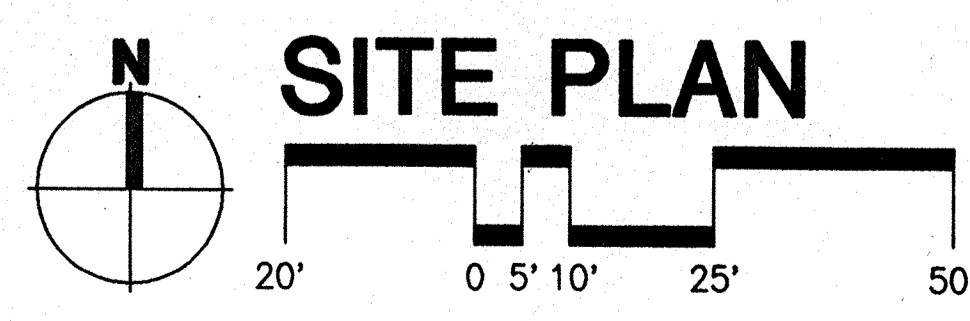


SITE LIGHTING WILL ACHIEVE A MINIMUM OF 1 fc WITH AN AVERAGE OF 2 fc AND A UNIFORMITY RATIO OF 4:1 IN THE PARKING LOT. FIXTURE DESIGN PREVENTS OFF-SITE LUMINANCE BEYOND WHAT IS ALLOWED.

NOTE:  
ALL CURB RETURN RADII WILL COMPLY WITH DPM REQUIREMENTS.

- SITE FURNISHINGS AT PLAZA:**
- BENCH SHALL BE ULTRUM MODEL NO. UF 3006, COLOR BLACK, WITH IN GROUND MOUNT. LEISURE DESIGN (800)543-2232
  - TRASH RECEPTACLE SHALL BE MATERIALS INC. MODEL NO. 3223 WITH EXPOSED AGGREGATE BANDS, COLOR GRAY. MATERIALS INC. (505)891-8888
  - BIKE RACK SHALL BE GAME TIME MODEL NO. 7702, COLOR BLACK, LEISURE DESIGN (800)543-2232
  - TREE GRATE SHALL BE IRON SMITH STARBURST SERIES 2, 48" X 72" MODEL M7222, UNFINISHED, WITH STEEL ANGLE WITH STANDARD CEMENT ANCHORS. (800)338-4766

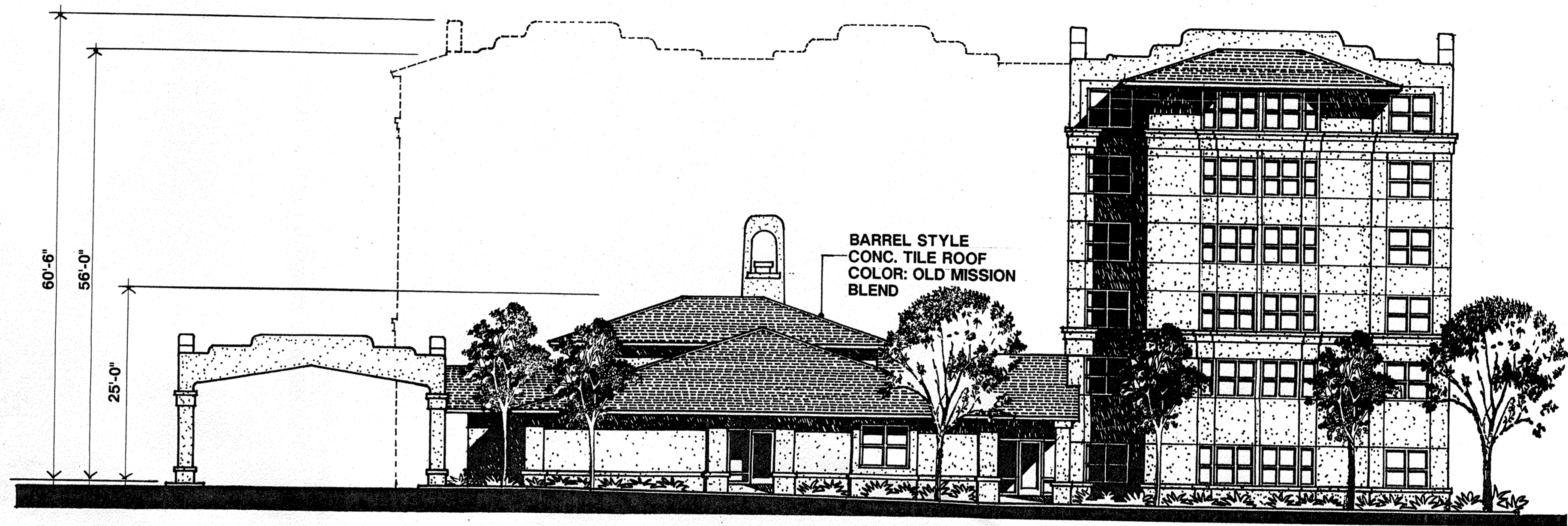
PROJECT DATA	
NET AREA OF PARCEL:	114,319 SF 2.6244 AC
PERCENT LOT COVERAGE:	21%
BUILDING HEIGHT:	56' AND 60' PARAPET HT. (6 STORIES)
GROSS BUILDING FLOOR AREA	
GROUND FLOOR:	23,968 SF
SECOND FLOOR:	17,495 SF
THIRD FLOOR:	17,495 SF
FOURTH FLOOR:	17,495 SF
FIFTH FLOOR:	17,495 SF
SIXTH FLOOR:	17,495 SF
TOTAL:	111,443 SF
FLOOR AREA RATIO (FAR):	.975
TOTAL GUEST UNITS:	150
PARKING REQUIRED:	150
(LESS 10% FOR THE UPTOWN SHUTTLE AND TRANSIT ROUTE 3)	= 135 REQ'D
STANDARD (8'-6" x 18'-0")	134
ACCESSIBLE (12'-0" x 20'-0")	8
TOTAL SPACES PROVIDED:	142



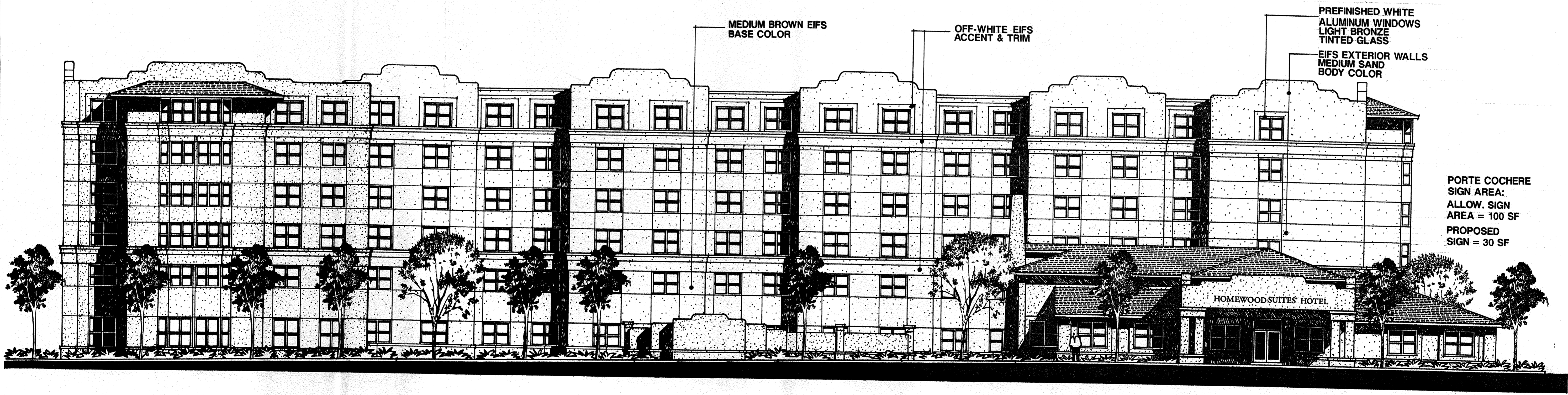
THIS AREA IS ZONED SU-3; OUTSIDE OF INTENSE CORE AS DEFINED IN THE UPTOWN SECTOR DEVELOPMENT PLAN JUNE 1995 REVISION AND THIS SPECIFIC SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IS AS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON 1/9/98

