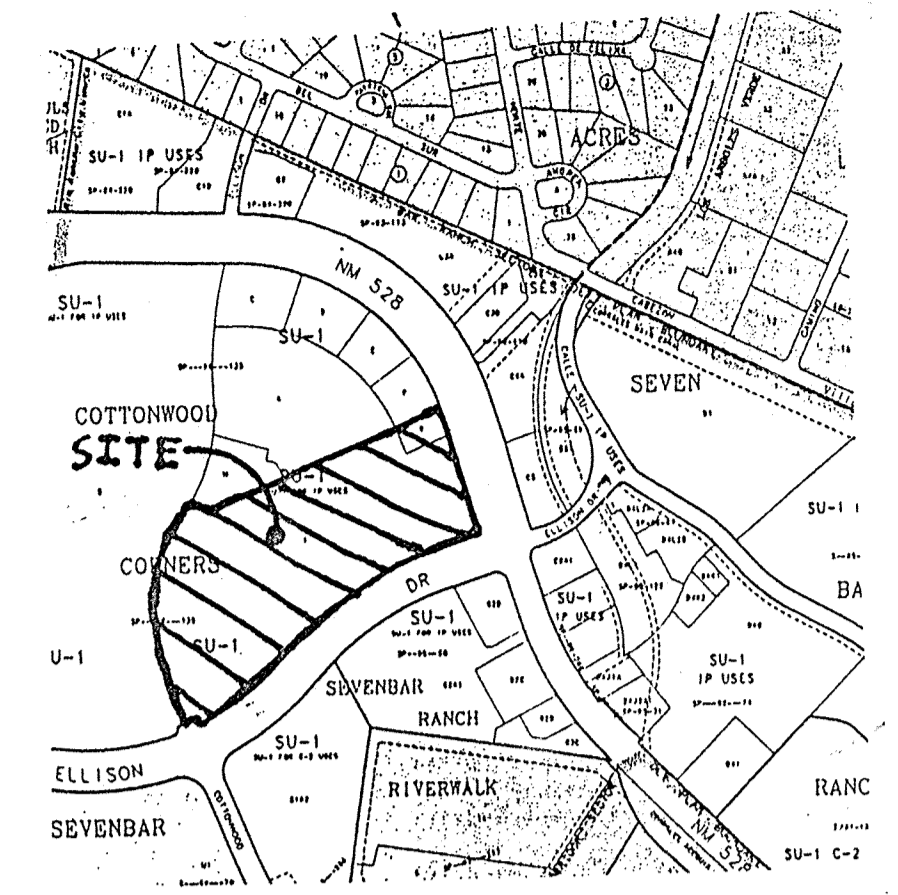


EXISTING PARKING SPACES
 TRACT "I" 660 REGULAR SPACES
 32 HANDICAP SPACES

John M. Howard 12-9-99
 AMAFCA date



VICINITY MAP ZONE MAP: A-14-Z
DRB 94-582 **2-99-125**
 TOTAL TRACT I SITE AREA: 17.2764 ACRES
 PROPOSED SUBDIVISION
 TRACT I-A: 4.1111 ACRES
 TRACT I-B: 13.1653 ACRES

John S. Jennings 1/4/2000
 Planning Department date
Paul Baker 11-17-99
 Transportation Development date
Edward L. Stang 11-17-99
 Parks and Recreation date
Paul J. Jarama 12-15-99
 City Engineer date

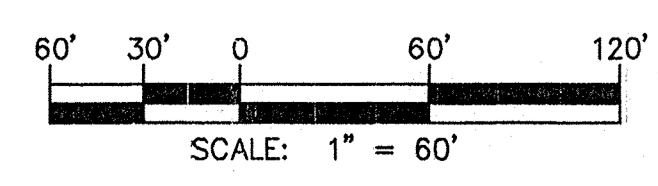
LEGAL DESCRIPTION
 TRACT I, COTTONWOOD CORNERS SUBDIVISION
Roger A. Green 11-30-99
 Utility Development date

