

- KEYED NOTES**
- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER COLOR BY ARCHITECT.
 - FINISH GRADE
 - SLOPE STUCCO CAP
 - 4- #4 BARS CONT. @ BOTTOM OF FOOTING; #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING
 - 2- #5 BARS @ TOP KNOCK OUT BLOCK BOND BEAM, CONTINUOUS; #5 BARS @ 32" O.C. VERTICAL, GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL
 - 1/2" EXPANSION JOINT MATERIAL
 - 4" CONCRETE SLAB, 3000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 W/M
 - 6" CONCRETE APRON, 3000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 W/M W/ TURNDOWN EDGE
 - 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING
 - GROUT ALL CELLS SOLID BELOW GRADE TYP.

CASE NUMBER: Z 94-78
DRB CASE NO.: 94-318

SIGNATURE BLOCK

SITE DEVELOPMENT PLAN AMENDMENT
TRAFFIC ENGINEER: TRANSPORTATION DIV. DATE: 6-11-98
PUBLIC WORKS & WATER UTILITIES DIV. DATE: 6-2-98
CITY ENGINEER, ENGINEERING DIV. DATE: 6-2-98

APPROVAL AND CONDITIONAL ACCEPTANCE:
AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.
CITY PLANNER, ALBUQUERQUE / DATE: 6-30-98
BERNALILLO COUNTY PLANNING DIV.

DESIGN CRITERIA

OCCUPANCY A-3
ZONING SU-11P
CONSTRUCTION TYPE V-N
SEISMIC ZONE 2
LEGAL DESCRIPTION: TRACT G - 2E, SEVEN BAR RANCH ALBUQUERQUE, NEW MEXICO

HEATED SQUARE FOOTAGE: 3621 SQUARE FEET
COVERED PORTALE SQUARE FOOTAGE: 699 SQUARE FEET

PARKING CALCULATION
132 SEATS / 3 SEATS PER P. SPACE = 44 SPACES REQUIRED
44 SPACES LESS 10% (BUS ROUTE) = 40 SPACES REQUIRED
42 SPACES PROVIDED

PARKING COUNT

| | |
|-----------------------|--------------------------|
| STANDARD 8.5' X 20' | 38 |
| COMPACT CAR 15' X 15' | 2 |
| HANDICAP 12' X 20' | 1 |
| HANDICAP VAN | 1 |
| TOTAL | 42 PARKING SPACES |

LANDSCAPE REQUIREMENTS
TOTAL LANDSCAPE REQUIRED (15% OF NET AREA) 1945 SF.
TOTAL LANDSCAPING PROVIDED 3802 SF.

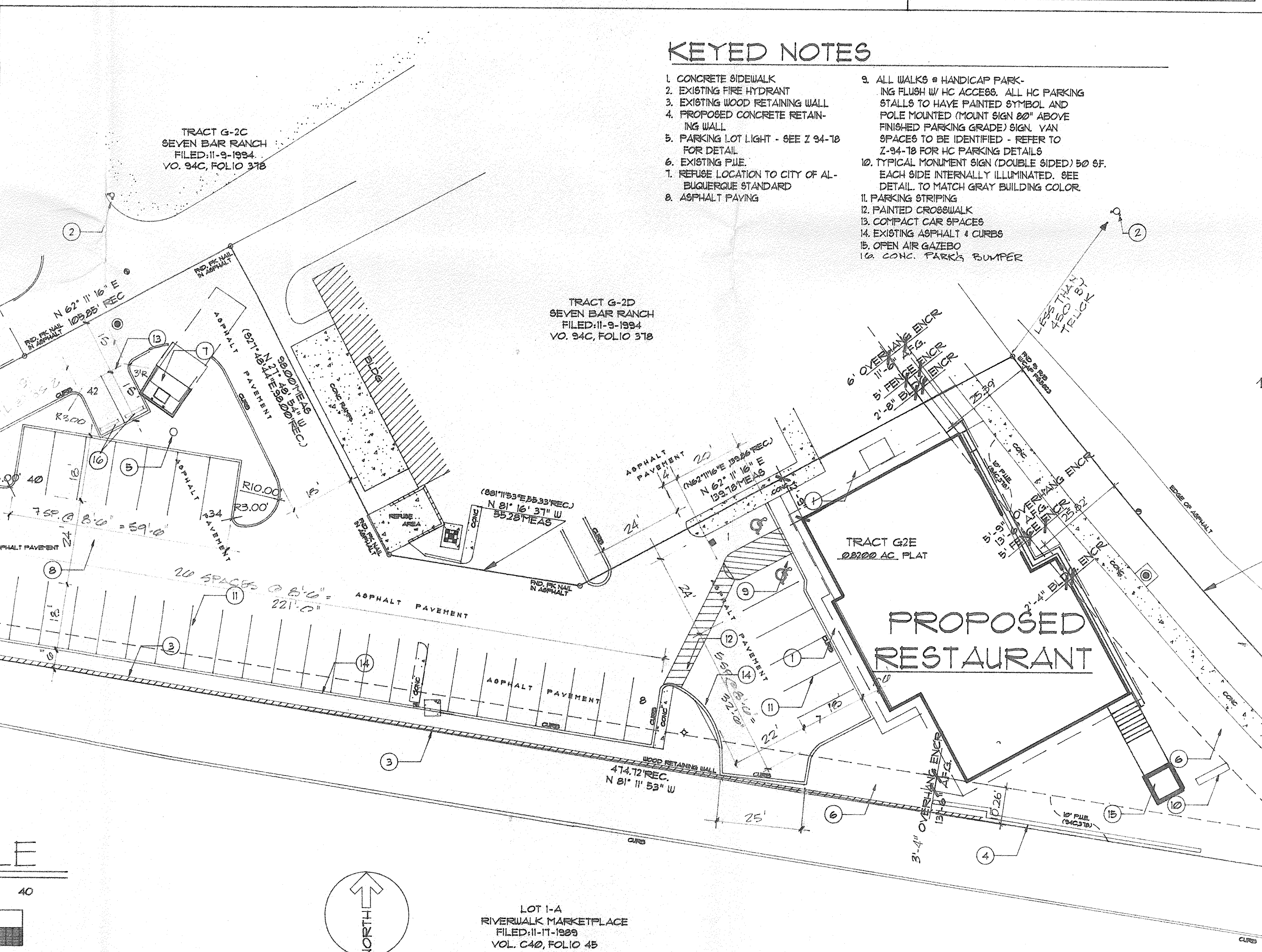
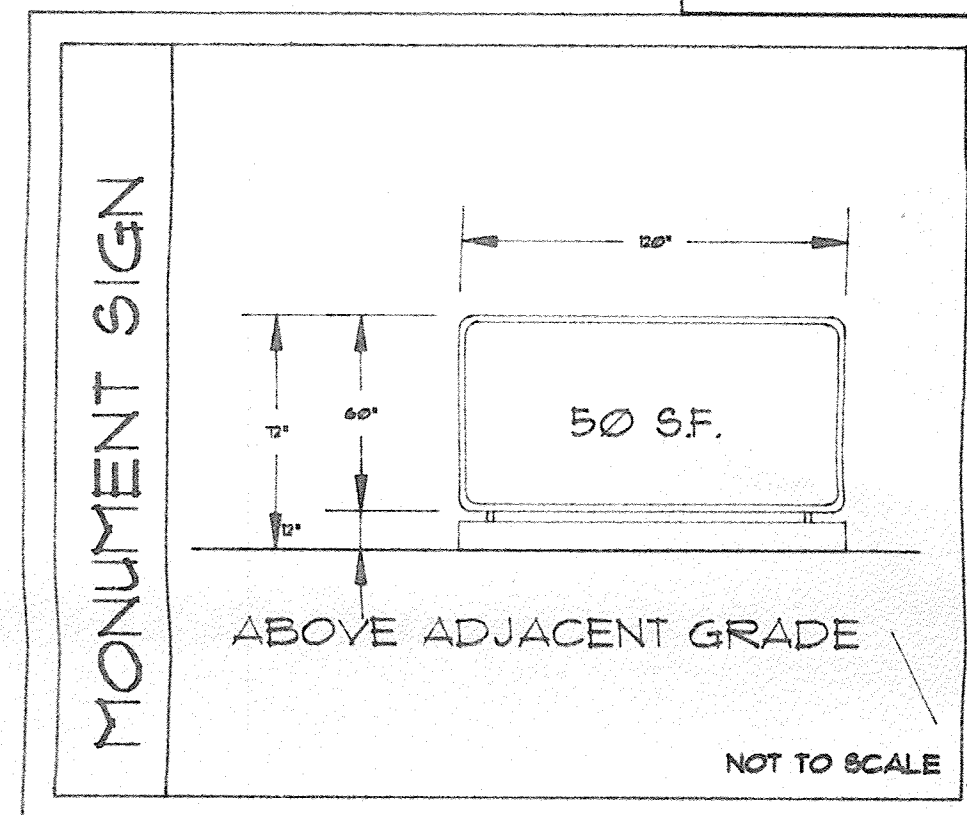
OCCUPANCY CALCULATION

