

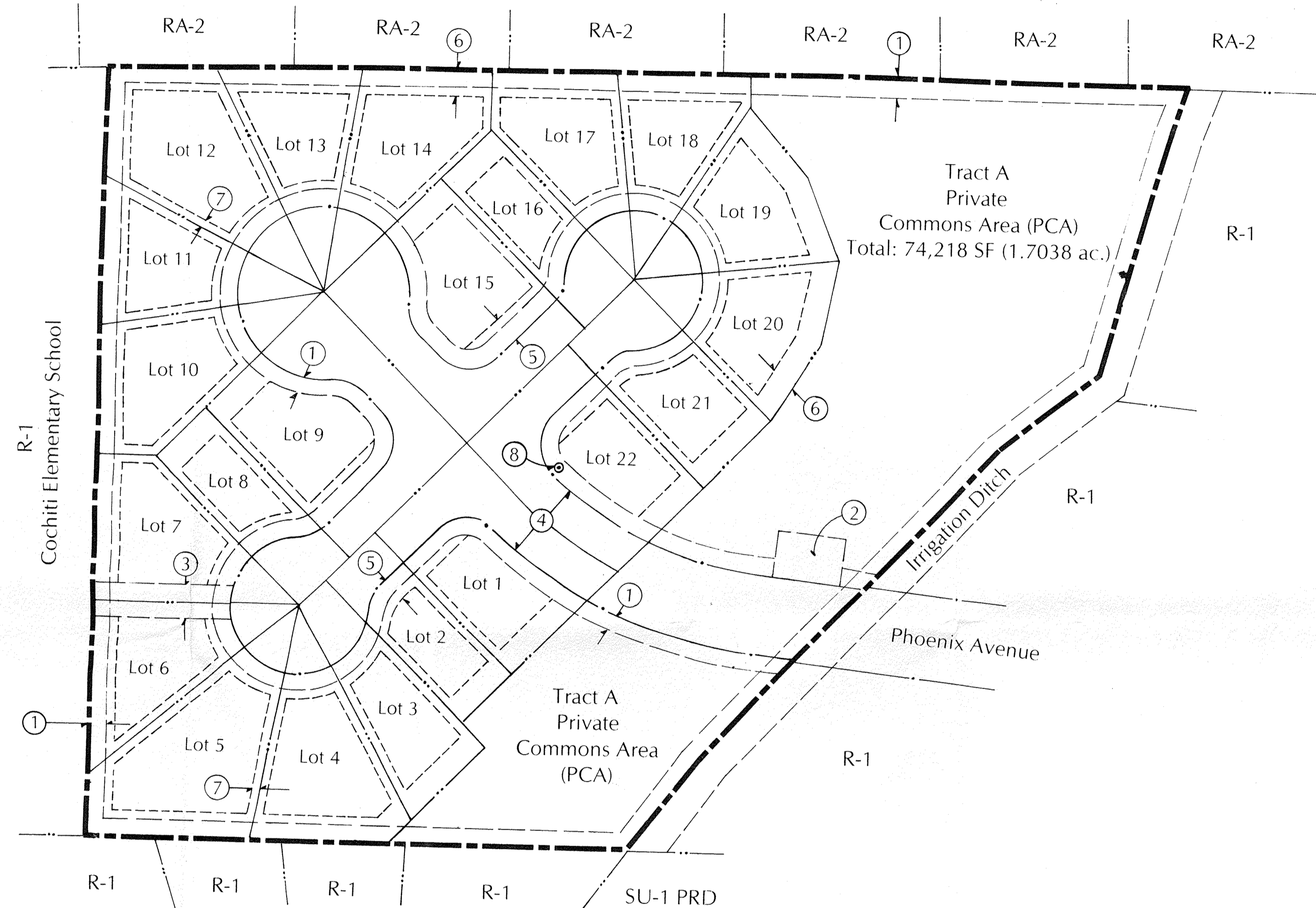
SITE VICINITY

LOT AREA IN SQUARE FEET (SF)