LEGEND

	NEW PROPERTY LINE
	EXISTING BOUNDARY LINE
	EXISTING EASEMENTS
	EXISTING BUILDING
	EXISTING CURB & GUTTER
	EXISTING SAS
	EXISTING STORM SEWER
	EXISTING WATER LINE
	EXISTING FENCE
	EXISTING CABLE
	EXISTING DRAIN INLET
	EXISTING ELECTRIC MANHOLE
	EXISTING ELECTRIC PEDESTAL
	EXISTING ELECTRIC TRANSFORMER
	EXISTING GAS METER
	EXISTING GAS VALVE
	EXISTING GUY WIRE
	EXISTING HIGH VOLTAGE POLE
	EXISTING HYDRANT
	EXISTING LIGHT POLE
	EXISTING POWER POLE
	EXISTING SEWER CLEANOUT
	EXISTING TELEPHONE MANHOLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING TRAFFIC
	EXISTING TRAFFIC BOX
	EXISTING WATER METER
	EXISTING WATER VALVE

DRB-94-582 / 2-99-125

- SITE PLAN FOR SUBDIVISION NOTES
1. ANY NEW ON-SITE CONSTRUCTION SHALL CONFORM TO THE EXISTING AND APPROVED COTTONWOOD CORNERS SITE PLAN FOR BUILDING PERMIT (Z-95-26) AND ALL RELEVANT CONDITIONS.
 2. THE ARCHITECTURE OF ANY NEW ON-SITE CONSTRUCTION SHALL CONFORM TO THE PREVIOUSLY APPROVED COTTONWOOD CORNERS SITE PLAN FOR BUILDING PERMIT (Z-95-26) ARCHITECTURAL DESIGN GUIDELINES.
 3. SITE LIGHTING SHALL CONFORM TO THAT WHICH WAS CONTAINED IN THE PREVIOUSLY APPROVED COTTONWOOD CORNERS SITE PLAN FOR BUILDING PERMIT (Z-95-26).
 4. LOADING FACILITIES SHALL BE SCREENED FROM PUBLIC VIEW BY MATERIALS AND LANDSCAPING AS SPECIFIED ON THE PREVIOUSLY APPROVED COTTONWOOD CORNERS SITE PLAN FOR BUILDING PERMIT (Z-95-26).
 5. THE PROPERTY SHALL BE REPLANTED THROUGH THE D.R.B. CONSISTENT WITH THIS PLAN AND THE SUBDIVISION ORDINANCE.
 6. A CONCEPTUAL GRADING AND DRAINAGE PLAN SHALL BE APPROVED PRIOR TO FINAL SITE PLAN FOR SUBDIVISION SIGN-OFF AT THE D.R.B.
 7. SIGNAGE SHALL BE CONSISTENT WITH ON THE PREVIOUSLY APPROVED COTTONWOOD CORNERS SITE PLAN FOR BUILDING PERMIT (Z-95-26).
 8. THE ALLOWABLE BUILDING AREA SHALL NOT EXCEED THE AGGREGATE TOTAL FOR ALL TRACT "I" SITES PREVIOUSLY APPROVED ON THE COTTONWOOD CORNERS SITE PLAN FOR BUILDING PERMIT (Z-95-26).
 9. THE REQUIRED NUMBER OF PARKING SPACES SHALL BE A FUNCTION OF THE SITE'S BUILDING AREA, IN CONJUNCTION WITH THE PREVIOUSLY APPROVED AGGREGATE NUMBER OF SITE SPACES. FUTURE PARKING IDENTIFIED HEREON IS CONCEPTUAL ONLY AND SUBJECT TO ADJUSTMENT AT TIME OF BUILDING PERMIT.
 10. LANDSCAPING CONCEPT IDENTIFIED ON SHEET 2 IS SCHEMATIC ONLY AND SUBJECT TO CHANGE AT THE TIME OF BUILDING PERMIT SUBMITTAL.
 11. ALL PUBLIC INFRASTRUCTURE NECESSARY TO SERVE TRACT I-A IS ALREADY CONSTRUCTED AND, AT A MINIMUM, STUBBED OUT TO THE PROPERTY LINE.
 12. A RECIPROCAL CROSS-LOT DRAINAGE, ACCESS AND PARKING EASEMENT SHALL BE GRANTED TO TRACT I-A AND I-B.