| | |
|---------------------------------------|--------------------------|
| INTERIOR DINING AREA: | 1135/15 SF. = 76 PERSONS |
| PARTY AREA: | 282 SF/15 = 19 PERSONS |
| KITCHEN: | 108 SF/200 = 4 PERSONS |
| ALL OTHERS (R.R.'S, LOBBY, SERV. BAR) | 1245 SF/100 = 13 PERSONS |
| TOTAL OCCUPANTS = | 112 PERSONS |

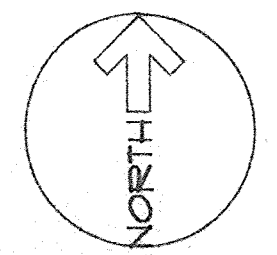
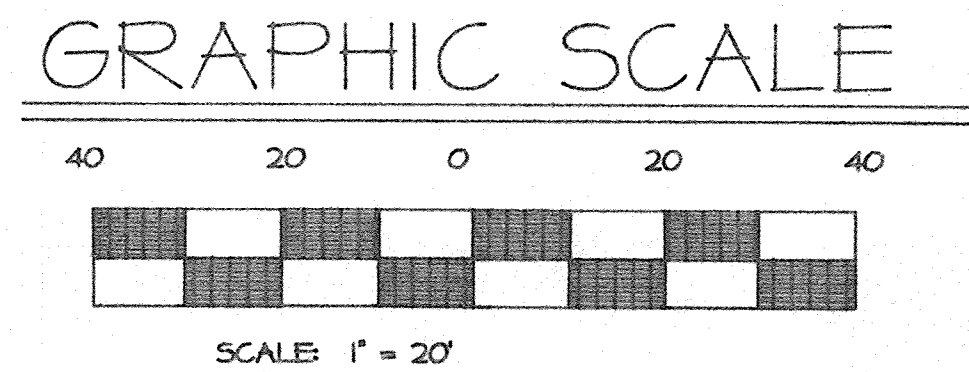
CONCRETE STRENGTH 3000 PSI
LUMBER 215 PSI MIN.
SOIL BEARING 1500 PSF
HANDICAP ACCESS ROUTE → → → → →
(1 TO 20 MAXIMUM SLOPE)

GENERAL NOTES:

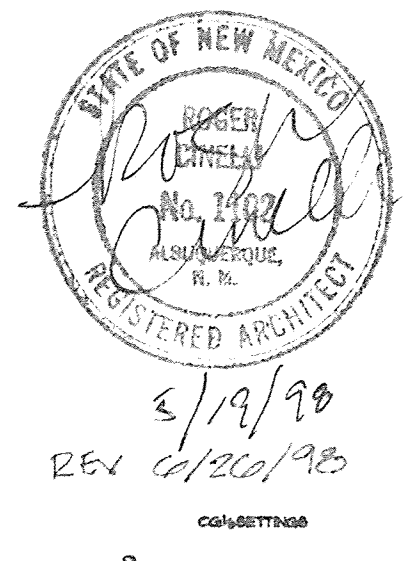
- CONTRACTOR SHALL CONTACT CITY OF ALBUQUERQUE SOLID WASTE MANAGEMENT 161-8100 BEFORE POURING REFUSE CONTAINER PAD.
- LANDSCAPING SHALL HAVE AUTOMATIC IRRIGATION SYSTEM.
- LANDSCAPING SHALL BE MAINTAINED BY MR. JENG TSYA



- KEYED NOTES**
- CONCRETE SIDEWALK
 - EXISTING FIRE HYDRANT
 - EXISTING WOOD RETAINING WALL
 - PROPOSED CONCRETE RETAINING WALL
 - PARKING LOT LIGHT - SEE Z 94-18 FOR DETAIL
 - EXISTING PIPE
 - REFUSE LOCATION TO CITY OF ALBUQUERQUE STANDARD
 - ASPHALT PAVING
 - ALL WALKS @ HANDICAP PARKING FLUSH W/ HC ACCESS. ALL HC PARKING STALLS TO HAVE PAINTED SYMBOL AND POLE MOUNTED (MOUNT SIGN 80" ABOVE FINISHED PARKING GRADE) SIGN. VAN SPACES TO BE IDENTIFIED - REFER TO Z-94-18 FOR HC PARKING DETAILS
 - TYPICAL MONUMENT SIGN (DOUBLE SIDED) 50 SF. EACH SIDE INTERNALLY ILLUMINATED. SEE DETAIL TO MATCH GRAY BUILDING COLOR.
 - PARKING STRIPING
 - PAINTED CROSSWALK
 - COMPACT CAR SPACES
 - EXISTING ASPHALT & CURBS
 - OPEN AIR GAZEBO
 - CONC. PARKS BUMPER



LOT 1-A
RIVERWALK MARKETPLACE
FILED: 11-11-1989
VOL. C40, FOLIO 45



AMENDED SITE PLAN FOR SUBDIVISION & BUILDING PERMIT 1"=20'

Cinelli ARCHITECTS

DATE: APR. 1998

SITE PLAN

PROJECT: A CHINESE RESTAURANT FOR JENG & TUYET TSYA

ROGER CINELLI & ASSOCIATES, INC. 1716 SAN PATRICIO RD. S.W. 87104

SHEET 1 OF 4

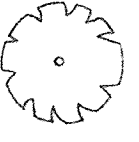





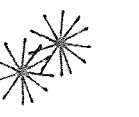

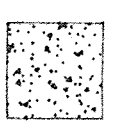

DRB-94-318

DRB-94-318

LANDSCAPE CALCULATIONS

| | | |
|--------------------------|------------|-----|
| NET LANDSCAPE AREA | | |
| TOTAL LOT AREA | 35,719 SF. | |
| TOTAL BUILDINGS AREA | 22,754 SF. | |
| NET LOT AREA | 12,965 SF. | |
| LANDSCAPE REQUIREMENT | 15% | |
| TOTAL LANDSCAPE REQ'D | 1945 SF. | |
| TOTAL LANDSCAPE PROVIDED | 9353 SF. | |
| TOTAL BED PROVIDED | 7465 SF. | 80% |
| TOTAL SOD PROVIDED | 1888 SF. | 20% |

