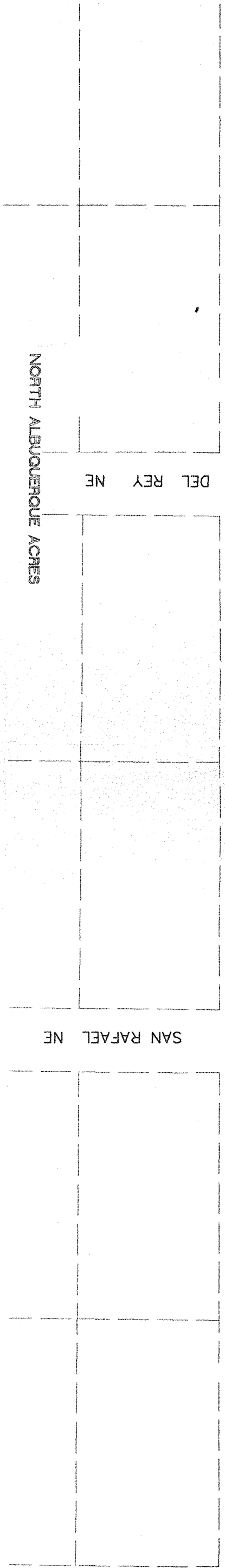
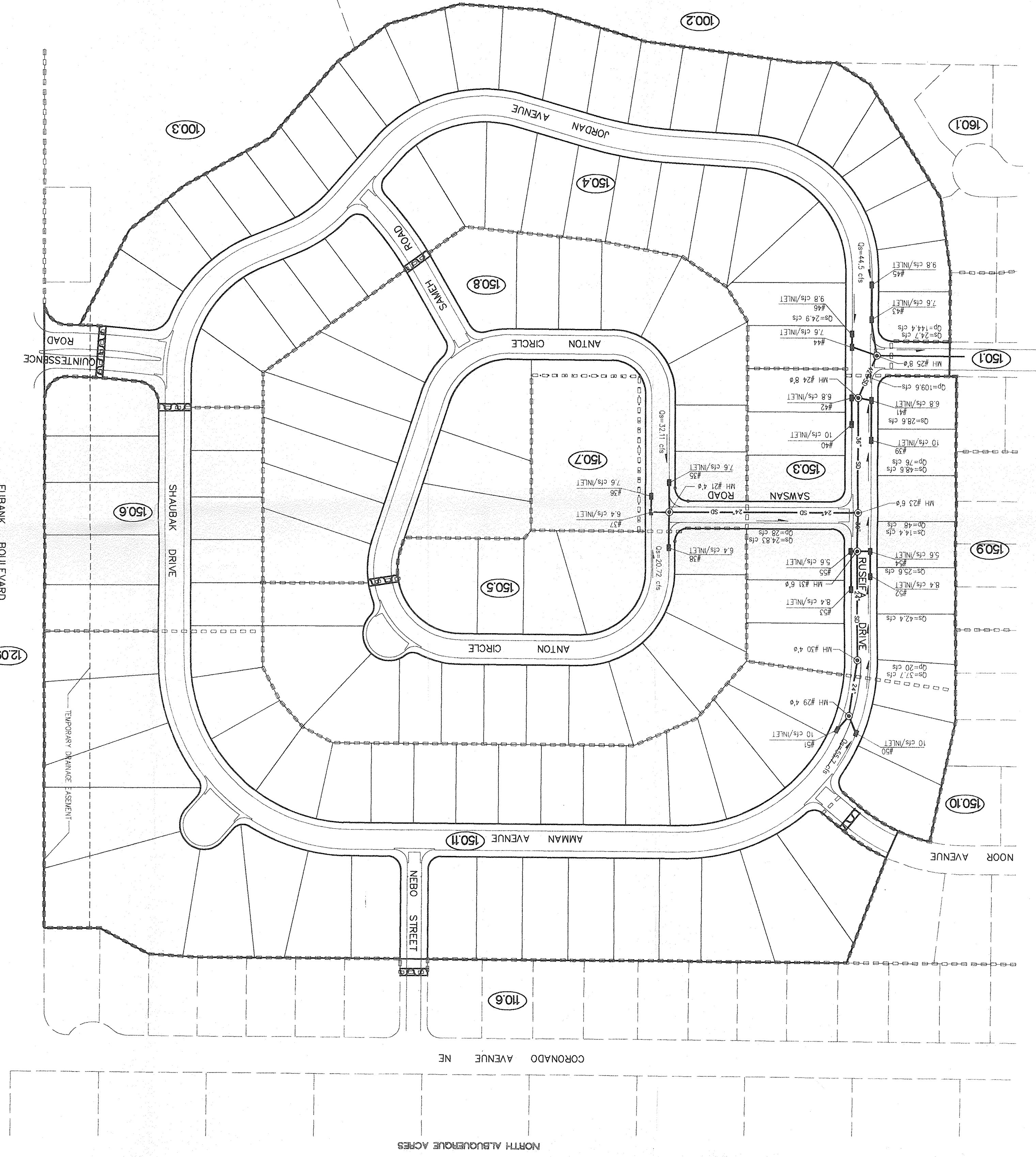


LEGEND

● 98.4, 3	PROPOSED TOP OF CURB ELEVATION
● 99.0	PROPOSED SPOT ELEVATION
○ 99.0	EXISTING SPOT ELEVATION (GND & TC)
□	EXISTING CONTROL BERM
▨	PROPOSED CONCRETE VALLEY CUTTER
▧	EXISTING CURB & CUTTER
▩	PROPOSED MOUNTABLE CURB & CUTTER
▪	PROPOSED STANDARD CURB & CUTTER
▫	PROPOSED REAR-YARD POND
▬	PROPOSED SLOPE
⊙	PROPOSED STORM DRAIN MAN HOLE
■	PROPOSED STORM DRAIN INLET
→	SMALLE
→	FLOW ARROW
□	BASEIN BOUNDARY
— 30" SD —	EXISTING STORM DRAIN
— 30" SD —	PROPOSED STORM DRAIN
▨	PROPOSED VALLEY CUTTER
▩	EXISTING CURB & CUTTER
▧	PROPOSED MOUNTABLE CURB & CUTTER
▪	PROPOSED STANDARD CURB & CUTTER
▫	PROPOSED CONTOUR W/ INDEX ELEVATION
○	PROPOSED DRAINAGE BASIN



