



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION		
Applicant: BARBARA MUELLER		Phone: 505.321.9099
Address: PO BOX 93924		Email:
City: ALBUQUERQUE	State: NM	Zip: 87199
Professional/Agent (if any): RIO GRANDE ENGINEERING		Phone: 321.9099
Address: 9916 GREENE AVE		Email: david@riograndeengineering.com
City: alb	State: nm	Zip: 87117
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST
SITE PLAN FOR SUBDIVISION APPROVAL

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: 22	Block:	Unit:
Subdivision/Addition: VOLCANO CLIFFS UNIT 6	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): D09	Existing Zoning: RA	Proposed Zoning: RA
# of Existing Lots: 2	# of Proposed Lots: 23	Total Area of Site (acres): 6

LOCATION OF PROPERTY BY STREETS		
Site Address/Street: QUIVIRA DRIVE	Between: VISTA VIEJA	and: RETABLO

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY		
Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:	Fee Total:	
Staff Signature:	Date:	Project #

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.


- SITE PLAN – EPC**
- MASTER DEVELOPMENT PLAN**
- MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**
- EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**

- x Interpreter Needed for Hearing? no if yes, indicate language: _____
- x A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form P1 at the front followed by the remaining documents *in the order provided on this form.*
- x Zone Atlas map with the entire site clearly outlined and labeled
- x Letter of authorization from the property owner if application is submitted by an agent
- x Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- x Signed Traffic Impact Study (TIS) Form
- x Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(H)(3) or 14-16-6-6(F)(3), as applicable
- x Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
- x Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) hearing on 3/3/21
- x Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - x Office of Neighborhood Coordination neighborhood meeting inquiry response
 - x Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - na If a meeting was requested/held, copy of sign-in sheet and meeting notes
- x Sign Posting Agreement
- x Required notices with content per IDO Section 14-16-6-4(K)(6)
 - x Office of Neighborhood Coordination notice inquiry response
 - x Copy of notification letter and proof of first class mailing
 - x Proof of emailed notice to affected Neighborhood Association representatives
 - x Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing
- x Completed Site Plan Checklist
- x Scaled Site Plan or Master Development Plan and related drawings (10 copies, 24" x 36" folded)
 - Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.*
- na Copy of the original approved Site Plan or Master Development Plan (for amendments only) (1 copy, 24" x 36")
- x Site Plan or Master Development Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- na Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

VARIANCE – EPC

- x In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(M)(3).

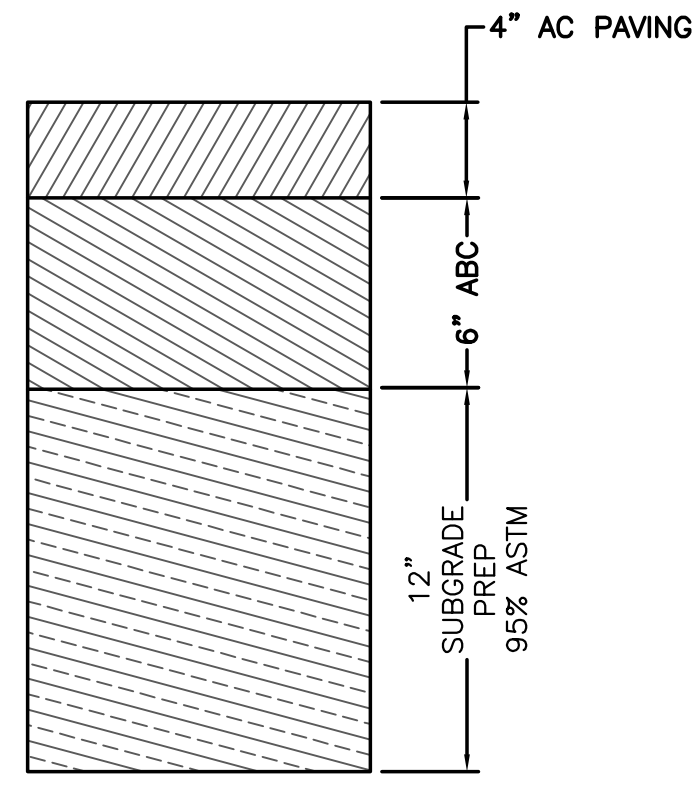
Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: <u> DA </u>	Date: <u> 3/30/21 </u>
Printed Name: <u> DAVIDSOULE </u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	