COTTONWOOD CORNERS - TRACT I
SITE DEVELOPMENT PLAN FOR
SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

T B M (TEMPORARY BENCHMARK)

EXISTING MANHOLE RIM IN COTTONWOOD DR. AT ELLISON DR. AS SHOWN ON PLAN.
ELEV. = 5039.90

ACS BENCHMARK

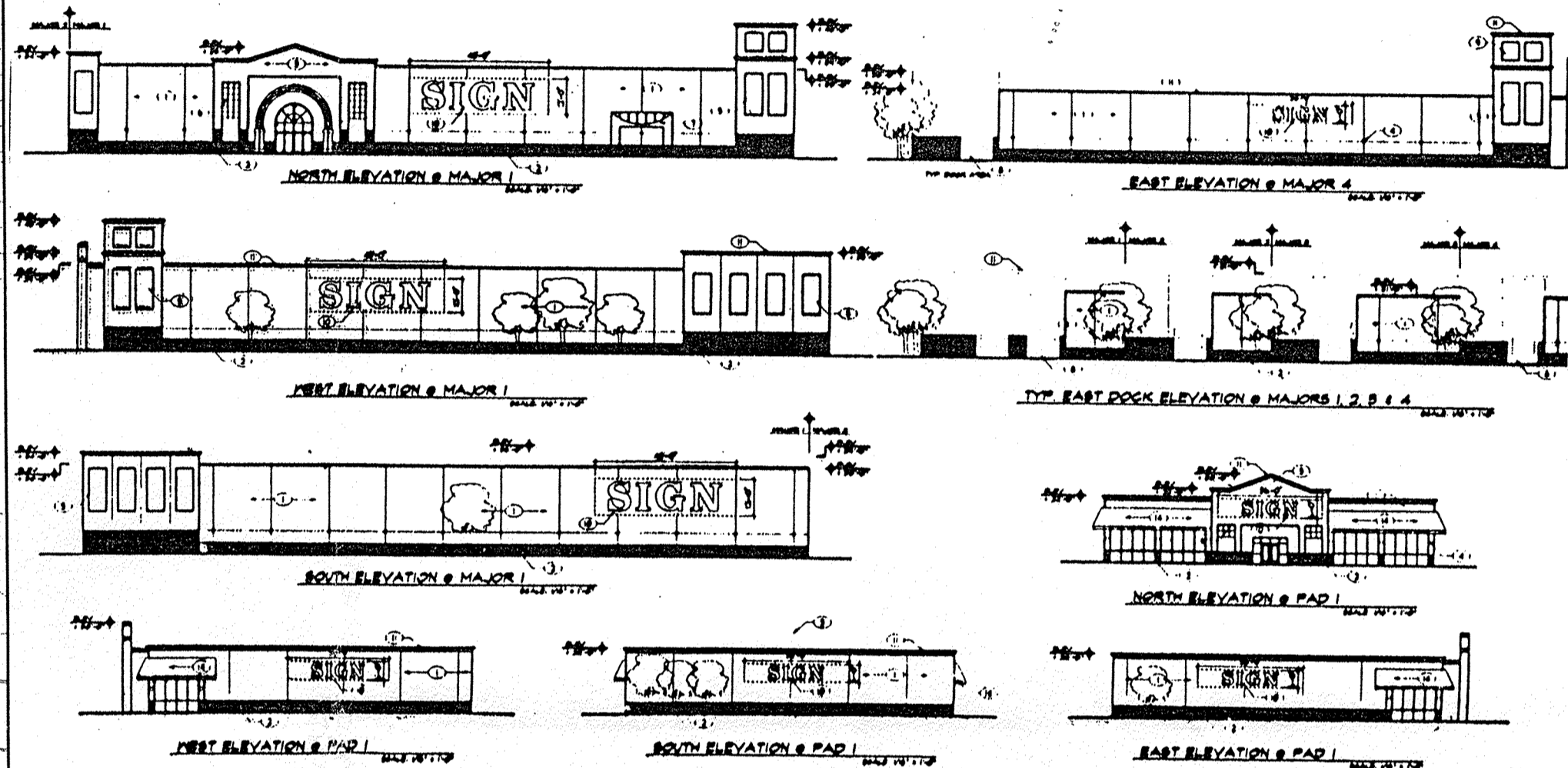
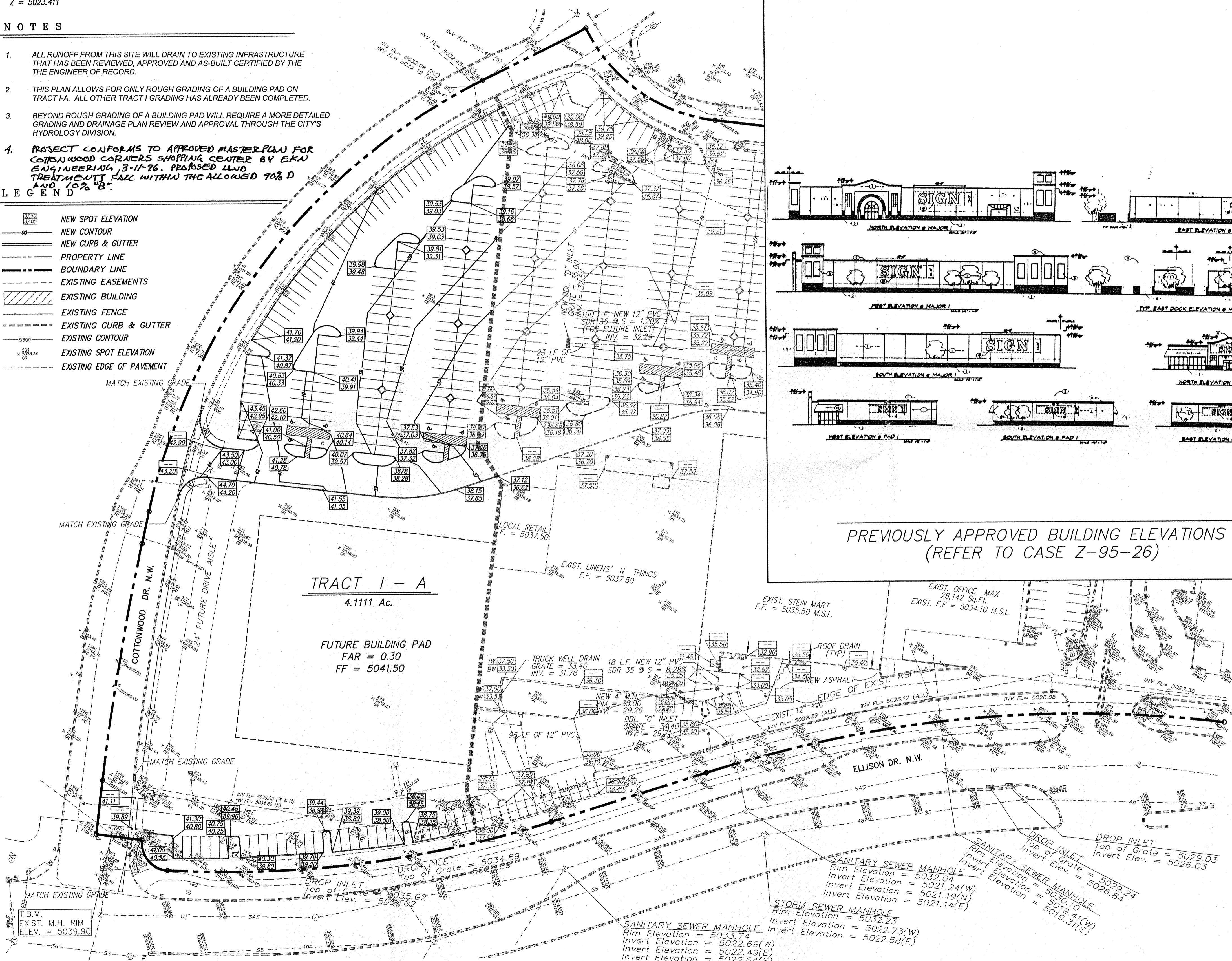
STANDARD NMSHC BRASS TABLE, STAMPED "NM448-N12"
X = 381,108.54
Y = 1,528,910.94
Z = 5023.411