LANDSCAPE LEGEND

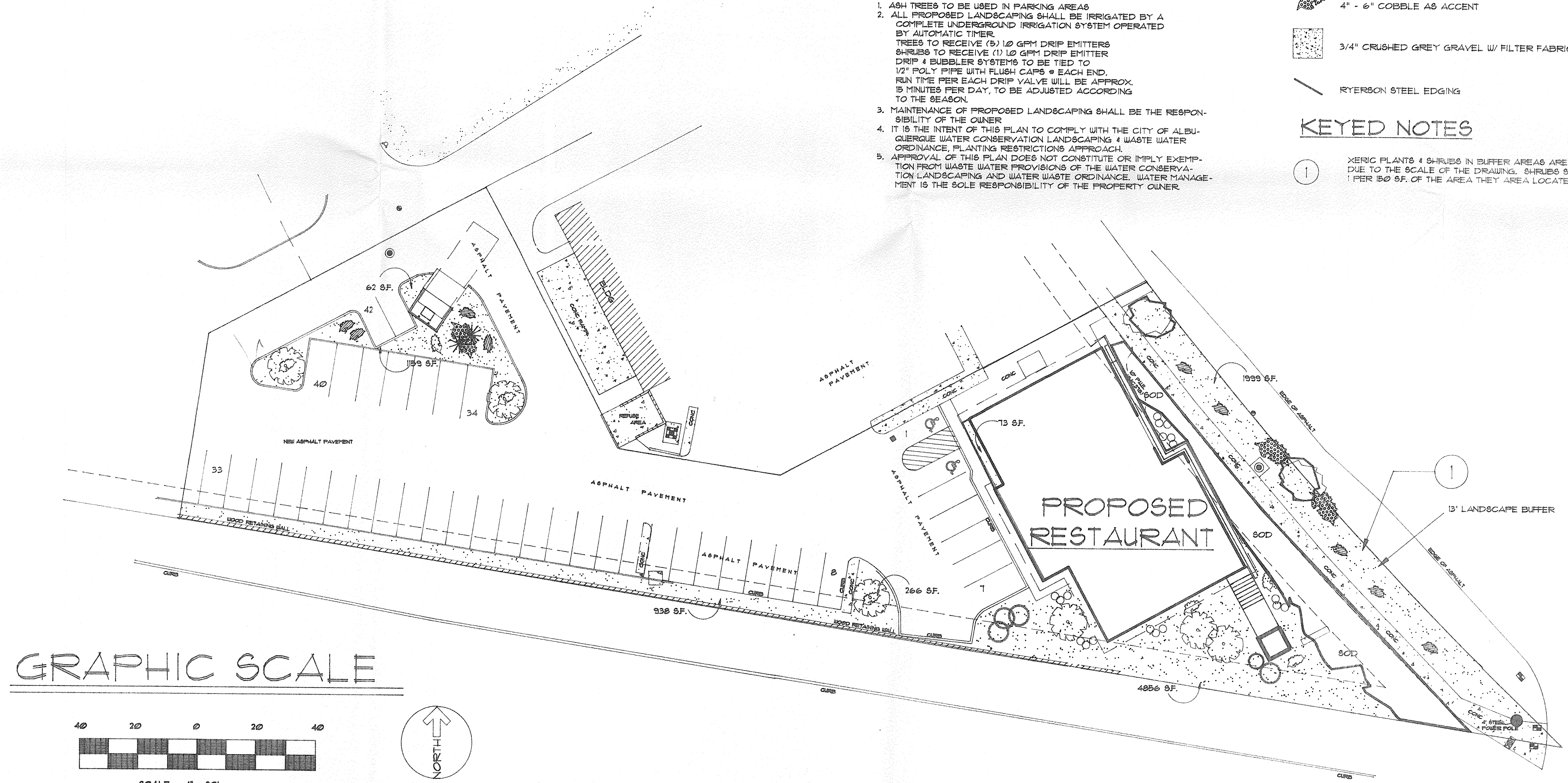
-  2 - 2 1/2" CAL. DECIDUOUS SHADE TREE
ASH - LONDON PLANE - LOCUST - MAPLE
-  6' - 8' AUSTRIAN PINE OR SPRUCE
-  6' - 8' FORESTIERA OR WASHINGTON HAWTHORN
-  XERIC PLANTS. CHAMISA, PLUME 4 WING SALTBUSH, BLUE
MIST SPIRAEA, RUSSIAN SAGE
-  5 GAL. ORNAMENTALS PHOTINIA, RHAPHIOLEPIS, COTONEASTER
EUONYMUS, HOLLY, BOXWOOD, NANDINA
-  5 GAL. TAM OR BUFFALO JUNIPER OR
1 GAL. HONEYBUCKLE OR HANS IVY
-  PALM YUCCA
SPRUCE - PICEA PUNGENS
AUSTRIAN PINE - PINUS NIGRA
-  4" - 6" COBBLE AS ACCENT
-  3/4" CRUSHED GREY GRAVEL W/ FILTER FABRIC
-  RYERSON STEEL EDGING

GENERAL NOTES

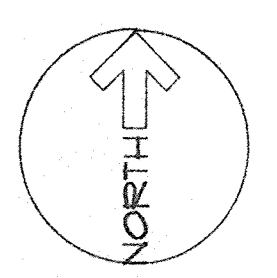
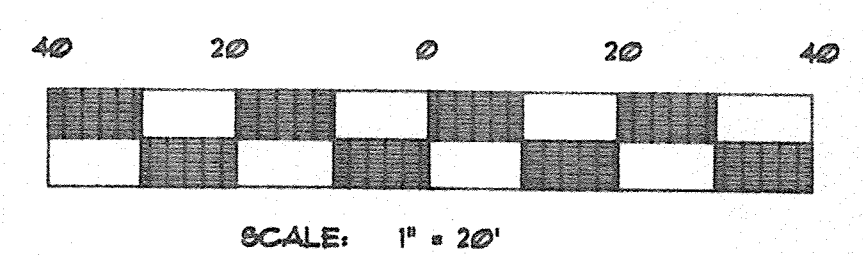
1. ASH TREES TO BE USED IN PARKING AREAS
2. ALL PROPOSED LANDSCAPING SHALL BE IRRIGATED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER. TREES TO RECEIVE (5) 1/2" GPM DRIP EMITTERS. SHRUBS TO RECEIVE (1) 1/2" GPM DRIP EMITTER. DRIP 4 BUBBLER SYSTEMS TO BE TIED TO 1/2" POLY PIPE WITH FLUSH CAPS @ EACH END. RUN TIME PER EACH DRIP VALVE WILL BE APPROX. 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.
3. MAINTENANCE OF PROPOSED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER
4. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING & WASTE WATER ORDINANCE, PLANTING RESTRICTIONS APPROACH.
5. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WASTE WATER PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

KEYED NOTES

- ① XERIC PLANTS & SHRUBS IN BUFFER AREAS ARE SHOWN SCHEMATICALLY DUE TO THE SCALE OF THE DRAWING. SHRUBS SHALL BE PLANTED 1 PER 150 SF. OF THE AREA THEY ARE LOCATED WITHIN.