Lot	Gross SF	Net SF	SF under 6,000 SF
Lot 1	8,725	4,769	1,231
Lot 2	4,561	3,553	2,447
Lot 3	5,428	4,402	1,598
Lot 4	6,752	6,195	0
Lot 5	8,699	8,141	0
Lot 6	6,133	5,576	424
Lot 7	6,586	5,965	35
Lot 8	4,800	3,476	2,524
Lot 9	11,400	5,970	30
Lot 10	6,556	5,770	230
Lot 11	5,624	4,838	1,162
Lot 12	8,168	7,382	0
Lot 13	5,641	4,853	1,147
Lot 14	6,517	5,733	267
Lot 15	11,400	5,970	30
Lot 16	4,800	3,476	2,524
Lot 17	5,802	5,255	745
Lot 18	5,293	4,747	1,253
Lot 19	5,998	5,294	706
Lot 20	5,737	5,032	968
Lot 21	6,203	4,552	1,448
Lot 22	8,978	4,847	1,153

TOTAL LOT SIZE REDUCTION 19,922

Note: Net Lot area is obtained from subtracting the Private Access Easement from the Gross Lot area.



GENERAL NOTES

- El Manzanito Estates shall be developed consistent with the City of Albuquerque's Private Commons Development (PCD) allowed in the R-1 zone (per the Zoning Code, Section 14-16-3-16) and the North Valley Area Plan.
- The number of lots allowed in the PCD is determined by dividing the site area by the minimum lot size permitted in the underlying zone. This site is zoned R-1, with a minimum lot size of 6,000 SF. The gross site area of the site is 224,077 SF (5.1441 acres). The number of lots allowed at El Manzanito are as follows:

224,077/6,000 = 37 lots

The number of lots proposed for El Manzanito Estates is twenty-two (22).
- All lots at El Manzanito Estates shall be developed for single-family detached dwelling units. The minimum setbacks for the PCD are as follows:

Front: fifteen feet (15'), except driveways shall not be less than twenty feet (20') long
Rear: fifteen feet (15')
Side: no required side yard setback, except there shall be a minimum setback of five feet (5') for all side yards contiguous with the PCD boundary
- The Private Commons Development requires that thirty percent (30%) of the gross site area or one hundred percent (100%) gained through lot size reductions, whichever is greater, shall be set aside as a Private Commons Area (PCA).

The two methods for calculating the PCA are as follows:

Gross Site Area Calculation Method
Gross Site Area: 224,077 SF
Multiplied by 30%: 67,223 SF
PCA: 67,223 SF

Lot Size Reduction Method
Total Lots: 22
Number of Lots below 6,000 SF (SF required by R-1 zone): 19
Total Lot Size Reduction: 19,922 SF (see Lot Area in Square Feet table)

The PCA (Tract A) provided in El Manzanito Estates shall be a minimum of 67,223 SF.

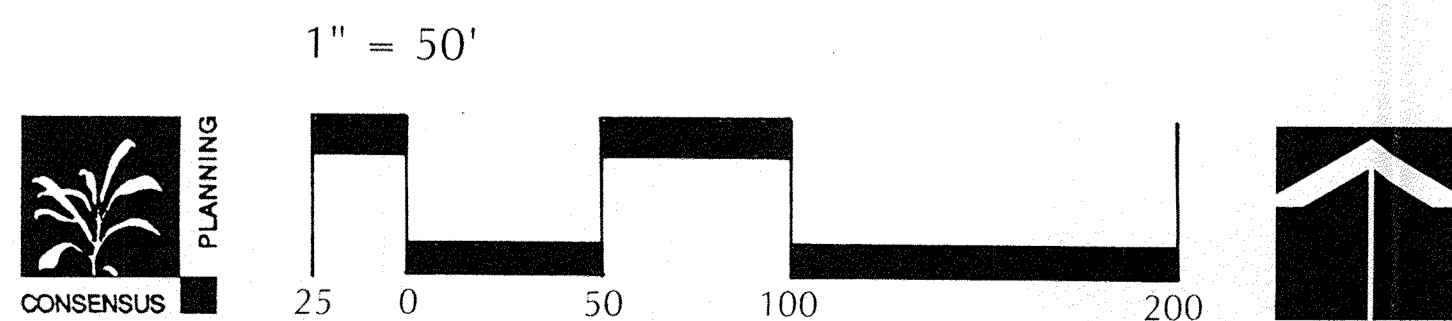
- The PCA shall be set aside as a land use easement and carry restrictive covenants in the form of recorded deed restrictions approved by the Development Review Board (DRB) on 10/18/96.

