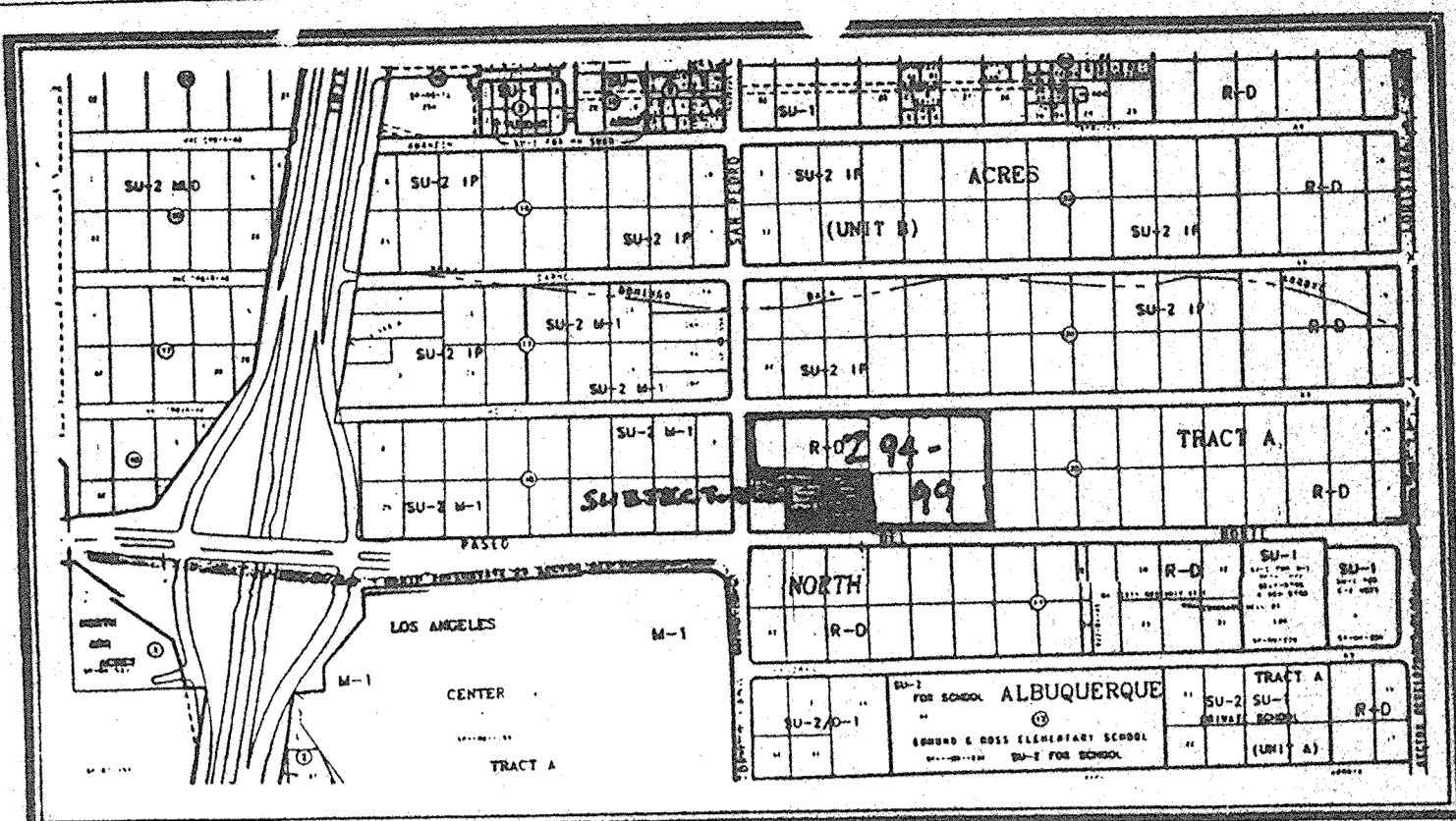


Master Development Plan

LOTS 30, 31 AND A PORTION OF LOT 32, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES



VICINITY MAP C-18

Master Development Plan Criteria:

**Legal Description:**  
Lots 30, 31 and portion of 32, Tract A, Unit B, North Albuquerque, Acres

**Zoning:**  
Currently: R-D Proposed SU - S/1P

**Land Use:**  
Uses are limited to the permissive and conditional uses of the IP zone as described in the Comprehensive Zoning Code, and further regulated by the North I-25 Sector Plan.

**Land Use Intensity:**  
Total Gross Square Footage of buildings on site is proposed at 21,000 square feet.

**Building Height:**  
Building height of office and retail structures shall not exceed 26 feet; heights of warehouse structures shall not exceed 35 feet as measured by the standards of the Comprehensive Zoning Code.

**Building Setback:**  
From San Pedro 140 feet (20' front setback plus Lot 32) From Paseo del Norte 10'(side setback)

**Landscaping:**  
Landscaping shall comprise a minimum of 15% of the total site area and shall be provided in the set back areas as required and in compliance with the City of Albuquerque Comprehensive Zoning Code. Landscaping shall be designed for low water usage and environmentally efficient design techniques. Buffer landscaping shall be provided at least 6' wide along the side and rear property lines of the development. A minimum 10' of landscaping shall be provided and maintained adjacent to the right of way of San Pedro, N.E. Plants shall be placed to provide shade for pedestrian areas and buildings during the summer months. No parking space will be more than 50 feet from a tree.

**Signage:**  
A monument style sign shall be provided at the San Pedro entrance to the property. The sign shall be in compliance with the City of Albuquerque Comprehensive Zoning Code and shall display the names and/or logos of the tenants on the site.

**Building Materials:**  
Facade materials on all building elevations may be either stone or cementitious materials (e.g. split faced block, brick, finished concrete), or metal standing seam siding. It is recommended that cementitious materials be used on office and retail structures and that metal siding be limited to the warehouse areas in order to clearly distinguish functional areas on site. Building colors should conform with the natural color range. Glass shall have reflectivity coefficients of less than 80%. Wood and metal trims should conform with the natural color range, blending with the finish of the building.

**Lighting:**  
All lighting provided shall be either building mounted below roof lines and directed to keep all illumination within the site or within parking areas to illuminate those areas.

**Parking:**  
The buildings on the site total 14,700 square feet as proposed with a total of 380 seats within the restaurant. Section 14-16-3-1 Parking Regulations, City of Albuquerque Comprehensive Zoning Code, requires one parking space for each (4) four seats, therefore, 380/4=95 parking spaces are required and 95 spaces are provided.

PLEASE NOTE THERE MAY BE INFRASTRUCTURE REQUIREMENTS WITH FUTURE INDIVIDUAL SITE DEVELOPMENT PLAN(S).

FUTURE SITE DEVELOPMENT PLAN(S) WILL REQUIRE INFRASTRUCTURE IMPROVEMENTS, AND/OR MODIFICATIONS TO ACCOMMODATE THESE REQUIREMENTS, AND WILL BE BROUGHT BACK TO THE DEVELOPMENT REVIEW BOARD (DRB) FOR APPROVAL.

A REPLAT WILL BE REQUIRED FOR THIS PLAN AS SHOWN.

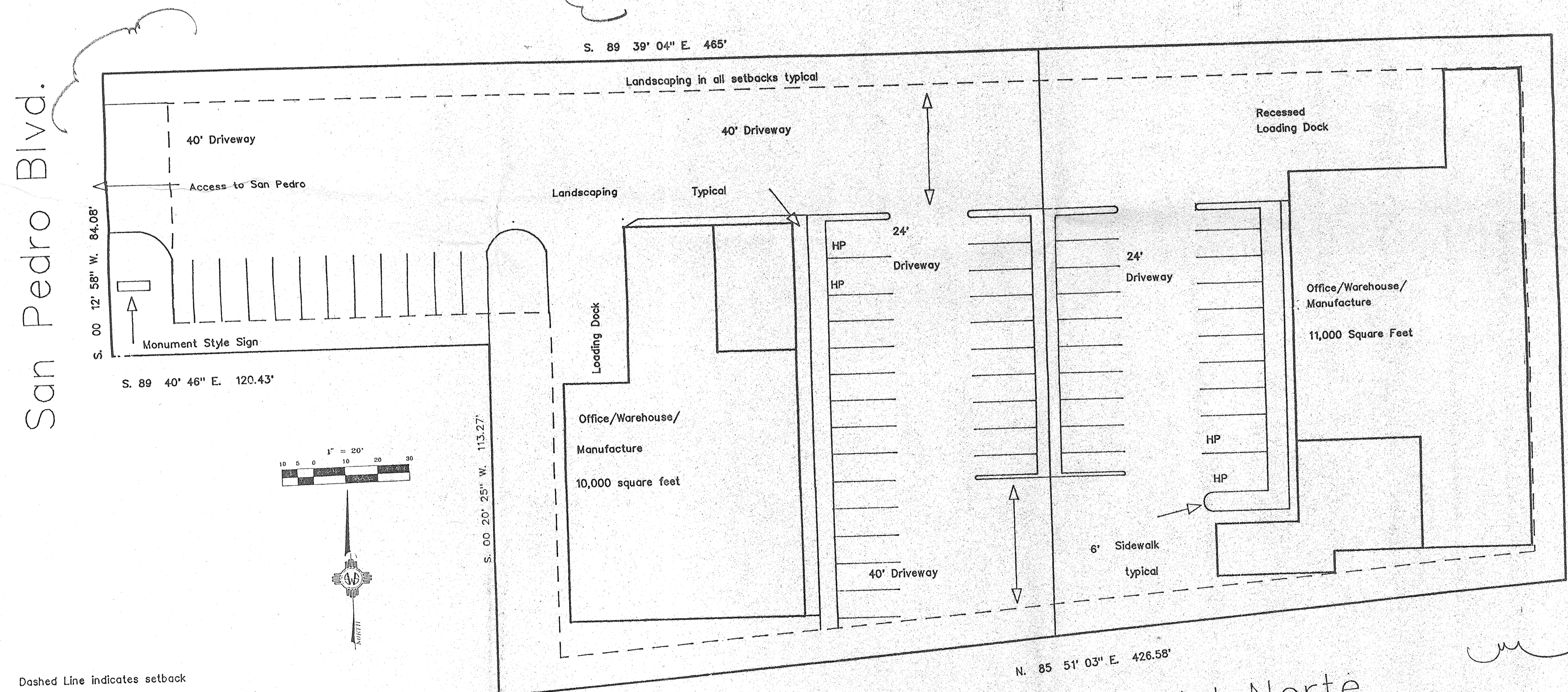
THERE WILL BE NO DIRECT ACCESS TO PASEO DEL NORTE FROM THIS PROPERTY.

Reference: Z94-128, DRB 94-626

Approved:

NOTE: THIS MASTER DEVELOPMENT PLAN WAS APPROVED BY THE E.P.C. ON NOV. 17, 1994, (Z-94-128) BUT NEVER SIGNED OFF BY THE DESIGN REVIEW BOARD. THIS IS AN AMMENDMENT TO THIS APPROVED PLAN.

APPROVAL	DATE
<i>[Signature]</i> TRAFFIC ENGINEER, TRAFFIC ENGINEERING DIVISION	6-10-98
<i>[Signature]</i> PARKS & GENERAL SERVICES	8-4-98
<i>[Signature]</i> PUBLIC WORKS, UTILITIES DEVELOPMENT DIVISION	8-4-98
<i>[Signature]</i> CITY ENGINEER, ENGINEERING DIVISION / A.M.A.F.C.A.	8-4-98
<i>[Signature]</i> CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT	10-8-98

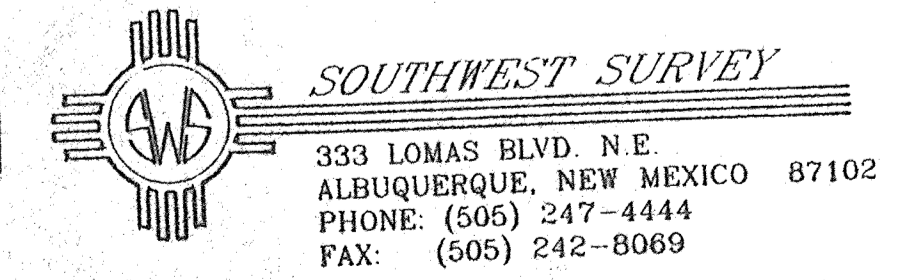


Dashed Line indicates setback

Area= 1.718 acres

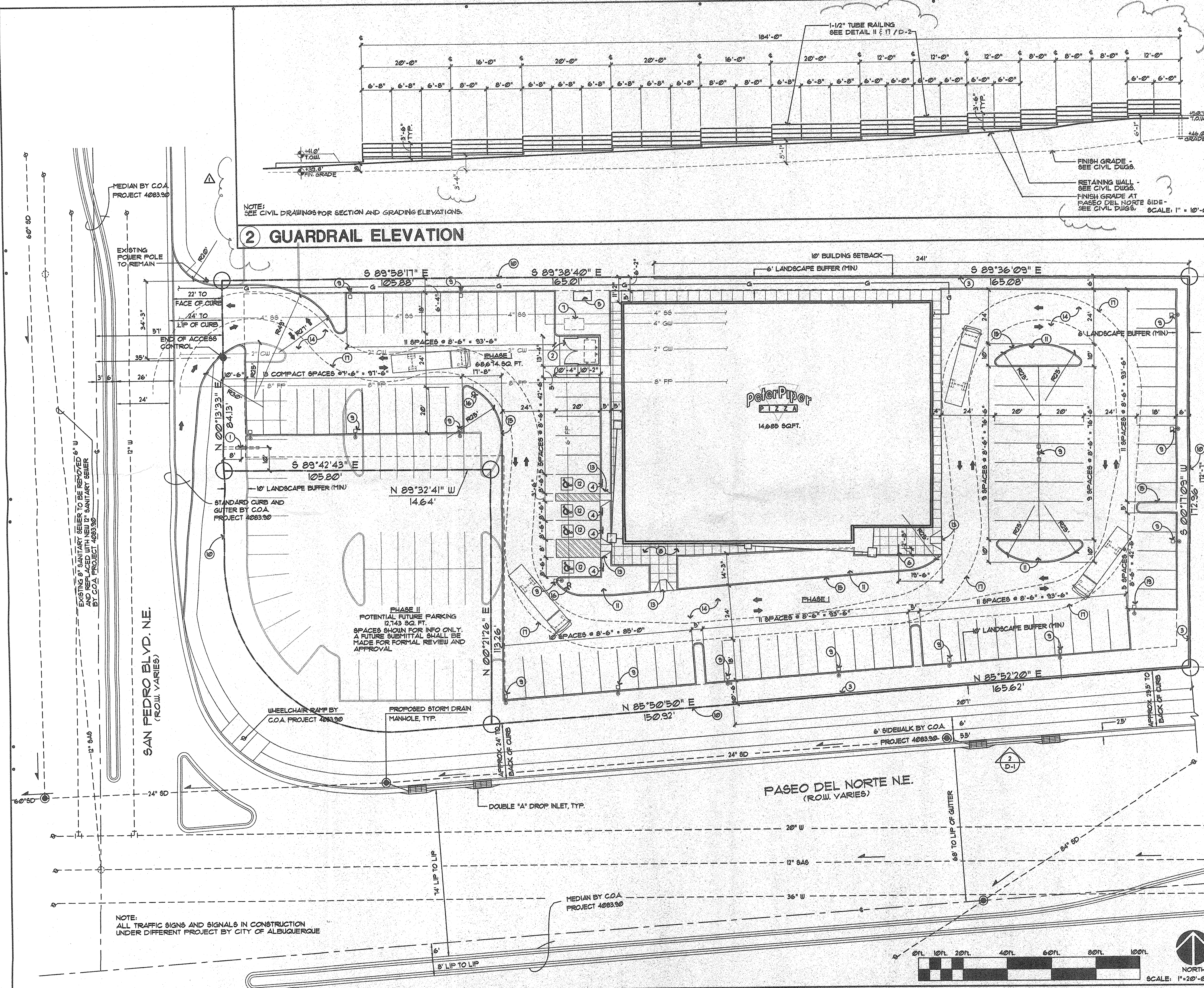
Area= 75016.434 sq ft

Setback Area = 14,531.75 sf / 19% of site



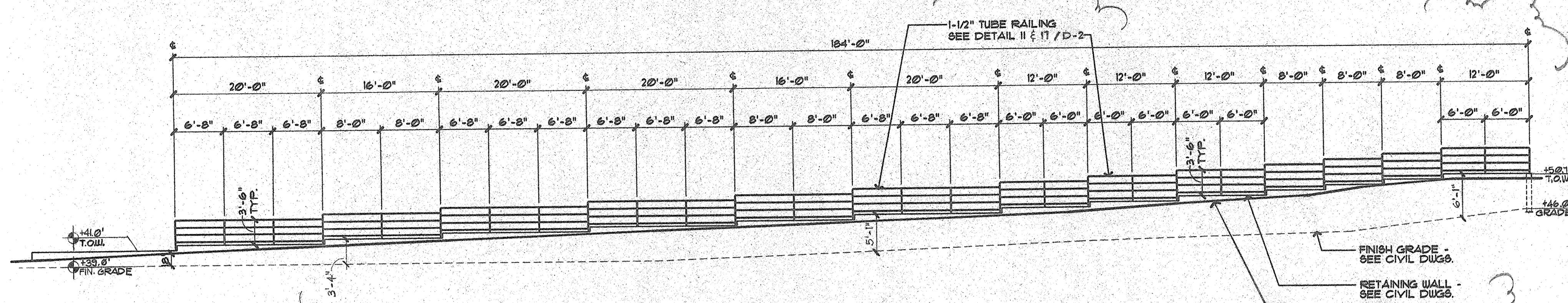
AMMENDED MASTER SITE PLAN 72798

DRB-94-626



**2 GUARDRAIL ELEVATION**

NOTE: SEE CIVIL DRAWINGS FOR SECTION AND GRADING ELEVATIONS.



- 1 MONUMENT SIGN (UNDER SEPARATE SUBMITTAL/ APPROVAL) SEE DETAIL 207 D-2
- 2 TRASH ENCLOSURE STUCCO FINISH & PAINT COLOR BUILDING SEE ENLARGED PLAN DETAIL SHT. D-2
- 3 NEW 8" SPLIT FACED CMU RETAINING WALL TO MATCH BASE OF BUILDING SEE CIVIL DUGS. PROVIDE RAILING AT SOUTH RETAINING WALL AS PER ELEV. 2 / D-1 & 2 / D-2
- 4 H.C. PARKING SIGN SEE DETAIL.
- 5 PAD MOUNTED TRANSFORMER.
- 6 5 BIKE RACK AS MANUFACTURED BY BRANDIR INTERNATIONAL, INC. MODEL # RB 25 I-G OR APPROVED EQUAL.
- 7 GREASE INTERCEPTOR.
- 8 CONCRETE ENTRY WALK, SCORE CONCRETE AS SHOWN AT 4'-0" MODULE.
- 9 SITE LIGHTING SEE DETAIL SHT. D-2.
- 10 PROPERTY LINE.
- 11 LANDSCAPE ISLAND.
- 12 H.C. PARKING STALLS.
- 13 H.C. ACCESSIBLE RAMP.
- 14 A.C. PAVING TYP.
- 15 EXTRUDED CONC. CURBING TYP.
- 16 FIRE HYDRANT LOCATION.
- 17 TRUCK TURNING RADII.

