES SHOWN:
 PHASE I = 400
 PHASE II = 300

HANDICAPPED SPACES: 200 = 20% MINIMUM = 25

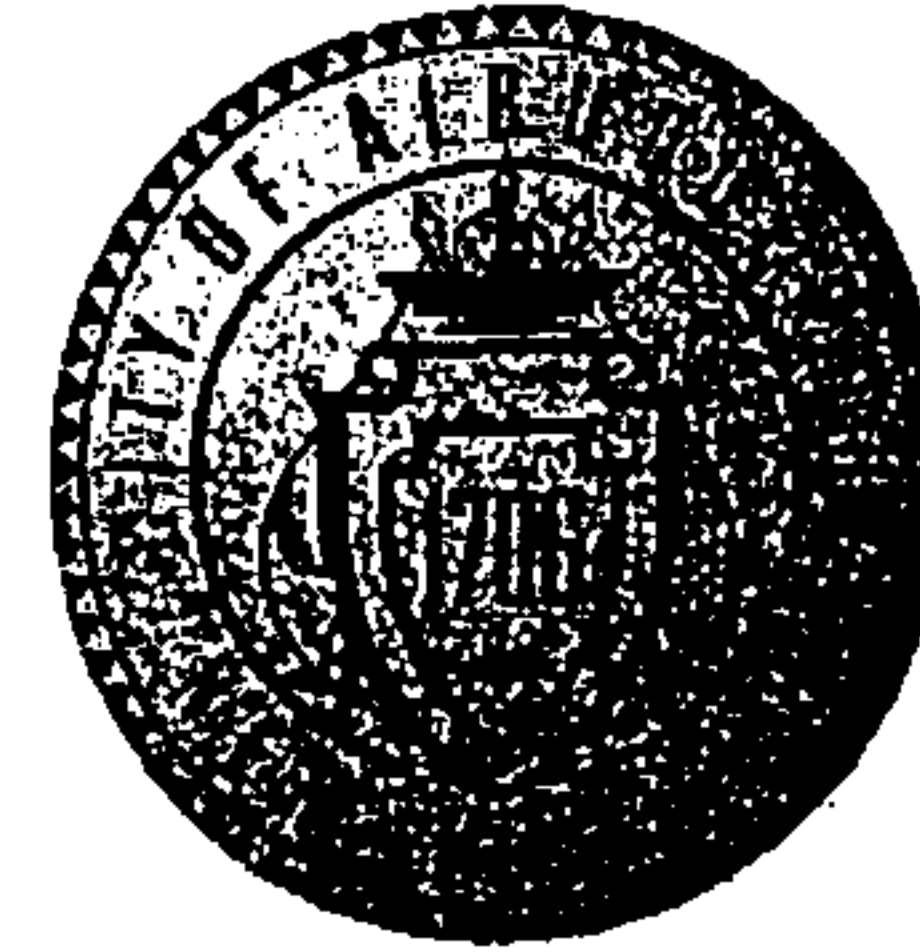
ADMINISTRATIVE AMENDMENT 6/1/88

- ① ADDITION - SHOPS "E" & "F"
- ② 6' HIGH SAFETY FENCE
- ③ 6' HIGH CONC. RETAINING WALL, W/ 1" PIPE RAILING, & 4' PLANTING AREA FOR TREES
- ④ ADD LANDSCAPED PARKING ISLAND

- REVISIONS PER EPC COMMENTS OF 2-19-87**
- ① PARKING ADJUSTED TO ALLOW PEDESTRIAN LINK TO FURROWS
 - ② SHOPS "E" ADJUSTED TO ALLOW PEDESTRIAN PASSAGEWAY
 - ③ PEDESTRIAN ACCESS TO WINTERHAVEN ROAD ADDED
 - ④ STREET IMPROVEMENTS AND LANDSCAPING TO BE CONSTRUCTED AT INSTRUCTION OF TRAFFIC ENGINEER
 - ⑤ END ISLANDS CHANGED TO 8' (TYP.)
 - ⑥ 35' BUFFER @ INTERCHANGE R.O.M. SHOWN; 10' INTERIOR ON INSIDE ONLY
 - ⑦ 12' FENCE TO BE SOLID WOOD, OPAQUE - NO LUMP B.L.K. PLASTERS
 - ⑧ REQUIRED R.O.W. FOR TURN @ MONTANO PLAZA DRIVE SHOWN; PROPOSED SIGN RELOCATED
 - ⑨ PEDESTRIAN SURFACE PROVIDED BETWEEN BUILDINGS "D"
 - ⑩ SIDEWALK @ COORS TO BE CONSTRUCTED @ TRAFFIC ENGINEER'S REQUEST
 - ⑪ SHELTER AND BAY PROVIDED BY DEVELOPER
 - ⑫ PARKING SPACES REVISED AS PER AMENDMENT # OF EPC FINDINGS 2/19/87
 - ⑬ ADDITIONAL 5' OF BAY PROVIDED FOR BUS BAY PER TRAFFIC ENGINEER'S REQUEST.

CITY OF ALBUQUERQUE

**PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339**



OFFICIAL NOTIFICATION OF DECISION

April 10, 2014

Apple Investors Group
917 Ravenwood Way
Canton, GA 30115

Project# 1001770
14EPC-40007 Amendment Site Development Plan
for Subdivision
14EPC-40008 Site Development Plan for Building
Permit

LEGAL DESCRIPTION:

For all or a portion of lots 1-A-2-A, 1-A-1-A,
Lands of Joel P. Taylor, located on Coors Blvd.
between Montano and Montano Plaza, containing
approximately 0.9 acres.
Staff Planner: Maggie Gould

PO Box 1293

Albuquerque

New Mexico 87103

On April 10, 2014, the Environmental Planning Commission (EPC), voted to APPROVE Project 1001770, 14EPC-40007, a request for an Amendment to the Site Development Plan for Subdivision and 14EPC-40008, a Site Development Plan for Building Permit, based on the following Findings and Conditions:

www.cabq.gov

FINDINGS:

14 EPC-40007, April 10th, 2014, Amend Site Development Plan for Subdivision

1. This request was continued from the March 13, 2014 hearing to allow the applicant time to provide new color renderings, a massing study and continue to work with the neighbors on concerns about the building design.
2. The applicant has amended this request so the proposed changes only apply to pad sites "D".

OFFICIAL NOTICE OF DECISION

Project #1001770

April 10, 2014

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3. The renderings and study were provided to the neighbors on March 28th.
4. This is a request for an amendment to a Site development Plan for Subdivision for tract 1-A-2-A and 1-A-1-A of the Lands of Joel Taylor, located on Coors Blvd. between Montañño and Montañño Plaza and containing approximately .9 acres.
5. The request will replace the two proposed building footprints, Pad sites "D", with a single building.
6. The proposed use is permissive under the existing zoning. The applicant is seeking to amend the Site Plan notes regarding height and color, in order to develop a more contemporary Southwestern style restaurant and to allow an elevator tower to access the proposed rooftop patio.
7. The EPC has jurisdiction to review this request because of the underlying SC zone, per §14-16-3-2 of the zoning code.
8. The subject is within Established Urban Area of the Comprehensive Plan, The Taylor Ranch Community area of the Westside Strategic Plan, Coors/Montañño Community Activity center, and within Segment 3 of the Coors Corridor plan.
9. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Coors Corridor Sector Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
10. The request is consistent with the following applicable policies of the Comprehensive Plan:
 - Established Urban Areas
 - a) Policy II.B.5.i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The proposed development will offer employment and services close to residential areas. The development is not directly adjacent to the residential development, so the impacts to the residential will be minimal. This request furthers policy II.B.5.i.
 - b) Policy II.B.5.j: Where new commercial development occurs, it should generally be located in existing commercially zoned areas...

The subject site is zoned for commercial use. The site is part of a larger commercial development and is an appropriate place for this use. This request furthers policy II.B.5.j.
 - c) Policy 5m: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

OFFICIAL NOTICE OF DECISION

Project #1001770

April 10, 2014

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The proposed building will comply with the Coors Corridor plan, except for the elevator, which will exceed to allowed height, but is only a small portion of the building. The views of the Sandias and Bosque will still be preserved. This request furthers policy 5m.

- d) Policy II.B.5o: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

The subject site is in an existing older neighborhood. The new development will upgrade the landscaping and provide a new use in the existing shopping center. This request furthers policy II.B.5.o

- e) Economic Development Goal: To achieve steady and diversified economic development balanced with other important social, cultural and environmental goals.
- f) Policy II.D.6.a – New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.

The changes to the Site Development Plan for Subdivision will allow a new development. The proposed development will bring new employment opportunities to the west side of Albuquerque, an area with approximately 44% of the metro area housing, but only 28% of the jobs, according to the MRCOG. The goal and policy II.D.6.a are furthered by this request.

- g) Activity Centers Goal is to “expand and strengthen concentrations of moderate and high-density mixed land use and social/economic activities which reduce urban sprawl, auto travel needs, and service costs, and which enhance the identity of Albuquerque and its communities.”
- h) Policy II D 7 a: Activity centers are designated by the Centers and Corridors map where appropriate to help shape the built environment in a sustainable development pattern, create mixed-use concentrations of interrelated activities that promote transit and pedestrian access both to and within the Activity Center, and maximize cost-effectiveness of City services.

The Goal and Policy a are furthered by this request because it will add an additional use to the shopping center. The site is served by transit and contains a variety of retail and service uses that meet the daily needs of residents. The additional use will contribute to a “park once” atmosphere.

- i) Policy II.D.7f: The most intense uses in Activity Centers shall be located away from nearby low-density residential development and shall be buffered from those residential uses by a transition area of less intensive development.

The proposed development is in the Coors/Montaño Activity Center. The building will not be adjacent to existing residential development. There are existing retail buildings and a street between the proposed building and the residential development. This request furthers policy II.D.7f.

11. The request is consistent with the following applicable policies of the Westside Strategic Plan.

- a. Policy 3.12: The Taylor Ranch Community is an appropriate location for continued growth due to its contiguous location to the rest of the City, and efficient location for receiving City services.

OFFICIAL NOTICE OF DECISION

Project #1001770

April 10, 2014

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- b. **Policy 3.15:** Allow appropriately designed development throughout the Taylor Ranch Community which will not degrade views to and from the Escarpment through design guidelines and consistent enforcement.
- c. **Policy 3.16:** Multifamily development, public uses, educational and institutional facilities, and commercial or employment uses are all appropriate in the Community or Neighborhood Centers. Mixed-use and multi-modal access shall be incorporated into the design for these areas.

The proposed building will be in an existing shopping center and in a community activity center. The proposed development will provide job opportunities and add a commercial use to the area. The building will not interfere with views to the Escarpment.

12. The request is consistent with the following applicable policies of the Coors Corridor Plan.

- a. **Policy 2.** Building setback height and bulk: Buildings should be located and designed to provide a pleasing and functional relationship to the roadway, the site and adjacent buildings or structures.

The proposed building will be in an existing commercial area adjacent to Coors Blvd. A patio entrance faces Montano Plaza drive. The building will mostly be of an appropriate height and will be accessible from other areas of the shopping center.

- b. **Policy b.4** Site landscaping: (staff paraphrases from text on page 92-93) this policy calls for landscaping that is appropriate to the area, logical and orderly, appropriately irrigated, appropriately scaled and compliant with the street tree ordinance.

The landscaping plan shows a palette of native and other low water plants. The design is orderly, with plants spaced regularly and variation in plant types. The site will be irrigated by a drip irrigation system. There are existing trees on the site near Coors Blvd.

- c. **Policy b.6** Commercial sites: Commercial sites should be designed so that a portion of the building is located near the street and relates to the streetscape along Coors.

The proposed building is near Coors, however due to the grade difference, the site relates more to Montano Plaza Drive than to Coors. The site will utilize the existing street trees along Coors.

13. A Site Development Plan for Building Permit is heard concurrently with this request.

14. A facilitated Meeting was held on February 27, 2014. Support for the use was expressed. Concerns were expressed regarding the design, color, and style of building, compliance with height regulations of the Coors Corridor Plan and loss of parking for transit users.

CONDITIONS OF APPROVAL – 14 EPC-40007, April 10th, 2014- Amend Site Development Plan for Subdivision

- 1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how

OFFICIAL NOTICE OF DECISION

Project #1001770

April 10, 2014

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the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
 3. The subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3)."
 4. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
 5. The site plan notes shall be changed to reflect the proposed changes shown in attachment 1, clarifying that the proposed changes are only for pad sites "D".
-

FINDINGS - 14EPC-40008, April 10th, 2014 -Site Development Plan for Building Permit

1. This request was continued from the March 13, 2014 hearing to allow the applicant time to provide new color renderings, a massing study and continue to work with the neighbors on concerns about the building design.
2. The renderings and study were provided to the neighbors on March 28th
3. This is a request for a Site Development Plan for Building Permit for tract 1-A-2-A and 1-A-1-A of the Lands of Joel Taylor located on Coors Blvd. between Montañó and Montañó Plaza and containing approximately .9 acres.
4. The proposed use, restaurant is allowed under the existing zone. The applicant is asking for a waiver of the height requirements in the Coors Corridor Plan in order to add an elevator tower to access a roof top patio. The elevator tower allows an exceptional design feature, the roof top patio, which will enhance the enjoyment of the unique views.