*Kyle L. Toni* 10/8/98  
PLANNING  
*Fred J. Leguia* 10-2-98  
CITY ENGINEER, AMARCA  
*Roger Green* 1-27-98  
UTILITIES DEVELOPMENT  
*Michael P. ...* 1-27-98  
TRANSPORTATION DEVELOPMENT  
*...* 1-27-98  
DESIGN & DEVELOPMENT, CIP



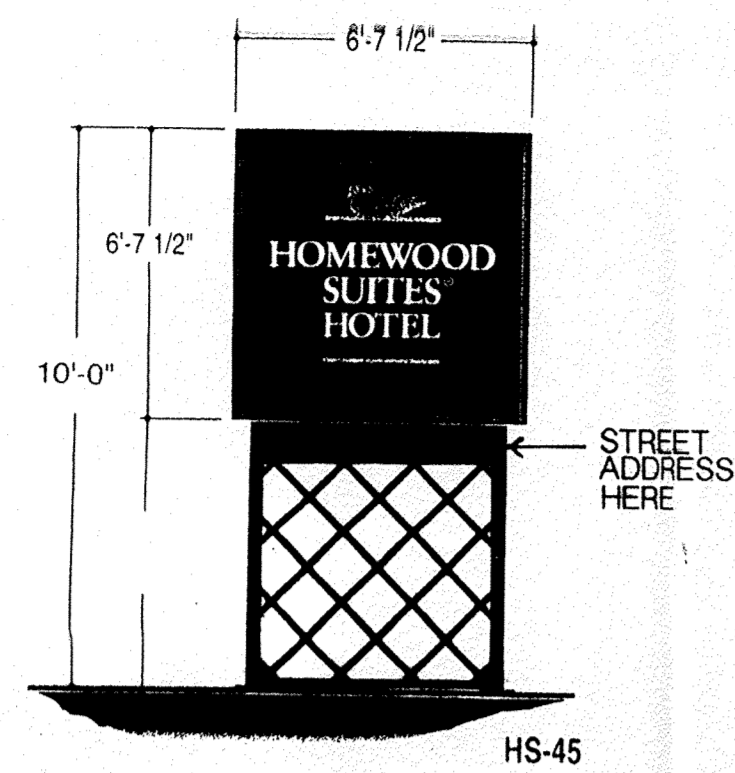


**EAST ELEVATION**  
SCALE : 3/32"=1'-0"



**SOUTH ELEVATION**  
SCALE : 3/32"=1'-0"





**Monument Sign A**

OPEN CHANNEL NEON BORDER AROUND SIGN, PAINTED WARM RED INSIDE, WITH (1) ROW OF 15 MM CLEAR RED NEON.

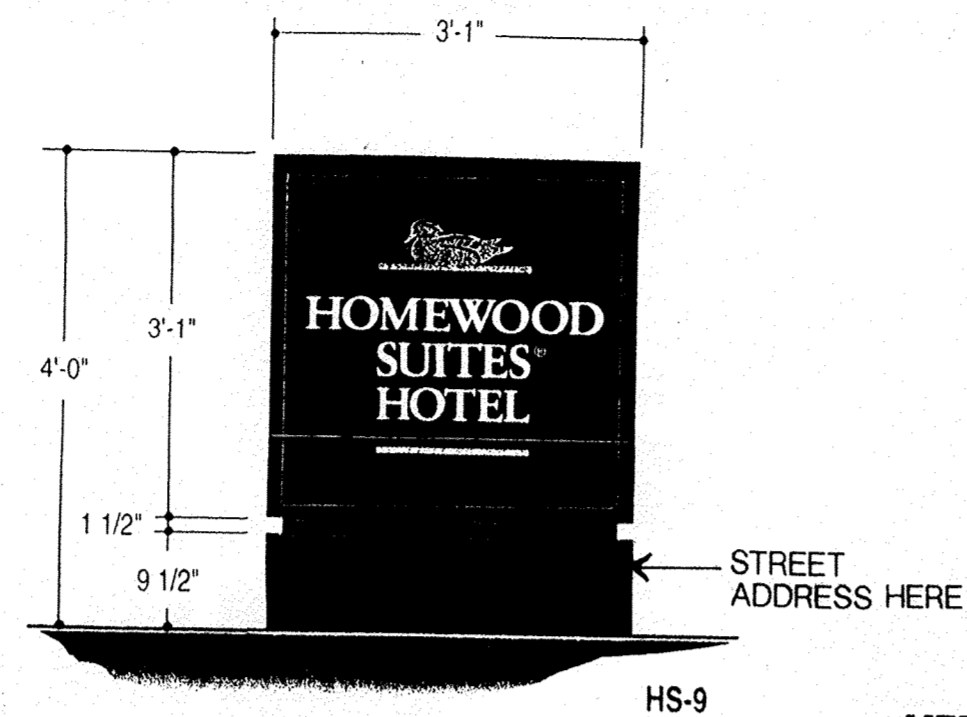
WHITE ACRYSTEEL FACE WITH TRANSLUCENT TEAL GREEN (PANTONE #19-4922) FILM APPLIED TO FIRST SURFACE. DUCK, BARS & COPY CUT OUT OF TEAL FILM.

DUCK & BARS - 3-M TRANSLUCENT GOLD VINYL APPLIED FIRST SURFACE TO .500 CLEAR ACRYLIC, ADHERED TO FACE

WHITE COPY - FLAT

TEAL GREEN PANTONE #19-4922 MATTE FINISH CASE & RETAINER.

4" X 6" STEEL TUBE STRUCTURE WITH FLAT BAR LATTICE WORK PAINTED DARK GRAY PANTONE #419



**Monument Sign B**

WHITE ACRYSTEEL FACE WITH TRANSLUCENT TEAL GREEN (PANTONE #19-4922) FILM APPLIED TO FIRST SURFACE. DUCK, BARS & COPY CUT OUT OF TEAL FILM.

DUCK & BARS - 3-M TRANSLUCENT GOLD VINYL APPLIED TO 500 CLEAR ACRYLIC, ADHERED TO SIGN FACE.

WHITE COPY - FLAT

TEAL GREEN PANTONE #19-4922 MATTE FINISH CASE & RETAINER

BASE & REVEAL PAINTED GRAY TO MATCH PANTONE #419

**Building Wall Sign:**

INDIVIDUAL CHARACTERS.  
TEAL GREEN POLYCARBONATE FACE WITH WHITE ALUMINUM RETURNS.  
ILLUMINATES WHITE AT NIGHT WITH INTERNAL NEON TUBING.