**12 KEYNOTES**

CASE NUMBER Z-94-128  
 THIS PLAN IS CONSISTENT WITH THE MASTER DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON NOV. 17, 1994 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

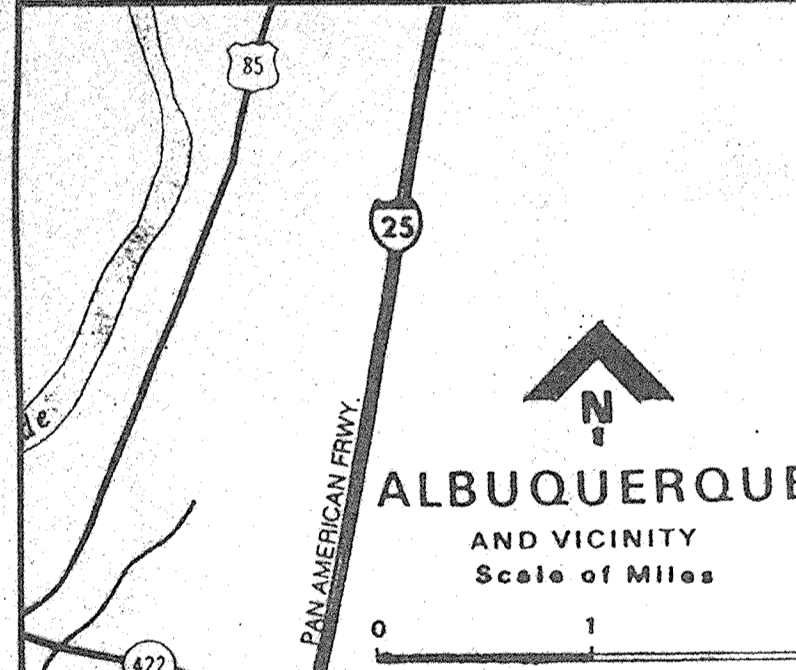
**SITE DEVELOPMENT PLAN**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE 10-26-98  
 DESIGN AND DEVELOPMENT, DATE 8-4-98  
 PUBLIC WORKS, UTILITIES DEVELOPMENT DIVISION DATE 8-4-98  
 CITY ENGINEER, ENGINEERING DIVISION / A.M.A.F.C.A. DATE 8-4-98

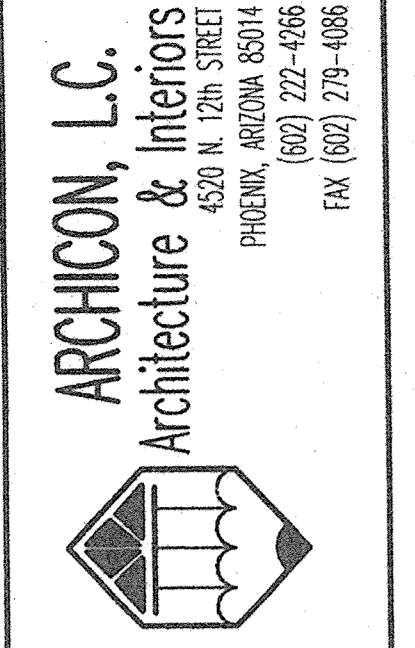
APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL

CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT DATE  
 PLN2 (10705) 4/96

**18 SIGN OFF BLOCK**



THESE DRAWINGS ARE NOT FOR CONSTRUCTION UNTIL ALL ITEMS ARE INITIALED AND DATED.	
ISSUED FOR BIDDING	DATE 12-15-98
CITY APPROVAL	DATE
ISSUED FOR CONST.	DATE
SHEET TITLE: SITE PLAN VICINITY MAP KEY NOTES	
PLOT DATE: 7-21-98	
FILE REFERENCE: DRB-1DUG	



**PETER PIPER PIZZA**  
 N.E. CORNER PASEO DEL NORTE AND SAN PEDRO DR.  
 6301 N.E. PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO 87113

JOB NO:	9996601
PROJECT MGR:	VINCE DALKE
DRAWN BY:	R.O.
CHECKED BY:	JERE PLANCK
NO. REVISION	DATE
DRB COMMENTS: 10-2-98	

ISSUED FOR BIDDING	DATE 12-15-98
CITY APPROVAL	DATE
ISSUED FOR CONST.	DATE

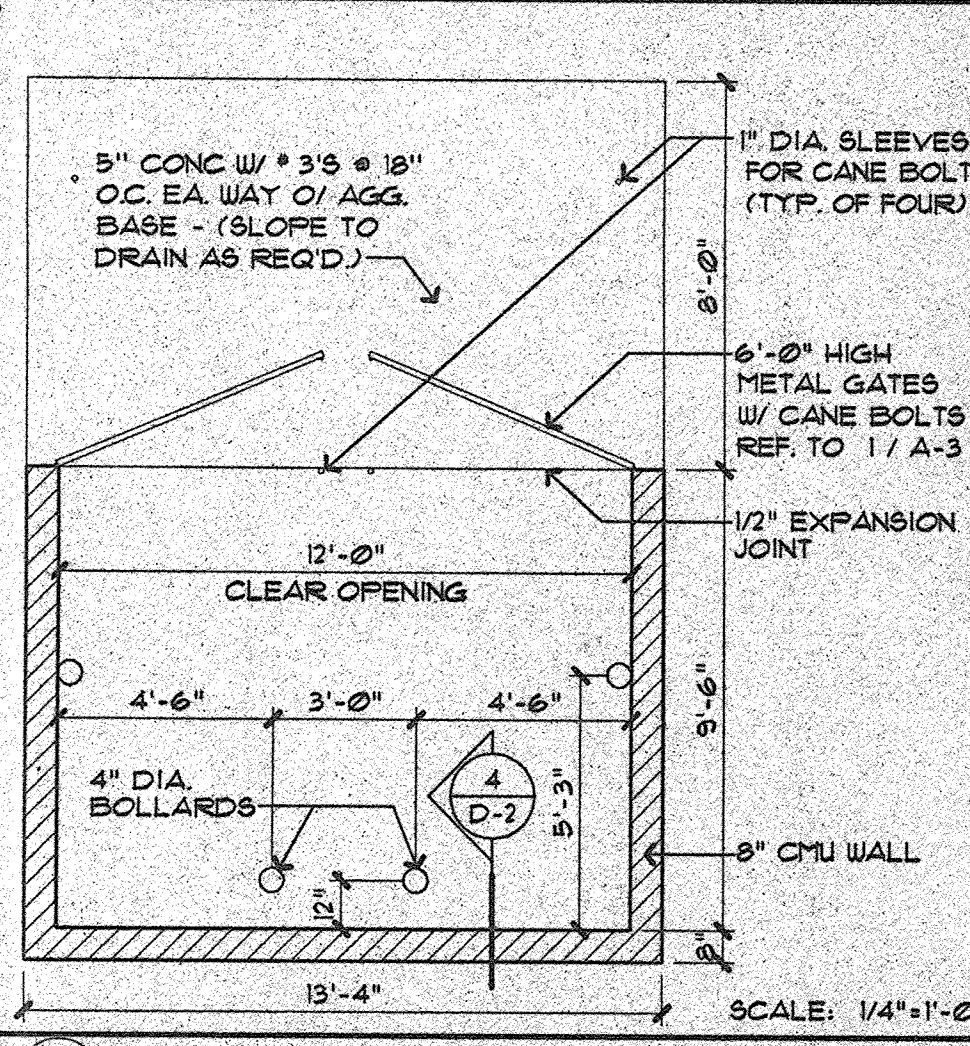
SHEET TITLE: SITE PLAN VICINITY MAP KEY NOTES  
 PLOT DATE: 7-21-98  
 FILE REFERENCE: DRB-1DUG



