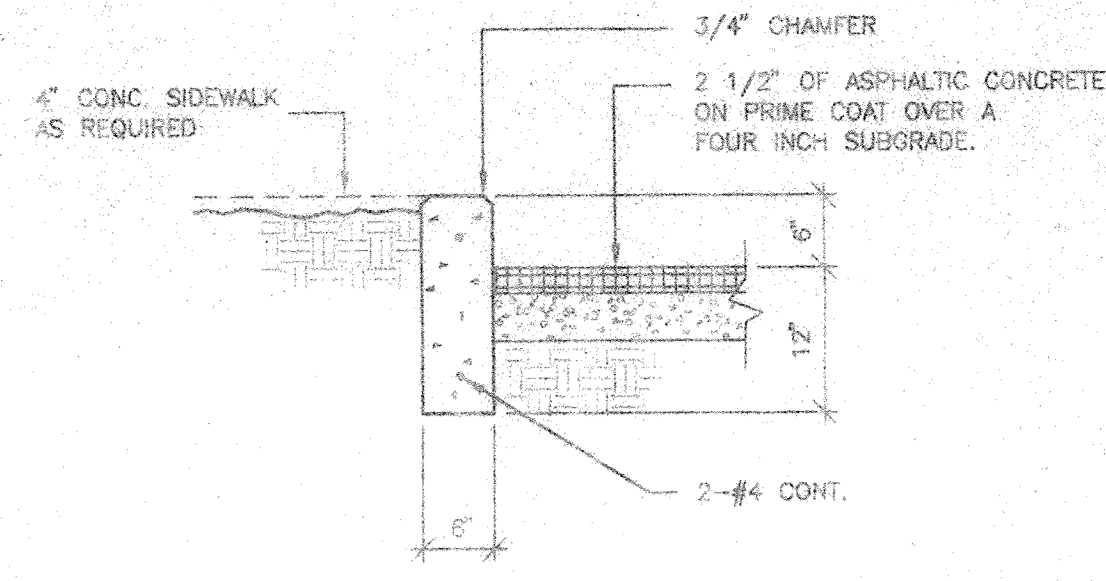
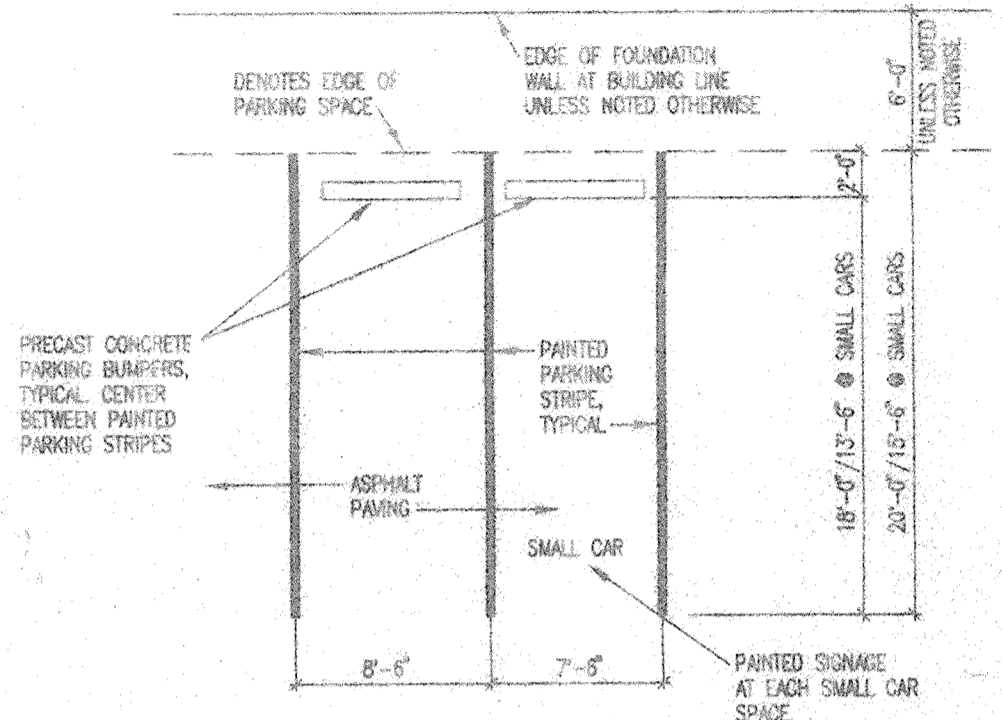