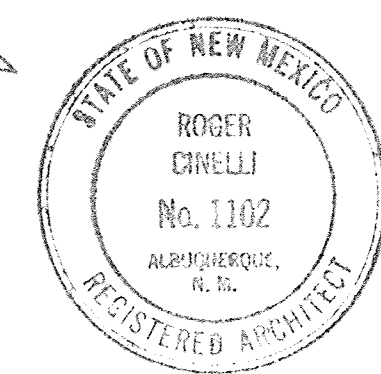


GRAPHIC SCALE



LANDSCAPE PLAN

1"=20'-0"



5/18/98
REV. 6/11/98

DRAINAGE

LOCATION

THIS SITE IS TRACT G-2E OF SEVEN BAR RANCH WHICH CONTAINS 0.82 ACRE. THE SITE IS LOCATED WEST SIDE OF NM 528 AND APPROXIMATELY 700' SOUTH OF ELLISON DRIVE.

PURPOSE

THE PURPOSE OF THIS GRADING PLAN IS TO GET APPROVAL FOR SITE PLAN FOR BUILDING PERMIT, BUILDING PERMIT, AND ADMINISTRATIVE AMENDMENT APPROVAL TO CHANGE PARKING LAYOUT AND PAD DIMENSIONS.

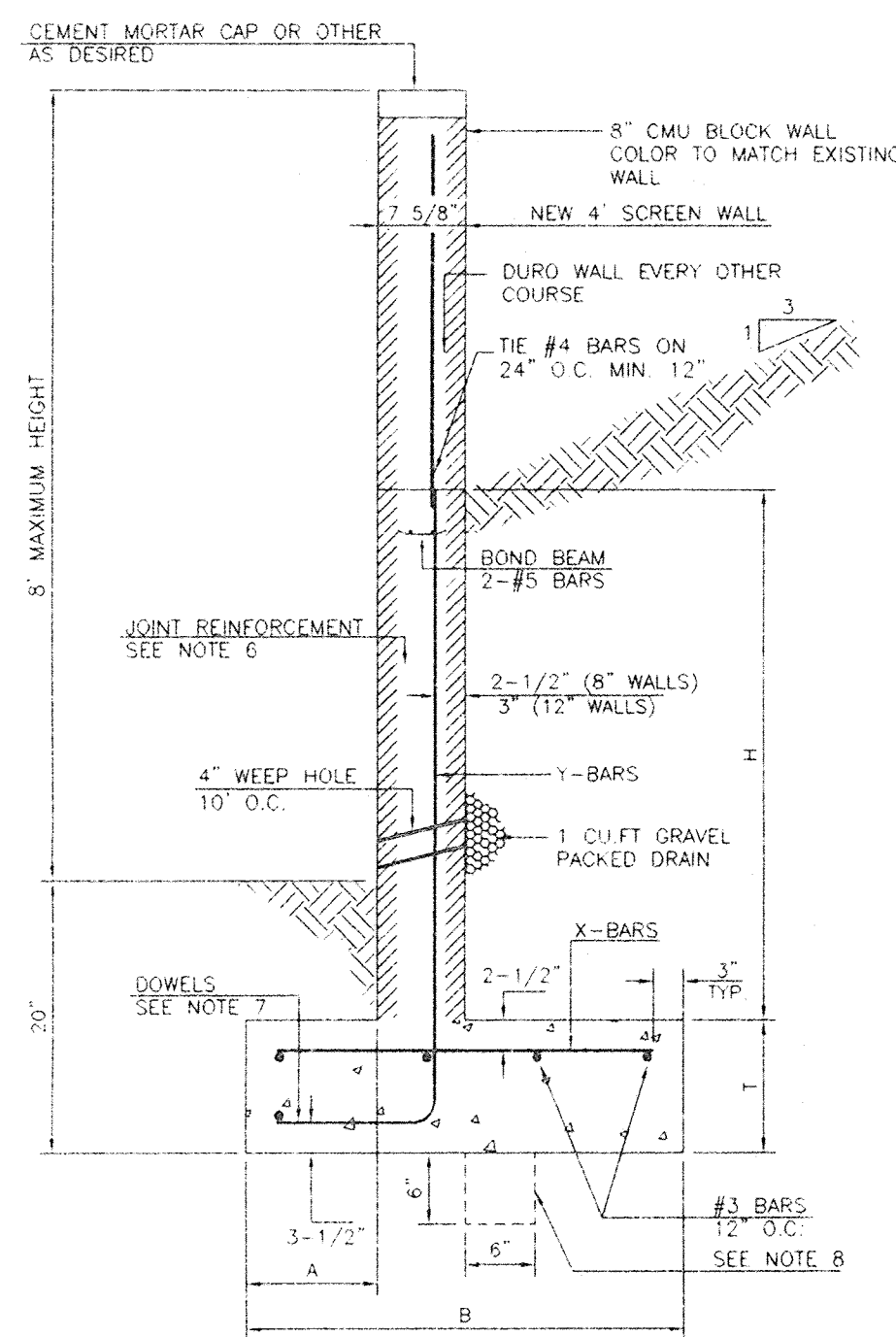
EXISTING CONDITIONS

THE SITE FALLS WITHIN THE CITY DRAINAGE REPORT NUMBER A-14/D009 PREPARED EASTERLING AND ASSOCIATES, INC. THIS DRAINAGE REPORT (A-14/D009) WAS PREPARED FOR THE ENTIRE TRACT G-2. APPROXIMATELY 60% OF THE CURB AND GUTTER AND THE PARKING LOT WAS BUILT UNDER OTHER DEVELOPMENT (UNDER PHASE-1) CONSTRUCTION OF THE TRACT G-2. THE SITE RUNOFF FOLLOWS THE DRAINAGE PATTERN DESIGNED IN THE DRAINAGE FILE A-14/D009. PORTION OF THE SITE DRAINS SOUTH AND THEN EAST TO NM-528. THE RUNOFF FROM THE BUILDING AND PORTION OF THE PARKING IN FRONT OF THE BUILDING TO AN EXISTING INLET IN PARKING AREA IN FRONT OF THE BUILDING. THE REMAINING PORTION OF THE SITE DRAINS NORTH AND THEN EAST TO AN EXISTING INLET IN FRONT OF THE MAIN ENTRANCE OFF OF NM-528.

THE FEMA MAP NUMBER 35001C0109-D SHOWS THAT A VERY SMALL PORTION OF THE SITE FALLS WITHIN THE ZONE AO (DEPTH 1) FLOOD HAZARD ZONE. THE FLOOD PLAN ENCROACHMENT OF THE SITE WAS EXPECTED TO BE REMOVED BY A LETTER OF MAP REVISION UNDER SAD 223.