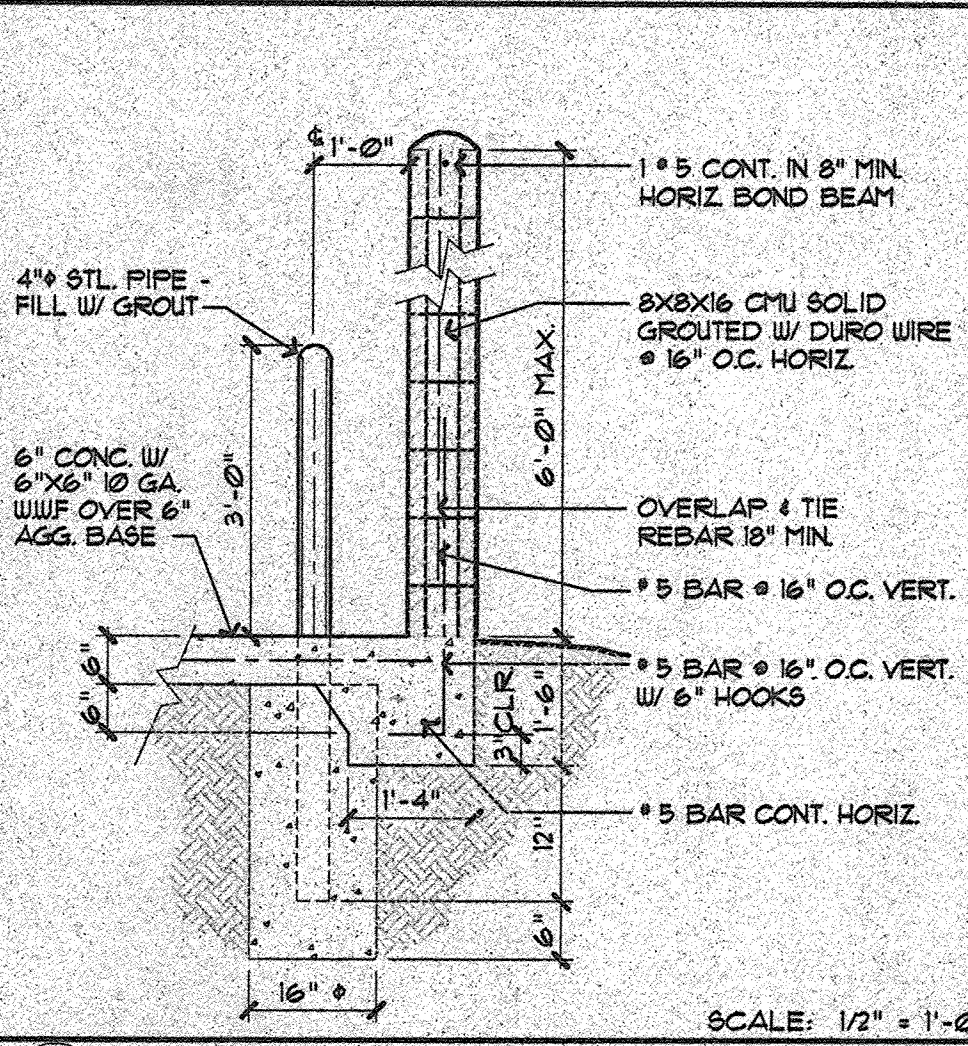
**D-1**

**19 SITE PLAN**

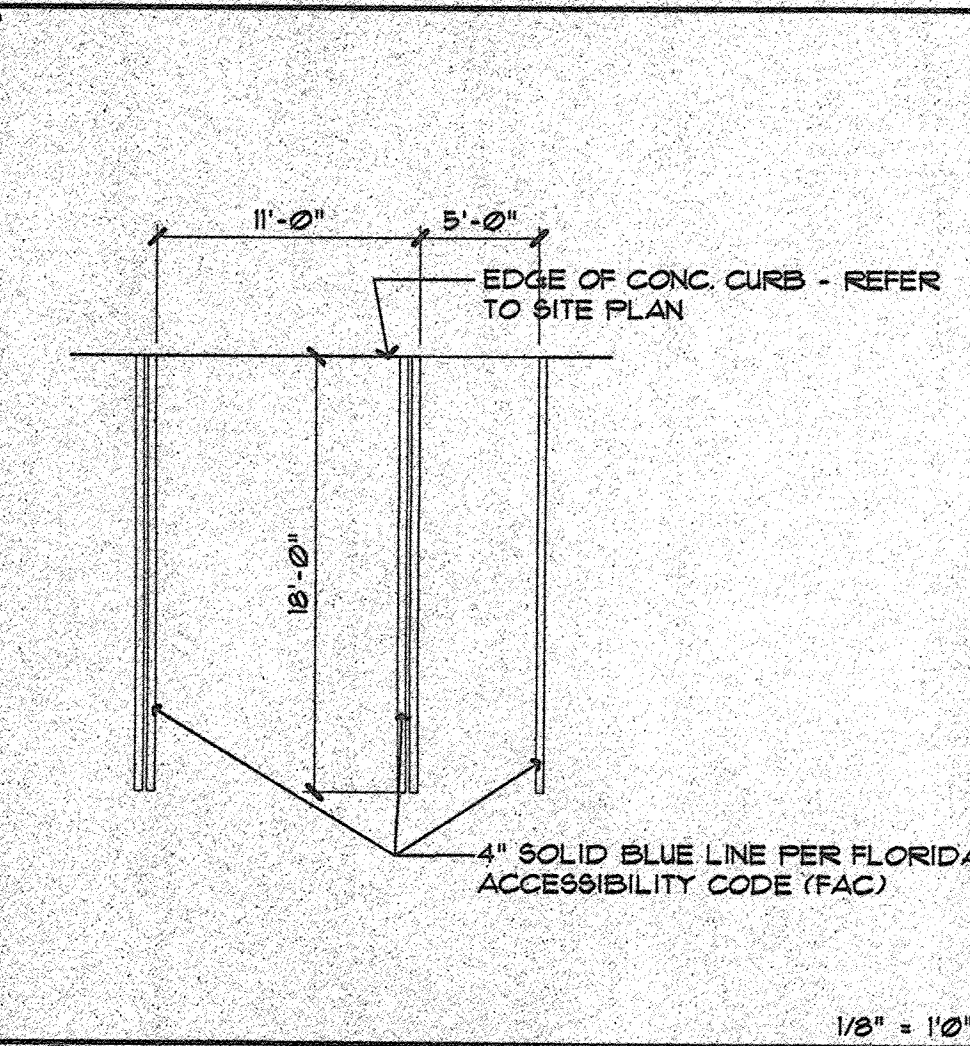
**18 VICINITY MAP**



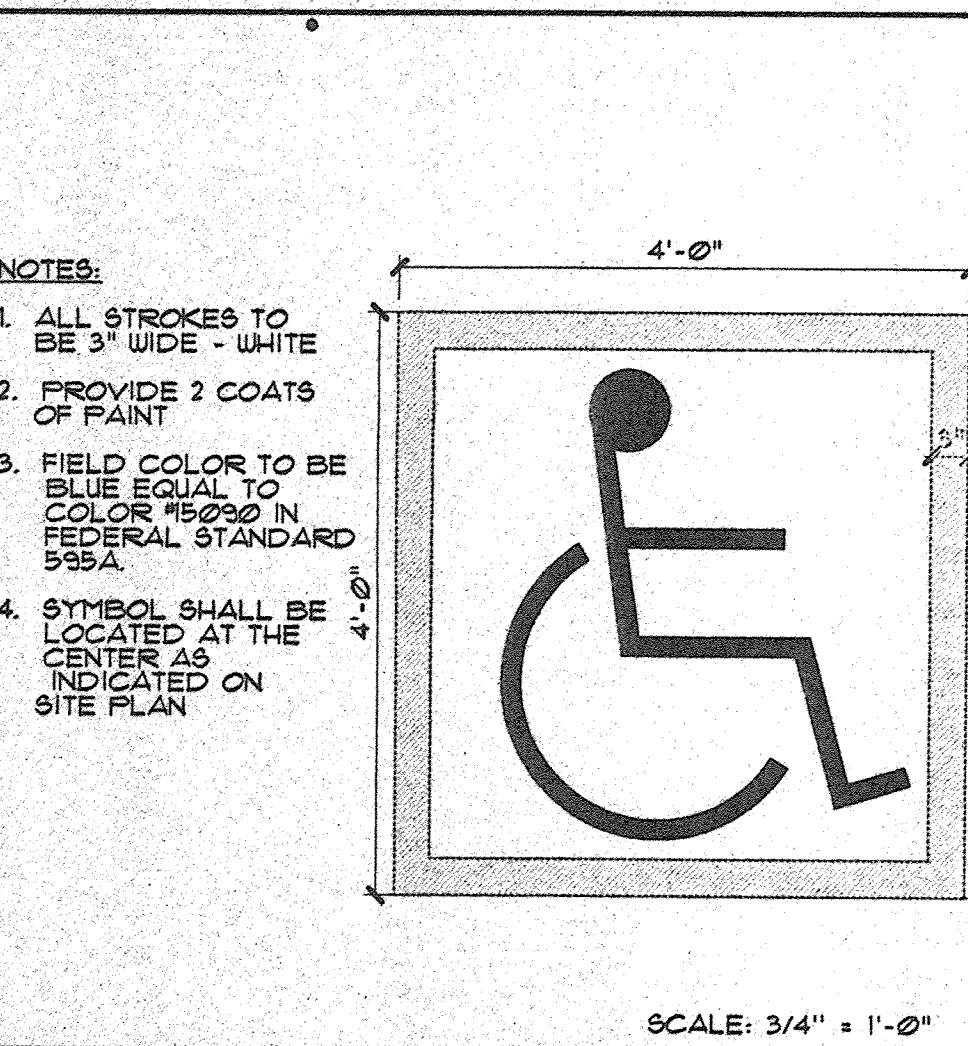
3 TRASH ENCLOS. PLAN



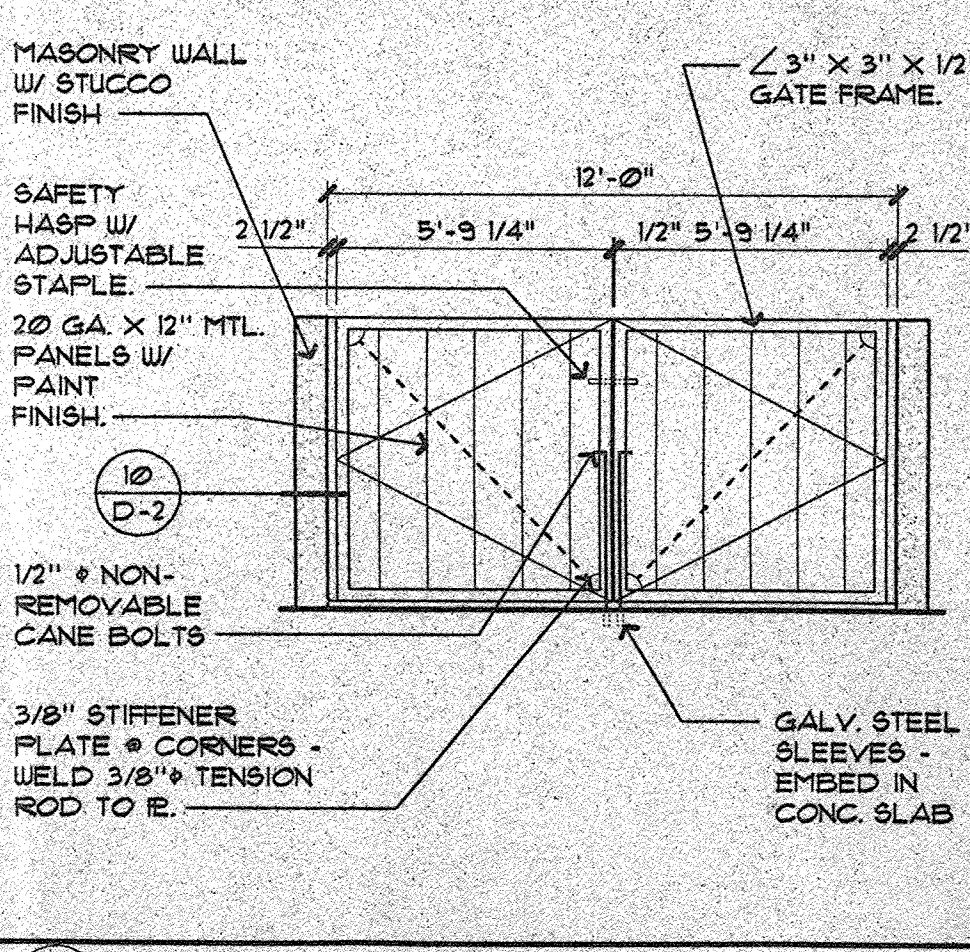
4 BOLLARD DETAIL



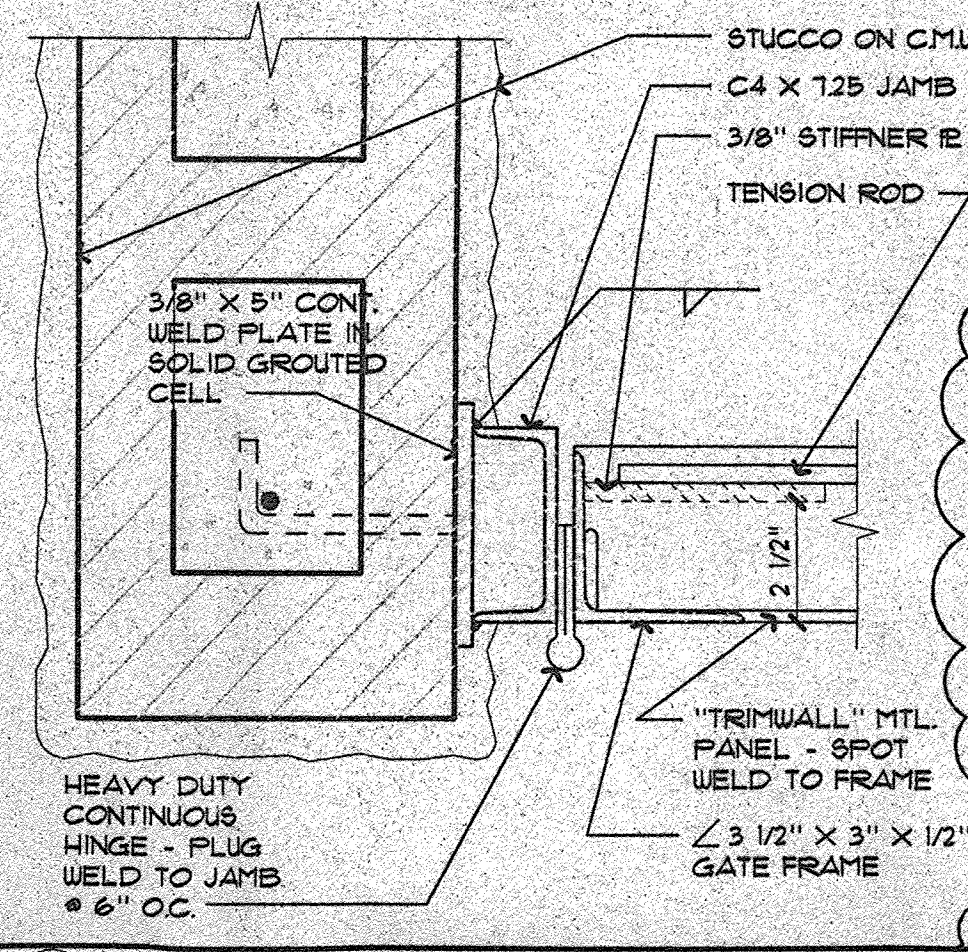
5 H.C. PARKING



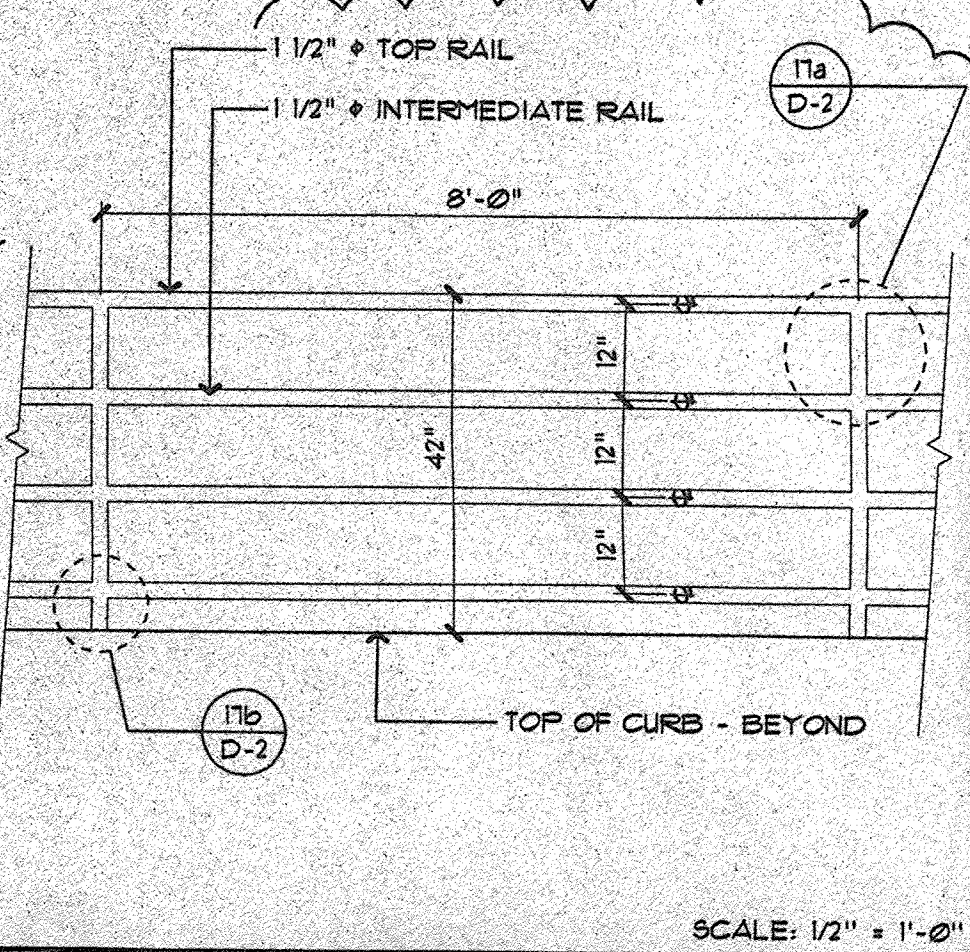
6 H.C. PARKING SYMBOL



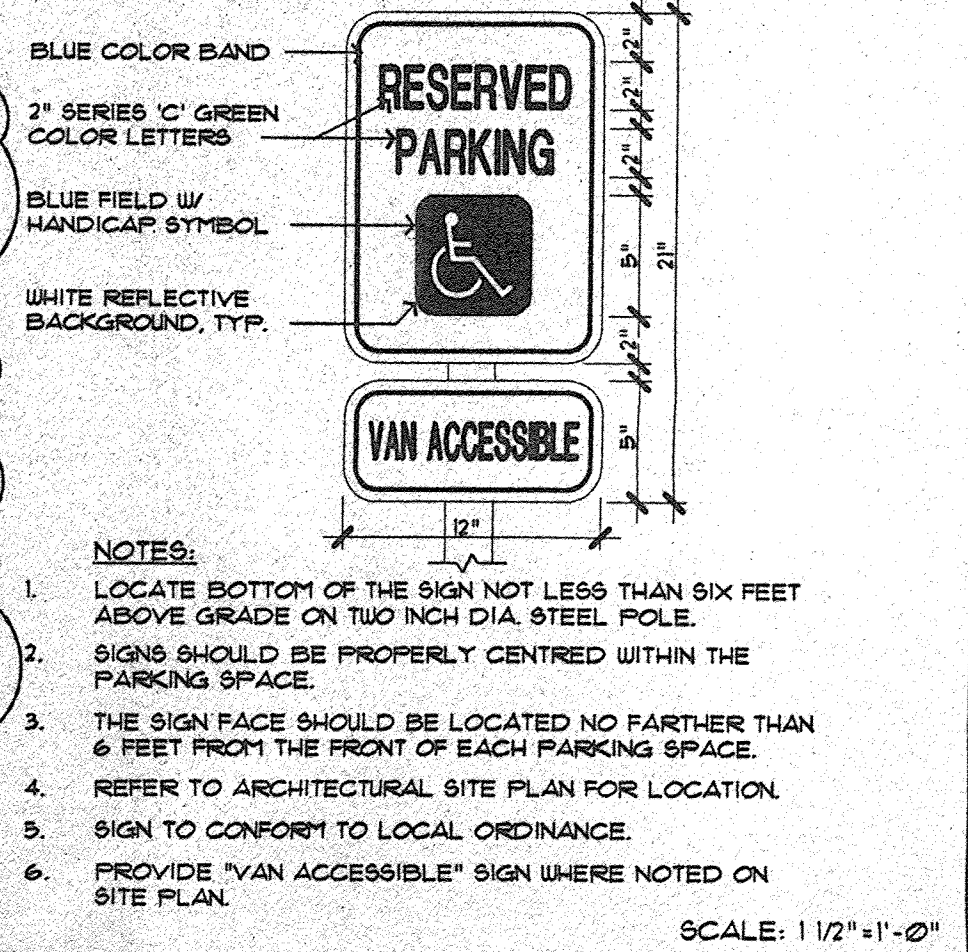
9 GATE ELEVATION



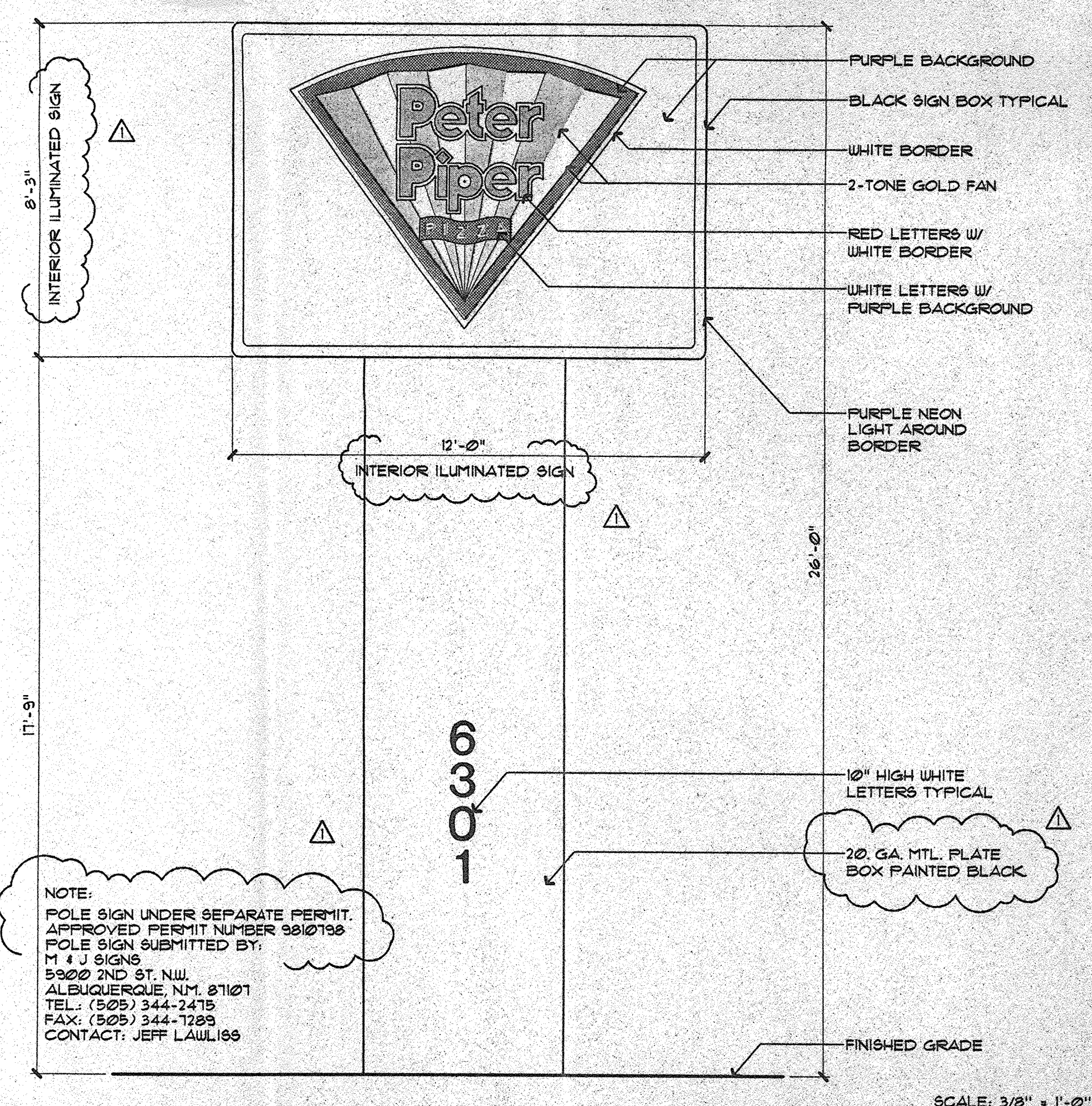
10 GATE JAMB DET.