MEDIUM SAND EIFS BODY COLOR

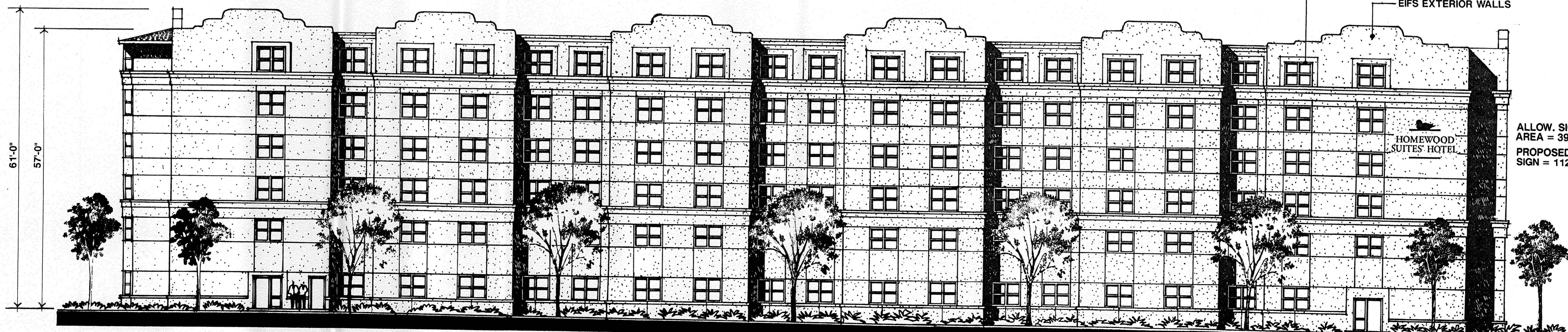
OFF-WHITE EIFS ACCENT & TRIM COLOR

MEDIUM BROWN EIFS BASE COLOR



ALLOW. SIGN AREA = 190 SF  
PROPOSED SIGN = 112 SF

**WEST ELEVATION**  
SCALE : 3/32"=1'-0"



LIGHT BRONZE TINTED GLASS PREFINISHED WHITE ALUMINUM WINDOWS & STOREFRONT

EIFS EXTERIOR WALLS

ALLOW. SIGN AREA = 390 SF  
PROPOSED SIGN = 112 SF

**NORTH ELEVATION**  
SCALE : 3/32"=1'-0"

3444 Harross Avenue  
Sacramento, California 95821-6224  
TEL: 916 972-0131 FAX: 916 481-1845

**MIRDB**  
ARCHITECTS

Hadreeh, Flatmann, Dameron & Babcock Architects

PROMUS HOTEL CORPORATION  
**HOMEWOOD SUITES**  
Albuquerque, New Mexico

Sheet Title  
EXTERIOR ELEVATIONS

Date 1-20-98

Job No.

Sheet No.



# Conceptual Drainage Management Plan

## I. INTRODUCTION / BACKGROUND / PURPOSE

The proposed Homewood Suites site is located on Arvada Ave NE, between Louisiana and Prospect, within City of Albuquerque Zone Atlas Map No. H-19. The site is legally described as La Mesa Medical Center, Tract B-2-A. The site was previously a medical complex, all old buildings have been removed. An Ameri Suites Hotel is located immediately west of the site, and an assisted living center (Woodmark at Uptown) is proposed for the site to the east. A comprehensive drainage report was prepared for the Site Development Plan for Building Permit approval for the Woodmark at Uptown site (La Mesa Medical Center, Tract B-2-B. The hydrology file H19/D63). That report, dated 6/26/97, was approved 7/2/97. That report identifies an allowable peak discharge of 9.1cfs (100yr 6hr) for Tract B-2-B. The proposed conditions section below describes the mitigation measures necessary to meet this requirement. This plan proposes to construct a 150 unit suites hotel. The purpose of this plan is to identify existing and proposed drainage characteristics of the site, and to receive DRB approval of the Site Development for Building Permit package. Part A, (Procedure for 40 acre and smaller basins) of the DPM Section 22.2 was used to analyze the site. No AHYMO analysis was done for this plan.

## II. EXISTING CONDITIONS

Currently the site slopes from east to west at approximately 2%. The existing site contains a number of non-native trees, and sparse grasses and weeds. The existing site is divided into Basins E1 and E2. Basin E1 consists approximately of the north half of the site ( 1.40ac., Q100= 4.84cfs) and drains north to Cutler Ave. Basin E2 consists approximately of the south half of the site (1.22ac., 4.20cfs) and drains south to Arvada Ave. No offsite flows impact the site. Please see the existing conditions basin map, and data table, this sheet.

## III. PROPOSED CONDITIONS

Please see the proposed conditions basin map and data table on this sheet, as well as the pond data table on sheet C2. The total developed discharge from the site is 9.1cfs. This total discharge conforms with the approved Woodmark at Uptown Drainage Report, dated 6/26/97 (city drainage file H19/D63). Basins 4 and 6 freely discharge 3.97cfs (100yr, 6hr) to Arvada Avenue. These flows are conveyed by surface drainage. Basin 5 generates a nominal flow 0.11cfs, and freely discharges to Cutler. Basin 5 consists entirely of a small landscaped strip along the north edge of the site. The nominal flows from Basin 5 sheet flow to Cutler Ave. Basins 1, 2 and 3 are detained by Ponds 1, 2 and 3 respectively. Sheet C2 contains a table with all of the pond data. The ponds are sized sufficiently to restrict the total flow from Basins 1, 2 and 3 to 5.02cfs (unrestricted flow is 7.74). Ponds 1 through 3 are within parking areas, and are limited to a maximum depth of 0.7'. The flow from Basins 1, 2 and 3 is collected by a private underground storm drain system, and discharged by sidewalk culverts to Arvada Ave.

## IV. CONCLUSIONS

This plan presents a through conceptual drainage management plan for the proposed development. The plan conforms with the approved Woodmark at Uptown Drainage Report. The existing peak flow from the site is 9.04cfs, the proposed discharge from the site is 9.1cfs. This report conforms to the requirements of the DPM and the Drainage Ordinance.

J:\97342\CDP\A01-CONCEPT GRD & DRNG\REPORTS\CONCEPT DRNG MGMT PLAN.DOC

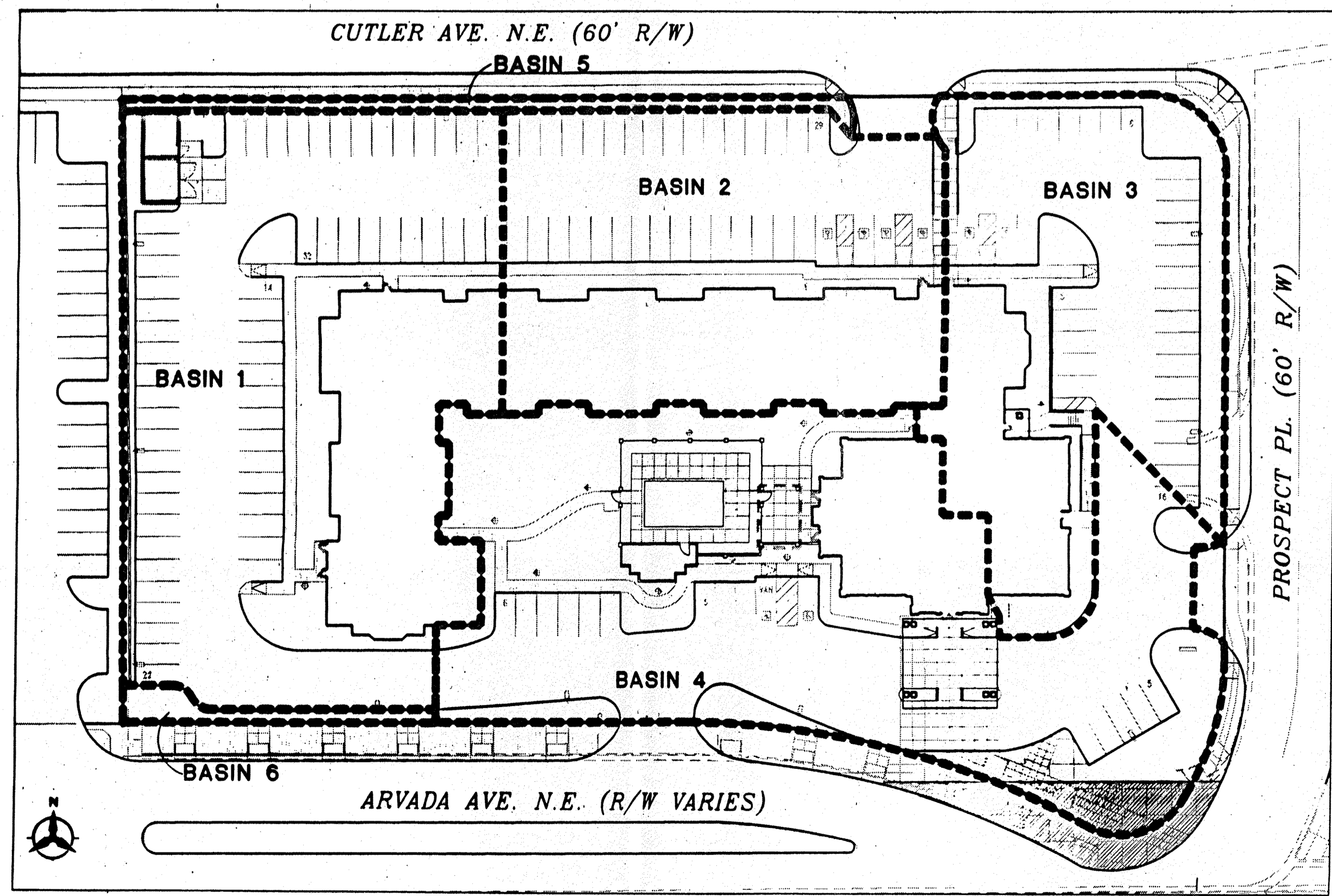
Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone 3 Rainfall

BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	E(100) (IN)	Vol.** (6HR)	Vol.** (24HR)
			A	B	C	D					
1	33782	0.78	0.0%	16.0%	2.0%	82.0%	4.60	3.57	2.11	5935	6858
2	20918	0.48	0.0%	10.0%	0.0%	90.0%	4.78	2.29	2.22	3863	4490
3	18785	0.43	0.0%	26.0%	2.0%	72.0%	4.36	1.88	1.96	3075	3526
4	38114	0.87	0.0%	21.8%	2.2%	76.0%	4.46	3.90	2.02	6424	7389
5	1595	0.04	0.0%	50.0%	50.0%	0.0%	3.03	0.11	1.11	147	147
6	978	0.02	0.0%	25.0%	75.0%	0.0%	3.24	0.07	1.20	98	98
Total	114172	2.62	0.0%	19.0%	3.0%	78.0%	4.51	11.83	2.05	19545	22514

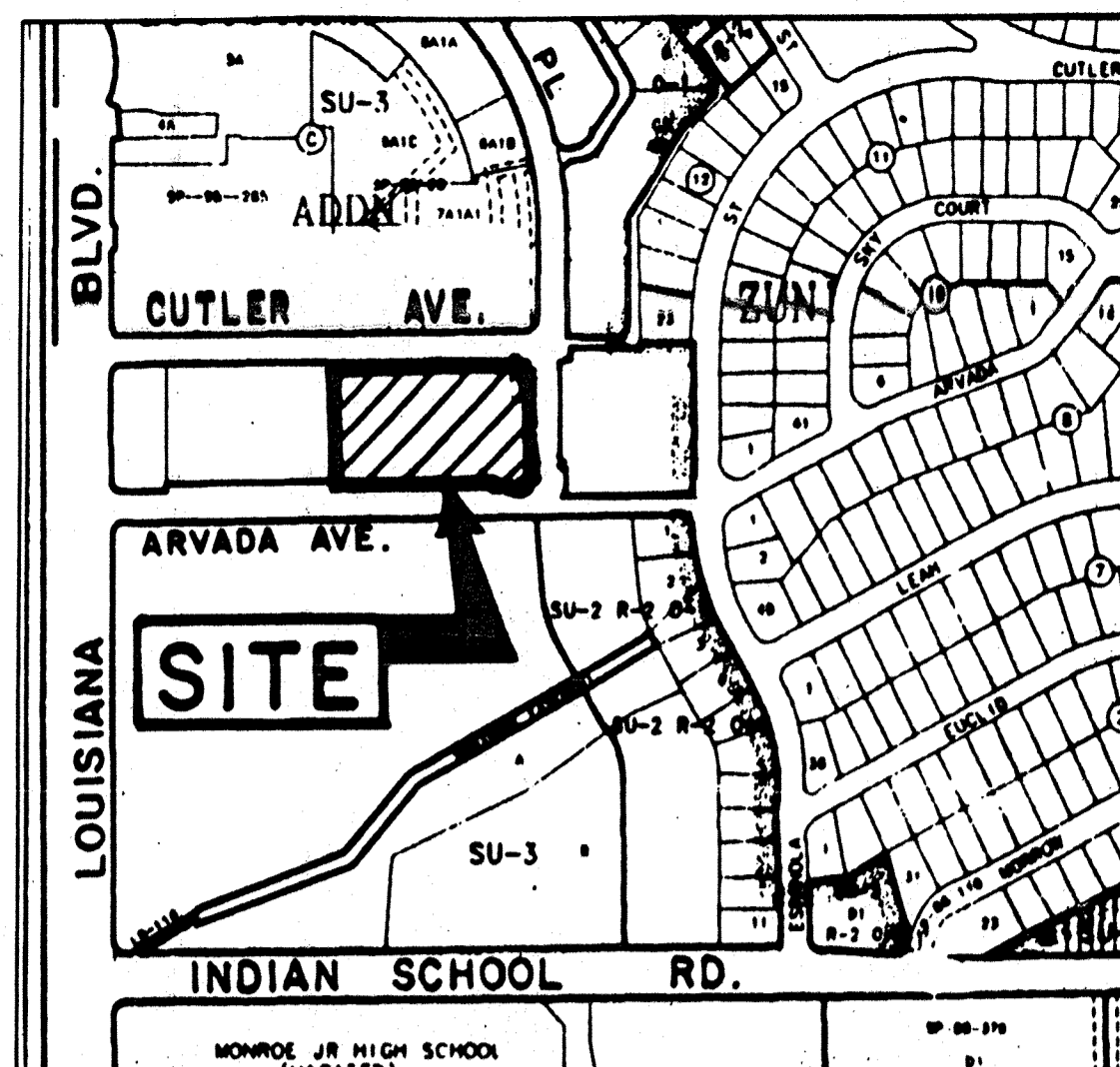
Note: This table represents the unmitigated flows generated by the developed basins, the total discharge from the site after detention ponding is 9.1 cfs in accordance with the approved Woodmark at Uptown drainage report, dated 6/26/97 (City Dmg File H19/D63)

TOTAL ALLOWABLE DISCHARGE FROM THE SITE IN CFS = 9.1  
 TOTAL DISCHARGE FROM BASINS 4,5,& 6 (FREE DISCHARGE) IN CFS = 4.08  
 ALLOWABLE DISCHARGE FROM BASINS 1-3 IN CFS = 5.02