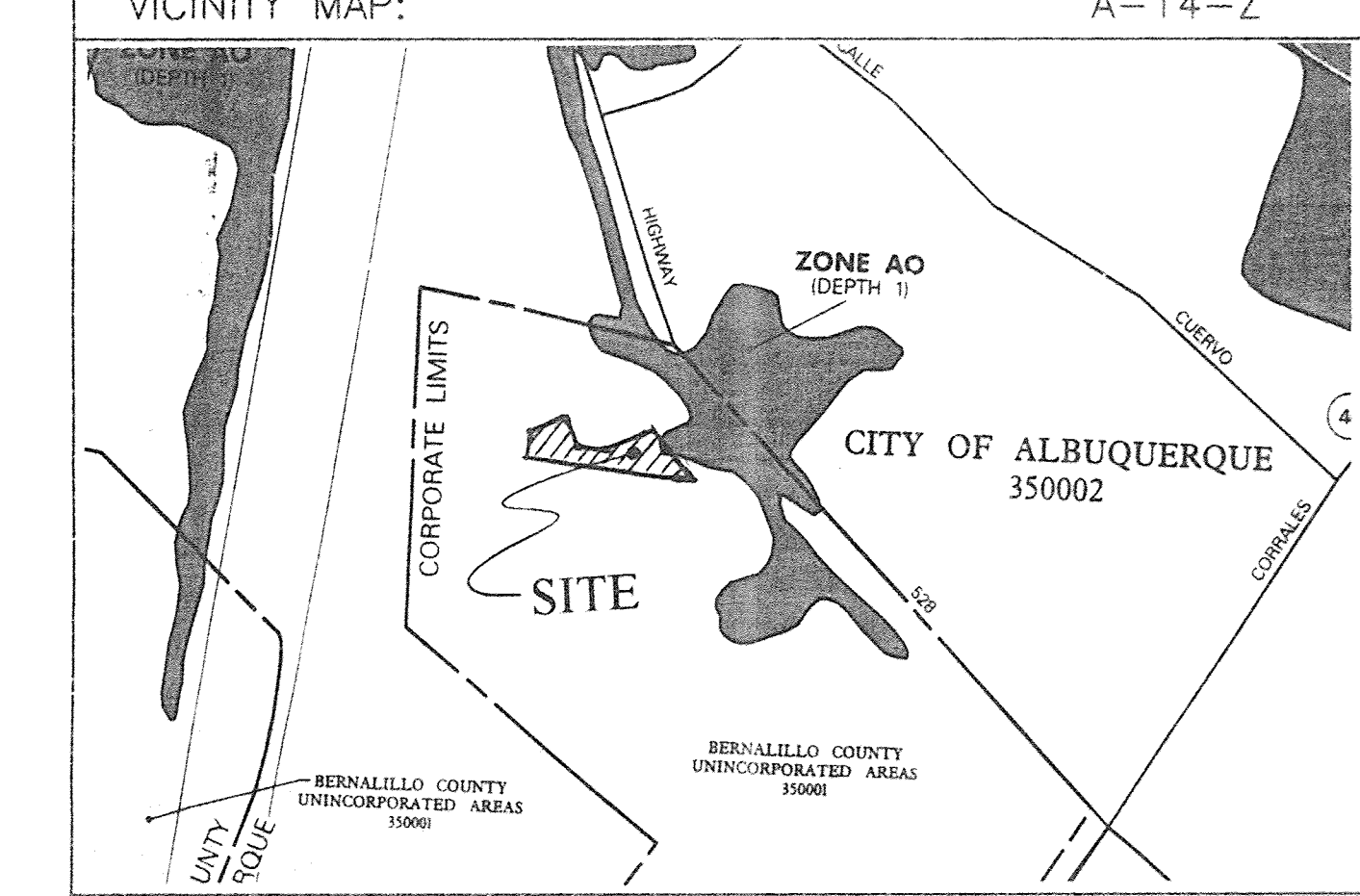
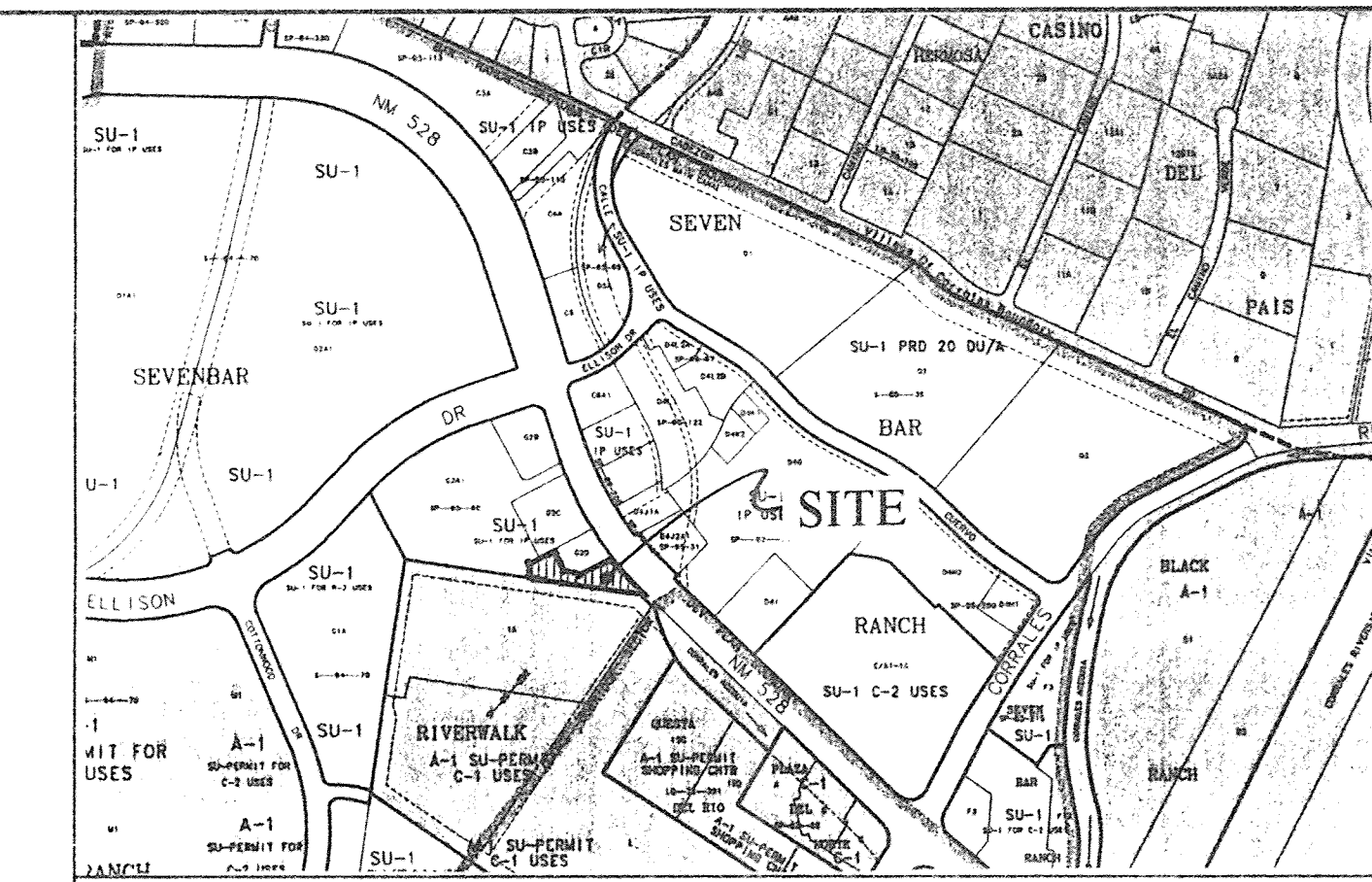
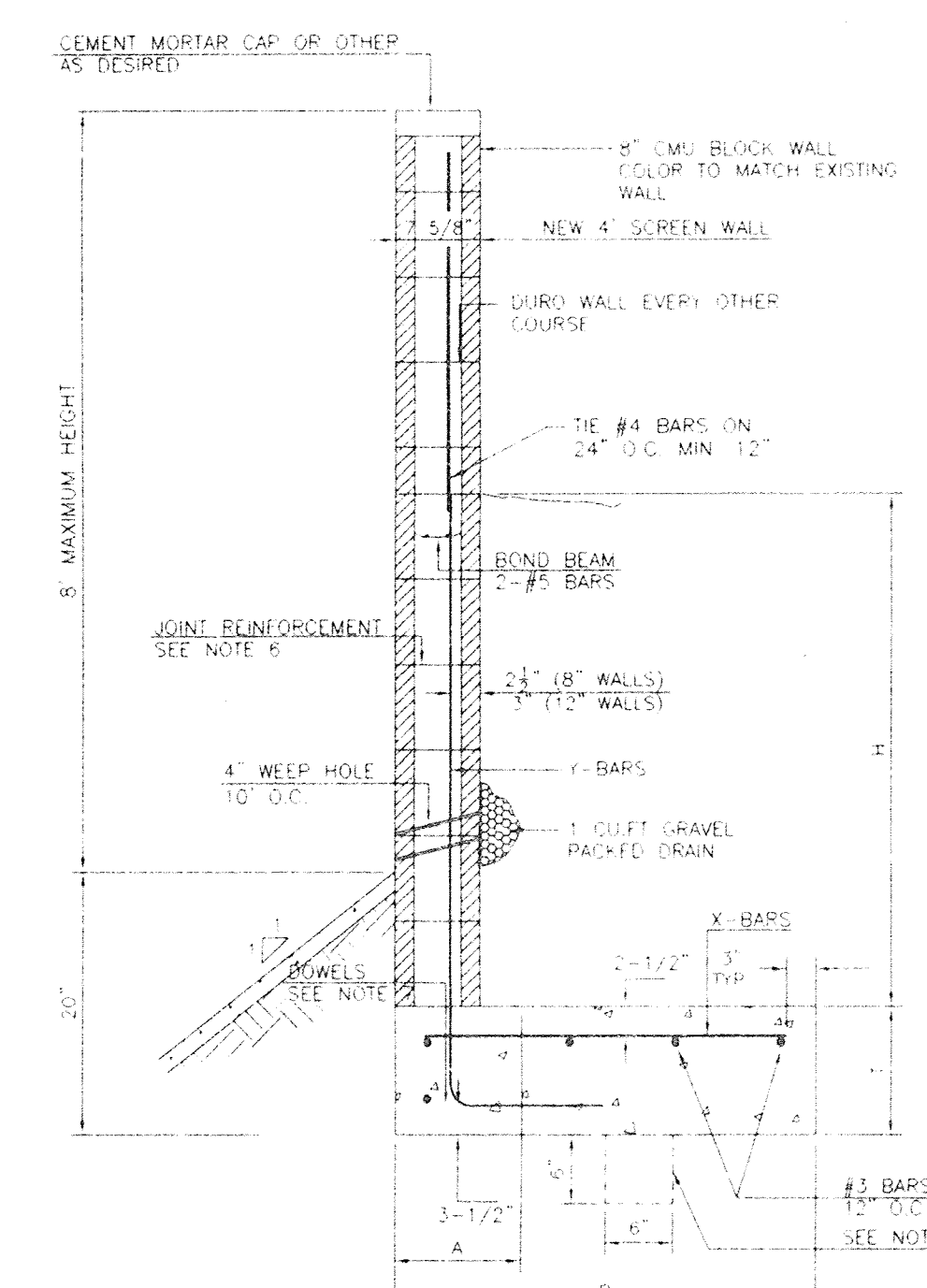
PROPOSED CONDITIONS