NOTES

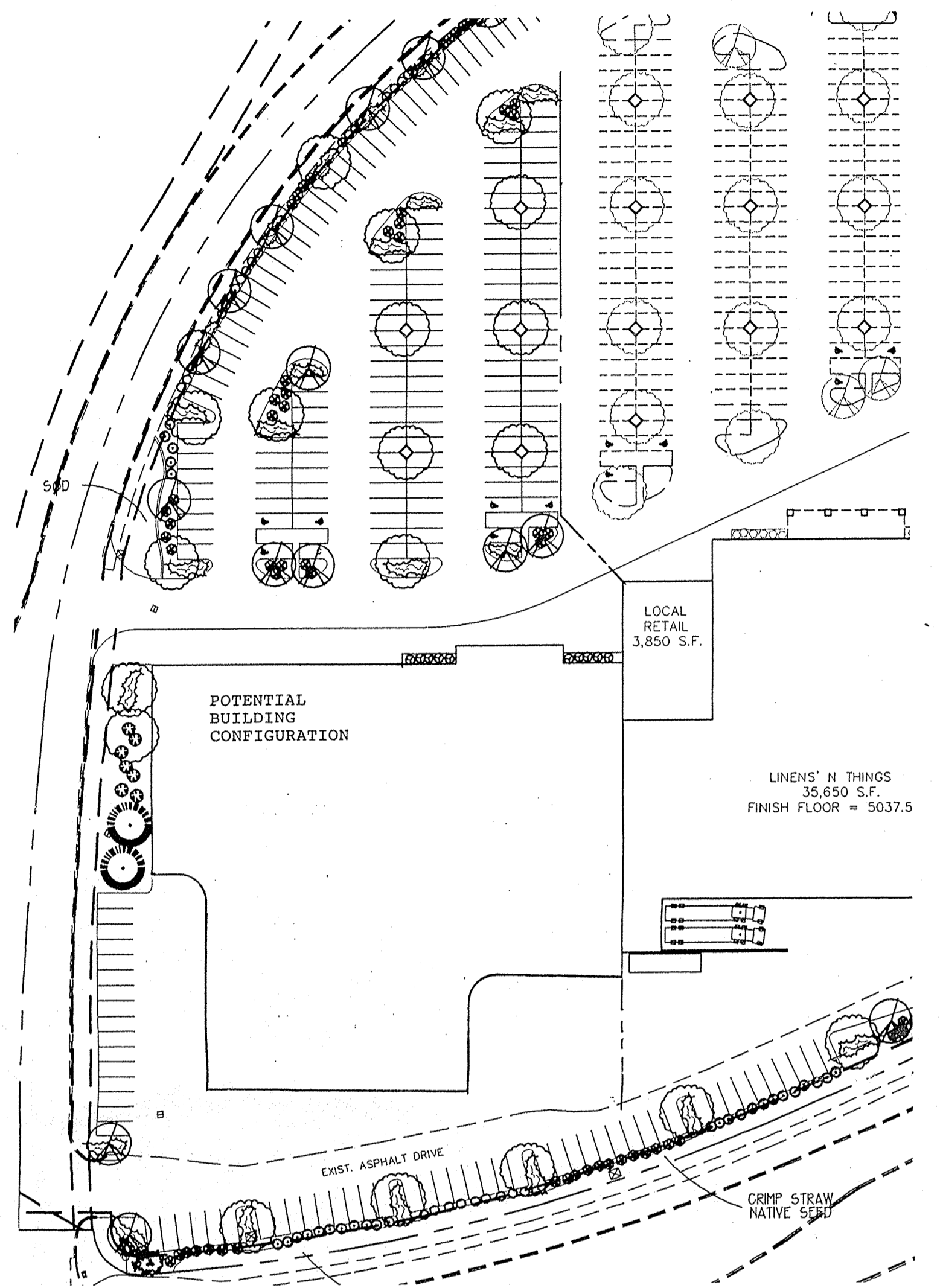
1. ALL RUNOFF FROM THIS SITE WILL DRAIN TO EXISTING INFRASTRUCTURE THAT HAS BEEN REVIEWED, APPROVED AND AS-BUILT CERTIFIED BY THE ENGINEER OF RECORD.
2. THIS PLAN ALLOWS FOR ONLY ROUGH GRADING OF A BUILDING PAD ON TRACT I-A. ALL OTHER TRACT I GRADING HAS ALREADY BEEN COMPLETED.
3. BEYOND ROUGH GRADING OF A BUILDING PAD WILL REQUIRE A MORE DETAILED GRADING AND DRAINAGE PLAN REVIEW AND APPROVAL THROUGH THE CITY'S HYDROLOGY DIVISION.
4. PROJECT CONFORMS TO APPROVED MASTER PLAN FOR COTTONWOOD CORNERS SHOPPING CENTER BY EKV ENGINEERING, 3-11-96. PROPOSED LAND TREATMENTS FALL WITHIN THE ALLOWED 70% D AND 10% B.

