

### 2 SITE DATA

EXISTING ALBERTSON'S	= 55,545 S.F.
KIOSK	= 70 S.F.
PAD A	= 5,500 S.F.
TOTAL BLDG. AREA	= 57,115 S.F.
TOTAL PARKING STALLS REQUIRED	= 286
TOTAL PARKING STALLS PROVIDED	= 317 (+31)
TOTAL HC STALLS REQUIRED	= 10
TOTAL HC STALLS PROVIDED	= 10 (+0)
<b>NO COMPACT STALLS USED</b>	
<b>ALL NEW PARKING STALLS 9' X 18'</b>	
TOTAL SITE AREA	= 7.0 A.C. +/-
	305,433 S.F. +/-
TOTAL INTERIOR LANDSCAPING	= 1.3 A.C. +/-
	55,188 S.F. +/-
	18.10%

**Express**  
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KENT A. HANWAY, ARCHITECT  
Central Station 200 N 6th Boise, Idaho 83702  
(208) 343-4635 Fax: (208) 343-8656

STORE# 0822-11AK  
ALBUQUERQUE, NM

SUBMITTAL DATES	
OWNER / EPC	00/00/00 / 12/1/98
CITY COUN./DRB	00/00/00 / 3/29/99
XXXX / DRB REVISION	00/00/00 / 00/00/00
REVISIONS	
7/10/99 DRB Rev. 1	

APPROVALS: DRB 95-192 EPC: Z-95-23-1	
<i>[Signature]</i> PLANNING DEPARTMENT	9/20/99 DATE
<i>[Signature]</i> AMATCA	7-28-99 DATE
<i>[Signature]</i> PARKS AND GENERAL SERVICES RECREATION	7-28-99 DATE
<i>[Signature]</i> TRAFFIC ENGINEERING	8-11-99 DATE
<i>[Signature]</i> CITY ENGINEER	7/20/99 DATE
<i>[Signature]</i> UTILITY DEVELOPMENT	8/10/99 DATE

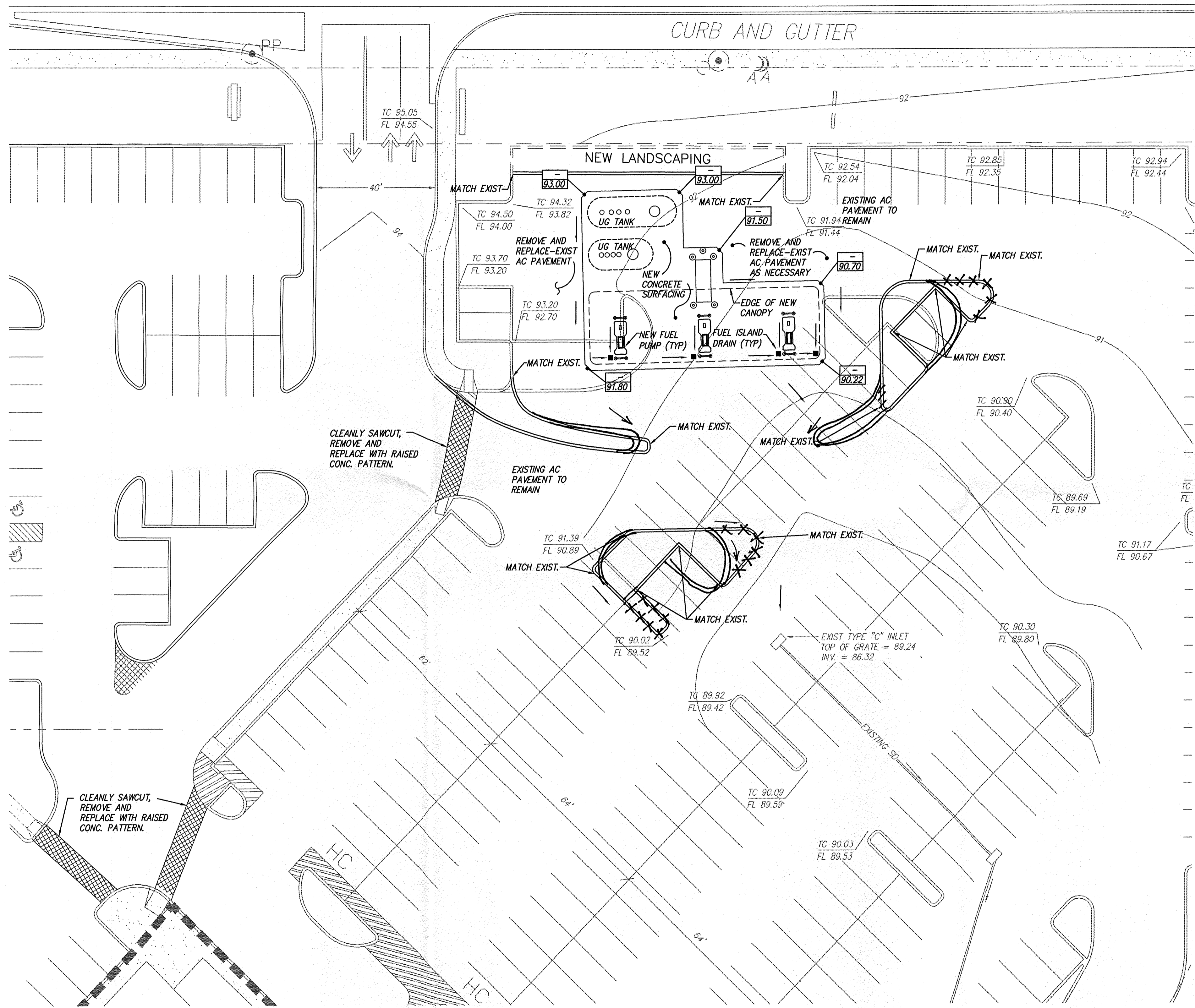
DRAWN MRF/AMR	PROJECT 98170.000
CHECKED SC/JM	DATE 12/1/98
SHEET TITLE	
<b>SITE DEVELOPMENT PLAN</b>	
SHEET	
<b>SP-5</b>	