UNDER THE PROPOSED CONDITIONS WE WILL FOLLOW THE DRAINAGE NUMBER A-14/D009. QUANTITY OF THE RUNOFF SHOULD REMAIN THE SAME AS THE MASTER PLAN FOR TRACT G-2. THE SITE IS FAIRLY SMALL. THEREFORE, ANY MODIFICATION TO THE DRAINAGE PLAN SHOULD NOT CREATE ANY IMPACT TO THE DOWNSTREAM CAPACITY OF THE DRAINAGE STRUCTURES.



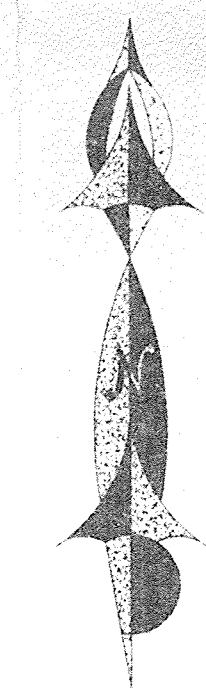
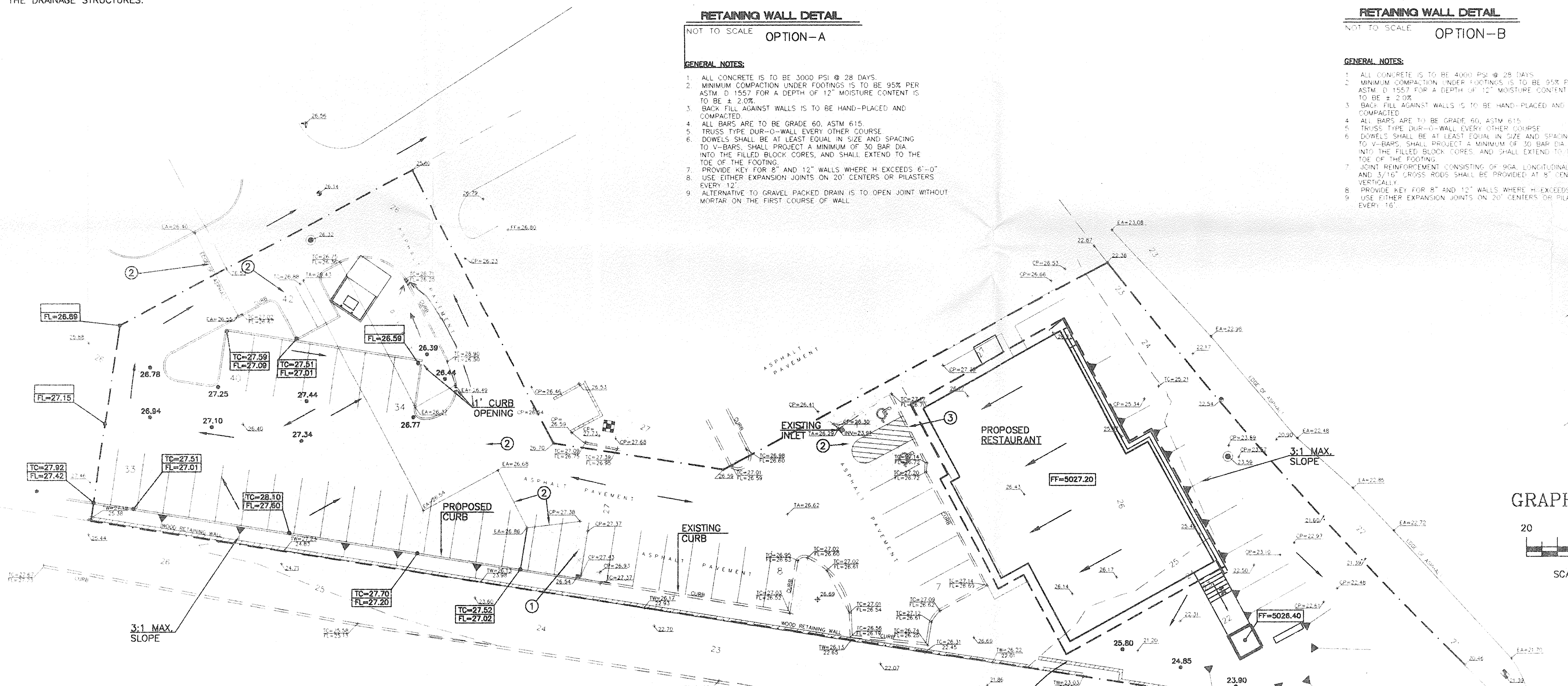
| H | A | B | T | Y-BARS | X-BARS |
|-------|-----|-------|-----|--------------|--------------|
| 3'-4" | 8" | 2'-4" | 9" | #3 @32" O.C. | #3 @27" O.C. |
| 4'-0" | 10" | 3'-9" | 9" | #3 @32" O.C. | #3 @27" O.C. |
| 4'-6" | 12" | 4'-4" | 10" | #3 @32" O.C. | #3 @27" O.C. |
| 5'-4" | 14" | 5'-2" | 10" | #4 @16" O.C. | #4 @20" O.C. |
| 6'-0" | 16" | 6'-2" | 12" | #4 @24" O.C. | #4 @25" O.C. |

