

DRB-94-552

PRELIMINARY GRADING AND EROSION CONTROL PLAN FOR QUINTESSENCE SUBDIVISION

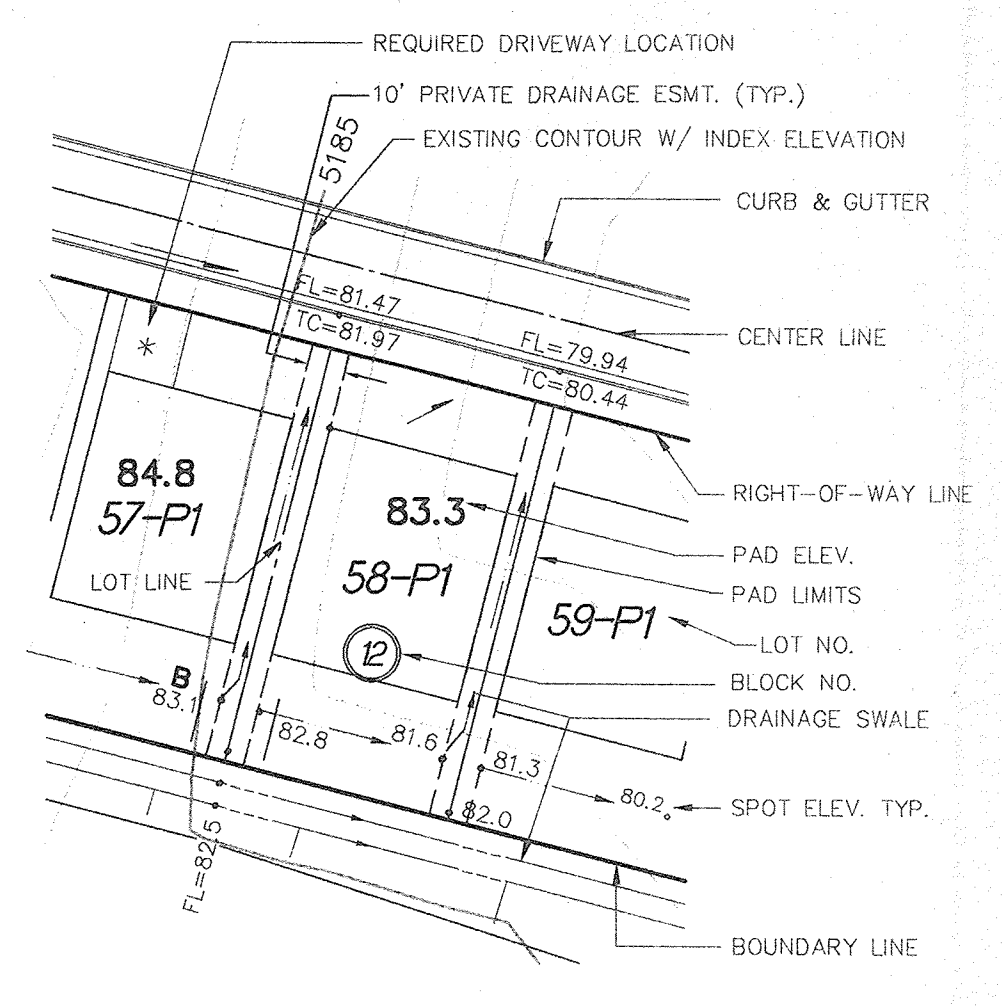
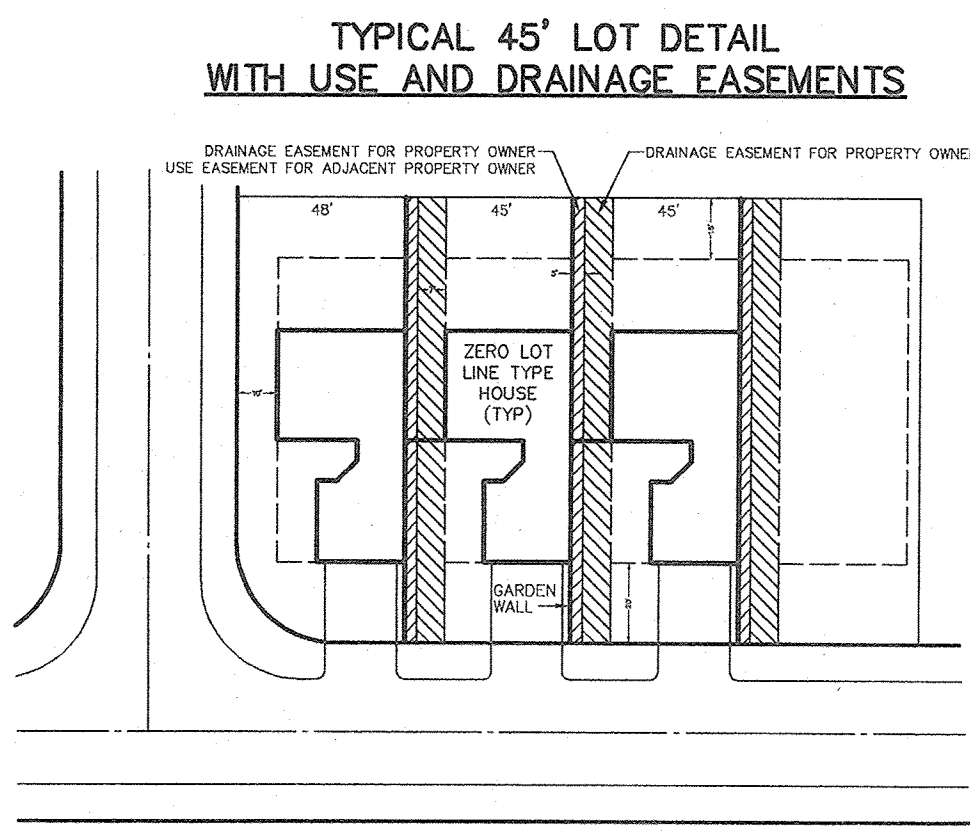
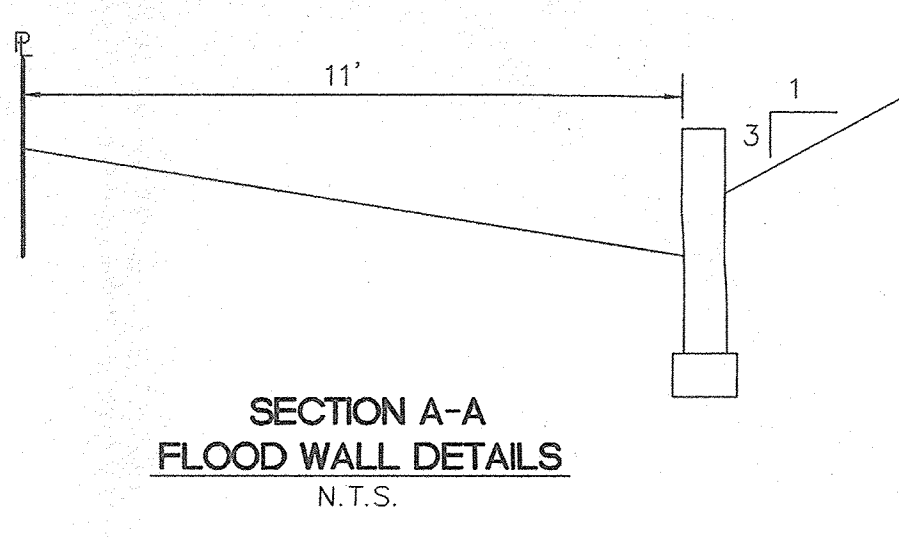
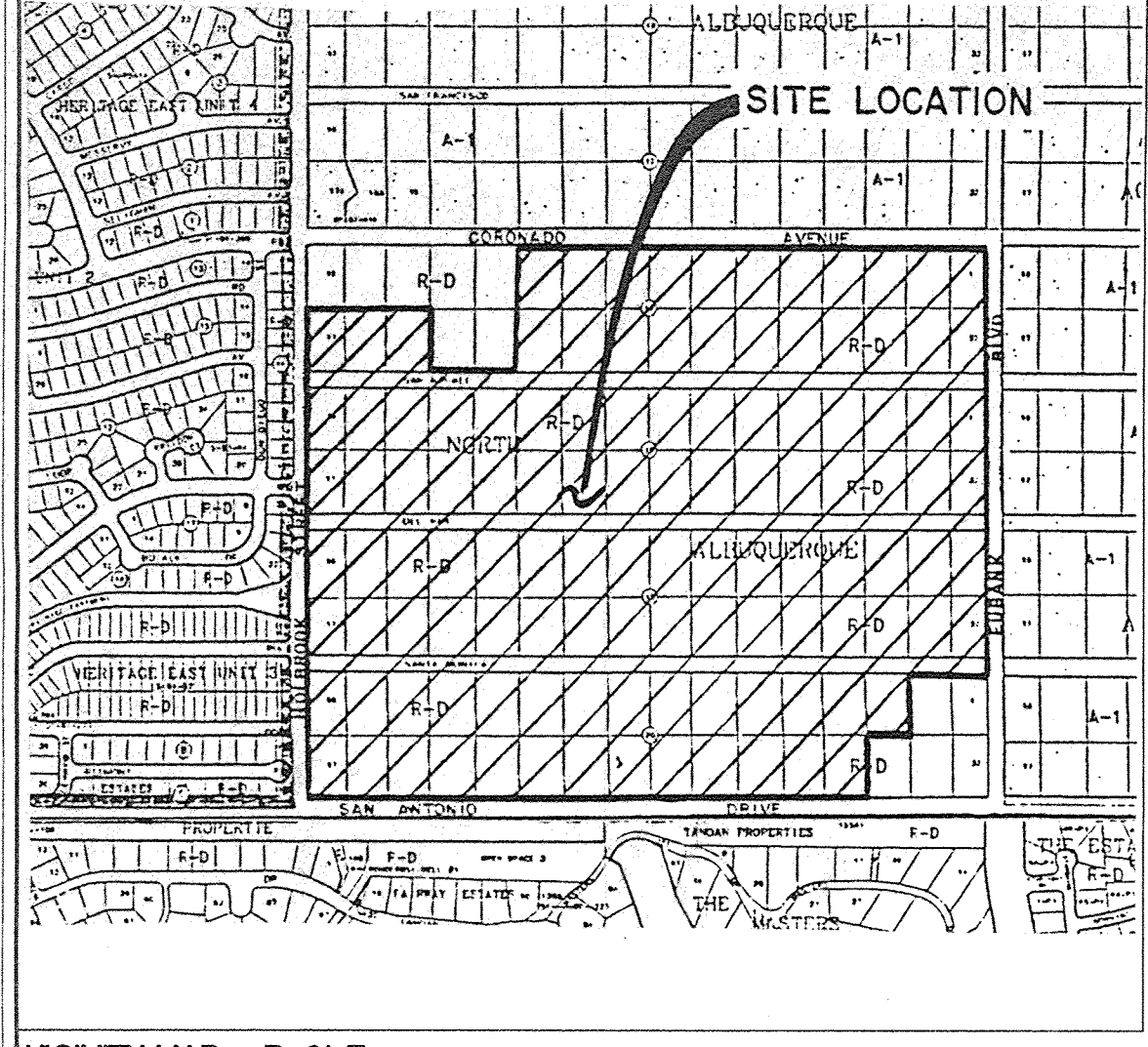
UNITS 1 THRU 6

COMPRISED OF
LOTS 1-11, 17-19, AND 22-32 BLOCK 14,
LOTS 1-26 AND 28-32 BLOCK 16,
LOTS 1-32 BLOCK 18, LOTS 3-29 BLOCK 20
NORTH ALBUQUERQUE ACRES UNIT 2, TRACT 3

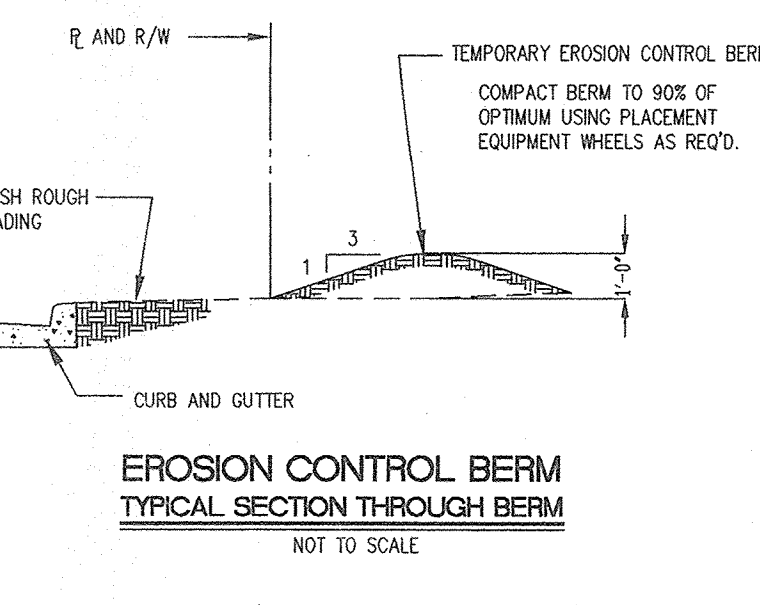
SITUATE WITHIN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

DRB NO. 94-552

BENCHMARK: STATION IS AN ACS BRASS TABLET STAMPED
"5-D21-1985" SET IN AN ALUMINUM PIPE,
LOCATED 793'± NORTH OF THE CENTERLINE
INTERSECTION OF CORONADO AVENUE AND
HOLBROOK STREET AND 853'± EAST OF
THE CENTERLINE OF HOLBROOK
ELEVATION = 5650.56



VICINITY MAP D-21-Z
APPROXIMATE SCALE 1"=700'