OFFICIAL NOTICE OF DECISION

Project #1001770

April 10, 2014

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5. The EPC has jurisdiction to review this request because of the underlying SC zone, per §14-16-3-2 of the zoning code.
6. The subject is within Established Urban Area of the Comprehensive Plan, the Coors/ Montañño Community Activity Center, Taylor Ranch Community area of the Westside Strategic Plan and within Segment 3 of the Coors Corridor plan.
7. The Albuquerque/Bernalillo County Comprehensive Plan, Westside Strategic Plan and Coors Corridor Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
8. The request is consistent with the following applicable policies of the Comprehensive Plan:
 - Established Urban Areas
 - a) Policy II.B.5.i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The proposed development will offer employment and services close to residential areas. The development is not directly adjacent to the residential development, so the impacts to the residential will be minimal. This request furthers policy II.B.5.i.
 - b) Policy II.B.5.j: Where new commercial development occurs, it should generally be located in existing commercially zoned areas...

The subject site is zoned for commercial use. The site is part of a larger commercial development and is an appropriate place for this use. This request furthers policy II.B.5.j.
 - c) Policy 5m: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

The proposed building will comply with the Coors Corridor plan, except for the elevator, which will exceed to allowed height, but is only a small portion of the building. The views of the Sandias and Bosque will still be preserved. This request furthers policy 5m.
 - d) Policy II.B.5.o: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

The subject site is in an existing older neighborhood. The new development will upgrade the landscaping and provide a new use in the existing shopping center. This request furthers policy II.B.5.o
 - e) Economic Development Goal: To achieve steady and diversified economic development balanced with other important social, cultural and environmental goals.
 - f) Policy II.D.6.a – New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.

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The changes to the Site Development Plan for Subdivision will allow a new development. The proposed development will bring new employment opportunities to the west side of Albuquerque, an area with approximately 44% of the metro area housing, but only 28% of the jobs, according to the MRCOG. The goal and policy II.D.6.a are furthered by this request.

- g) Activity Centers Goal is to “expand and strengthen concentrations of moderate and high-density mixed land use and social/economic activities which reduce urban sprawl, auto travel needs, and service costs, and which enhance the identity of Albuquerque and its communities.”**
- h) Policy II D 7 a: Activity centers are designated by the Centers and Corridors map where appropriate to help shape the built environment in a sustainable development pattern, create mixed-use concentrations of interrelated activities that promote transit and pedestrian access both to and within the Activity Center, and maximize cost-effectiveness of City services.**

The Goal and Policy a are furthered by this request because it will add an additional use to the shopping center. The site is served by transit and contains a variety of retail and service uses that meet the daily needs of residents. The additional use will contribute to a “park once” atmosphere.

- i) Policy II.D.7f: The most intense uses in Activity Centers shall be located away from nearby low-density residential development and shall be buffered from those residential uses by a transition area of less intensive development.**

The proposed development is in the Coors/Montaña Activity Center. The building will not be adjacent to existing residential development. There are existing retail buildings and a street between the proposed building and the residential development. This request furthers policy II.D.7f.

9. The request is consistent with the following applicable policies of the Westside Strategic Plan.

- a) Policy 3.12: The Taylor Ranch Community is an appropriate location for continued growth due to its contiguous location to the rest of the City, and efficient location for receiving City services.**
- b) Policy 3.15: Allow appropriately designed development throughout the Taylor Ranch Community which will not degrade views to and from the Escarpment through design guidelines and consistent enforcement.**
- c) Policy 3.16: Multifamily development, public uses, educational and institutional facilities, and commercial or employment uses are all appropriate in the Community or Neighborhood Centers. Mixed-use and multi-modal access shall be incorporated into the design for these areas.**

The proposed building will be in an existing shopping center and in a community activity center. The proposed development will provide job opportunities and add a commercial use to the area. The building will not interfere with views to the Escarpment.

10. The request is consistent with the following applicable policies of the Coors Corridor Plan.

- d. Policy 2. Building setback height and bulk: Buildings should be located and designed to provide a pleasing and functional relationship to the roadway, the site and adjacent buildings or structures.**

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The proposed building will be in an existing commercial area adjacent to Coors Blvd. The patio entrance faces Montano Plaza drive. The building will mostly be of an appropriate height and will be accessible from other areas of the shopping center.

- e. Policy b.4 Site landscaping: (staff paraphrases from text on page 92-93) this policy calls for landscaping that is appropriate to the area, logical and orderly, appropriately irrigated, appropriately scaled and compliant with the street tree ordinance.

The landscaping plan shows a palette of native and other low water plants. The design is orderly, with plants spaced regularly and variation in plant types. The site will be irrigated by a drip irrigation system. There are existing trees on the site near Coors Blvd.

- f. Policy b.6 Commercial sites: Commercial sites should be designed so that a portion of the building is located near the street and relates to the streetscape along Coors.

The proposed building is near Coors, however due to the grade difference, the site relates more to Montano Plaza Drive than to Coors. The site will utilize the existing street trees along Coors.

11. An amendment to the previously approved Site Development Plan for Subdivision is heard concurrently with this request.
12. The Site Development Plan for Building Permit deviates from the height requirements of the Coors Corridor Plan. The EPC supports this deviation based on findings 4, 6, 7 and 8.
13. A facilitated Meeting was held on February 27, 2014. Support for the use was expressed. Concerns were expressed regarding the design, color, and style of building and compliance with height regulations of the Coors Corridor Plan. Additional concerns were expressed about traffic and loss of parking for transit users.

CONDITIONS OF APPROVAL – 14 EPC 40008, April 10th 2014-Site Development Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Pedestrian walkways shall be minimum 6 feet in width, per §14-16-3-1(H)(1) of the Zoning Code or 8 feet in width where building facades abut parking areas per §14-16-3-1-(H)(4).

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4. Dumpster enclosure shall be of similar material to building and shall be a solid wall or fence.
5. Landscaping shall be provided per the zoning code; the applicant may add additional new landscaping or demonstrate that the combination of the existing and proposed landscape meets the requirement.
6. Buildings colors shall be per the elevations sheet labeled March 11th and the color renderings from March 26th, showing tan stucco finish and golden yellow awnings. The color of the stacked stone will be verified before DRB sign off to ensure that it matches the adjacent property.
7. Conditions from City Engineer, Municipal Development and NMDOT:
 - A. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).
 - B. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the *Development Process Manual* and current ADA criteria. *This includes responding to all comments provided in detail under Transportation Comments.
 - C. Provide Cross-Access Agreements
 - D. Please add the following note to the General Notes on sheet C1.1 and Landscaping Plan:
"Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
8. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
9. The applicant will work with staff to add architectural features and/or landscaping to break up the blank wall of the west elevation that faces Coors Blvd.
10. The building height, except the elevator tower, shall comply with the view frame as defined in the Coors Corridor Plan and will be verified by staff prior to DRB sign-off.
11. The building massing, including the elevator tower shall comply with the view frame as defined in the Coors Corridor Plan and will be verified by staff prior to DRB Sign-off.
12. The elevator tower height and massing is approved as shown and dimensioned on the building elevation sheets dated March 11th, 2014.

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Project #1001770

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APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **APRIL 25, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

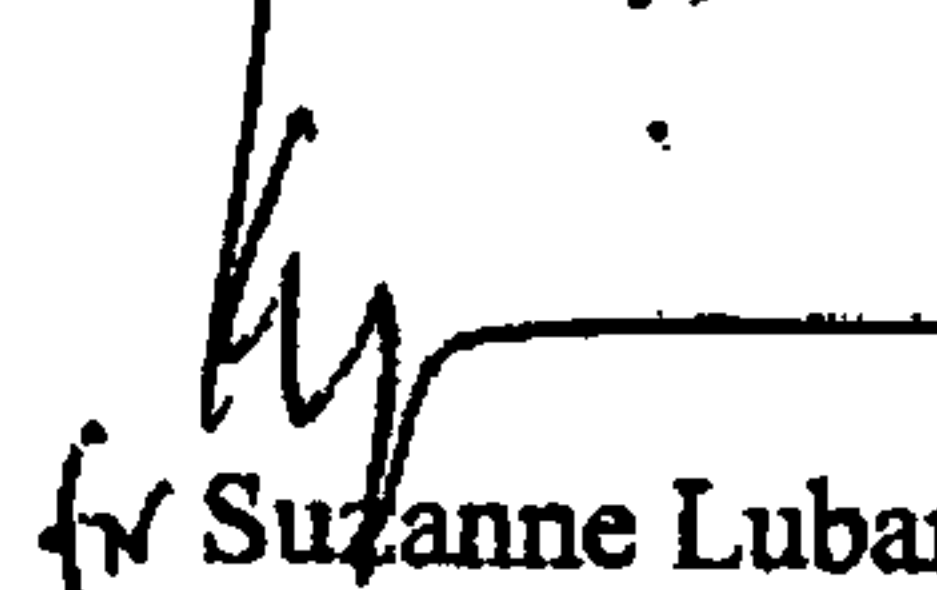
You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

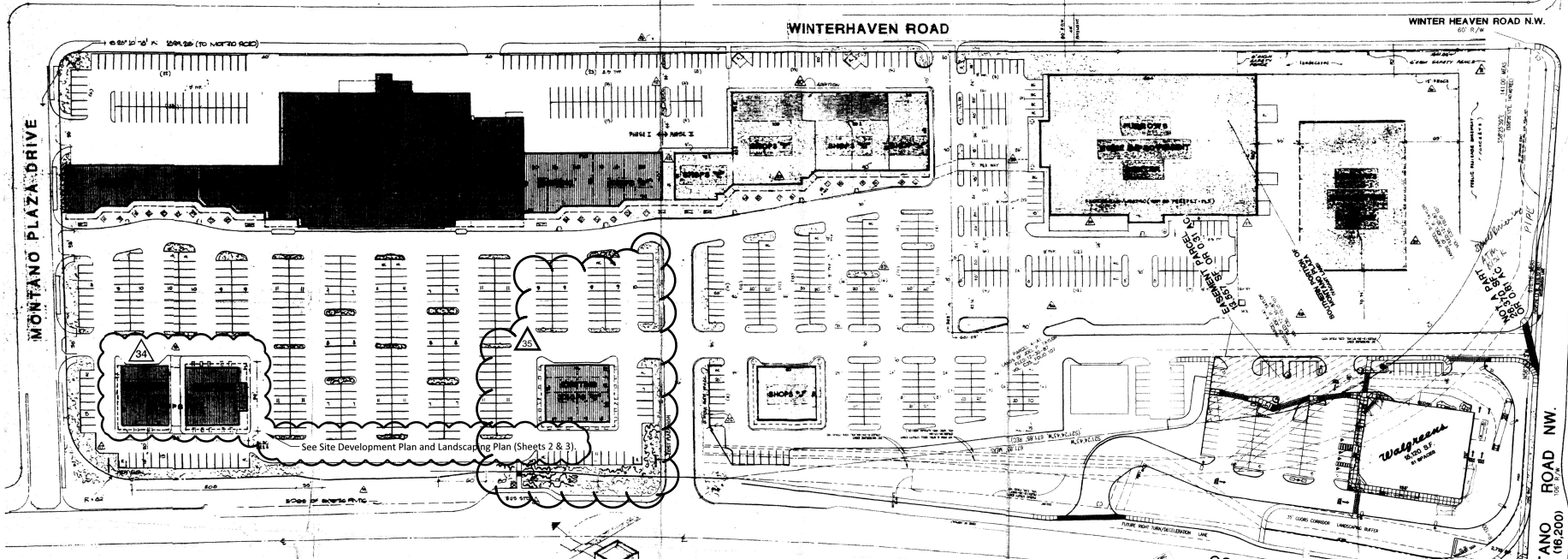
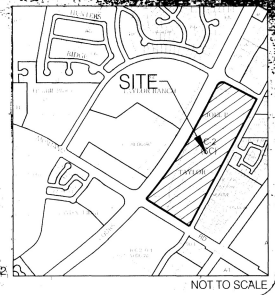
Sincerely,


for Suzanne Lubar
Planning Director

J. J. Clark 1/1/78
 J. J. Clark 2/1/78
 J. J. Clark 3/1/78
 J. J. Clark 3/1/78
 J. J. Clark 3/1/78
 J. J. Clark 3/1/78

MONTAÑO PLAZA

EAST CORNER COORS ROAD AND MONTAÑO ROAD NW
ALBUQUERQUE, NEW MEXICO



SITE PLAN
AUGUST 25, 1977 REVISION
REVISED 9/1/78 J.C.