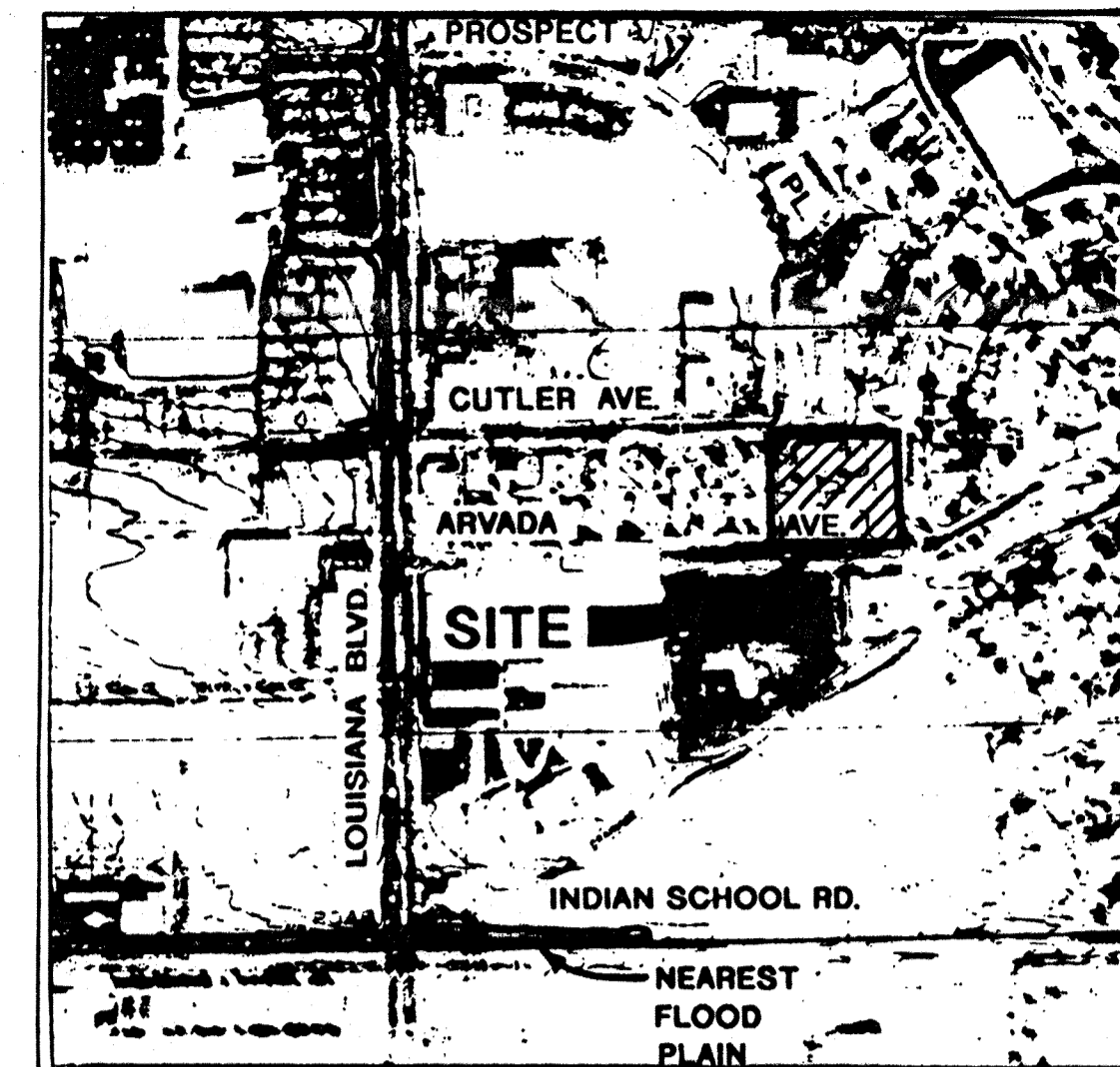


PROPOSED CONDITIONS BASINS MAP

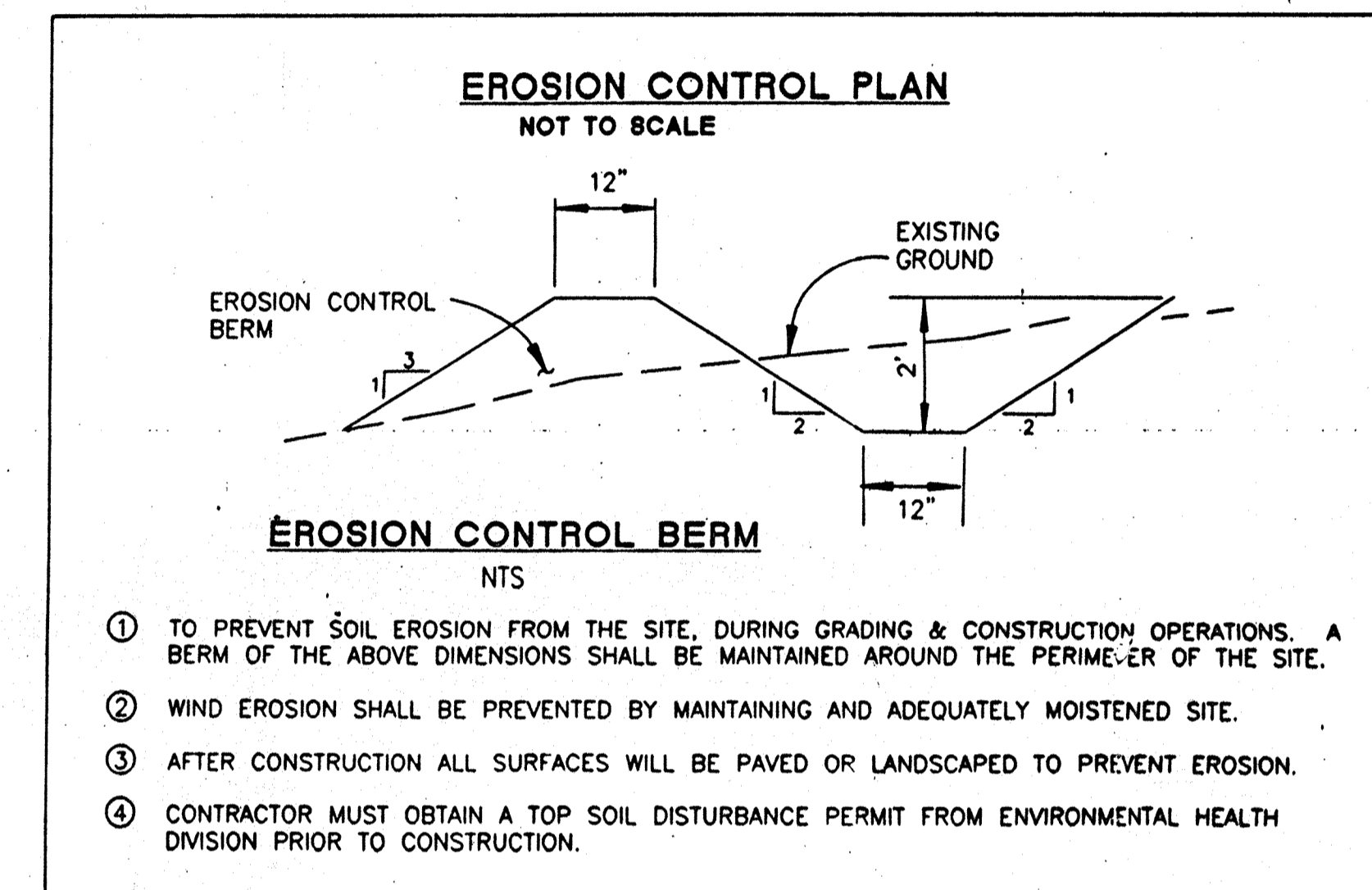
SCALE: 1"=40'



VICINITY MAP  
 ZONE ATLAS MAP No. H-19-Z  
 1" = 400'



FLOOD HAZARD  
 1" = 500'



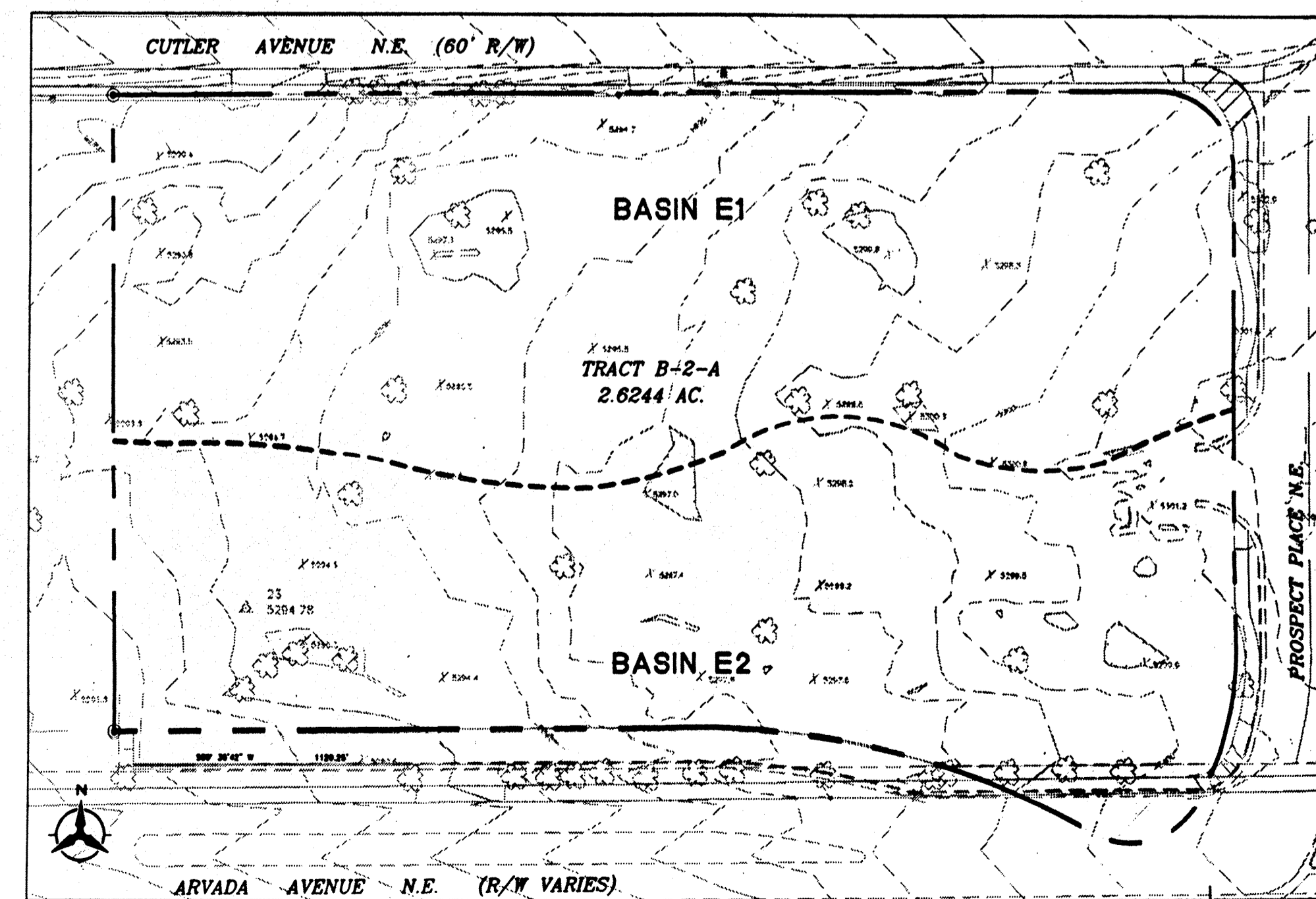
LEGAL DESCRIPTION  
 TRACT B-2-A  
 LA MESA MEDICAL CENTER