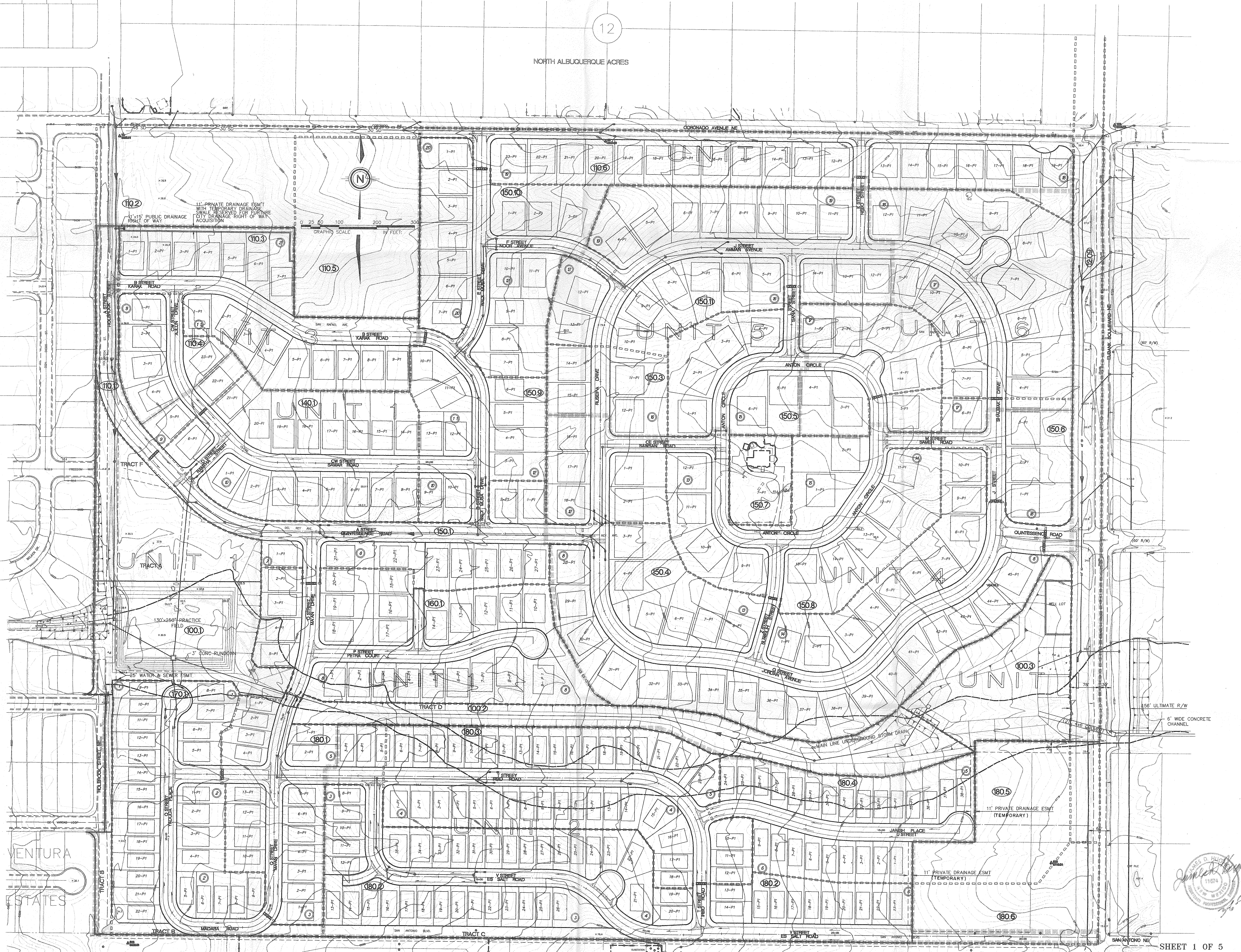


LEGEND

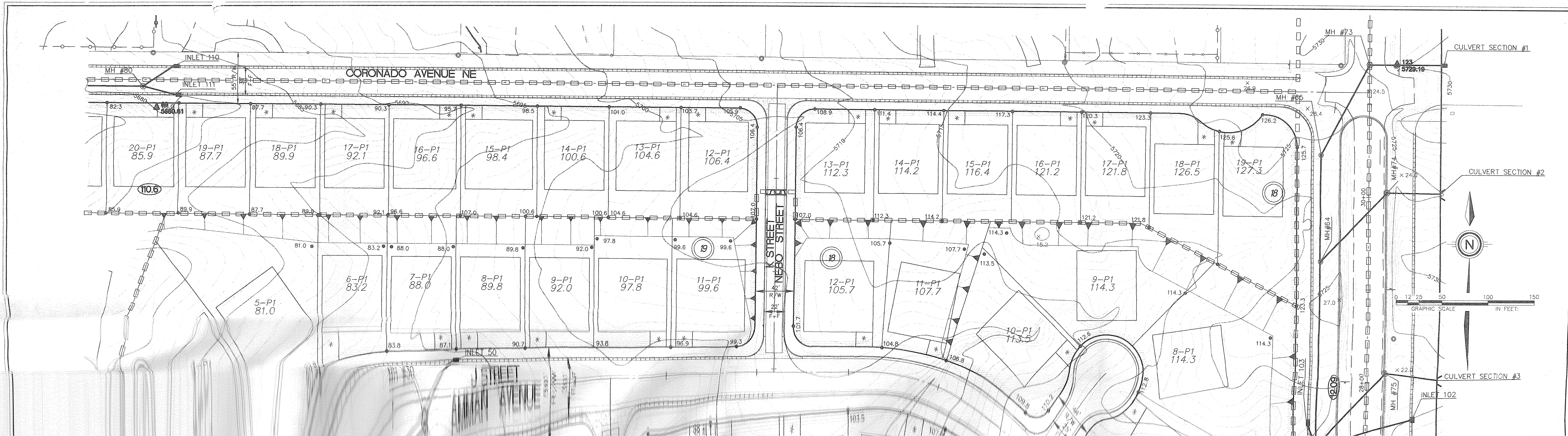
10'-00" PROPOSED TOP OF ROAD GRADE	10'-00" PROPOSED TOP OF ROAD GRADE
8'-00" PROPOSED 2ND ELEVATION	8'-00" PROPOSED 2ND ELEVATION
6'-00" PROPOSED 3RD ELEVATION	6'-00" PROPOSED 3RD ELEVATION
4'-00" PROPOSED 4TH ELEVATION	4'-00" PROPOSED 4TH ELEVATION
2'-00" PROPOSED 5TH ELEVATION	2'-00" PROPOSED 5TH ELEVATION
0'-00" PROPOSED 6TH ELEVATION	0'-00" PROPOSED 6TH ELEVATION
EXISTING 100' GRADE	EXISTING 100' GRADE
EXISTING 50' GRADE	EXISTING 50' GRADE
EXISTING 20' GRADE	EXISTING 20' GRADE
EXISTING 10' GRADE	EXISTING 10' GRADE
EXISTING 5' GRADE	EXISTING 5' GRADE
EXISTING 0' GRADE	EXISTING 0' GRADE
EXISTING 10' GRADE	EXISTING 10' GRADE
EXISTING 20' GRADE	EXISTING 20' GRADE
EXISTING 30' GRADE	EXISTING 30' GRADE
EXISTING 40' GRADE	EXISTING 40' GRADE
EXISTING 50' GRADE	EXISTING 50' GRADE
EXISTING 60' GRADE	EXISTING 60' GRADE
EXISTING 70' GRADE	EXISTING 70' GRADE
EXISTING 80' GRADE	EXISTING 80' GRADE
EXISTING 90' GRADE	EXISTING 90' GRADE
EXISTING 100' GRADE	EXISTING 100' GRADE
EXISTING 110' GRADE	EXISTING 110' GRADE
EXISTING 120' GRADE	EXISTING 120' GRADE
EXISTING 130' GRADE	EXISTING 130' GRADE
EXISTING 140' GRADE	EXISTING 140' GRADE
EXISTING 150' GRADE	EXISTING 150' GRADE
EXISTING 160' GRADE	EXISTING 160' GRADE
EXISTING 170' GRADE	EXISTING 170' GRADE
EXISTING 180' GRADE	EXISTING 180' GRADE
EXISTING 190' GRADE	EXISTING 190' GRADE
EXISTING 200' GRADE	EXISTING 200' GRADE

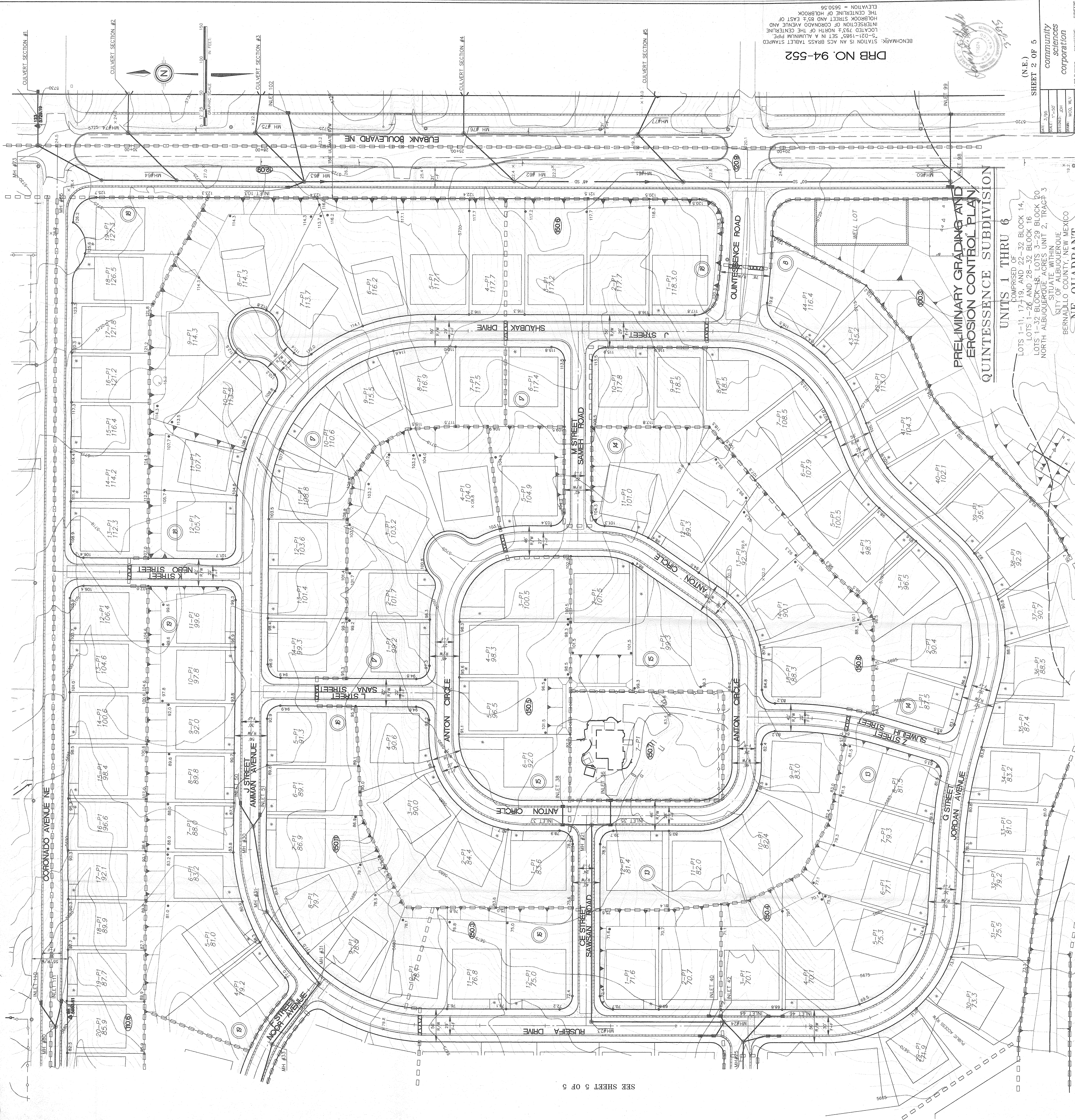
TYPICAL LOT DETAIL
N.T.S.
FINISHED GRADE AROUND PERIMETER OF HOUSE SHALL BE A MINIMUM OF 8" BELOW TOP OF CONCRETE SLAB. (SEE SECTIONS THIS SHEET)

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



James D. Huggins
Professional Engineer
No. 11974
State of New Mexico



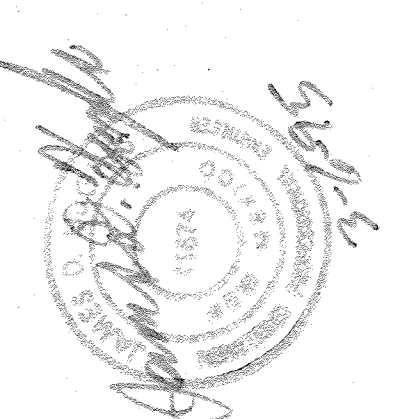


**PRELIMINARY GRADING AND
EROSION CONTROL PLAN**
QUINTESSENCE SUBDIVISION

UNITS 1 THRU 6
 COMPRISED OF
 LOTS 1-11, 17-19, AND 22-32 BLOCK 14,
 LOTS 1-26 AND 28-32 BLOCK 16
 LOTS 1-32 BLOCK 18, LOTS 3-29 BLOCK 20
 NORTH ALBUQUERQUE ACRES UNIT 2, TRACT 3
 SITUATE WITHIN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
NE QUADRANT

DRB NO. 94-552

BENCHMARK: STATION IS AN ACS BRASS TABLET STAMPED
 5-02-1955, 851 N. ALAMOGA PIPE
 LOCATED 793.4 NORTH OF THE CENTERLINE
 HOOROOK STREET AND 85.4 EAST OF
 THE CENTERLINE OF HOOROOK
 ELEVATION = 5650.56



DATE: 5/95	DESIGNED: JDM	ENGINEER: JDM	SECTION: 10872
SCALE: 1"=50'	ESTIMATED: JDM	DATE: 5/95	NO. 10872
community sciences corporation		AND R. HANNAH	
		P.O. Box 1026	
		ALBUQUERQUE, N.M. 87106	
		REVISED: 3/6/95	

(N.E.)
SHEET 2 OF 5

PRELIMINARY GRADING AND EROSION CONTROL PLAN FOR QUINTESSENCE SUBDIVISION

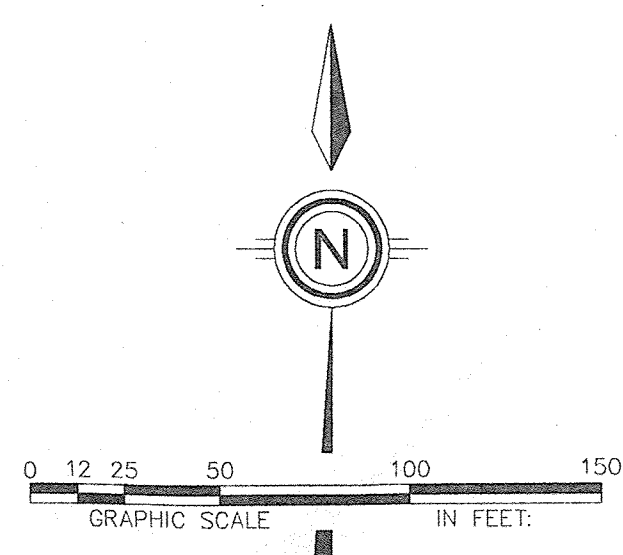
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 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

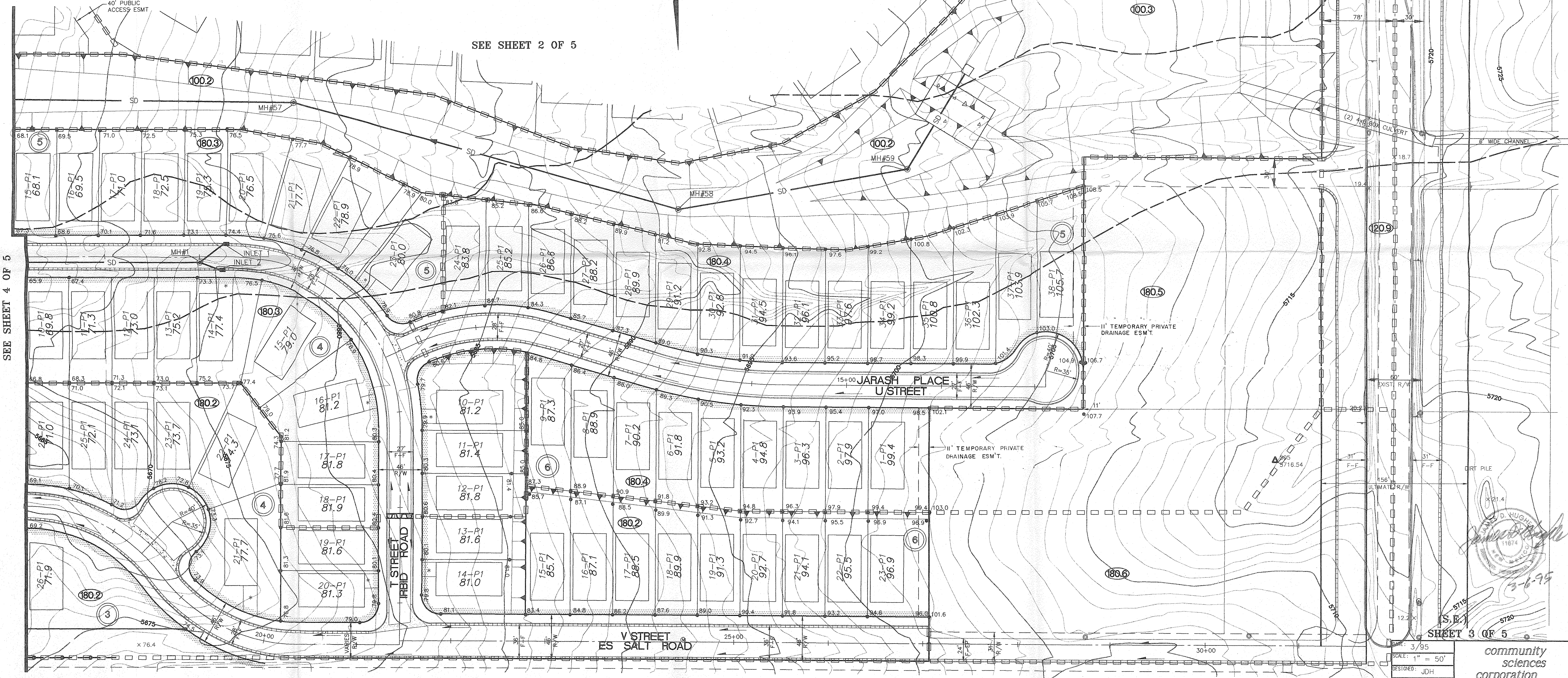
SE QUADRANT DRB NO. 94-552

BENCHMARK: STATION IS AN ACS BRASS TABLET STAMPED
 "5-D21-1985" SET IN A ALUMINUM PIPE
 LOCATED 793'± NORTH OF THE CENTERLINE
 INTERSECTION OF CORONADO AVENUE AND
 HOLBROOK STREET AND 85'± EAST OF
 THE CENTERLINE OF HOLBROOK
 ELEVATION = 5650.56

- LEGEND**
- TC=98.43 PROPOSED TOP OF CURB ELEVATION
 - 99.0 PROPOSED SPOT ELEVATION
 - ⊙ 09.0 EXISTING SPOT ELEVATION (GRND & TC)
 - ▨ EROSION CONTROL BERM
 - ▨ PROPOSED CONCRETE VALLEY GUTTER
 - ▨ EXISTING CURB & GUTTER
 - ▨ PROPOSED MOUNTABLE CURB & GUTTER
 - ▨ PROPOSED STANDARD CURB & GUTTER
 - 4973— EXISTING CONTOUR W/ INDEX ELEVATION
 - Ⓢ PROPOSED DRAINAGE BASIN IDENTIFICATION
 - FLOW ARROW
 - BASIN BOUNDARY
 - 30" SD— EXISTING STORM DRAIN
 - 30" SD— PROPOSED STORM DRAIN
 - ▨ WATER BLOCK
 - ▨ PROPOSED RETAINING
 - ▨ PROPOSED SLOPE
 - ▨ FEMA 100 YEAR FLOOD PLAN



SEE SHEET 2 OF 5



SEE SHEET 4 OF 5

DATE: 3/95
 SCALE: 1" = 50'
 DESIGNED: JDH
 GRABN: MCQ, WLW
 JOB NO.: 32504
 LAND PLANNING ENGINEERING SURVEYING
 P.O. Box 1228 Corrales, N.M. 87109

community sciences corporation

3-6-95

REVISION 3/6/94

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

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PRELIMINARY GRADING AND EROSION CONTROL PLAN

FOR

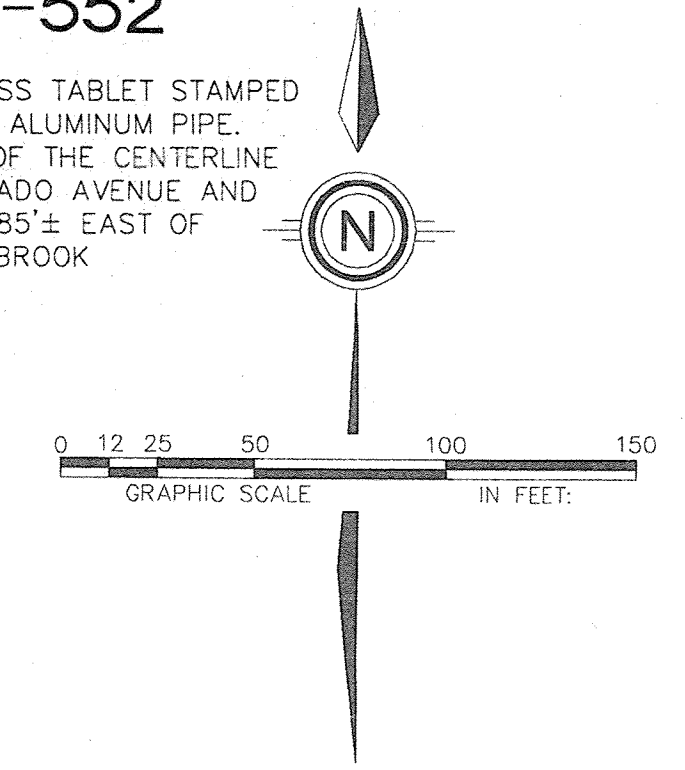
QUINTESSENCE SUBDIVISION

UNITS 1 THRU 6

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 SITUATE WITHIN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

SW QUADRANT
 DRB NO. 94-552

BENCHMARK: STATION IS AN ACS BRASS TABLET STAMPED
 "5-D21-1985" SET IN A ALUMINUM PIPE.
 LOCATED 793± NORTH OF THE CENTERLINE
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 ELEVATION = 5650.56

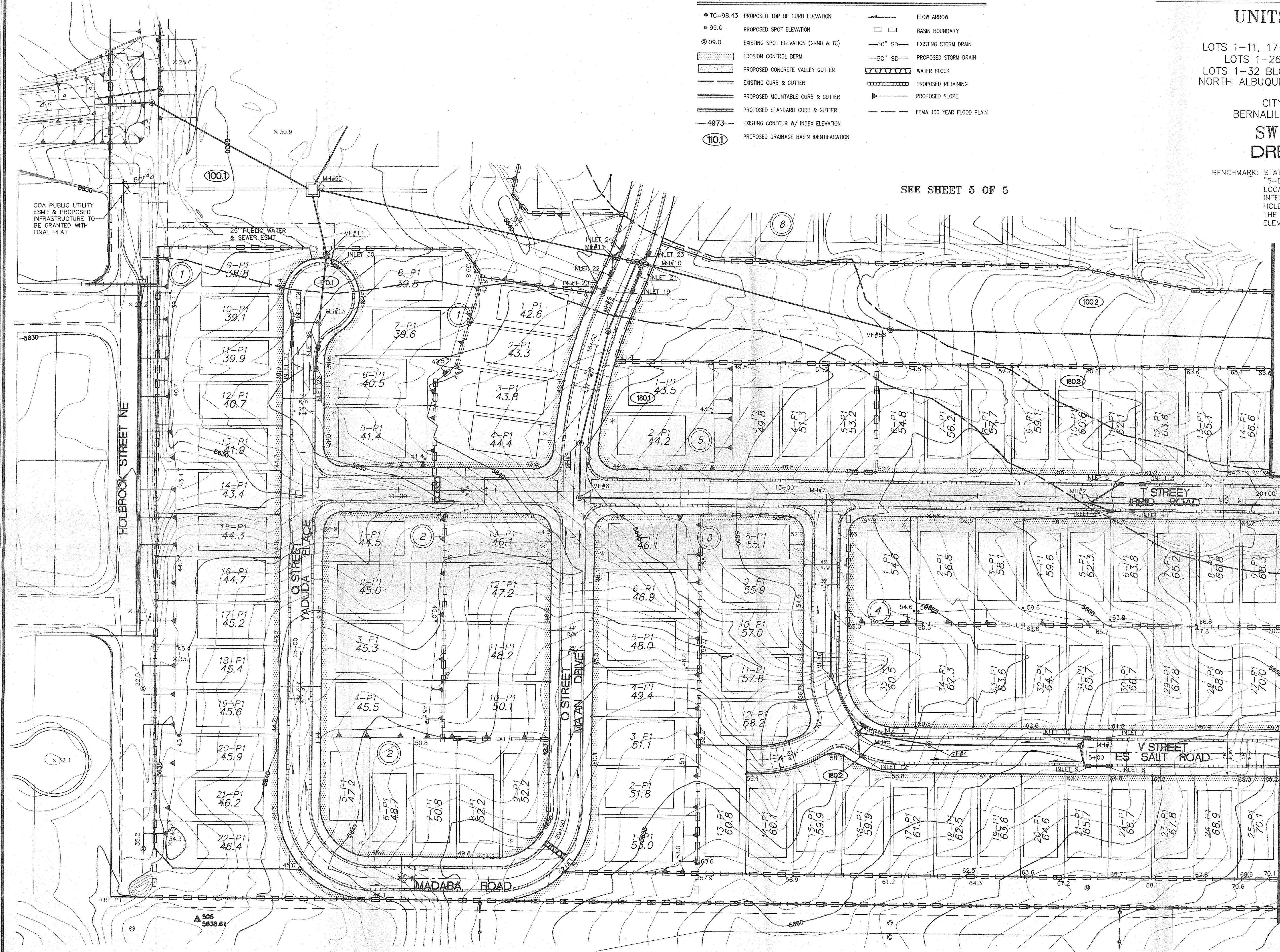


LEGEND

● TC=98.43	PROPOSED TOP OF CURB ELEVATION	→	FLOW ARROW
● 99.0	PROPOSED SPOT ELEVATION	□	BASIN BOUNDARY
⊙ 09.0	EXISTING SPOT ELEVATION (GRND & TC)	— 30" SD —	EXISTING STORM DRAIN
[Hatched Box]	EROSION CONTROL BERM	— 30" SD —	PROPOSED STORM DRAIN
[Dashed Box]	PROPOSED CONCRETE VALLEY GUTTER	[Wavy Line]	WATER BLOCK
[Solid Line]	EXISTING CURB & GUTTER	[Dashed Line]	PROPOSED RETAINING
[Dashed Line]	PROPOSED MOUNTABLE CURB & GUTTER	[Triangle]	PROPOSED SLOPE
[Dashed Line]	PROPOSED STANDARD CURB & GUTTER	---	FEMA 100 YEAR FLOOD PLAIN
— 4973 —	EXISTING CONTOUR W/ INDEX ELEVATION		
(100.1)	PROPOSED DRAINAGE BASIN IDENTIFICATION		

SEE SHEET 5 OF 5

SEE SHEET 3 OF 5



James D. Hughes
 11874
 PROFESSIONAL ENGINEER
 3-6-95

(S.W.)
 SHEET 4 OF 5

DATE: 3/95	
SCALE: 1"=50'	
DESIGNED: JCH	
DRAWN: RM	
CHECKED: JCH	
JOB NO.: 32304	LAND PLANNING P.O. Box 1328 CORRALES, N.M. 87004



PRELIMINARY GRADING AND EROSION CONTROL PLAN FOR QUINTESSENCE SUBDIVISION UNITS 1 THRU 6

COMPRISED OF LOTS 1-11, 17-19, AND 22-32 BLOCK 14, LOTS 1-26 AND 28-32 BLOCK 16, LOTS 1-32 BLOCK 18, LOTS 3-29 BLOCK 20 NORTH ALBUQUERQUE ACRES UNIT 2, TRACT 3 CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO N.W. QUADRANT

DRB NO. 94-552

BENCHMARK: STATION IS AN ACS BRASS TABLET STAMPED "5-D21-1985" SET IN A ALUMINUM PIPE LOCATED 793' NORTH OF THE CENTERLINE INTERSECTION OF CORONADO AVENUE AND HOLBROOK STREET AND 85' EAST OF THE CENTERLINE OF HOLBROOK ELEVATION = 5650.36

FINAL GRADING OF PARK SITE WILL BE TO SLOPES BETWEEN 1.5% - 4.0% PER PARKS & GENERAL SERVICES REQUIREMENTS FOR PROPER DRAINAGE & WILL BE SUBJECT TO REVIEW & APPROVAL BY PARKS & GENERAL SERVICES

NOTE: C&P SOLUTION SUBJECT TO REVIEW & APPROVAL BY PARKS & GENERAL SERVICES (P&GS)