NOTES

- 34. BUILDINGS IN 70' ZONES - SEE SHEET 101. BLDG REFS 3 & BLDG REF 4 - NOT TO EXCEED 60' HEIGHT. HEIGHT SHALL BE REGULATED BY THE COORS CORRIDOR PLAN.
- 35. ALL BUILDINGS SHALL CONFORM TO SIMILAR ARCHITECTURAL DESIGN, WITH SAME EXTERIOR COLORS.
- 36. ALL VISIBLE EDGESTOP EQUIPMENT TO BE SCREENED.

38. OCTOBER, 2024 - ADMINISTRATIVE AMENDMENT

- Update Existing Building C to multi-tenant restaurant and retail development, including 76.5 sf of building addition.
- Revise existing parking lot layout to accommodate a drive-thru.

- 34. January, 2014 - Administrative Amendment:
Replaces 2 buildings at NW corner with proposed Applebees restaurant.
Amends height restrictions to allow elevator tower, rooftop patio, and screening of rooftop equipment.
Allows minor variation in color and architectural style.

PHASE I

SHOPS "A"	(EXISTING)	19,230 SF
REBERTSONS	"	44,000 "
REVCO	"	6,450 "
SHOPS "B"	"	11,150 "
SHOPS "C"	"	6,800 "
SHOPS "D"	(PROPOSED)	(1) 4,990 "
SHOPS "D"	"	(2) 5,020 "
TOTAL REER		92,600 SF

(TOTAL REER - PHASE I + PHASE II = 199,360 SF)

PHASE II

SHOPS "E"	4,241 SF
SHOPS "F"	12,271 SF
SHOPS "G"	9,651 SF
SHOP "H"	5,012 SF
SHOPS "E, G & H"	25,992 SF
FURROWS STD	45,000 SF
FURROWS STO	24,000 "
SHOPS "J"	5,600 "
SHOPS "K"	4,580 "
TOTAL REER	119,648 SF

ADMINISTRATIVE AMENDMENT 9/1/2027

- 39. ADDITION - SHOPS "E" - 4,241 SF
- 40. SHOPS "E" - 4,241 SF
- 41. SHOPS "F" - 12,271 SF
- 42. SHOPS "G" - 9,651 SF
- 43. SHOP "H" - 5,012 SF
- 44. SHOPS "E, G & H" - 25,992 SF
- 45. FURROWS STD - 45,000 SF
- 46. FURROWS STO - 24,000 SF
- 47. SHOPS "J" - 5,600 SF
- 48. SHOPS "K" - 4,580 SF
- 49. TOTAL REER - 119,648 SF

PERKINEL SPACES

REQUIRE 1: 175,000 SF	877
REQUIRE 2: 15,000 SF	800
REQUIRE 3: 10,000 SF	500
REQUIRE 4: 10,000 SF	500
REQUIRE 5: 10,000 SF	500
REQUIRE 6: 10,000 SF	500
REQUIRE 7: 10,000 SF	500
REQUIRE 8: 10,000 SF	500
REQUIRE 9: 10,000 SF	500
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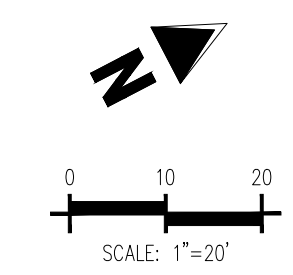
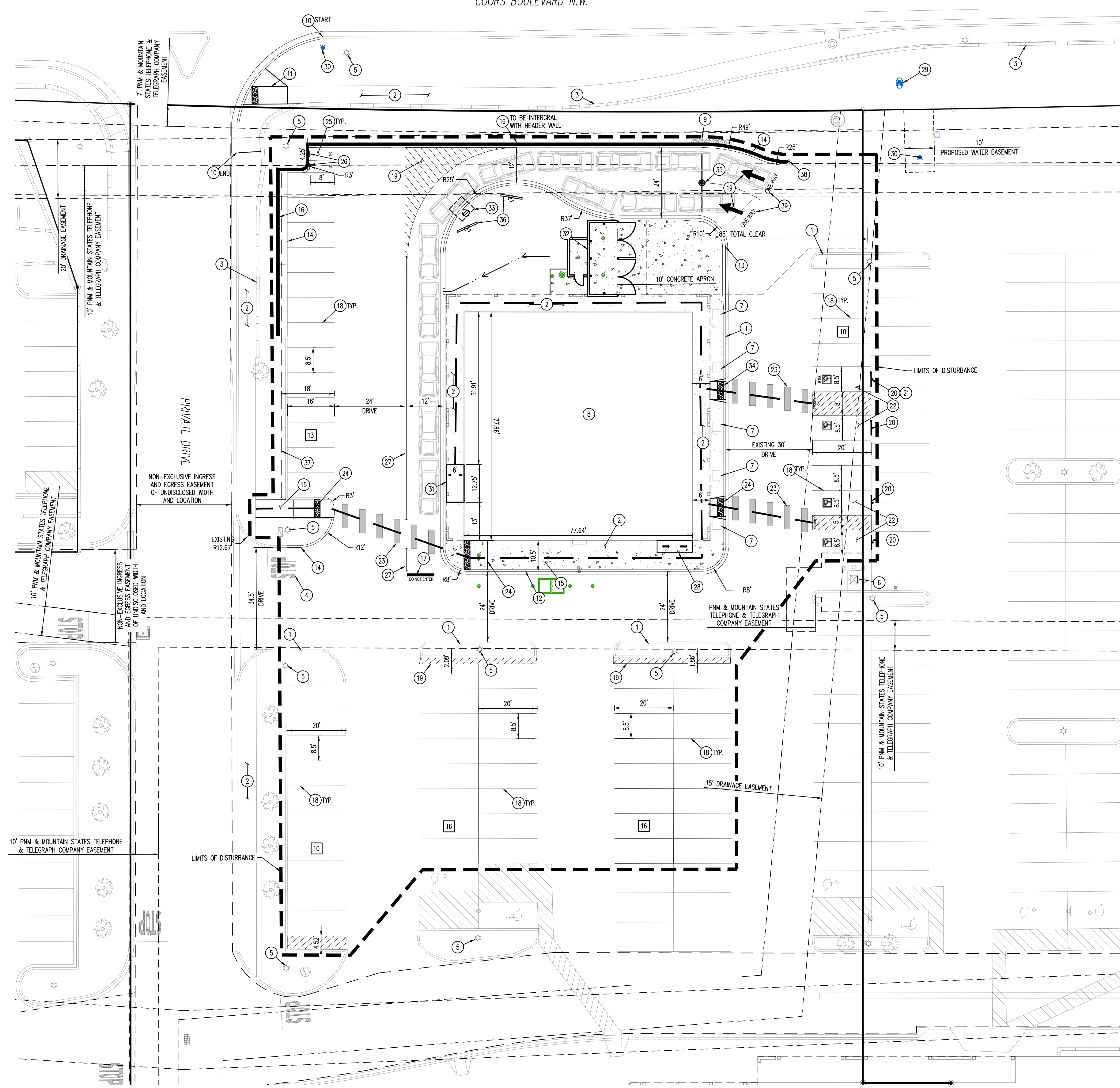
ADMINISTRATIVE AMENDMENT 9/1/2027

- 49. ADDITION - SHOPS "E" - 4,241 SF
- 50. SHOPS "E" - 4,241 SF
- 51. SHOPS "F" - 12,271 SF
- 52. SHOPS "G" - 9,651 SF
- 53. SHOP "H" - 5,012 SF
- 54. SHOPS "E, G & H" - 25,992 SF
- 55. FURROWS STD - 45,000 SF
- 56. FURROWS STO - 24,000 SF
- 57. SHOPS "J" - 5,600 SF
- 58. SHOPS "K" - 4,580 SF
- 59. TOTAL REER - 119,648 SF

REVISIONS PER EPC COMMENTS OF 2-19-87

- 37. PARKING ADJUSTED TO ALLOW PEDESTRIAN LINK TO FURROWS
- 38. SHOPS "E" ADJUSTED TO ALLOW PEDESTRIAN PASSAGEWAY
- 39. PEDESTRIAN ACCESS TO WINTERHAVEN ROAD ADDED
- 40. STREET IMPROVEMENTS AND LANDSCAPING TO BE CONSTRUCTED AT INSTRUCTION OF TRAFFIC ENGINEER
- 41. EXISTING ISLANDS CHANGED TO "B" (STR.)
- 42. 15' BUFFER & INTERCHANGE R.O.W. SHOWN - SEE INTERIOR ON INSIDE ONLY
- 43. 15' FENCE TO BE SOLID WOOD, OPPOSITE IMPERMEABLE WALL PLANTING
- 44. REDUCED R.O.W. FOR TURN AT MONTAÑO PLAZA DRIVE SHOWN - PROPOSED SIGN INDICATED
- 45. PEDESTRIAN SURFACE PROVIDED BETWEEN BUILDINGS "D" STREET
- 46. SIDEWALK & COORS TO BE CONSTRUCTED AT TRAFFIC ENGINEER'S REQUEST
- 47. SIDEWALK AND BAY PROVIDED BY DEVELOPER
- 48. PARKING SPACES REVISED AS PER COMMENT 8 OF EPC COMMENTS ON 2/19/87
- 49. ADDITIONAL 5,700 SF PROVIDED FOR BAY SPACES PER TRAFFIC ENGINEER'S REQUEST.

COORS BOULEVARD N.W.



SITE SCHEDULE

- 1 EXISTING CURB AND GUTTER
- 2 EXISTING CONCRETE SIDEWALK
- 3 EXISTING RETAINING WALL
- 4 EXISTING "STOP" PAVEMENT MARKING TO BE REFRESHED AS NECESSARY
- 5 EXISTING SITE LIGHT
- 6 EXISTING TRANSFORMER AND BOLLARD PROTECTION TO REMAIN
- 7 EXISTING LANDSCAPE CUTOUTS
- 8 EXISTING BUILDING - 6,030 SF
- 9 EXISTING GAS METERS TO RELOCATED
- 10 PROPOSED RECONSTRUCTION OF DAMAGED CURB AND GUTTER
- 11 PROPOSED REMOVAL AND RECONSTRUCTION OF EXISTING ADA RAMP. REFERENCE STD DWG. 2441
- 12 PROPOSED 6" MEDIAN CURB AND GUTTER PER COA STD DWG 2415A
- 13 PROPOSED ROLL CURB PER COA STD DWG 2415A
- 14 PROPOSED HEADER CURB TO MATCH EXISTING CURB TO REMAIN, PER COA STD DWG 2415A
- 15 PROPOSED CONCRETE SIDEWALK
- 16 PROPOSED RETAINING WALL (REF. SITE DETAILS)
- 17 PROPOSED "DO NOT ENTER" PAVEMENT STRIPING
- 18 PROPOSED 4" WHITE PAVEMENT STRIPING
- 19 PROPOSED PAVEMENT STRIPING
- 20 PROPOSED PARKING LOT SIGN. TYPE R7-8 (REF. SITE DETAILS)
- 21 PROPOSED PARKING LOT SIGN. TYPE R7-8A (REF. SITE DETAILS)
- 22 PROPOSED ADA PARKING STALL
- 23 PROPOSED 8' WIDE ADA PEDESTRIAN CROSSWALK
- 24 PROPOSED ADA RAMP
- 25 PROPOSED MOTORCYCLE PARKING
- 26 PROPOSED MOTORCYCLE PARKING SIGN
- 27 PROPOSED ROLLER MEDIAN
- 28 PROPOSED BIKE RACKS (REF. SITE DETAILS)
- 29 PROPOSED WATER METER. SEE UTILITY PLAN FOR MORE DETAILS
- 30 PROPOSED FIRE HYDRANT. SEE UTILITY PLAN FOR MORE DETAILS
- 31 PROPOSED BUILDING ADDITION. SEE ARCHITECTURAL PLANS FOR MORE DETAILS
- 32 PROPOSED TRASH ENCLOSURE (REF SITE DETAILS)
- 33 PROPOSED COMMUNICATION INTERFACE
- 34 PROPOSED RECONSTRUCTION OF EXISTING ADA RAMP
- 35 PROPOSED CLEARANCE BAR
- 36 PROPOSED MENU BAR
- 37 PROPOSED 2' PARKING STALL OVERHANG
- 38 PROPOSED "ONE WAY" SIGN
- 39 PROPOSED "ONE WAY" PAVEMENT MARKING

NOTES

ALL BROKEN OR CRACKED C&G OR SIDEWALK MUST BE REPLACED PER INSPECTOR DIRECTION

BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE - NAD 83.