DRAINAGE BASIN MAP
FOR
QUINTESSENCE UNITS 4 AND 5

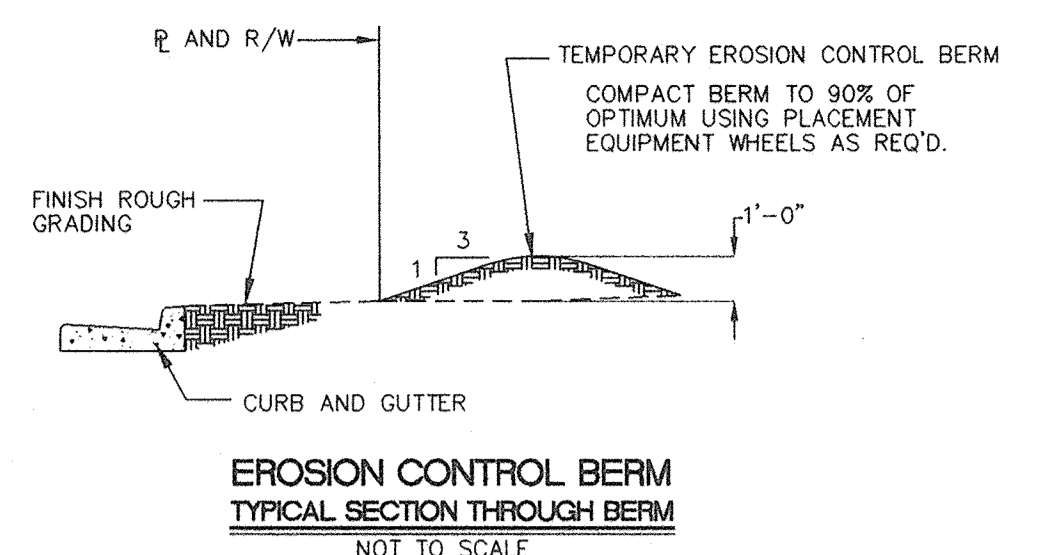
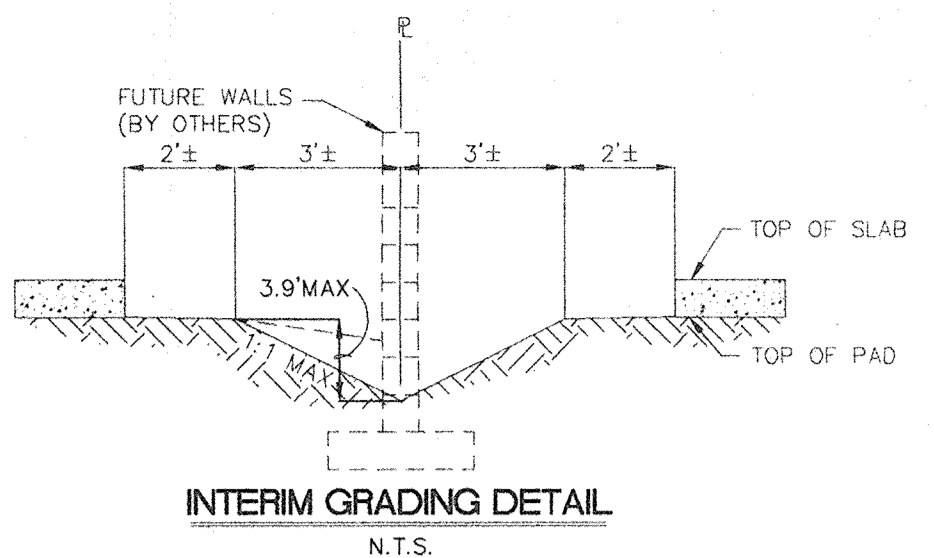
COMPRISED OF TRACT 3, QUINTESSENCE UNIT 1 TOGETHER WITH LOT 27, BLOCK 16 OF NORTH ALBUQUERQUE ACRES SITUATE WITHIN THE ELENA GALLEGOS GRANT "PROJECTED" SECTION 21, 111N, R4E, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO MARCH, 1996

BENCHMARK: THE STATION IS A STANDARD ACS ALUMINUM CAP STAMPED "5-D21 1985" AND IS RIVETED TO AN ALUMINUM PIPE PROJECTING 0.1 FOOT ABOVE GROUND. IT IS LOCATED 793 FEET NORTH OF THE CENTERLINE INTERSECTION OF CORONADO AVENUE AND HOLBROOK STREET, AND 85 FEET EAST OF THE CENTERLINE OF HOLBROOK STREET. ELEV. = 5650.56

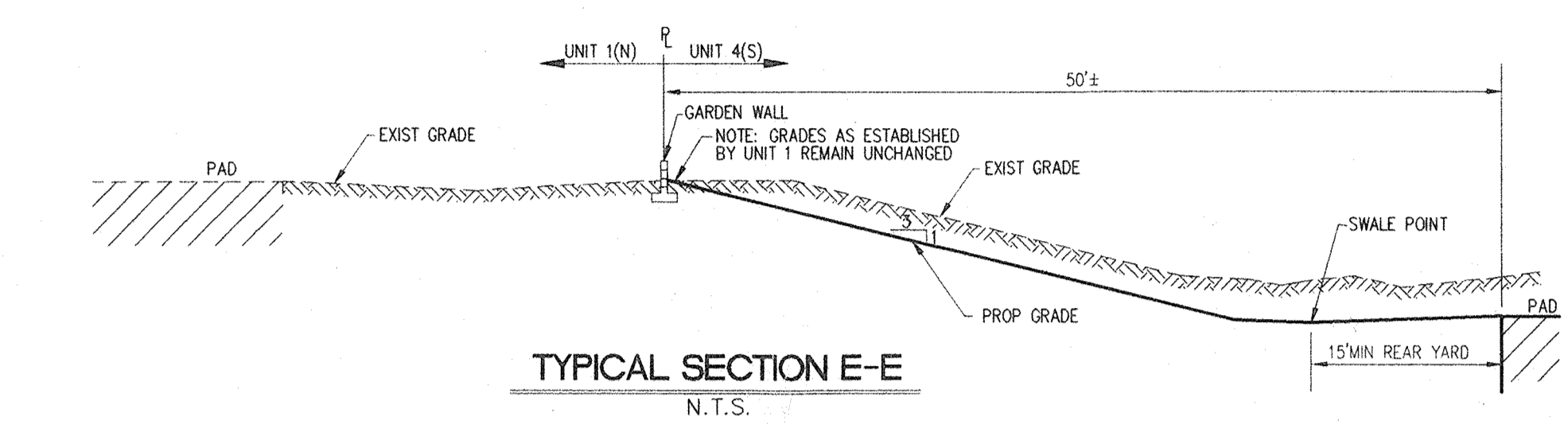
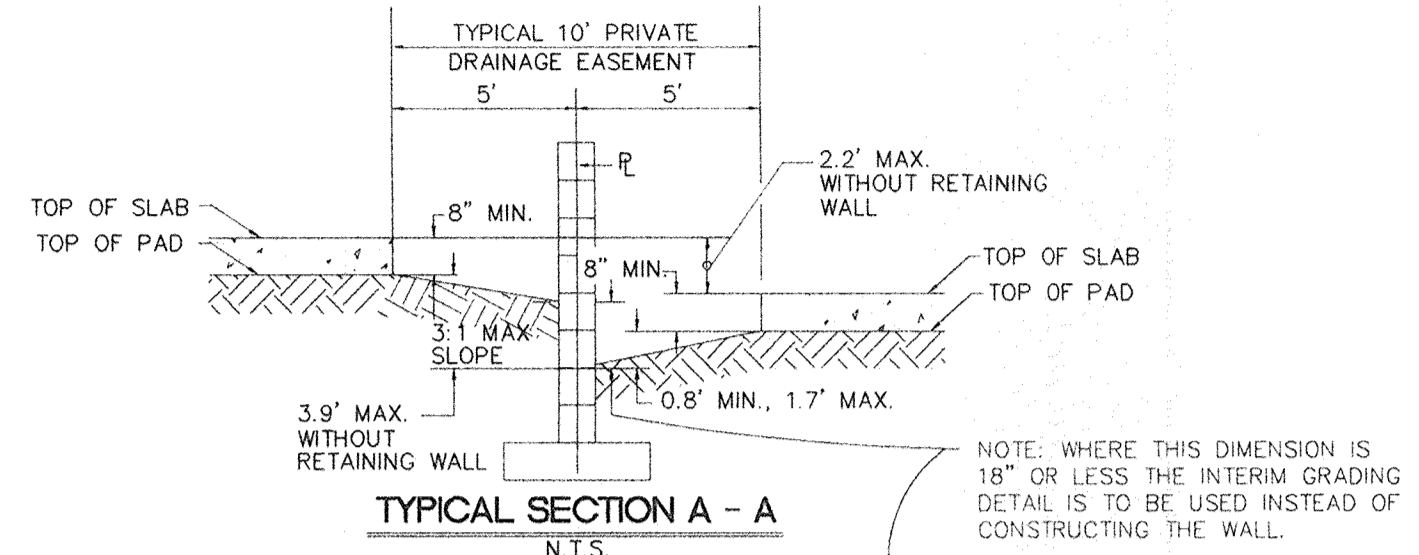
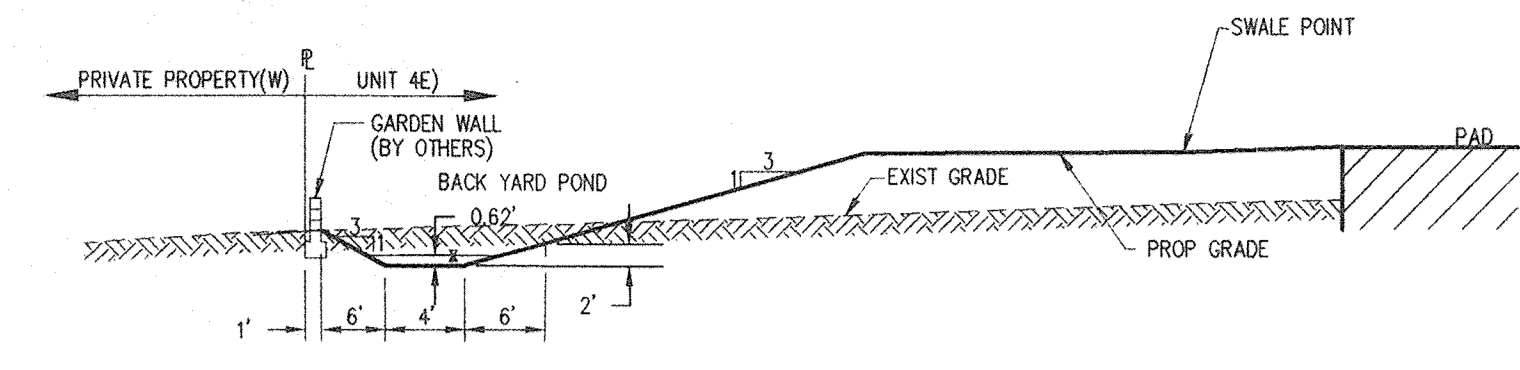
DRB CASE NO. 94-552