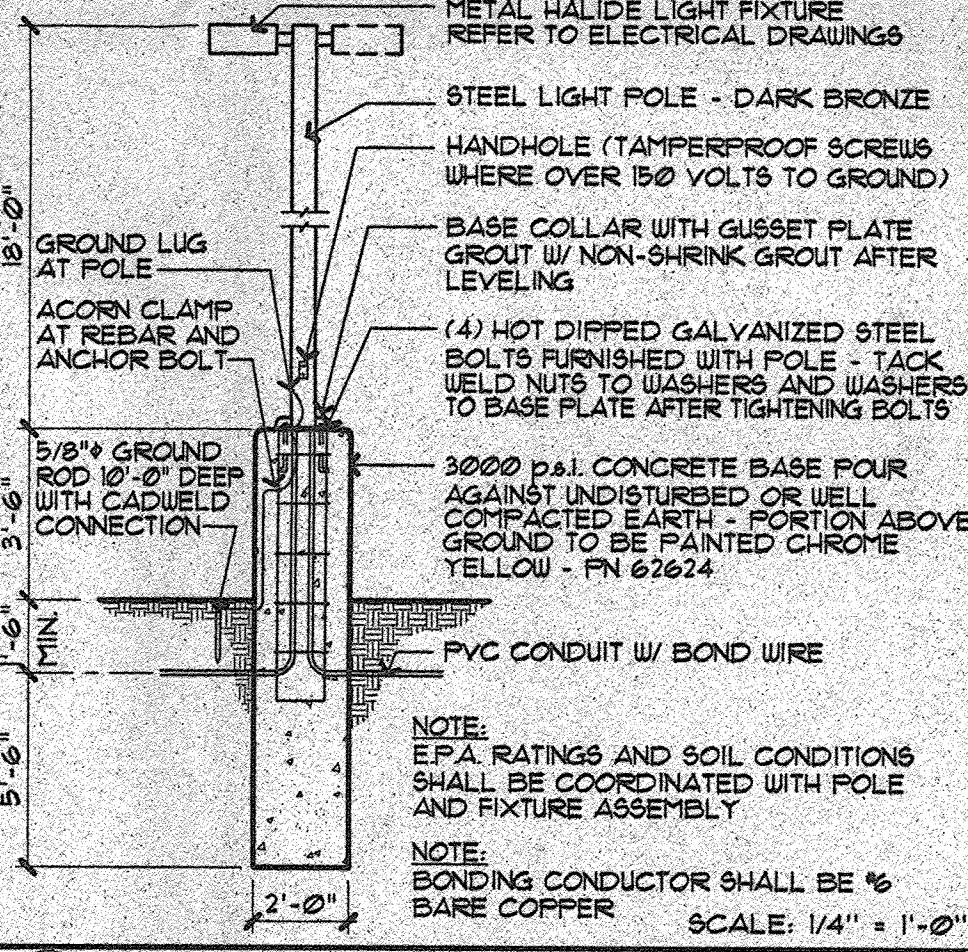
11 GUARDRAIL ELEVATION



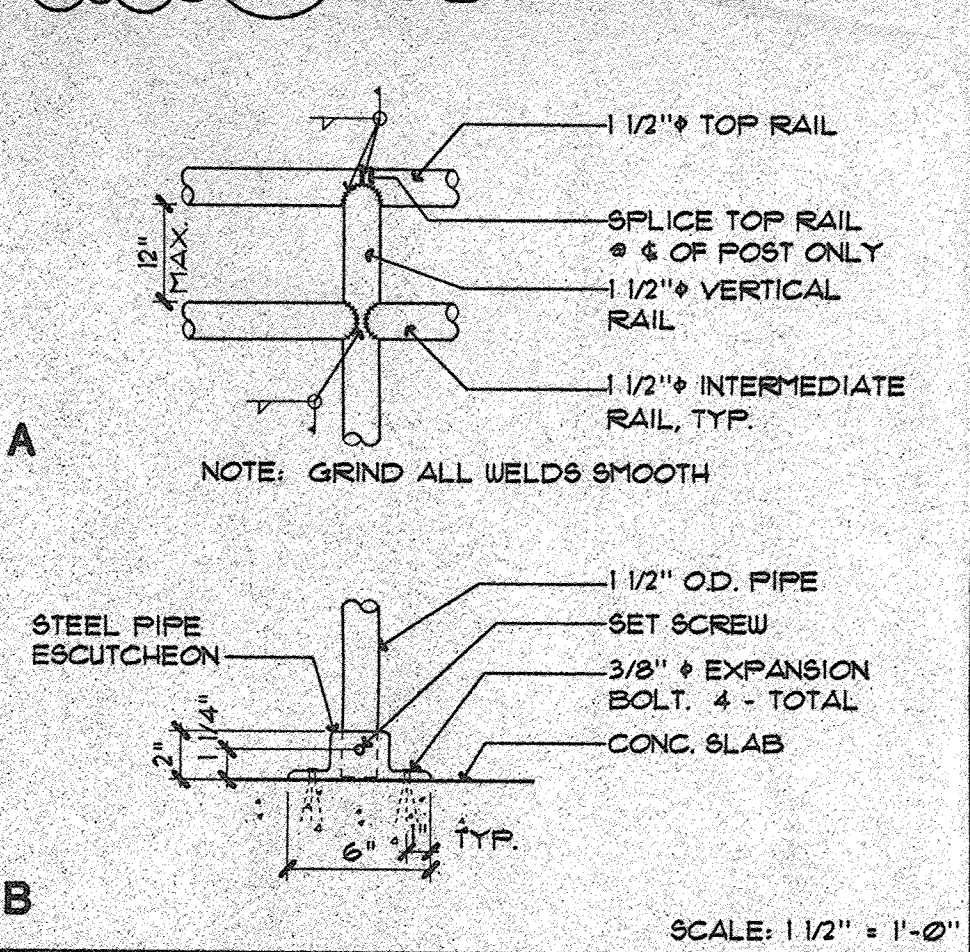
12 H.C. PARKING SIGN



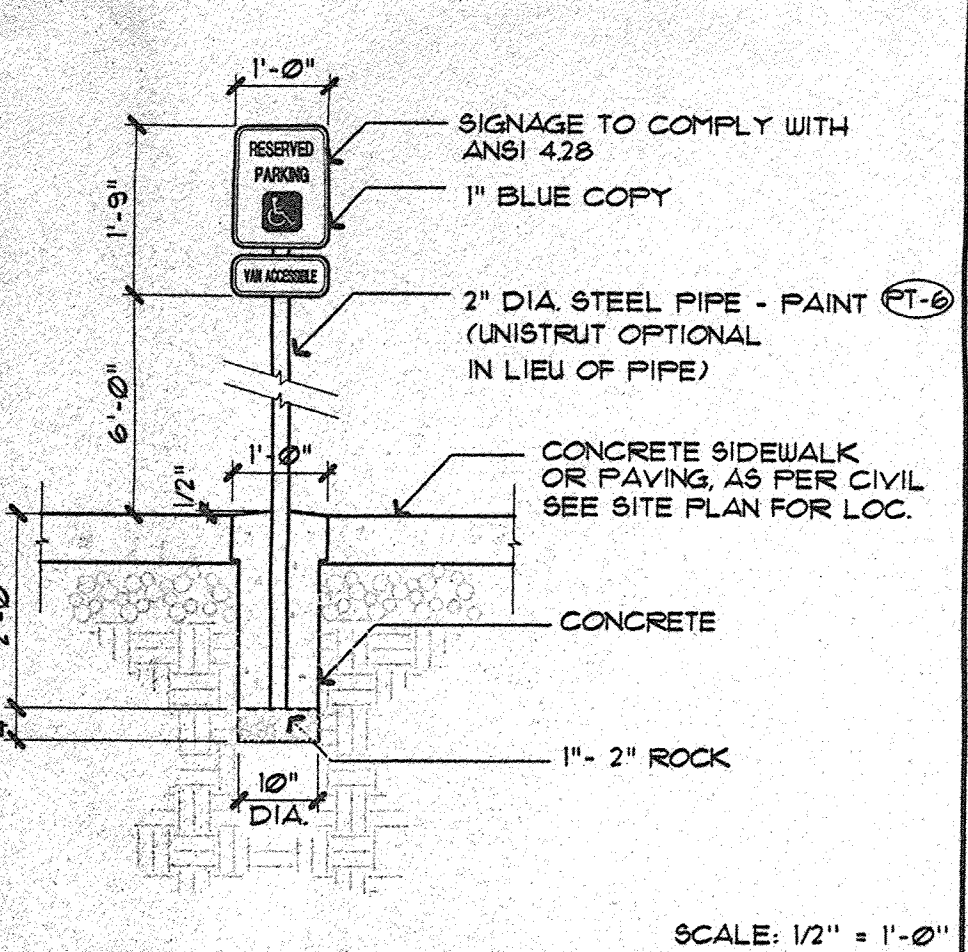
20 MONUMENTAL SIGN



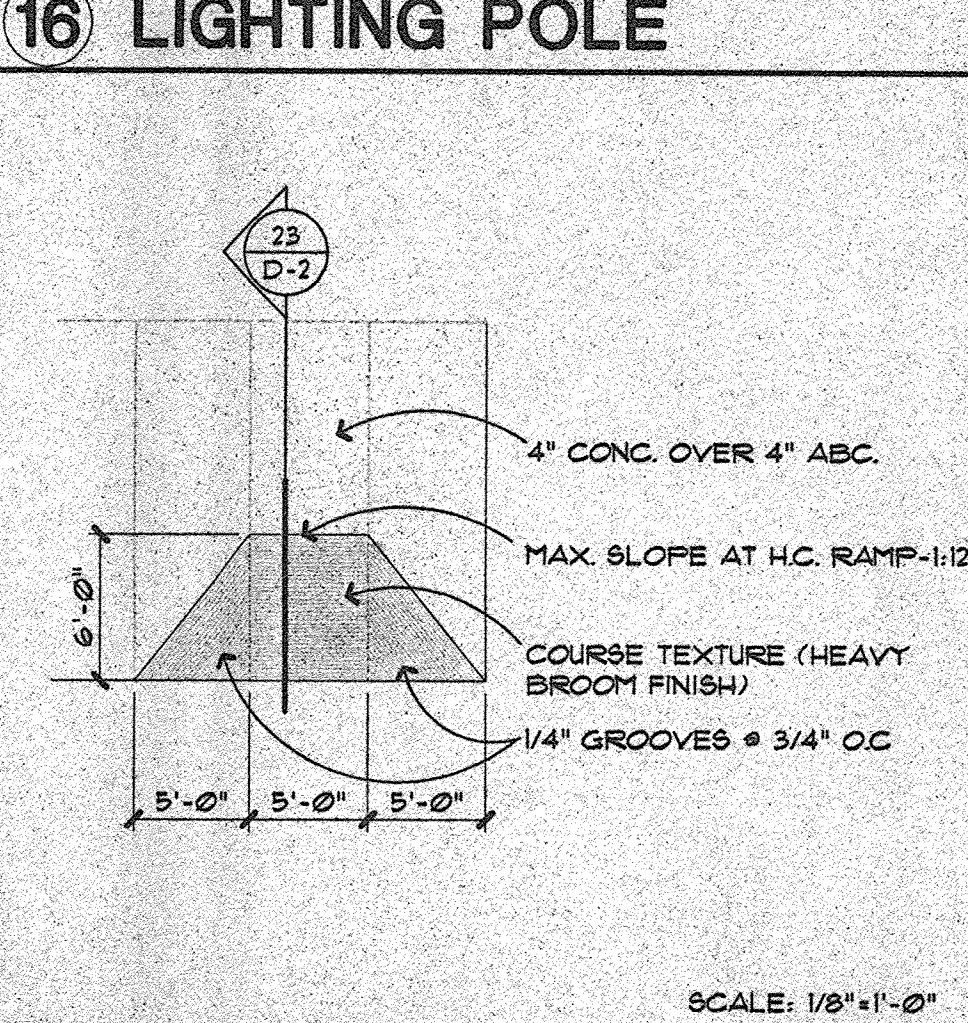
16 LIGHTING POLE



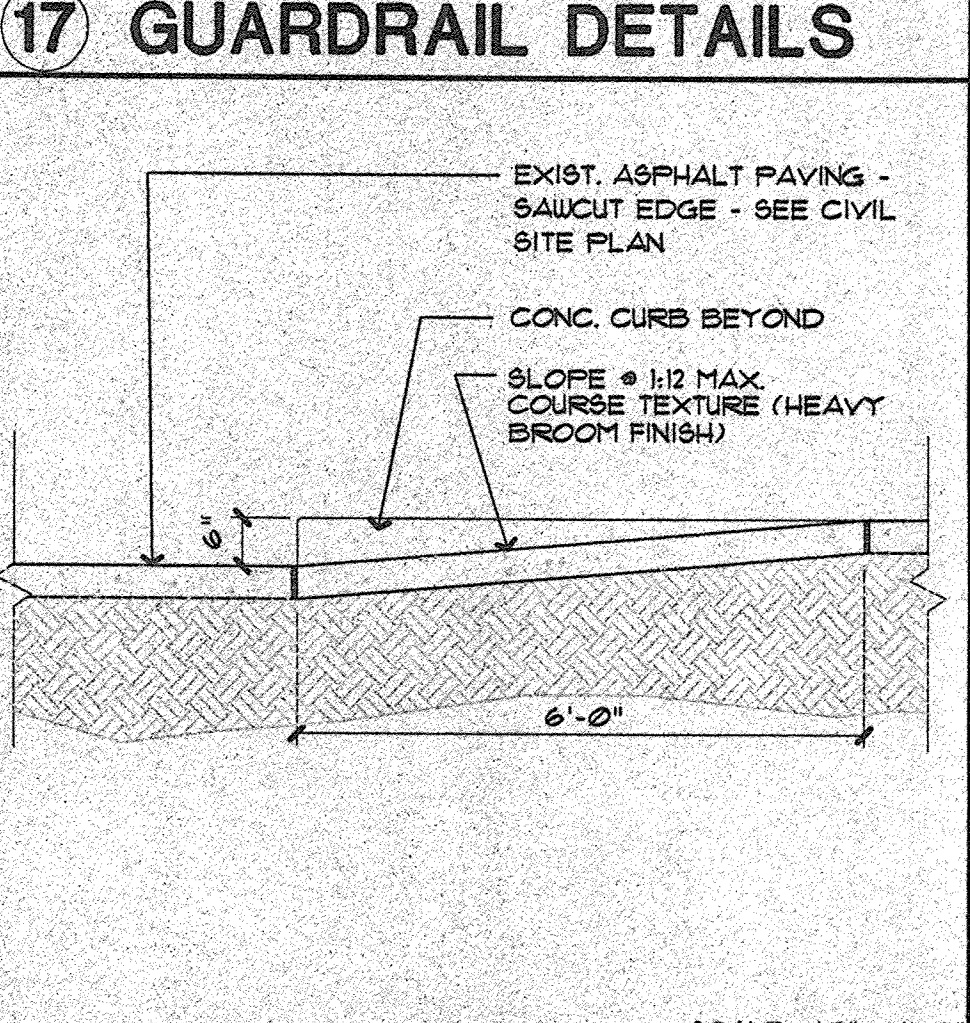
17 GUARDRAIL DETAILS



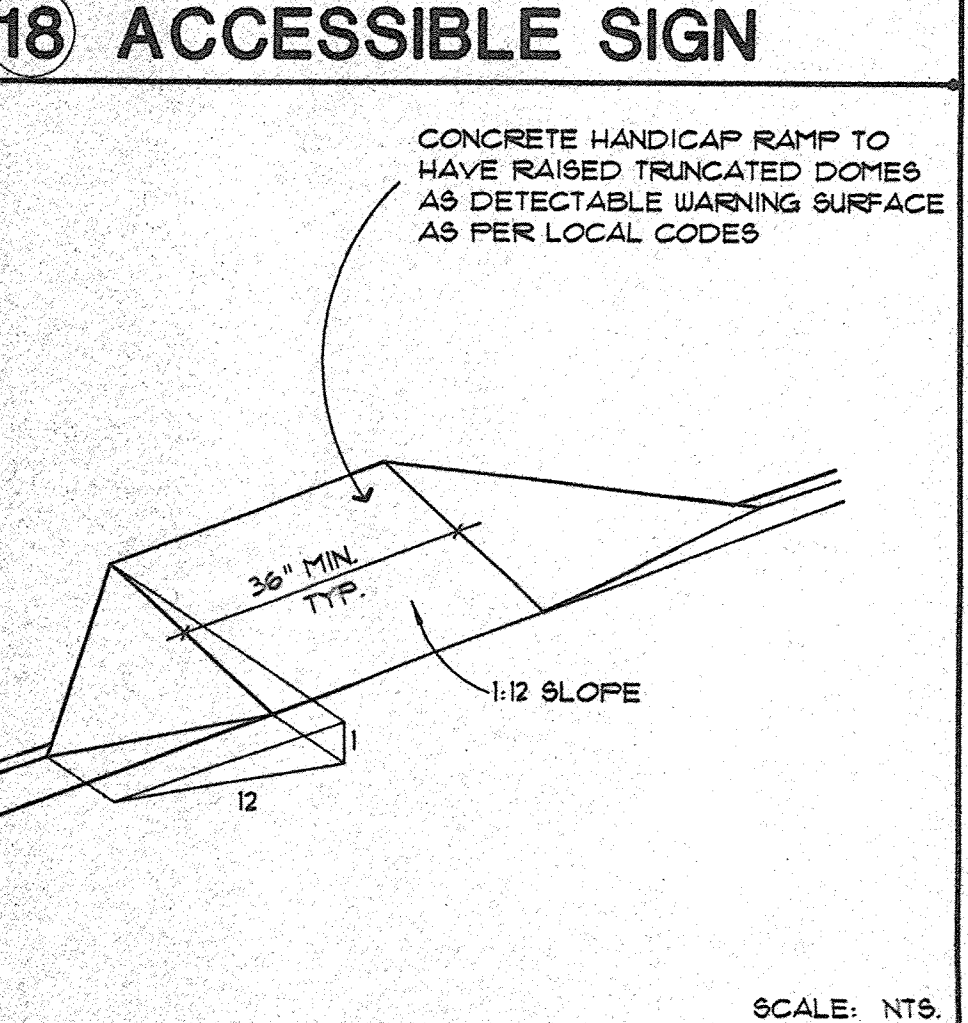
18 ACCESSIBLE SIGN



22 H.C. RAMP



23 H.C. RAMP SECTION



24 H.C. RAMP ISOMETRIC

ARCHICON, L.C.  
Architecture & Interiors  
4500 N. 12th Street  
Phoenix, Arizona 85014  
(602) 772-4366  
FAX (602) 779-4066

PETER PIPER PIZZA  
N.E. CORNER PASEO DEL NORTE AND SAN PEDRO DR.  
6301 N.E. PASEO DEL NORTE  
ALBUQUERQUE, NEW MEXICO 87113

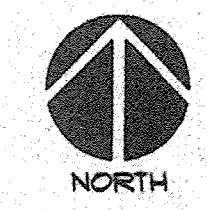
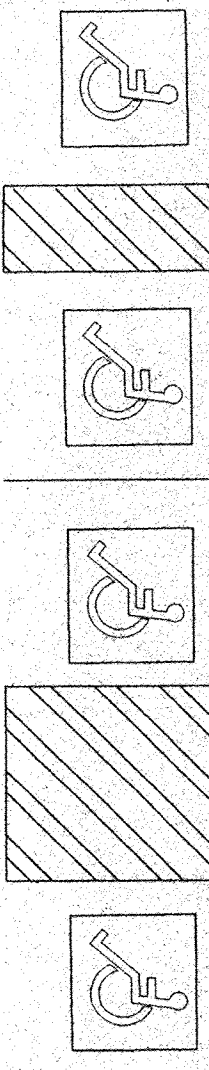
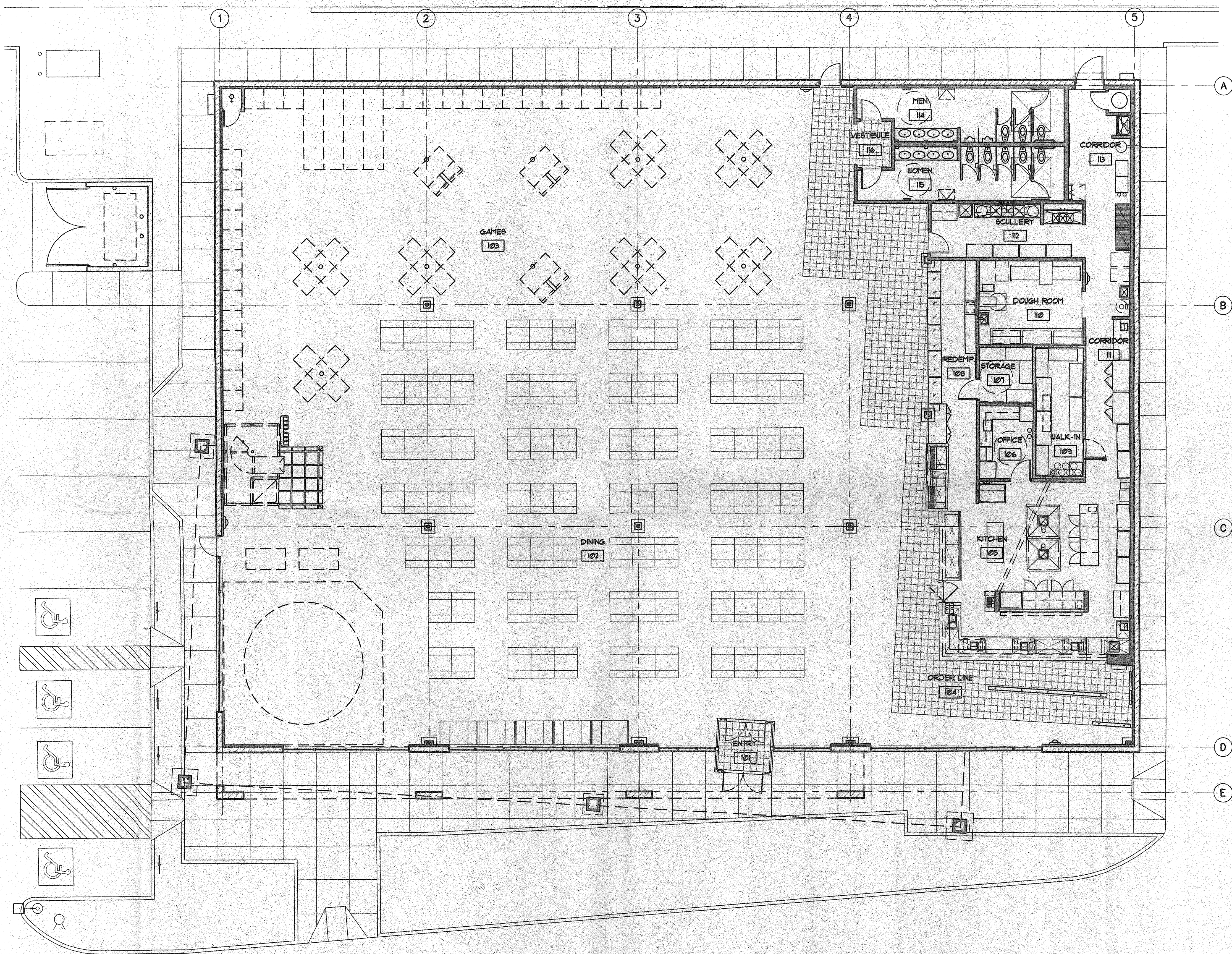
JOB NO: 98996/01  
PROJECT MGR: VINCE DALKE  
DRAWN BY: R.O.  
CHECKED BY: JERE PLANCK  
NO. REVISION DATE  
DRB COMMENTS 10-2-98

THESE DRAWINGS ARE NOT FOR CONSTRUCTION UNTIL ALL ITEMS ARE INITIALED AND DATED  
SUBMITTED TO CITY: R.O. 12/1/98  
ISSUED FOR BIDDING: FROM COORDINATION & APPROVAL HAS NOT BEEN COMPLETED  
CITY APPROVAL:  
ISSUED FOR CONST. O.C. SHALL REVISION BID TO OWNER WITHIN 3 WORKING DAYS OR O.C. ASSUMES ALL CHANGES

SHEET TITLE: SITE DETAILS  
PLOT DATE: 7-21-98  
FILE REFERENCE: DRB-2.DWG

JERE W. PLANCK  
NO. 2819  
REGISTERED ARCHITECT

D-2



**ARCHICON, L.C.**  
 Architecture & Interiors  
 4520 N. 12th STREET  
 PHOENIX, ARIZONA 85014  
 (602) 222-1056  
 FAX (602) 275-4886

**PETER PIPER PIZZA**  
 N.E. CORNER PASEO DEL NORTE AND SAN PEDRO DR.  
 6301 N.E. PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO 87113

JOB NO: 9898601  
 PROJECT MGR: VINCE DALKE  
 DRAWN BY: R.O.  
 CHECKED BY: JERE PLANCK

NO.	REVISION	DATE

THESE DRAWINGS ARE NOT FOR CONSTRUCTION UNTIL ALL ITEMS ARE INITIALED AND DATED

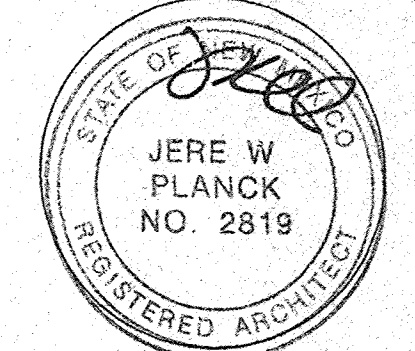
INITIAL	DATE
SUBMITTED TO CITY	RO 12.1.98
ISSUED FOR BIDDING	
ISSUED FOR CONST.	

FINAL COORDINATION & APPROVAL HAS NOT BEEN COMPLETED  
CITY APPROVAL  
ISSUED FOR CONST. IS SUBJECT TO THE CITY ENGINEER'S REVIEW. NO WORKING DAYS OR G.C. ASSUMES ALL CHANGES.