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- EXISTING SIDEWALK/CONCRETE PAVING TO REMAIN
- PROPOSED ADA PATH
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING CONCRETE TO REMAIN
- PROPOSED CONCRETE
- EXISTING RETAINING WALL TO REMAIN
- EXISTING SIGN
- EXISTING ELECTRIC VAULT BOX
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE
- EXISTING STORM SEWER MANHOLE
- EXISTING WATER METER
- EXISTING TELEPHONE PEDESTAL
- EXISTING GAS METER
- EXISTING TREE
- PROPOSED PUBLIC FIRE HYDRANT
- PROPOSED WATER METER

PROJECT NUMBER:

APPLICATION NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY	DATE

PROJECT DATA

ZONING: MIXED-USE - MEDIUM INTENSITY (MX-M)
 ZONE MAP: E-12
 AREAS:
 PROPERTY: 141,622 SF (3,251 AC)
 BUILDING FOOTPRINT: 6,106 GSF
 PROPOSED USE: MULTI-TENANT RETAIL
PARKING
 TOTAL PARKING SPACES:
 REQUIRED = 34 SPACES (5.6 SPACES PER 1,000 GSF)
 PROVIDED = 63 SPACES
 ADA PARKING SPACES
 REQUIRED = 2 SPACES
 PROVIDED = 4 SPACES
 MOTOR CYCLE PARKING SPACES
 REQUIRED = 2 SPACES
 PROVIDED = 2 SPACES
 BICYCLE PARKING
 REQUIRED = 2 SPACES
 PROVIDED = 2 SPACES

LEGAL DESCRIPTION

AS LISTED WITHIN THE TITLE COMMITMENT PREPARED FOR THIS PROPERTY BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT FOR TITLE INSURANCE NO. 2304279, DATED NOVEMBER 13, 2023.

PARCEL NUMBERED THREE-A (3-A) OF THE SUMMARY REPLAT SHOWING PARCELS "1-A", "2-A", "3-A", "4-A", AND "5-A" OF THE PLAT OF LANDS OF JOEL P. TAYLOR, SITUATE WITHIN SECTION 25, T11N, R2E, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 24, 1984 IN PLAT BOOK C24, FOLIO 18.



VERTICAL DATUM SHOWN HEREON IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "10-E12" HAVING A PUBLISHED ELEVATION OF 5009.741 FEET (NAVD 88).

PRELIMINARY
 NOT FOR BIDDING
 NOT FOR CONSTRUCTION

10/10/2024	1	10/10/2024	NO.	DATE	DESCRIPTION	CONTRACTOR
DESIGNED BY:	DDJ	AS-BUILT INFORMATION	NO.	DATE	DESCRIPTION	CONTRACTOR
DRAWN BY:	TKG	WORK STAKED BY:	NO.	DATE	DESCRIPTION	CONTRACTOR
CHECKED BY:	TKG	INSPECTOR'S ACCEPTANCE BY:	NO.	DATE	DESCRIPTION	CONTRACTOR
DATE	10/10/2024	FIELD VERIFICATION BY:	NO.	DATE	DESCRIPTION	CONTRACTOR
		DRAWINGS CORRECTED BY:	NO.	DATE	DESCRIPTION	CONTRACTOR



MONTANO PLAZA BUILDING C
 CITY OF ALBUQUERQUE
 6200 COORS BOULEVARD N.W.

SITE PLAN

DESIGN REVIEW COMMITTEE

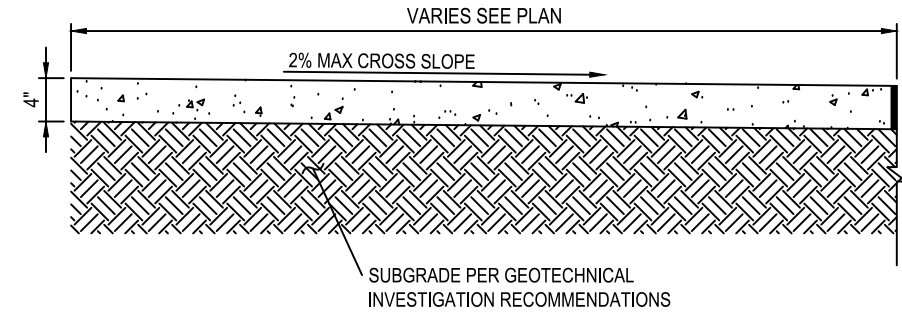
CITY ENGINEER APPROVAL

ZONE MAP NO. E-12
 CITY PROJECT NO.
 SHEET NO. 1



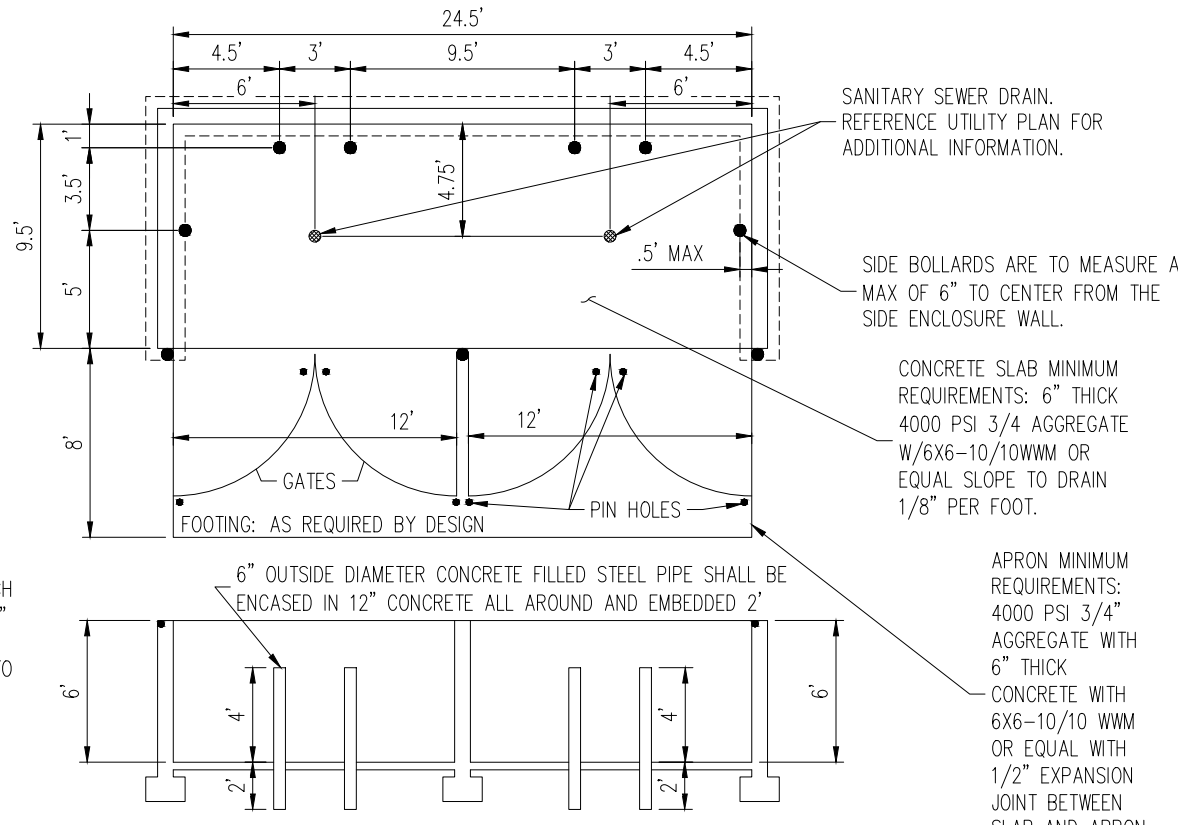
CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

DRB CASE NO.



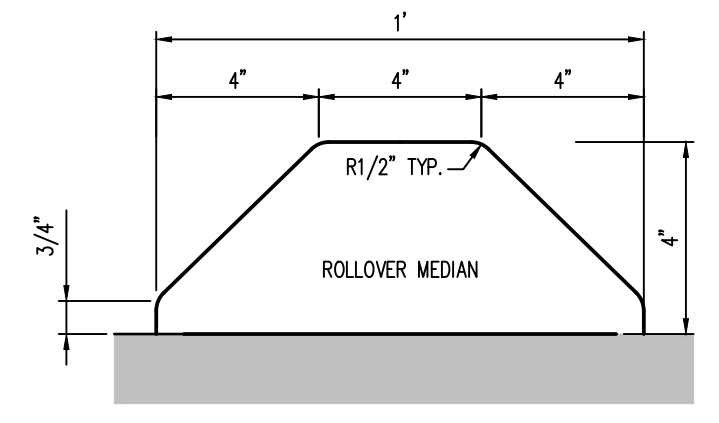
- NOTES:**
1. MAX CROSS SLOPE 2%
 2. 5' MINIMUM SIDEWALK WIDTH
 3. 3" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS, OR OTHER IMMOVABLE OBJECTS.
 4. CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE COA STD. DWG. 2415.
 5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SIDEWALK REPLACEMENT DUE TO DEFECT, EXCESSIVE OR INADEQUATE GRADE, OR ADA NON-COMPLIANCE IF PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER.
 6. CONSTRUCTION MATERIALS AND PROCEDURE SHALL CONFORM TO EXISTING CITY AND STATE STANDARD SPECIFICATIONS.

1 CONCRETE SIDEWALK (TYP.)
NOT TO SCALE

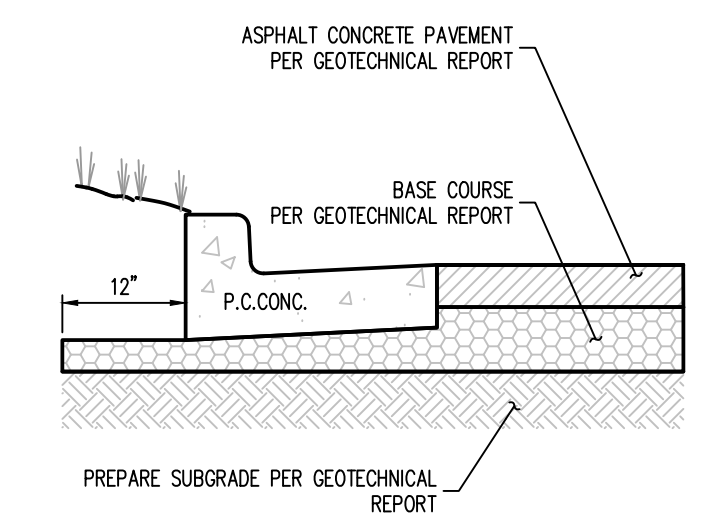


- NOTES:**
1. IT IS NOT THE INTENTION OF THE SOLID WASTE DEPARTMENT TO CONTROL THE DESIGN OF AN ENCLOSURE. IT IS THE INTENT TO GIVE THE MINIMUM WIDTH, LENGTH, AND HEIGHT OF VARIOUS TYPES OF ENCLOSURES.
 2. ADDITIONAL INFORMATION CONCERNING THESE SPECIFICATIONS MAY BE OBTAINED BY CALLING THE SOLID WASTE MANAGEMENT DEPARTMENT AT (505)-761-8125.
 3. TRASH ENCLOSURES ARE INTENDED FOR DUMPSTERS ONLY.
 4. IF CASTERS ARE REQUIRED FOR SERVICE A LEVEL, SMOOTH, HARD SURFACE (ASPHALT, CONCRETE) IS REQUIRED FROM THE EDGE OF THE APRON.