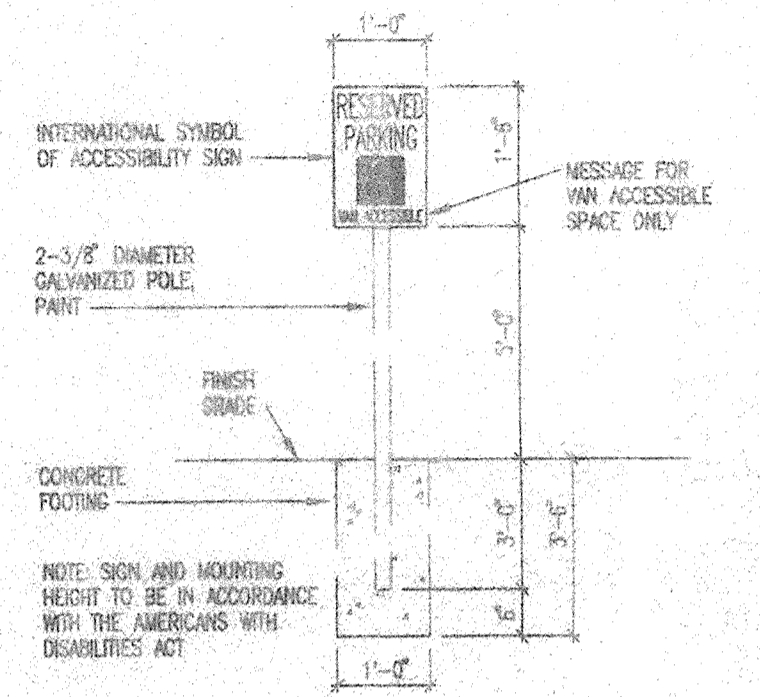
DRB. 97.471



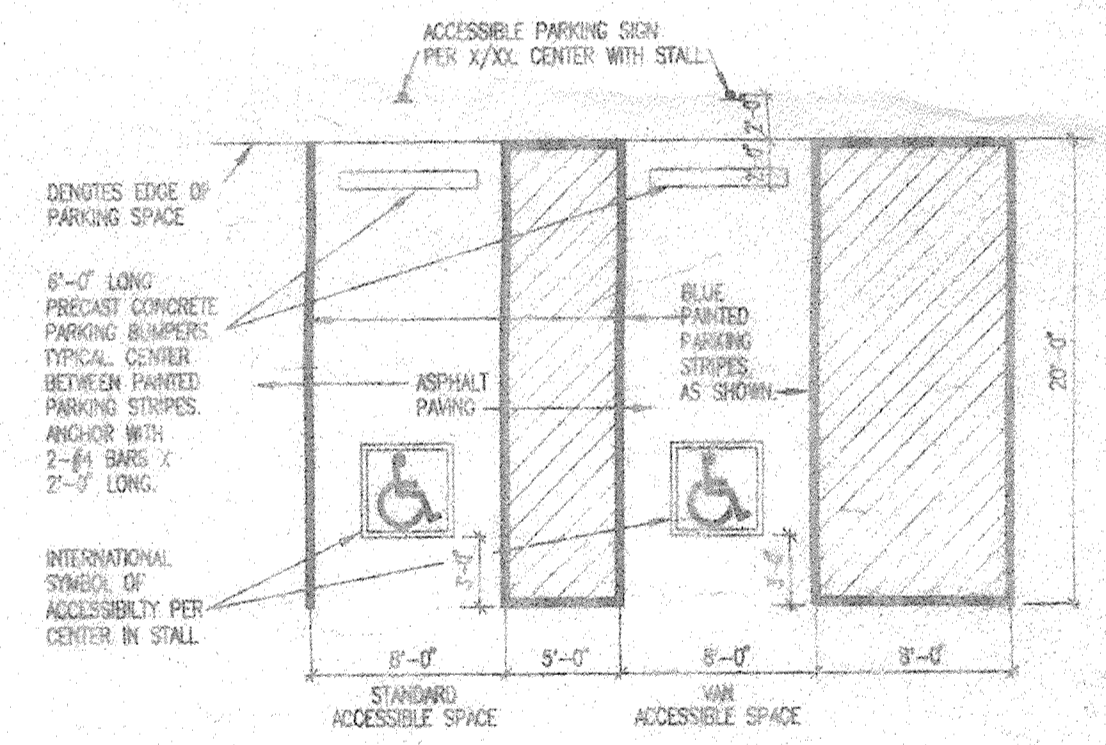
1 TYPICAL CONC. CURB DETAIL
1/4" = 1'-0"



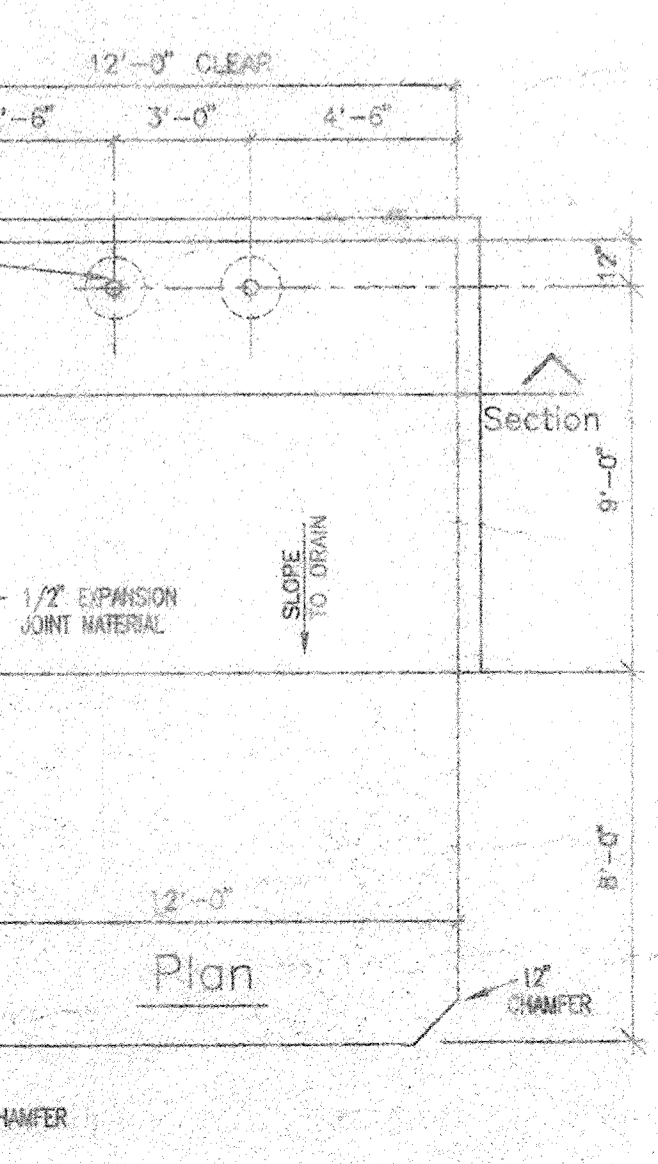
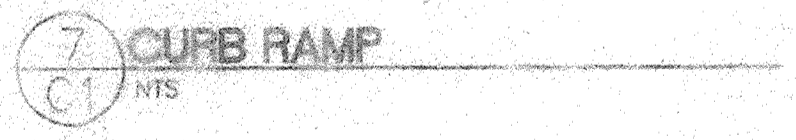
4 TYPICAL SINGLE LOADED PARKING SPACE
1/8" = 1'-0"



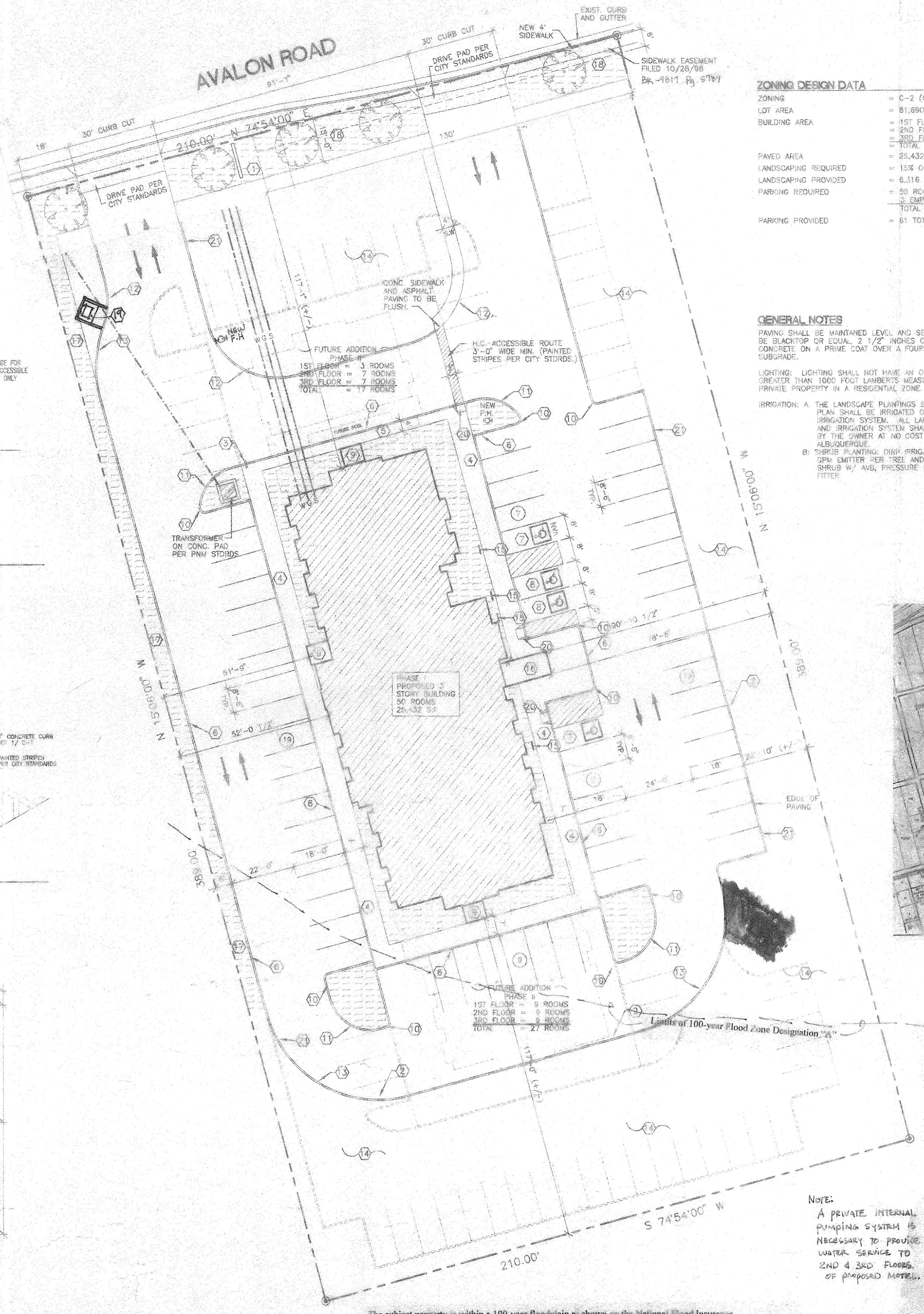
3 ACCESSIBLE PARKING SIGN
1/2" = 1'-0"



5 TYPICAL VAN AND STANDARD ACCESSIBLE PARKING SPACES
1/8" = 1'-0"



6 TYPICAL SLAB - DUMPSTER
1/4" = 1'-0"



ZONING DESIGN DATA

ZONING	= C-2 (CZ-66-19)
LOT AREA	= 81,890 SF, 1.875 AC.
BUILDING AREA	= 1ST FLOOR - 6,598 SF 2ND FLOOR - 6,417 SF 3RD FLOOR - 6,417 SF TOTAL = 19,432 SF
PAVED AREA	= 25,432 SF.
LANDSCAPING REQUIRED	= 15% OF PAVED AREA = 3,805 SF.
LANDSCAPING PROVIDED	= 6,316 SF.
PARKING REQUIRED	= 50 ROOMS = 50 SPACES BY EMPLOYEE = 3 SPACES TOTAL REQ. = 53 SPACES
PARKING PROVIDED	= 61 TOTAL SPACES.

GENERAL NOTES

PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE. SHALL BE BLACKTOP OR EQUAL 2 1/2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.

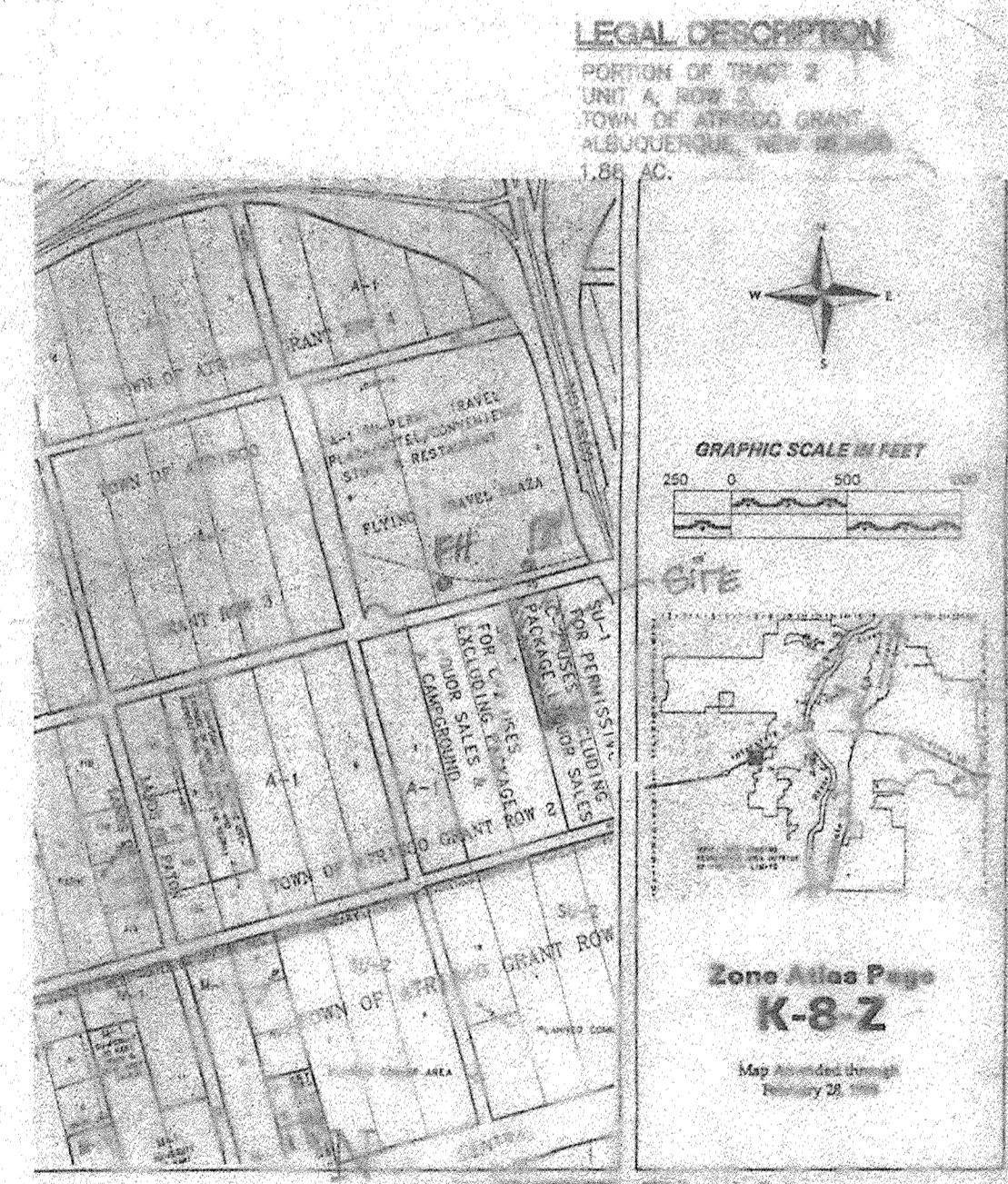
LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

IRRIGATION: A. THE LANDSCAPE PLANTINGS SHOWN ON THIS PLAN SHALL BE IRRIGATED ON AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE PLANTINGS AND IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AT NO COST TO THE CITY OF ALBUQUERQUE.
B. SHRUB PLANTING: DRIP IRRIGATION W/ 6-1" DPM EMITTER PER TREE AND 2 EMITTERS PER SHRUB W/ AVG. PRESSURE REGULATOR AND FILTER.

CODE DESIGN DATA

OCCUPANCY GROUP	= B-2
TYPE OF CONSTRUCTION	= IV
AREA OF EACH FLOOR	= 1ST FLOOR - 6,598 SF 2ND FLOOR - 6,417 SF 3RD FLOOR - 6,417 SF TOTAL = 19,432 SF
OCCUPANT LOAD	= 127 COS.
SEISMIC ZONE	= 2B
SOIL BEARING CAPACITY	= 1500 PSI
CONCRETE STRENGTH	= 3,000 PSI
STRESS VALUES	= LUMBER Fb = 970 MN. STEEL Fy = 50,000 PSI 10' PSF HORIZ. (76 MPH WIND)
WIND DESIGN LOAD	= 15 PSF LL, 20 PSF SL
ROOF DESIGN LOAD	= 15 PSF LL, 20 PSF SL
FLOOR DESIGN LOAD	= SLAB ON GRADE
CORRIDOR DESIGN LOAD	=

- KEYED NOTES**
- FREE STANDING SIGN, 28" HIGH, 300 SF / SIDE
 - EDGE OF ASPHALT PAVING.
 - STOP SIGN.
 - 6" CONCRETE SIDEWALK.
 - 4" CONCRETE SIDEWALK.
 - 6" CONCRETE CURB
 - HANDICAPPED ACCESSIBLE VAN PARKING SPACE
 - HANDICAPPED ACCESSIBLE CAR PARKING SPACE.
 - ENTRY INTO BUILDING.
 - 2'-0" RADIUS
 - 15'-0" RADIUS.
 - 25'-0" RADIUS.
 - 10'-0" RADIUS.
 - GRAVEL GROUND COVER
 - HANDICAPPED ACCESSIBLE SIGNAGE
 - PORCH ENTRY INTO BUILDING
 - 8" LANDSCAPE AREA
 - 15' LANDSCAPE BUFFER
 - DUMPSTER ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS.
 - H.C. ACCESSIBLE CURB RAMP, SEE DETAIL 1/4-1
 - 6" PERM CURB



APPROVALS:

EPC CASE NUMBER _____

DRB CASE NUMBER 97-471

Richard D. Bennett 11-15-98
CITY PLANNER, ALBUQUERQUE

Glenn A. King 7-28-98
MARKS DEPARTMENT

Nabil Don 11-10-98
TRAFFIC ENGINEER, TRANSPORTATION

Paul J. Lewis 7-29-98
CITY ENGINEER, ENGINEERING DIVISION

Paul J. Lewis 7-29-98
ALBUQUERQUE METROPOLITAN FLOOD CONTROL

Robert W. Kane 7-28-98
WATER UTILITIES DEPARTMENT

NOTE:
A PRIVATE INTERNAL PUMPING SYSTEM IS NECESSARY TO PROVIDE WATER SERVICE TO 2ND & 3RD FLOORS OF PROPOSED HOTEL.

The subject property is within a 100-year floodplain as shown on the National Flood Insurance Program "Flood Insurance Rate Map." Data such that a LOMR is issued by FEMA to remove the floodplain, flood insurance may be required by the mortgage company.

MICROTEL INN
ALBUQUERQUE, NEW MEXICO
PROJECT 07/94 SITE

SITE PLAN

REVISION DATE
2-18-98
7-28-98

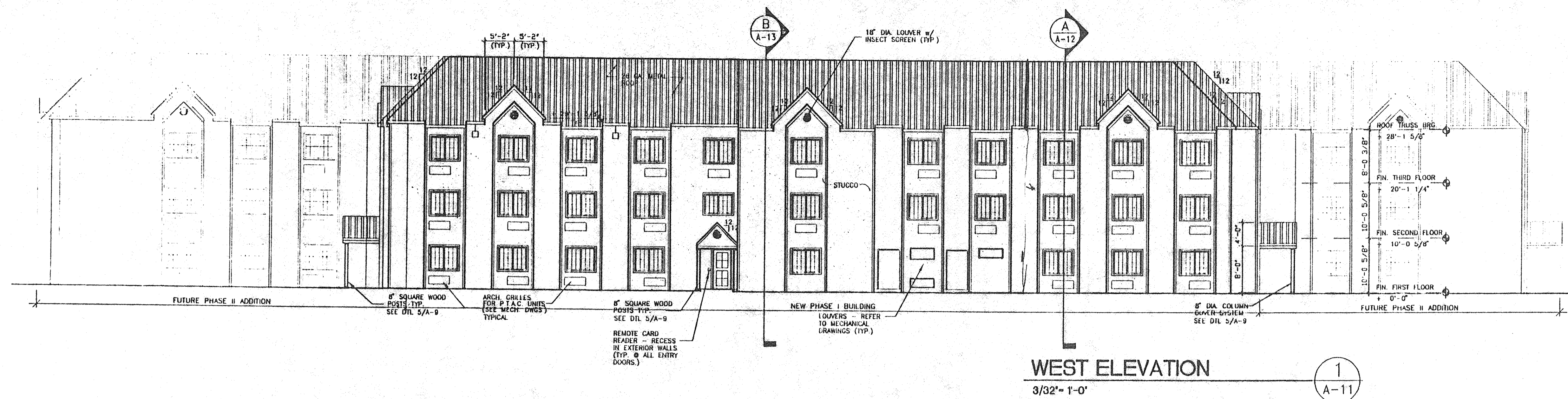
STATE OF NEW MEXICO
RICHARD T. BENNETT
No. 1240
REGISTERED ARCHITECT

rick bennett
architect
1118 Park Avenue SW
Albuquerque, New Mexico
87102 (505) 243-1800

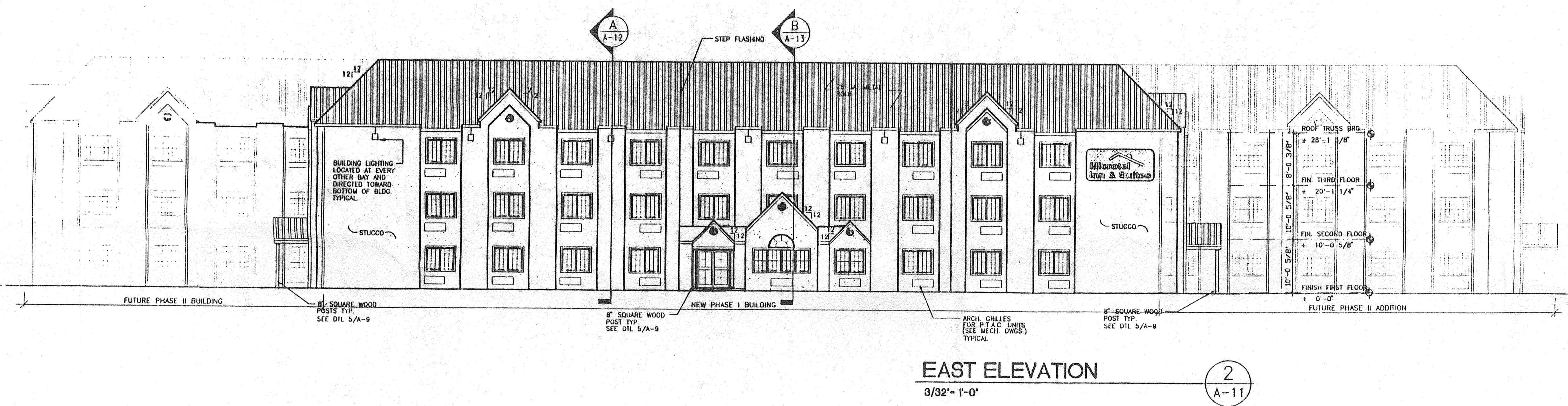
DATE
11-3-97

SHEET NUMBER
A-1

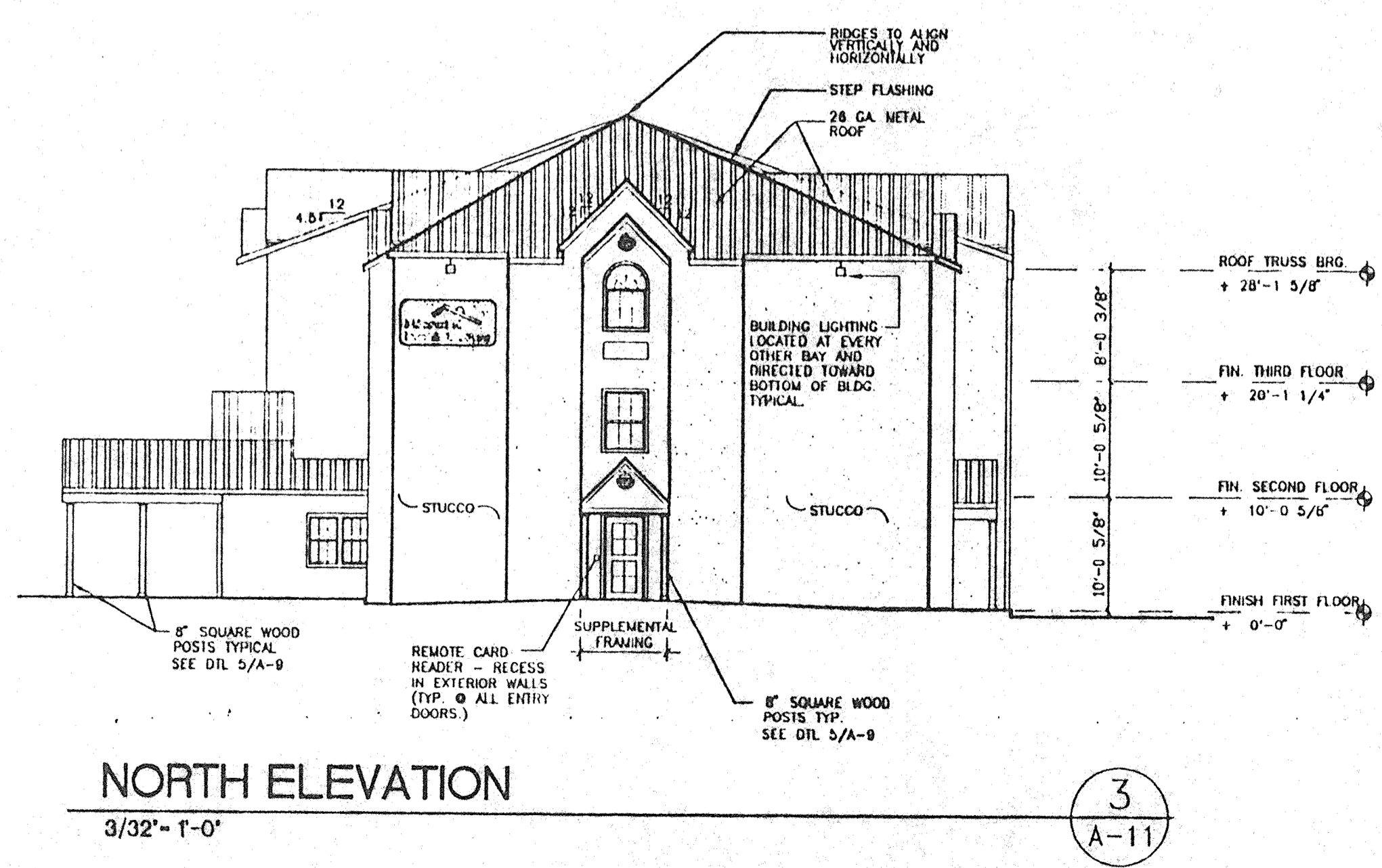
PLANNING DEPARTMENT



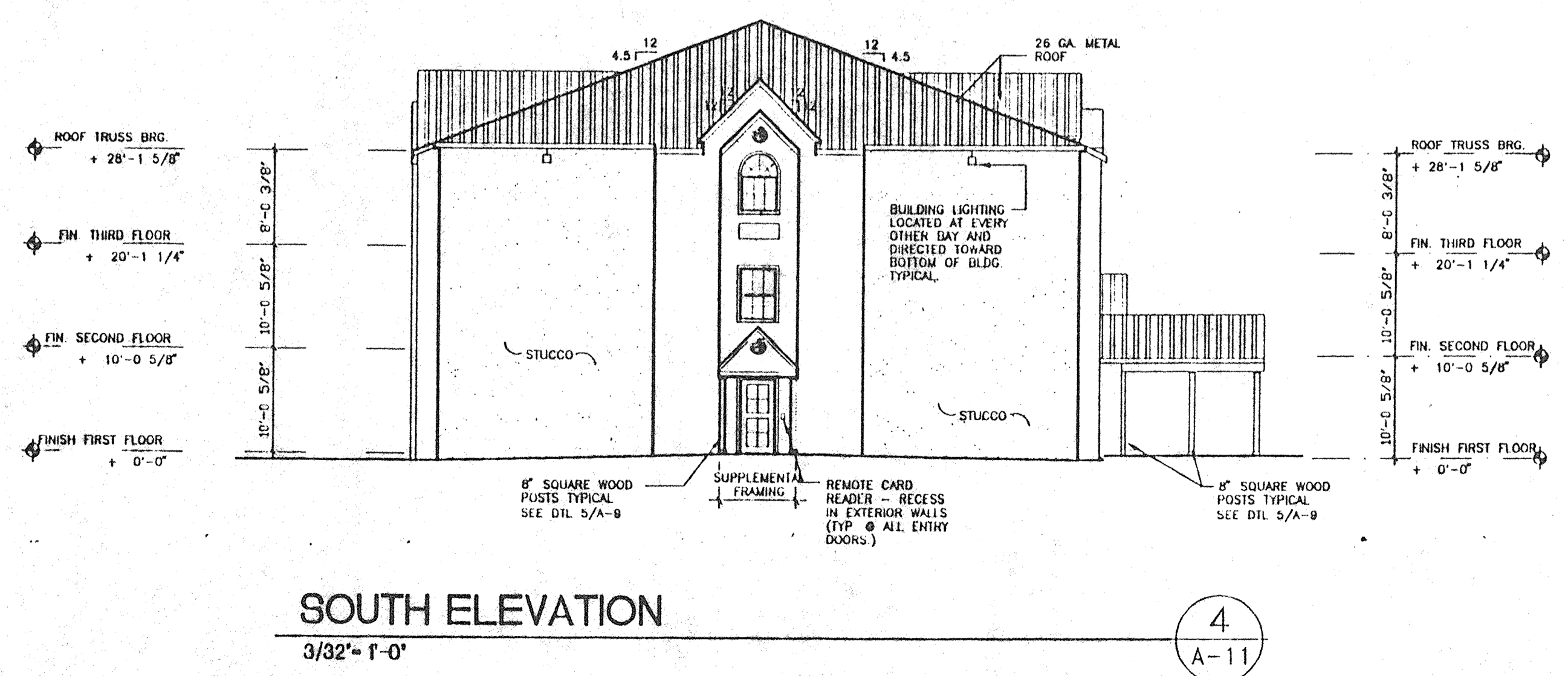
WEST ELEVATION
3/32'-1'-0" 1
A-11



EAST ELEVATION
3/32'-1'-0" 2
A-11



NORTH ELEVATION
3/32'-1'-0" 3
A-11



SOUTH ELEVATION
3/32'-1'-0" 4
A-11

EXTERIOR BUILDING FINISHES
<p>EXTERIOR WALLS DRYVIT MODEL NUMBER: 10511 (COLOR PACIFIC SAND) STOLIT 1 TEXTURE SPECIFICATION A100 STO CLASS PB EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) BRYAN LOBAUGH SALES REP. STO FINISH SYSTEMS DIVISION 136 BOB STREET SANTA FE, N.M. 87501 TEL: (505) 986-9121 FAX: (505) 986-8561 MOB: (505) 470-5713</p>
<p>METAL ROOF 26 GA. METAL ROOF, R-PANEL (RED)</p>

SOUTHWESTERN PROTOTYPE
<p>DRYVIT EXTERIOR SIDING: STO FINISH SYSTEMS DIVISION 180 COBB PARKWAY SOUTH, SUITE C-4271 MARIETTA, GA 30062-3727 PH: 770-4254553</p>
OR
<p>STO FINISH SYSTEMS DIVISION BRYAN LOBAUGH SALES REP. 136 BOB STREET SANTA FE, N.M. 87501 TEL: (505) 986-9121 FAX: (505) 986-8561 MOB: (505) 470-5713</p>

MICROTEL INN
 ALBUQUERQUE, NEW MEXICO
 PROJECT # 9734
BUILDING ELEVATIONS

<p>REVISION DATE 11-12-97 02-17-98 07-29-98</p>
<p>STATE OF NEW MEXICO RICHARD P. BENNETT No. 1240 REGISTERED ARCHITECT</p>

ALBUQUERQUE
 BLDG & SAFETY
 SEP 10 1998
 UBC
 PLAN CHECK
 SECTION

rick bennett
 architect
 1118 Park Avenue SW
 Albuquerque, New Mexico
 (505) 242-1859

DATE
 7-31-97

SHEET NUMBER
A-11

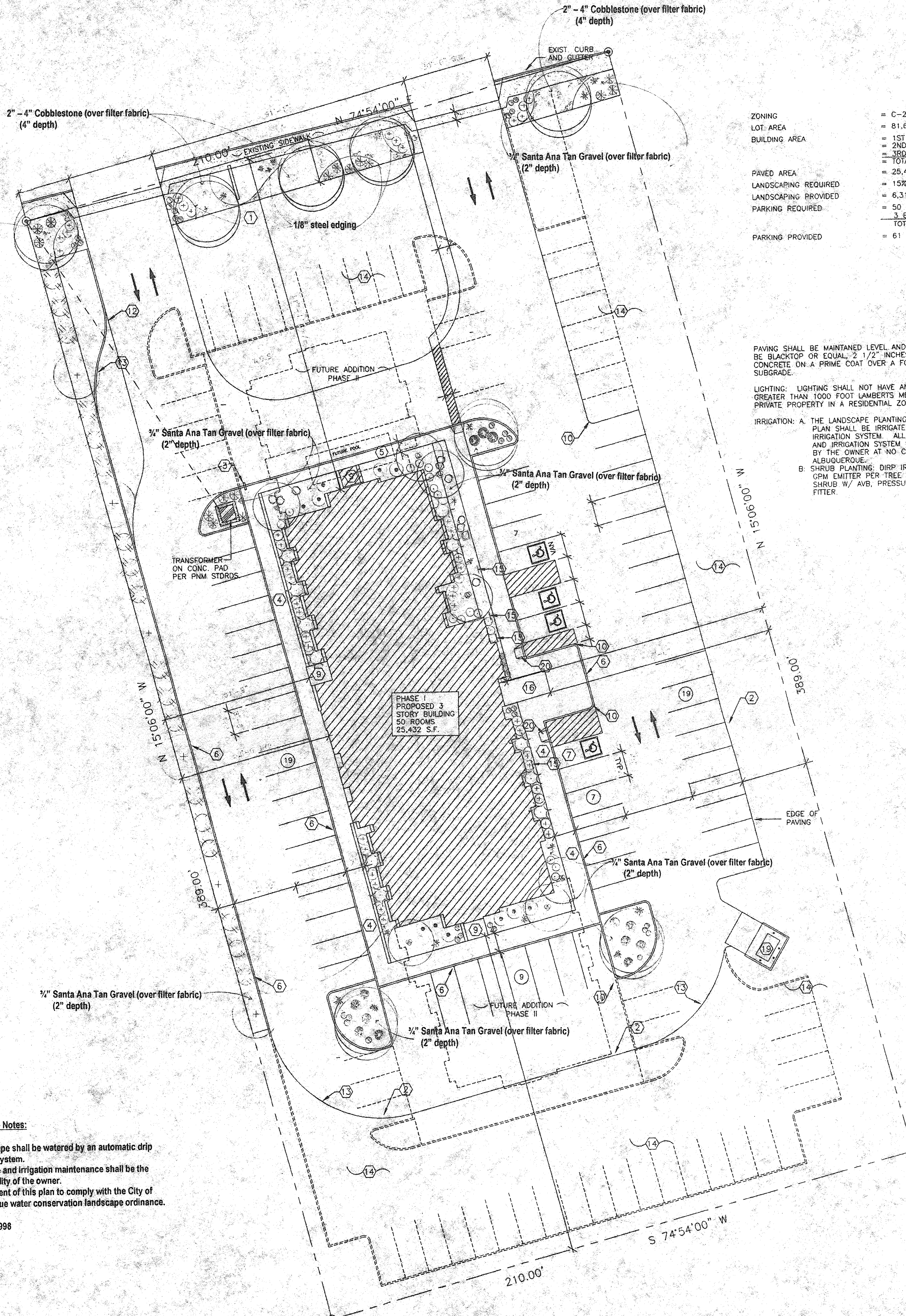
TIE ALL DOWNSPOUTS AND ROOF DRAINS INTO UNDERGROUND STORM SEWER - REFER TO SITE PLAN.

Plant Legend	
	Gleditsia triacanthos 'Shademaster' Shademaster Locust (2" caliper / B&B) H
	Pyrus calleryana 'Chanticleer' Chanticleer Flowering Pear (2" caliper / B&B) H
	Prunus cerasifera 'Krauter Vesuvius' Purple Leaf Plum (1 1/2" caliper B&B) H
	Juniperus virginiana 'Skyrocket' Skyrocket Juniper (7 gallon) L
	Cotoneaster parneyi Cotoneaster (5 gallon) M
	Photinia fraserii Photinia (5 gallon) M
	Juniperus sabina 'Broadmoor' Broadmoor Juniper (5 gallon) L
	Raphiolepis in. 'Enchantress' India Hawthorn (5 gallon) M
	Cotoneaster d. 'Coral Beauty' Coral Beauty Cotoneaster (2 gallon) M
	Nandina domestica 'Harbour Dwarf' Dwarf Heavenly Bamboo (2 gallon) M
	Potentilla fruticosa Cinquefoil (2 gallon) M
	Hesperaloe parviflora Red Flowering Yucca (1 gallon) L
	Salvia greggii Cherry Sage (1 gallon) M

Landscape Notes:

All landscape shall be watered by an automatic drip irrigation system.
Landscape and irrigation maintenance shall be the responsibility of the owner.
It is the intent of this plan to comply with the City of Albuquerque water conservation landscape ordinance.

March 9, 1998



ZONING	= C-2 (CZ-96-19)
LOT AREA	= 81,690 SF., 1.875 AC
BUILDING AREA	= 1ST FLOOR - 8,598 SF. = 2ND FLOOR - 8,417 SF. = 3RD FLOOR - 8,417 SF. = TOTAL - 25,432 SF.
PAVED AREA	= 25,432 SF.
LANDSCAPING REQUIRED	= 15% OF PAVED AREA = 3,805 SF.
LANDSCAPING PROVIDED	= 6,316 SF.
PARKING REQUIRED	= 50 ROOMS = 50 SPACES = 1 EMPLOYEE = 3 SPACES = TOTAL REQ. = 53 SPACES
PARKING PROVIDED	= 61 TOTAL SPACES.

PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2 1/2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.

LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

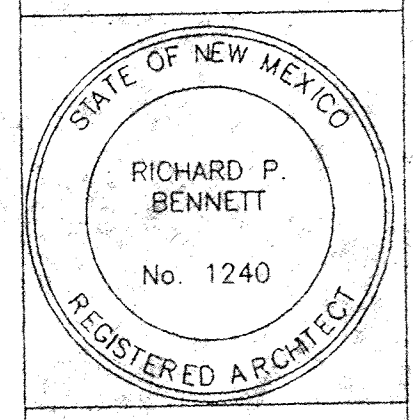
IRRIGATION: A. THE LANDSCAPE PLANTINGS SHOWN ON THIS PLAN SHALL BE IRRIGATED ON AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE PLANTINGS AND IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AT NO COST TO THE CITY OF ALBUQUERQUE.
B. SHRUB PLANTING: DRIP IRRIGATION W/ 6-1 GPM EMITTER PER TREE AND 2 EMITTERS PER SHRUB W/ AVB, PRESSURE REGULATOR, AND FITTER.

1. FREE STANDING SIGN, 26' HIGH, 100 SF. / SIDE
2. EDGE OF ASPHALT PAVING.
3. STOP SIGN.
4. 6" CONCRETE SIDEWALK.
5. 4" CONCRETE SIDEWALK.
6. 6" CONCRETE CURB
7. HANDICAPPED ACCESSIBLE VAN PARKING SPACE.
8. HANDICAPPED ACCESSIBLE CAR PARKING SPACE.
9. ENTRY INTO BUILDING.
10. 2'-0" RADIUS.
11. 15'-0" RADIUS.
12. 25'-0" RADIUS.
13. 40'-0" RADIUS.
14. GRAVEL GROUND COVER.
15. HANDICAPPED ACCESSIBLE SIGNAGE.
16. PORTAL (ENTRY INTO BUILDING)
17. NOT USED
18. NOT USED
19. DUMPSTER ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS
20. H.C. ACCESSIBLE CURB RAMP. SEE DETAIL 7/A-1.

PORTION OF TRACT 2
UNIT A, ROW 2,
TOWN OF ATRISCO GRANT
ALBUQUERQUE, NEW MEXICO.
1.88 AC.

**MICROTEL INN
ALBUQUERQUE, NEW MEXICO
PROJECT # 9734
LANDSCAPE PLAN**

REVISION DATE
3-9-98



rick bennett
architect
1118 Park Avenue SW
Albuquerque, New Mexico
87107 242-1859
(505) 242-1859

DATE
3-9-98

SHEET NUMBER
L - 1