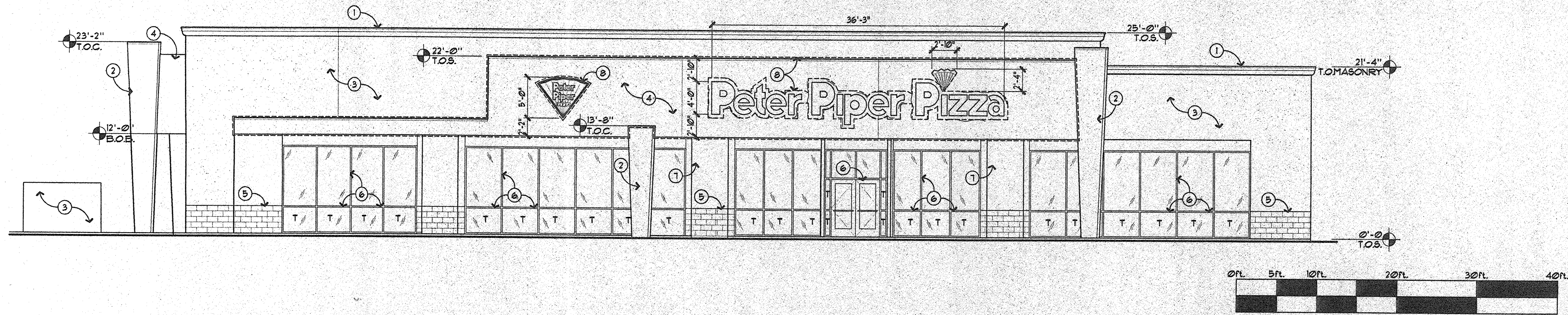
SHEET TITLE:  
 FLOOR PLAN

PLOT DATE: 7-27-98

FILE REFERENCE:  
 DRB-3.DWG

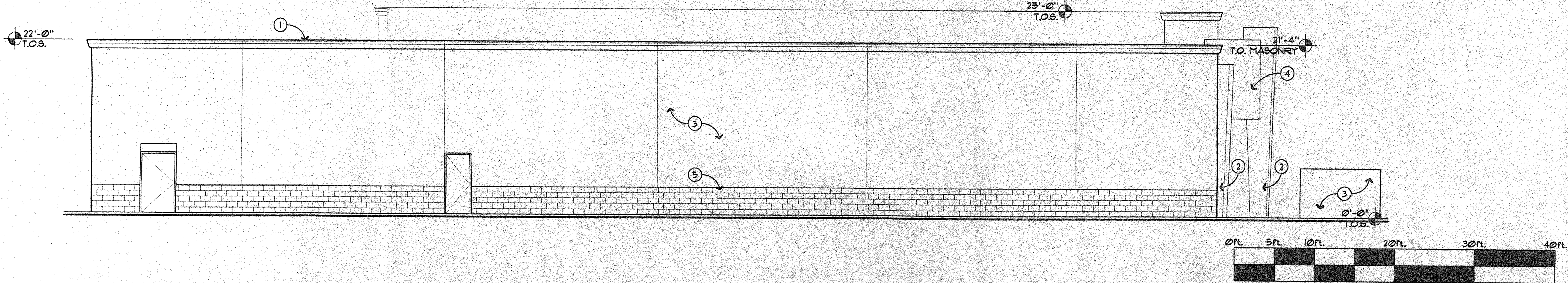


**D-3**



1 SOUTH ELEVATION

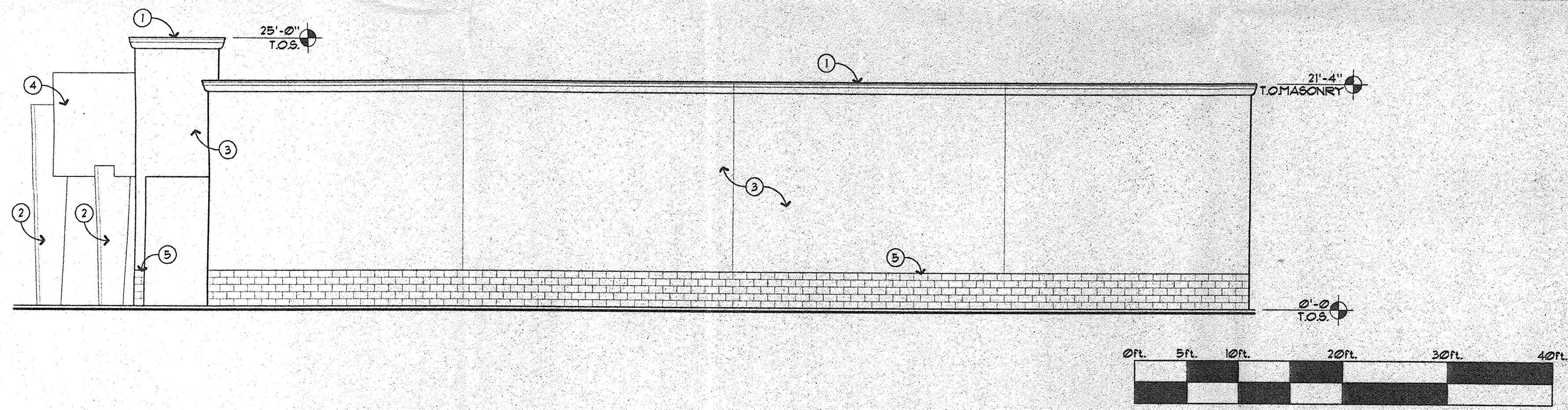
SCALE: 1/8" = 1'-0"



7 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

12 KEYNOTES

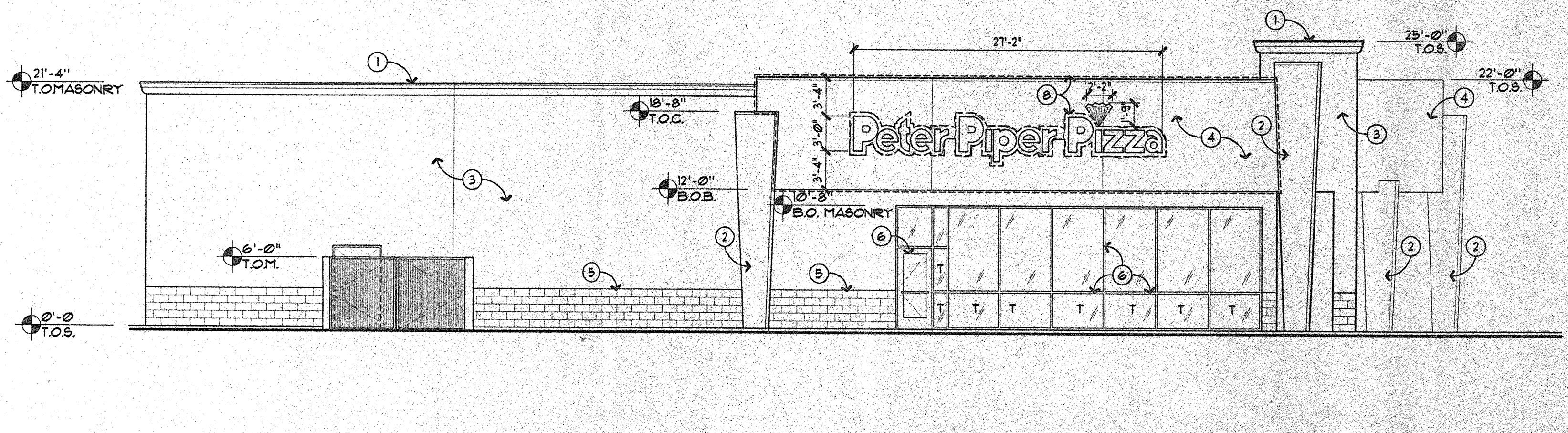


13 EAST ELEVATION

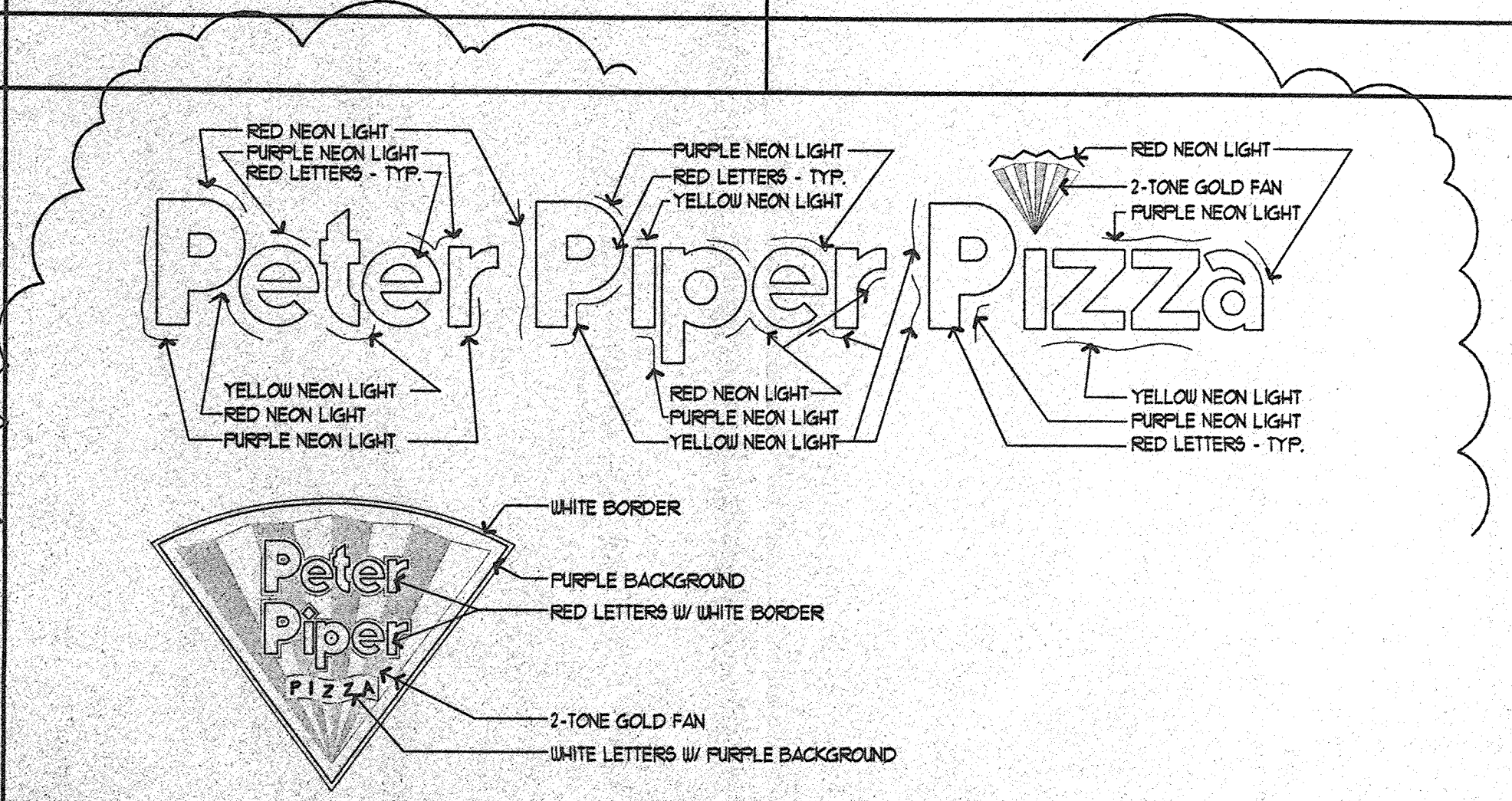
SCALE: 1/8" = 1'-0"

**SOUTH ELEVATION:**  
 FACADE FACING PASEO DEL NORTE (PRINCIPAL ARTERIAL)  
 SIGNAGE AREA = 153 SQ. FT.  
 FACADE AREA = 164 SQ. FT.  
 SIGNAGE / FACADE = 0.20 = 20.0 %  
 MAX. SIGNAGE/FACADE PERCENTAGE ALLOWED = 20%  
 20.0% EQUAL TO 20% - OK

**WEST ELEVATION:**  
 FACADE FACING SAN PEDRO DRIVE (COLLECTOR)  
 SIGNAGE AREA = 83 SQ. FT.  
 FACADE AREA = 430 SQ. FT.  
 SIGNAGE / FACADE = 0.20 = 20.0 %  
 MAX. SIGNAGE/FACADE PERCENTAGE ALLOWED = 20%  
 20.0% EQUAL TO 20% - OK



19 WEST ELEVATION



23 BUILDING SIGNAGE COLORS

NOT TO SCALE

- 1 ACCENT COLOR AT TOP CORNICE.
- 2 TEAL COLUMNS - TYPICAL.
- 3 SAND COLOR STUCCO - TYPICAL.
- 4 YELLOW SIGN FACE.
- 5 BROWN TONE ACCENT BLOCK BASE
- 6 RED WINDOW MULLIONS AND RED DOOR & FRAMES.
- 7 CORPORATE GRAPHICS.
- 8 SIGNAGE AREA SEE SIGNAGE TABLE IT / D-4

**ARCHICON, L.C.**  
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 PHOENIX, ARIZONA 85014  
 (602) 272-4066  
 FAX (602) 272-4068

**PETER PIPER PIZZA**  
 N.E. CORNER PASEO DEL NORTE AND SAN PEDRO DR.  
 6301 N.E. PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO 87113

JOB NO: 9898601  
 PROJECT MGR: VINCE DALKE  
 DRAWN BY: RO.  
 CHECKED BY: JERE PLANCK  
 NO. REVISION DATE

1	DRB COMMENTS	10-2-98

THESE DRAWINGS ARE "NOT FOR CONSTRUCTION" UNTIL ALL ITEMS ARE INITIALED AND DATED

INITIAL	DATE
RO	12-1-98

SUBMITTED TO CITY FOR BIDDING FINE COORDINATION & APPROVAL HAS NOT BEEN COMPLETED

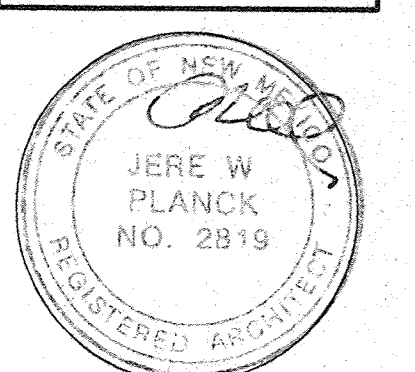
CITY APPROVAL

ISSUED FOR CONST. C.C. SHALL REVEAL BID TO OWNER WITHIN 4 WORKING DAYS OR C.C. ISSUES ALL CHANGES

SHEET TITLE:  
 EXTERIOR ELEVATIONS AND KEYNOTES

PLOT DATE: 1-21-99

FILE REFERENCE:  
 DRB-4DUG



**D-4**

LEGEND

- TC TOP OF CONCRETE
- TA TOP OF ASPHALTIC CONCRETE
- FL FLOWLINE
- TSW TOP OF SIDEWALK
- INV INVERT
- TG TOP OF GRATE
- High Point

- + 38.10 EXISTING SPOT ELEV
- 38.55 PROPOSED SPOT ELEV.
- 5241' EXISTING CONTOUR
- 31' PROPOSED CONTOUR
- FUTURE CONSTRUCTION/CONSTRUCTION IN PROGRESS
- FLOWLINE
- RETAINING WALL
- (TC34.68) TOP OF CURB PROPOSED BY PROJECT NO. 4083.90

**PROJECT BENCHMARK**  
 ACS CONTROL MONUMENT "9-C18", A STANDARD ACS ALUMINUM CAP STAMPED "9-C18 1985", RIVETED TO A 2 1/2" ALUMINUM TUBE WITH THE CAP PROJECTING 0.081" ABOVE THE GROUND. LOCATED AT THE SOUTHWEST INTERSECTION OF WILSHIRE AVENUE N.E. AND SAN PEDRO AVENUE N.E.  
 ELEVATION = 5229.79 FEET (M.S.L.D.)

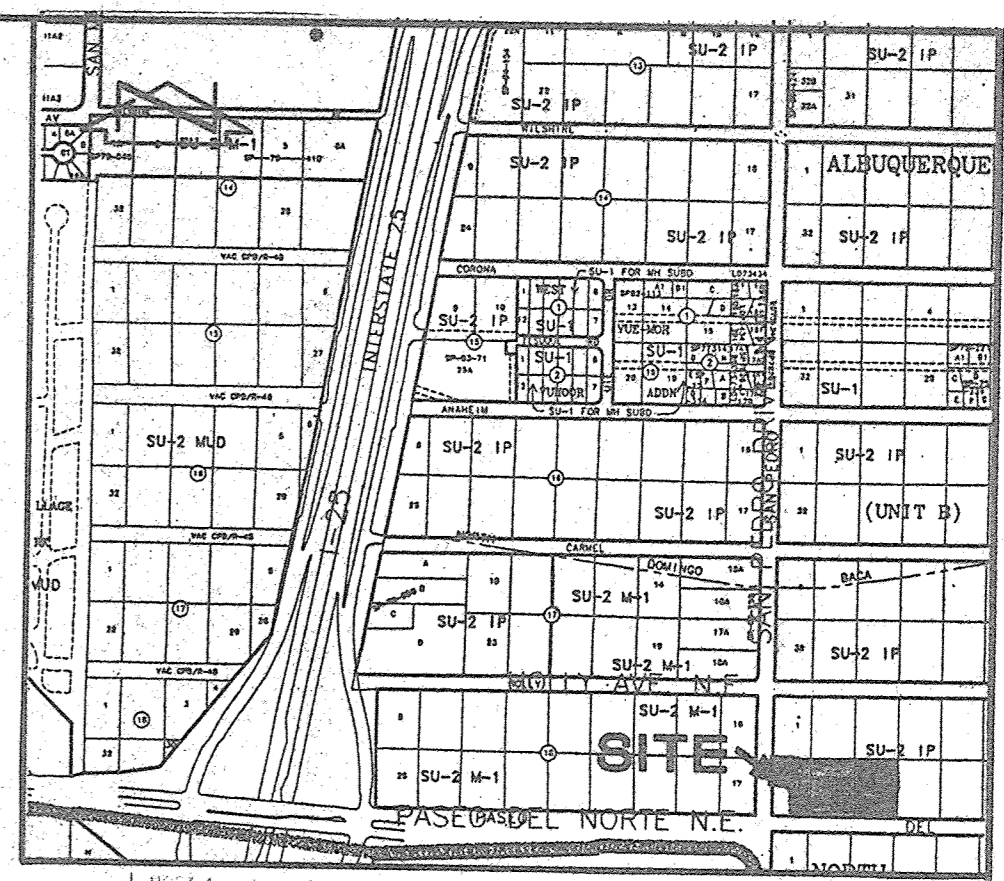
**T.B.M.**  
 FOUND REBAR WITH CAP STAMPED "BREWSTER 10855" AS SHOWN ON DRAWING.  
 ELEVATION = 5245.21 FEET (M.S.L.D.)

**LEGAL DESCRIPTION**  
 REMAINING PORTIONS OF LOTS 30, 31, AND 32 BLOCK 35, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, AS SHOWN ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936, BOOK D, PAGE 30.