2 TRASH ENCLOSURE
NOT TO SCALE

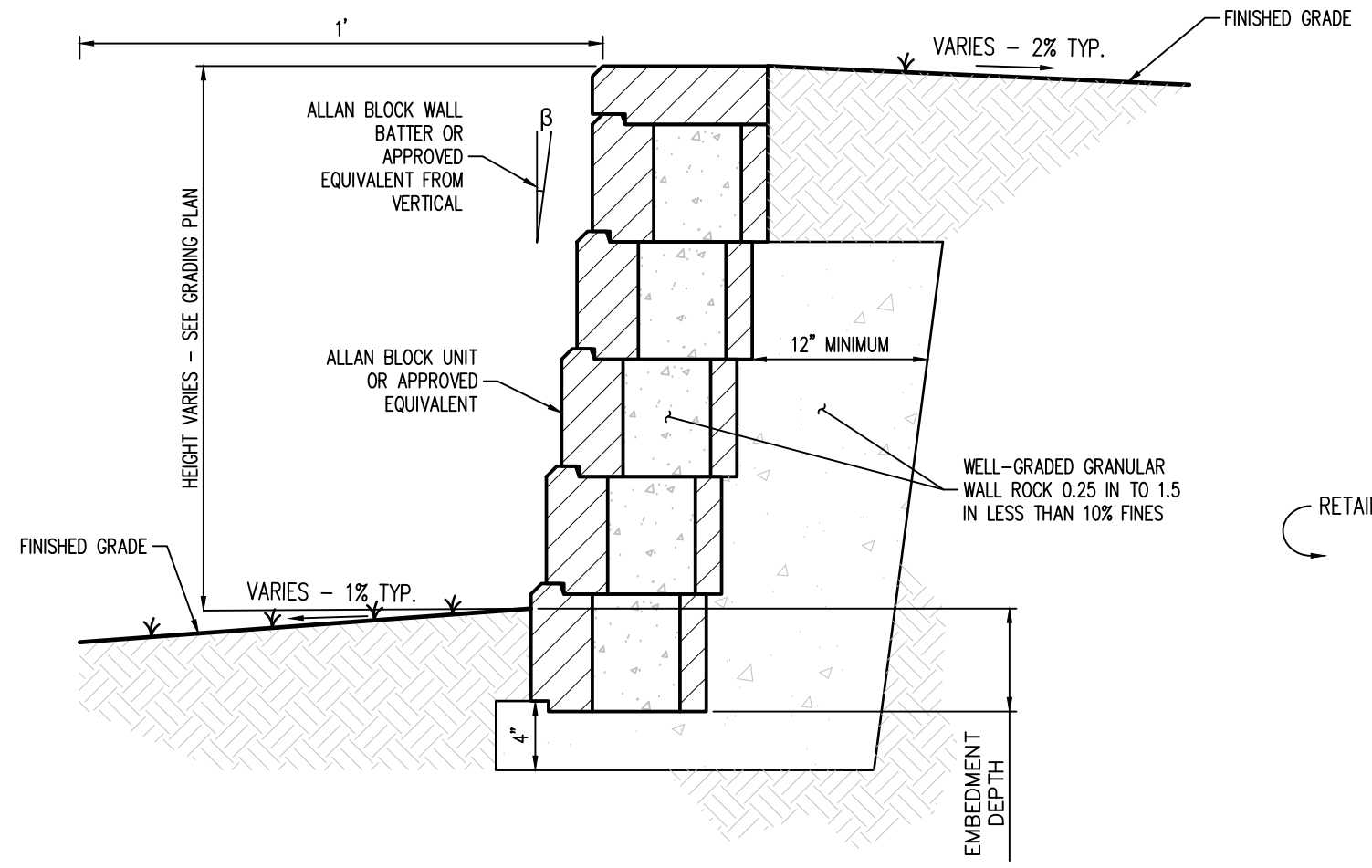


3 ROLLOVER MEDIAN
NOT TO SCALE



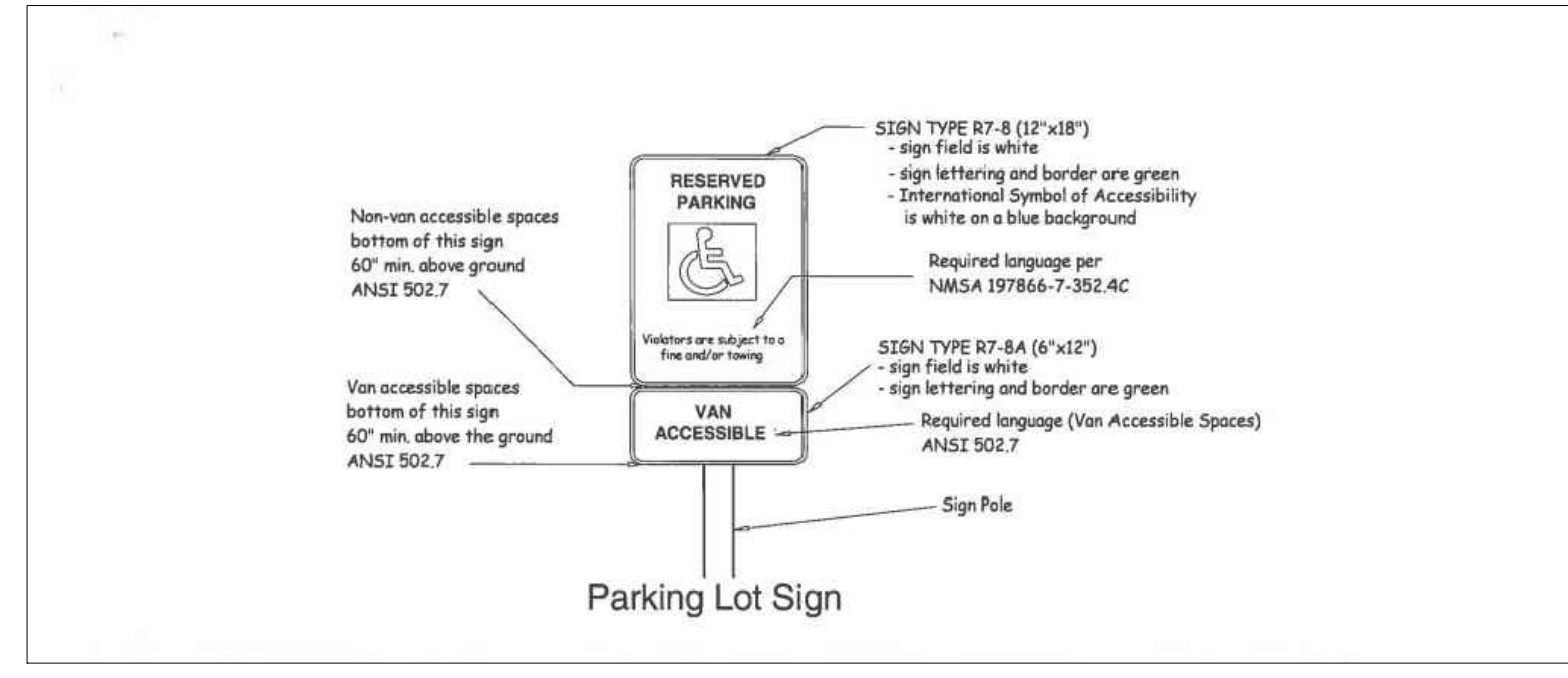
- NOTES:**
1. BASE COURSE AND ASPHALT CONCRETE SHOULD CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTIONS OR CITY OF ALBUQUERQUE SPECIFICATIONS.
 2. BITUMINOUS SURFACING SHOULD BE CONSTRUCTED OF DENSE GRADED, CENTRAL PLANT MIX, ASPHALT CONCRETE OF AN SP-IV OR SP-III MIX DESIGN.

4 PARKING AND DRIVES ASPHALT CONCRETE PAVEMENT (PRIVATE)
NOT TO SCALE

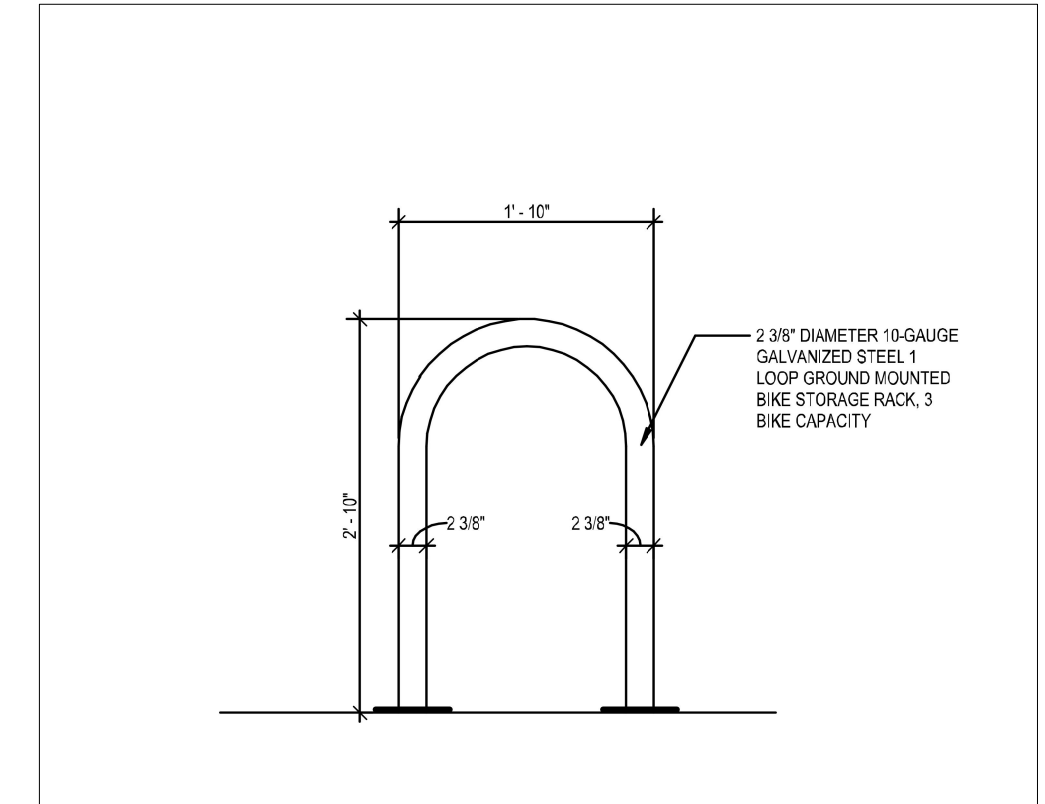


- NOTES:**
1. CONTRACTOR TO SUBMIT ENGINEERED WALL DESIGNS FOR PERMIT IF REQUIRED.

5 PRIVATE RETAINING WALL
NOT TO SCALE



6 PARKING LOT SIGN
NOT TO SCALE



7 BIKE RACK
NOT TO SCALE

Galloway
5500 Greenwood Plaza Boulevard
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

CONSULTANTS
VERTICAL DATUM SHOWN HEREON IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "10-E12" HAVING A PUBLISHED ELEVATION OF 5009.741 FEET (NAVD 88).

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

1	10/10/2024	1ST SITE PLAN AMENDMENT SUBMITTAL	TKG	SEAL
NO.	DATE	DESCRIPTION	BY	
AS-BUILT INFORMATION		CONTRACTOR:		
WORK STAKED BY:		INSPECTOR'S ACCEPTANCE BY:	DATE:	
FIELD VERIFICATION BY:		DRAWINGS CORRECTED BY:	DATE:	
DESIGNED BY:		DDJ		
DRAWN BY:		TKG		
CHECKED BY:		TKG		
DATE		10/10/2024		

MAESTAS DEVELOPMENT GROUP

MONTANO PLAZA BUILDING C
CITY OF ALBUQUERQUE
6200 COORS BOULEVARD N.W.

SITE DETAILS

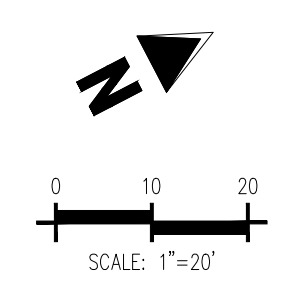
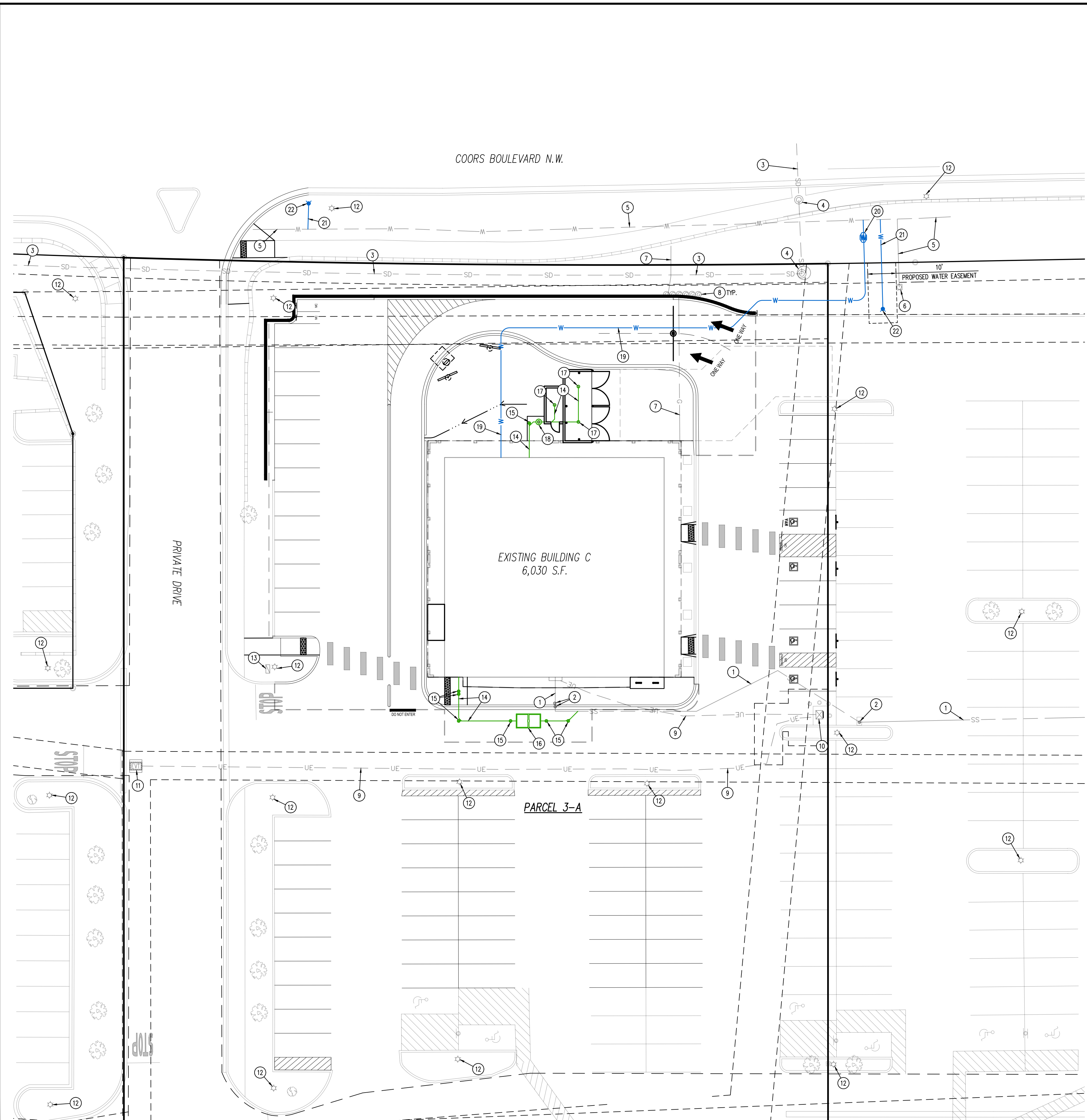
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. E-12
		CITY PROJECT NO.
		SHEET NO. 2



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

DRB CASE NO.