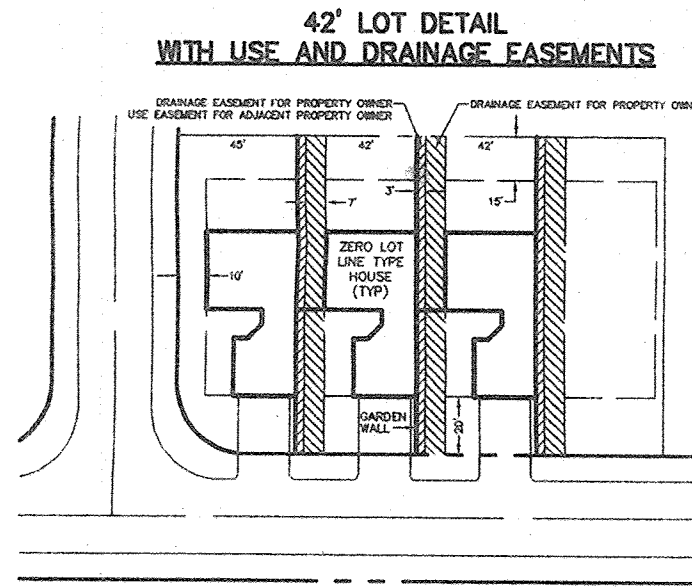
community sciences corporation

DATE: 3/95 SCALE: 1"=50' DESIGNED: JDH DRAWN: LJD, MCO FOR: L.P. 32304

REVISIONS: 3/6/95

(N.W.) SHEET 5 OF 5

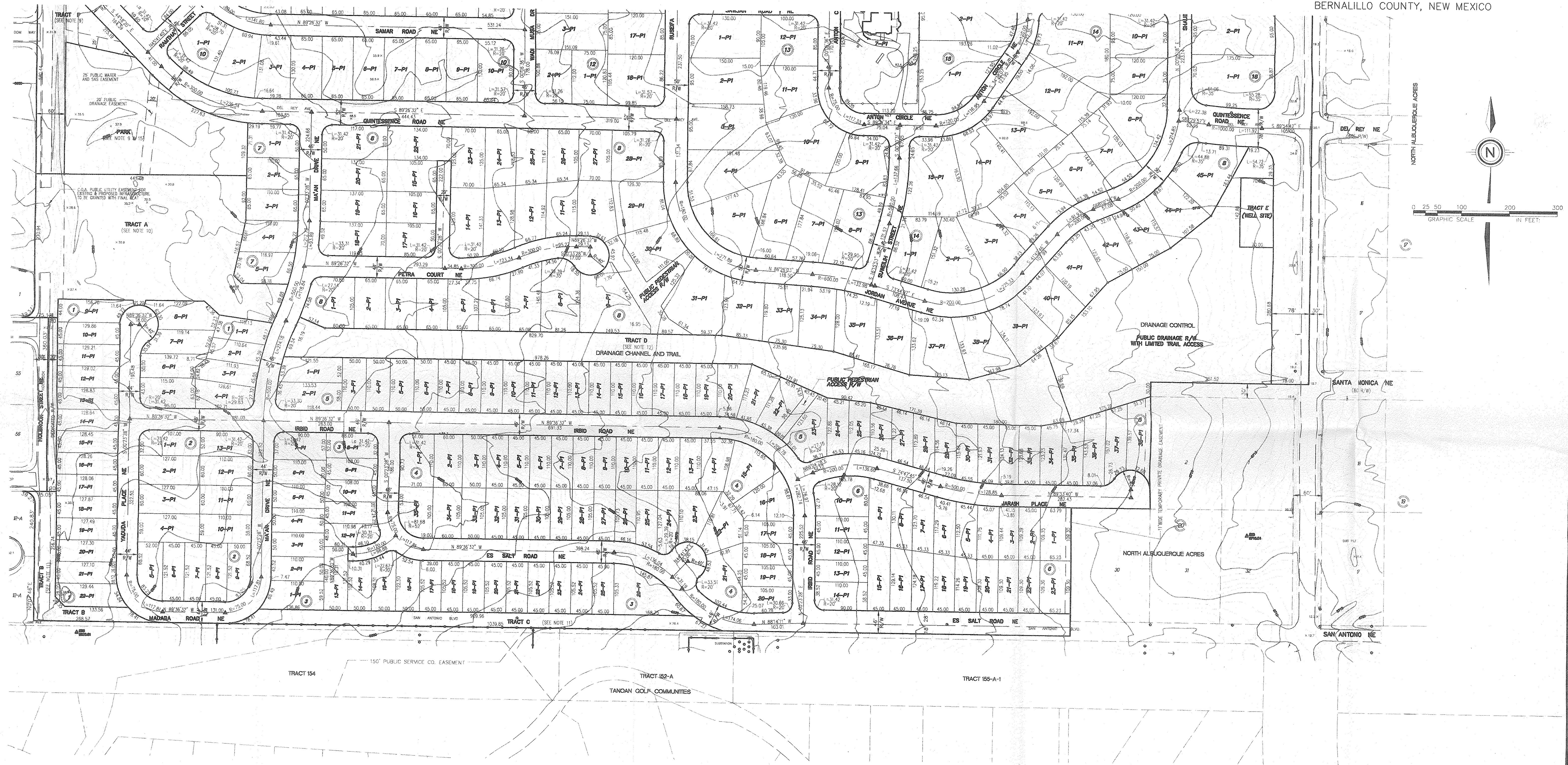
COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



PRELIMINARY PLAT FOR QUINTESSENCE SUBDIVISION

UNITS 1 THRU 6
COMPRISED OF
LOTS 1-11, 17-19, AND 22-32 BLOCK 14,
LOTS 1-26 AND 28-32 BLOCK 16
LOTS 1-32 BLOCK 18, LOTS 3-29 BLOCK 20
NORTH ALBUQUERQUE ACRES UNIT 2, TRACT 3
SITUATE WITHIN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

SEE SHEET 2 OF 4



SHEET 3 OF 4

DATE:	MARCH 1995
SCALE:	1"=100'
DESIGNED:	EGL/CAS
DRAWN:	DER
JOB NO.:	323-04-022
LAND PLANNING ENGINEERING SURVEYING	community sciences corporation
P.O. Box 1375 Corrales, N.M. 87108	

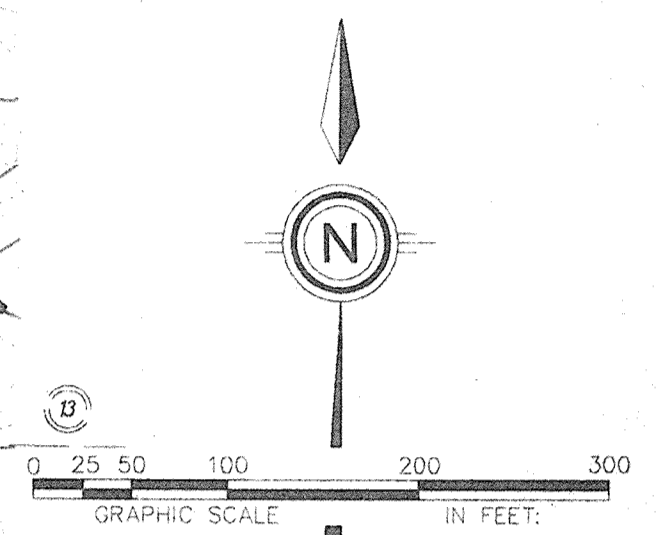
REV: MARCH, 1995

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3/23/95P1.DWG

PRELIMINARY PLAT
FOR
QUINTESSENCE SUBDIVISION

UNITS 1 THRU 6
COMPRISED OF
LOTS 1-11, 17-19, AND 22-32 BLOCK 14,
LOTS 1-26 AND 28-32 BLOCK 16
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SITUATE WITHIN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



SEE SHEET 3 OF 4

SHEET 2 OF 4

DATE:	MARCH 1995	community sciences corporation
SCALE:	1"=100'	
DESIGNED:	EGL/CAS	LAND PLANNING P.O. Box 1328 CORRALES, N.M. 87045
DRAWN:	DER	
JOB NO.:	323-04-022	ENGINEERING CORRALES, N.M. 87045

REV. MARCH, 1995

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TOPGDS.DWG
TOPGDS.DWG
TOPGDS.DWG
32304PP1.DWG

PRELIMINARY PLAT FOR QUINTESSENCE SUBDIVISION

UNITS 1 THRU 6

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LOTS 1-32 BLOCK 18, LOTS 3-29 BLOCK 20
SITUATE WITHIN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

INDEX OF SHEETS

- 1 KEY MAP, VICINITY MAP, TYPICAL STREET SECTION, AND NOTES.
- 2 PRELIMINARY PLAT FOR NORTH UNITS
- 3 PRELIMINARY PLAT FOR SOUTH UNITS
- 4 EXISTING PLATTING VACATION REQUEST

SURVEYOR/ENGINEER

COMMUNITY SCIENCES CORPORATION
ATTN: CLIFF SPIROCK/DOUG HUGHES
POST OFFICE BOX 1328
CORRALES, NEW MEXICO 87048
PHONE: (505) 897-0000

OWNER/DEVELOPER

PARADISE WEST INC.
ATTN: MR. ANTON DABABNEH
5016 LA FIESTA DRIVE NE
ALBUQUERQUE, NEW MEXICO
PHONE: (505) 884-0175

SITE DATA

UNIT 1	141 LOTS
UNIT 1 AREA	51.18 AC
UNIT 2	113 LOTS
UNIT 2 AREA	19.16 AC
UNIT 3	21 LOTS
UNIT 3 AREA	5.90 AC
UNIT 4	54 LOTS
UNIT 4 AREA	21.16 AC
UNIT 5	29 LOTS
UNIT 5 AREA	10.76 AC
UNIT 6	22 LOTS
UNIT 6 AREA	8.57 AC
TOTAL NO. OF LOTS	380
TOTAL AREA	117 AC

CASE NO.	DRB-94-552
ZONE ATLAS NO.	D-21-Z
EXISTING ZONING	R-D
F.E.M.A. MAP NO.	350002 0011
NO. OF EXISTING LOTS	116
NO. OF TRACTS CREATED	6
PARK DEDICATION	2.52 AC

NOTES:

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS \square SHALL BE MARKED BY A #5 REBAR W/ CAP STAMPED "P.L.S. # 4972."
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS \blacktriangle WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKET, DO NOT DISTURB, P.L.S. #4972."
3. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARINGS SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
5. ALL DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

Cliff Spirock
CITY SURVEYOR

03/09/95
DATE

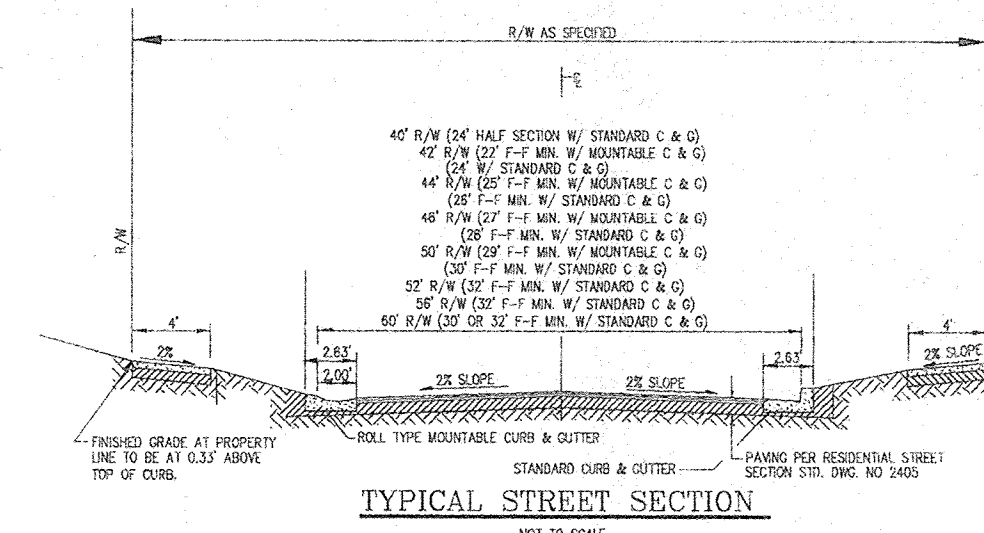
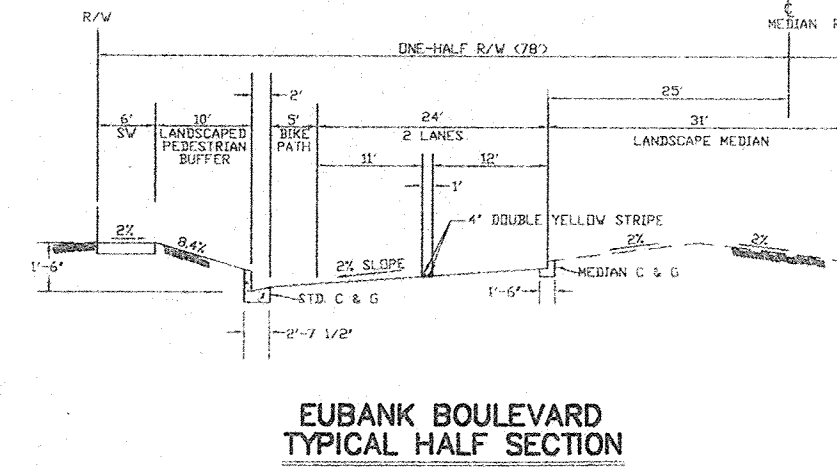
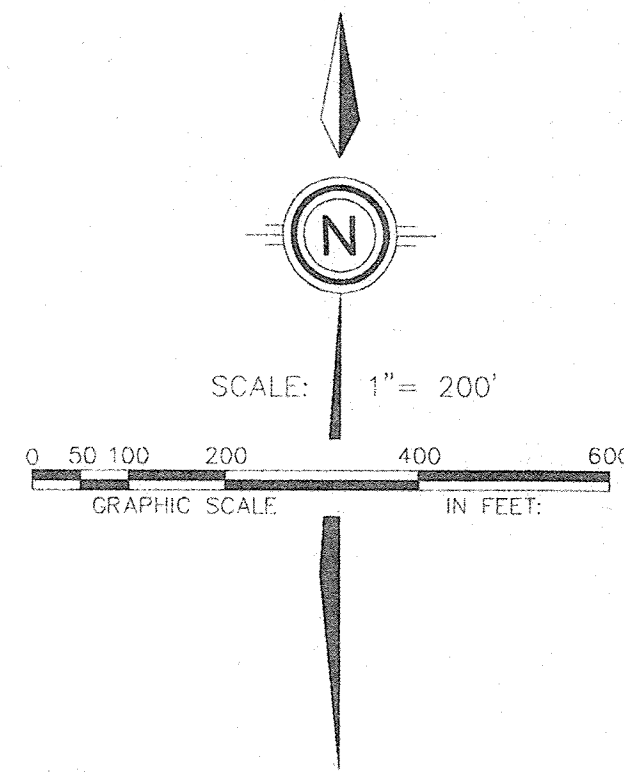
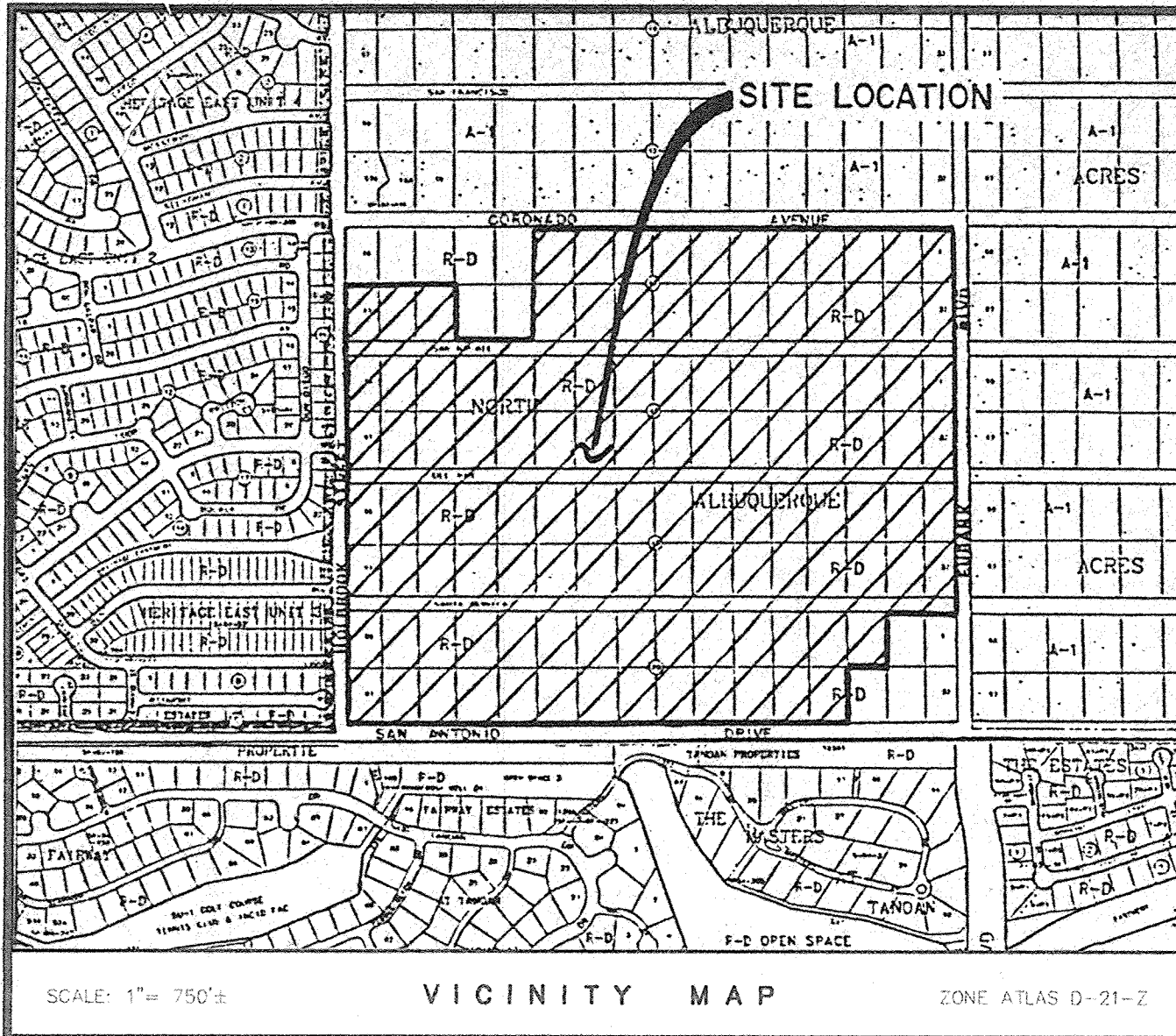
SHEET 1 OF 4