A BOUNDARY AND TOPOGRAPHIC SURVEY WAS CONDUCTED BY JEFF MORTENSEN & ASSOCIATES, INC. DATED 3-31-98

OFFSITE GRADING APPROVAL: \_\_\_\_\_  
 OWNER, LOT 1-A, BLOCK 35 DATE \_\_\_\_\_

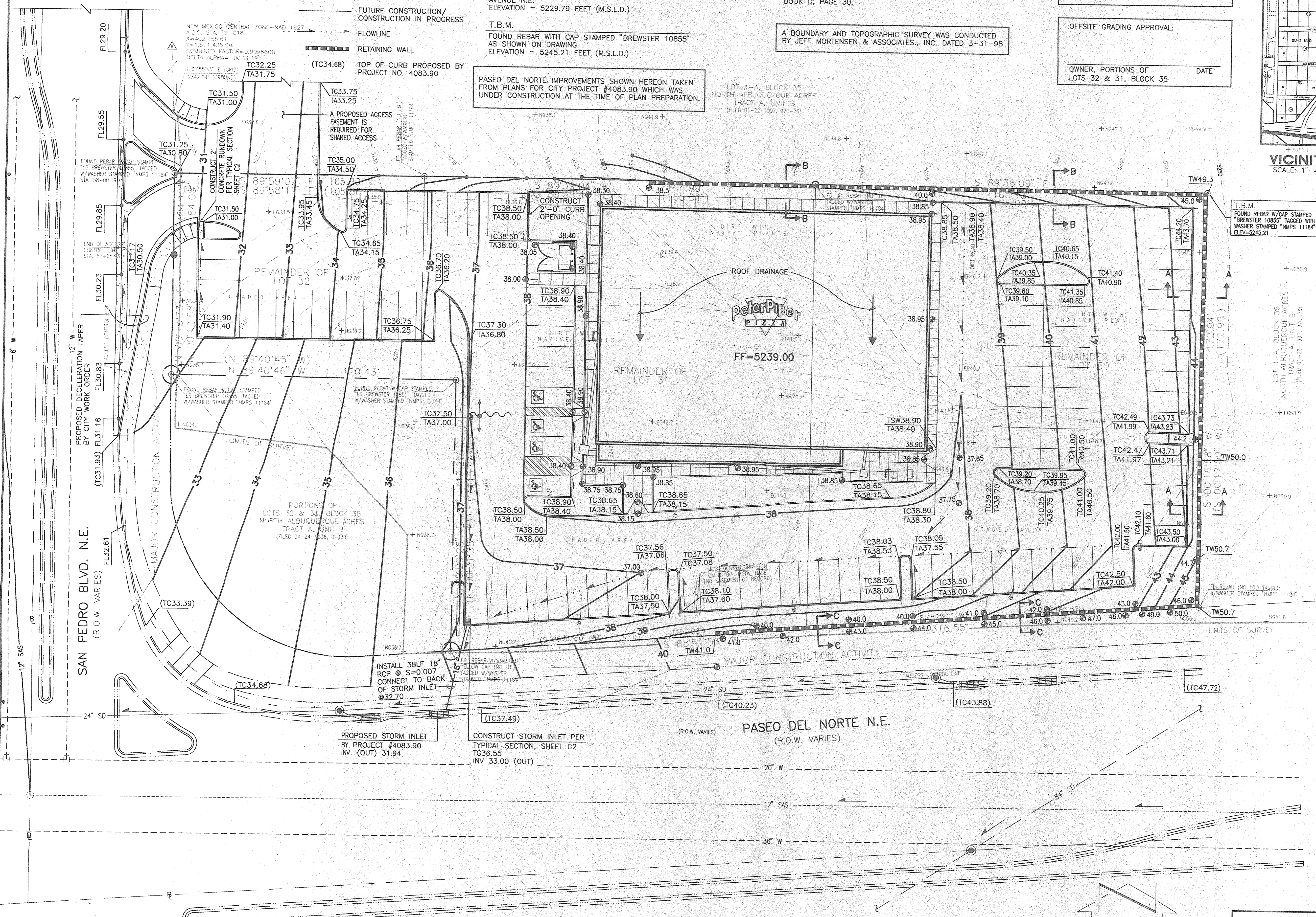
OFFSITE GRADING APPROVAL: \_\_\_\_\_  
 OWNER, PORTIONS OF LOTS 32 & 31, BLOCK 35 DATE \_\_\_\_\_



VICINITY MAP  
 SCALE: 1" = 750'  
 C-18

**ARCHICON, L.C.**  
 Architecture & Interiors  
 4500 N. 10TH STREET  
 PHOENIX, ARIZONA 85014  
 (602) 272-4686  
 FAX (602) 279-4686

**PETER PIPER PIZZA**  
 PASEO DEL NORTE AND SAN PEDRO DRIVE  
 ALBUQUERQUE, NM



T.B.M.  
 FOUND REBAR W/CAP STAMPED "BREWSTER 10855" TAGGED WITH W/ASHER STAMPED "NMP5 11184" ELEV=5245.21

LOT 1-A, BLOCK 35  
 NORTH ALBUQUERQUE ACRES  
 TRACT A, UNIT B  
 (FILED 07-25-09, P. 30-35)

T.B. REBAR (NO ID) TAGGED  
 W/ASHER STAMPED "NMP5 11184"

JMA JOB NO: 980135  
 DESIGNED BY: G.M.  
 DRAWN BY: D.L.M.  
 CHECKED BY: J.M.  
 NO. REVISION DATE


THESE DRAWINGS ARE "NOT FOR CONSTRUCTION" UNTIL ALL ITEMS ARE INITIALED AND DATED

	INITIAL	DATE

SUBMITTED TO CITY ISSUED FOR BIDDING  
 FINAL COORDINATION BY APPROVAL HAS NOT BEEN COMPLETED

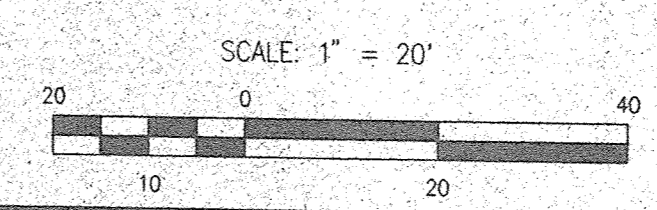
CITY APPROVAL  
 ISSUED FOR CONST. E.C. SHALL REVERSE BID TO OWNER WITHIN 7 WORKING DAYS OR E.C. ASSUMES ALL CHANGES

SHEET TITLE:  
 GRADING PLAN

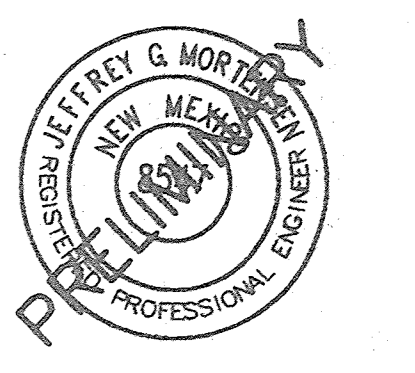
PLOT DATE: 4-98

FILE REFERENCE:

980135



**Jma**  
 JEFF MORTENSEN & ASSOCIATES, INC.  
 6000-B MIDWAY PARK BLVD. NE  
 ALBUQUERQUE, NM 87109  
 ENGINEERS & SURVEYORS, CORP. 345-4250



**C-1**

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA) 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES:

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
- ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

APPROVALS	NAME	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

DRAINAGE PLAN

The following items concerning the Peter Piper Pizza Drainage Plan are contained hereon:

- Vicinity Map
- Drainage Basin Map
- Grading Plan
- Calculations
- Sections
- Paseo del Norte Improvements (currently under construction)

As shown by the Vicinity Map, the site is located at the northeast corner of Paseo del Norte N.E. and San Pedro Boulevard N.E. The site is currently undeveloped. Utility relocations and paving and storm drainage improvements were in progress at the time of this plan preparation. These improvements are part of the "Paseo del Norte from 1-25 to 500 Feet East of Wyoming" project, City of Albuquerque Project No. 4083.90. The offsite improvements shown on the Grading Plan are as shown in the Construction Plans for that project.

As shown by FIRM Panel 137 of 825 published by the National Flood Insurance Program for Bernalillo County, New Mexico, and incorporated Areas, dated September 20, 1996, this site does not lie within a designated flood hazard zone.

As previously stated, the site is currently undeveloped. As shown by the Drainage Basin Map, and by the Offsite Basin Calculations, offsite flows in the amount of 3.0 cfs enter the site from the east. The proposed grading will not block undeveloped offsite flows. These flows will be accepted and passed through the site in the interim condition until the site to the east is developed, upon which those flows should be directed to public right-of-way.

The Grading Plan shows: 1) existing and proposed grades indicated by spot elevations and contours at 1'0" intervals, 2) the limit and character of the existing improvements, 3) the limit and character of the proposed improvements, 4) the limit and character of the proposed Paseo del Norte and San Pedro Improvements as shown on the Plans for City Project No. 4083.90, 5) continuity between existing and proposed grades, and 6) continuity between proposed grades and proposed Paseo del Norte and San Pedro Improvements. As shown on the Plan, the proposed improvements consist of a new building with associated paving and landscaping improvements.

As shown by the Drainage Basin Map, the site drains from east to west to San Pedro Boulevard N.E. In the proposed condition, the site will discharge to the public storm drain being constructed by Project No. 4083.90. The majority of the site will drain to the southwest corner of the parking lot and directly into a proposed public storm inlet within Paseo del Norte. The remainder of the site will discharge to San Pedro via the private entrance where it will flow north approximately 140 feet to a proposed public storm inlet. Both of these inlets are part of the new storm drain currently being constructed. The C.L.O.M.R. for the Paseo Del Norte Storm Drains and Related Facilities prepared by R.T.I., Inc. (Case No. 97-06-141R) indicates that this storm drain is sized to accept fully developed runoff for the 100-year, 24-hour storm within the Paseo del Norte Watershed. Free discharge, therefore, is justified from this site.

The Calculations which appear hereon analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The Procedure for 40-acre and Smaller Basins, as set forth in the Revision of Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, dated January, 1993, has been used to quantify the peak rate of discharge and volume of runoff generated. As shown by these calculations, the proposed improvements will increase the runoff generated by this site. This runoff will be directed to a proposed storm drain which is currently under construction. Site runoff will enter this storm drain via storm inlet connection and via surface runoff carried within San Pedro Boulevard N.E. The free discharge from this site is appropriate as the proposed storm drain has been sized for free discharge.

CALCULATIONS

SITE CHARACTERISTICS

- PRECIPITATION ZONE = 3
- $P_{6,100} = P_{360} = 2.60$  IN.
- TOTAL AREA ( $A_T$ ) = 68,670 SF/1.58 AC
- EXISTING LAND TREATMENT TREATMENT AREA (SF/AC) %  

A	35,370/0.81	52
C	33,300/0.76	48
- DEVELOPED LAND TREATMENT TREATMENT AREA (SF/AC) %  

B	13,170/0.30	19
D	55,500/1.27	81

EXISTING CONDITION VOLUME

$$E_w = (E_{A^A} + E_{B^B} + E_{C^C} + E_{D^D}) / A_T$$

$$E_w = [(0.66)(0.81) + (1.29)(0.76)] / 1.57 = 0.96 \text{ IN.}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (0.96 / 12)(68,670) = 5,490 \text{ CF.}$$

2. PEAK DISCHARGE

$$Q_p = Q_{PA^A} + Q_{PB^B} + Q_{PC^C} + Q_{PD^D}$$

$$Q_p = Q_{100} = (1.87)(0.81) + (3.45)(0.76) = 4.1 \text{ CFS}$$

DEVELOPED CONDITION VOLUME

$$E_w = (E_{A^A} + E_{B^B} + E_{C^C} + E_{D^D}) / A_T$$

$$E_w = [(0.92)(0.30) + (2.36)(1.27)] / (1.57) = 2.08 \text{ IN.}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (2.08 / 12)(68,670) = 11,900 \text{ CF.}$$

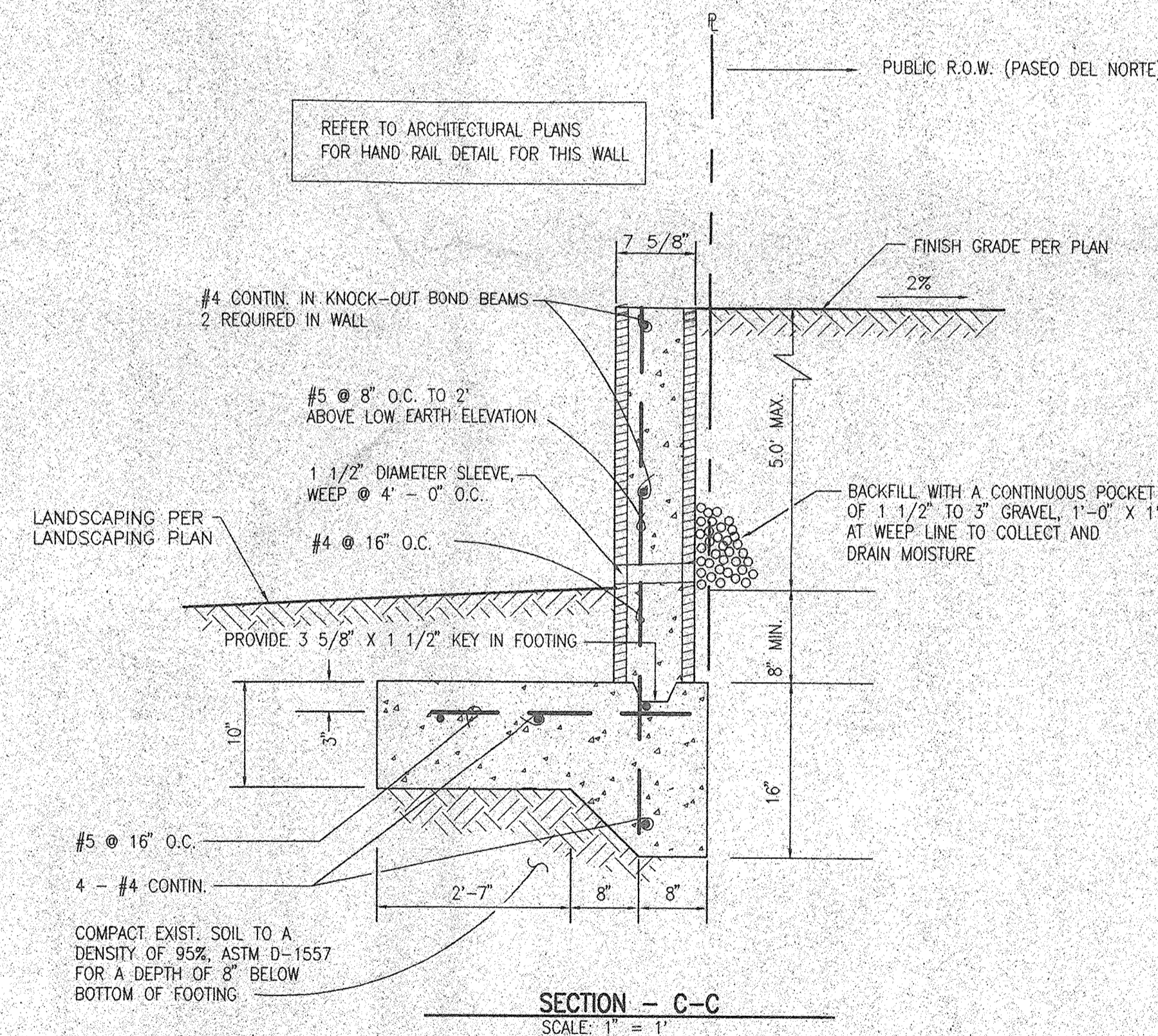
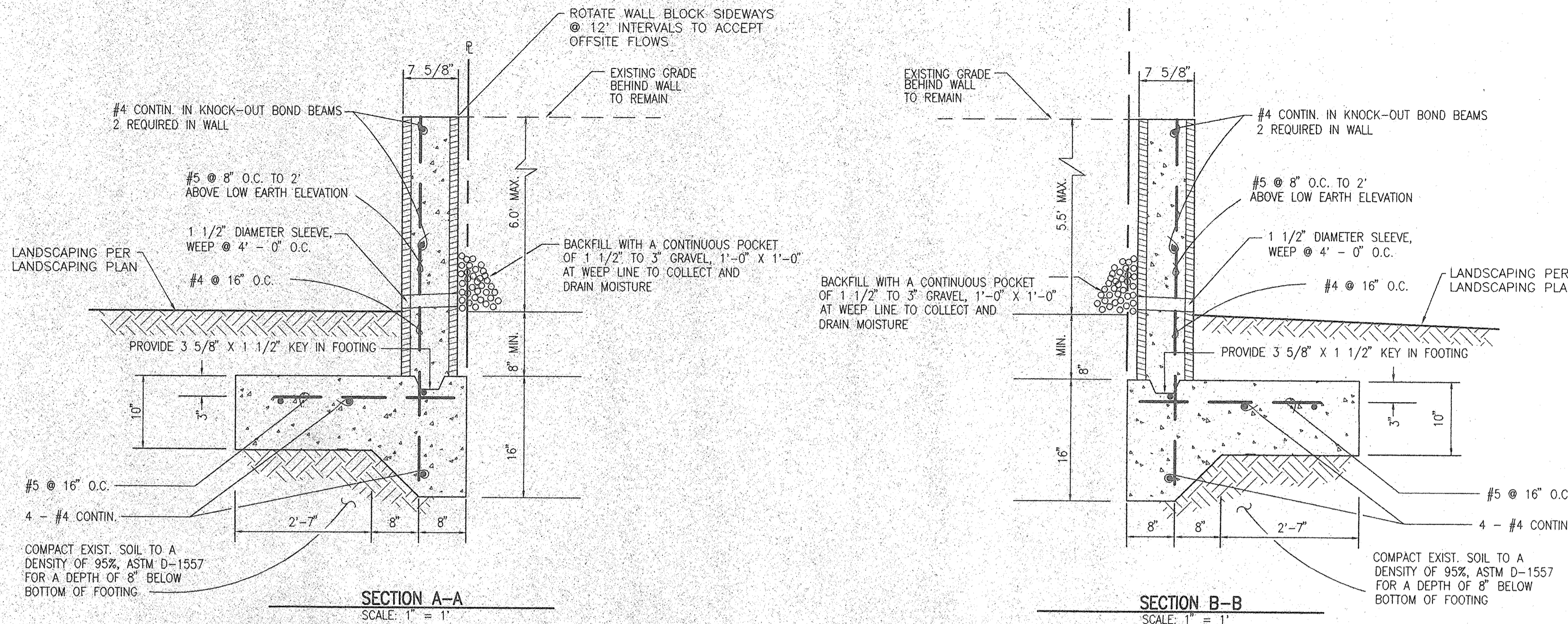
2. PEAK DISCHARGE

$$Q_p = Q_{PA^A} + Q_{PB^B} + Q_{PC^C} + Q_{PD^D}$$

$$Q_p = Q_{100} = (2.60)(0.30) + (5.02)(1.27) = 7.2 \text{ CFS}$$

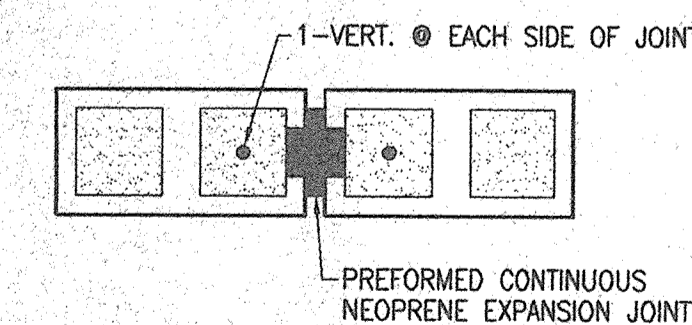
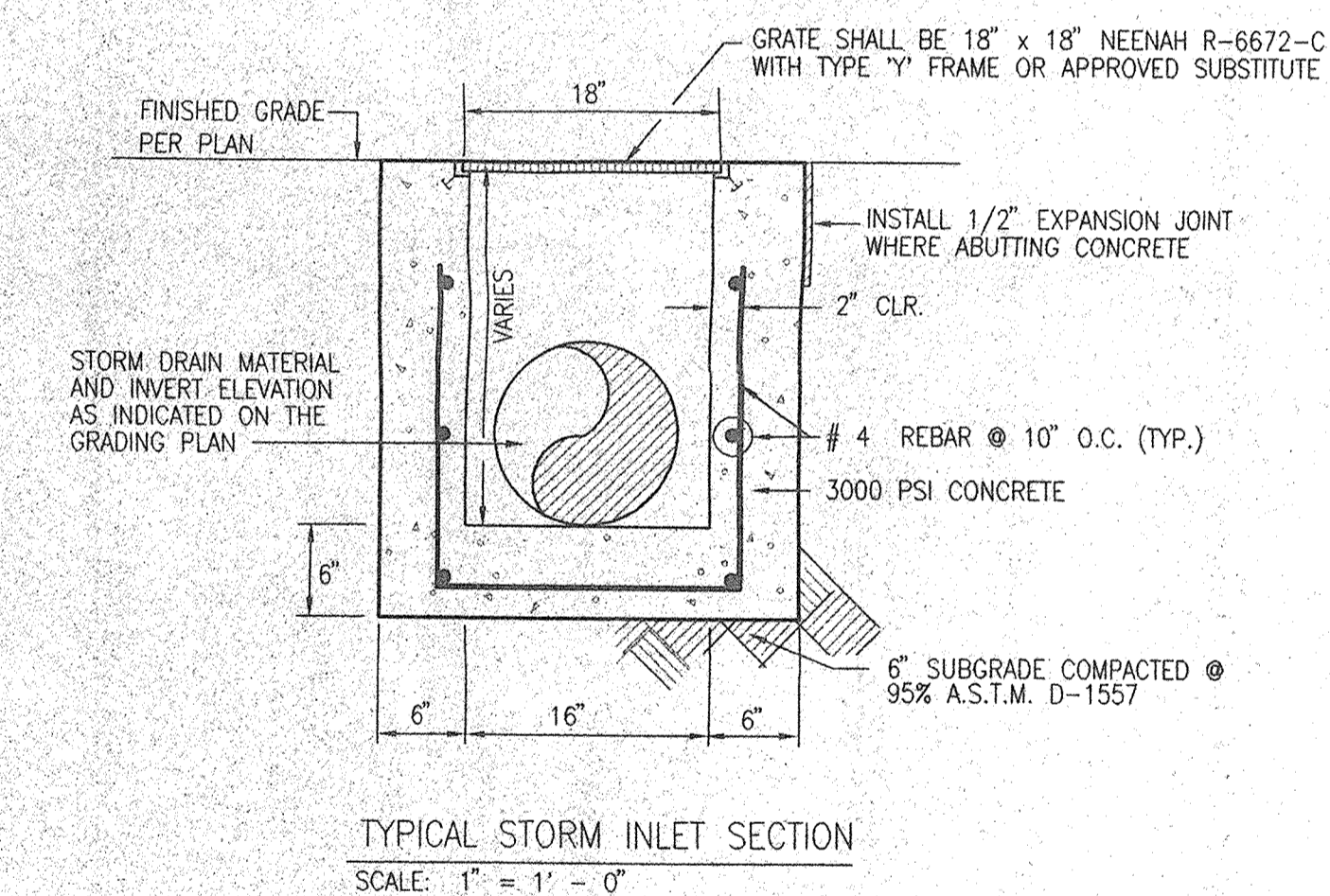
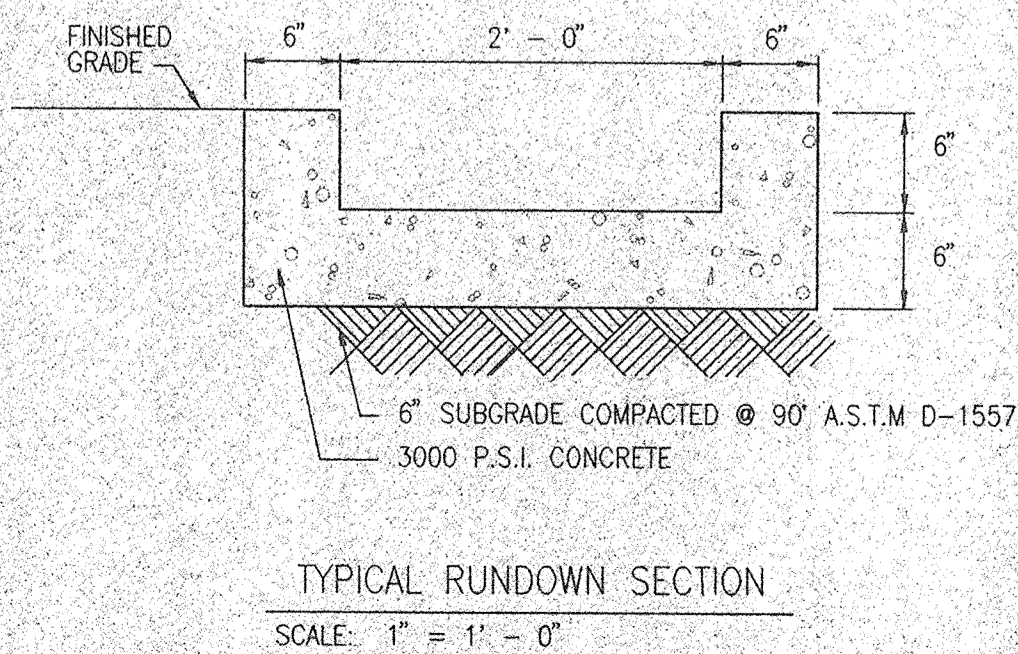
COMPARISON