Professional Engineer Seal for James A. Tompkins, State of New Mexico, License No. 11648.

Existing Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone 3 Rainfall

BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	E(100) (IN)	Vol.** (6HR)	Vol.** (24HR)
			A	B	C	D					
E1	61080	1.40	0.0%	0.0%	100.0%	0.0%	3.45	4.84	1.29	6566	6566
E2	53000	1.22	0.0%	0.0%	100.0%	0.0%	3.45	4.20	1.29	5698	5698
Total	114172	2.62	0.0%	0.0%	100.0%	0.0%	3.45	9.04	1.29	12273	12273



EXISTING CONDITIONS BASINS MAP

SCALE: 1"=50'

Revisions  
 8

MINDB ARCHITECTS  
 Madon, Fishman, Berman & Balcock Architects  
 3444 Marwood Avenue  
 Sacramento, California 95821-0254  
 Tel: 916 972-9633 Fax: 916 972-9633

Bullman & Huson  
 Courtney One  
 7500 JEFFERSON NE  
 Albuquerque  
 NEW MEXICO 87119  
 ARCHITECTS PLANNERS PHOTOGRAPHERS  
 SITEWORK LANDSCAPE ARCHITECTS

PROMUS HOTEL CORPORATION  
**HOMEWOOD SUITES**  
 Albuquerque, New Mexico

Sheet Title  
**CONCEPTUAL GRADING AND DRAINAGE PLAN**

Date: 1/20/98  
 Job No. 97342  
 Sheet No.

C1



DETENTION POND DATA					
Pond No.	Req'd Vol (CF)	Provided Vol (CF)	100-yr Depth	Flow in (CFS)	Flow out (CFS)
1	2041	2100	0.7	3.59	1.9
2	626	650	0.5	2.29	1.7
3	411	500	0.7	1.87	1.42

3444 Harvard Avenue  
 Sacramento, California 95831-4334  
 Tel: 916 972-0131 Fax: 916 481-1845

MEDB ARCHITECTS  
 Madson, Flatmann, Dameron & Babcock Architects

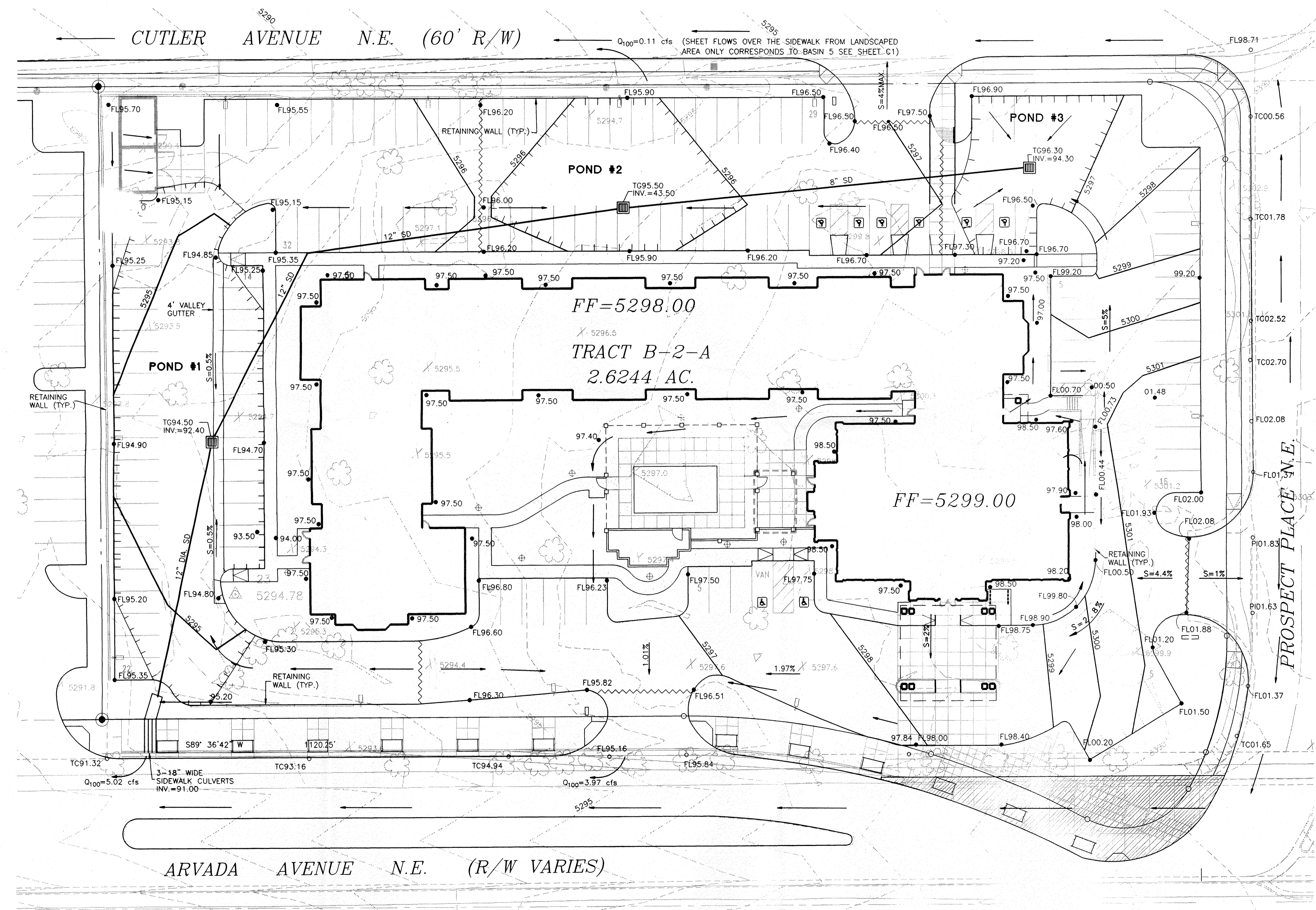
Bohannon + Huston  
 Courtyard One  
 7500 JEFFERSON NE  
 ALBUQUERQUE  
 NEW MEXICO 87109  
 ENGINEERS PLANNERS PHOTOGRAPHERS  
 SURVEYORS LANDSCAPE ARCHITECTS

PROMUS HOTEL CORPORATION  
**HOMEWOOD SUITES**  
 Albuquerque, New Mexico

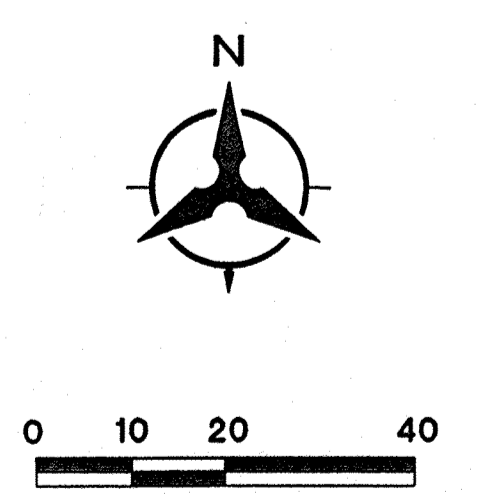
Sheet Title  
**CONCEPTUAL GRADING AND DRAINAGE PLAN**

Date 1/20/98  
 Job No. 97342  
 Sheet No.