PAVING NOTE

1' SUBGRADE SOIL, R-VALUE>50, PLACED IN 2-6" COMPACTED LIFTS, 95% MIN. COMPACTION, AT OPT. MOISTURE ± 2.0%, ASTM D1557, OR OPT. MOISTURE, TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. SOIL NOT HAVING THE MIN. R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL OR A PAVEMENT ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.

FLEXIBLE PAVING SECTION

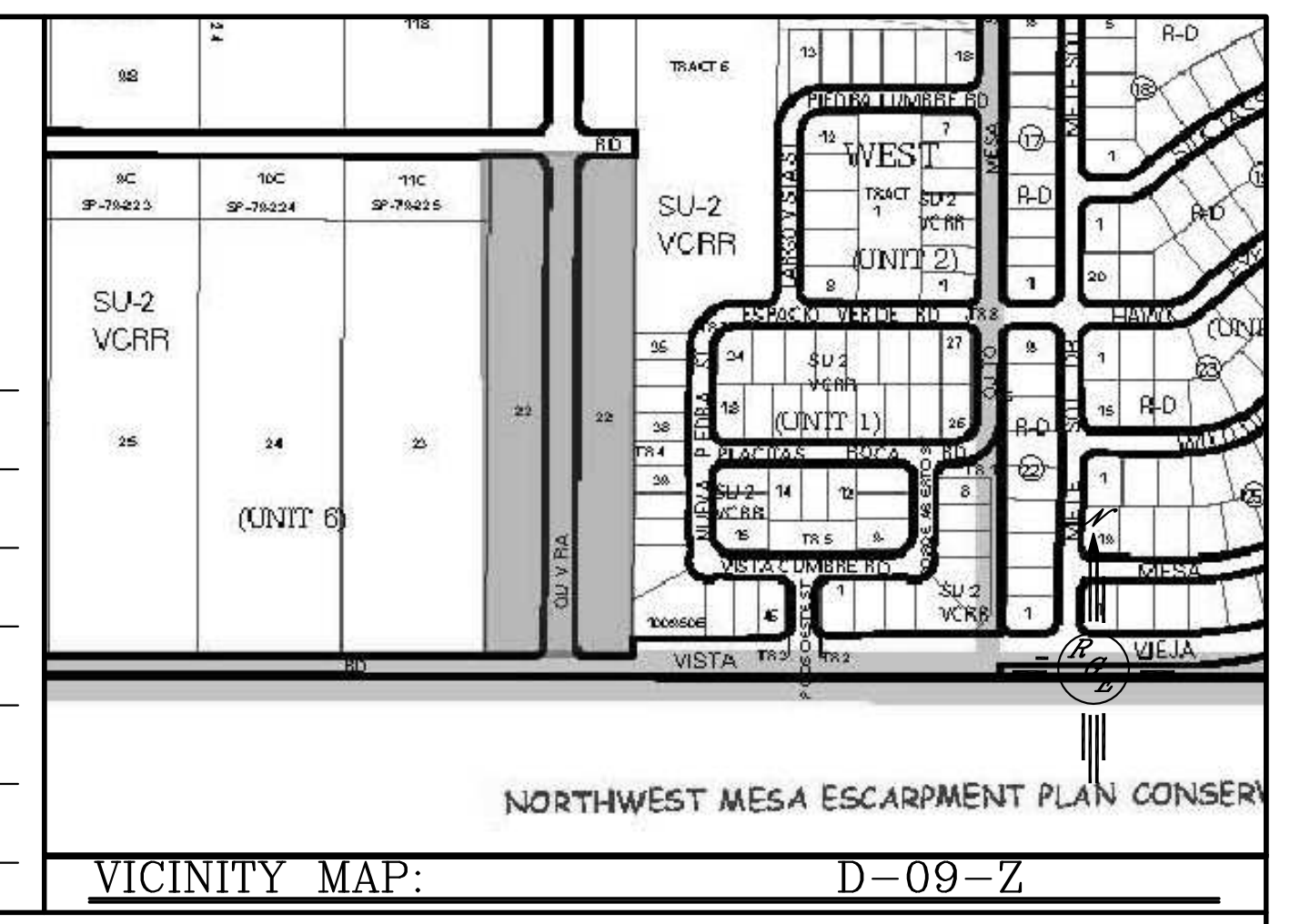


PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



LEGAL DESCRIPTION:
 LOTS 1-23, AND TRACT A, QUIVIRA ESTATES

GENERAL NOTES:

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
- ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