- $\Delta V_{100} = 11,900 - 5,490 = 6,410 \text{ CF (INCREASE)}$
  - $\Delta Q_{100} = 7.2 - 4.1 = 3.1 \text{ CFS (INCREASE)}$
- OFFSITE BASIN:  $1.61 \text{ AC TREATMENT A, } Q_{100} = (1.61)(1.87) = 3.0 \text{ CFS}$



RETAINING WALL NOTES:

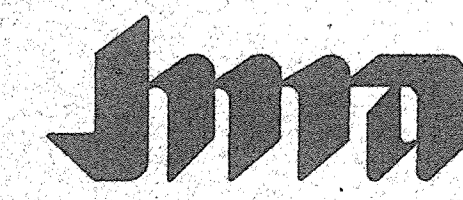
- 8" X 8" X 16" CMU OF UBC STD. 24-4 OR 24-5.
- USE KNOCK-OUT BOND BEAM BLOCK AT 4'-0" MAX. C.C., VERTICALLY, AND 1 #4 CONTINUOUS.
- FILL ALL BLOCK VOIDS WITH 3000 PSI CONCRETE.
- REINFORCING TO BE INTERMEDIATE GRADE STEEL.  $f_s = 20,000$  psi
- IN LIEU OF CONTINUOUS KNOCK-OUT BOND BEAMS, CONTRACTOR MAY INSTALL DUR-O-WALL REINFORCING EVERY SECOND COURSE.
- SPLICE SHALL BE 40 BAR DIA. MINIMUM FOR VERTICAL BARS. ALL OTHER SHALL BE 20 BAR DIA. MINIMUM.
- CONCRETE FILL SHALL BE 21 DAYS OLD PRIOR TO BACKFILLING.
- INSTALL MASONRY CONTROL JOINTS PER TYPICAL DETAIL AT UNIFORM SPACINGS OF 20' (MIN.) TO 24' (MAX.).



TYPICAL MASONRY CONTROL JOINT DETAIL

SCALE: 1" = 1' - 0"

980135



JEFF HORTENSEN & ASSOCIATES, INC.  
 6010-B MIDWAY PARK BLVD. N.E.  
 ALBUQUERQUE, N.M. 87109  
 ENGINEERS SURVEYORS 505/345-4250

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 Architecture & Interiors  
 4520 N. 12th STREET  
 PHOENIX, ARIZONA 85014  
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 FAX (602) 729-4096

PETER PIPER PIZZA  
 PASEO DEL NORTE AND SAN PEDRO DRIVE  
 ALBUQUERQUE, NM

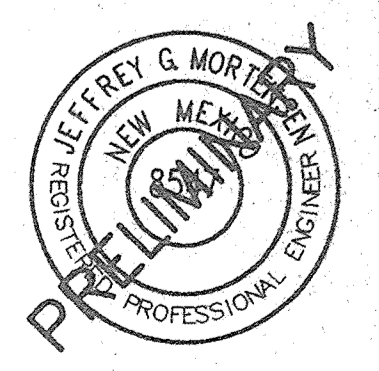
JMA JOB NO:	980135	
DESIGNED BY:	G.M.	
DRAWN BY:	D.L.M.	
CHECKED BY:	J.G.M.	
NO.	REVISION	DATE

THESE DRAWINGS ARE NOT FOR CONSTRUCTION UNTIL ALL ITEMS ARE INITIALED AND DATED

SUBMITTED TO CITY		INITIAL	DATE
ISSUED FOR PROVISIONAL PERMITS			
ISSUED FOR CONSTRUCTION PERMITS			

SHEET TITLE:  
 DRAINAGE PLAN  
 CALCULATIONS,  
 SECTIONS AND  
 DETAILS

PLOT DATE: 4-98  
 FILE REFERENCE:



JOB NO:	980036FP	
PROJECT MGR:	MACDONALD	
DRAWN BY:	MACDONALD	
CHECKED BY:	MACDONALD	
NO.	REVISION	DATE

THESE DRAWINGS ARE "NOT FOR CONSTRUCTION" UNTIL ALL ITEMS ARE INITIALED AND DATED	
INITIAL	DATE

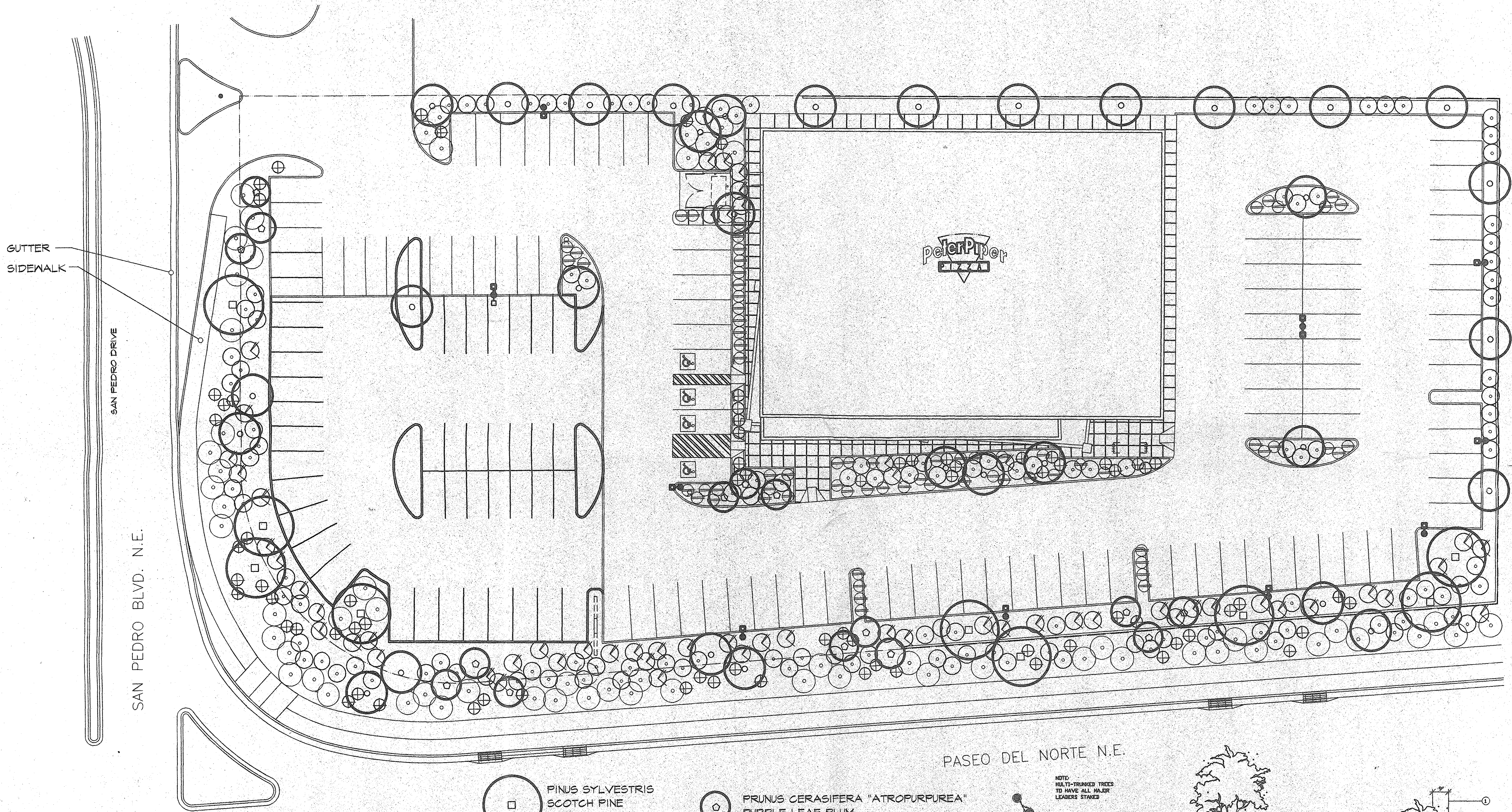
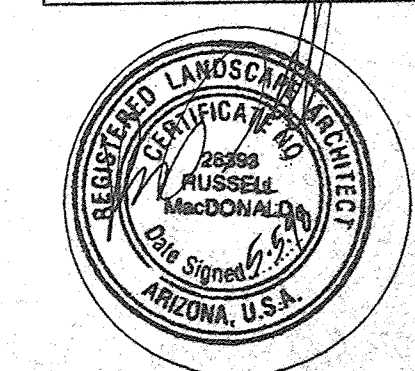
SUBMITTED TO CITY  
 ISSUED FOR BIDDING  
 FINAL COORDINATION &  
 APPROVAL HAS NOT  
 BEEN COMPLETED

CITY APPROVAL  
 ISSUED FOR CONST.  
 0.5" SHALL REVEAL 5'0"  
 TO OWNER WITHIN 5  
 WORKING DAYS OR 60  
 ASSUMES ALL CHANGES

SHEET TITLE:  
 PLANTING

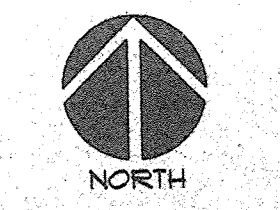
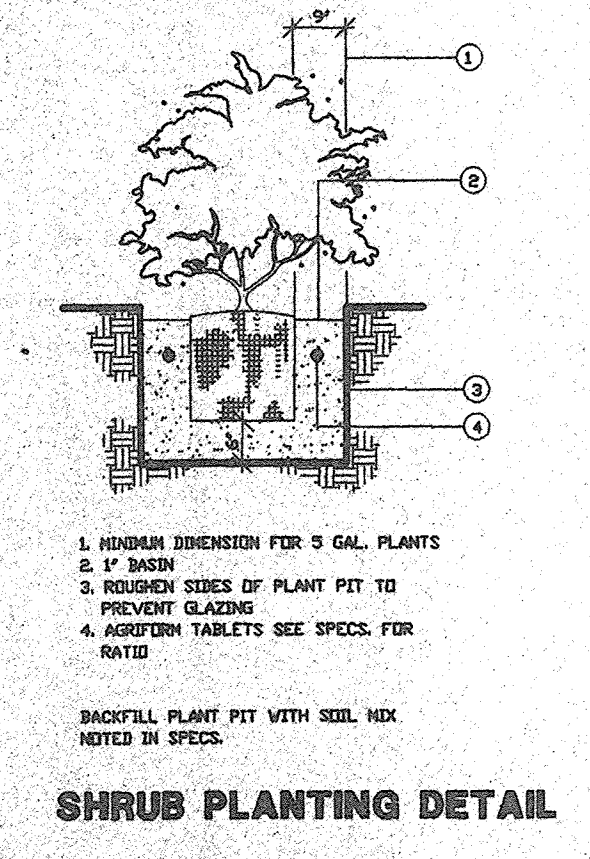
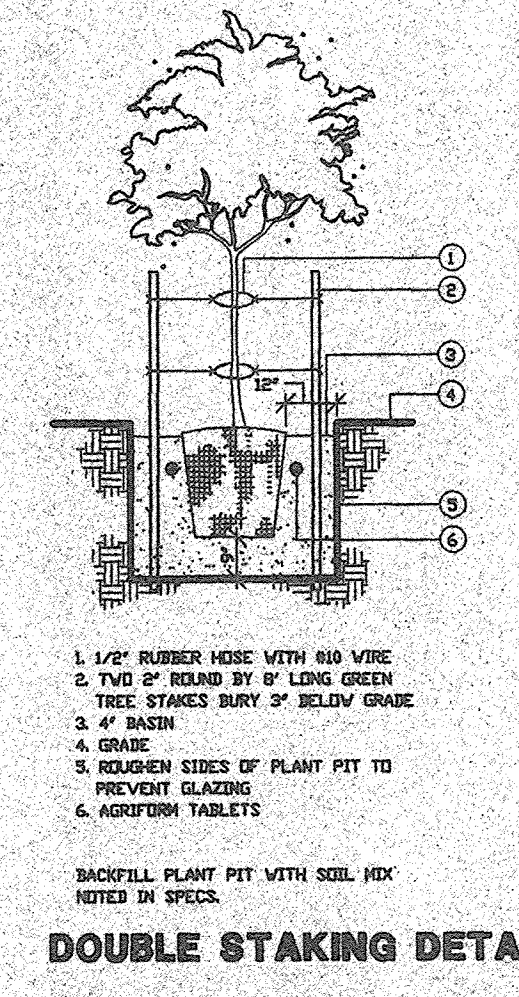
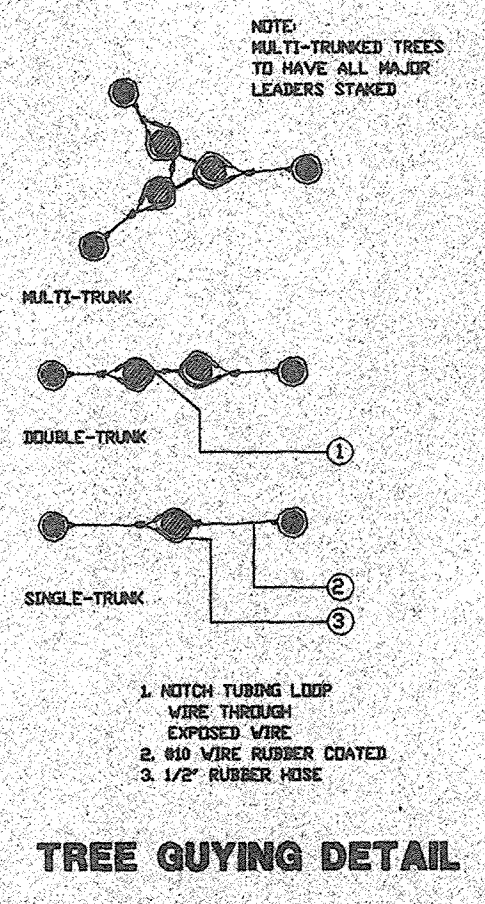
PLOT DATE: 5.5.98

FILE REFERENCE:



**LANDSCAPE NOTES:**  
 THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH CITY STANDARDS  
 ALL PLANTING AREAS WILL BE DECOMPOSED GRANITE  
 PROVIDE 4'x4' SQUARE OF 6" TO 8" DIA. ROCK UNDER EACH SCUPPER

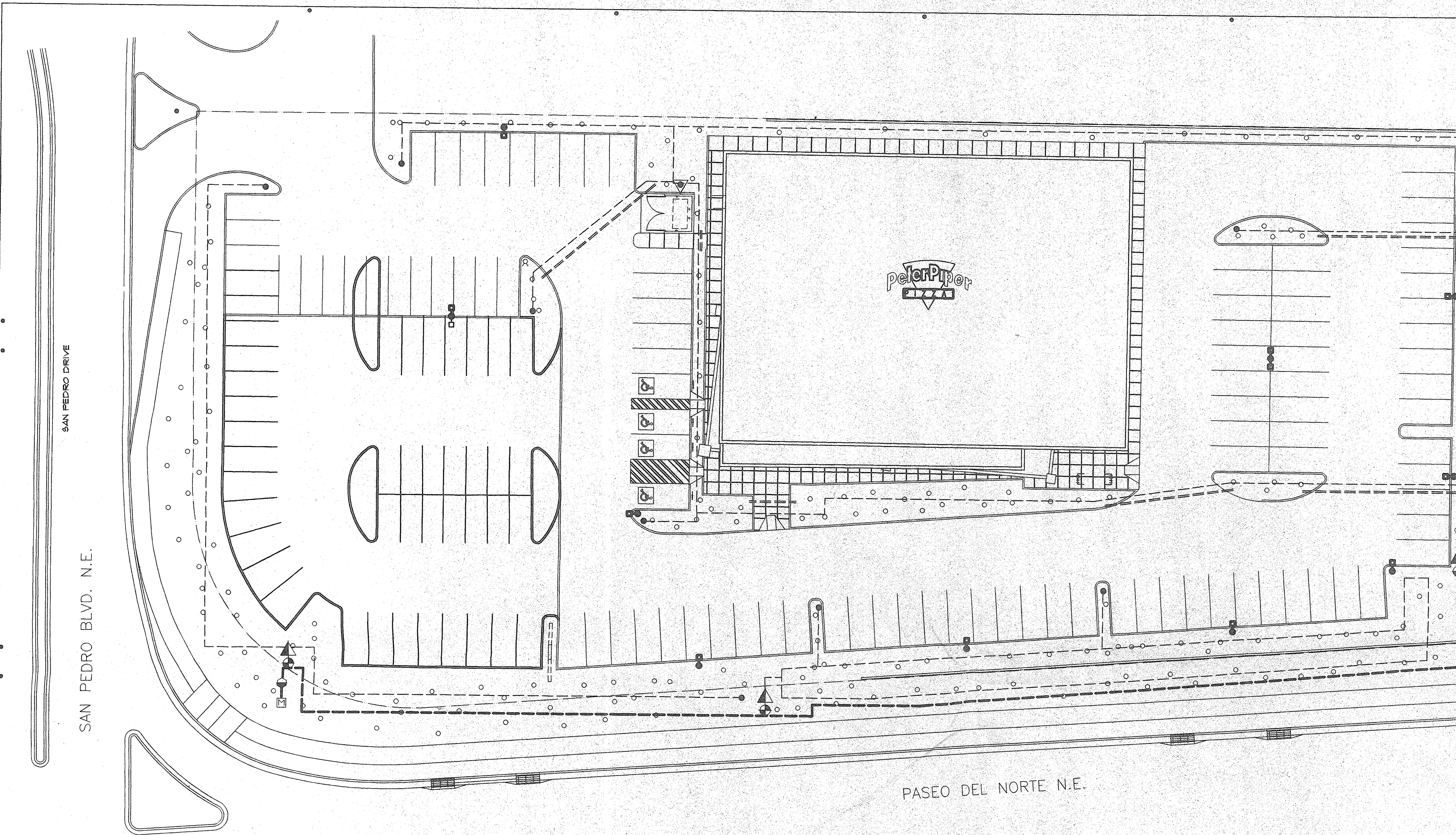
- PINUS SYLVESTRIS  
SCOTCH PINE  
15 GALLON
- GLEDITSIA TRIACANTHOS "INERMIS"  
HONEY LOCUST  
15 GALLON
- JUNIPERUS PFITZERANA "COMPACTA"  
"COMPACT" JUNIPER  
5 GALLON
- ⊗ CHAENOMELES "PINK LADY"  
"PINK LADY" CHAENOMELES  
5 GALLON
- ⊕ MUHLENBERGIA RIGENS  
DEER GRASS  
1 GALLON
- JUNIPERUS SABINA "BUFFALO"  
"BUFFALO" JUNIPER  
5 GALLON
- ⊙ PRUNUS CERASIFERA "ATROPURPUREA"  
PURPLE LEAF PLUM  
15 GALLON
- ⊖ LANTANA MONTEVIDENSIS  
PURPLE LANTANA  
1 GALLON