LEGEND

- NEW SPOT ELEVATION
- NEW CONTOUR
- NEW CURB & GUTTER
- PROPERTY LINE
- BOUNDARY LINE
- EXISTING EASEMENTS
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING CURB & GUTTER
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING EDGE OF PAVEMENT



PREVIOUSLY APPROVED BUILDING ELEVATIONS (REFER TO CASE Z-95-26)



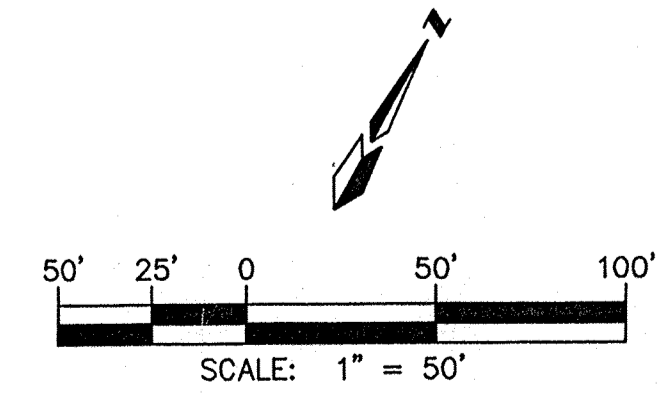
EXAMPLE LANDSCAPING CONCEPT

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

Landscaping shown hereon shall consist of low-allergen producing plants and all landscaping shall be in conformance with the previously approved site plan for building permit (Z-95-26).



CONCEPTUAL GRADING AND DRAINAGE PLAN

**COTTONWOOD CORNERS - TRACT I
CONCEPTUAL GRADING & DRAINAGE
LANDSCAPE CONCEPT
APPROVED ELEVATIONS**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: GJK	Drawn: ACH	Checked: DMG	Sheet 2 of 2
Scale: 1" = 50'	Date: 09-22-99	Job: 99121	