**1 SITE DEVELOPMENT PLAN**  
SCALE 1"=30'  
NORTH

DRB 95-192

CENTRAL AVENUE

CURB AND GUTTER

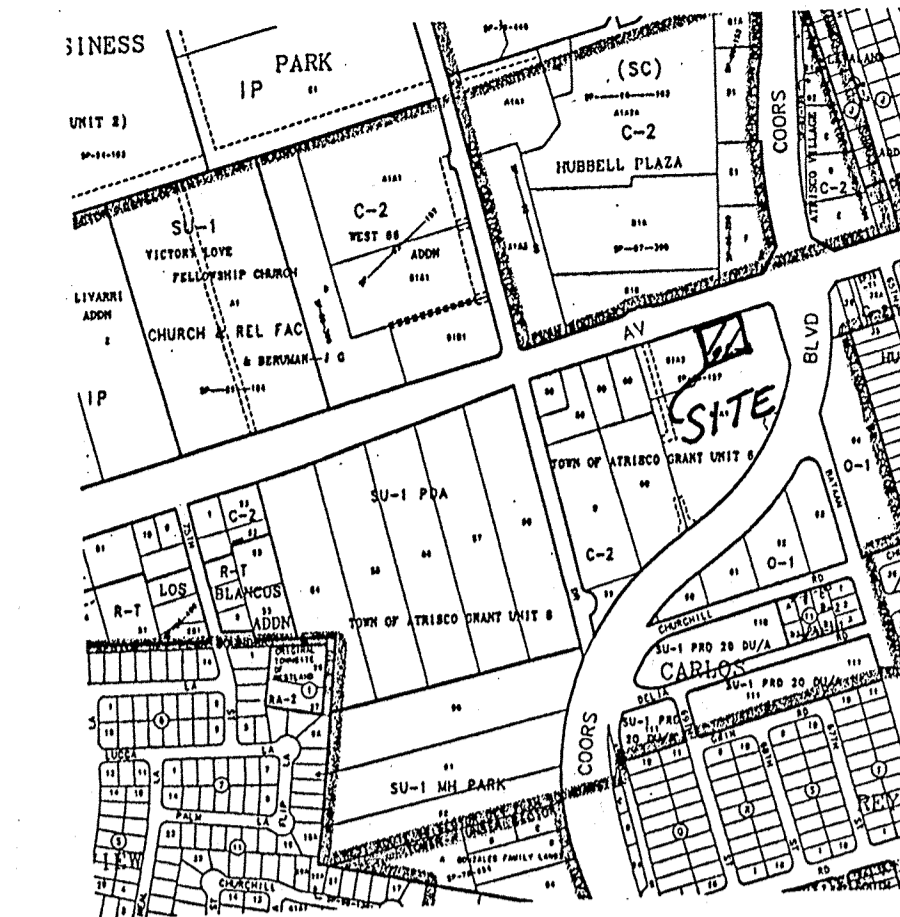


**DRAINAGE PLAN SUMMARY.**

In accordance with Albertson's Coors and Central Master Drainage Plan (K-10/D-27) runoff from these proposed site improvements will collect in an owner-maintained on-site storm drain which has a controlled discharge rate into the Coors Blvd. right-of-way. The improvements identified herein will not exceed the previously accounted for area of on-site impervious surfacing.

**Notes**

1. Runoff outside of the area covered by canopy shall be directed around the fuel island. The specific extent of existing pavement removal will depend upon necessary transition from existing to new pavement at a reasonable grade.
2. Where new curb and gutter is to be set within existing pavement, contractor shall neatly sawcut and insure competent edge is maintained.
3. Owner shall be responsible for maintenance of all on-site storm drain facilities.
4. Fuel island drains shall be NEENAH R-3933 or equivalent and connected to the sanitary sewer.
5. Fueling area beneath canopy shall be graded such that any fuel spills will be collected in fuel island drains.
6. Liquid fueling outside of area beneath the fuel island canopy shall not be permitted.
7. Fuel island drains shall be connected directly into an approved oil-water separator, which would then discharge into the existing on-site type "C" inlet via a private underground pipe.



VICINITY MAP ZONE MAP: K-10-Z

**ACS BENCHMARK**

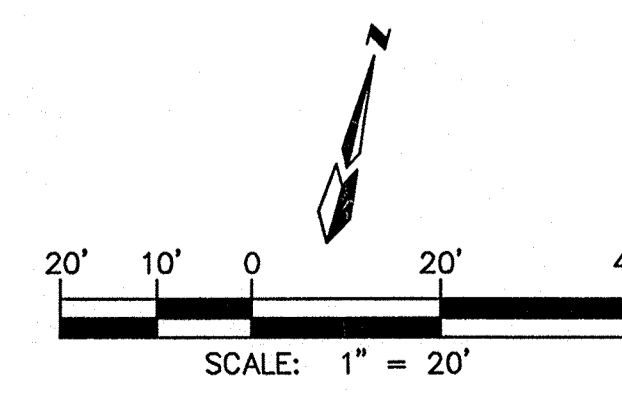
THE STATION IS AN ACS 3 1/4" ALUM. CAP SET FLUSH IN THE TOP OF CURB AND IS STAMPED "5-K10, 1989". TO REACH THE STATION FROM THE INTERSECTION OF I-40 AND COORS BLVD., TRAVEL SO. ON COORS BLVD., 1.89 MILES TO THE INTERSECTION OF CENTRAL AVE., AND COORS BLVD. THE STATION IS LOCATED IN THE N.W. QUADRANT IN A TRAFFIC ISLAND. THE STATION IS 52.6' NORTH OF CENTRAL AVE., AND IS 2.7' WEST OF BACK OF CURB ON THE ISLAND.  
X=362,341.63, Y=1,494,685.30, Z=5093.733