L1/2

SCALE: 1"=20'-0"

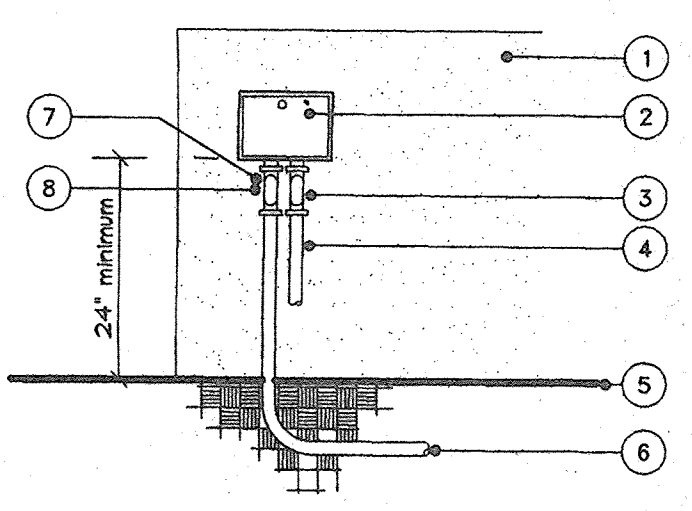




### IRRIGATION LEGEND

- FEBCO 825-YA-1" R.P. ASSY. (TIE INTO BLDG MAINLINE)(VERIFY EXACT LOCATION)
- ⊕ HARDIE 100-1" CONTROL VALVE
- ▶ SENNINGER FMR-MF PRESSURE REGULATOR W/ AG. PRODUCTS "Y" STRAINER
- ▲ IRRITROL MC PLUS 4 STATION CONTROLLER (POWER PER GENERAL CONTRACTOR)
- BOWSMITH ML-210 EMITTER
- BOWSMITH SL-210 EMITTER
- CLASS 200-1" MAINLINE
- CLASS 200-3/4" LATERAL LINE
- AG. PRODUCTS SELF FLUSHING ENDCAP
- SCH 40 PVC SLEEVE 4" AT MAINLINE 2" AT LATERAL LINE

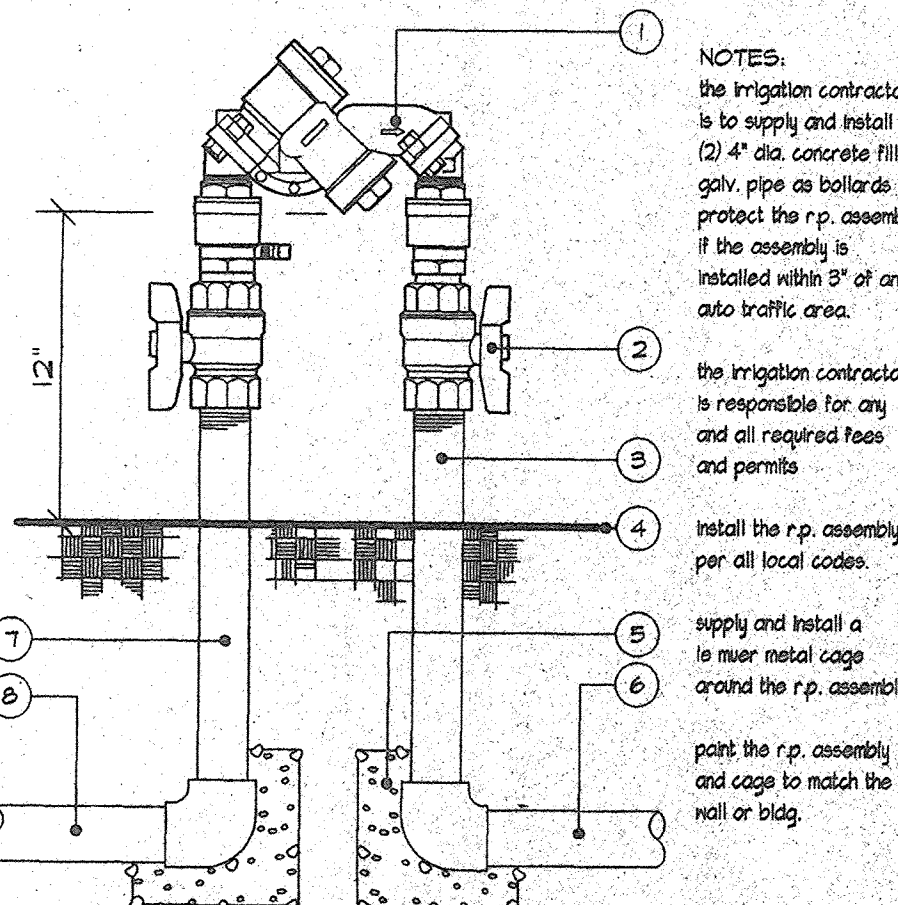
**NOTES:**  
 all wiring to be installed per local codes.  
 see controller manual for mounting instructions.  
 the irrigation contractor is to supply 2 keys, and instruction manual to the owner.



1. wall on building
2. wall mounted controller
3. 1" junction box
4. 120V power and ground source by general contractor unless otherwise noted
5. finish grade
6. steel conduit to 18" post sweep - direct burial wires to control valves
7. control wire connections
8. common wire connections

**CONTROLLER DETAIL**  
 WALL MOUNTED  
 NOT TO SCALE

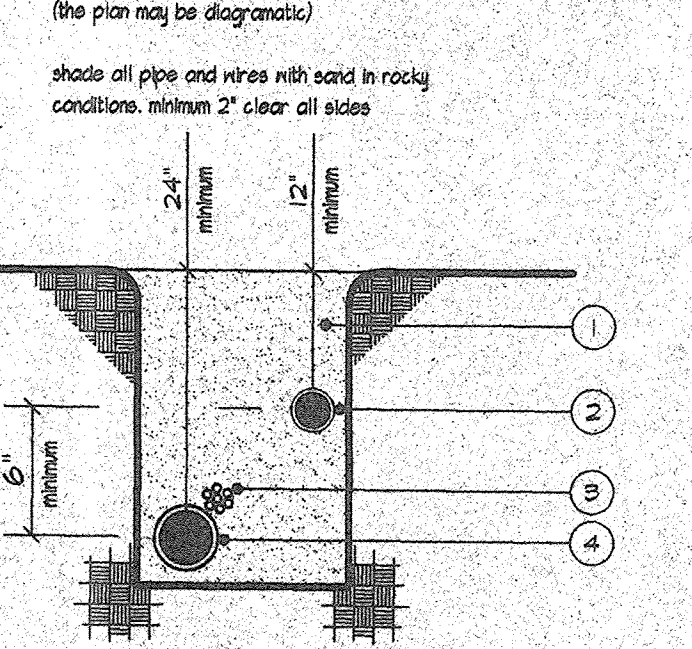
1. febco 825-YA (size per legend)  
 2. (2) misc bronze gate valves (same size as r.p.)  
 3. type "k" copper  
 4. finish grade  
 5. provide thrust blocks on all assemblies 2 1/2" and larger  
 6. adapt to pvc mainline  
 7. type "k" copper  
 8. adapt to water source



- NOTES:**  
 the irrigation contractor is to supply and install (2) 4" dia. concrete filled galv. pipe as bollards to protect the r.p. assembly if the assembly is installed within 5' of any auto traffic area.  
 the irrigation contractor is responsible for any and all required fees and permits.  
 install the r.p. assembly per all local codes.  
 supply and install a 1/2" min metal cage around the r.p. assembly.  
 paint the r.p. assembly and cage to match the wall or bldg.

**REDUCED PRESSURE PRINCIPLE ASSEMBLY**  
 NOT TO SCALE

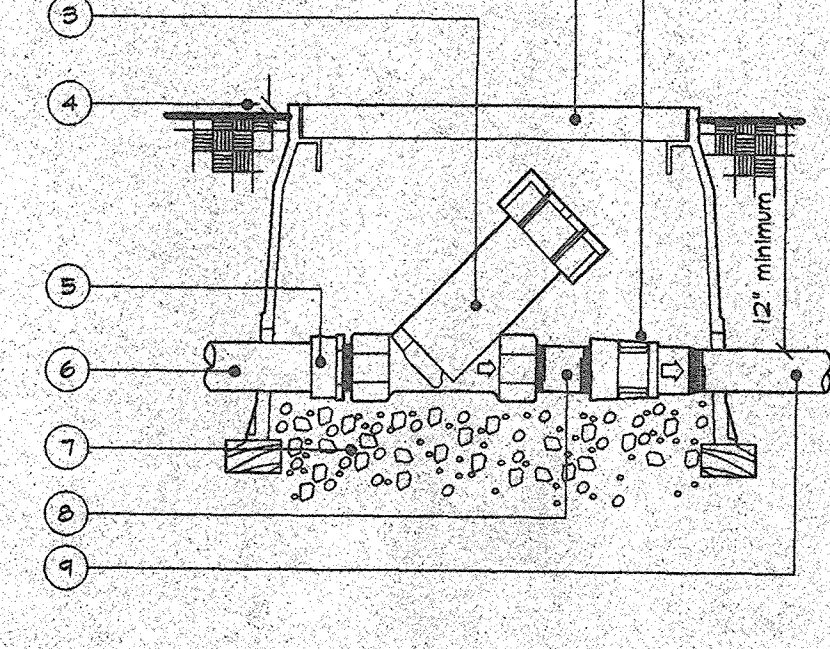
**NOTES:**  
 water settle and compact all trenches  
 all sleeves to be minimum of 24" deep  
 use common trenches when possible  
 run trenches parallel to buildings and walkways (the plan may be diagramatic)  
 shade all pipe and wires with sand in rocky conditions, minimum 2" clear all sides



1. clean backfill no rocks over 1/2" dia.
2. lateral line size per pipe schedule
3. controller wires tape to mainline 6" o.c.
4. machine size per plan

**TRENCHING DETAIL**  
 NOT TO SCALE

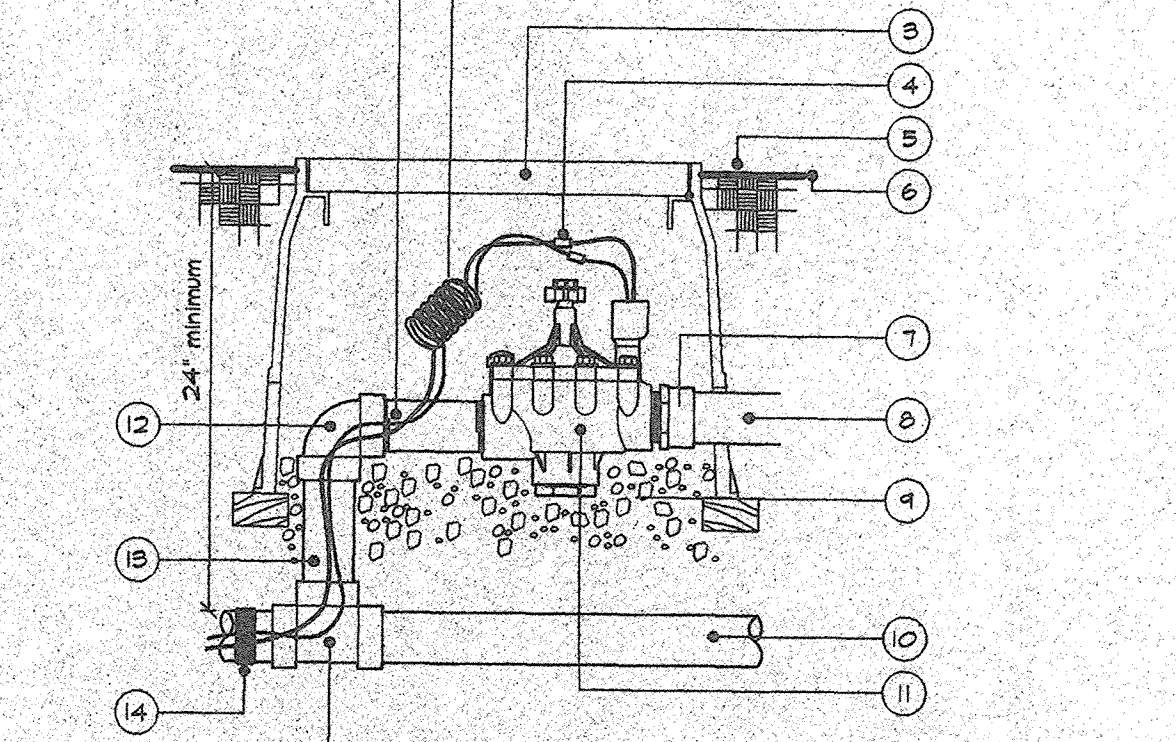
**NOTES:**  
 maximum 2 valves per valve box  
 with a soldering gun melt station no. in underside of valve box lid.



1. pressure regulator senninger pvc-ml unless noted
2. rectangular valve box with locking lid
3. 1/2" strainer agricultural products unless otherwise noted
4. 2" in granite areas
5. pvc male adapter
6. 1" pvc class 200 sub-main from valve
7. 6" depth of 3/8" pea-gravel
8. sch 80 pvc nipple 4" long
9. lateral line size per pipe schedule

**DRIP ASSEMBLY DETAIL**  
 NOT TO SCALE

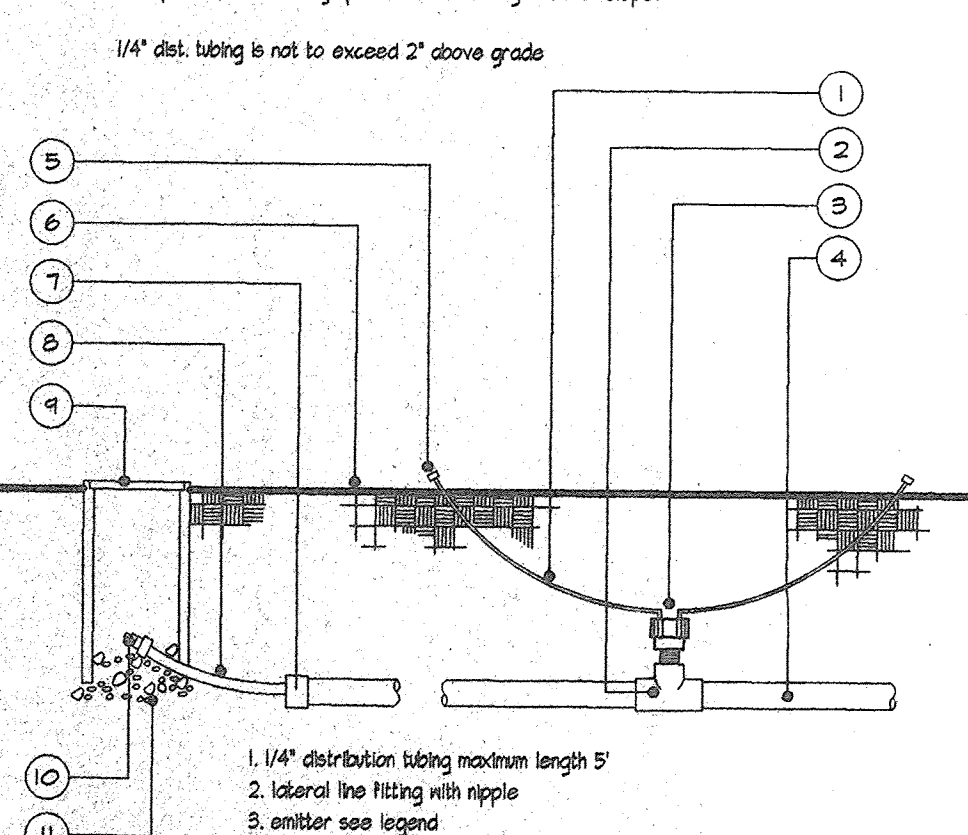
**NOTES:**  
 1. sch 80 pvc nipple 6" long  
 2. #4 control wire  
 3. rectangular plastic valve box with locking lid  
 4. epoxy wire connectors  
 5. 1" h bent areas, 2" in granite areas  
 6. finish grade  
 7. pvc male adapter  
 8. pvc lateral line (size per pipe schedule)



1. sch 80 pvc nipple 6" long
2. #4 control wire
3. rectangular plastic valve box with locking lid
4. epoxy wire connectors
5. 1" h bent areas, 2" in granite areas
6. finish grade
7. pvc male adapter
8. pvc lateral line (size per pipe schedule)
9. 6" depth 3/8" pea-gravel with 1" clearance between bottom of valve and top of pea-gravel
10. pvc mainline per plan
11. electric control valve
12. pvc elbow
13. sch 80 pvc
14. tape wired 6" o.c. to mainline
15. pvc mainline tee or elbow

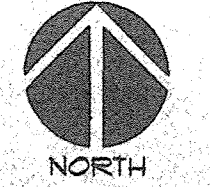
**CONTROL VALVE DETAIL**  
 NOT TO SCALE

**NOTES:**  
 in slope conditions always place emitter on high side of slope.  
 1/4" dist. tubing is not to exceed 2" above grade



1. 1/4" distribution tubing maximum length 5'
2. lateral line fitting with nipple
3. emitter see legend
4. pvc lateral line pipe size per pipe schedule
5. solid cap
6. finish grade
7. pvc to poly fitting
8. poly tubing 3' maximum length
9. 6" round valve box
10. self flanging end cap
11. 6" depth of 3/8" pea-gravel

**EMITTER DETAIL**  
 NOT TO SCALE



SCALE: 1"=20'-0"

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 4530 N. 12th Street  
 Phoenix, Arizona 85014  
 (602) 727-4286  
 FAX (602) 279-4086

PETER PIPER PIZZA  
 ALBUQUERQUE NEW MEXICO

JOB NO: 980036/FP  
 PROJECT MGR: MACDONALD  
 DRAWN BY: MACDONALD  
 CHECKED BY: MACDONALD

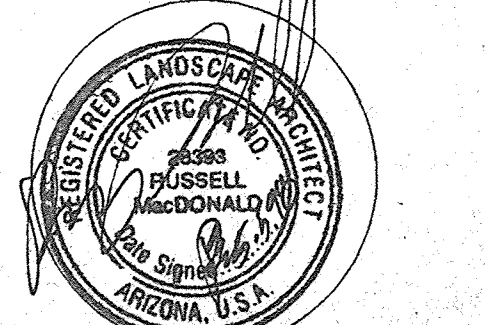
NO.	REVISION	DATE

THESE DRAWINGS ARE "NOT FOR CONSTRUCTION UNTIL ALL ITEMS ARE INITIALED AND DATED"

INITIAL	DATE

ISSUED FOR CONSTRUCTION  
 24" SHALL BE IN THE HANDS OF THE CONTRACTOR WITHIN 3 WORKING DAYS OF O.C. ASSUMES ALL CHANGES

SHEET TITLE: IRRIGATION  
 PLOT DATE: 5.5.98  
 FILE REFERENCE:



L2/2