1410000000 Development Group/AM - Albuquerque, MNDC, Montano Plaza/02/24/2024/Amendment 01a Plan/AM000_01a Detail/eng - Nicholas Kuehn - 10/10/2024



UTILITY SCHEDULE

- ① EXISTING SANITARY SEWER LINE TO REMAIN
- ② EXISTING SANITARY SEWER CLEANOUT TO REMAIN
- ③ EXISTING STORM SEWER TO REMAIN
- ④ EXISTING STORM SEWER MANHOLE TO REMAIN
- ⑤ EXISTING WATER LINE TO REMAIN
- ⑥ EXISTING WATER METER TO REMAIN
- ⑦ EXISTING GAS SERVICE LINE TO REMAIN
- ⑧ EXISTING GAS METERS TO BE RELOCATED. LOCATION TO BE COORDINATED WITH UTILITY PROVIDER.
- ⑨ EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
- ⑩ EXISTING TRANSFORMER TO REMAIN
- ⑪ EXISTING ELECTRIC VAULT TO REMAIN
- ⑫ EXISTING LIGHT POLE TO REMAIN
- ⑬ EXISTING TELEPHONE PEDESTAL TO REMAIN
- ⑭ PROPOSED SANITARY SEWER SERVICE LINE
- ⑮ PROPOSED SANITARY SEWER CLEANOUT
- ⑯ PROPOSED GREASE INTERCEPTOR
- ⑰ PROPOSED SANITARY SEWER DRAIN
- ⑱ PROPOSED SANITARY SEWER GREASE INTERCEPTOR IN MANHOLE
- ⑲ PROPOSED 1.5" TYPE K CU DOMESTIC SERVICE LINE
- ⑳ PROPOSED 1.5" WATER METER
- ㉑ PROPOSED 6" PVC HYDRANT LINE
- ㉒ PROPOSED FIRE HYDRANT

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- EXISTING SIDEWALK/CONCRETE PAVING TO REMAIN
- PROPOSED ADA PATH
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING CONCRETE TO REMAIN
- PROPOSED CONCRETE
- EXISTING RETAINING WALL TO REMAIN
- W — EXISTING WATER LINE
- W — PROPOSED WATER LINE
- SS — EXISTING SANITARY SEWER
- SS — PROPOSED SANITARY SEWER
- SD — EXISTING STORM SEWER (LESS THAN 12")
- UE — EXISTING UNDERGROUND ELECTRICAL
- G — EXISTING GAS LINE
- EXISTING SIGN
- EVV — EXISTING ELECTRIC VAULT BOX
- ⊠ — EXISTING TRANSFORMER
- ⊙ — EXISTING LIGHT POLE
- ⊙ — EXISTING STORM SEWER MANHOLE
- ⊙ — EXISTING WATER METER
- ⊙ — EXISTING TELEPHONE PEDESTAL
- ⊙ — EXISTING GAS METER
- ⊙ — EXISTING TREE
- ⊙ — PROPOSED PUBLIC FIRE HYDRANT
- ⊙ — PROPOSED WATER METER

BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE - NAD 83.

LEGAL DESCRIPTION

AS LISTED WITHIN THE TITLE COMMITMENT PREPARED FOR THIS PROPERTY BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT FOR TITLE INSURANCE NO. 2304279, DATED NOVEMBER 13, 2023.

PARCEL NUMBERED THREE-A (3-A) OF THE SUMMARY REPLAT SHOWING PARCELS "1-A", "2-A", "3-A", "4-A", AND "5-A" OF THE PLAT OF LANDS OF JOEL P. TAYLOR, SITUATE WITHIN SECTION 25, T11N, R2E, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 24, 1984 IN PLAT BOOK C24, FOLIO 18.

BENCH MARKS
 VERTICAL DATUM SHOWN HEREON IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "10-E12" HAVING A PUBLISHED ELEVATION OF 5009.741 FEET (NAVD 88).

PRELIMINARY
 NOT FOR BIDDING
 NOT FOR CONSTRUCTION

1	10/10/2024	1ST SITE PLAN AMENDMENT SUBMITTAL	TKG	SEAL
NO.	DATE	DESCRIPTION	BY	
AS-BUILT INFORMATION			CONTRACTOR:	
WORK STAKED BY:			INSPECTOR'S ACCEPTANCE BY:	DATE:
FIELD VERIFICATION BY:			DRAWINGS CORRECTED BY:	DATE:
DESIGNED BY:			DDJ	
DRAWN BY:			TKG	
CHECKED BY:			TKG	
DATE			10/10/2024	



MONTANO PLAZA BUILDING C
 CITY OF ALBUQUERQUE
 6200 COORS BOULEVARD N.W.

UTILITY PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

ZONE MAP NO. E-12

CITY PROJECT NO.

SHEET NO. **3**



CALL NM ONE-CALL
 SYSTEM SEVEN (7) DAYS
 PRIOR TO ANY EXCAVATION

DRB CASE NO.

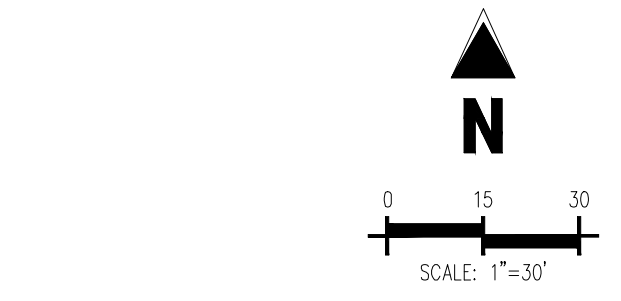
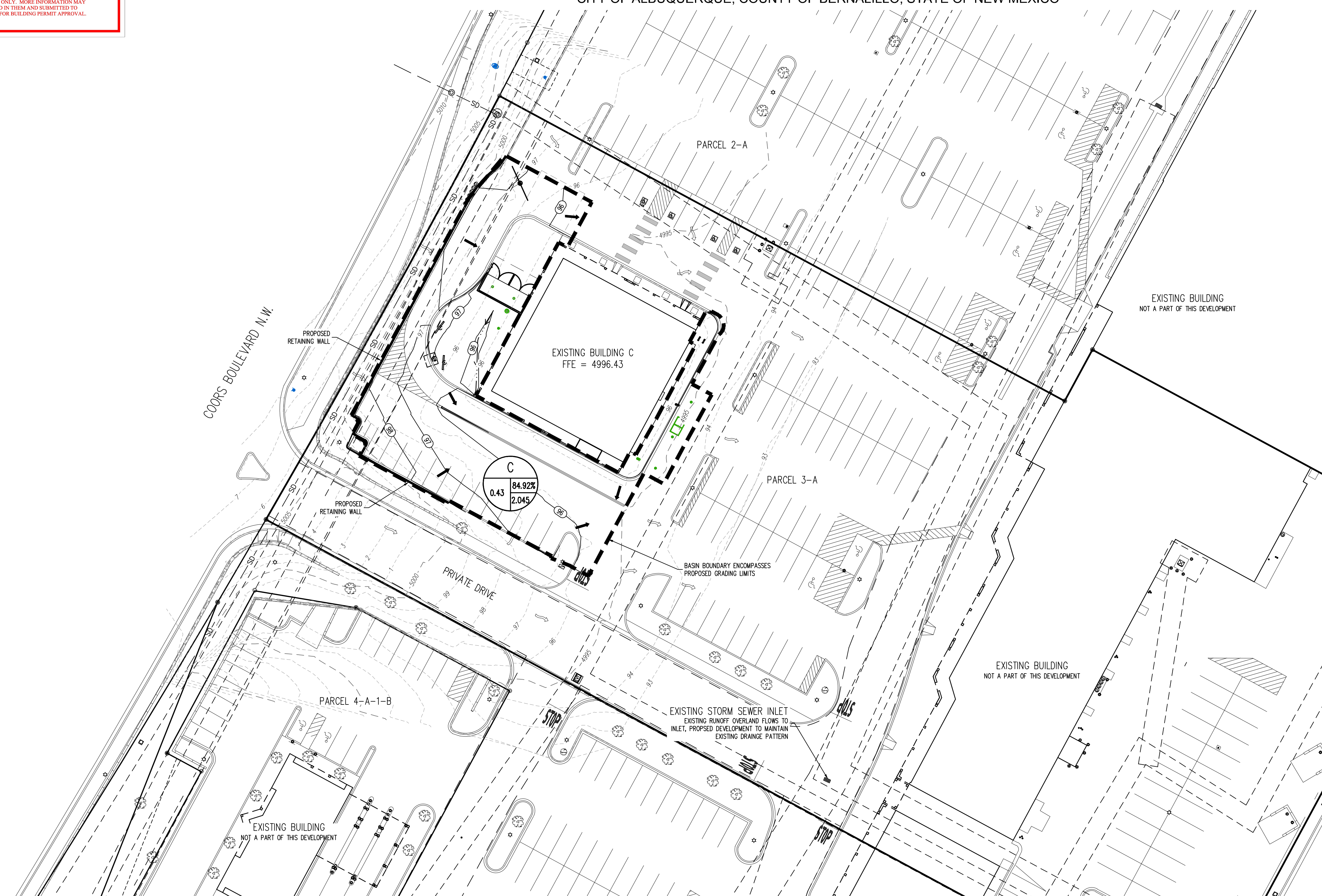
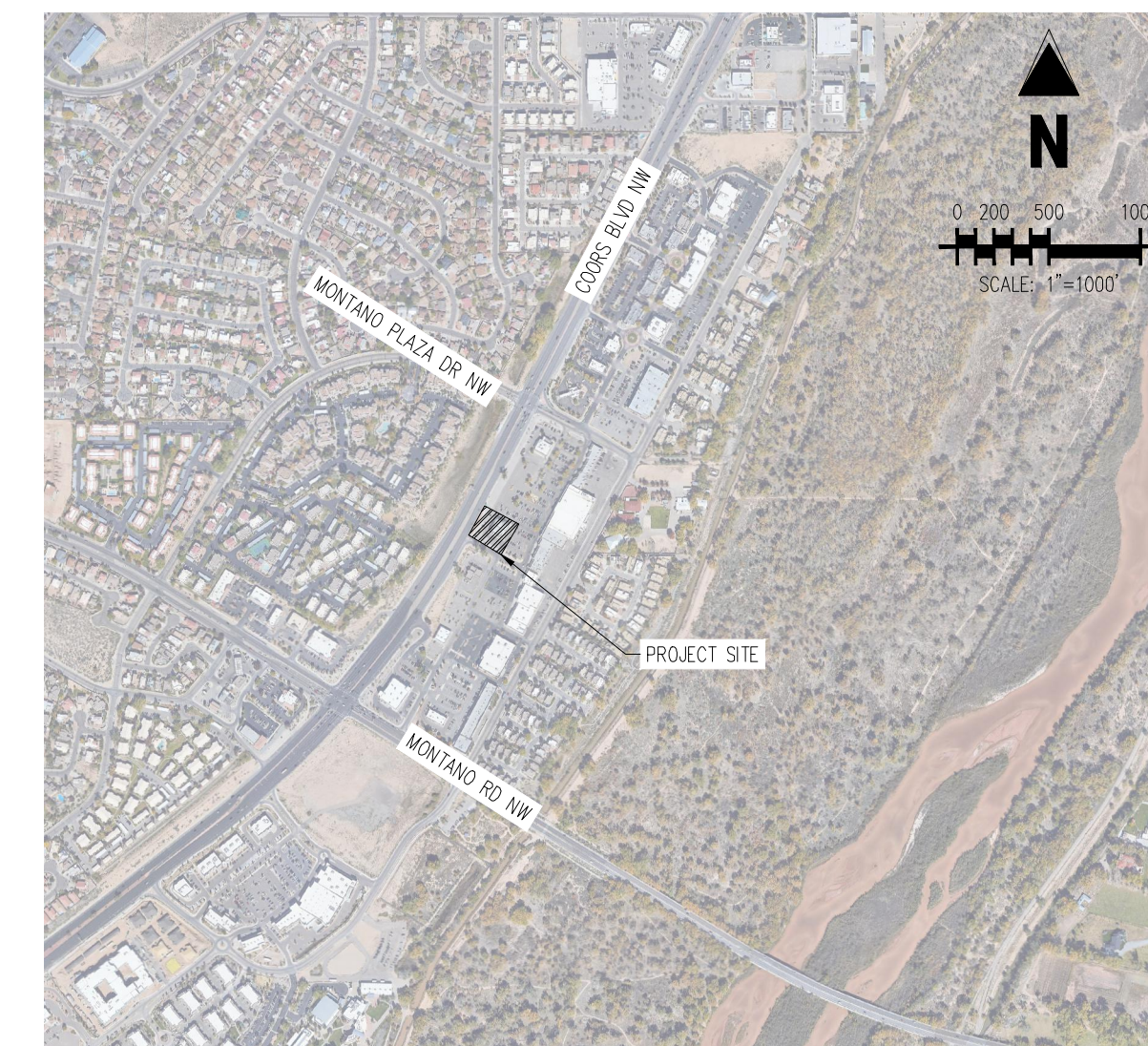
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 8/14/2024
 BY: *[Signature]*
 HydroTrans # E12D003G