| H | A | B | T | Y-BARS | X-BARS |
|-------|-----|--------|-----|--------------|--------------|
| 5'-4" | 14" | 3'-8" | 10" | #4 @24" O.C. | #3 @25" O.C. |
| 6'-0" | 15" | 4'-2" | 12" | #4 @16" O.C. | #4 @30" O.C. |
| 6'-6" | 16" | 4'-8" | 12" | #4 @24" O.C. | #4 @25" O.C. |
| 7'-4" | 18" | 5'-10" | 12" | #5 @16" O.C. | #5 @26" O.C. |
| 8'-0" | 20" | 6'-4" | 12" | #5 @24" O.C. | #5 @25" O.C. |

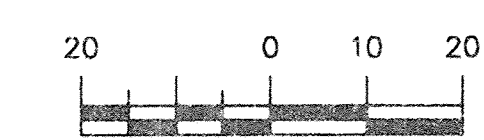


LEGAL DESCRIPTION: TRACT G-2E, SEVEN BAR RANCH

PROJECT BENCHMARK
A.C.S. 12+414
ELEV = 5025.33



GRAPHIC SCALE



- GENERAL NOTES:**
- ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION
 - CONTOUR INTERVAL IS ONE (1) FOOT
 - ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION "12+414", HAVING AN ELEVATION OF 5025.33 FEET ABOVE SEA LEVEL
 - UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS
 - OPTION A OR B COULD BE USED FOR THE RETAINING WALL DESIGN

NOTES

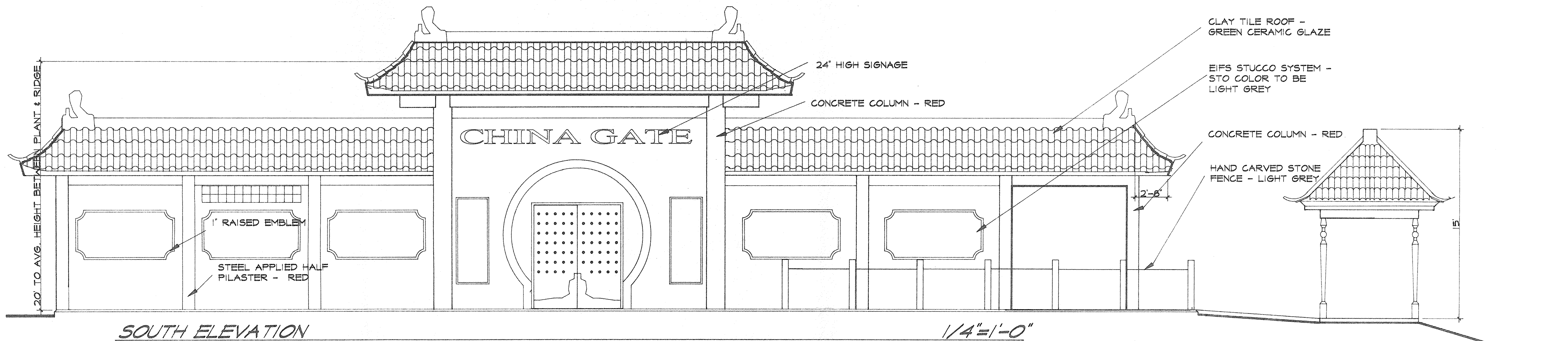
- REMOVE EXISTING CONCRETE
- MATCH EXISTING PAVING AND GRADE
- MATCH TOP OF ASPHALT TO EXISTING TOP OF CURB

LEGEND

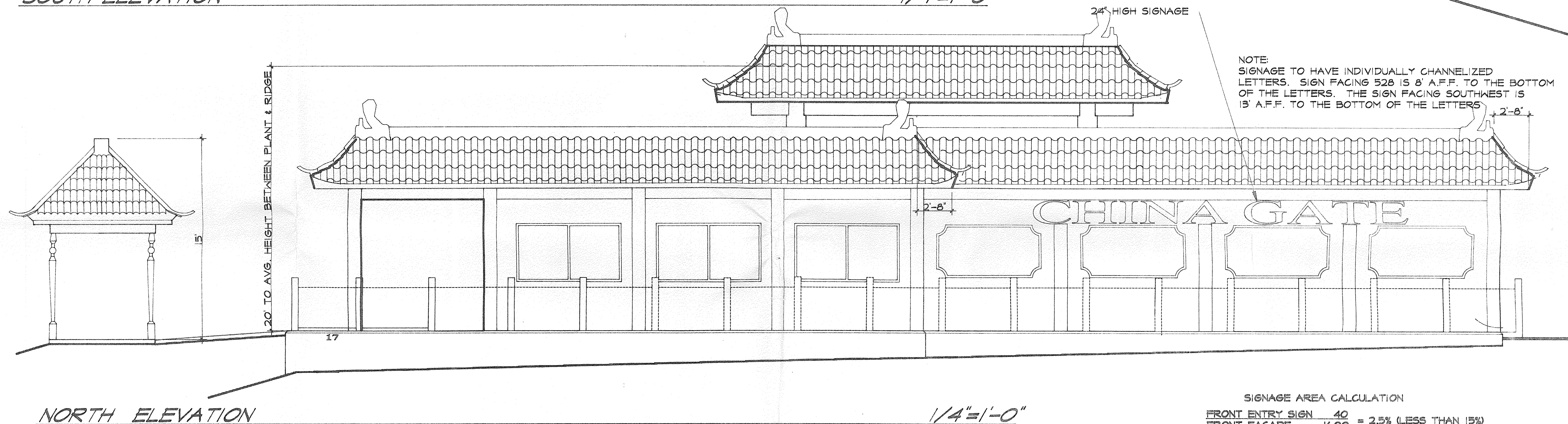
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATION
- NEW PAVING AREA
- PROPOSED TOP OF RETAINING WALL
- PROPOSED BOTTOM OF THE RETAINING WALL
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLOW LINE ELEVATION

TRACT G-2E, GRADING PLAN

| | | |
|--------------------------------------|--|--|
| ENGINEER'S SEAL | <p>ADVANCED ENGINEERING and CONSULTING</p> <p>10209 SNOWFLAKE CT., NW ALBUQUERQUE, NEW MEXICO 87114 (505)899-5570</p> | DRAWN BY SH.B |
| | | DATE 4-01-98 |
| <p>SHAHAB BIAZAR P.E. #13479</p> | | <p>tsao-gr.dwg</p> <p>SHEET # 3</p> <p>JOB # 000000</p> |