C2



- LEGEND**
- PROPERTY LINE
  - - - - EXISTING CONTOURS
  - o EXISTING TOP OF GROUND ELEVATION
  - x EXISTING TOP OF CURB SPOT ELEVATION
  - ⊕ EXISTING WATER METER
  - ⊕ EXISTING ELECTRICAL POLE
  - PROPOSED STORM DRAIN
  - ⊕ PROPOSED STORM DRAIN INLET
  - PROPOSED SPOT ELEVATION  
 TC=TOP OF CURB, FL=FLOW LINE  
 TW=TOP OF WALL, BW=BOTTOM OF WALL  
 EX=EXISTING, TG=TOP OF GRADE
  - PROPOSED DIRECTION OF FLOW
  - KEYED NOTE
  - WATER BLOCK
  - PROPOSED RETAINING WALL
  - 5305 PROPOSED INDEX CONTOURS
  - 5301 PROPOSED INTER CONTOURS
  - FUTURE
  - ⊕ EXISTING TREE
  - TEMPORARY PUBLIC ROADWAY AND PERMANENT PUBLIC SANITARY SEWER EASEMENT
  - POND LIMITS



**CONCEPTUAL GRADING AND DRAINAGE PLAN**

James R. Topmiller  
 1/16/98  
 NEW MEXICO  
 9354  
 PROFESSIONAL ENGINEER



Revisions

3444 Marconi Avenue  
 Sacramento, California 95801-0334  
 tel: 916 972-0311 fax: 916 481-1045

Madson, Flathmann, Dameron & Babcock Architects  
**MFB**  
 ARCHITECTS

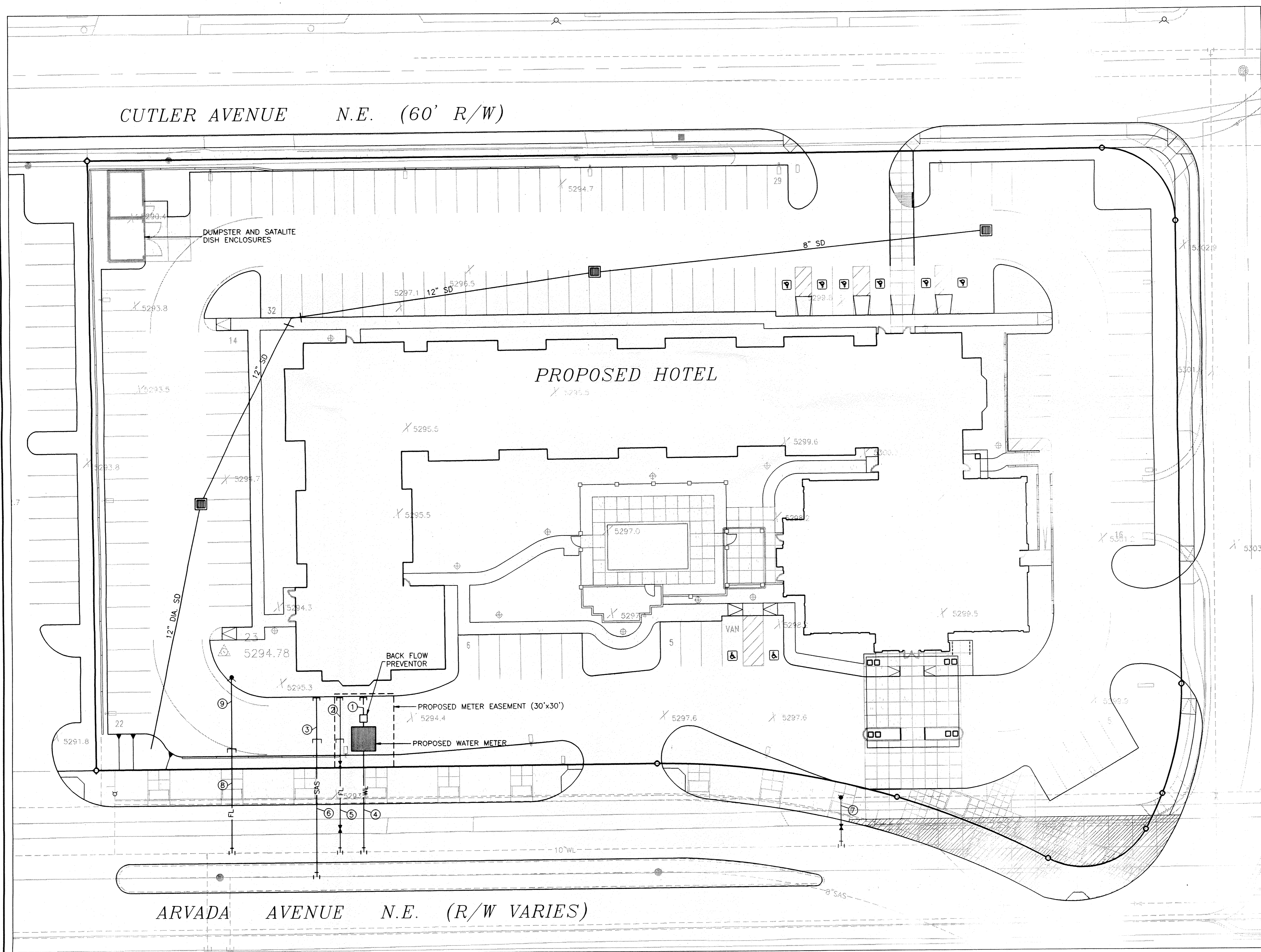
Bohannon & Huston

Courtyard One  
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 ENGINEERS PLANNERS PHOTOGRAPHERS  
 SURVEYORS LANDSCAPE ARCHITECTS

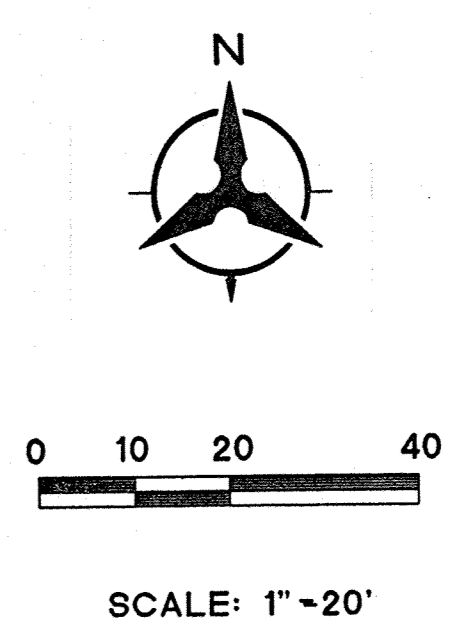
PROMIUS HOTEL CORPORATION  
**HOMEWOOD SUITES**  
 Albuquerque, New Mexico

Sheet Title  
**CONCEPTUAL  
 UTILITY PLAN**

Date 1/20/98  
 Job No. 97342  
 Sheet No.  
**C3**  
 of



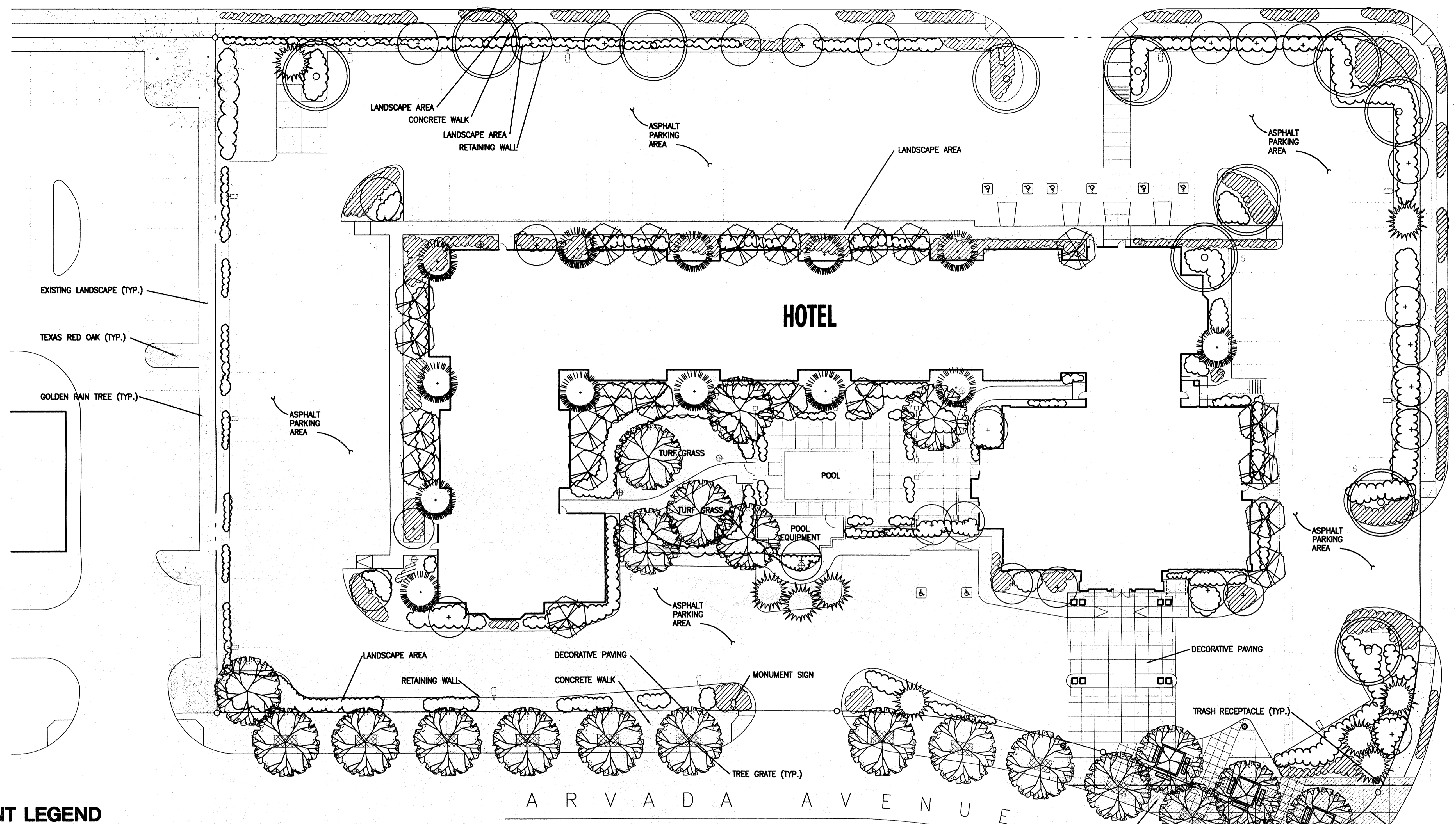
- LEGEND**
- PROPERTY LINE
  - SAS- EXISTING SANITARY SEWER
  - ⊙ EXISTING SANITARY SEWER MANHOLE
  - WL- EXISTING WATER LINE
  - ⊕ EXISTING VALVE
  - ⊕ EXISTING FIRE HYDRANT
  - ⊕ EXISTING WATER METER
  - ⊕ EXISTING ELECTRICAL POLE
  - PROPOSED RETAINING WALL
  - SAS- PROPOSED SANITARY SEWER
  - WL- PROPOSED WATER LINE
  - ⊕ PROPOSED VALVE
  - FL- PROPOSED FIRE LINE
  - ⊕ PROPOSED FIRE HYDRANT
  - SD- PROPOSED STORM DRAIN
  - ⊕ PROPOSED STORM DRAIN INLET
  - ⊕ PROPOSED PLUG
  - ⊕ KEYED NOTE
  - ⊕ TEMPORARY PUBLIC ROADWAY AND PERMANENT PUBLIC SANITARY SEWER EASEMENT



- KEYED NOTES**
- ① 2" DOMESTRIC WATERLINE
  - ② 6" FIRE PROTECTION LINE
  - ③ 6" SAS SERVICE LINE
  - ④ 2" PUBLIC WATERLINE (BY CITY PROJ. #572781)
  - ⑤ 6" PUBLIC PROTECTION LINE (BY CITY PROJ. #572781)
  - ⑥ 6" PUBLIC SAS SERVICE LINE (BY CITY PROJ. #572781)
  - ⑦ PROPOSED FIRE HYDRANT (BY CITY PROJ. #572781)
  - ⑧ PROPOSED 6" FIRE LINE BY CITY PROJ. #572781)
  - ⑨ 6" FIRE LINE



P R O S P E C T P L A C E



**PLANT LEGEND**

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
<b>TREES</b>			
<i>Chilopsis linearis</i>	Desert Willow	7' MIN. HT. 36" BOX	LOW
<i>Forestiera neomexicana</i>	New Mexico Olive	7' MIN. HT. 24" BOX	MEDIUM
<i>Fraxinus oxycarpa</i> 'Raywood'	Raywood Ash	2 1/2" CALIPER	HIGH
<i>Pinus sylvestris</i>	Scotch Pine	7' HEIGHT MINIMUM	HIGH
<i>Pinus edulis</i>	Pinon Pine	7' HEIGHT MINIMUM	MEDIUM
<i>Quercus shumardii</i>	Shumard Oak	2 1/2" CALIPER	HIGH
<b>SHRUBS/VINES</b>			
<i>Caesalpinia gilliesii</i>	Bird of Paradise	5 GALLON	LOW
<i>Caryopteris x clandonensis</i>	Blue Mist	5 GALLON	MEDIUM
<i>Cercocarpus ledifolius</i>	Curleaf Mountain Mahogany	5 GALLON	LOW
<i>Fallugia paradoxa</i>	Apache Plume	5 GALLON	LOW
<i>Hesperaloe parviflora</i>	Red Yucca	5 GALLON	MEDIUM
<i>Hesperaloe parviflora</i> 'Yellow'	Yellow Yucca	5 GALLON	MEDIUM
<i>Mahonia aquifolia</i> 'Compacta'	Compact Mahonia	5 GALLON	MEDIUM
<i>Miscanthus sinensis</i>	Maiden Grass	5 GALLON	MEDIUM
<i>Rosmarinus officinalis</i> 'Arp'	Arp Rosemary	5 GALLON	MEDIUM
<i>Sphaeralcea ambigua</i> 'Louis Hamilton'	Louis Hamilton Globemallow	5 GALLON	MEDIUM
<b>PERENNIALS/GROUND COVER</b>			
<i>Artemisia abrotanum</i> 'Powis Castle'	Powis Castle	1 GALLON	LOW
<i>Gallardia aristata</i>	Gallardia	1 GALLON	MEDIUM
<i>Liatris punctata</i>	Gayfeather	1 GALLON	LOW
<b>TURF GRASS</b>			
<i>Buchloe dactyloides</i>	Buffalo Grass	SOD	LOW
<b>SITE FURNISHINGS</b>			
	6' bench		
	trash receptacle		

**LANDSCAPE DATA/NOTES**

SITE AREA	114,319 SF
BUILDING FOOTPRINT	23,988 SF
REQUIRED LANDSCAPE AREA	13,553 SF (15% OF SITE AREA MINUS BUILDING FOOTPRINT)
PROVIDED LANDSCAPE AREA	24585 SF

1. NO EXISTING TREES ARE PRESENT ON SITE.
2. ALL PLANTING AREAS SHALL BE MULCHED WITH A 4" DEPTH OF 1 1/2" CRUSHED GRAVEL.
3. ALL LANDSCAPE AREAS SHALL BE WATERED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TURF GRASS AREAS SHALL BE WATERED WITH IRRIGATION SPRAY HEADS OR ROTORS. TREES SHALL BE WATERED WITH IRRIGATION BUBBLER HEADS. SHRUBS, PERENNIALS, AND GROUNDCOVERS SHALL BE WATERED WITH IRRIGATION DRIP EMITTERS.
4. THE OWNER SHALL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE.