**LEGAL DESCRIPTION**

TRACT 61A1, TOWN OF ATRISCO GRANT UNIT NO. 6

**LEGEND**

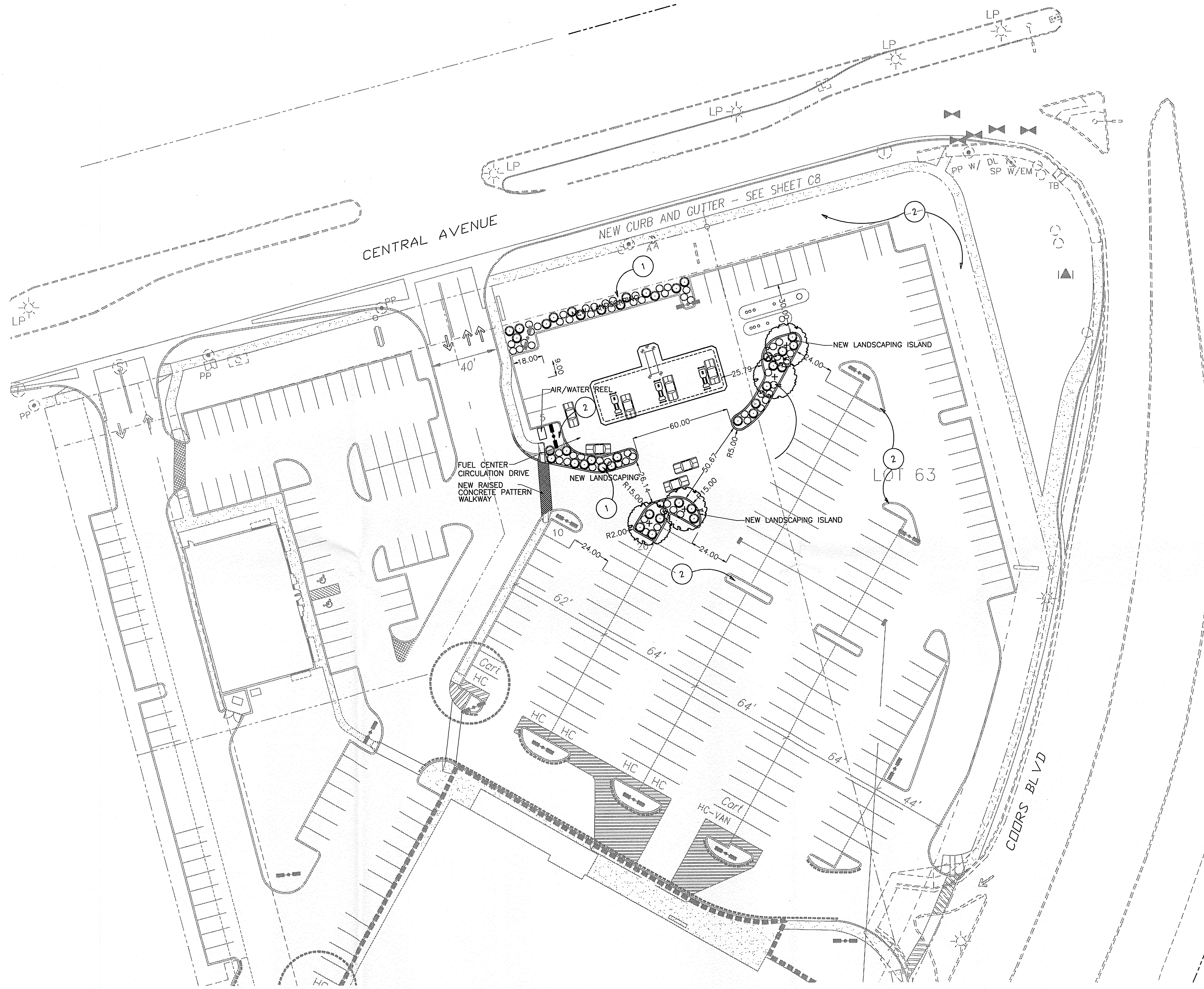
- NEW CURB AND GUTTER (MEDIAN PER CITY STD. DWG 2415)
- FLOW ARROW
- EXISTING SPOT ELEVATION
- EXISTING C & G
- NEW SPOT ELEVATION