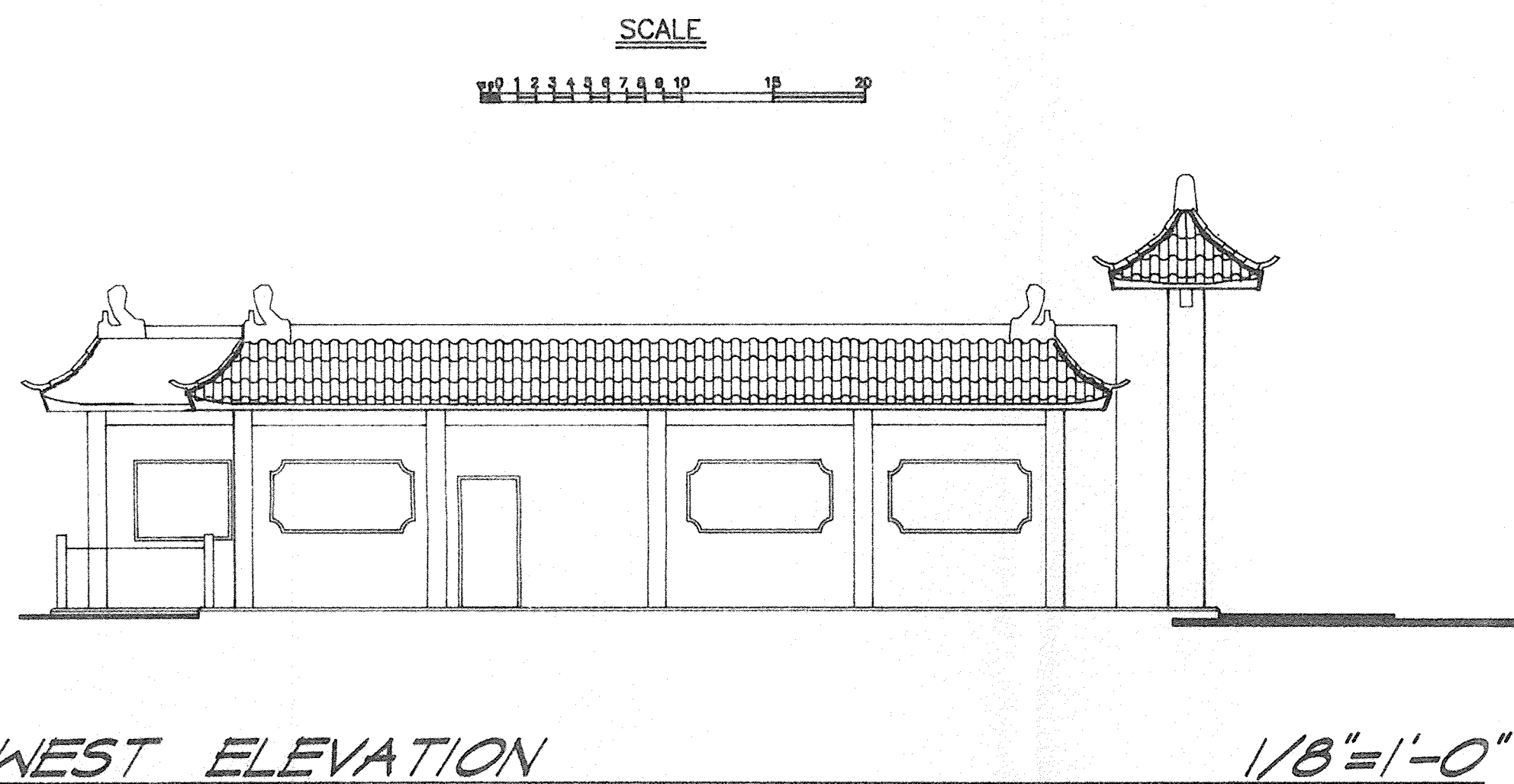
SOUTH ELEVATION



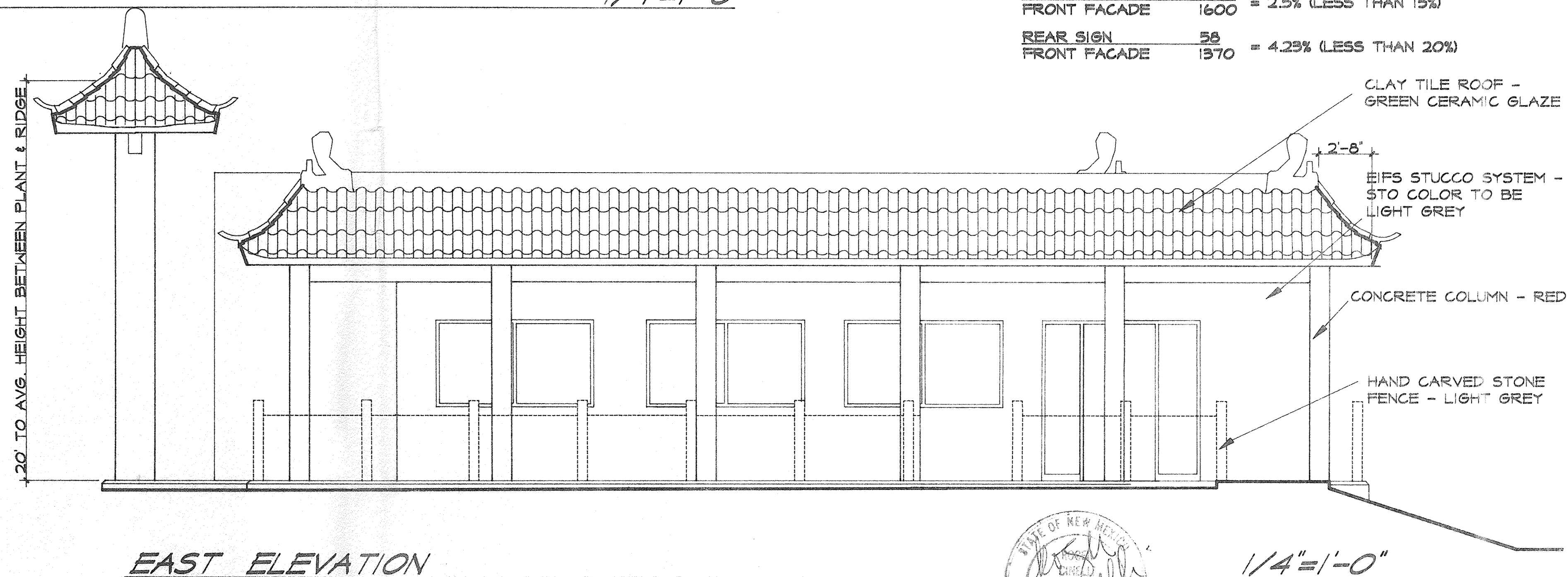
NORTH ELEVATION

SIGNAGE AREA CALCULATION

| | | |
|------------------|------|-------------------------|
| FRONT ENTRY SIGN | 40 | = 2.5% (LESS THAN 15%) |
| FRONT FACADE | 1600 | |
| REAR SIGN | 58 | = 4.29% (LESS THAN 20%) |
| FRONT FACADE | 1370 | |



WEST ELEVATION



EAST ELEVATION