DATE: MARCH, 1995
SCALE: 1" = 200'
DESIGNED: C.A.S./E.G.L.
DRAWN: D.E.R.
JOB NO.: 323-04-022

community sciences corporation

LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1328 Corrales, N.M. 87048

REVISED MARCH, 1995
REVISED AUGUST, 1995



GENERAL NOTES:

1. THE PURPOSE OF THIS PLAT IS TO VACATE EXISTING RIGHTS-OF-WAY AND/OR EASEMENTS NO LONGER REQUIRED OR TO BE RELOCATED WITH THIS PLAN AND TO SUBDIVIDE 117 ACRES INTO 380 SINGLE FAMILY LOTS AND ADJOINING STREETS.
2. STREET RIGHTS-OF-WAY AND PAVEMENT WIDTHS HAVE BEEN REDUCED PER THE STANDARD REQUIREMENTS FOR INTERMITTENT PARKING DESIGN. ALL RESIDENTIAL LOTS SHALL HAVE A 'P-1' SUFFIX ON THE FINAL PLAT.
3. THE 'P-1' SUFFIX TO LOT NUMBERS DESIGNATES SPECIAL ON-SITE PARKING CRITERIA WHICH JUSTIFIES THE CITY ALLOWING REDUCED STREET WIDTHS IN THIS SUBDIVISION. SPECIFICALLY THE PARKING DENSITY CATEGORY OF 'INTERMITTENT' IS MET BY EACH LOT PROVIDING 4 PARKING SPACES (INCLUDING THE GARAGE) FOR 3-4 BEDROOM DWELLINGS. ALL DWELLINGS WILL HAVE 2 CAR ATTACHED GARAGES WITH 2 CAR WIDTH DRIVEWAYS.
4. MINIMUM DWELLING SETBACKS FOR ALL LOTS ARE DEFINED IN THE ZONING CODE FOR R-D ZONING AND PURSUANT TO THE APPROVED SECTOR DEVELOPMENT PLAN. THEREFORE ALL LOTS ARE SUBJECT TO THE CONTROLS OF R-D ZONING PER SECTION 7-14-16, PARAGRAPH B OF THE ZONING CODE. THERE ARE NO SOLAR SETBACKS REQUIRED ON THIS PLAT (MINIMUM BUILDING INSULATION IN LIEU OF SOLAR ACCESSIBILITY BY SIDEWALK SETBACK).
5. MOUNTABLE CURB IS TO BE USED ON ALL PUBLIC STREETS WITH 42', 44', 46', 50' AND 52' RIGHTS-OF-WAY, EXCEPT WHERE OTHERWISE REQUIRED BY DRAINAGE.
6. SOME STREETS INTERNAL TO THIS SUBDIVISION ARE DESIGNATED AS INTERMITTENT PARKING WITH 42' AND 48' WIDE RIGHTS-OF-WAY. NO DRIVEWAY ACCESS WILL BE ALLOWED FROM ANY LOT ADJACENT TO HOLBROOK STREET, EUBANK BLVD, OR QUINTESSENCE ROAD FROM KARAK ROAD TO 140' WEST OF WADI MUSA DRIVE.
7. CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE LOTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
8. 2400 S.F. OF OPEN SPACE IS REQUIRED PER LOT (SEE OPEN SPACE CALCULATIONS) AS REQUIRED BY THE R-D ZONE.
9. THE PARK SITE (TRACT F AND PARK) TOTAL 2.5 ACRES AND IS UNENCUMBERED BY SURFACE STORM DRAINAGE AS OUTLINED IN THE SECTOR DEVELOPMENT PLAN. 1.52 ACRES (PARK) IS DEDICATED TO THE CITY OF ALBUQUERQUE TO MEET THE REQUIRED PARK LAND DEDICATION OF 170 SF/LOT. TRACT F IS ALSO DEDICATED TO THE CITY OF ALBUQUERQUE FOR THE PURPOSE OF PARK, OPEN SPACE, TRAILS, UTILITIES, DRAINAGE AND LANDSCAPING. THE PIPES IN THE EASEMENTS RUNNING FROM RAMTHA STREET TO TRACT F AND TRACT A, MUST BE BURIED AT LEAST FOUR FEET DEEP FROM THE PROPOSED ELEVATION OF THE PARK SITE TO THE TOP OF THE PIPE.
10. TRACT A IS DEDICATED TO THE CITY OF ALBUQUERQUE TO MEET THE JOINT USE CONCEPT OUTLINED IN THE SECTOR DEVELOPMENT PLAN. TRACT A IS DEDICATED FOR THE PURPOSE OF PARK, OPEN SPACE, TRAILS, UTILITIES, DRAINAGE AND UNDERGROUND UTILITIES.
11. TRACTS B AND C ARE TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR THE PURPOSES OF OPEN SPACE, TRAILS, DRAINAGE, UNDERGROUND UTILITIES, PUBLIC WATER LINE LOCATION AND EXISTING FRANCHISE UTILITIES.
12. TRACT D IS TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR THE PURPOSES OF OPEN SPACE, TRAILS, UNDERGROUND UTILITIES AND SUBSURFACE DRAINAGE. THE EXACT LOCATION AND CONFIGURATION OF THE TRAIL IS TO BE DESIGNED AT A LATER DATE WITH PARKS AND GENERAL SERVICES PRIOR TO FINAL PLAT.
13. ALL OPEN SPACE DEDICATIONS RESERVED BY THIS PLAT AND AS INDICATED IN NOTES 10, 11 AND 12 ABOVE, IS FOR OPEN SPACE PURPOSES REQUIRED BY THE R-D ZONE FOR THESE LOTS OR FUTURE LOTS SUBDIVIDED BY THIS APPLICANT. TITLE TO THESE LANDS MAY BE HELD BY THE CITY OF ALBUQUERQUE OR THEIR DESIGNEE FOR THE PURPOSES RECITED HEREON.
14. THIS PLAT HAS BEEN PREPARED PURSUANT TO THE QUINTESSENCE SECTOR DEVELOPMENT PLAN APPROVED JUNE 7, 1993 (SD-89-1, Z-89-114, AX-92-6, DRB-89-509).
15. IF ANY EASEMENTS MUST BE EXCAVATED IN THE PARK SITE, THE GRANTEE OF THE EASEMENT MUST RESTORE SURFACE TREATMENT TO THE SAME CONDITION AS PRIOR TO ANY EXCAVATION.
16. PARKS AND GENERAL SERVICES IS TO BE INCLUDED IN THE D.R.C. REVIEW AND APPROVAL PROCESS.

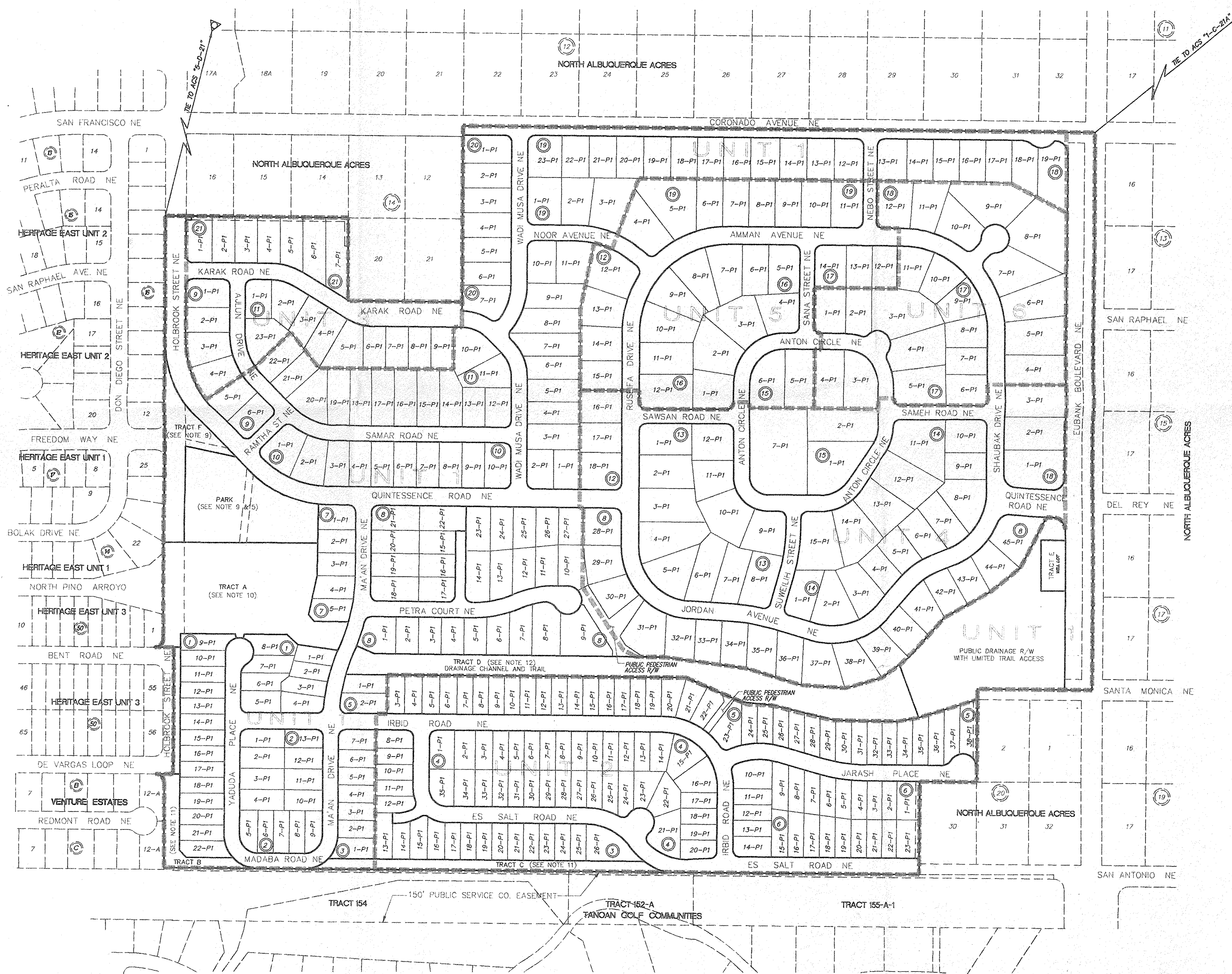
OPEN SPACE CALCULATIONS

LOT SIZE (TYPICAL)	TYPICAL DWELLING WIDENING & DRIVEWAY	REMAINING OPEN SPACE AREA	ADDIT'L AREA REQUIRED PER LOT	NUMBER OF LOTS	TOTAL OPEN SPACE REQUIRED
95'x120' (11400 SF)	5400 SF	6000 SF	.....	17	.....
85'x120' (10200 SF)	4700 SF	5500 SF	.....	43	.....
75'x120' (9000 SF)	4000 SF	5000 SF	.....	11	.....
70'x120' (8400 SF)	3800 SF	4600 SF	.....	63	.....
65'x110' (7150 SF)	3200 SF	3950 SF	.....	88	.....
45'x110' (4910 SF)	2500 SF	2450 SF	.....	157	.....

TRACTS A, B, C AND D PROVIDE \approx 285,000 SF OF OPEN SPACE AREA BENEFITS FROM ANY SURPLUS DEDICATION WILL BE FOR THE USE OF THIS SUBDIVIDER OR THEIR ASSIGNS.

PARK REQUIREMENTS CALCULATIONS

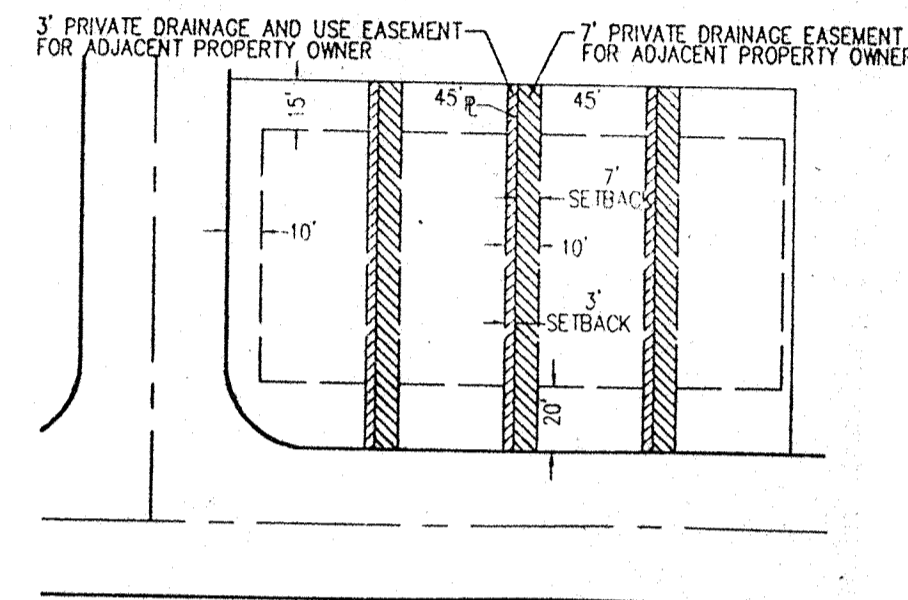
380 LOTS @ 170 SF PER LOT YIELDS 66,130 SF (1.52 ACRES) OF PARK DEDICATION REQUIRED.



VACATION AND REPLAT
FOR
QUINTESSENCE UNIT 2

COMPRISED OF
TRACT 1
QUINTESSENCE UNIT 1
SITUATE WITHIN
THE ELENA GALLEGOS GRANT
"PROJECTED" SECTION 21, T11N, R4E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 1995

**TYPICAL 45' LOT DETAIL
WITH USE AND PRIVATE DRAINAGE EASEMENTS**



NOTES:

- THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE TRACT 1, QUINTESSENCE UNIT 1, CONTAINING 19.1600 ACRES INTO 113 SINGLE FAMILY LOTS AND ADJOINING STREETS.
- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 27, MEAN DELTA ALPHA -00°47'41". ALL DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES SHOWN ARE BOTH RECORD AND MEASURED.
- ALL DIMENSIONS PUBLISHED ALONG CURVED LINES ARE ARC DISTANCES. LOT LINES MARKED N/R ARE NON-RADIAL.
- BENCHMARK FOR THIS PLAT IS THE CITY OF ALBUQUERQUE ACS MONUMENT "5-D21", ELEVATION = 5650.58 LOCATED APPROXIMATELY 84.7' EAST OF THE CENTERLINE OF HOLBROOK STREET, N.E. AND 0.45 MILES NORTH OF PASEO DEL NORTE.
- UNLESS OTHERWISE NOTED, ALL CORNERS ARE EVIDENCED BY A #5 REBAR WITH ALUMINUM CAP STAMPED "P.S. #4972".
- CENTERLINE (IN LIEU OF R/W) MONUMENTATION TO BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF A FOUR INCH (ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION SURVEY MARKER DO NOT DISTURB P.L.S. 4972". ▲ DENOTES CENTERLINE MONUMENT
- PUBLIC UTILITY EASEMENTS (P.U.E.) SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 - PNM ELECTRICAL SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - U S WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH UNDERGROUND LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

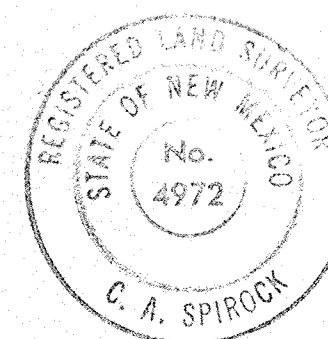
INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.
- CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE LOTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE
- STREET RIGHT-OF-WAY AND PAVEMENT WIDTHS HAVE BEEN REDUCED PER THE STANDARD REQUIREMENTS FOR INTERMITTENT PARKING DESIGN. THE P-1 SUFFIX TO LOT NUMBERS DESIGNATES SPECIAL ON-SITE PARKING CRITERIA WHICH JUSTIFIED THE CITY ALLOWING REDUCED STREET WIDTHS IN THIS SUBDIVISION. SPECIFICALLY, THE PARKING DENSITY CATEGORY OF "INTERMITTENT" IS MET BY EACH LOT PROVIDING 4 PARKING SPACES (INCLUDING GARAGE) FOR 3-4 BEDROOMS. ALL DWELLINGS WILL HAVE 2-4 BEDROOMS AND 2-CAR ATTACHED GARAGES WITH 2-CAR DRIVEWAYS.
- MINIMUM DWELLING SETBACKS FOR ALL LOTS ARE DEFINED IN THE ZONING CODE FOR R-D ZONING AND PURSUANT TO THE APPROVED SECTOR DEVELOPMENT PLAN, THEREFORE ALL LOTS ARE SUBJECT TO THE CONTROLS OF R-T ZONING PER SECTION 7-J4-18, PARAGRAPH B. OF THE ZONING CODE. THERE ARE NO SOLAR SETBACKS REQUIRED ON THIS PLAN (MINIMUM BUILDING INSULATION IN LIEU OF SOLAR ACCESSIBILITY BY SIDEYARD SETBACK).
- TRACT C IS HEREBY DEDICATED TO THE CITY OF ALBUQUERQUE FOR THE PURPOSES OF OPEN SPACE, TRAILS, DRAINAGE, UNDERGROUND UTILITIES, PUBLIC WATERLINE LOCATION AND EXISTING FRANCHISE UTILITIES.

SURVEYOR'S CERTIFICATION:

I, C. A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

C. A. SPIROCK, N.M.P.S. #4972

1/5/96
DATE



SHEET 5 OF 5

DATE:	NOVEMBER, 1995	community sciences corporation
SCALE:	N/A	
DESIGNED:	S.P.S.	
DRAWN:	D.E.R.	
JOB NO.:	323-08-025	
LAND PLANNING P.O. Box 1328 ENGINEERING SURVEYING Corrales, N.M. 87048		

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

Curve ID	Radius	Arc	Delta	Tangent	Chord	Chord Brg
C1	180.00	282.74	090-00-00	180.00	254.56	S44-36-32E
C2	180.00	205.90	065-32-19	115.87	194.85	S56-50-22E
C3	180.00	76.85	024-27-41	39.02	76.27	S11-50-22E
C4	200.00	137.09	039-16-28	71.36	134.43	N85-34-01E
C5	500.00	128.85	014-45-55	64.78	128.50	N82-10-43W
C6	75.00	117.81	090-00-00	75.00	106.07	N44-36-32W
C7	75.00	52.10	039-48-12	27.15	51.06	N19-30-38W
C8	75.00	65.71	050-11-48	35.13	63.63	N64-30-38W
C9	120.00	98.88	047-12-50	52.44	96.11	S66-47-03W
C10	180.00	167.24	053-14-00	90.20	161.29	S62-59-32E
C11	180.00	136.04	043-18-14	71.46	132.83	S67-57-25E
C12	180.00	31.19	009-55-46	15.64	31.16	S41-20-25E
C13	180.00	174.06	055-24-16	94.51	167.36	N64-04-40W
C14	20.00	31.42	090-00-00	20.00	28.28	S44-36-32E
C15	98.00	24.25	014-10-33	12.19	24.18	N06-41-48W
C16	98.00	13.17	007-42-00	6.60	13.16	N17-38-05W
C17	20.00	30.31	086-50-23	18.93	27.49	S21-56-06W
C18	105.50	46.10	025-02-10	23.42	45.73	S77-52-23W
C19	134.50	40.29	017-09-41	20.29	40.14	S81-48-38W
C20	134.50	33.44	014-14-39	16.81	33.35	S66-06-28W
C21	20.00	20.50	058-43-13	11.25	19.61	N88-20-45E
C22	20.00	2.17	006-12-49	1.09	2.17	S59-11-14E
C23	98.00	51.34	030-01-06	26.28	50.76	N71-05-22W
C24	98.00	6.00	003-30-36	3.00	6.00	N87-51-14W
C25	157.00	145.87	053-14-00	78.68	140.68	S62-59-32E
C26	203.00	60.67	017-07-22	30.56	60.44	N44-56-13W
C27	203.00	67.27	018-59-08	33.94	66.96	N62-59-28W
C28	20.00	31.42	090-00-00	20.00	28.28	N45-23-28E
C29	157.00	32.36	011-48-35	16.24	32.30	S83-42-14E
C30	157.00	115.65	042-12-16	60.59	113.05	S56-41-49E
C31	157.00	98.61	035-59-09	50.99	96.99	S17-36-06E
C32	20.00	30.66	087-49-44	19.26	27.74	S44-18-20W
C33	157.00	25.07	009-09-00	12.56	25.05	N87-12-18W
C34	157.00	102.44	037-22-58	53.12	100.63	N63-56-19W
C35	20.00	33.51	095-59-10	22.21	29.72	N02-44-45E
C36	40.00	48.61	069-37-26	27.81	45.67	S15-55-37W
C37	40.00	31.59	045-14-45	16.67	30.77	S41-30-29E
C38	40.00	37.94	054-20-51	20.53	36.54	N88-41-43E
C39	40.00	19.13	027-24-05	9.75	18.95	N47-49-15E
C40	20.00	29.39	084-11-23	18.07	26.81	S76-12-54W
C41	203.00	5.67	001-36-03	2.84	5.67	S62-29-27E
C42	203.00	47.87	013-30-37	24.05	47.76	S70-02-47E
C43	203.00	45.38	012-48-27	22.78	45.28	S83-12-19E
C44	52.00	81.68	090-00-00	52.00	73.54	N44-36-32W
C45	203.00	34.59	009-45-50	17.34	34.55	S84-43-37E
C46	203.00	41.85	011-48-47	21.00	41.78	S73-56-19E
C47	203.00	45.38	012-48-25	22.78	45.28	S61-37-42E
C48	203.00	20.01	005-38-50	10.01	20.00	S52-24-05E
C49	203.00	51.03	014-24-07	25.65	50.89	S42-22-37E
C50	20.00	27.15	077-47-09	16.13	25.11	N74-04-08W
C51	223.00	36.70	009-25-49	18.39	36.66	N71-45-12E
C52	223.00	45.53	011-41-58	22.85	45.46	N82-19-05E
C53	223.00	45.16	011-36-13	22.66	45.09	S86-01-49E
C54	223.00	21.14	005-25-58	10.58	21.14	S77-30-44E
C55	477.00	27.09	003-15-13	13.55	27.08	N76-25-22W
C56	477.00	45.55	005-28-17	22.79	45.53	N80-47-06W
C57	477.00	45.09	005-24-59	22.56	45.08	N86-13-45W
C58	477.00	5.19	000-37-26	2.60	5.19	N89-14-57W
C59	35.00	8.00	013-06-12	4.02	7.99	S83-53-14W
C60	35.00	26.73	043-45-29	14.05	26.09	S55-27-23W
C61	40.00	29.73	042-34-53	15.59	29.05	N54-52-06E
C62	40.00	72.61	104-00-12	51.20	63.04	S51-50-22E
C63	523.00	3.95	000-25-56	1.97	3.95	N89-20-42W
C64	523.00	45.07	004-56-16	22.55	45.06	N86-39-36W
C65	523.00	45.45	004-58-43	22.74	45.43	N81-42-06W
C66	523.00	40.31	004-24-59	20.17	40.30	N77-00-15W
C67	177.00	10.01	003-14-23	5.01	10.01	S76-24-57E
C68	177.00	106.05	034-19-38	54.67	104.47	N84-48-03E
C69	20.00	28.12	080-34-17	16.95	25.86	N27-21-05E
C70	203.00	47.21	013-19-31	23.71	47.11	S06-16-18E
C71	20.00	31.42	090-00-00	20.00	28.28	N44-36-32W

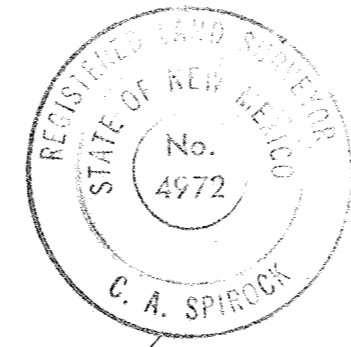
COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

SEE SHEET 3 OF 5

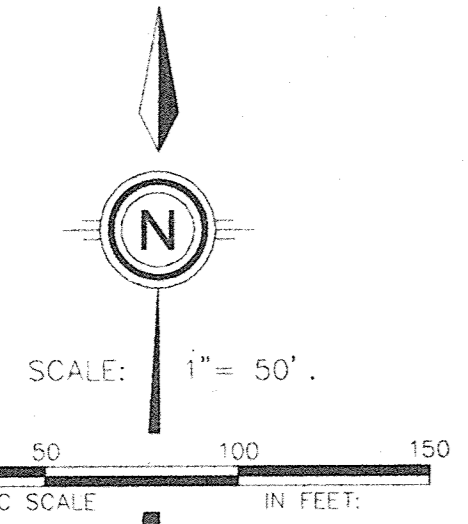
VACATION AND REPLAT FOR QUINTESSENCE UNIT 2

COMPRISED OF
TRACT 1
QUINTESSENCE UNIT 1
SITUATE WITHIN
THE ELENA GALLEGOS GRANT
"PROJECTED" SECTION 21, T11N, R4E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 1995

SURVEYOR'S CERTIFICATION:
I, C. A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



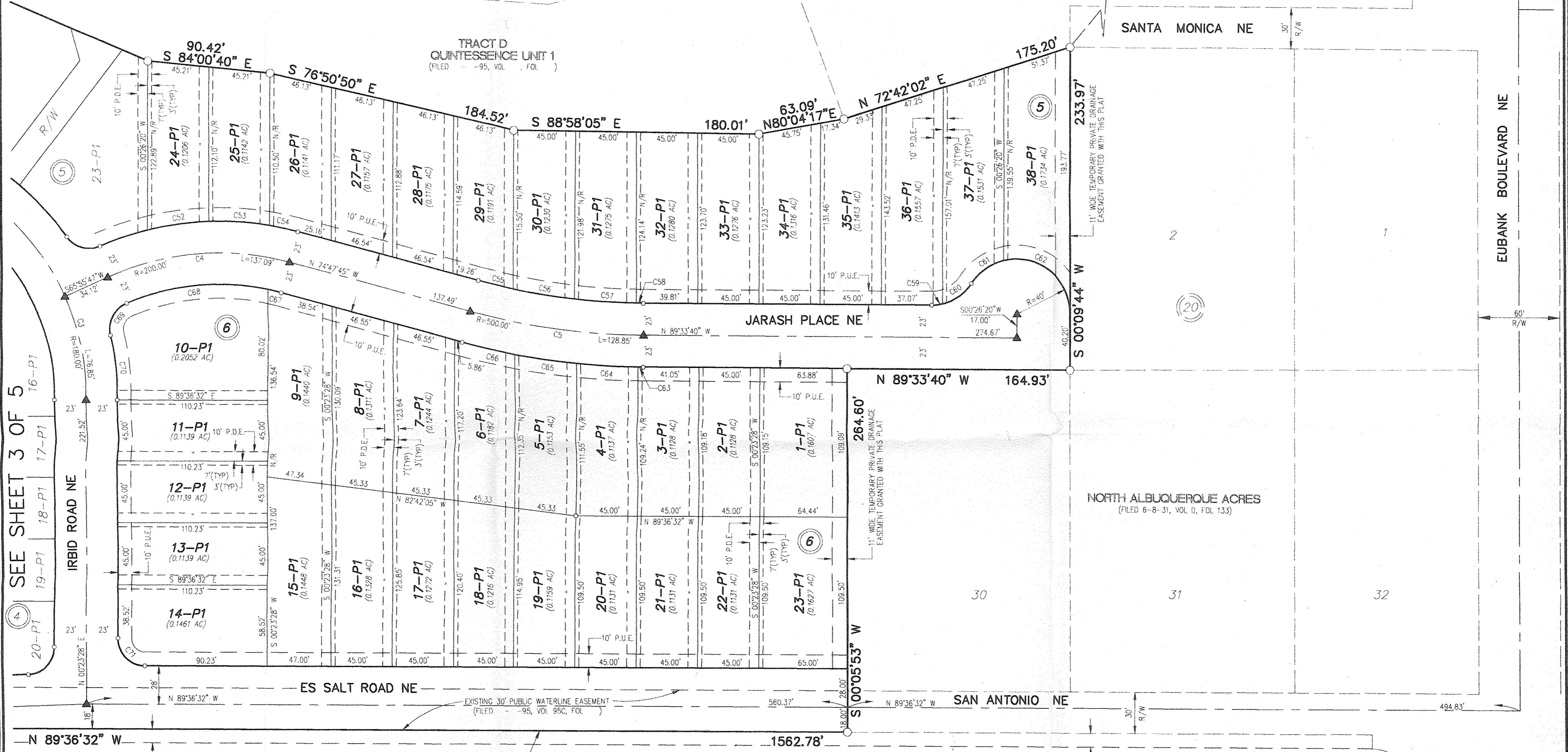
C. A. SPIROCK, N.M.P.S. #4972
DATE 1/5/96



TRACT 3
QUINTESSENCE UNIT 1
(FILED --95, VOL. . FOL.)

TRACT D
QUINTESSENCE UNIT 1
(FILED --95, VOL. . FOL.)

PUBLIC DRAINAGE R/W
QUINTESSENCE UNIT 1
(FILED --95, VOL. . FOL.)



NORTH ALBUQUERQUE ACRES
(FILED 6-8-31, VOL D, FOL 133)

EXISTING 10' PUBLIC ROADWAY EASEMENT
(FILED 6-15-93, VOL 93C, FOL 166)

EXISTING 150' PNM EASEMENT
(FILED 8-10-56, BK D359, PG 275)

TRACT 155-A-1
(FILED 6-15-93, VOL 93C, FOL 166)

EXISTING 10' PUBLIC ROADWAY EASEMENT
(FILED 6-15-93, VOL 93C, FOL 166)

SHEET 4 OF 5

LEGEND

- (P.D.E.) PRIVATE DRAINAGE EASEMENT
- (P.U.E.) PUBLIC UTILITY EASEMENT

DATE:	NOVEMBER, 1995
SCALE:	1" = 50'
DESIGNED:	S.P.S.
DRAWN:	D.E.R.
JOB NO.:	323-08-025

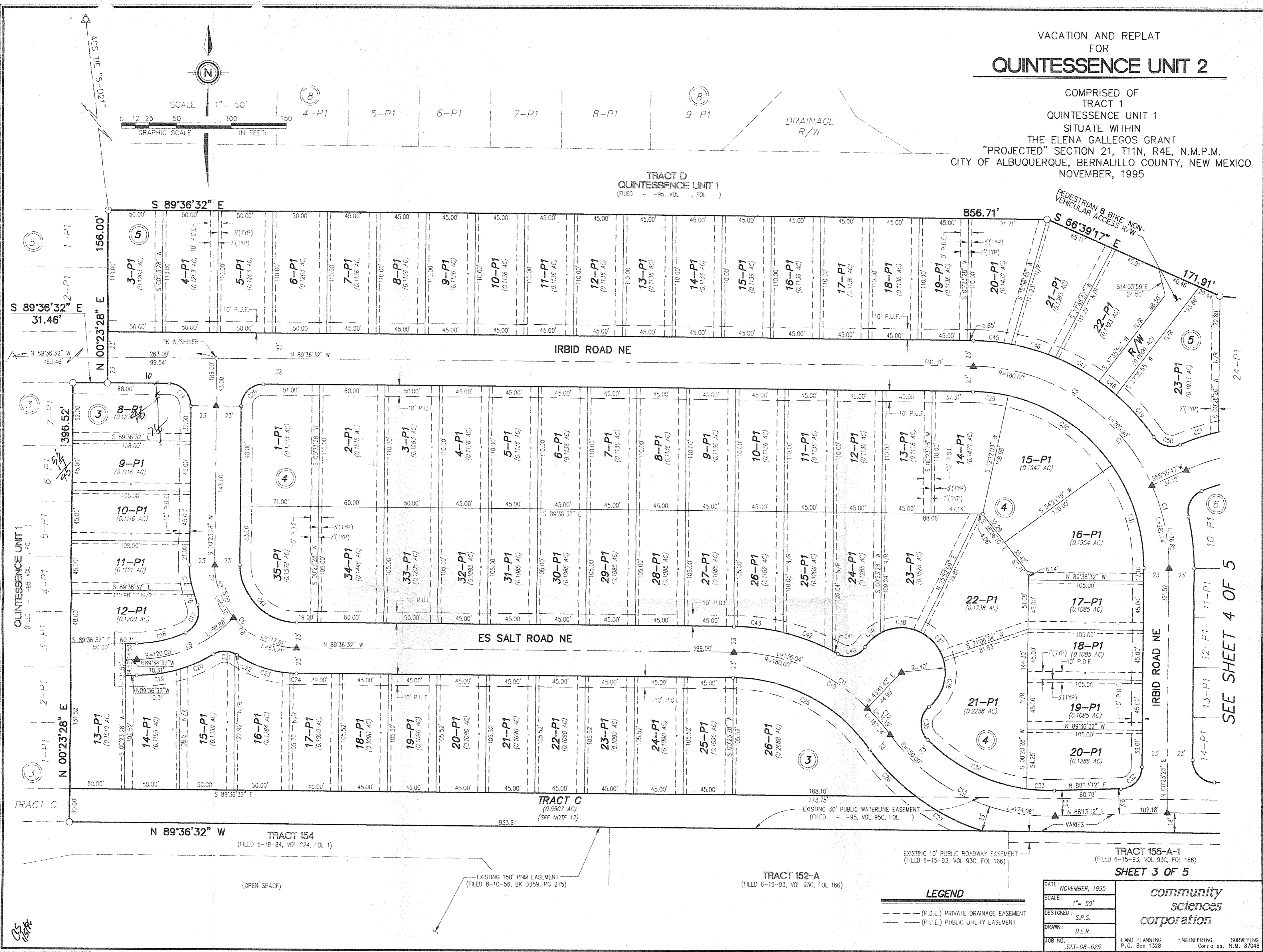
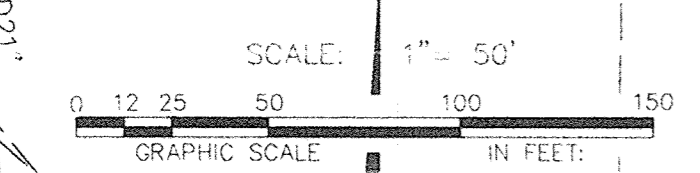
community sciences corporation

LAND PLANNING P.O. Box 1328
ENGINEERING Corrales, N.M. 87048
SURVEYING

23.08194.DWG

VACATION AND REPLAT FOR QUINTESSENCE UNIT 2

COMPRISED OF
TRACT 1
QUINTESSENCE UNIT 1
SITUATE WITHIN
THE ELENA GALLEGOS GRANT
"PROJECTED" SECTION 21, T11N, R4E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 1995



SEE SHEET 4 OF 5

TRACT 155-A-1
(FILED 6-15-93, VOL 93C, FOL 166)
SHEET 3 OF 5

- LEGEND**
- (P.D.E.) PRIVATE DRAINAGE EASEMENT
 - (P.U.E.) PUBLIC UTILITY EASEMENT

DATE:	NOVEMBER, 1995	
SCALE:	1" = 50'	
DESIGNED:	S.P.S.	
DRAWN:	D.E.R.	
JOB NO.:	323-08-025	
LAND PLANNING	ENGINEERING	SURVEYING
P.O. Box 1328	Corrales, N.M. 87048	



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COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

VACATION AND REPLAT
FOR
QUINTESSENCE UNIT 2

COMPRISED OF
TRACT 1
QUINTESSENCE UNIT 1
SITUATE WITHIN
THE ELENA GALLEGOS GRANT
"PROJECTED" SECTION 21, T11N, R4E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 1995

LEGEND

-  INDICATES F.E.M.A. FLOOD PLAIN (SEE "F.E.M.A. NOTE" SHEET 1)
-  INDICATES TEMPORARY DRAINAGE EASEMENT TO BE VACATED WITH THIS PLAT (V-94-132)

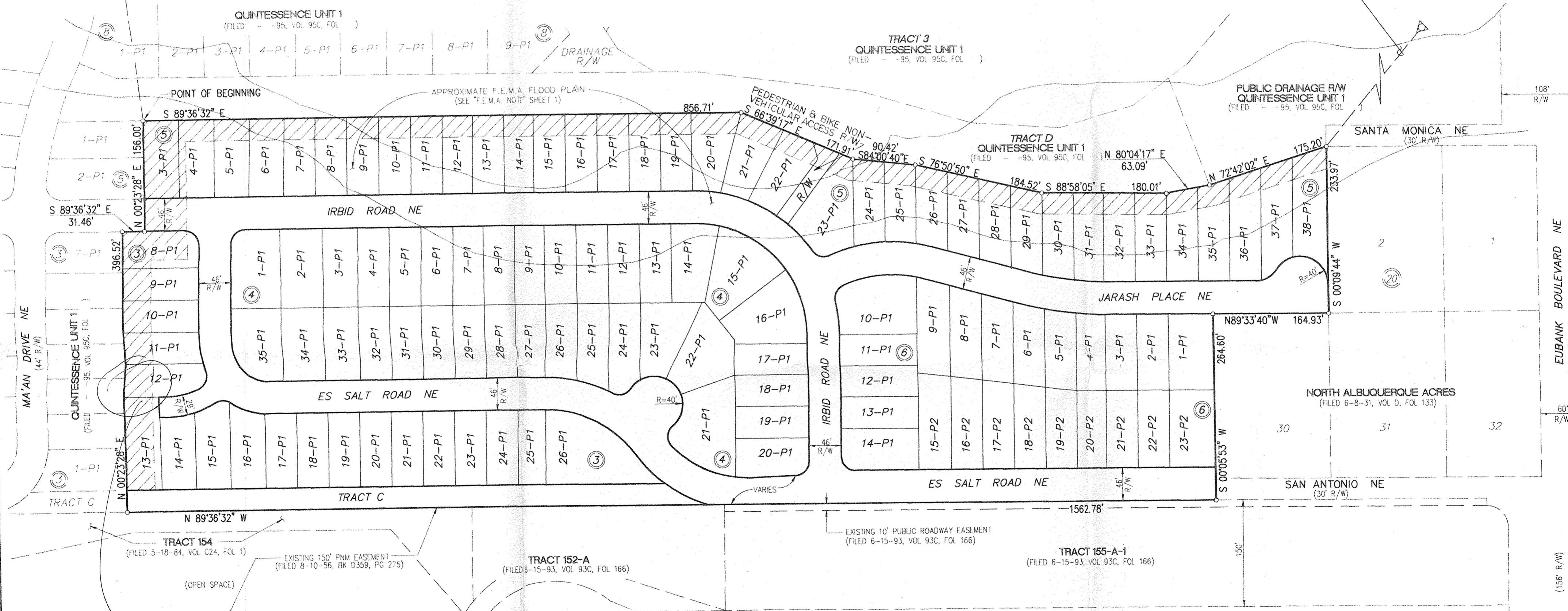
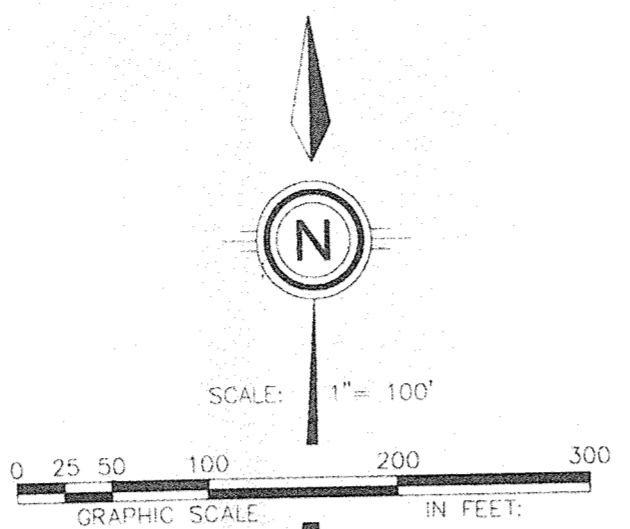
NOTE:

SEE SHEET 5 FOR NOTES AND CURVE DATA

SEE SHEETS 3 AND 4 FOR PLAT GEOMETRY & PROPOSED EASEMENTS

S 06°55'48" E, 4793.61'(GRND)
TIE TO CITY OF ALBUQUERQUE
ACS MONUMENT "5-D21"
N.M. STATE PLANE COORDINATES
(CENTRAL ZONE) NAD 27
X=415,552.51 Y=1,516,380.98
DELTA ALPHA = -00°09'46"
G-G=0.9996379
ELEVATION = 5650.56

S 39°59'24" W, 4662.74'(GRND)
TIE TO CITY OF ALBUQUERQUE
ACS MONUMENT "4-D22"
N.M. STATE PLANE COORDINATES
(CENTRAL ZONE) NAD 27
X=420767.52 Y=1,517,527.25
DELTA ALPHA = -00°09'10"
G-G=0.9996281
ELEVATION = 5835.09



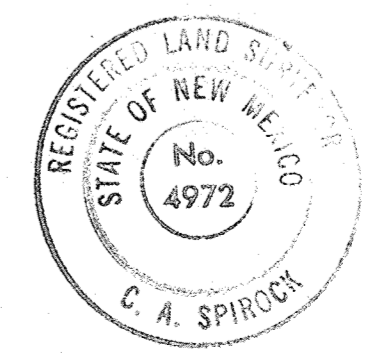
What is the shaded area?

SURVEYOR'S CERTIFICATION:

I, C. A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

C. A. SPIROCK, N.M.R.P.S., #4972

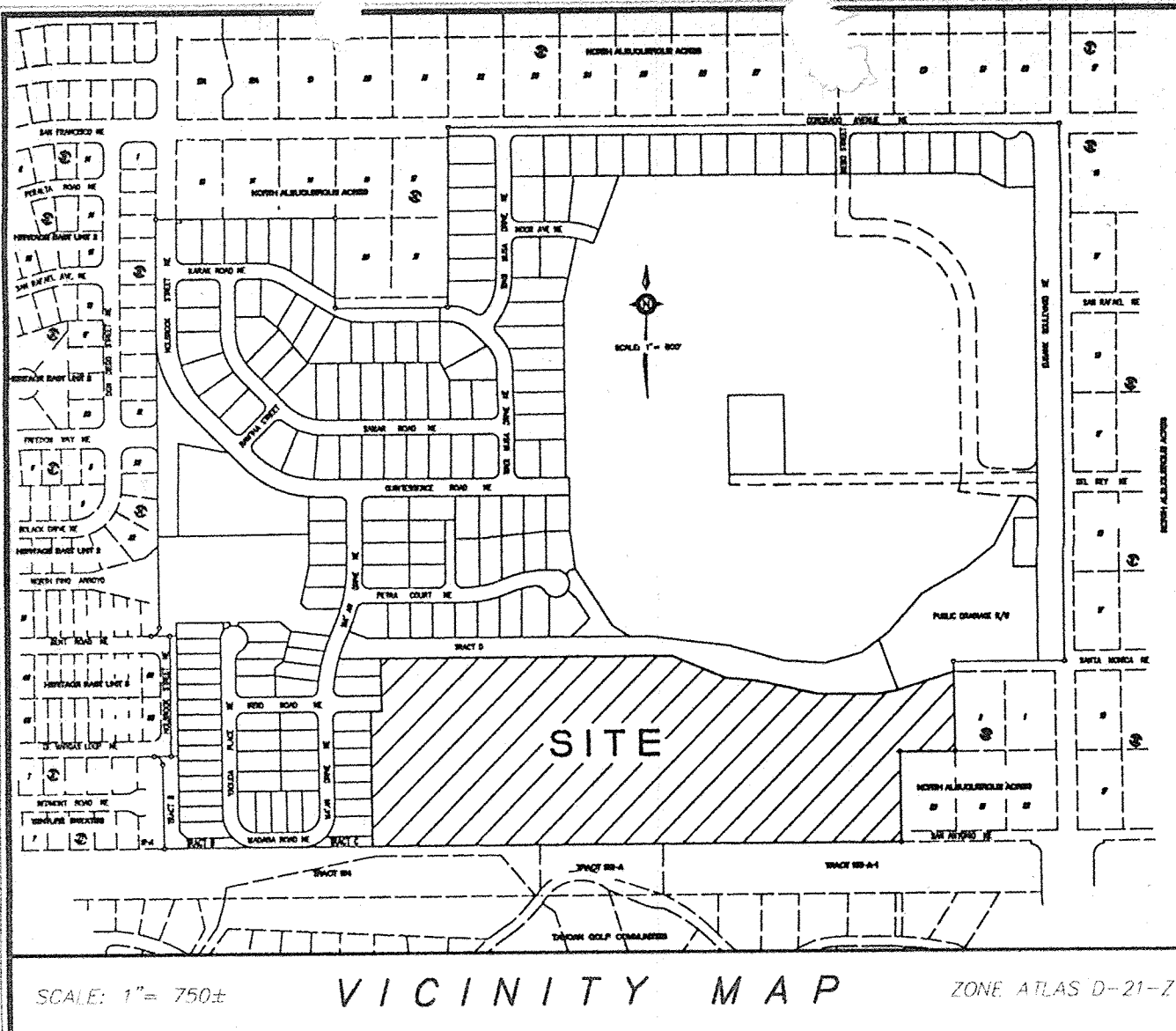
11/5/96
DATE



SHEET 2 OF 5

DATE:	NOVEMBER, 1995	community sciences corporation
SCALE:	1" = 100'	
DESIGNED:	S.P.S.	
DRAWN:	D.E.R.	
JOB NO.:	323-08-025	
LAND PLANNING	ENGINEERING	SURVEYING
P.O. Box 1328	Corrales, N.M. 87048	

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



LEGAL DESCRIPTION

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT ("PROJECTED" SECTION 21, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING COMPRISED OF TRACT 1 OF QUINTESSENCE UNIT 1 AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON _____, VOLUME _____, FOLIO _____ AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING FOR A TIE AT THE ALBUQUERQUE CITY SURVEY (ACS) MONUMENT "5-D21" (HAVING NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE OF X=415,552.51 AND Y=1,516,380.98); THENCE AS A TIE S06°55'48"E, 4793.61 FEET TO A POINT BEING THE NORTHEAST CORNER OF LOT 1-P1, BLOCK 5 OF SAID QUINTESSENCE UNIT 1, A POINT ON THE SOUTHERLY BOUNDARY LINE OF TRACT D, QUINTESSENCE UNIT 1, AND THE AND TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE ALONG SAID SOUTHERLY BOUNDARY OF TRACT D, S89°36'32"E, 856.71 FEET TO AN ANGLE POINT; THENCE S66°39'17"E, 171.91 FEET TO AN ANGLE POINT; THENCE S84°00'40"E, 90.42' FEET TO AN ANGLE POINT; THENCE, S76°50'50"E, 184.52 FEET TO AN ANGLE POINT; THENCE S88°58'05"E, 180.01 FEET TO AN ANGLE POINT; THENCE N80°04'17"E, 63.09 FEET TO THE SOUTHEAST CORNER OF TRACT D, AND THE SOUTHWEST CORNER OF AN EXISTING PUBLIC DRAINAGE RIGHT-OF-WAY, QUINTESSENCE UNIT 1; THENCE ALONG THE SOUTHERLY BOUNDARY LINE OF SAID EXISTING PUBLIC DRAINAGE RIGHT-OF-WAY, N72°42'02"E, 175.20 FEET TO THE NORTHWEST CORNER OF LOT 2, BLOCK 20 OF NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD FILED IN THE OFFICE OF THE COUNTY CLERK IN BERNALILLO COUNTY, NEW MEXICO ON JUNE 8, 1931 IN VOLUME D, FOLIO 133, SAID POINT ALSO BEING THE NORTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE DEPARTING SAID SOUTHERLY BOUNDARY LINE AND ALONG THE WESTERLY BOUNDARY OF SAID LOT 2, BLOCK 20, S00°09'44"W, 233.97 FEET TO THE SOUTHWEST CORNER OF LOT 2, BLOCK 20, AND THE NORTHEAST CORNER OF LOT 30, BLOCK 20 OF SAID NORTH ALBUQUERQUE ACRES; THENCE ALONG THE NORTHERLY BOUNDARY OF LOT 30, BLOCK 20, N89°33'40"W, 164.93 FEET TO THE NORTHWEST CORNER OF LOT 30, BLOCK 20; THENCE ALONG THE WESTERLY BOUNDARY LINE OF LOT 30, BLOCK 20, S00°05'53"W, 264.60 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAN ANTONIO NE (30' RW), AND THE SOUTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE N89°36'32"W, 1562.78 FEET TO A POINT BEING THE SOUTHEAST CORNER OF TRACT C, QUINTESSENCE UNIT 1, AND THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE N00°23'28"E, 396.52 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF IRBID ROAD NE (46' RW), THE NORTHEAST CORNER OF LOT 7-P1, BLOCK 3 OF QUINTESSENCE UNIT 1; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, S89°36'32"E, 31.46 FEET TO AN ANGLE POINT; THENCE DEPARTING THE SOUTHERLY RIGHT-OF-WAY LINE, N00°23'28"E, 156.00 FEET TO A POINT ON THE SOUTHERLY BOUNDARY LINE OF SAID TRACT D, THE NORTHEAST CORNER OF LOT 1-P1, BLOCK 5, AND THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.

THE ABOVE DESCRIBED PARCEL CONTAINS 19.1600 ACRES (834,609 S.F.) MORE OR LESS.

VACATION AND REPLAT
FOR
QUINTESSENCE UNIT 2

COMPRISED OF
TRACT 1
QUINTESSENCE UNIT 1
SITUATE WITHIN
THE ELENA GALLEGOS GRANT
"PROJECTED" SECTION 21, T11N, R4E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 1995

SUBDIVISION DATA:

CASE NO. DRB-94-552, V-94-132
GROSS SUBDIVISION ACREAGE 19.1600 AC
ZONE ATLAS INDEX NO. D-21-Z
NO. OF EXISTING TRACTS 1
NO. OF EXISTING LOTS 0
NO. OF LOTS CREATED 113
NO. OF TRACTS CREATED 1
MILES OF FULL-WIDTH STREETS CREATED 0.74 MILES
DATE OF SURVEY AUGUST, 1994
S.P. TALOS LOG NO. 96-0104-1103-0250

FREE CONSENT AND DEDICATION:

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS DRAINAGE RIGHT-OF-WAYS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS (SEE NOTE 8). SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

PARADISE WEST, INC

A NEW MEXICO CORPORATION

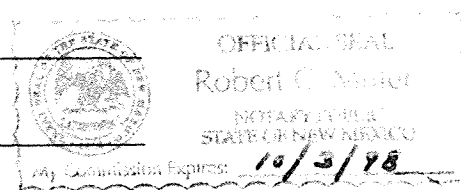
BY: *Samar Dababneh*
SAMAR DABABNEH, PRESIDENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON January 22, 1995⁹⁶
BY SAMAR DABABNEH, PRESIDENT, ON BEHALF OF SAID CORPORATION.

BY: *Robert C. Miller*
NOTARY PUBLIC

MY COMMISSION EXPIRES: 10/2/98



TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #s:

QUINTESSENCE UNIT 1:

TRACT 1, UPC # _____

PROPERTY OWNER OF RECORD: PARADISE WEST, INC.

BERNALILLO COUNTY TREASURER'S OFFICE:

BY: _____ DATE: _____

SURVEYOR'S CERTIFICATION:

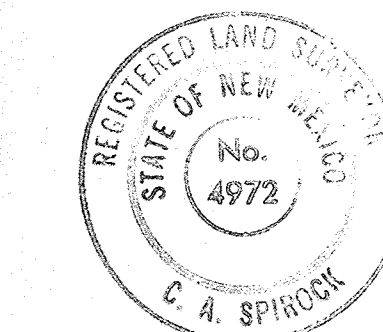
I, C. A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

C. A. SPIROCK, N.M.R.P.S. #4972

1/5/96
DATE

APPROVALS:

APPROVALS:	DATE
SUBDIVISION CASE NUMBER: _____	
CITY PLANNER/ALBUQUERQUE, BERNALILLO CO. PLANNING DIVISION	DATE
PARKS AND GENERAL SERVICE DEPARTMENT	DATE
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	DATE
CITY ENGINEER, ENGINEERING DIVISION	DATE
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	DATE
UTILITY DEVELOPMENT	DATE
<i>Keith Chel</i> CITY SURVEYOR, ENGINEERING DIVISION	<u>012606</u> DATE
PROPERTY MANAGEMENT	DATE
PNM GAS SERVICES	DATE
U S WEST COMMUNICATIONS, INC.	DATE
PNM ELECTRIC SERVICES	DATE



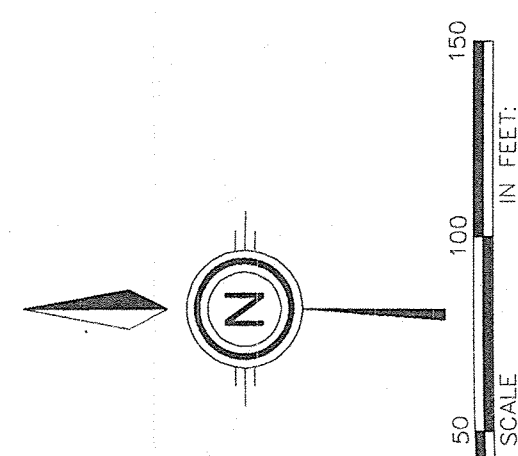
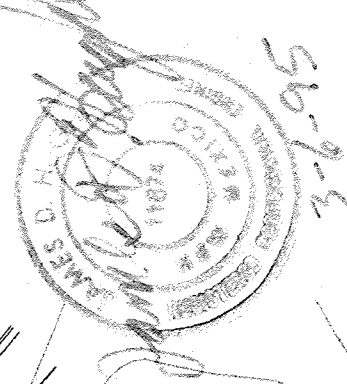
FEMA NOTE:

LOTS EFFECTED BY F.E.M.A. FLOOD PLAIN AS SHOWN ON FIRM COMMUNITY PANEL #35002-0011, EFFECTIVE 10-14-83 AS BEING IN ZONE AO (1' DEPTH) ON THE "NORTH ARROYO DEL PINO" ARE:

BLOCK	LOTS
4	6-15
5	5-38

THESE LOTS ARE TO BE REMOVED FROM THAT FLOOD PLAIN THRU THE CONSTRUCTION OF DRAINAGE INFRASTRUCTURE AS REQUIRED BY AND TO BE MAINTAINED BY THE CITY OF ALBUQUERQUE IN CONJUNCTION WITH THIS SUBDIVISION. AFTER THE INFRASTRUCTURE CONSTRUCTION IS COMPLETE AND DOCUMENTED AS BEING ACCEPTABLE TO F.E.M.A., THEY WILL ISSUE A LETTER OF MAP REVISION (LOMR) WHICH OFFICIALLY REMOVES THE LOTS FROM THE FLOOD PLAIN.

DATE: NOVEMBER, 1995	community sciences corporation LAND PLANNING P.O. Box 1328 ENGINEERING Corrales, N.M. 87048 SURVEYING
SCALE: N/A	
DESIGNED: S.P.S.	
DRAWN: D.E.R.	
JOB NO.: 323-08-025	



PRELIMINARY GRADING AND EROSION CONTROL PLAN FOR QUINTESSENCE SUBDIVISION UNITS 1 THRU 6

COMPRISED OF LOTS 1-11, 17-19, AND 22-32 BLOCK 14, LOTS 1-26 AND 28-32 BLOCK 16, LOTS 1-32 BLOCK 18, LOTS 3-29 BLOCK 20 NORTH ALBUQUERQUE ACRES UNIT 2, TRACT 3 SITUATE WITHIN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO N.W. QUADRANT

CROSS-HATCHING INDICATES CHANGES TO GRADING PLANS SEE UNIT 1 FINAL GRADING FOR REVISED GRADES

DRB NO. 94-552

BENCHMARK STATION IS AN L&S BENCH TABLE STAMPED "5-20211885" SET IN PLACE OF THE CENTERLINE INTERSECTION OF CORONADO AVENUE AND THE CENTERLINE OF HO-BROOK. ELEVATION = 5650.45

- LEGEND**
- TC-8843 PROPOSED TOP OF CURB ELEVATION
 - 89.0 PROPOSED SPOT ELEVATION (89.0 & 10)
 - EXISTING SPOT ELEVATION (89.0 & 10)
 - EROSION CONTROL BERM
 - PROPOSED CONCRETE VALLEY OUTER
 - EXISTING CURB & GUTTER
 - PROPOSED MOUNTABLE CURB & GUTTER
 - PROPOSED STANDARD CURB & GUTTER
 - EXISTING CONDUIT W/ INLET ELEVATION
 - PROPOSED DRAINAGE BASIN
 - TC-8843 PROPOSED TOP OF CURB ELEVATION
 - 89.0 PROPOSED SPOT ELEVATION (89.0 & 10)
 - EXISTING SPOT ELEVATION (89.0 & 10)
 - EROSION CONTROL BERM
 - PROPOSED CONCRETE VALLEY OUTER
 - EXISTING CURB & GUTTER
 - PROPOSED MOUNTABLE CURB & GUTTER
 - PROPOSED STANDARD CURB & GUTTER
 - EXISTING CONDUIT W/ INLET ELEVATION
 - PROPOSED DRAINAGE BASIN

11 PRIVATE DRAINAGE BASIN WITH IMPROVED DRAINAGE SYSTEM ACQUISITION

TRACT 7
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THIS PLAN IS SUBJECT TO THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO PERMITS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.