**A - EXPRESS**  
**CONCEPTUAL GRADING AND DRAINAGE PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: SPS	Checked: DMG	Sheet C1 of 1
Scale: 1" = 20'	Date: 06/11/99	Job: 99074	



**1 LANDSCAPE PLAN**  
SCALE 1"=30'  
SCALE IN FEET

**# 2 SHEET NOTES:**

1. NEW PARKING ISLANDS W/ NEW LANDSCAPE PLANTINGS. TIE INTO/ADAPT EXISTING DRIP IRRIGATION SYSTEM WITH NEW DRIP SYSTEM AND INSTALL DRIP EMITTERS TO EACH PLANT IN QUANTITY RECOMMENDED BY SYSTEM MANUFACTURER. FLUSH LINES PRIOR TO EMITTER INSTALLATION. INSTALL WEED BARRIER FABRIC AND 3" ROCK MULCH TO MATCH EXISTING ELSEWHERE ON SITE.
2. EXISTING LANDSCAPE PLANTINGS TO REMAIN, WHERE NEW CURB CONSTRUCTION OCCURS, RECONFIGURE IRRIGATION, RESTORE GRADE, PRUNE EXISTING PLANTS AS NEEDED, AND ADD/REPLACE ROCK MULCH/WEED BARRIER TO MATCH EXISTING. EXISTING PLANTINGS IN PARKING ISLANDS CONSIST OF TAM JUNIPERS, ANTHONY WATERER SPIREA, 'MARIE PAVIE' GARDEN ROSES, AND SHADEMASTER HONEYLOCUSTS. NEW PLANTINGS ARE SELECTED TO MATCH THIS PLANT PALETTE.

**3 GENERAL NOTES:**

- A. EXISTING LANDSCAPING IN PARKING ISLANDS TO BE DEMOLISHED INCLUDES APPROX. 60 SHRUBS AND 3 TREES. THESE INCLUDE TAM JUNIPER, ANTHONY WATERER SPIREA, 'MARIE PAVIE' GARDEN ROSES, AND HONEYLOCUST. NEW ISLANDS WILL REPLACE MOST OF THESE. RE: DEMOLITION PLAN.
- B. IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE ARCHITECT OF AVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. IF A SPECIFIED PLANT IS NOT AVAILABLE, THE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- C. LANDSCAPE INSTALLATION SPECIFICATIONS ARE IN BOOK FORM. CONFORM TO ALL CONDITIONS AND REQUIREMENTS CONTAINED WITHIN. HAVE AVAILABLE ON THE JOB SITE AT ALL TIMES, AND IN CHRONOLOGICAL ORDER, THE PROJECT CONSTRUCTION DRAWINGS & SPECIFICATIONS FOR INSPECTION BY THE ARCHITECT. RETAIN ON SITE ALL OFFICIAL / APPROVED ADDENDUMS, CHANGE ORDERS, AND / OR CONSTRUCTION CHANGE DIRECTIVES SPECIFIC TO THE LANDSCAPE INSTALLATION.
- D. VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITY SYSTEMS PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION THAT MAY CAUSE DAMAGE TO SUCH SYSTEMS. CALL U.S.A. AT 1-800-642-2444 TO LOCATE EXISTING UTILITIES. REPAIR / REPLACE DAMAGED UTILITIES TO THE SATISFACTION OF THE OWNER OR GOVERNING AGENCY, AND AT NO ADDITIONAL COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- E. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIAL SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC., SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. RIP SUBGRADE AS PER SPECIFICATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL, AS PER SPECIFICATIONS. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL SHALL BE TOPSOIL, EQUAL TO THAT REQUIRED IN THE SPECIFICATIONS. CLEAN TOPSOIL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE ARCHITECT.
- F. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- G. PROVIDE REQUIRED SOIL EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONTRACT PERIOD. SHOULD THERE BE EXISTING SOIL EROSION CONDITIONS THAT REQUIRE MITIGATION, NOTIFY THE ARCHITECT IMMEDIATELY. FAILURE TO NOTIFY THE ARCHITECT IMPLIES ACCEPTANCE OF THE SITE IN ITS EXISTING CONDITION.