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

MONTANO PLAZA

CONCEPTUAL GRADING & DRAINAGE PLAN

6200 COORS BOULEVARD N.W. BUILDING C
 CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO



DRAINAGE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- - - - - 5460 EXISTING MAJOR CONTOUR
- - - - - 52 EXISTING MINOR CONTOUR
- - - - - 5485 PROPOSED MAJOR CONTOUR
- - - - - 60 PROPOSED MINOR CONTOUR
- - - - - MAJOR BASIN BOUNDARY LINE / LIMITS OF DEVELOPMENT
- PROPOSED FLOW ARROW
- BASIN DESIGNATION
- PERCENT TREATMENT D
- 100-YEAR WEIGHTED E VALUE
- BASIN AREA IN ACRES

PRIVATE DRAINAGE FACILITIES WITHIN CITY ROW:

- NOTICE TO CONTRACTOR (SPECIAL ORDER 19 "50-10")
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
 - CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
 - AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD SO THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 - WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
 - CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

EXISTING DRAINAGE:

THIS PROJECT SITE IS CURRENTLY DEVELOPED AND USED AS A RETAIL BUILDING AND ASSOCIATED PARKING LOTS. THE SITE IS A PORTION OF PARCEL 3-A; BOUNDED BY EXISTING SHOPPING CENTER TO THE NORTH, EAST AND SOUTH, AND COORS BLVD TO THE WEST. THE SITE IS APPROXIMATELY 0.43 ACRES AND DRAINS FROM NORTHWEST TO SOUTHEAST, FREE RELEASING INTO THROUGH THE ADJACENT PARKING LOTS TO AN EXISTING AREA INLET. DEVELOPED FLOWS WILL BE EQUAL TO OR LESS THAN THE EXISTING SITE. THE SITE IS NOT LOCATED IN A FLOODPLAIN AS SHOWN ON THE FIRM MAP (SEE THIS SHEET). THE PROJECT DOES NOT RECEIVE OFFSITE FLOWS.

Weighted E Method (Developed)

Basin C	Area (sf)	Area (ac)	Treatment				100-Year			10-Year						
			%	acres	%	acres	%	acres	Weighted E	Volume	Flow	Weighted E	Volume	Flow		
Existing	18,719	0.43	0.00%	0	0.00%	0	13.90%	0.060	86.10%	0.370	2.061	1.70	1.291	0.555	1.04	
Proposed	18,719	0.43	0.00%	0	0.00%	0	15.08%	0.065	84.92%	0.365	2.045	0.879	1.69	1.279	0.550	1.03

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / Total Area

Volume = Weighted E * Total Area

Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad

Excess Precipitation, E (in)			Peak Discharge (cfs/acre)		
Zone 1	100-Year	10-Year	Zone 1	100-Year	10-Year
Ea	0.55	0.11	Qa	1.54	0.3
Eb	0.73	0.26	Qb	2.16	0.81
Ec	0.95	0.43	Qc	2.87	1.46
Ed	2.24	1.43	Qd	4.12	2.57

Water Quality Calculations Note: For redevelopment site, SWQV = 0.26 in

Basin	Impervious Area (sf)	SWQV (in)	Storm Water Quality Vol (cf)	Storm Water Quality Vol (ac-ft)
Proposed	18,719	0.26	406	0.009

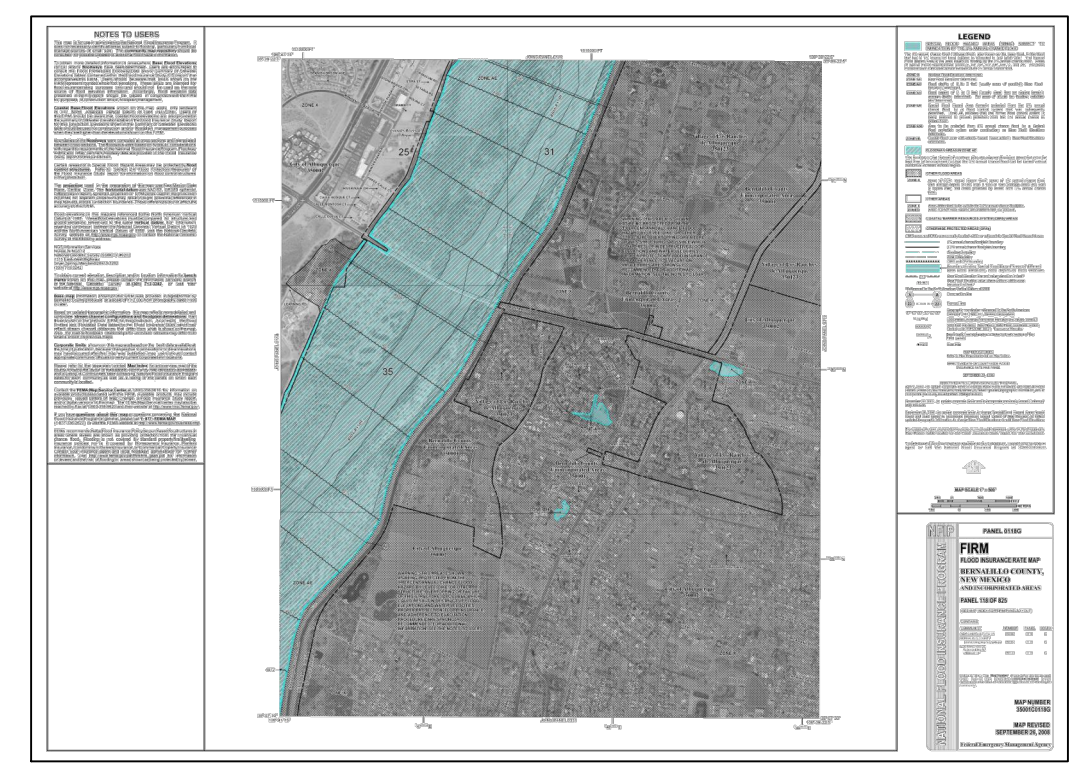
PROPOSED DRAINAGE:

THE PROPOSED SITE IS LIMITED TO THE DISTURBED PORTION OF PARCEL 3-A, APPROXIMATELY 0.43 ACRES. THIS PROJECT INCLUDES INTERNAL REMODEL TO THE EXISTING RETAIL BUILDING C AS WELL AS ADJACENT PARKING LOT AND UTILITY IMPROVEMENTS.

ON-SITE LAYOUTS AND GRADING SHOWN ON THIS PLAN ARE CONCEPTUAL AND SUBJECT TO CHANGE. FOR THE PURPOSES OF STORMWATER QUALITY CALCULATIONS, IT IS BEING ASSUMED THAT ALL NON-PAVED AREAS ARE TREATMENT C. EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED WITH THE RUNOFF FROM THE PROJECT SITE BEING HELD AT OR BELOW EXISTING CONDITIONS.

BASIN "C" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 1.69 CFS, WHICH IS ASSUMED TO BE DIRECTED SOUTHEAST, WHERE IT SHALL SHEET FLOW TO THE EXISTING AREA INLET.

THE TOTAL DISCHARGE IN THE DEVELOPED CONDITION IS EQUAL TO OR LESS THAN THE DISCHARGE IN THE EXISTING CONDITION DUE TO THE INCREASE IN LANDSCAPED AREA ON-SITE, REFERENCE THE DRAINAGE CALCULATIONS FOR A COMPARISON OF THE FLOW.



FIRM MAP - 35001C0351H
 NOT TO SCALE



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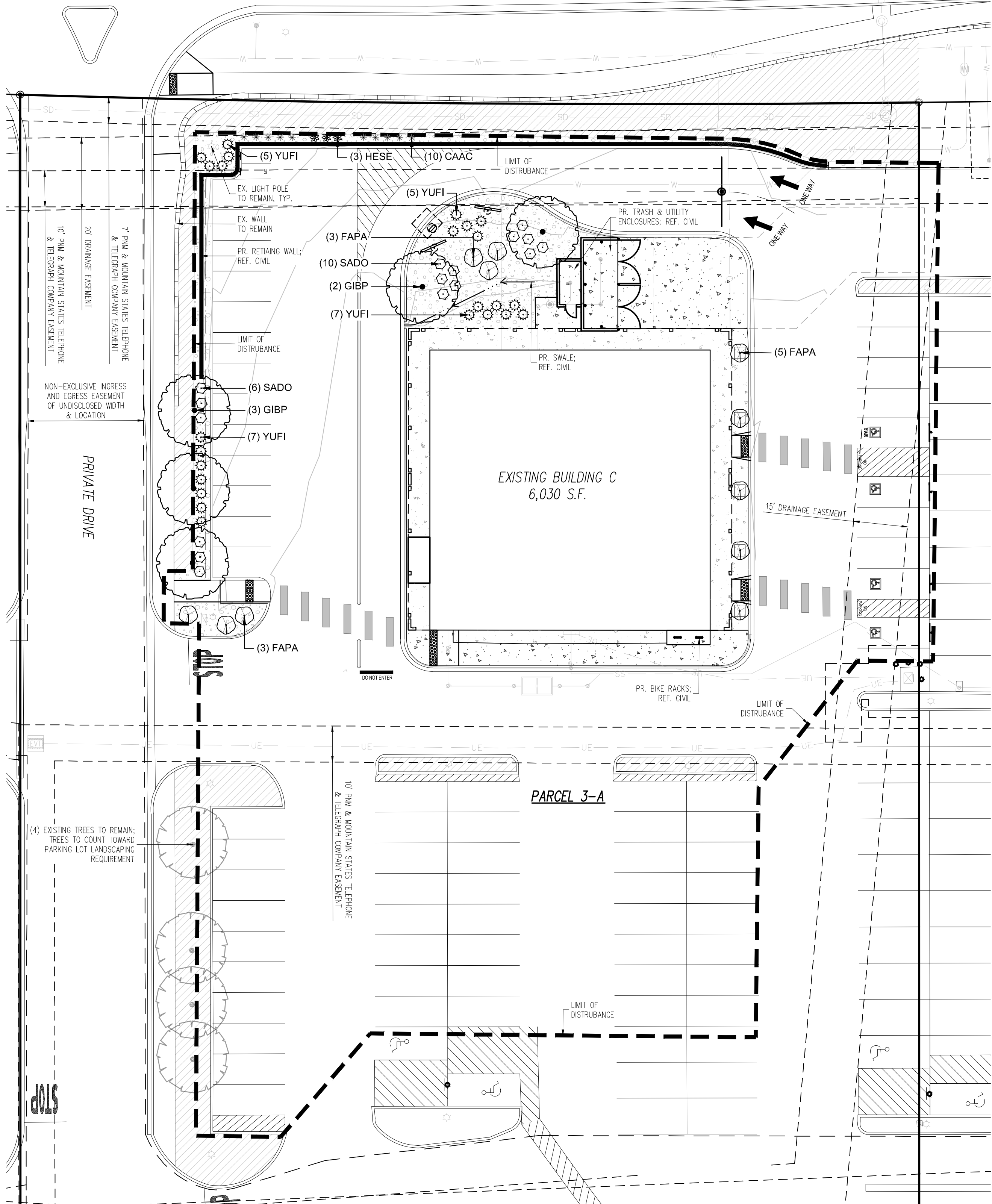
MONTANO PLAZA
CONCEPTUAL GRADING & DRAINAGE PLAN
 6200 COORS BOULEVARD N.W.
 ALBUQUERQUE, NM 87120

#	Date	Issue / Description	Init.
0	6/17/2024	1ST SUBMITTAL	TDK
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

Project No: MAE000006
 Drawn By: DDJ
 Checked By: TDK
 Date: 07/11/2024

CONCEPTUAL GRADING & DRAINAGE PLAN

COORS BOULEVARD N.W.



PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE
DECIDUOUS TREES								
	GIBP	5	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'	B&B	2" CAL	40' X20'	MODERATE
EXISTING TREES								
	EXDT	4	EXISTING TREE	TO REMAIN	EXISTING			
DECIDUOUS SHRUBS								
	FAPA	11	APACHE PLUME	FALLUGIA PARADOXA	#5 CONT.	5' X5'	VERY LOW	
EVERGREEN SHRUBS								
	SADO	16	DESERT SAGE	SALVIA DORRII	#5 CONT.	3' X3'	VERY LOW	
	YUFI	24	ADAM'S NEEDLE	YUCCA FILAMENTOSA	#5 CONT.	3' X3'	VERY LOW	
ORNAMENTAL GRASSES								
	CAAC	10	AVALANCHE FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'AVALANCHE'	#1 CONT.	5' X2'	MODERATE	
	HESE	3	BLUE AVENA	HELIOTRICHON SEMPERVIRENS	#1 CONT.	2.5' X2.5'	VERY LOW	

SYMBOL	QTY	TYPE
	5,601 SF	EXISTING LANDSCAPE TO REMAIN
	2,589 SF	ROCK MULCH - MATCH EXISTING

LANDSCAPE REQUIREMENTS

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED
5-6(C)(2)	MINIMUM LANDSCAPE AREA	15% OF NET LOT AREA TO BE LANDSCAPED	47,288 SF x 0.15	7,093 SF	3,425 SF*
5-6(F)(2)(c)	PARKING LOT TREES	1 TREE / 10 PARKING SPACES	66 PARKING SPACES	7 TREES	7 TREES**

*PROVIDED LANDSCAPE AREA BELOW 15% REQUIREMENT DUE TO LIMIT OF DISTURBANCE CONSTRAINTS
**INCLUDES EXISTING TREES

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below. Call before you dig.

VERTICAL DATUM SHOWN HEREON IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "10-E12" HAVING A PUBLISHED ELEVATION OF 5009.741 FEET (NAVD 88).

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	CONTRACTOR	TK	BY
1		AS-BUILT INFORMATION			

DESIGNED BY:
DRAWN BY:
CHECKED BY:
DATE:



MONTANO PLAZA BUILDING C
CITY OF ALBUQUERQUE
6200 COORS BOULEVARD N.W.

LANDSCAPE PLAN
L1.0

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

ZONE MAP NO. E-12

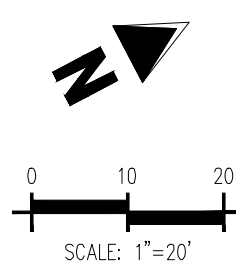
CITY PROJECT NO.

SHEET NO.



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

DRB CASE NO.



PLANTING NOTES

GENERAL

- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
- LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
- THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
- LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
- FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
- WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE NEW MEXICO LANDSCAPE CONTRACTORS ASSOCIATION.
- LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.

FINISH GRADING AND SOIL PREPARATION

- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE TOWARD DRAINAGE DITCHES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ABSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
- AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
- ALL PARKING ISLAND SOIL TO BE TILLED OR AMENDED TO A MINIMUM DEPTH OF 30".

PLANTING

- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED, TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
- ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
- ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
- ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
- ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
- THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
- A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
- LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E., MULCH, EDGER, LANDSCAPE FABRIC, ETC.

MULCHING

- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL A MIN OF 3' DIA.
- ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
- INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
- ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

TREE PROTECTION NOTES:

- USE CITY OF ALBUQUERQUE TREE PROTECTION NOTES (IF AVAILABLE). TREE PROTECTION NOTES BELOW SHALL BE USED FOR FURTHER INTEGRATION.
- "PROTECTED ZONE" FOR EXISTING TREES: BEFORE BEGINNING ANY DEMOTION OR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND ALL EXISTING TREES WITHIN THE CONSTRUCTION ZONE THAT ARE TO BE SAVED. THE FENCE SHALL BE INSTALLED NO CLOSER TO THE TREE THAN THE EDGE OF THE TREE'S PROTECTED ZONE, GENERALLY DEFINED AS THE AREA BEGINNING FIVE FEET OUTSIDE OF THE TREE'S DRIPLINE AND EXTENDING TOWARDS THE TREE (OR AS FAR AWAY FROM THE TRUNK AS PRACTICABLE). THE FENCING SHALL BE OF A MATERIAL AND HEIGHT ACCEPTABLE TO THE LANDSCAPE ARCHITECT. ALL CONTRACTORS AND THEIR CREWS SHALL NOT BE ALLOWED INSIDE THIS "PROTECTED ZONE" NOR SHALL THEY BE ALLOWED TO STORE OR DUMP FOREIGN MATERIALS WITHIN THIS AREA. NO WORK OF ANY KIND, INCLUDING TRENCHING, SHALL BE ALLOWED WITHIN THE PROTECTED ZONE EXCEPT AS DESCRIBED BELOW. THE FENCING SHALL REMAIN AROUND EACH TREE TO BE SAVED UNTIL THE COMPLETION OF CONSTRUCTION OPERATIONS.
- TEMPORARY MULCH: TO ALLEVIATE SOIL COMPACTION IN ANTICIPATED AREAS OF HIGH CONSTRUCTION TRAFFIC, AND ONLY WHERE FENCING CANNOT BE SET FIVE FEET OUTSIDE OF THE DRIPLINE, THE CONTRACTOR SHALL INSTALL A LAYER OF MULCH, 9'-12" THICK, OVER ALL EXPOSED EARTH FROM THE TREE TRUNK TO 5' OUTSIDE OF THE DRIPLINE. THIS LAYER SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. WHEN PLANTING OPERATIONS ARE COMPLETED, THE MULCH SHALL BE REDISTRIBUTED THROUGHOUT ALL PLANTING AREAS IN A 3" THICK "PERMANENT" MULCH LAYER.
- NECESSARY WORK: WHEN IT BECOMES NECESSARY TO ENTER THE "PROTECTED ZONE", SUCH AS FOR FINE GRADING, IRRIGATION INSTALLATION, AND PLANTING OPERATIONS, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE FOLLOWING RULES:
 - EVERY EFFORT SHALL BE MADE TO PRESERVE THE EXISTING GRADE AROUND PROTECTED TREES IN AS WIDE AN AREA AS POSSIBLE.
 - TRENCHING WITHIN THE PROTECTED ZONE OF EXISTING TREES SHALL BE PERFORMED BY HAND, AND WITH EXTREME CARE NOT TO SEVER ROOTS 1-1/2" IN DIAMETER AND LARGER. WHERE ROOTS 1-1/2" IN DIAMETER AND LARGER ARE ENCOUNTERED, THE CONTRACTOR SHALL TUNNEL UNDER SAID ROOTS. EXPOSED ROOTS THAT HAVE BEEN TUNNELED UNDER SHALL BE WRAPPED IN WET BURLAP AND KEPT MOIST WHILE THE TRENCH IS OPEN.
 - WHERE ROOTS 1-1/2" IN DIAMETER OR LARGER MUST BE CUT DUE TO EXTENSIVE GRADE CHANGES, THOSE ROOTS MUST BE EXPOSED BY HAND DIGGINS AND CUT CLEANLY. RAGGED CUTS GENERALLY DO NOT HEAL PROPERLY, AND MAY LEAVE THE TREE OPEN TO PESTS AND PATHOGENS.
 - WHERE TRENCHING NEAR TREES HAS ALREADY OCCURRED FROM PREVIOUS CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE HIS TRENCHING OPERATIONS TO THE PREVIOUSLY-CREATED TRENCHES, WHILE ADHERING TO THE CONDITIONS SET FORTH IN 3B.
- POTENTIAL CONFLICTS: THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARBORIST SHOULD ANY POTENTIAL CONFLICTS ARISE BETWEEN THESE SPECIFICATIONS AND/OR LARGE ROOTS ENCOUNTERED IN THE FIELD, AND CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOT TAKE ANY ACTION IN SUCH CONFLICTS WITHOUT THE ARBORIST'S WRITTEN APPROVAL. THE ARBORIST SHALL HAVE FINAL AUTHORITY OVER ALL METHODS NECESSARY TO HELP ENSURE THE PROTECTION AND SURVIVAL OF EXISTING TREES.
- PRUNING: PRUNE ONLY THE TREES THAT ARE INDICATED ON THE PLANS AS REQUIRING PRUNING. PRUNE TREES ACCORDING TO INTERNATIONAL SOCIETY OF ARBORICULTURE / ANSI A300 STANDARDS.
 - REMOVE ALL DEAD WOOD.
 - PRUNE LIVE WOOD FOR HEALTH OR STRUCTURAL REASONS ONLY, INCLUDING THE NEED TO ELIMINATE DISEASED OR DAMAGED GROWTH, ELIMINATE STRUCTURALLY UNSOUND GROWTH, REDUCE THE POTENTIAL FOR WIND TOPPLING OR WIND DAMAGE, OR TO MAINTAIN GROWTH WITHIN LIMITED SPACE. DO NOT REMOVE MORE THAN 25% OF ANY TREE'S LIVE FOLIAGE IN ANY ONE GROWING SEASON. PRUNE ONLY TO INTERNATIONAL SOCIETY OF ARBORICULTURE/ANSI A300 STANDARDS, AND ONLY UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST.
 - FINAL CUTS SHALL BE MADE JUST OUTSIDE THE SHOULDER RING AREA. EXTREMELY FLUSHED CUTS WHICH PRODUCE LARGE WOUNDS SHALL NOT BE MADE.
 - ALL TRIMMING CUTS SHALL BE PERFORMED IN SUCH A MANNER AS TO PROMOTE THE NATURAL GROWTH AND SHAPE OF EACH TREE SPECIES.
 - IMPROPER PRUNING METHODS INCLUDING, BUT NOT LIMITED TO, "TOPPING", "TIPPING", "HEADING BACK", "DEHORNING", AND "LIONTAILING" WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PAY FOR ALL WORK NECESSARY TO CORRECT SUCH PRUNING WHEN PERFORMED BY HIS CREWS OR SUBCONTRACTORS.
 - SHOULD THE CONTRACTOR REQUIRE MORE INFORMATION, THE CONTRACTOR SHALL CONTACT THE ISA AT (217) 355-9411 FOR A COPY OF THE ANSI A300 PRUNING STANDARDS. CONTRACTOR SHALL ADHERE TO THE METHODS AND PRACTICES SET FORTH IN THIS DOCUMENT.
- LANDSCAPE AND IRRIGATION (NATIVE TREES ONLY): ANY FUTURE LANDSCAPE AND IRRIGATION SHOULD ADHERE TO THE FOLLOWING GUIDELINES:
 - NO IRRIGATION OR PLANTING SHOULD OCCUR CLOSER THAN 8'-10" FROM THE TRUNK.
 - WHERE IRRIGATION DOES OCCUR WITHIN THE PROTECTED ZONE, DRIP IRRIGATION SHOULD BE USED WHEREVER POSSIBLE. ADDITIONALLY, ONLY PLANTS WITH LOW WATER NEEDS SHOULD BE PLANTED WITHIN THE PROTECTED ZONE, SPACED FAR APART WHERE CLOSE TO THE TREE. PLANTS MAY BE SPACED CLOSER TOGETHER NEAR THE EDGE OF THE PROTECTED ZONE.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

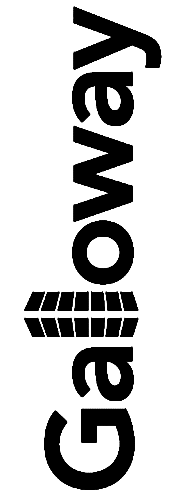
LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDS AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

UTILITY NOTES

- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT WILL BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

CONSULTANTS



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BENCH MARKS
VERTICAL DATUM SHOWN HEREON IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "10-E12" HAVING A PUBLISHED ELEVATION OF 5009.741 FEET (NAVD 88).

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

SEAL

NO.	DATE	DESCRIPTION	BY
1		AS-BUILT INFORMATION	CONTRACTOR:
		INSPECTOR'S ACCEPTANCE BY:	DATE:
		FIELD VERIFICATION BY:	DATE:
		DRAWINGS CORRECTED BY:	DATE:

DESIGNED BY:
DRAWN BY:
CHECKED BY:
DATE

	MONTANO PLAZA BUILDING C CITY OF ALBUQUERQUE 6200 COORS BOULEVARD N.W.
	LANDSCAPE NOTES L2.0
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
	ZONE MAP NO. E-12
	CITY PROJECT NO.
	SHEET NO.



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

DRB CASE NO.