- The El Manzanito PCA shall be used for landscaping. The PCD allows PCA's to be used for landscaping, agriculture, recreation, or any combination thereof. The PCA will be irrigated from the MRGCD irrigation ditch at the eastern edge of the subdivision and/or an automated sprinkler system. No buildings or structures are permitted in the PCA except those necessary for the operation and maintenance of the PCA.
- Additional landscaping shall be placed on the site by the Owner (see Sheet 2).
- Until final build-out of the subdivision occurs, maintenance of the PCA shall be the responsibility of the Owner. Maintenance of the PCA shall shift to the mandatory homeowner's association when final build-out occurs.
- If the responsible parties fail or refuse to act on maintenance obligations, the City of Albuquerque shall have the authority to perform such maintenance as necessary to protect public health and safety. Under no circumstances will the City maintain the PCA for a period longer than one (1) year. The cost of such maintenance shall be assessed against the properties within El Manzanito Estates. Failure to pay assessed charges may result in a municipal lien against each of the individual lots at El Manzanito Estates. Under no circumstances will the City maintain recreational uses.
- If fencing is to be provided adjacent to the PCA (Tract A), the fencing material shall be split rail, 2" x 4" horse fencing, or equivalent in order to maintain public view of the PCA.
- Stormwater drainage of this site shall be conveyed to the PCA (Tract A). The grading and drainage plan (H-13-D27) was approved by City Hydrology on 9/24/96. Final approval is subject to the DRB's approval of the recorded deed restrictions.

KEYED NOTES

- ① 10' Public Utility Easement
- ② Public Access Easement
- ③ 20' Public Waterline Easement
- ④ 46' Private Access Easement
- ⑤ 15' Front Yard Setback
- ⑥ 15' Rear Yard Setback
- ⑦ 5' Side Yard Setback
- ⑧ Fire Hydrant

SITE PLAN FOR
PRIVATE COMMONS DEVELOPMENT
El Manzanito
Estates



DRB-95-313


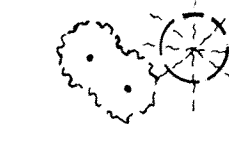

Robert W. Kane 10-22-96
Traffic Engineer, Transportation Division Date
Ed Stang 7-11-97
City Engineer/AMAFCA Date
Robert W. Kane 10-22-96
Public Works, Utility Division Date
Ed Stang 10-22-96
Parks Design and Development, CIP Date
Kim L. Mc... 7/25/97
Planning Department Date

Prepared For:
Boyhahn L.L.C.
11896 N. Highway 14
Tijeras, NM 87059

Prepared By:
Consensus Planning, Inc.
718 Central Avenue SW
Albuquerque, NM 87102

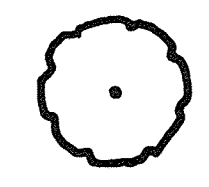
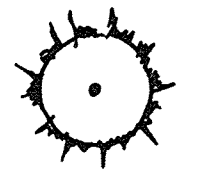
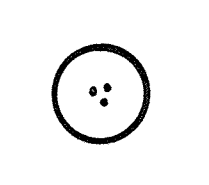
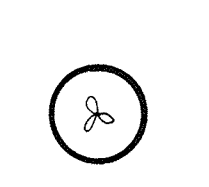
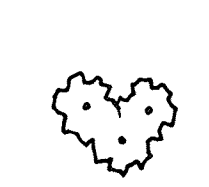
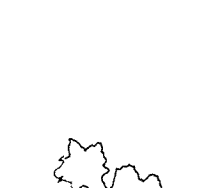
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EXISTING PLANT MATERIALS

-  TREES
- AP Apple
- AL Alder
- CT Catalpa
- EL Siberian Elm
- LC Honeylocust
- ML Mulberry
-  SHRUBS
- AR Arborvitae
- MH Mahonia
- PR Prunus spp.
- RS Climbing Rose
-  VINES
- HN Honeysuckle
- GRASSES
- SD Sand Dropseed



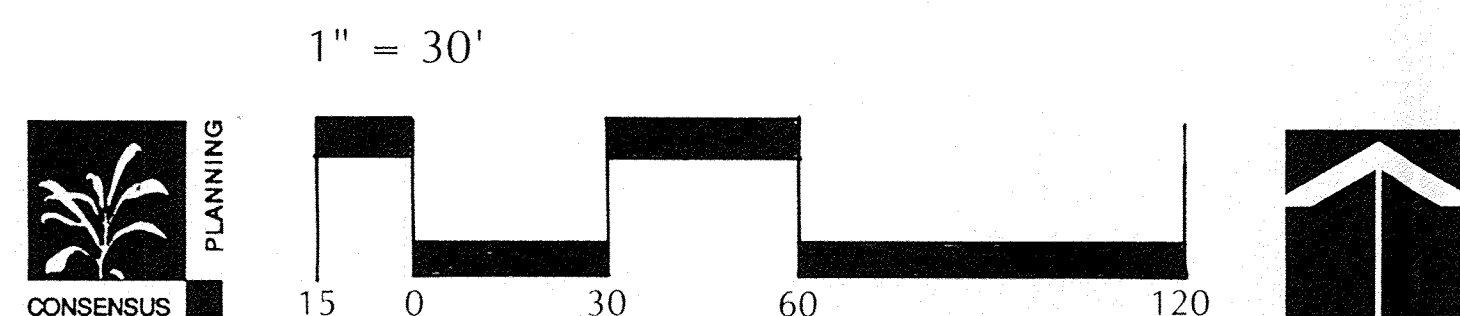
NOTES

1. The PCA landscape shall comply with the City of Albuquerque's Water Conservation Ordinance.
2. The existing plant materials within El Manzanito's PCA were evaluated by a botanist to determine whether to preserve or remove them depending on their condition. All plant materials that were determined to be unsalvageable were tagged and removed by the Owner.
3. Plant materials that were removed shall be replaced by the Owner with the following:
 -  LARGE SHADE TREES (2" caliper minimum):
Narrowleaf Cottonwood
 -  EVERGREEN TREES (6' height minimum):
Pinon Pine, Scotch Pine, One-seed Juniper
 -  ACCENT TREES (1 1/2" caliper minimum):
New Mexico Olive, Chokecherry, Russian Olive, New Mexico Locust
 -  FLOWERING TREE VARIETIES (1 1/2" caliper minimum):
Apple, Pear, Peach, Plum, Cherry
 -  SHRUBS (1 and 5 gallon):
Vitex, Potentilla, Mugho Pine, Golden Currant, Cherry Sage, Blue Mist Spirea, Silverberry, Spanish Broom
 -  VINES (1 gallon):
Virginia Creeper, Hall's Honeysuckle, Western Virgin's Bower, Trumpet Vine
4. All disturbed areas shall be seeded with the following mix:
 - WILDFLOWER MIX:
Periwinkle, Echinacea, Delphinium, California Poppy, Cosmos, Coreopsis, Purple Aster, Columbine, Yarrow, Penstemons, Black-eyed Susan, Giant Four O'Clock, Gayfeather, Oxeye Daisy, Maximilian Daisy, Blue Flax
 - (Note: The seeding rate for each of the plants listed above will be specified in subsequent construction documents)
 - GRASSES (3 lbs per 1,000 SF):
Sideoats Grama, Blue Grama, Little Bluestem, Indian Ricegrass
5. The Owner shall be responsible for maintenance and irrigation of the PCA until final build out occurs and responsibilities shift to the mandatory homeowners' association (see Sheet 1 for maintenance responsibilities). The PCA will be irrigated from the MRGCD irrigation ditch at the eastern edge of the subdivision on a weekly basis during the growing season and/or by an automated sprinkler system.

PRIVATE COMMONS AREA
LANDSCAPE PLAN

SITE PLAN FOR
PRIVATE COMMONS DEVELOPMENT

El Manzanito
Estates



Prepared For:

Boyhahn L.L.C.
11896 N. Highway 14
Tijeras, NM 87059

Prepared By:

Consensus Planning, Inc.
718 Central Avenue SW
Albuquerque, NM 87102

December 30, 1996

Sheet 2 of 2