**4 SYMBOL LEGEND**

SHRUBS.			
SYM	COMMON NAME	BOTANICAL NAME	PLANTING SIZE
⊙	Tamarix Juniper	Juniperus sabinna Tam. 'New Blue'	5 gallon
○	Anthony Waterer Spirea	Spiraea bumalda 'Anthony Waterer'	5 gallon 18" hgt.
TREES.			
SYM	COMMON NAME	BOTANICAL NAME	PLANTING SIZE MATURE SIZE
+	Shademaster Honeylocust	Gleditsia tria. 'Shademaster'	2 1/2" caliper 60" H x 40" W
OTHER SYMBOLS			
SYM	DESCRIPTION		
○	EXISTING TREE TO REMAIN.		

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SUBMITTAL DATES

OWNER / EPC	00/00/00 12/1/98
CITY COUN./DRB	00/00/00 3/29/99
XXXX / XXXX	00/00/00 00/00/00

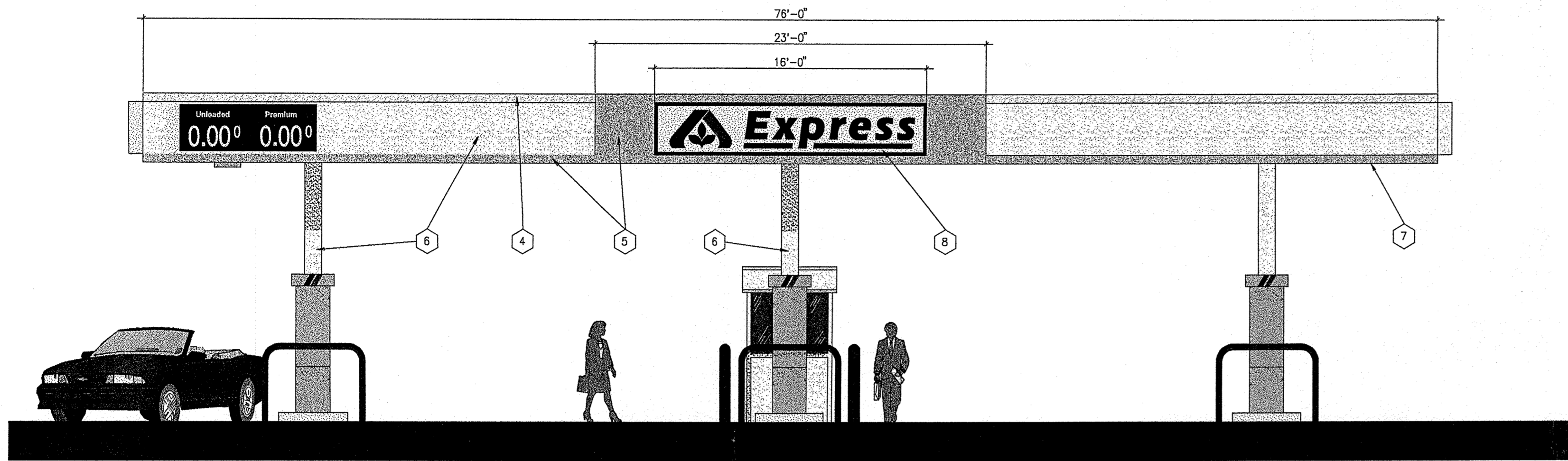
REVISIONS

1	REVISED PLAN 08/02/99	JAM
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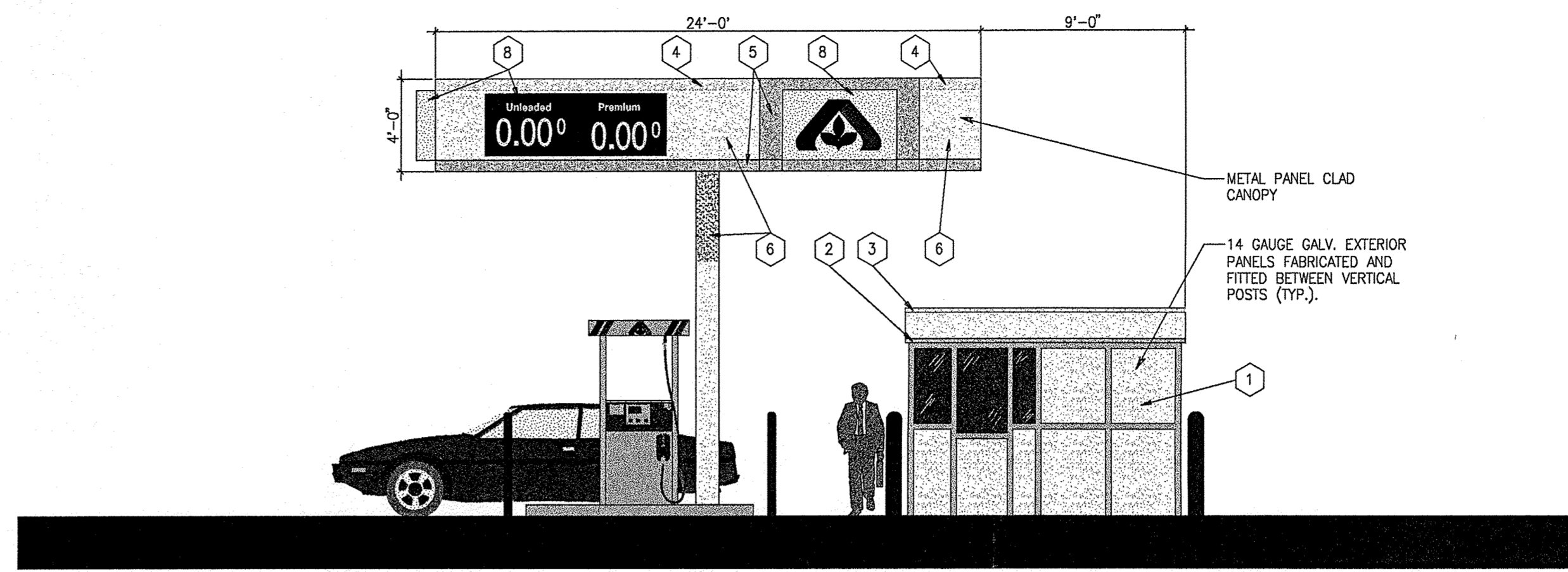
DRAWN SAU/AMR	PROJECT 98170.000
CHECKED SC/KDH	DATE 12/1/98

SHEET TITLE  
**LANDSCAPE PLAN**

SHEET  
**L-1**



**1 FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 PERSPECTIVE**

**4 EXTERIOR COLOR SCHEDULE**

- 1 DRYVIT #103 NATURAL WHITE QUARZPUTZ FINISH INSTALLED OVER GALV. EXTERIOR PANELS
- 2 DRYVIT #337A MALT SMOOTH FREESTYLE FINISH
- 3 DRYVIT #334 STABLE BROWN SMOOTH FREESTYLE FINISH
- 4 PAINT #334 STABLE BROWN-MAT FINISH
- 5 PAINT #337A MALT-MAT FINISH
- 6 PAINT #103 NATURAL WHITE-MAT FINISH
- 7 RECESSED CANOPY LIGHT FIXTURE
- 8 SIGNS-BY OTHERS

**5 EXTERIOR COLOR SAMPLES**  
(COLORS TO MATCH EXISTING STORE COLORS)

#103 NATURAL WHITE

#337A MALT

#334 STABLE BROWN

STORE# 0922-11AK  
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SUBMITTAL DATES	
OWNER	EPC
00/00/00	12/1/98
CITY COUN./DRB	
00/00/00	3/29/99
XXXX	XXXX
00/00/00	00/00/00

REVISIONS	

DRAWN MRF	PROJECT 98170.000
CHECKED SC	DATE 12/1/98

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET  
**1.1**

THESE DRAWINGS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SUPPLIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TOOLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY VEHICLES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERSONNEL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SUPPLIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TOOLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY VEHICLES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERSONNEL.