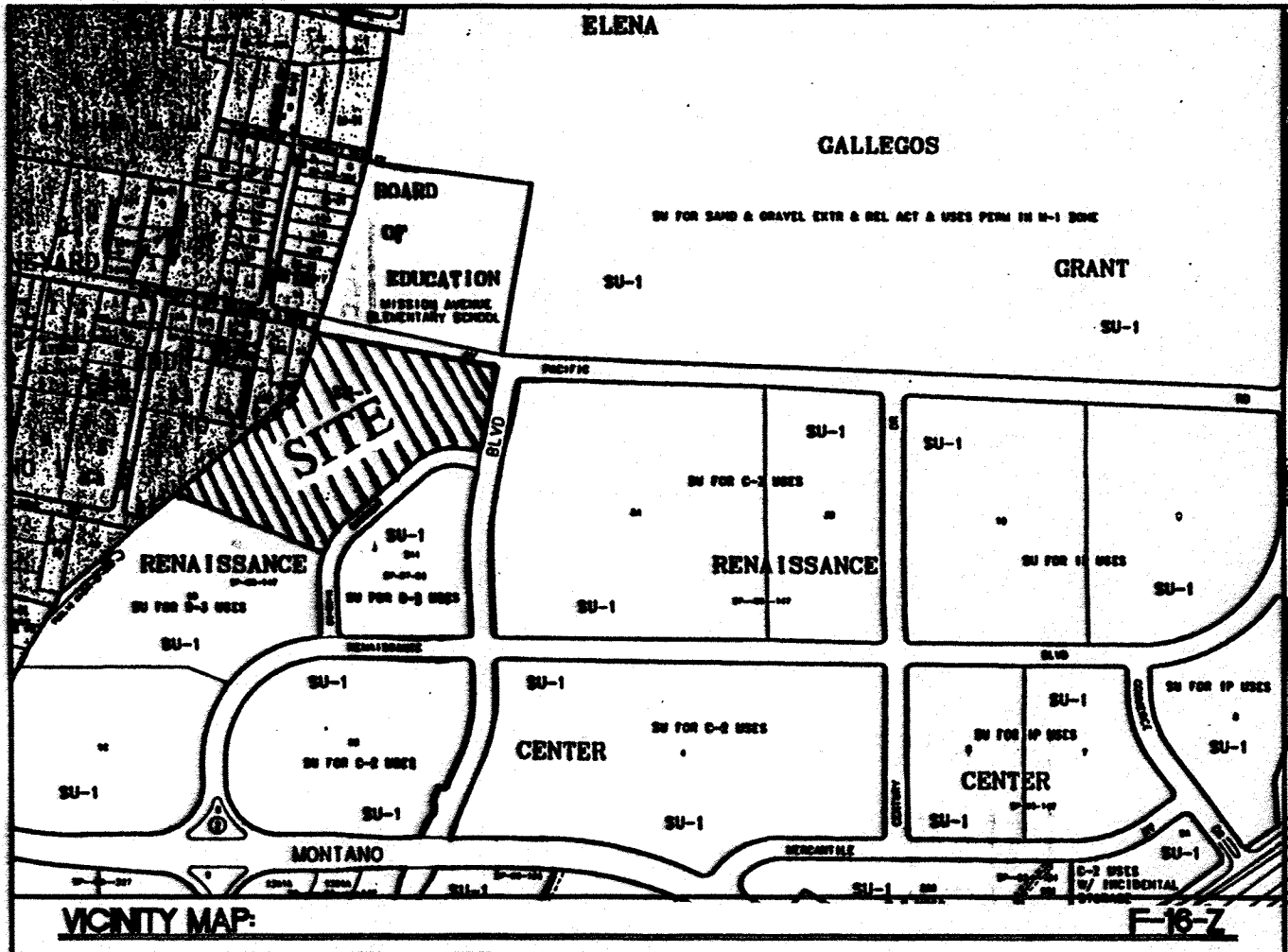


DRB-97-479



SITE DATA

TOTAL FOR SITE
 PROPOSED USAGE: APARTMENTS
 ZONING: SU-1 FOR R3 USES
 BUILDING TYPE: V-N
 LOT AREA: 581,692.80 SF (13.3538 ACRES)
 TOTAL BUILDING AREA: 172,862 SF
 PARKING/DRIVEWAY: 272,531 SF ±
 LANDSCAPE AREA: 211,479 SF ±
 LANDSCAPING REQUIRED: 72,601 SF ±
 PARKING PROVIDED: 442 SPACES
 PARKING REQUIRED: 439 SPACES
 HC PARKING PROVIDED: 16 SPACES
 HC PARKING REQUIRED: 8 SPACES
 2 SPACES VAN ACCESSIBLE

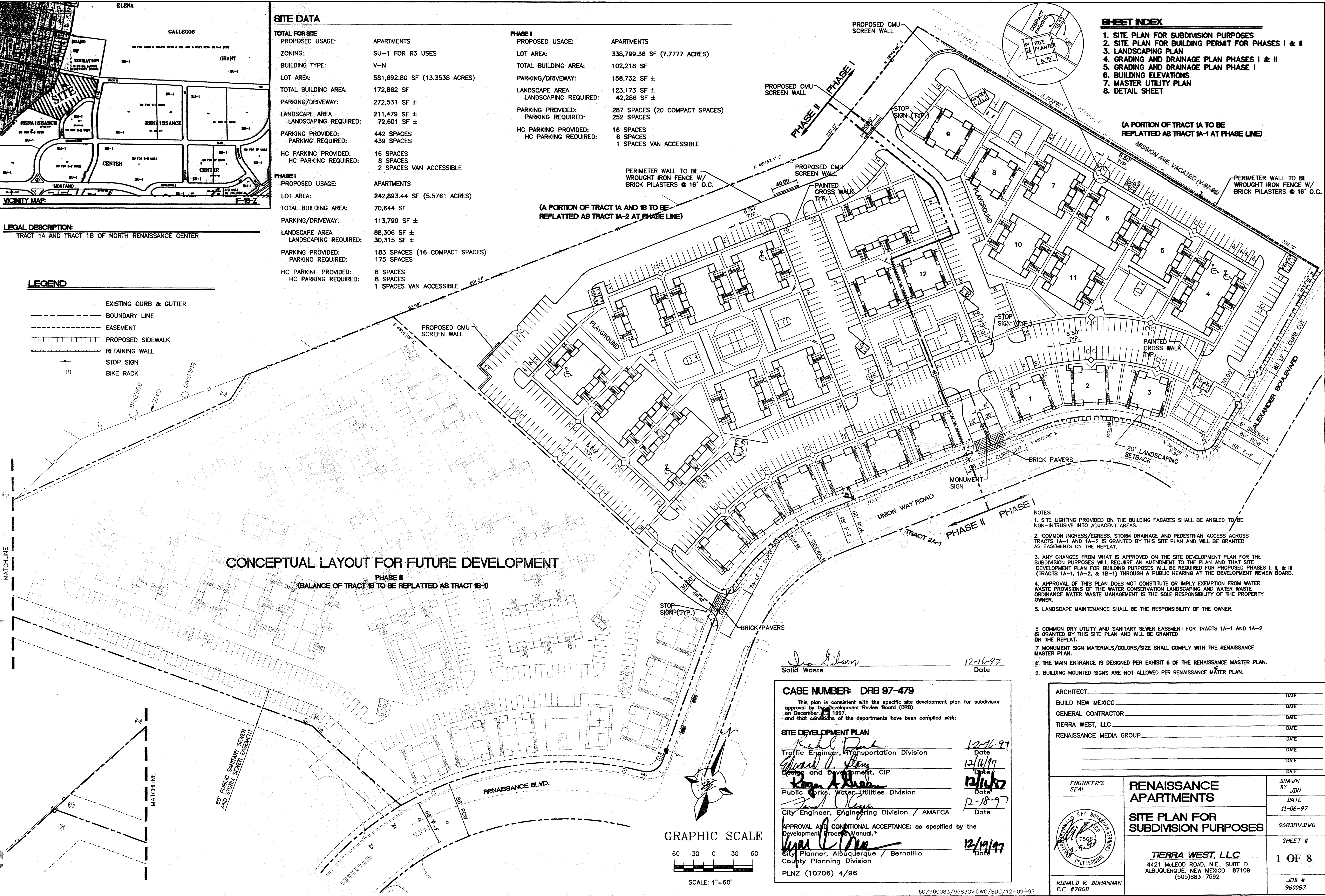
PHASE I
 PROPOSED USAGE: APARTMENTS
 LOT AREA: 338,799.36 SF (7.7777 ACRES)
 TOTAL BUILDING AREA: 102,218 SF
 LANDSCAPE AREA: 123,173 SF ±
 LANDSCAPING REQUIRED: 42,286 SF ±
 PARKING PROVIDED: 287 SPACES (20 COMPACT SPACES)
 PARKING REQUIRED: 252 SPACES
 HC PARKING PROVIDED: 16 SPACES
 HC PARKING REQUIRED: 6 SPACES
 1 SPACES VAN ACCESSIBLE

PHASE II
 PROPOSED USAGE: APARTMENTS
 LOT AREA: 242,893.44 SF (5.5761 ACRES)
 TOTAL BUILDING AREA: 70,644 SF
 PARKING/DRIVEWAY: 113,799 SF ±
 LANDSCAPE AREA: 88,306 SF ±
 LANDSCAPING REQUIRED: 30,315 SF ±
 PARKING PROVIDED: 183 SPACES (16 COMPACT SPACES)
 PARKING REQUIRED: 175 SPACES
 HC PARKING PROVIDED: 8 SPACES
 HC PARKING REQUIRED: 8 SPACES
 1 SPACES VAN ACCESSIBLE

LEGAL DESCRIPTION
 TRACT 1A AND TRACT 1B OF NORTH RENAISSANCE CENTER

- LEGEND**
- EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - RETAINING WALL
 - STOP SIGN
 - BIKE RACK

- SHEET INDEX**
1. SITE PLAN FOR SUBDIVISION PURPOSES
 2. SITE PLAN FOR BUILDING PERMIT FOR PHASES I & II
 3. LANDSCAPING PLAN
 4. GRADING AND DRAINAGE PLAN PHASES I & II
 5. GRADING AND DRAINAGE PLAN PHASE I
 6. BUILDING ELEVATIONS
 7. MASTER UTILITY PLAN
 8. DETAIL SHEET



- NOTES:**
1. SITE LIGHTING PROVIDED ON THE BUILDING FACADES SHALL BE ANGLED TO BE NON-INTRUSIVE INTO ADJACENT AREAS.
 2. COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS 1A-1 AND 1A-2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED AS EASEMENTS ON THE REPLAT.
 3. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR PROPOSED PHASES I, II, & III (TRACTS 1A-1, 1A-2, & 1B-1) THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD.
 4. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 5. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 6. COMMON DRY UTILITY AND SANITARY SEWER EASEMENT FOR TRACTS 1A-1 AND 1A-2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 7. MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE RENAISSANCE MASTER PLAN.
 8. THE MAIN ENTRANCE IS DESIGNED PER EXHIBIT 6 OF THE RENAISSANCE MASTER PLAN.
 9. BUILDING MOUNTED SIGNS ARE NOT ALLOWED PER RENAISSANCE MASTER PLAN.

Ina Gibson
 Solid Waste
 12-16-97
 Date

CASE NUMBER: DRB 97-479
 This plan is consistent with the specific site development plan for subdivision approval by the Development Review Board (DRB) on December 11, 1997, and that conditions of the departments have been complied with:

SITE DEVELOPMENT PLAN

Rubén D. ... 12-16-97
 Traffic Engineer, Transportation Division
 Date

David H. ... 12/16/97
 Planning and Development, CIP
 Date

Roger A. ... 12/16/97
 Public Works, Water Utilities Division
 Date

... 12-18-97
 City Engineer, Engineering Division / AMAFCA
 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.
... 12/19/97
 City Planner, Albuquerque / Bernalillo
 County Planning Division
 Date

PLNZ (10706) 4/96

ARCHITECT	DATE
BUILD NEW MEXICO	DATE
GENERAL CONTRACTOR	DATE
TERRA WEST, LLC	DATE
RENAISSANCE MEDIA GROUP	DATE
	DATE
	DATE
	DATE

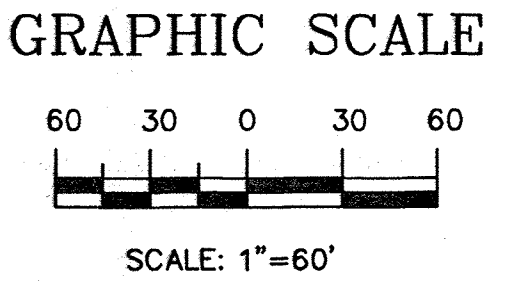
RENAISSANCE APARTMENTS

SITE PLAN FOR SUBDIVISION PURPOSES

TERRA WEST, LLC
 4421 McLEOD ROAD, N.E., SUITE D
 ALBUQUERQUE, NEW MEXICO 87109
 (505)883-7592

ENGINEER'S SEAL
 RONALD R. BOHANNAN
 P.E. #7868

DRAWN BY JDN
 DATE 11-06-97
 9683DV.DWG
 SHEET # 1 OF 8
 JOB # 960083



DRB-97-479

LANDSCAPE CALCULATIONS

LANDSCAPE NOTES:

All landscaping shall be watered by a complete underground irrigation system operated by automatic timer. Pop Up spray heads to sod lawn. Bubblers to trees and drip irrigation to shrub areas. Irrigation system maintenance shall be the responsibility of the Property Owner.

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property

TOTAL LOT AREA	586,920	square feet
TOTAL BUILDINGS AREA	102,910	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	484,010	square feet
LANDSCAPE REQUIREMENT	15	square feet
TOTAL LANDSCAPE REQUIREMENT	72,601	square feet

TOTAL LANDSCAPE PROVIDED	211,479	square feet
TOTAL BED PROVIDED	142,397	square feet
TOTAL SOD PROVIDED	16,073	square feet
TOTAL NATIVE SEED PROVIDED	53,009	square feet

NUMBER OF TREES REQUIRED FOR ON SITE PARKING:

PHASE I:	REQUIRED: 18	PHASE II:	REQUIRED: 29
	PROVIDED: 21		PROVIDED: 29

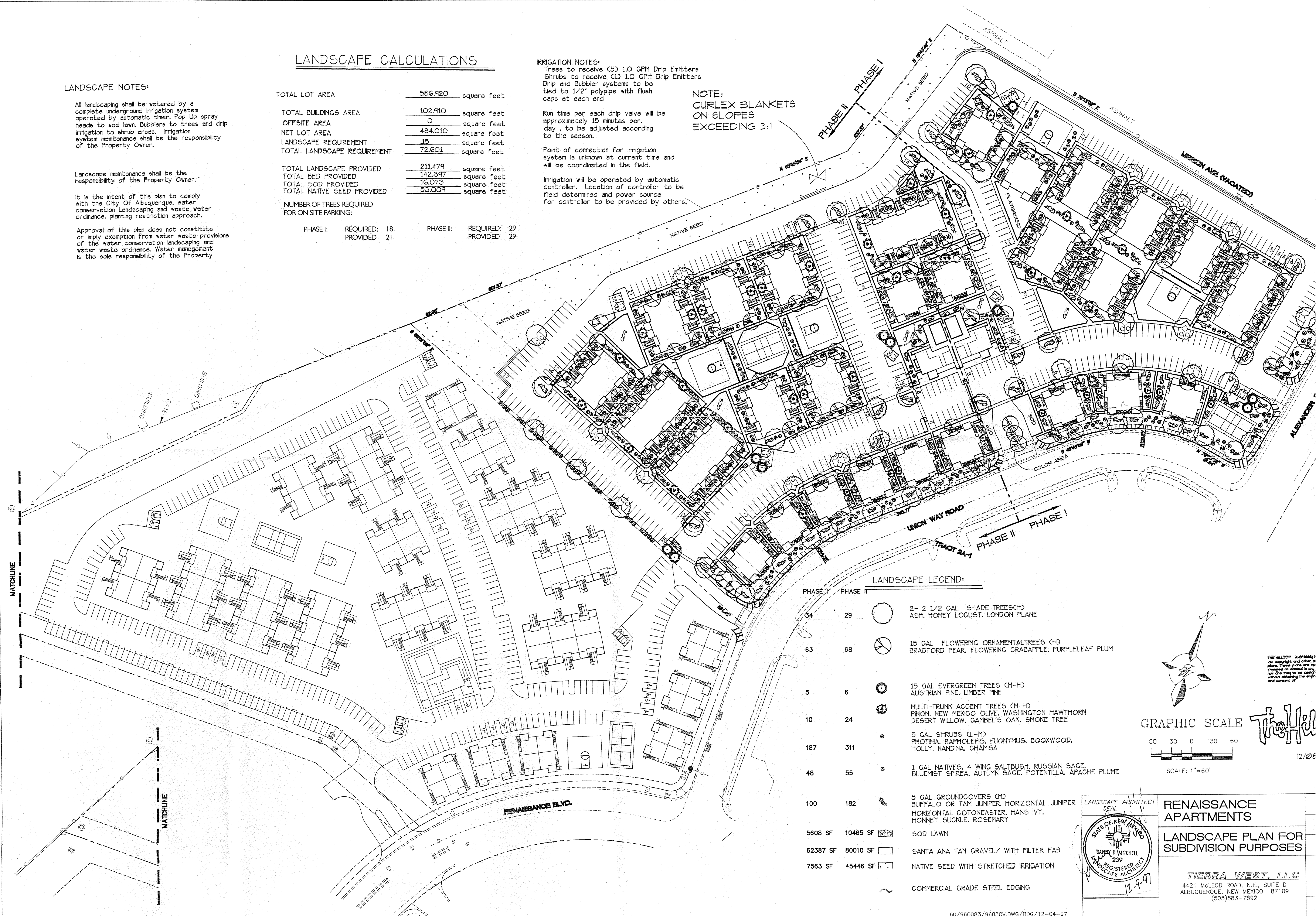
IRRIGATION NOTES:
 Trees to receive (5) 1.0 GPM Drip Emitters
 Shrubs to receive (1) 1.0 GPM Drip Emitters
 Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day. to be adjusted according to the season.

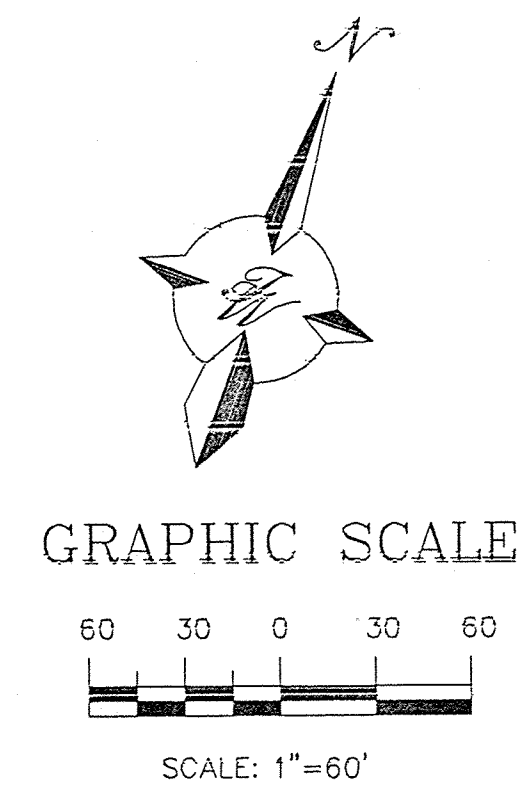
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

NOTE:
 CURLEX BLANKETS ON SLOPES EXCEEDING 3:1



LANDSCAPE LEGEND:		
PHASE I	PHASE II	
34	29	2- 2 1/2 GAL. SHADE TREES (C)D ASH, HONEY LOCUST, LONDON PLANE
63	68	15 GAL FLOWERING ORNAMENTAL TREES (C)D BRADFORD PEAR, FLOWERING CRABAPPLE, PURPLELEAF PLUM
5	6	15 GAL EVERGREEN TREES (C)M-H AUSTRIAN PINE, LIMBER PINE
10	24	MULTI-TRUNK ACCENT TREES (C)M-H PINON, NEW MEXICO OLIVE, WASHINGTON HAWTHORN DESERT WILLOW, GAMBEL'S OAK, SMOKE TREE
187	311	5 GAL SHRUBS (C)M-D PHOTNIA, RAPHAELIS, EUONYMUS, BOXWOOD, HOLLY, NANDINA, CHAMISA
48	55	1 GAL NATIVES, 4 WING SALT BUSH, RUSSIAN SAGE, BLUEMIST SPIREA, AUTUMN SAGE, POTENTILLA, APACHE PLUME
100	182	5 GAL GROUNDCOVERS (C)D BUFFALO OR TAM JUNIPER, HORIZONTAL JUNIPER HORIZONTAL COTONEASTER, HANS IVY, HONEY SUCKLE, ROSEMARY
5608 SF	10465 SF	SOD LAWN
62387 SF	80010 SF	SANTA ANA TAN GRAVEL/ WITH FILTER FAB
7563 SF	45446 SF	NATIVE SEED WITH STRETCHED IRRIGATION
		COMMERCIAL GRADE STEEL EDGING



LANDSCAPE ARCHITECT

SITE OF NEW MEXICO

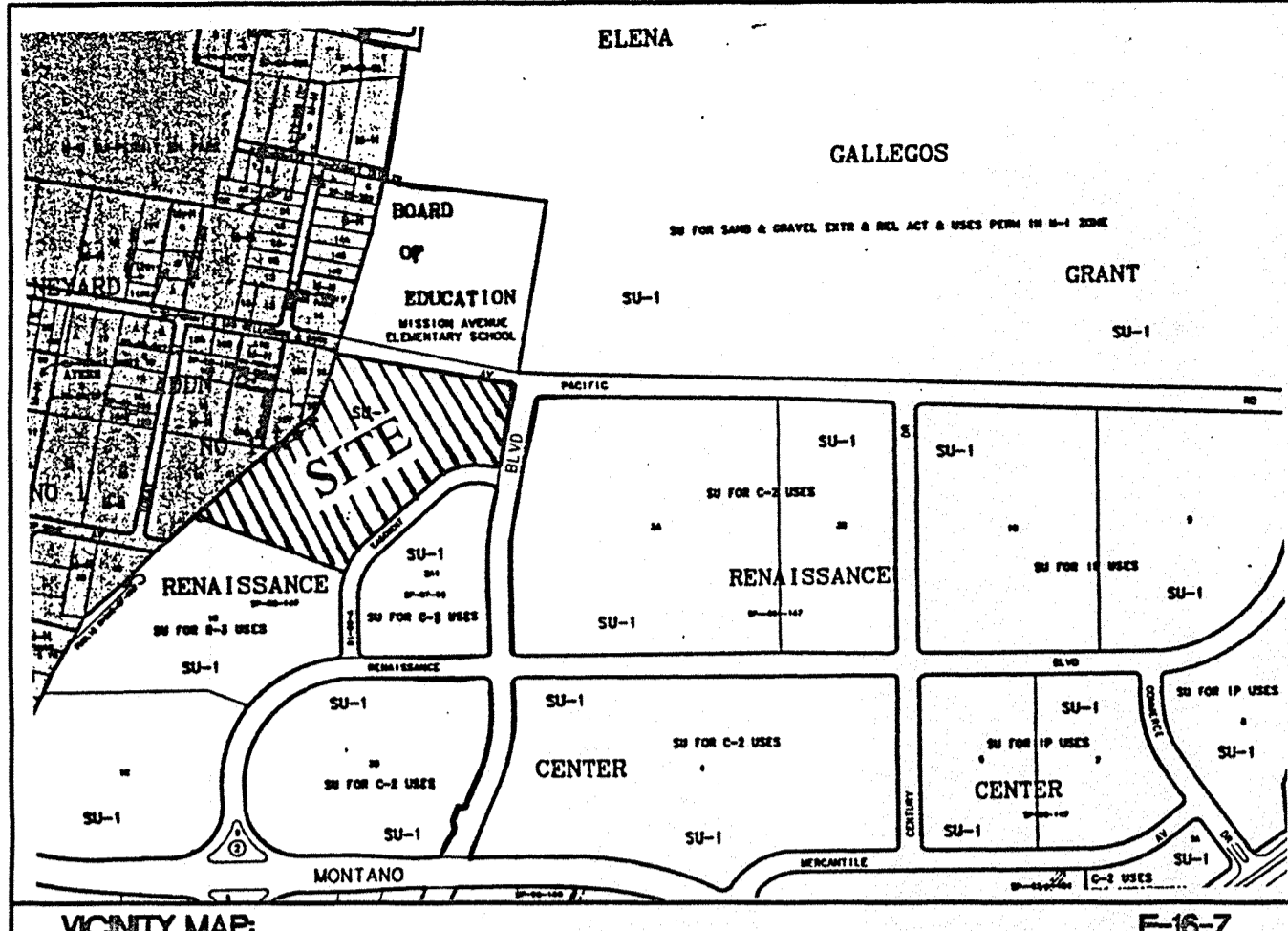
DANNY D WITCHELL
259
REGISTERED
LANDSCAPE ARCHITECT

12-9-97

RENAISSANCE APARTMENTS

LANDSCAPE PLAN FOR SUBDIVISION PURPOSES

TIERRA WEST, LLC
 4421 MCLEOD ROAD, N.E., SUITE D
 ALBUQUERQUE, NEW MEXICO 87109
 (505)883-7592



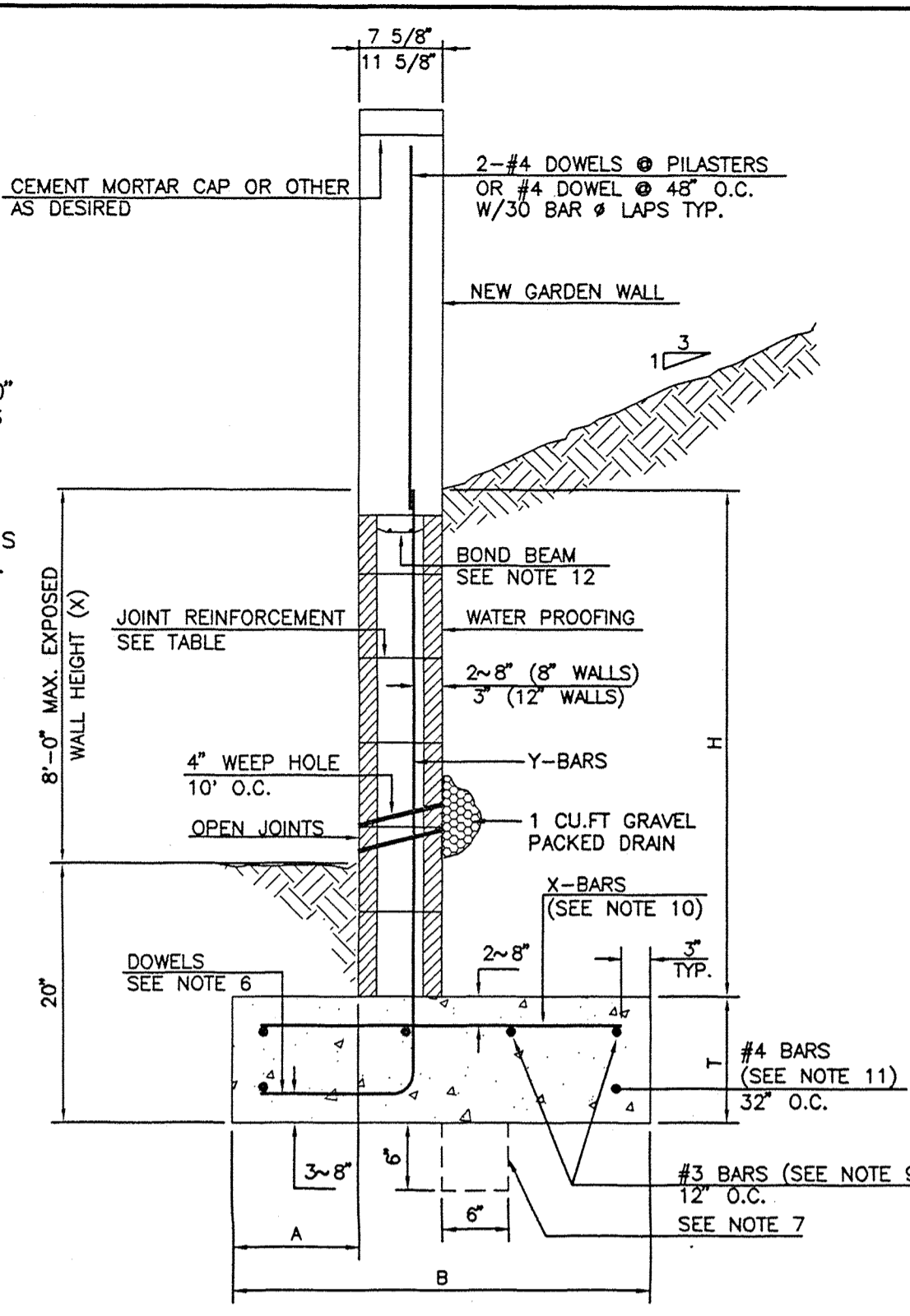
LEGAL DESCRIPTION:
TRACT 1A OF NORTH RENAISSANCE CENTER

ENGINEER'S STATEMENT
I, RONALD BOHANNAN, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 7868, DO HEREBY STATE THAT I HAVE PERSONALLY MADE AN ON-SITE FIELD INSPECTION OF THE SUBJECT PROPERTY, AND HAVE FOUND THAT NO RECENT GRADING, FILLING, OR CUTTING, HAD TAKEN PLACE ON SAID SITE PRIOR TO THE PREPARATION OF THE TOPOGRAPHY SURVEY SHOWN ON THE PLAN HEREON.

SIGNATURE _____ DATE _____

NOTES
1. SEE DRAINAGE REPORT FOR SUPPLEMENTARY CALCULATIONS.
2. IT IS THE RESPONSIBILITY OF FUTURE LOT OWNERS TO MAKE SURE THAT GRADES AROUND THE PADS WILL DRAIN THE RUN-OFFS TO THE POND.

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0". USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 8. #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT.
 9. #4 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT.
 10. #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4".
 11. #4 BARS TO BE USED ON WALLS UNDER 3'-4".
 12. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



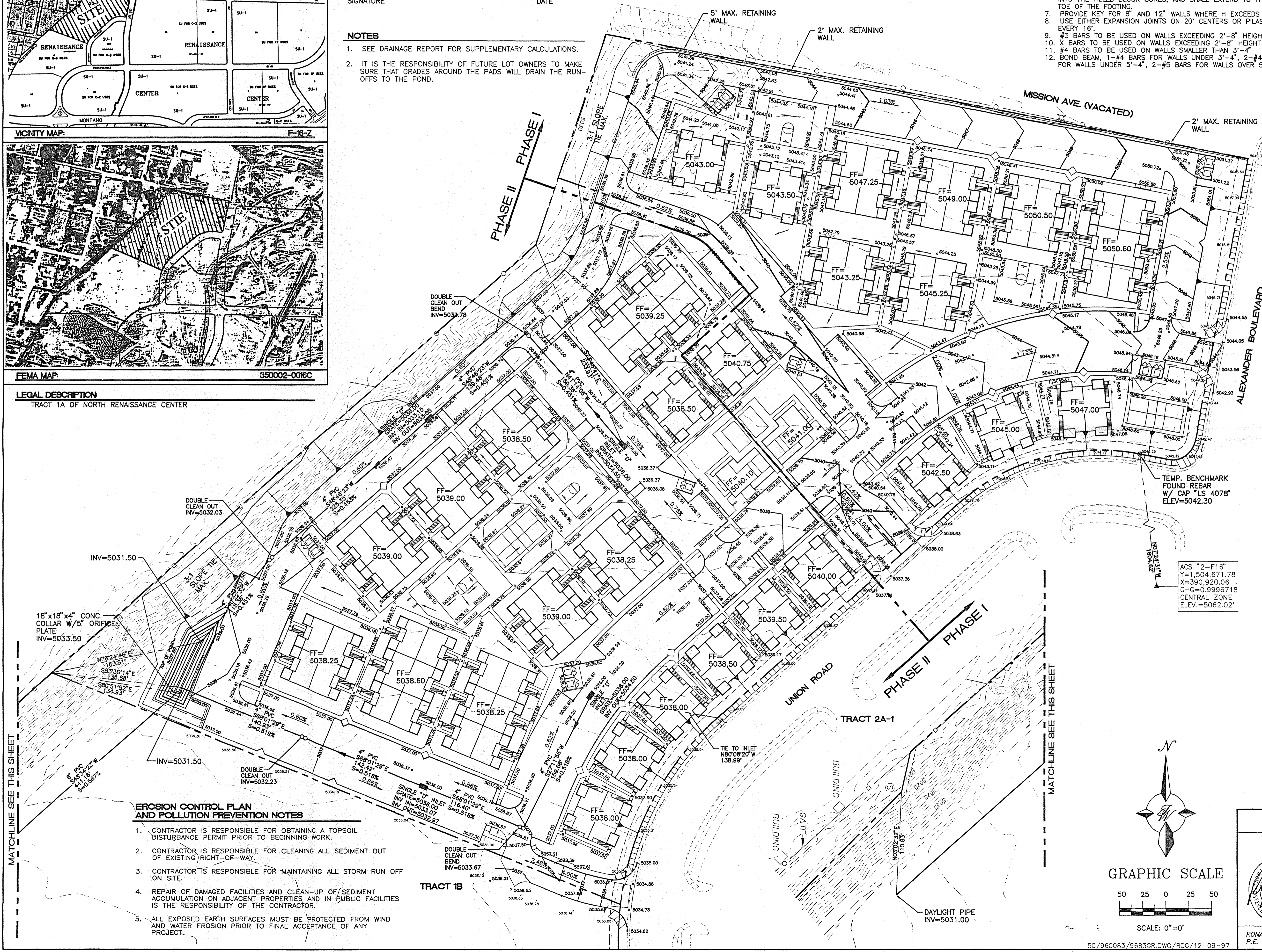
RETAINING WALL DETAIL
NOT TO SCALE

8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @ 32" O.C.	#3 @ 27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
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4'-8"	3'-10"	12"	3'-4"	10"	#5 @ 32" O.C.	#3 @ 27" O.C.
5'-4"	4'-6"	14"	3'-6"	10"	#4 @ 30" O.C.	#4 @ 30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @ 24" O.C.	#4 @ 25" O.C.

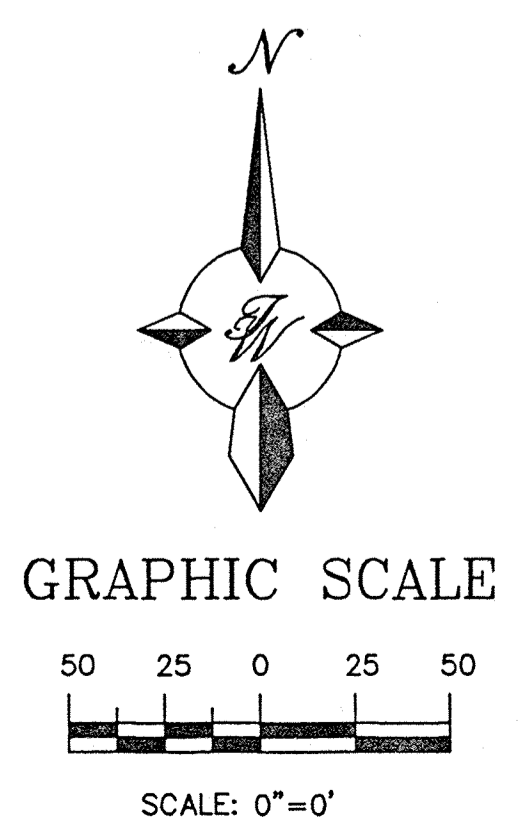
12 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @ 24" O.C.	#3 @ 25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @ 16" O.C.	#4 @ 30" O.C.
6'-8"	6'-0"	16"	4'-6"	12"	#6 @ 24" O.C.	#4 @ 22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @ 16" O.C.	#5 @ 26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @ 24" O.C.	#5 @ 21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @ 16" O.C.	#5 @ 21" O.C.



- EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

- LEGEND**
- EXISTING CURB & GUTTER
 - EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - PROPOSED SPOT ELEVATION @ FL
 - PROPOSED SD LINE
 - PROPOSED SD INLET
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR



	TRACT 1A NORTH RENAISSANCE APARTMENTS GRADING AND DRAINAGE PLAN PHASE I AND PHASE II	DRAWN BY BDG DATE 10-16-97 SHEET # 4 OF 8 JOB # 960083
	TIERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	50/960083/9683GR.DWG/BDG/12-09-97

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SIGNATURE _____ DATE _____

NOTES

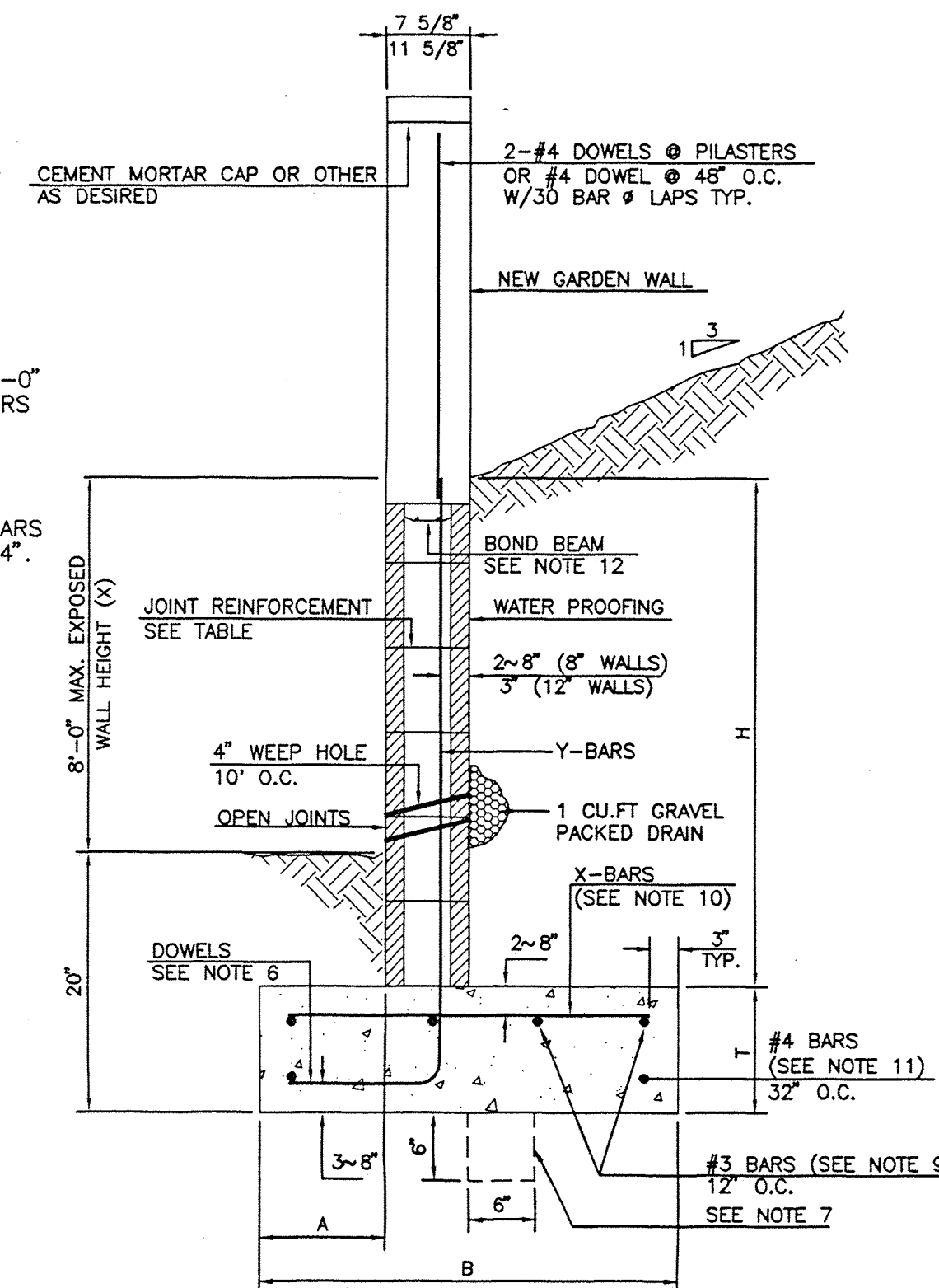
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8 INCH REINFORCED CONCRETE MASONRY WALL

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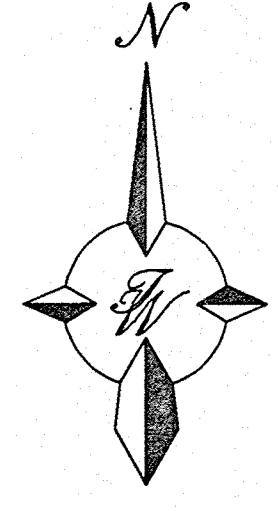
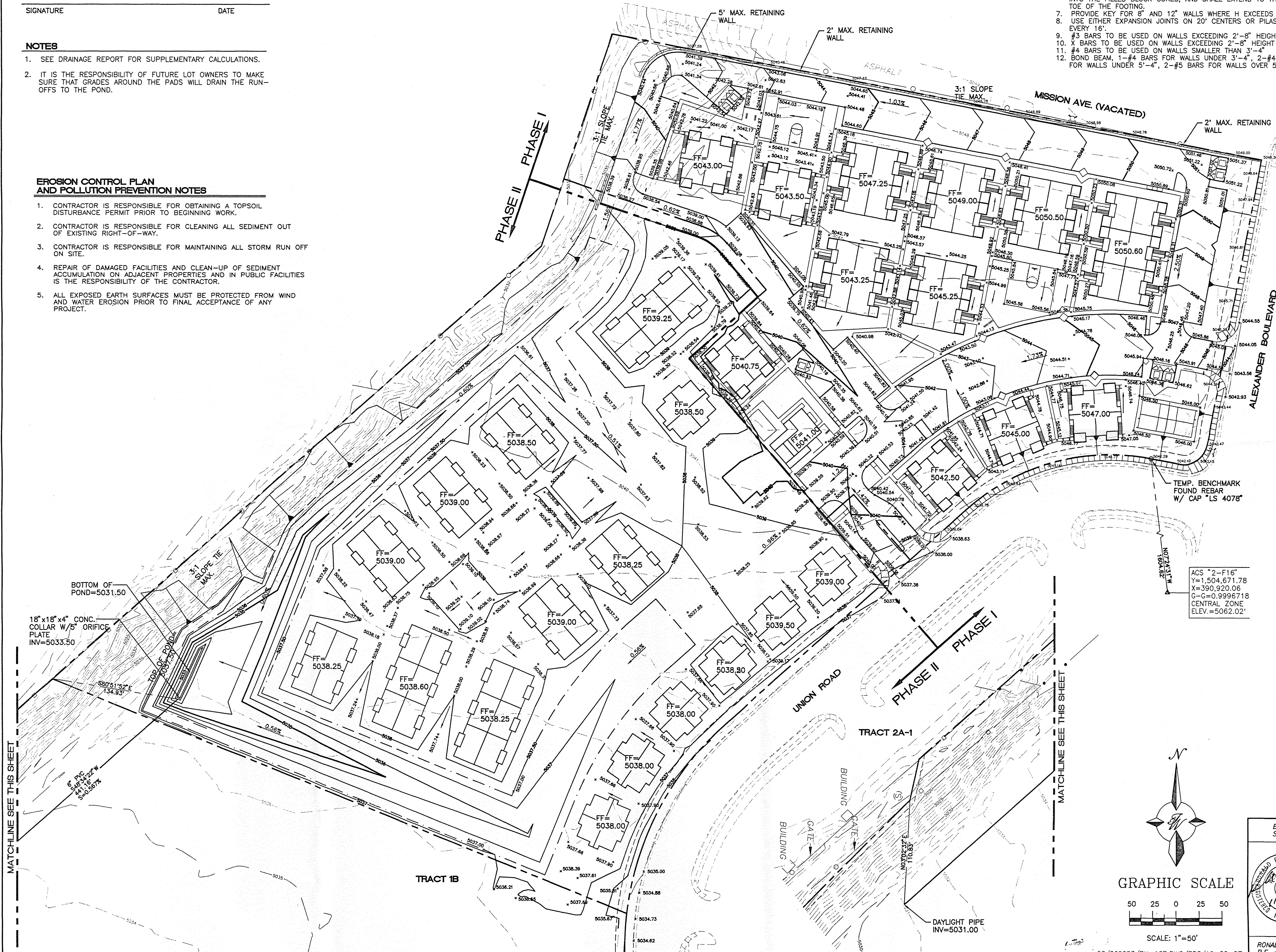
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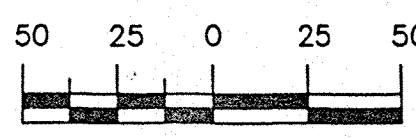
LEGEND

- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- * 5038.63 PROPOSED SPOT ELEVATION @ FL
- PROPOSED SD LINE
- PROPOSED SD INLET
- 5040 PROPOSED MAJOR CONTOUR
- 5041 PROPOSED MINOR CONTOUR

ROUGH GRADING APPROVAL _____ DATE _____



GRAPHIC SCALE



SCALE: 1"=50'

50/960083/PH-1GR.DWG/BDG/12-09-97

ENGINEER'S SEAL

RONALD R. BOHANNAN
P.E. #7868

**TRACT 1A
NORTH RENAISSANCE
APARTMENTS**

GRADING AND DRAINAGE PLAN
PHASE I

TIERRA WEST, LLC
4421 McLEOD ROAD, N.E., SUITE D
ALBUQUERQUE, NEW MEXICO 87109
(505)883-7592

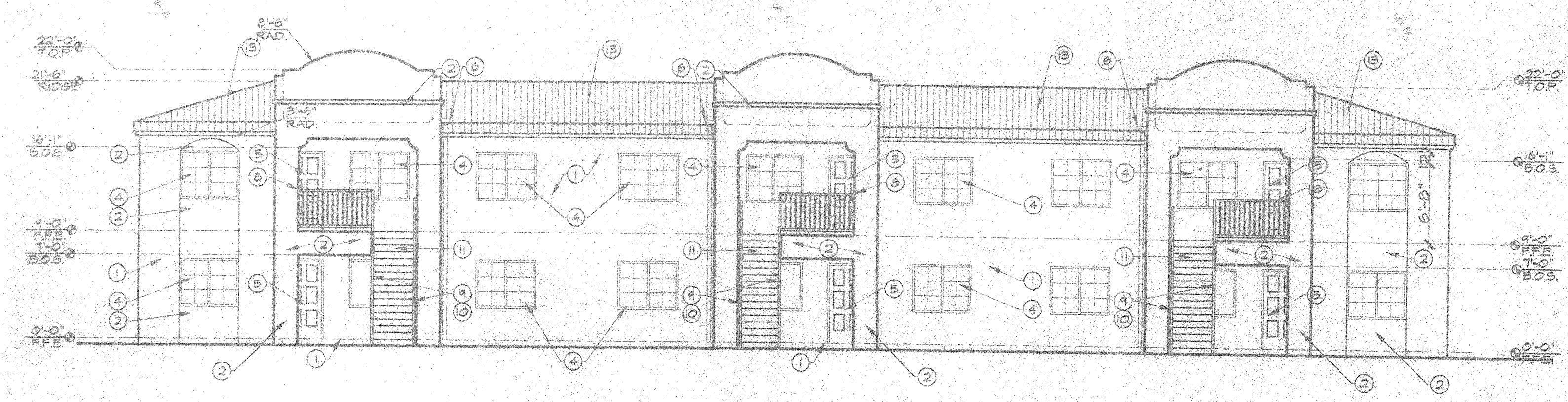
DRAWN BY: BDG
DATE: 11-06-97
PH-1GR.DWG
SHEET # 5 OF 8
JOB # 960083

KEYED NOTES:

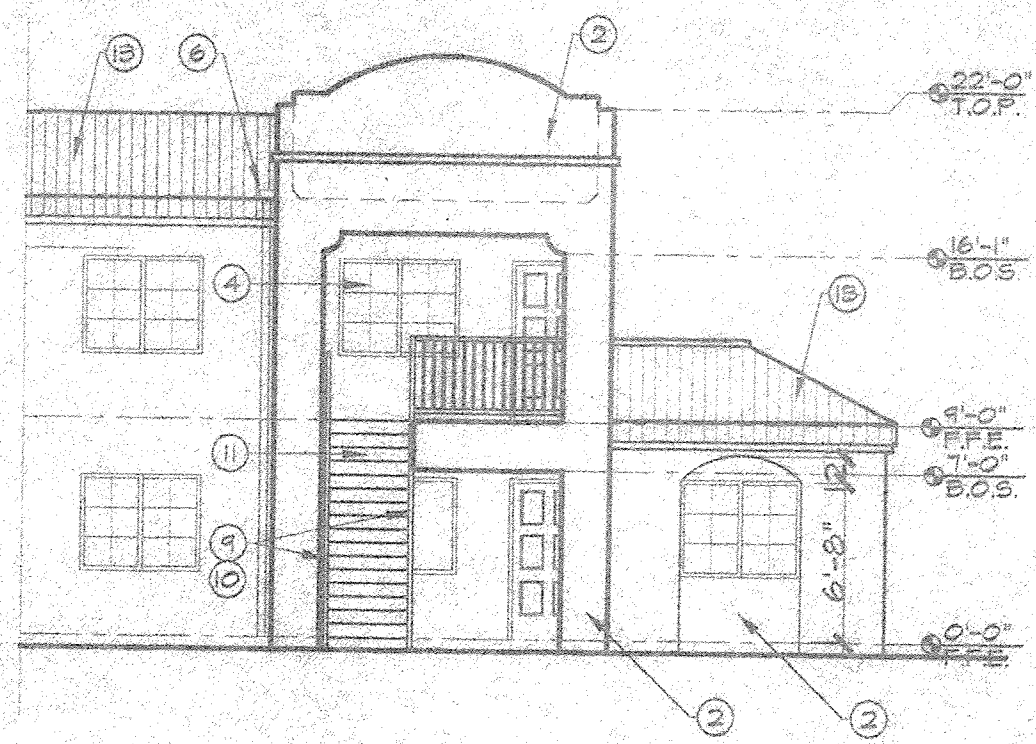
1. STUCCO FINISH (LIGHT TAN)
2. STUCCO FINISH (MEDIUM TAN)
3. ALUM. RECESSED MAILBOXES (125 BOXES)
4. ALUM. SLIDING WINDOW PER PLAN (WHITE)
5. DOOR PER PLAN (TEAL BLUE)
6. GALV. SHEET MTL. SCUPPER & DOWNSPOUT (LIGHT TAN)
7. LINE OF ROOF BEYOND
8. 42" HIGH STEEL GUARDRAIL (TEAL BLUE)
9. STEEL STAIR HANDRAIL (TEAL BLUE)
10. STEEL STAIR STRINGER (TEAL BLUE)
11. PRECAST CONCRETE STAIR TREADS
12. ALUM/GLASS SLIDING DOOR PER PLAN (WHITE)
13. RIBBED INTERLOCKING METAL ROOFING (TEAL BLUE)
14. 3x4 PRESSURE TREATED TRELLIS @ 18" O.C.
15. 6x PRESSURE TREATED TRELLIS BEAM PER STRUCT.
16. 6x6 PRESSURE TREATED TRELLIS POSTS PER STRUCT.
17. WOOD/GLASS DOOR PER SCHEDULE (WHITE)
18. 42" LOW EXTERIOR WALL (LIGHT TAN)

LEGEND:

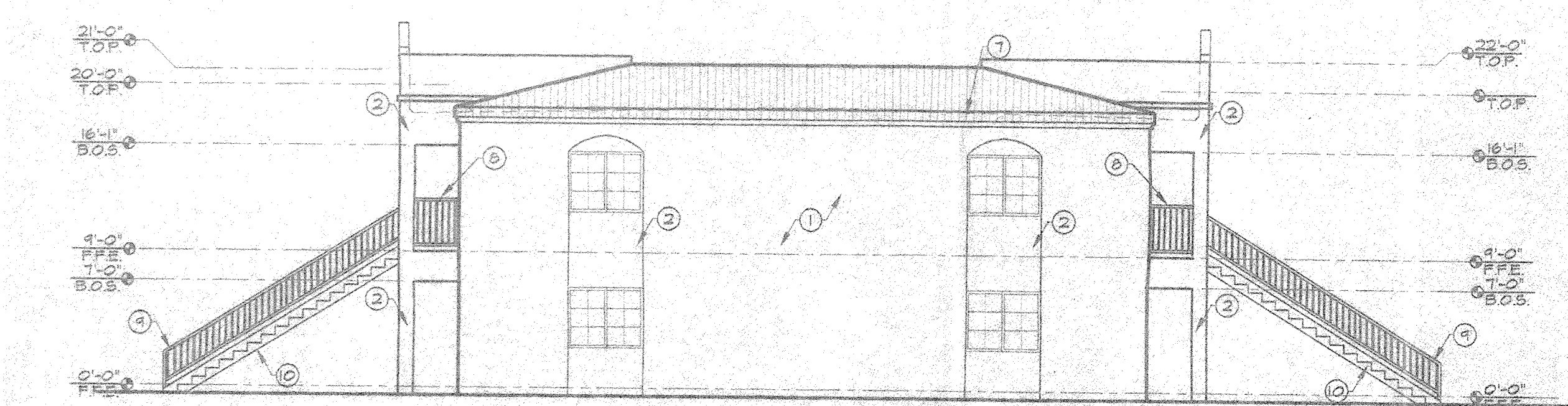
- T.O.P. = TOP OF PARAPET
 F.F.E. = FINISH FLOOR ELEVATION
 B.O.S. = BOTTOM OF SOFFIT



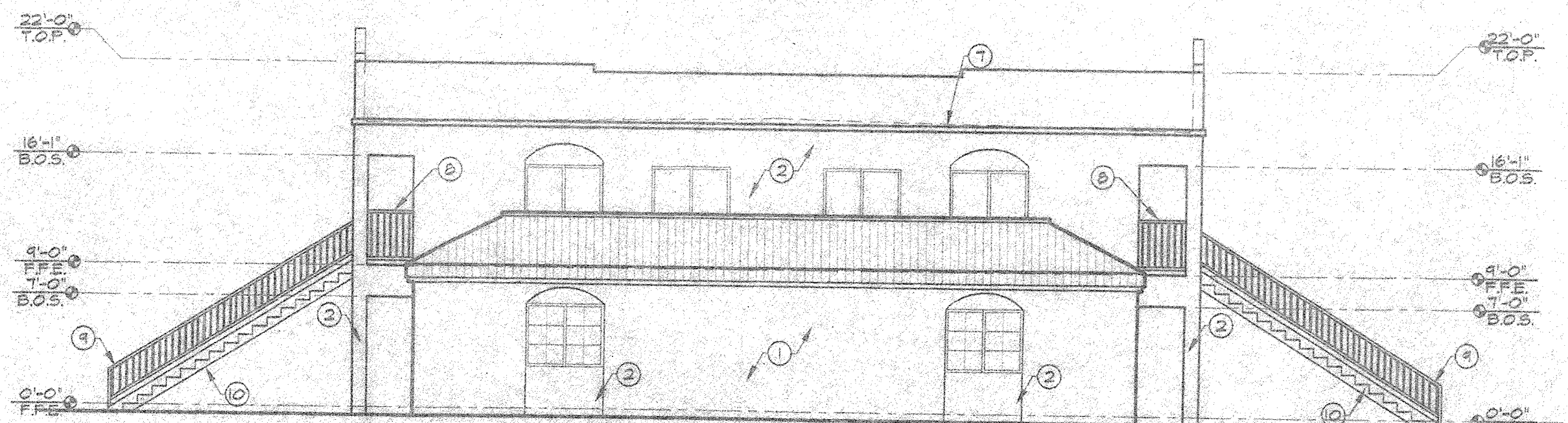
BUILDING TYPE 1 FRONT AND REAR ELEVATIONS
 SCALE: 1/8" = 1'-0"



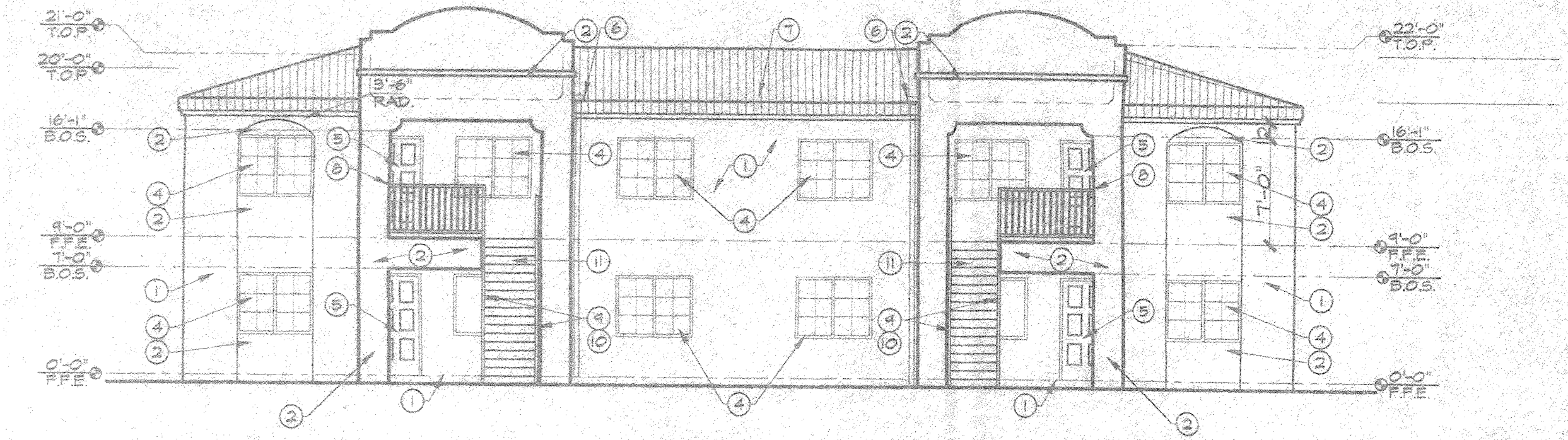
BUILDING TYPE 3 PARTIAL FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



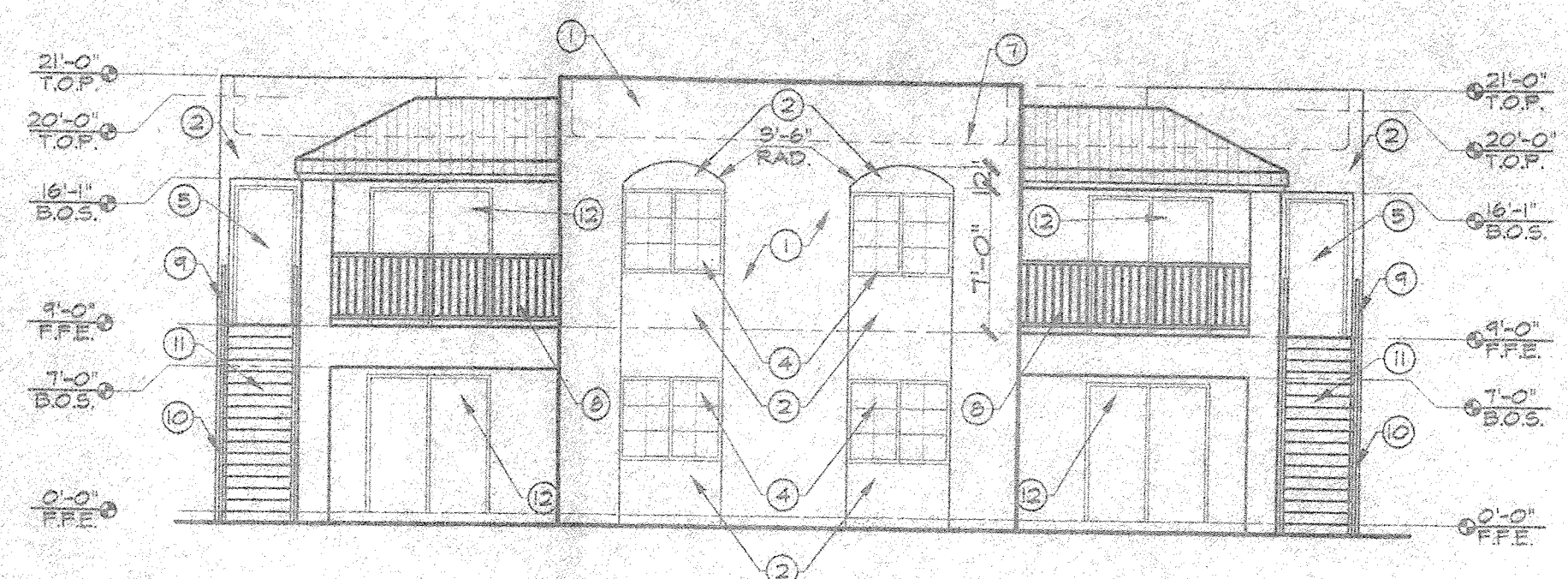
BUILDING TYPE 1, 2 & 3 SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



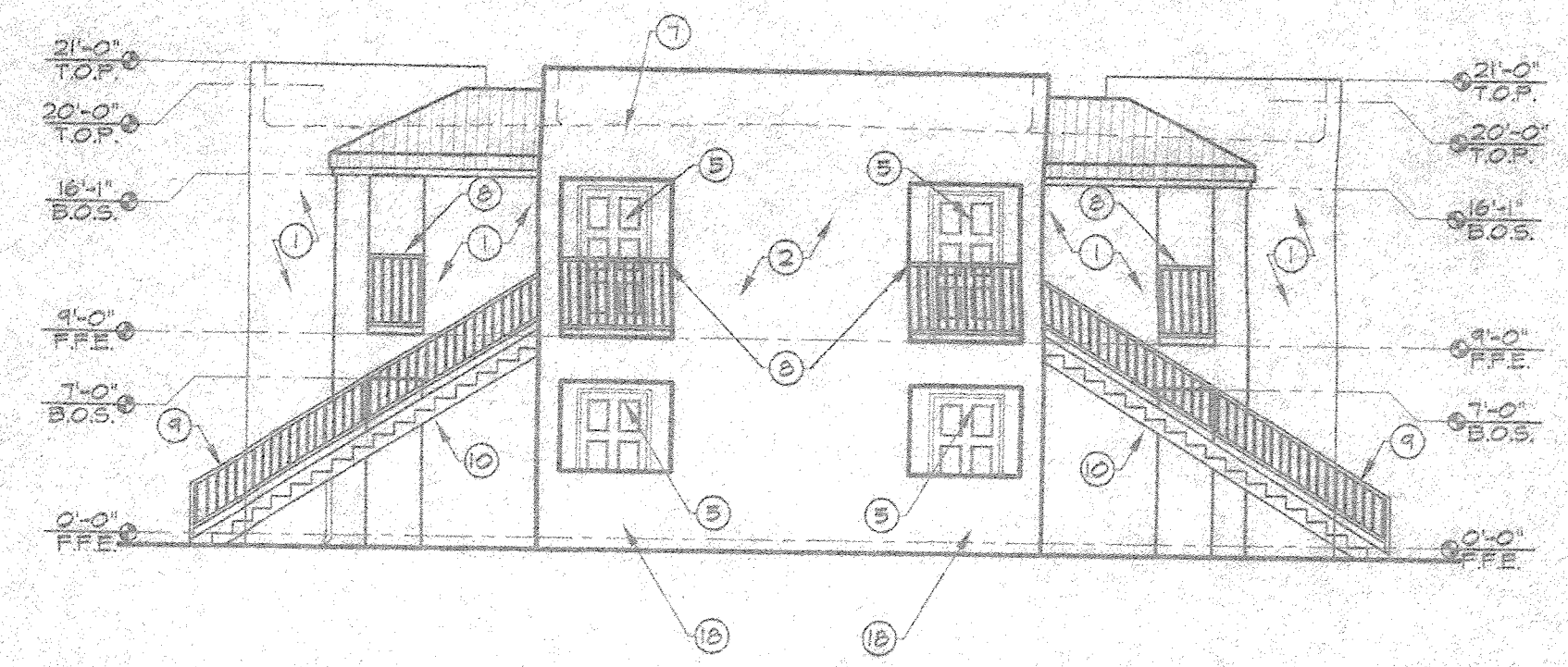
BUILDING TYPE 3 SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



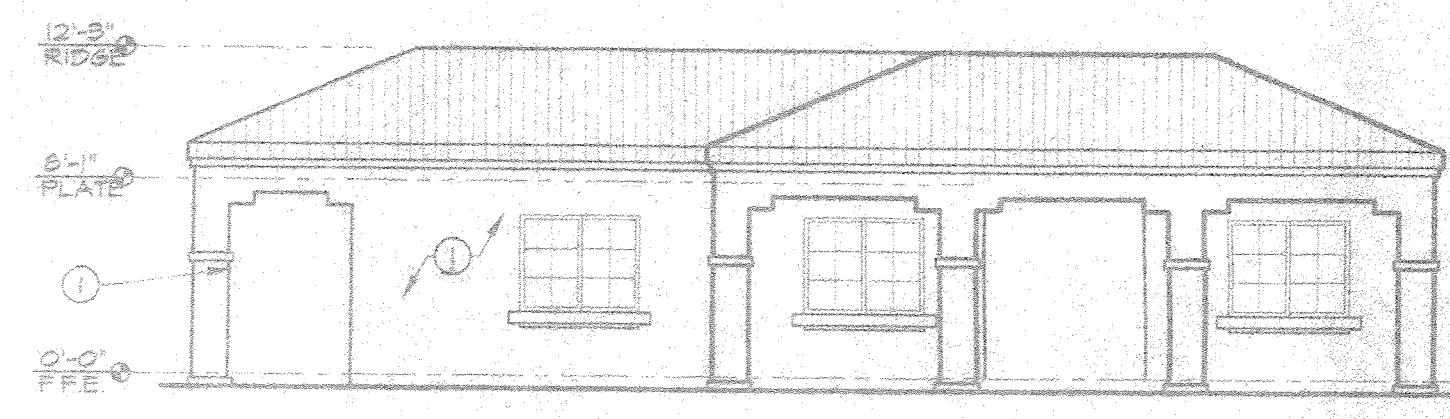
BUILDING TYPE 2 FRONT AND REAR ELEVATIONS
 SCALE: 1/8" = 1'-0"



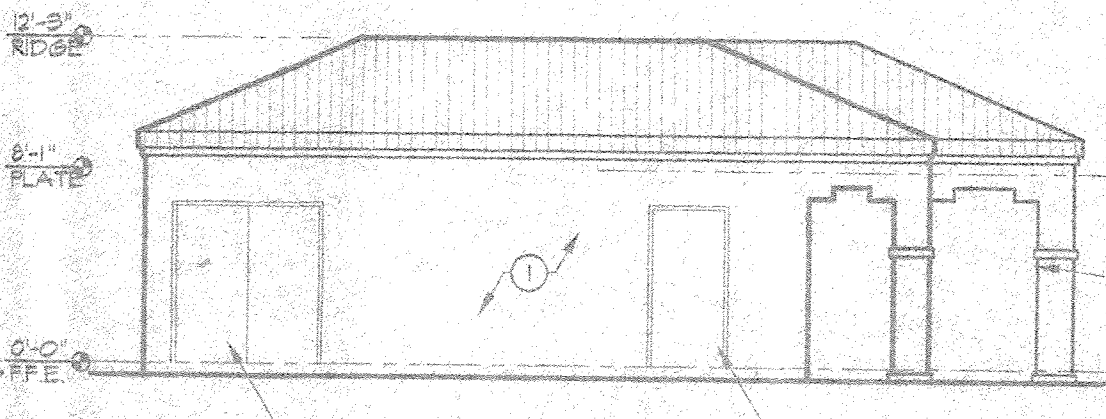
BUILDING TYPE 4 FRONT ELEVATIONS
 SCALE: 1/8" = 1'-0"



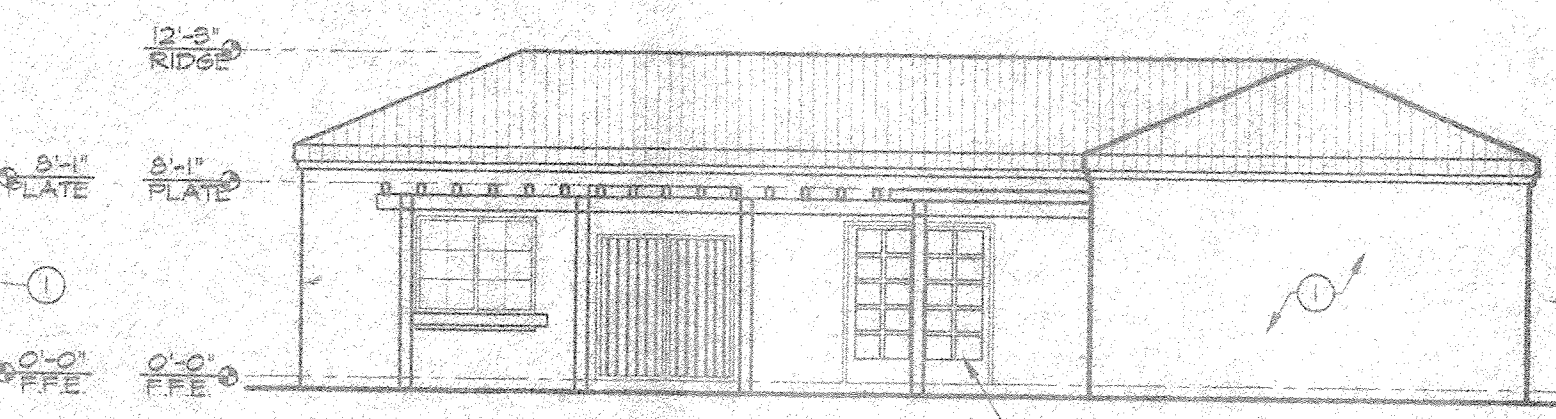
BUILDING TYPE 4 SIDE ELEVATIONS
 SCALE: 1/8" = 1'-0"



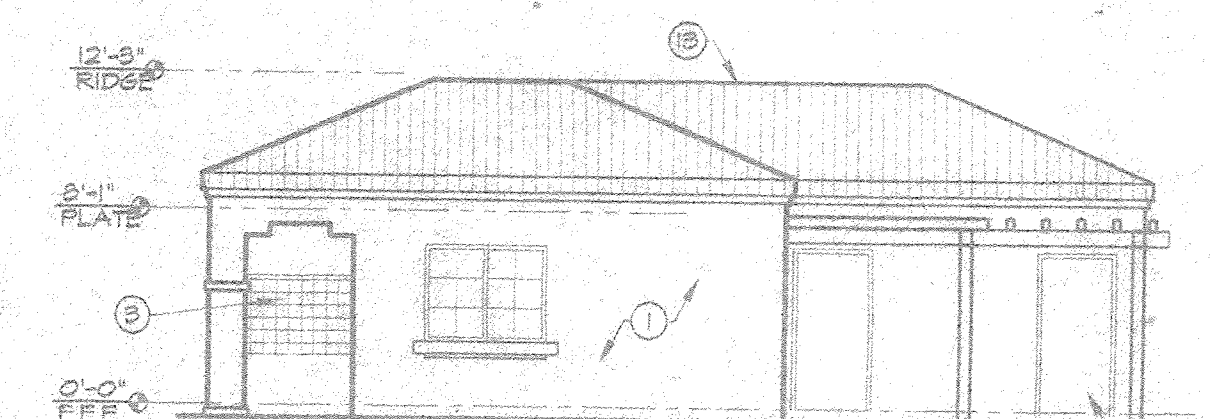
OFFICE EAST ELEVATION
 SCALE: 1/8" = 1'-0"



OFFICE SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

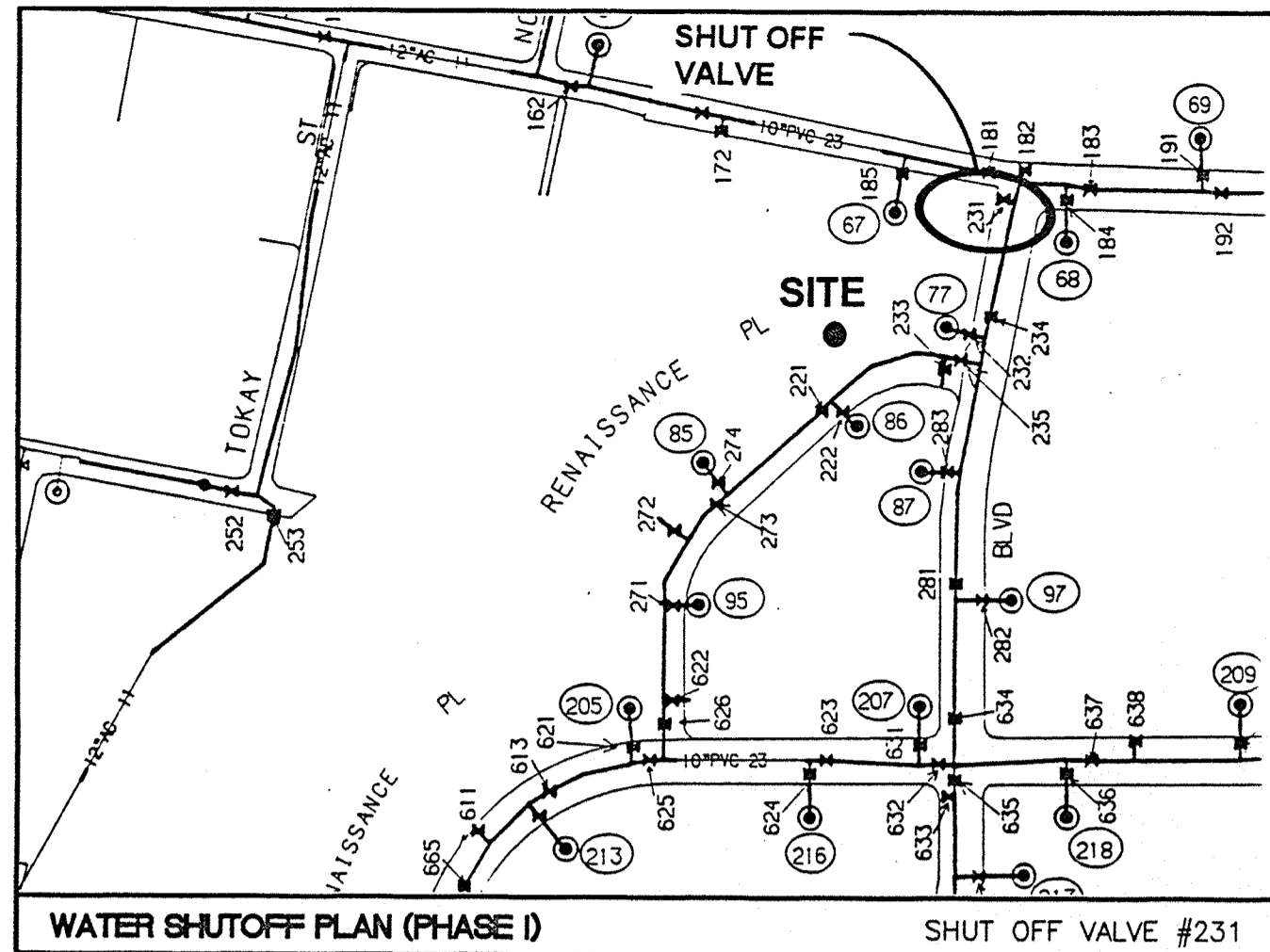


OFFICE WEST ELEVATION
 SCALE: 1/8" = 1'-0"



OFFICE NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

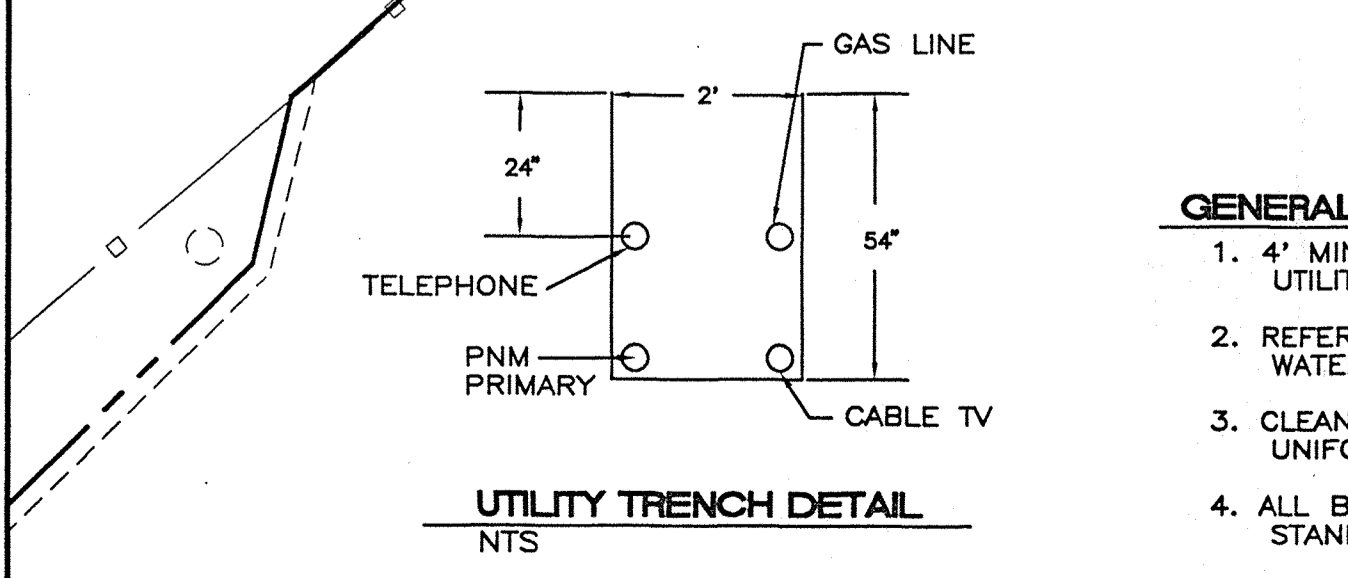
PROJECT RENAISSANCE CENTER PARTNERS		REVISIONS	
FOR LIFESTYLES APARTMENTS			
ALBUQUERQUE, NEW MEXICO			
SHEET TITLE BUILDING ELEVATIONS			
ARCHITECTS • PLANNERS, AIA CUSTER • BASARICH, LTD. 140 SHENK ST., SUITE 2000 ALBUQUERQUE, NEW MEXICO 87102-5000			
DATE DEC 5, 1997	SHEET NO.		



- NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUTOFF PLAN
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

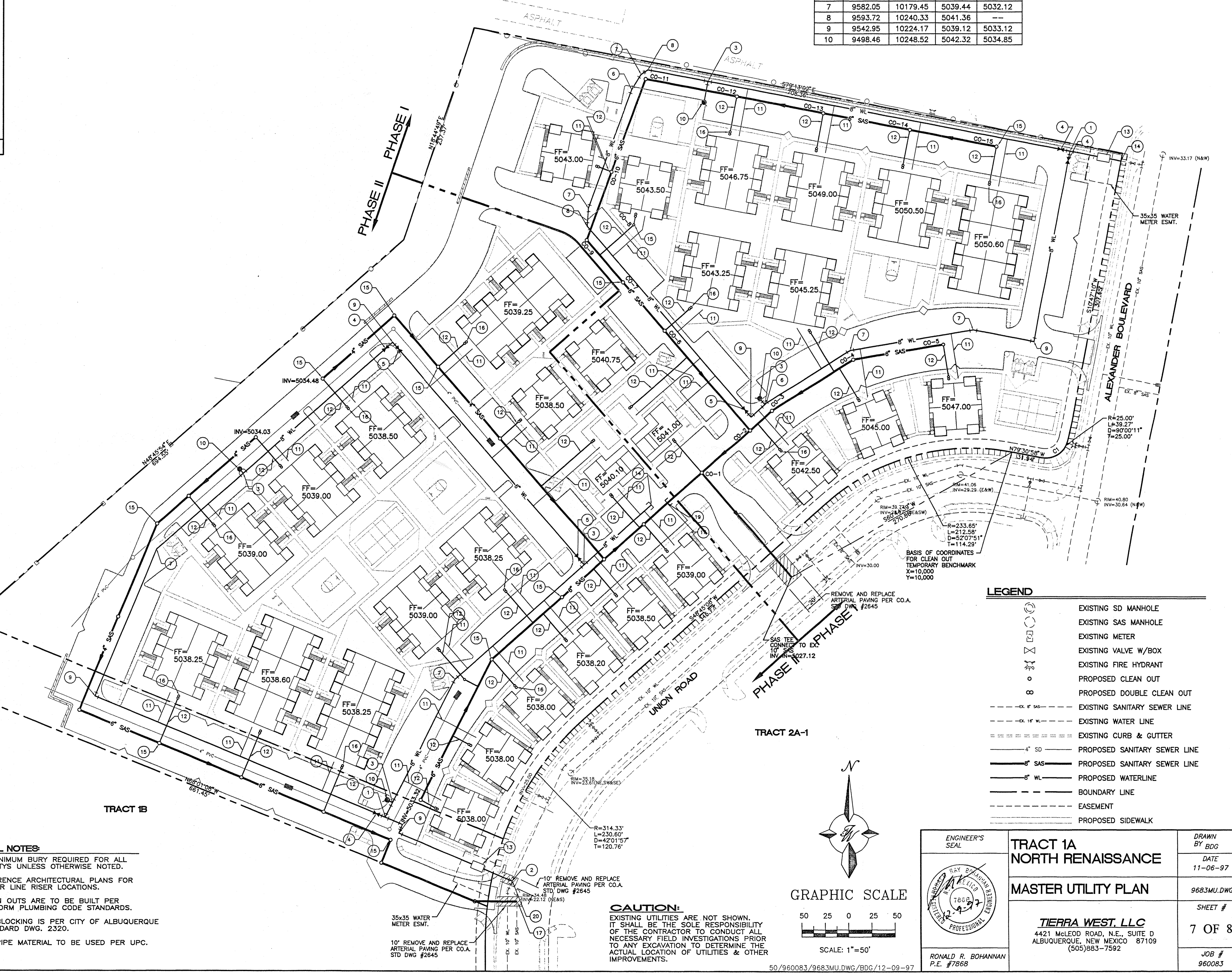
- KEYED NOTES**
- 1 8"x8"x8" TEE WITH BLOCKING
 - 2 10"x10"x8" TEE WITH BLOCKING
 - 3 8"x8"x6" TEE WITH BLOCKING
 - 4 8" VALVE TYPE "B" BOX W/LID
 - 5 6" VALVE TYPE "B" BOX W/LID
 - 6 11 1/2" BEND WITH BLOCKING
 - 7 22 1/2" BEND WITH BLOCKING
 - 8 45" BEND WITH BLOCKING
 - 9 90" BEND WITH BLOCKING
 - 10 BUILD FIRE HYDRANT WITH BLOCKING PER C.O.A. STD DWG #2340
 - 11 1 1/2" WATERLINE SERVICE
 - 12 4" SANITARY SEWER SERVICE
 - 13 4" COMPOUND METER WITH TYPE "A" METER PIT PER C.O.A. STD DWG #2370
 - 14 CONNECTION TO EX. 8" WL STUB
 - 15 CLEAN OUT (TYP.)
 - 16 DOUBLE CLEAN OUT (TYP.)
 - 17 CONNECTION TO EX. 10" SAS LINE
 - 18 8" CAP WITH BLOCKING
 - 19 6" CAP WITH BLOCKING
 - 20 NON PRESSURE CONNECTION TO EX. 10" WL



- GENERAL NOTES:**
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
 5. ALL PIPE MATERIAL TO BE USED PER UPC.

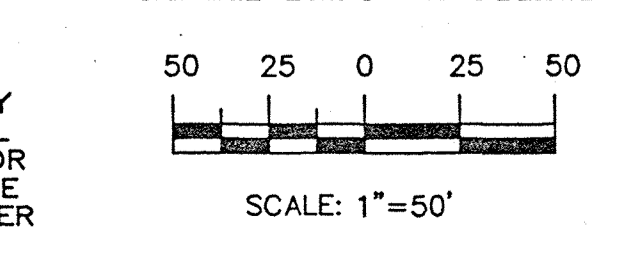
CLEAN OUT DATA				
CO	X=	Y=	RIM=	INV=
1	9667.28	9977.96	5039.88	5028.64
2	9718.74	10023.08	5040.73	5029.32
3	9742.46	10043.89	5040.92	5034.92
4	9829.73	10098.05	5042.98	5036.98
5	9926.47	10114.04	5044.72	5038.72
6	9626.83	10128.22	5039.73	5030.98
7	9582.05	10179.45	5039.44	5032.12
8	9593.72	10240.33	5041.36	---
9	9542.95	10224.17	5039.12	5033.12
10	9498.46	10248.52	5042.32	5034.85

CLEAN OUT DATA				
CO	X=	Y=	RIM=	INV=
11	9606.19	10394.96	4043.21	5037.21
12	9704.43	10376.28	5044.97	5038.97
13	9797.43	10358.59	5046.78	5040.78
14	9890.43	10340.91	5048.30	5042.30
15	9983.43	10323.22	5049.96	5043.96

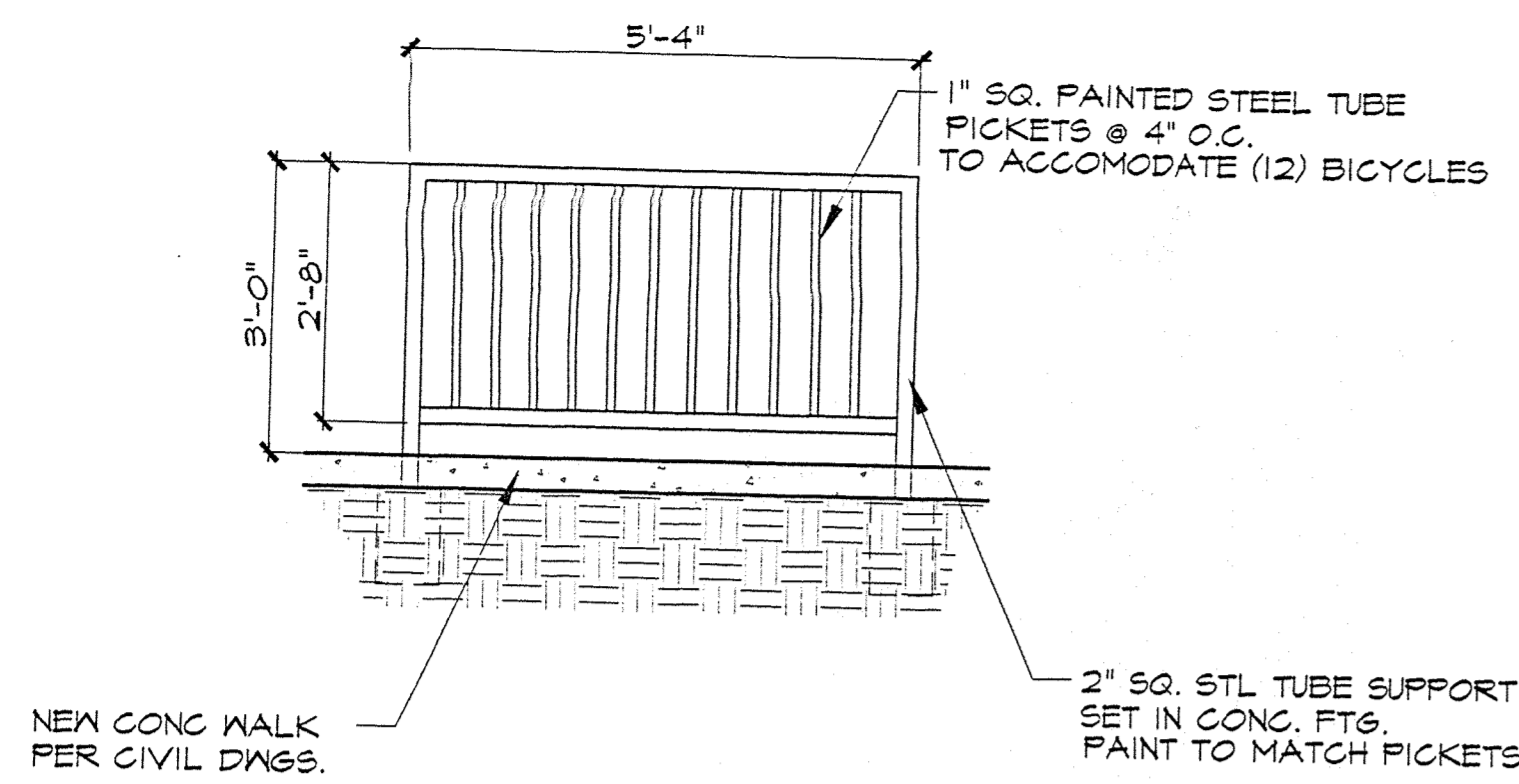


- LEGEND**
- EXISTING SD MANHOLE
 - EXISTING SAS MANHOLE
 - EXISTING METER
 - EXISTING VALVE W/BOX
 - EXISTING FIRE HYDRANT
 - PROPOSED CLEAN OUT
 - PROPOSED DOUBLE CLEAN OUT
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER LINE
 - EXISTING CURB & GUTTER
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED WATERLINE
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK

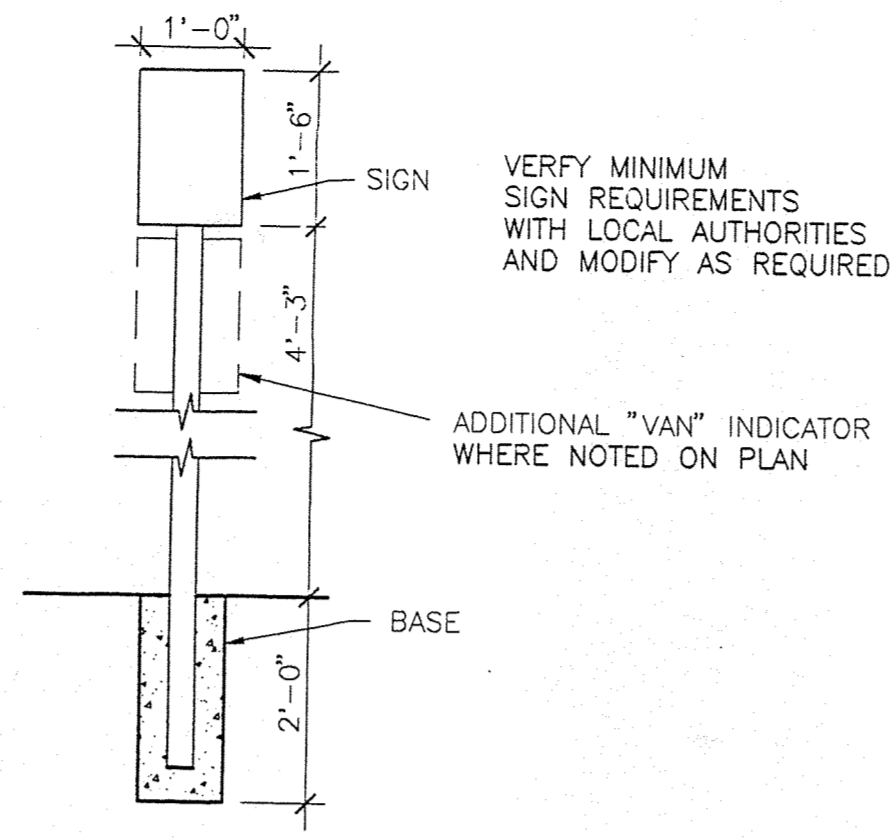
ENGINEER'S SEAL RONALD R. BOHANNON P.E. #7868	TRACT 1A NORTH RENAISSANCE	DRAWN BY BDG DATE 11-06-97
	MASTER UTILITY PLAN	SHEET # 7 OF 8
TIERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592		JOB # 960083



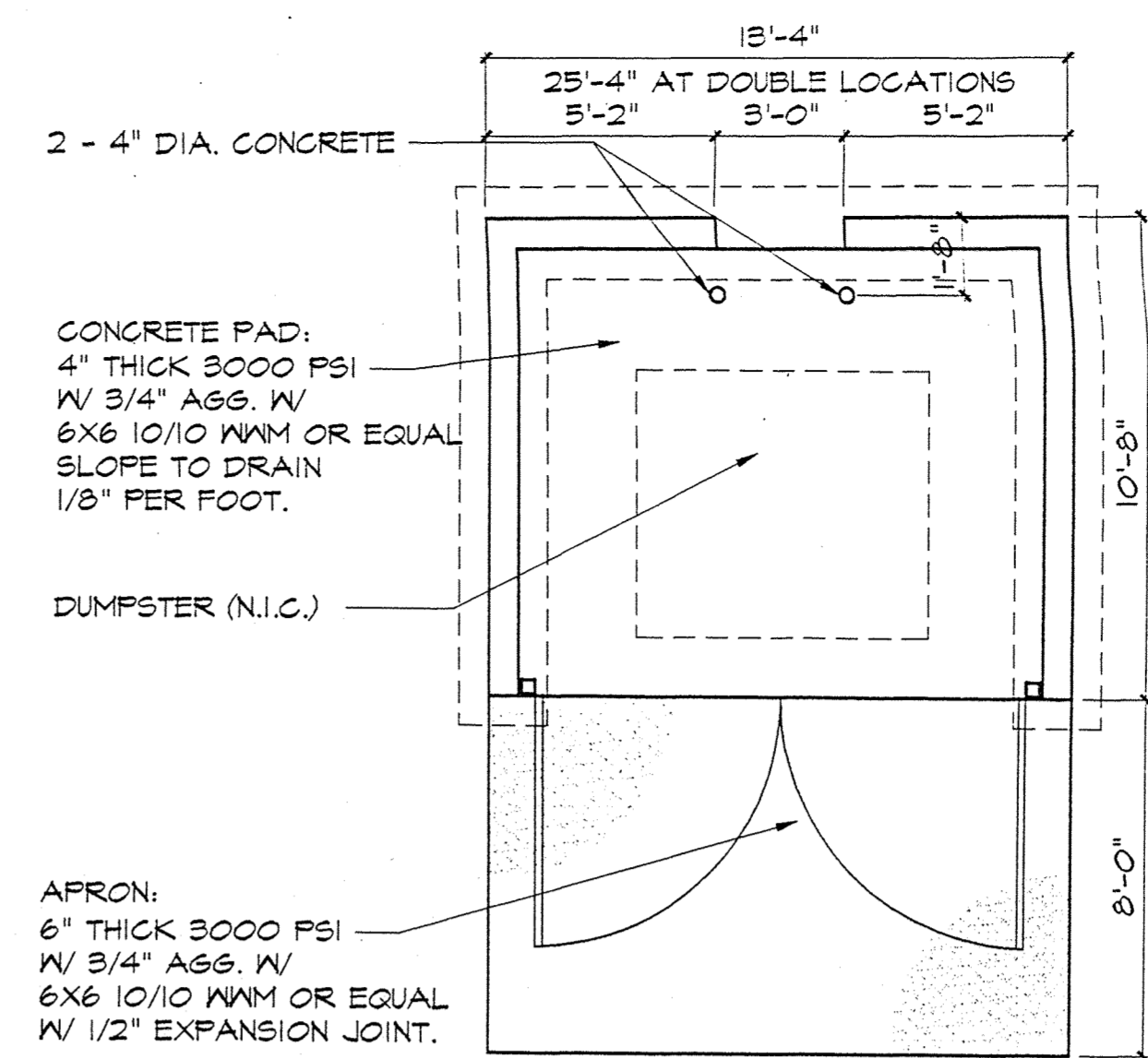
CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



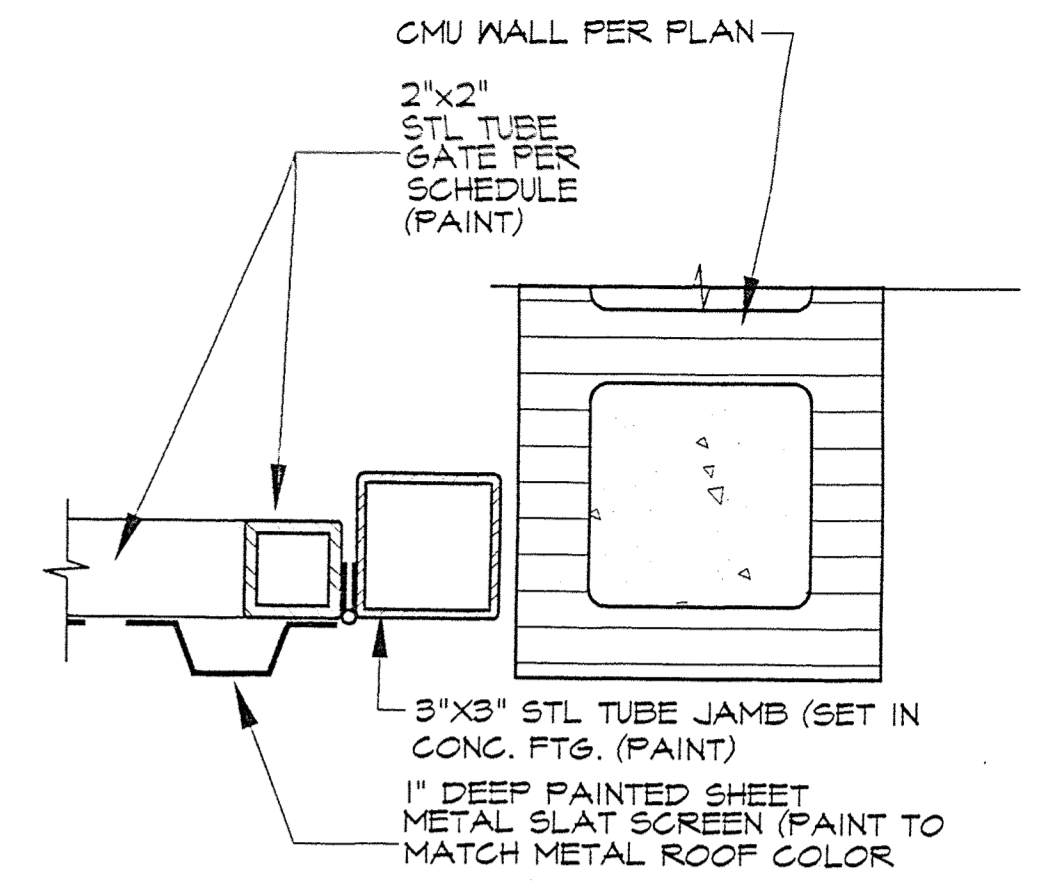
1 BICYCLE RACK
 A02.2 SCALE: 1/2" = 1'-0"



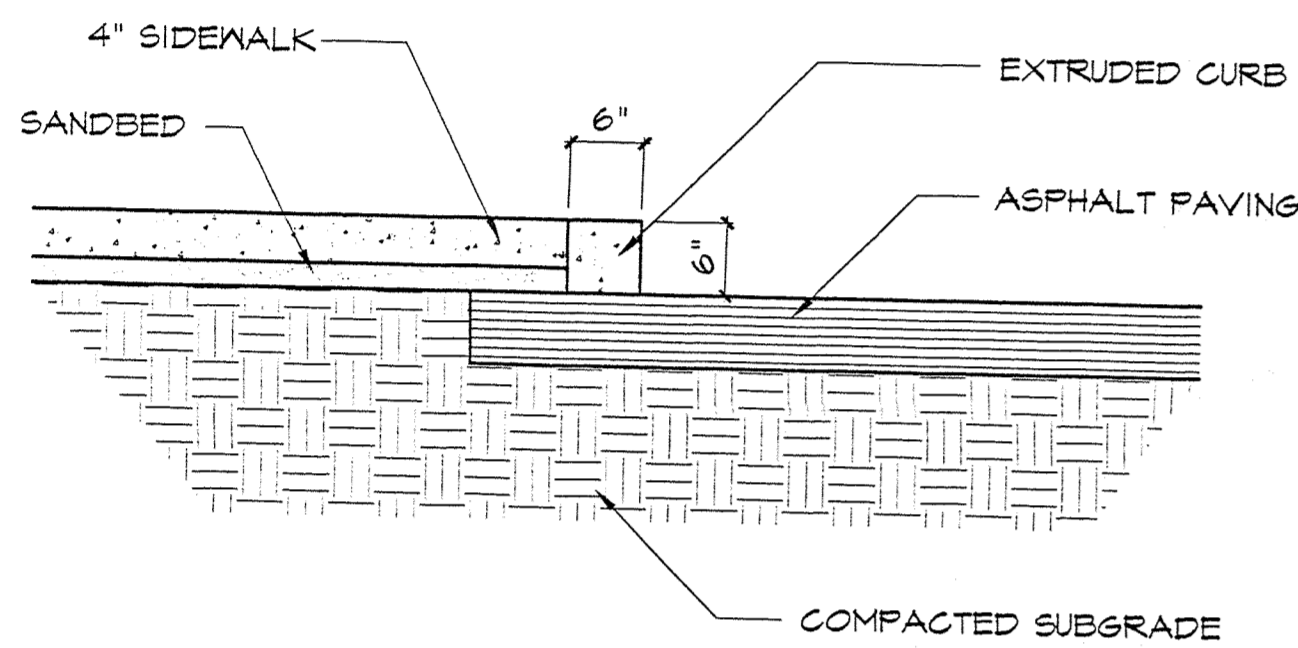
2 HANDICAPPED SIGNAGE
 A02.2 N.T.S.



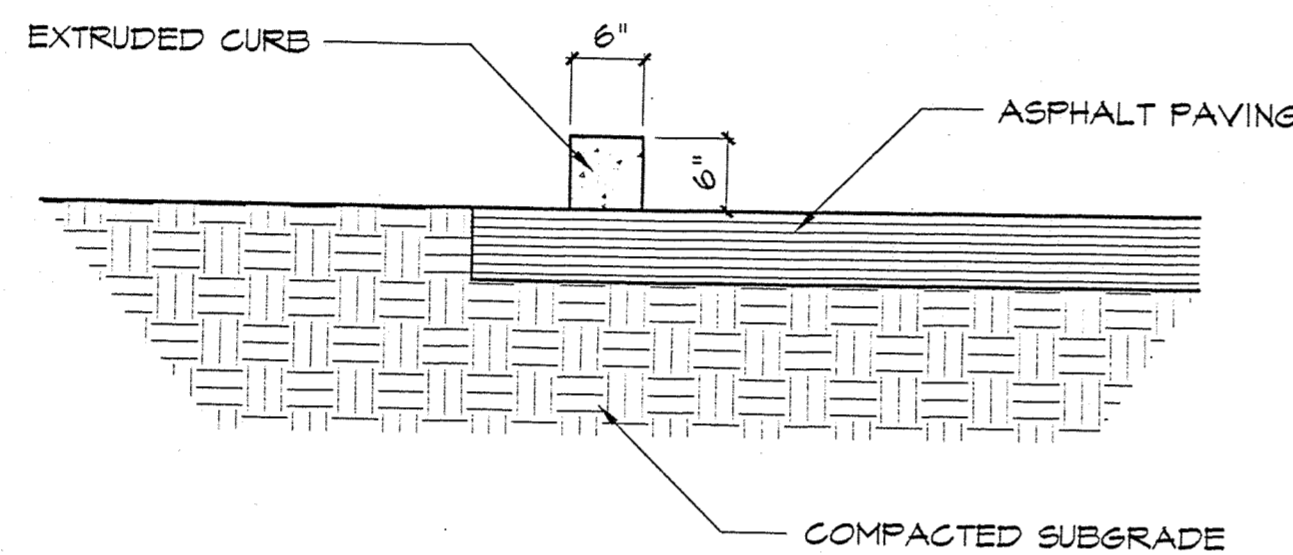
PLAN



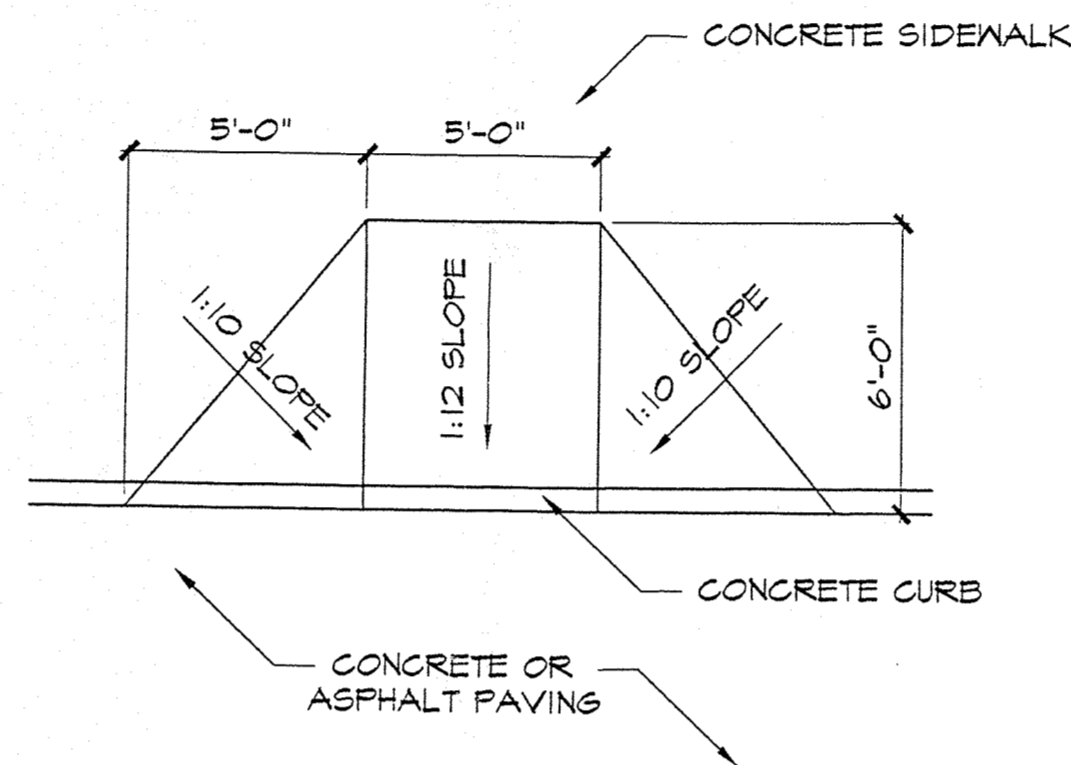
HINGE DETAIL



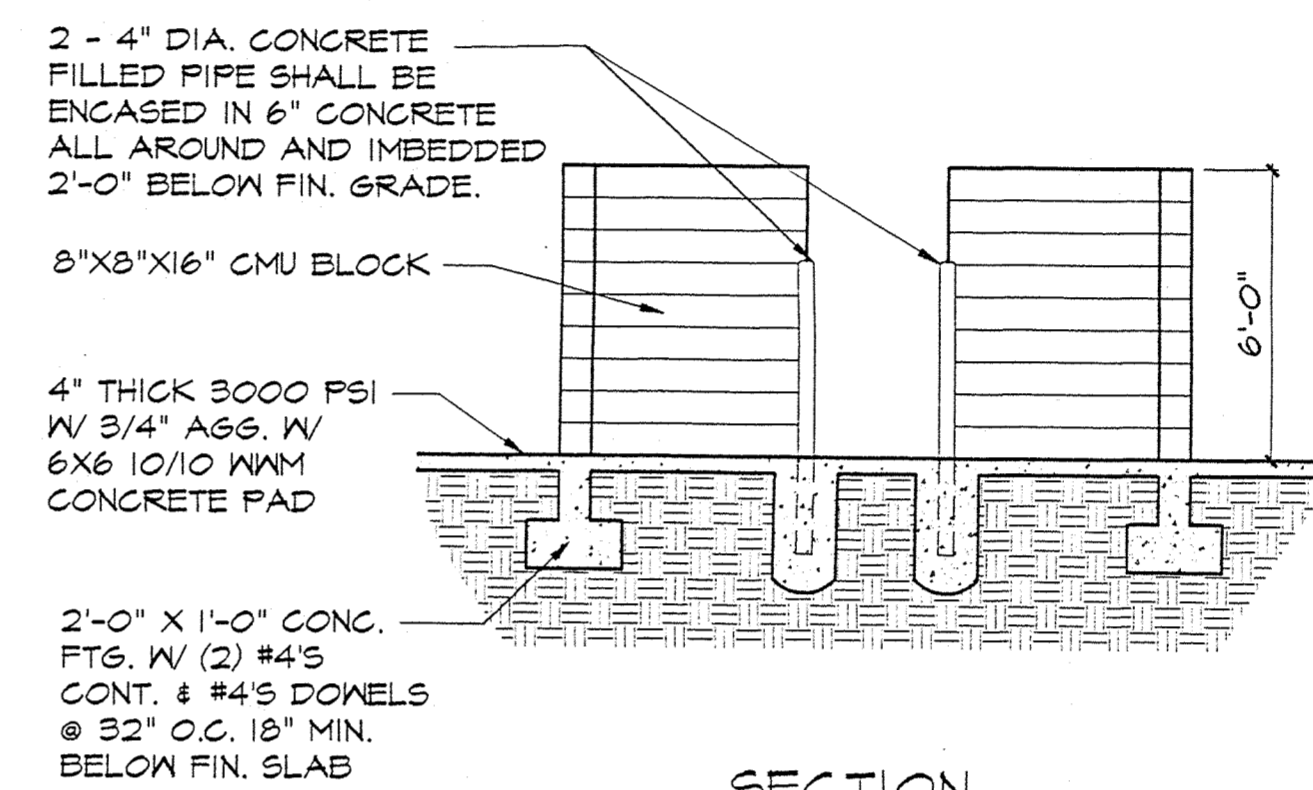
3 CURB AT SIDEWALK (OPTIONAL)
 A02.2 SCALE: 3/4" = 1'-0"



4 EXTRUDED CURB (OPTIONAL)
 A02.2 SCALE: 3/4" = 1'-0"

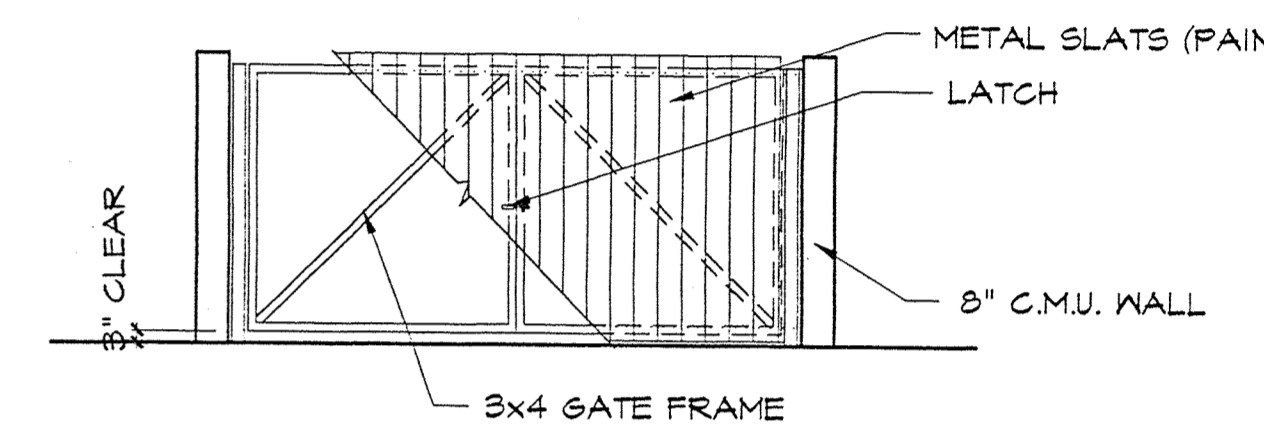


5 HANDICAPPED RAMP
 A02.2 SCALE: 1/4" = 1'-0"

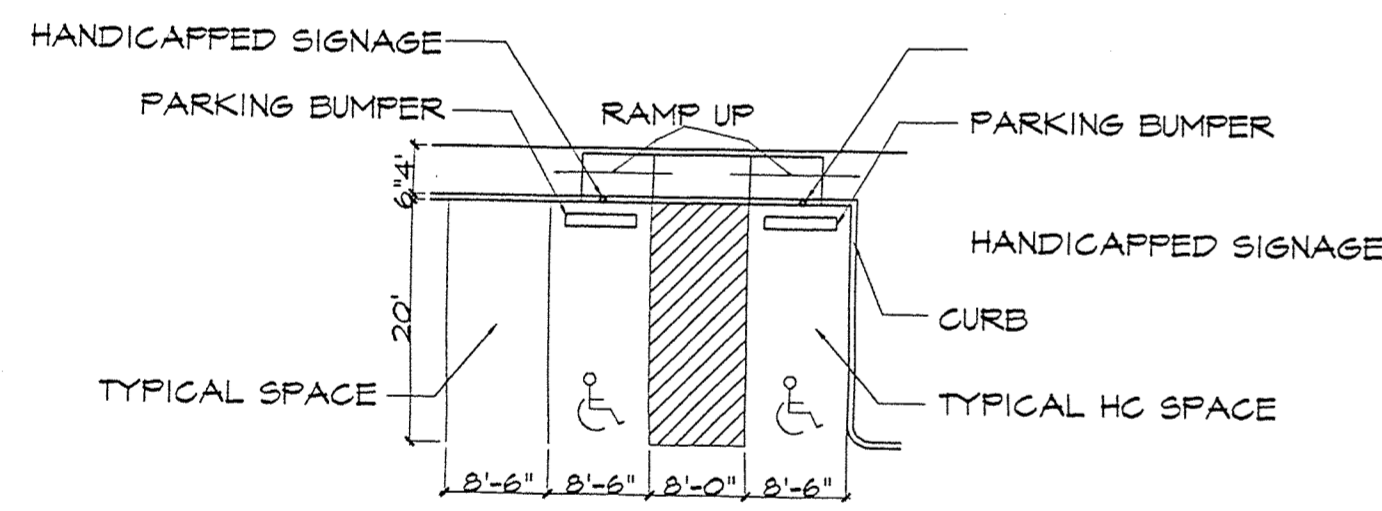


SECTION

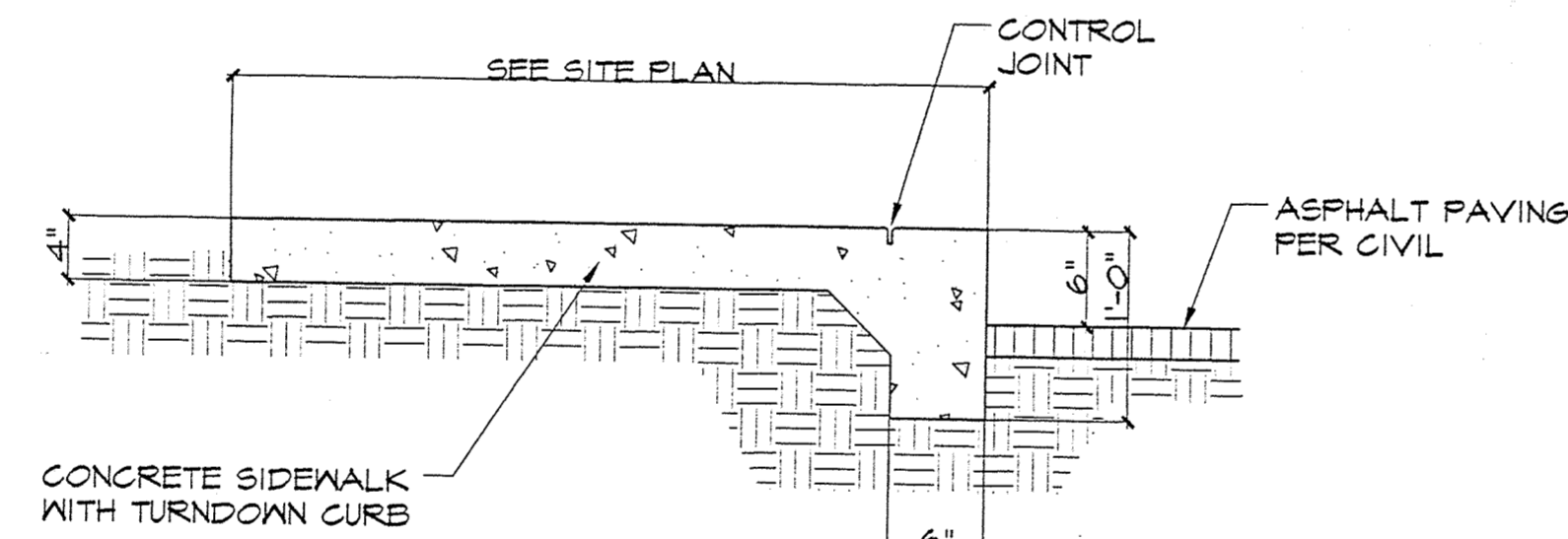
6 REFUSE ENCLOSURE
 A02.2 1/4" = 1'-0"



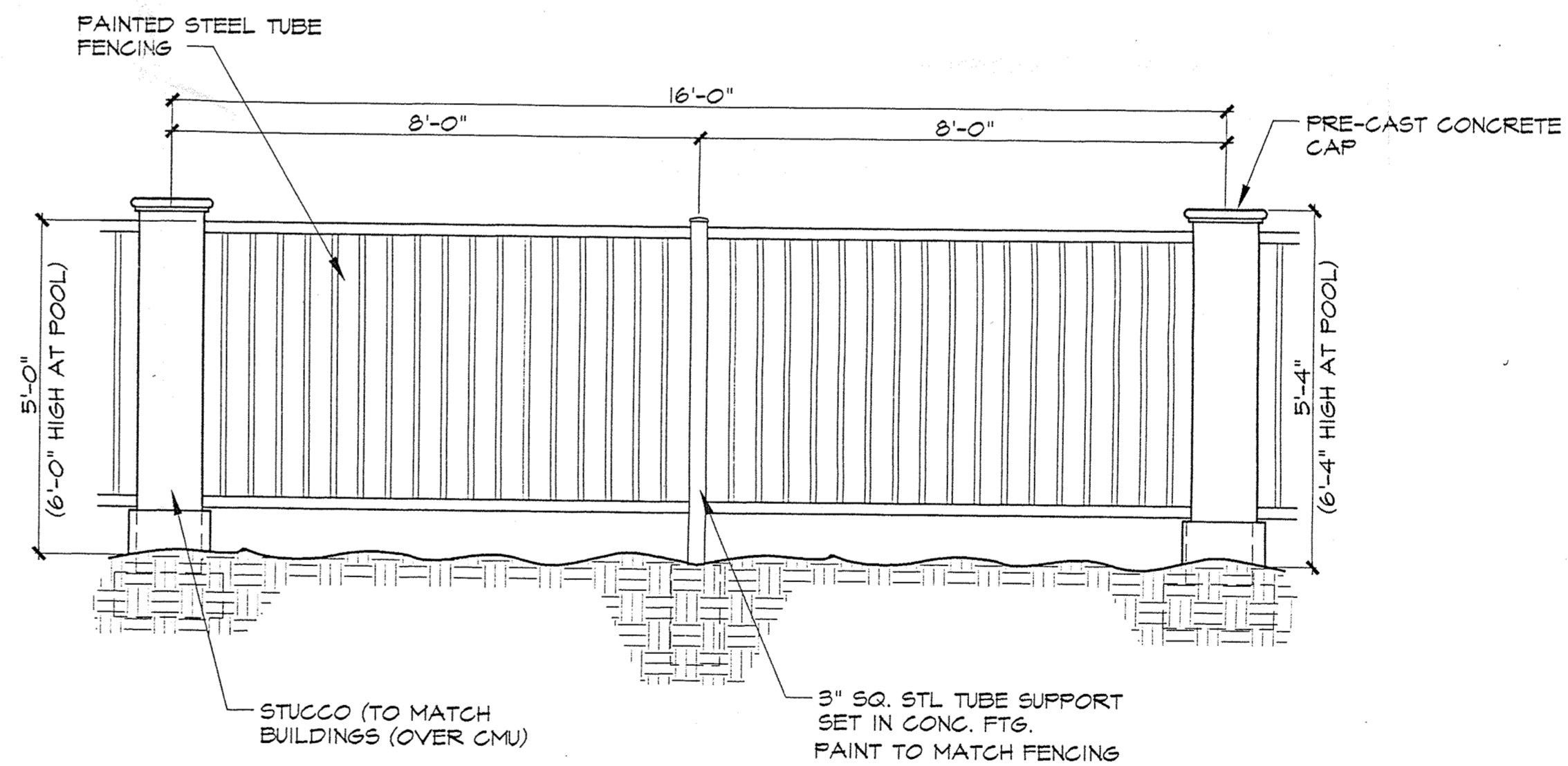
ELEVATION



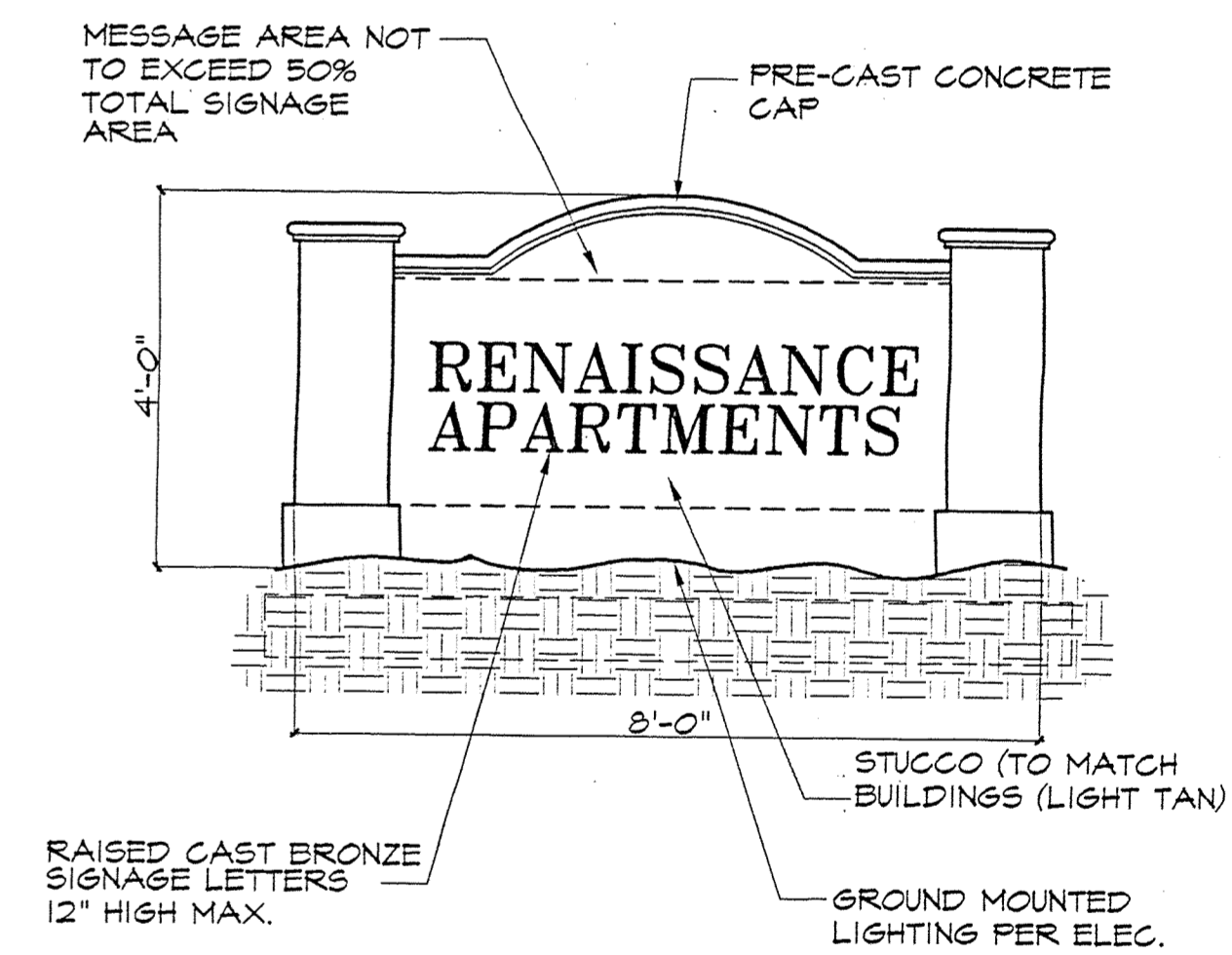
7 PARKING TYPES
 A02.2 1/8" = 1'-0"



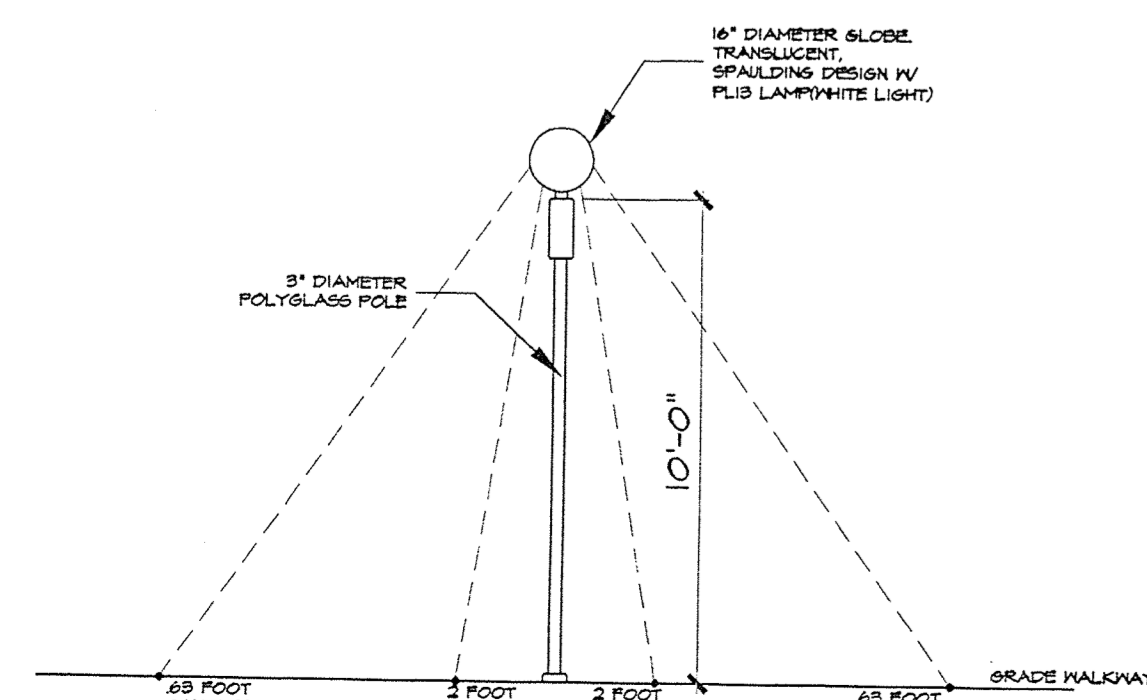
8 TYPICAL TURNDOWN CURB
 A02.2 1" = 1'-0"



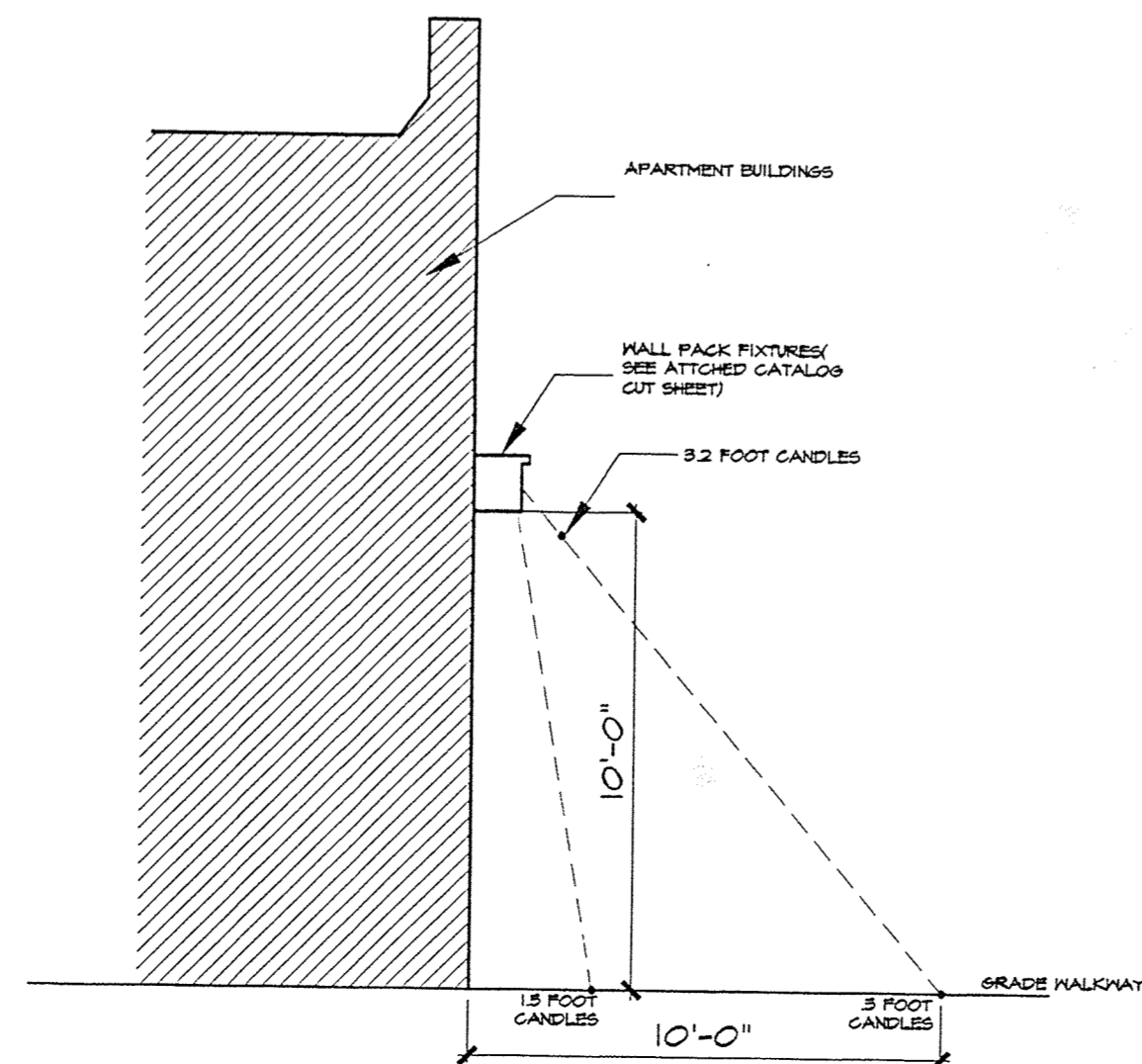
9 PARAMETER FENCE
 A02.2 1/2" = 1'-0"



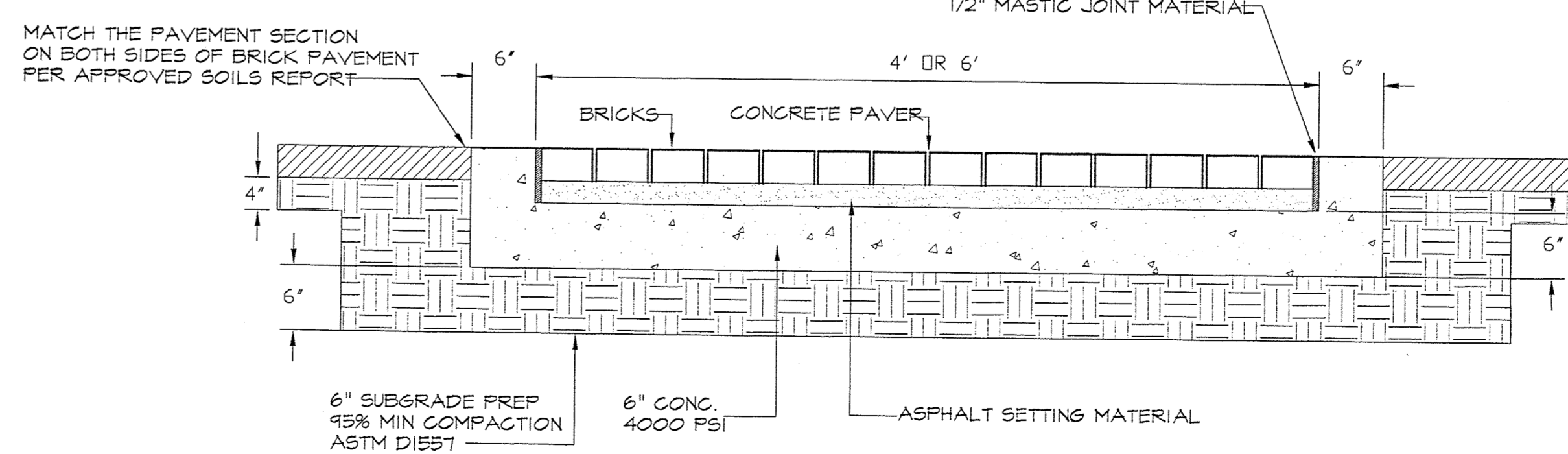
10 MONUMENT SIGNAGE
 A02.2 1/2" = 1'-0"



11 LIGHT POLE DETAIL
 A02.2 1/4" = 1'-0"



12 WALL PACK LIGHTING DETAIL
 A02.2 1/4" = 1'-0"



13 BRICK PAVER ENTRY
 N.T.S.

PROJECT RENAISSANCE CENTER APARTMENTS		REVISIONS	
FOR LIFESTYLES APARTMENTS			
ALBUQUERQUE, NEW MEXICO			
SHEET TITLE SITE DETAILS			
DATE DEC 5, 1997			
SHEET NO.			
CUSTER • BASARICH, LTD. ARCHITECTS • PLANNERS, AIA 1401 CENTRAL EX. SUITE 3000 ALBUQUERQUE, NEW MEXICO PHONE (505) 261-1200 FAX (505) 261-1202			