3-28-96
[Signature]

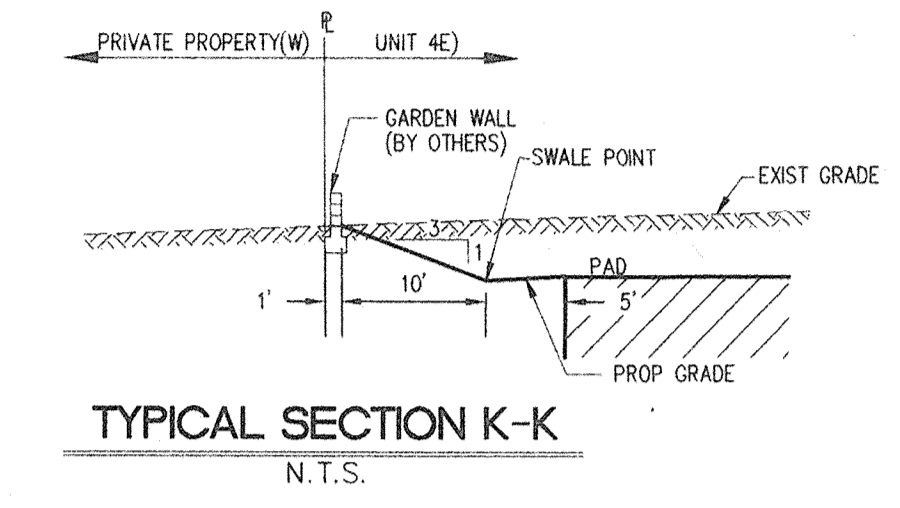
DATE	MARCH, 1996
SCALE	1" = 100'
DESIGNED BY	J.M.N.
DRAWN BY	D.E.R.
CHECKED BY	
PROJECT NO.	323-10-530
ENGINEERING	COMMUNITY SCIENCES CORPORATION
REGISTERED PROFESSIONAL ENGINEER	
NO. 10, BOX 1328	
ALBUQUERQUE, N.M. 87104	



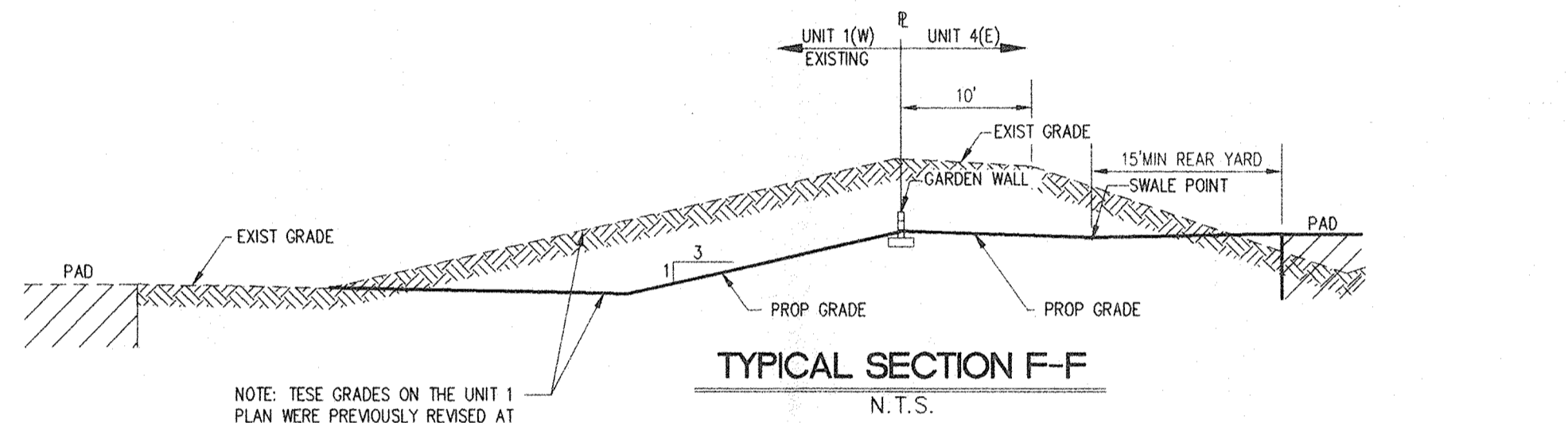
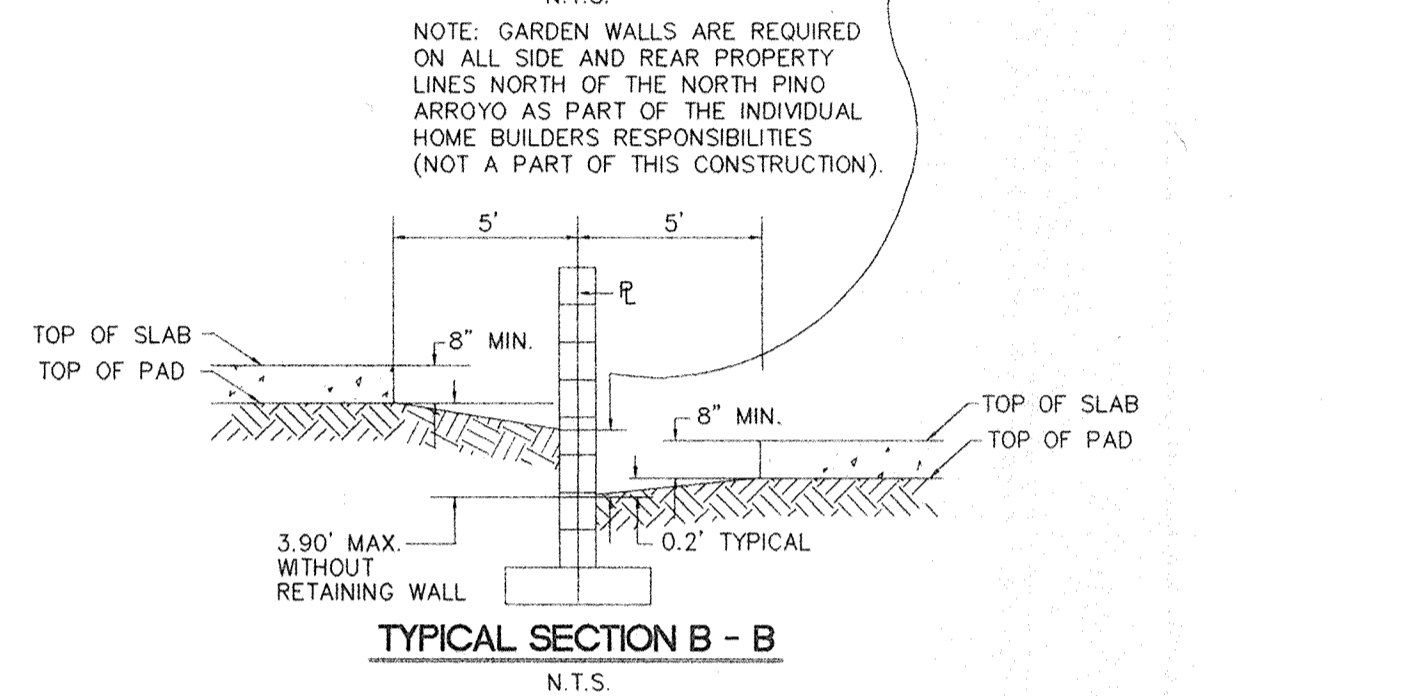
- EROSION CONTROL NOTES:**
- CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT PRIOR TO GRADING.
 - PROTECTION OF ADJACENT RIGHT-OF-WAY AND PRIVATE PROPERTY FROM SEDIMENT WILL BE ACCOMPLISHED BY THE EROSION CONTROL BERM SHOWN HERE ON.
 - DISTURBED AREAS WILL BE RESEED PER C.O.A. DPM SECTION 1012, AS INDICATED.



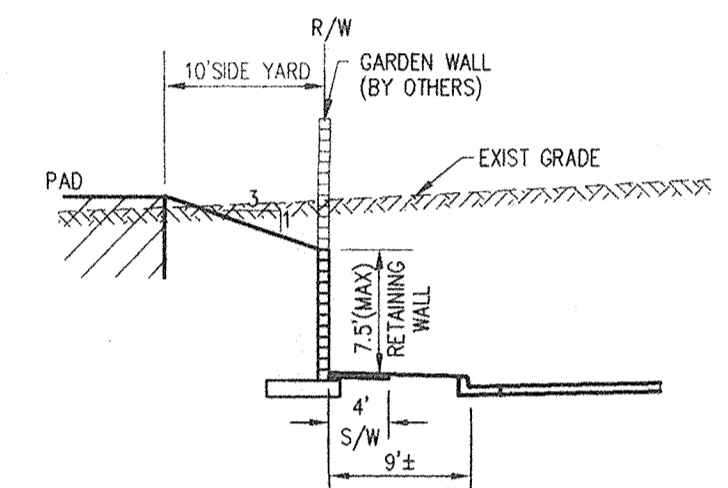
TYPICAL SECTION J-J
N.T.S.



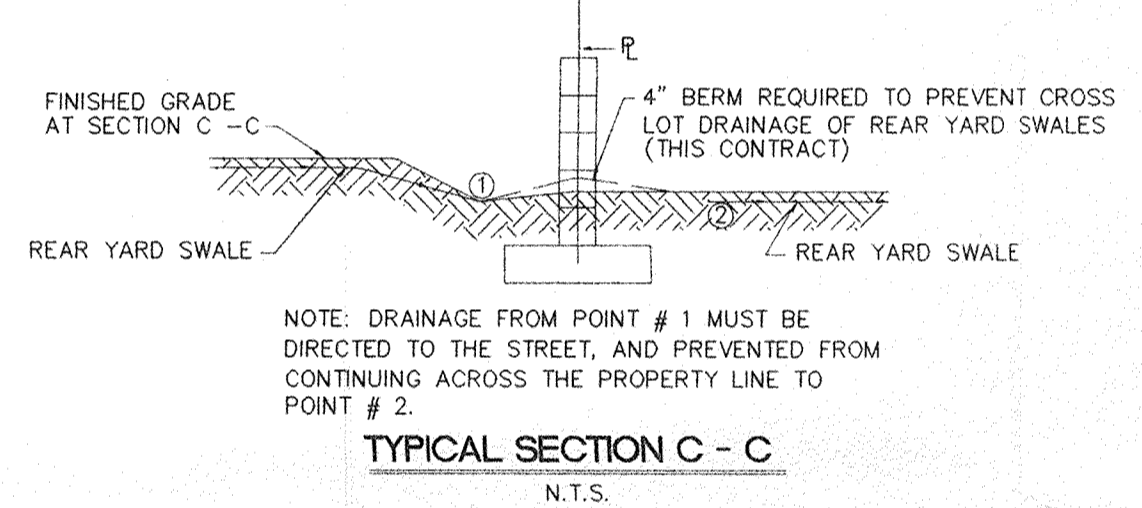
TYPICAL SECTION K-K
N.T.S.



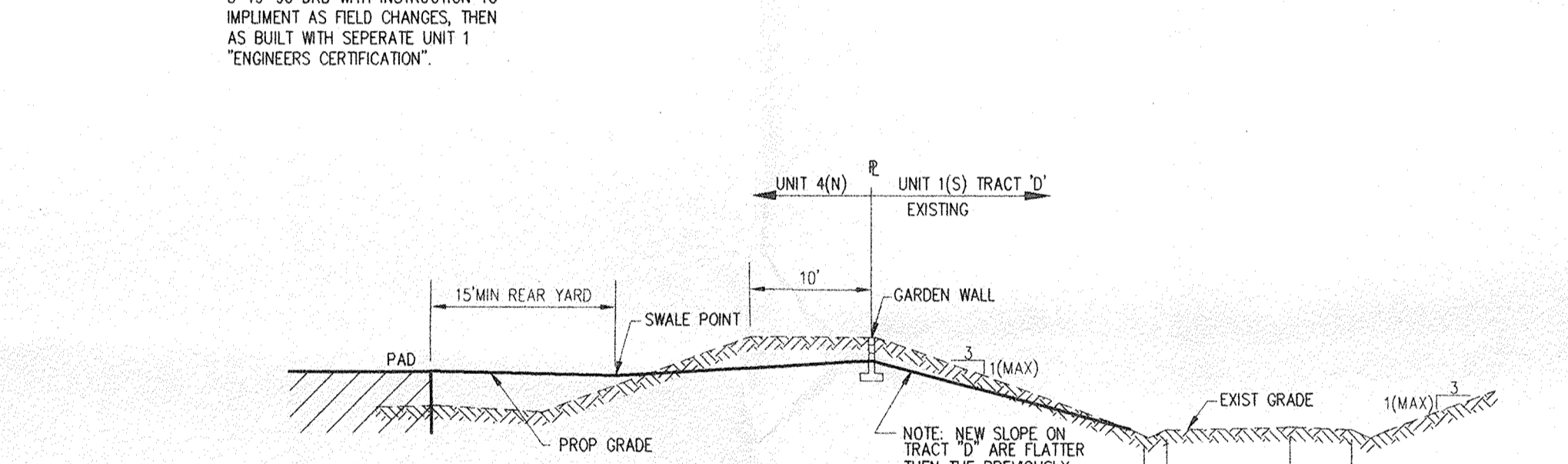
TYPICAL SECTION F-F
N.T.S.



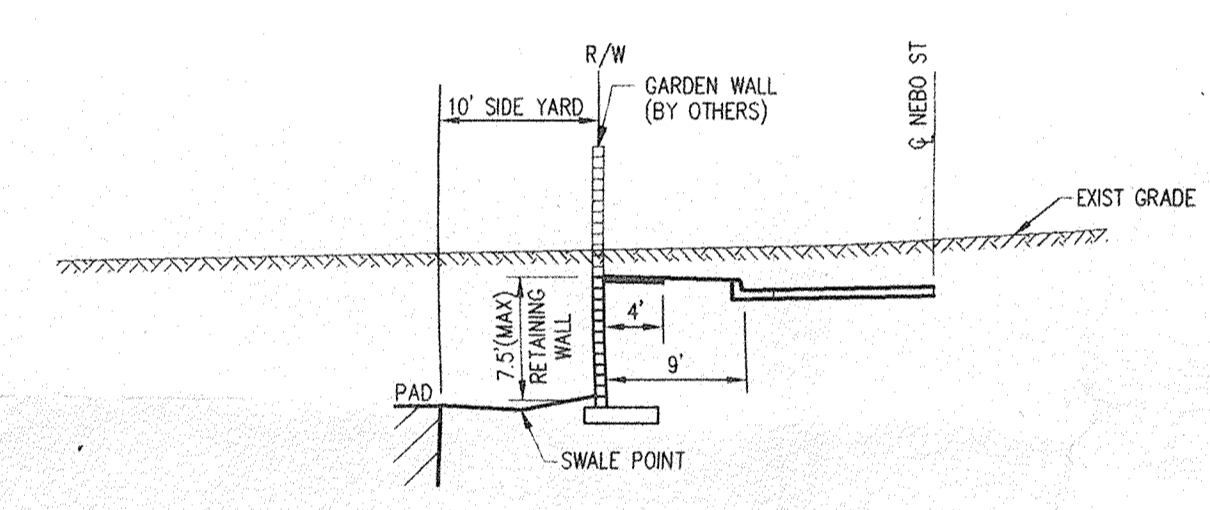
TYPICAL SECTION L-L
N.T.S.



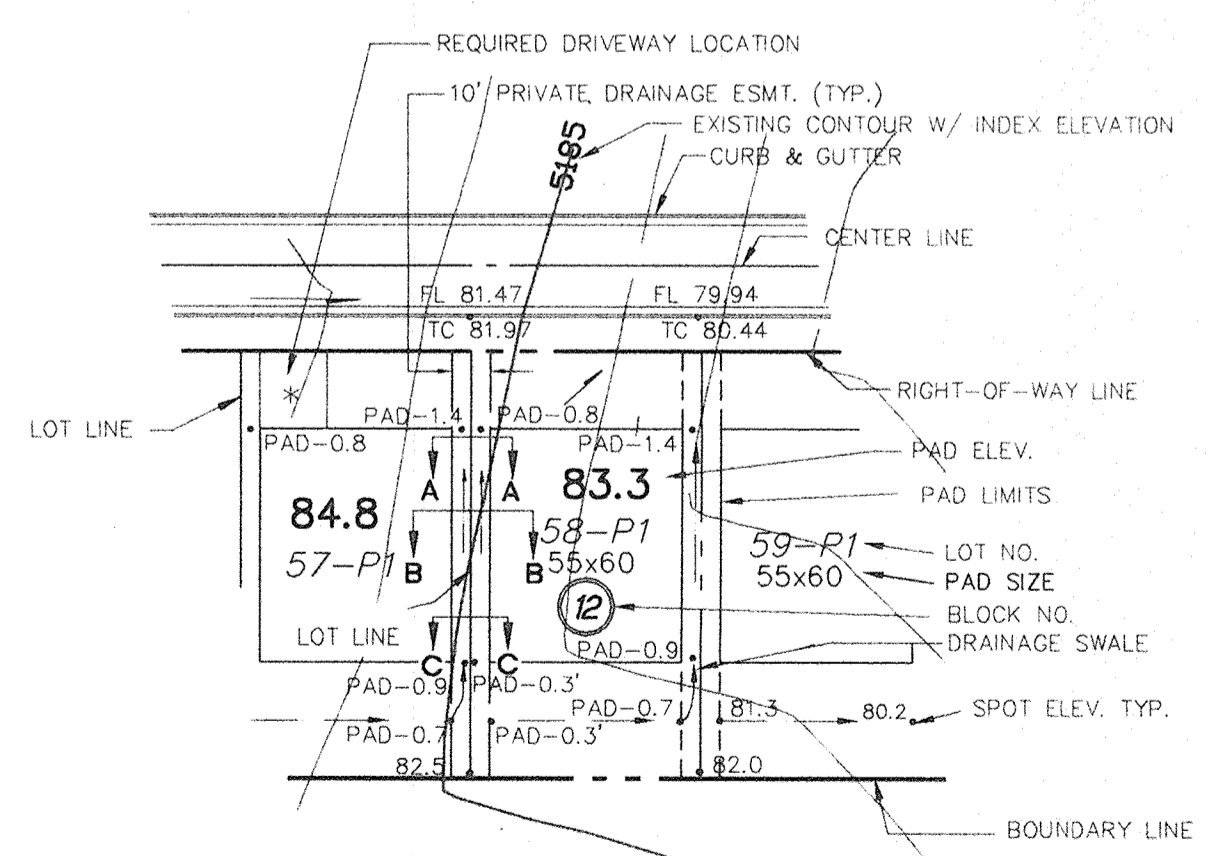
TYPICAL SECTION C-C
N.T.S.



TYPICAL SECTION G-G
N.T.S.

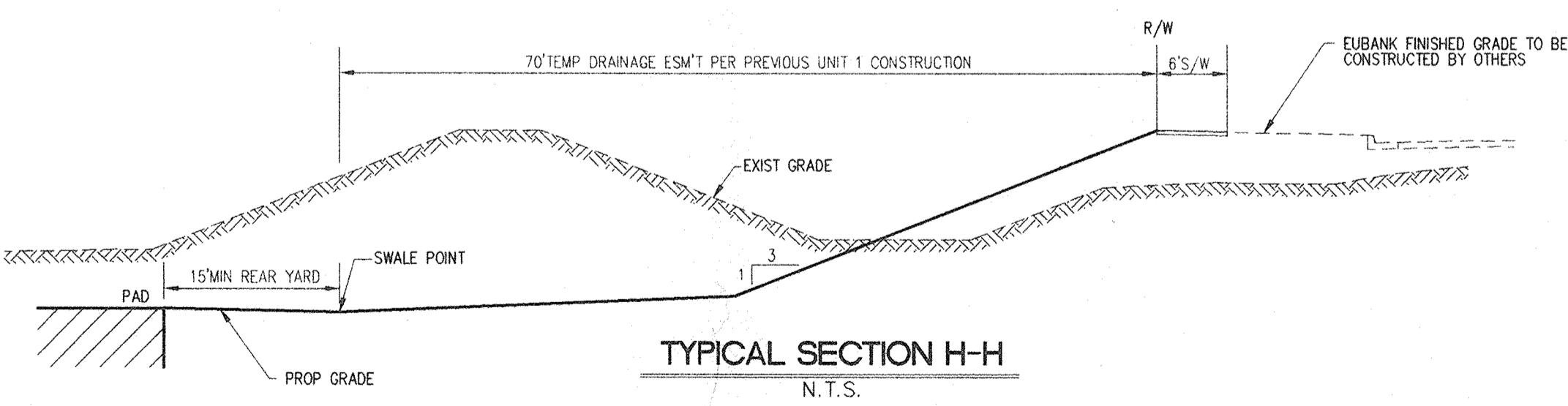


TYPICAL SECTION M-M
N.T.S.

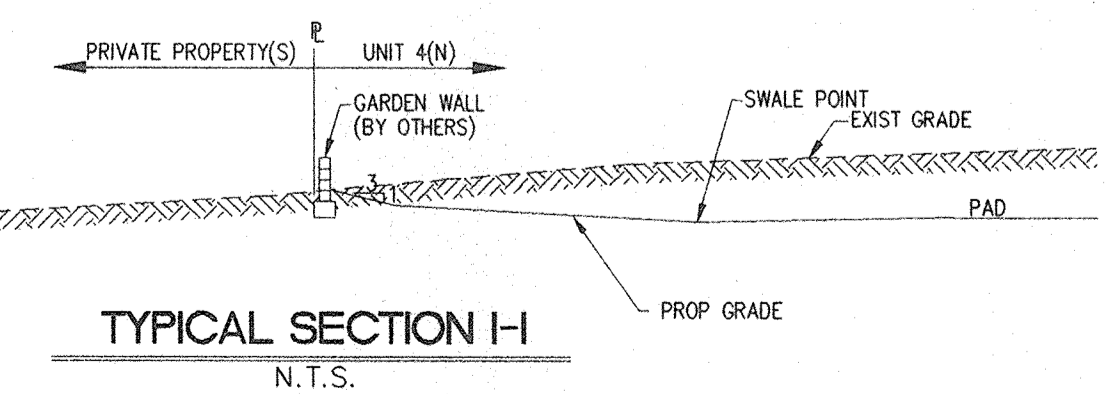


TYPICAL LOT DETAIL
N.T.S.

* FINISHED GRADE AROUND PERIMETER OF HOUSE SHALL BE A MINIMUM OF 8" BELOW TOP OF CONCRETE SLAB. (SEE SECTIONS THIS SHEET)



TYPICAL SECTION H-H
N.T.S.



TYPICAL SECTION H-I
N.T.S.

James Hughes
3-28-96

DATE: 3/21/96	community sciences corporation
SCALE: AS SHOWN	
JOB NO.: 32308	LAND PLANNING ENGINEERING SURVEYING P.O. Box 1328 Corrales, N.M. 87048 (505) 897-0000
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: QUINTESSENCE SUBDIVISION GRADING DETAILS	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN DATE	MO./DAY/YR. MO./DAY/YR.
PROJECT NO. 5206.94	MAP NO. D-21
SHEET	OF

AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S NAME	DATE
FIELD MADE BY	DATE
VERIFICATION BY	DATE
APPROVED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO. 1	3/96
BY	
COMMUNITY SCIENCES	

ENGINEER'S SEAL	
REVISIONS	BY
NO.	DATE
DESIGNED BY: JMN	DATE: 3/96
DRAWN BY: LJD	DATE: 3/96
CHECKED BY: JDH	DATE: 3/96

PRELIMINARY PLAT
FOR
QUINTESSENCE UNITS 4 AND 5

COMPRISED OF
TRACT 3, QUINTESSENCE UNIT 1
TOGETHER WITH LOT 27, BLOCK 16
OF NORTH ALBUQUERQUE ACRES
SITUATE WITHIN
THE ELENA GALLEGOS GRANT
"PROJECTED" SECTION 21, T11N, R4E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

MARCH, 1996

SITE DATA

UNIT 4	121 LOTS
UNIT 4 AREA	36.82 AC
UNIT 5	11 LOTS
UNIT 5 AREA	4.01 AC
TOTAL LOTS	132 LOTS
TOTAL AREA	40.83 AC
DRB CASE NO.	94-552
ZONE ATLAS NO.	D-21-Z
EXISTING ZONING	R-D
F.E.M.A. MAP NO.	350002 0011
NO. EXISTING TRACTS	1
NO. EXISTING LOTS	1

OWNER/DEVELOPER

PARADISE WEST, INC
ATTN: MR. ANTON DABABNEH
5016 LA FIESTA DRIVE NE
CORRALES, NEW MEXICO, 87048
PHONE: (505) 884-0175

SURVEYOR/ENGINEER

COMMUNITY SCIENCES CORPORATION
ATTN: CLIFF SPIROCK
P.O. BOX 1328
CORRALES, NEW MEXICO, 87048
PHONE: (505) 897-0000
FAX: 898-5195

GENERAL NOTES:

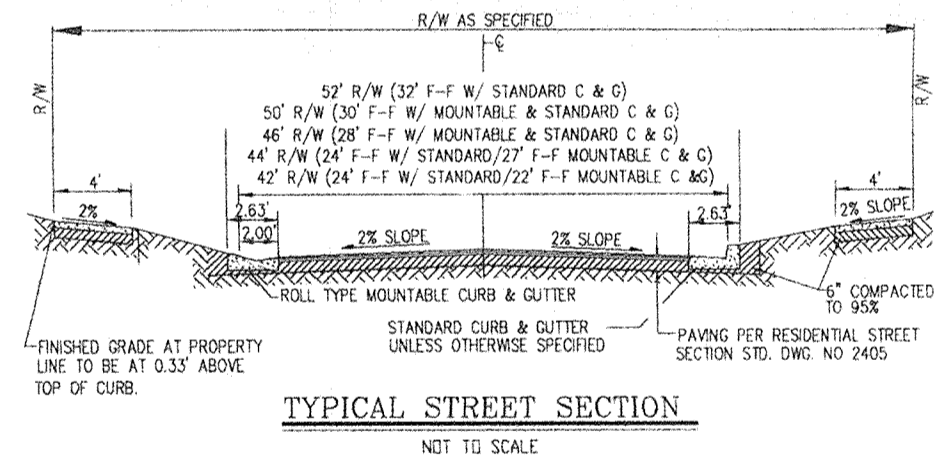
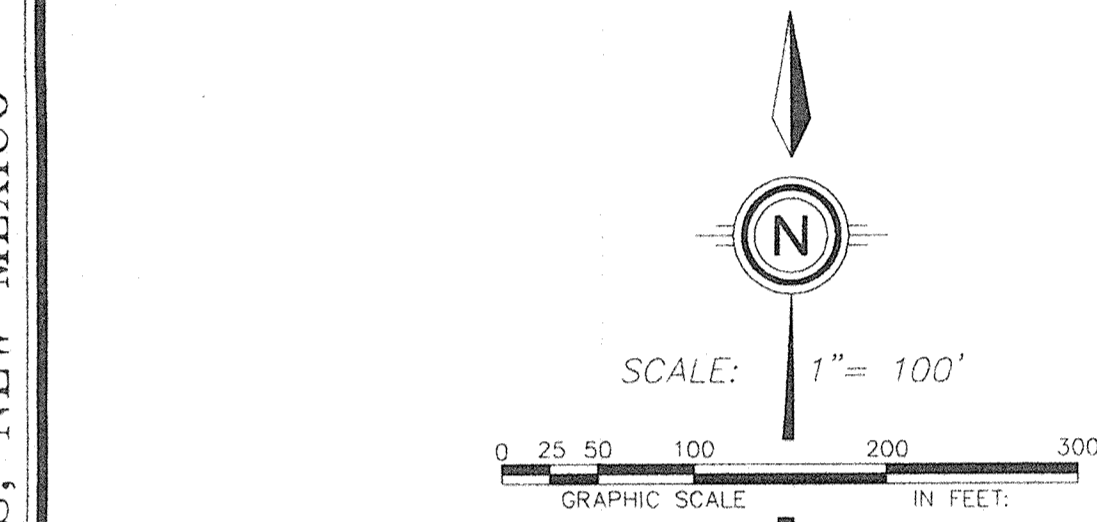
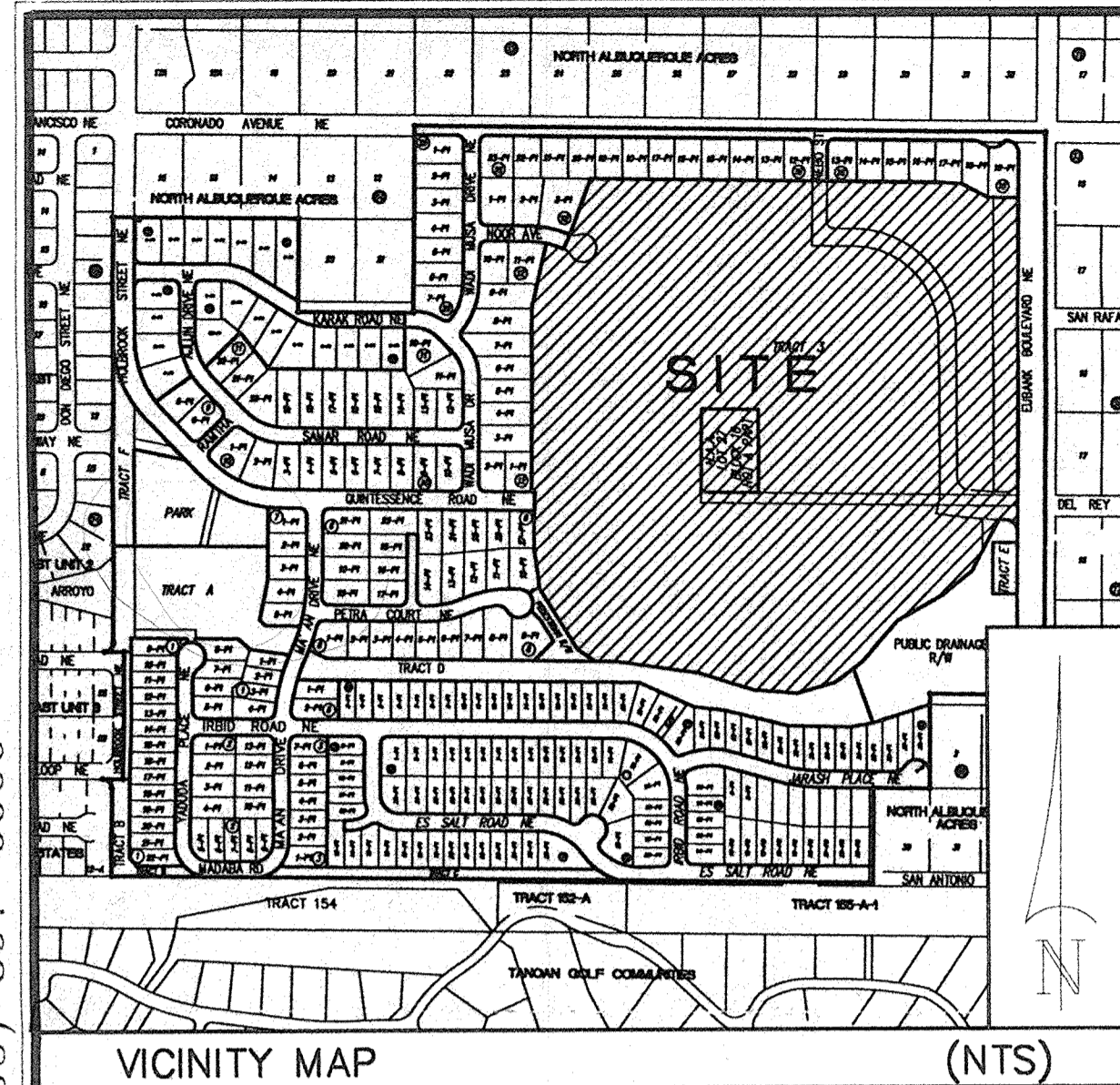
- THE PURPOSE OF THIS PLAT IS TO VACATE EXISTING EASEMENTS NO LONGER REQUIRED OR TO BE RELOCATED WITH THIS PLAN AND TO SUBDIVIDE 40.83 ACRES INTO 132 SINGLE FAMILY LOTS AND ADJOINING STREETS.
- STREET RIGHTS-OF-WAY AND PAVEMENT WIDTHS HAVE BEEN REDUCED PER THE STANDARD REQUIREMENTS FOR INTERMITTENT PARKING DESIGN. ALL RESIDENTIAL LOTS SHALL HAVE A "P-1" SUFFIX ON THE FINAL PLAT.
- THE "P-1" SUFFIX TO LOT NUMBERS DESIGNATES SPECIAL ON-SITE PARKING CRITERIA WHICH JUSTIFIES THE CITY ALLOWING REDUCED STREET WIDTHS IN THIS SUBDIVISION. SPECIFICALLY THE PARKING DENSITY CATEGORY OF "INTERMITTENT" IS MET BY EACH LOT PROVIDING 4 PARKING SPACES (INCLUDING THE GARAGE) FOR 3-4 BEDROOM DWELLINGS. ALL DWELLINGS WILL HAVE 2 CAR ATTACHED GARAGES WITH 2 CAR WIDTH DRIVEWAYS.
- MINIMUM DWELLING SETBACKS FOR ALL LOTS ARE DEFINED IN THE ZONING CODE FOR R-D ZONING AND PURSUANT TO THE APPROVED SECTOR DEVELOPMENT PLAN. THEREFORE ALL LOTS ARE SUBJECT TO THE CONTROLS OF R-T ZONING PER SECTION 7-14-18, PARAGRAPH B OF THE ZONING CODE. THERE ARE NO SOLAR SETBACKS REQUIRED ON THIS PLAT (MINIMUM BUILDING INSULATION IN LIEU OF SOLAR ACCESSIBILITY BY SIDEYARD SETBACK).
- MOUNTABLE CURB IS TO BE USED ON ALL PUBLIC STREETS WITH 42', 44', 46' 50' AND 52' RIGHTS-OF-WAY, EXCEPT WHERE OTHERWISE REQUIRED BY DRAINAGE.
- SOME STREETS INTERNAL TO THIS SUBDIVISION ARE DESIGNATED AS INTERMITTENT PARKING WITH 44' AND 46' WIDE RIGHTS-OF-WAY. NO DRIVEWAY ACCESS WILL BE ALLOWED FROM ANY LOT ADJACENT TO EUBANK BLVD.
- CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE LOTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
- 2400 S.F. OF OPEN SPACE IS REQUIRED PER LOT AS REQUIRED BY THE R-D ZONE.
- THIS PLAT HAS BEEN PREPARED PURSUANT TO THE QUINTESSENCE SECTOR DEVELOPMENT PLAN APPROVED JUNE 7, 1993 (SD-89-1, Z-89-114, AX-92-6, DRB-89-509).
- UNLESS OTHERWISE NOTED, THERE IS A TEN (10) FOOT WIDE PRIVATE DRAINAGE EASEMENT CENTERED ON ALL COMMON SIDE LOT LINES FOR ALL LOTS IN THIS SUBDIVISION (5' ON EACH SIDE). DOES NOT APPLY AT STREET RIGHTS-OF-WAY.

PARK REQUIREMENTS CALCULATIONS

406 LOTS @ 170 SF PER LOT YIELDS 69,020 SF (1.58 ACRES) OF PARK DEDICATION REQUIRED. A 1.70 ACRE (1.63 ACRES UNENCUMBERED) PARK WAS DEDICATED WITH UNIT 1 TO MEET THIS REQUIREMENT.

SHEET 1 OF 1

DATE	MARCH, 1996	
SCALE	1"=100'	
DESIGNED	J.M.N.	
DRAWN	D.E.R.	
JOB NO.	323-10-630	LAND PLANNING P.O. Box 1328 CORRALES, N.M. 87048



NOTES:

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS \circ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED "P.L.S. # 4972."
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS \blacktriangle WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKET, DO NOT DISTURB, P.L.S. #4972."
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- THE LOT NUMBERS FOR LOT 12A BLOCK 19 AND LOT 13A AND 14A BLOCK 18 HAVE THE SUFFIX "A" ADDED TO THE NUMBER TO DISTINGUISH THESE LOTS FROM DUPLICATE LOT AND BLOCK NUMBERS THAT WERE PREVIOUSLY RECORDED IN QUINTESSENCE SUBDIVISION UNIT 1. THE SUFFIX "A" DOES NOT INDICATE A REPLAT OF THESE LOTS.

APPROVED FOR MONUMENTATION AND STREET NAMES

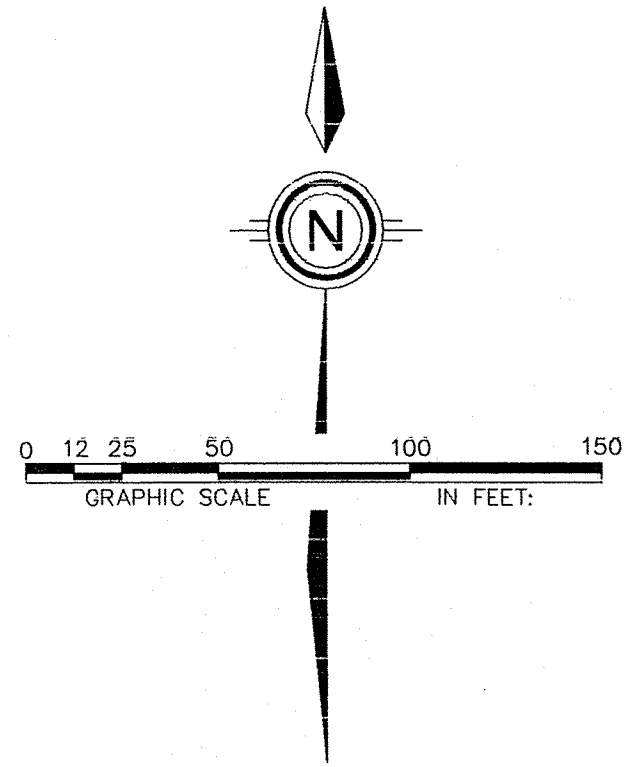
Handwritten signature
CITY SURVEYOR
DATE 032896

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

32310PP2.DWG
3/28/96 PP2.DWG

LEGEND

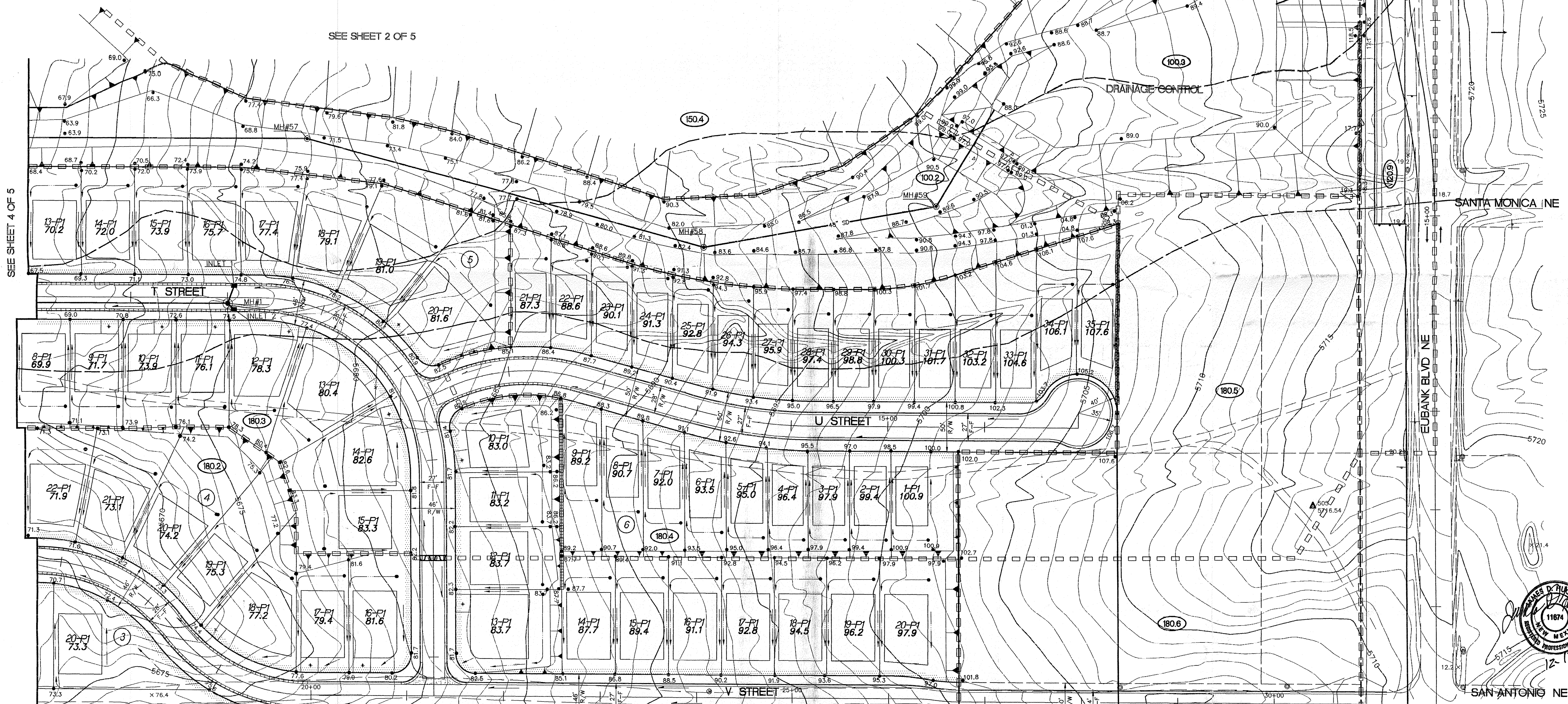
- 1c+98.43 PROPOSED TOP OF CURB ELEVATION
- 99.0 PROPOSED SPOT ELEVATION
- 09.0 EXISTING SPOT ELEVATION (GRID & TC)
- ▨ EROSION CONTROL BERM
- ▨ PROPOSED CONCRETE VALLEY GUTTER
- ▨ EXISTING CURB & GUTTER
- ▨ PROPOSED MOUNTABLE CURB & GUTTER
- ▨ PROPOSED STANDARD CURB & GUTTER
- 497.3 EXISTING CONTOUR W/ INDEX ELEVATION
- ① 150.4 BASIN IDENTIFICATION NO.
- BASIN BOUNDARY
- SWALE
- FLOW ARROW
- 30" SD EXISTING STORM DRAIN
- 30" SD PROPOSED STORM DRAIN
- ▨ WATER BLOCK
- ▨ PROPOSED RETAINING
- ▨ PROPOSED REAR-YARD POND
- ▨ PROPOSED SLOPE
- SD MANHOLE
- 30" SD SD INLET
- FEMA 100YR FLOOD PLAIN



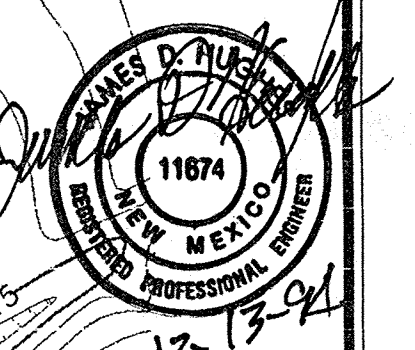
BM: ACS ALUMINUM CAP STAMPED
 "5-D21" RIVETTED TO AN ALUMINUM PIPE 0.1' ABOVE
 GROUND. LOCATED 0.45 MILES SOUTH OF
 HOLBROOK AND 84.7 FT EAST.

PRELIMINARY GRADING AND
 EROSION CONTROL PLAN (SE QUINCENTE)
 QUINTESSENCE
 COMPRISED OF
 LOTS 1-11, 17-19 AND 22-32 BLOCK 14
 LOTS 1-26 AND 28-32 BLOCK 16
 LOTS 1-32 BLOCK 18
 LOTS 3-29 BLOCK 20
 NORTH ALBUQUERQUE ACRES
 UNIT 2, TRACT 3
 SITUATE WITHIN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DRB NO. 94-552

SEE SHEET 2 OF 5



SEE SHEET 4 OF 5



SAN ANTONIO NE
SHEET 3 OF 5

DATE:	11/11/94
SCALE:	1"=50'
DESIGNED:	JDH
DRAWN:	LJD/MCQ
JOB NO.:	32304

community sciences corporation
 LAND PLANNING ENGINEERING SURVEYING
 P.O. Box 1328 Corrales, N.M. 80424



LEGEND

● TC-98.43	PROPOSED TOP OF CURB ELEVATION	—	SHALE
● 99.0	PROPOSED SPOT ELEVATION	→	FLOW ARROW
○ 09.0	EXISTING SPOT ELEVATION (GRID & TC)	□	BASIN BOUNDARY
▭	EROSION CONTROL BERM	□	EXISTING STORM DRAIN
▭	PROPOSED CONCRETE VALLEY GUTTER	▭	PROPOSED STORM DRAIN
▭	EXISTING CURB & GUTTER	▭	WATER BLOCK
▭	PROPOSED MOUNTABLE CURB & GUTTER	▭	PROPOSED RETAINING
▭	PROPOSED STANDARD CURB & GUTTER	▭	PROPOSED FLOOD WALL
▭	EXISTING CONTOUR W/ INDEX ELEVATION	▭	PROPOSED REAR-YARD POND
○ 160.1	PROPOSED DRAINAGE BASIN IDENTIFICATION NO.	▭	PROPOSED SLOPE
▭	PROPOSED INLET	○	PROPOSED STORM DRAIN MH

(SEE SHEET 4 OF 5)

(SEE SHEET 2 OF 5)

James D. Hulse
Professional Engineer
No. 11694
New Mexico
12-13-94

SHEET 5 OF 5
DATE: 12/94
SCALE: 1"=50'
DESIGNED: JDH
DRAWN: LJO/MCO
CHECKED: JKH
DATE: 12/94
community sciences corporation
LAND PLANNING ENGINEERING SURVEYING
1001 S. 13TH ST. SUITE 1000 ALBUQUERQUE, N.M. 87104