- ALL SIGNAGE WILL COMPLY WITH THE RENAISSANCE CENTER MASTER PLAN. BUILDING MOUNTED SIGNS SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS WITHOUT INTERNAL ILLUMINATIONS. NO ILLUMINATED PLASTIC PANEL SIGNS ARE ALLOWED EXCEPT LOGOS.

LEGEND

- ===== EXISTING CURB & GUTTER
- PROPOSED CURB
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED BUILDING
- EXISTING BUILDING
- ===== EXISTING RETAINING WALL
- ===== PROPOSED RETAINING WALL

KEYED NOTE:

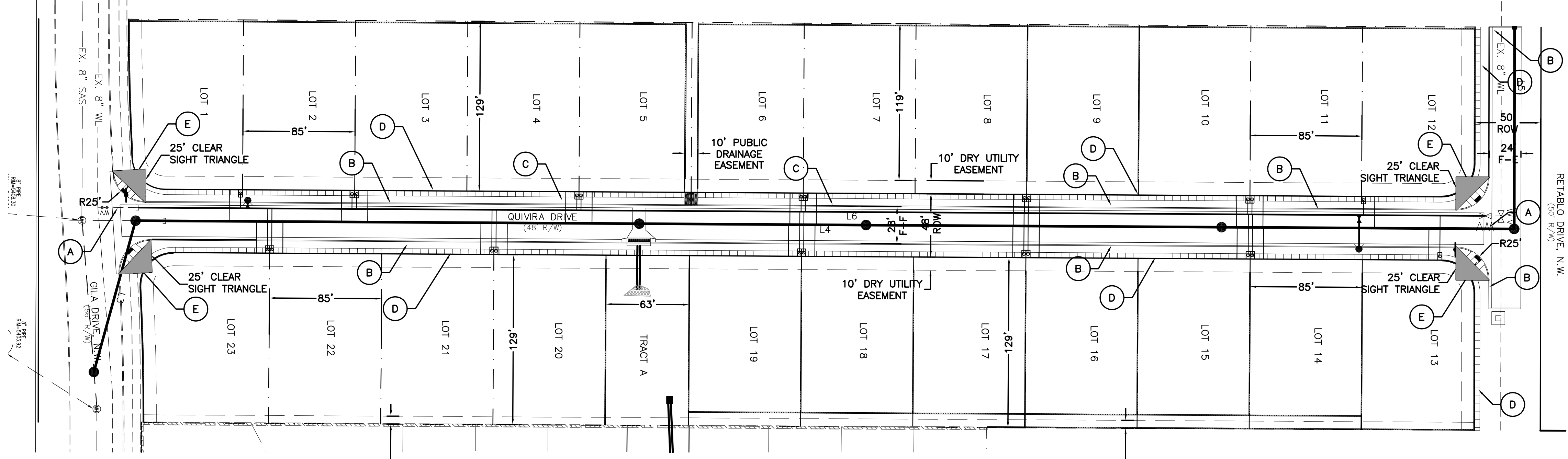
- (A) 6" VALLEY GUTTER PER C.O.A. STD DWG #2420 MODIFY CROSS SLOPE @ SEC A-A TO PROVIDE 2.00% CROSS SLOPE MAX
- (B) STANDARD C&G PER COA STD DWG #2415A
- (C) STANDARD DEPRESSED C&G PER COA STD DWG #2415A
- (D) 4" SIDEWALK TO BE BUILT W/THIS PROJECT PER COA STD DWG #2430
- (E) HANDICAP RAMP SEE DETAIL

SITE DATA

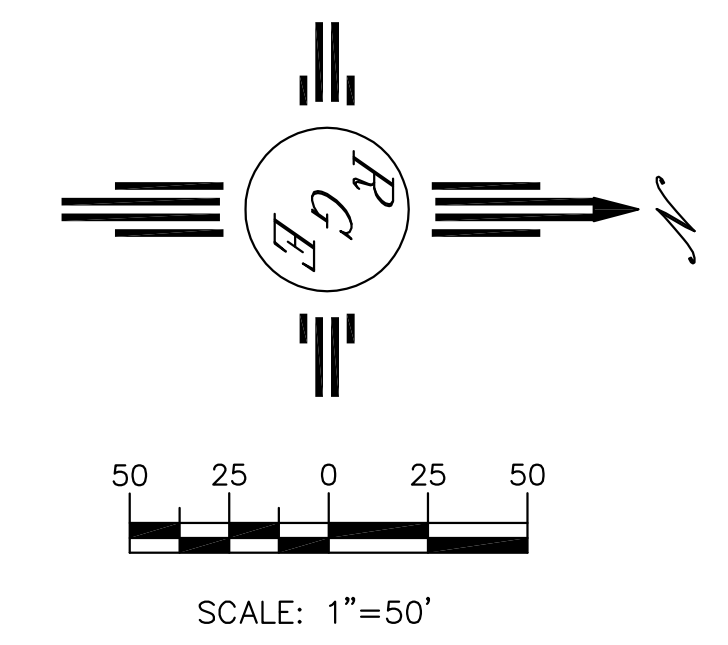
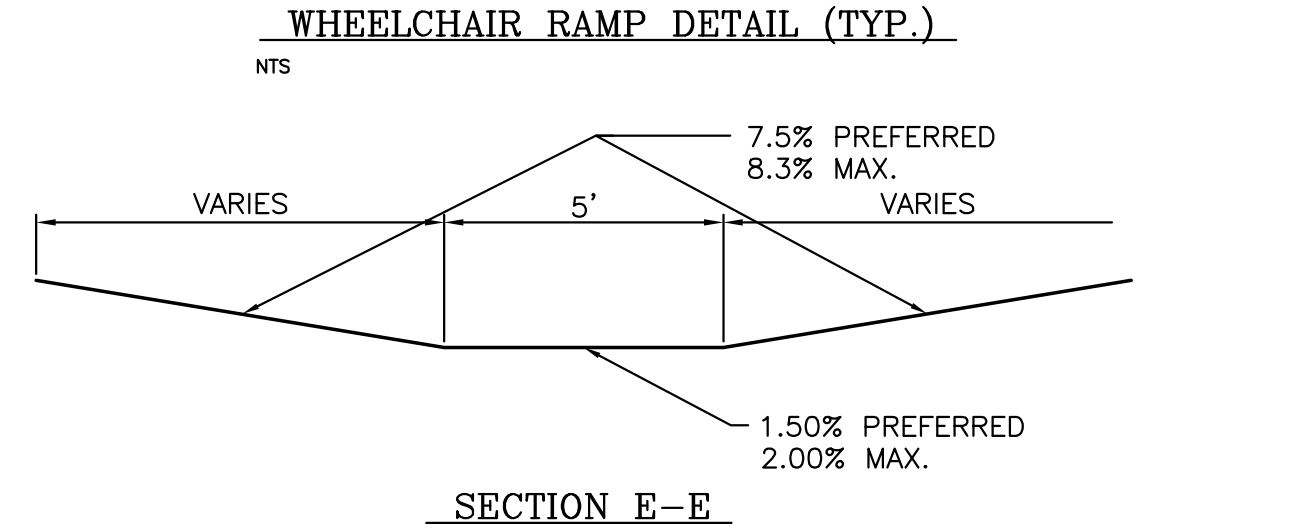
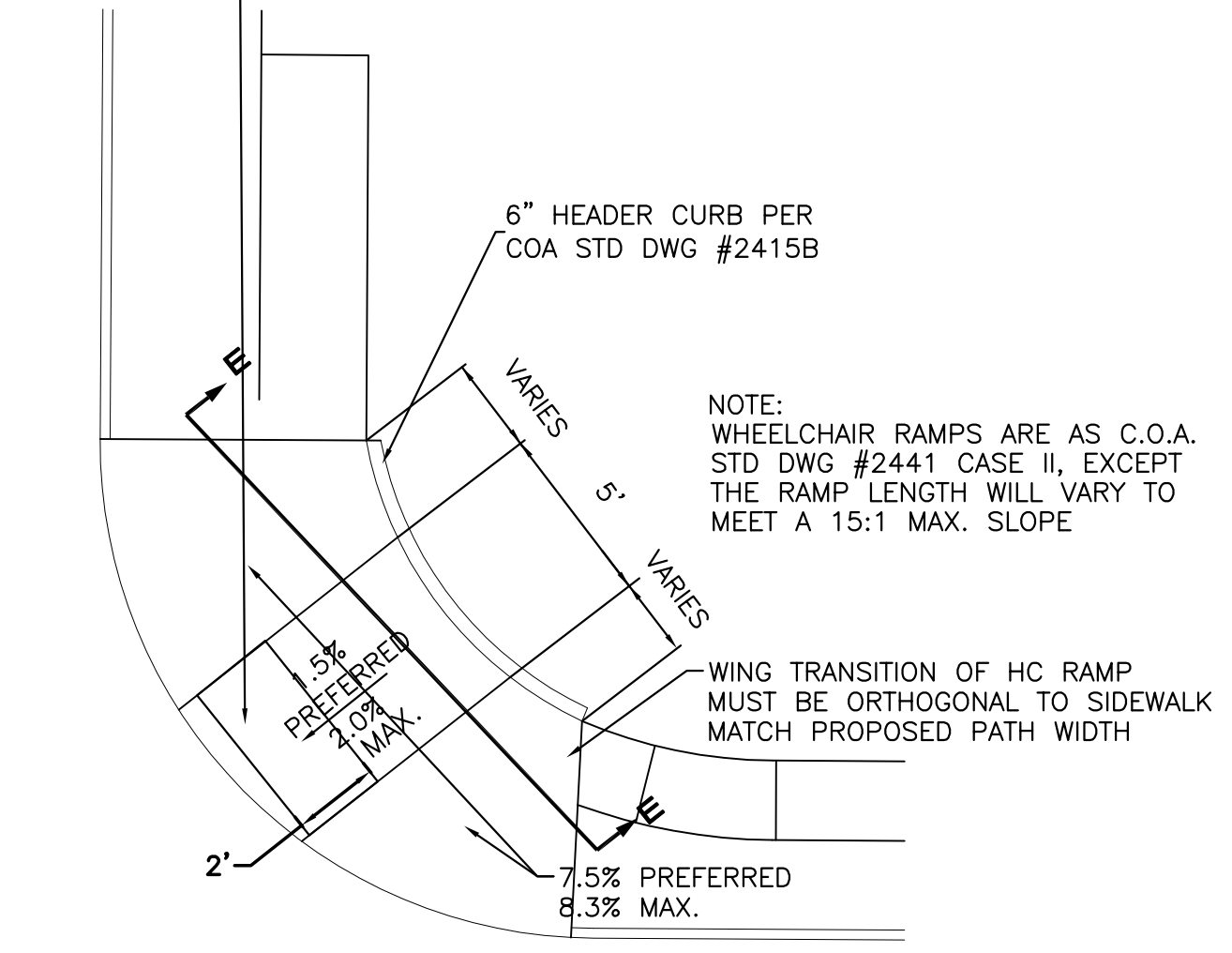
TOTAL ACREAGE:	7.1256 AC±
DENSITY UNITS:	3.23 DU'S (AT MAXIMUM BUILD OUT)
EXISTING ZONING:	SU-2 VCCR
PROPOSED ZONING:	SU-2 VCCR
PROPOSED USE:	INDIVIDUAL RESIDENTIAL

SHEET INDEX

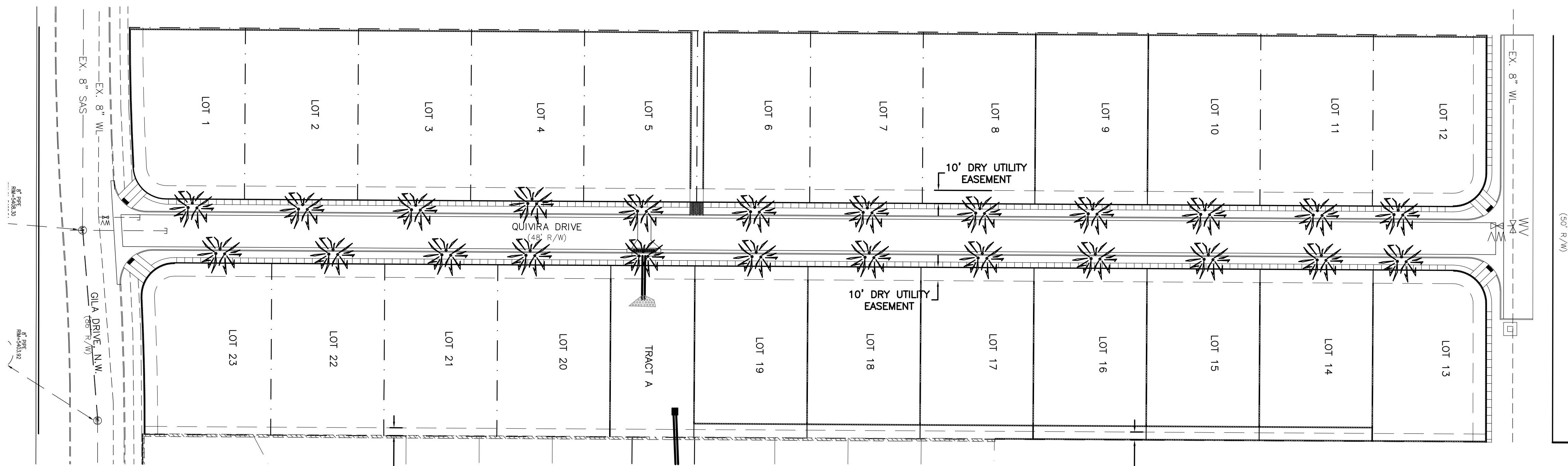
- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- 3A. GRADING AND DRAINAGE DETAILS
- MASTER UTILITY PLAN



CAST IN PLACE REPLACEABLE TRUNCATED DOMES SHALL BE PER ADA GUIDELINES. CONTRACTOR SHALL SUBMIT SPECS TO COA CONSTRUCTION ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

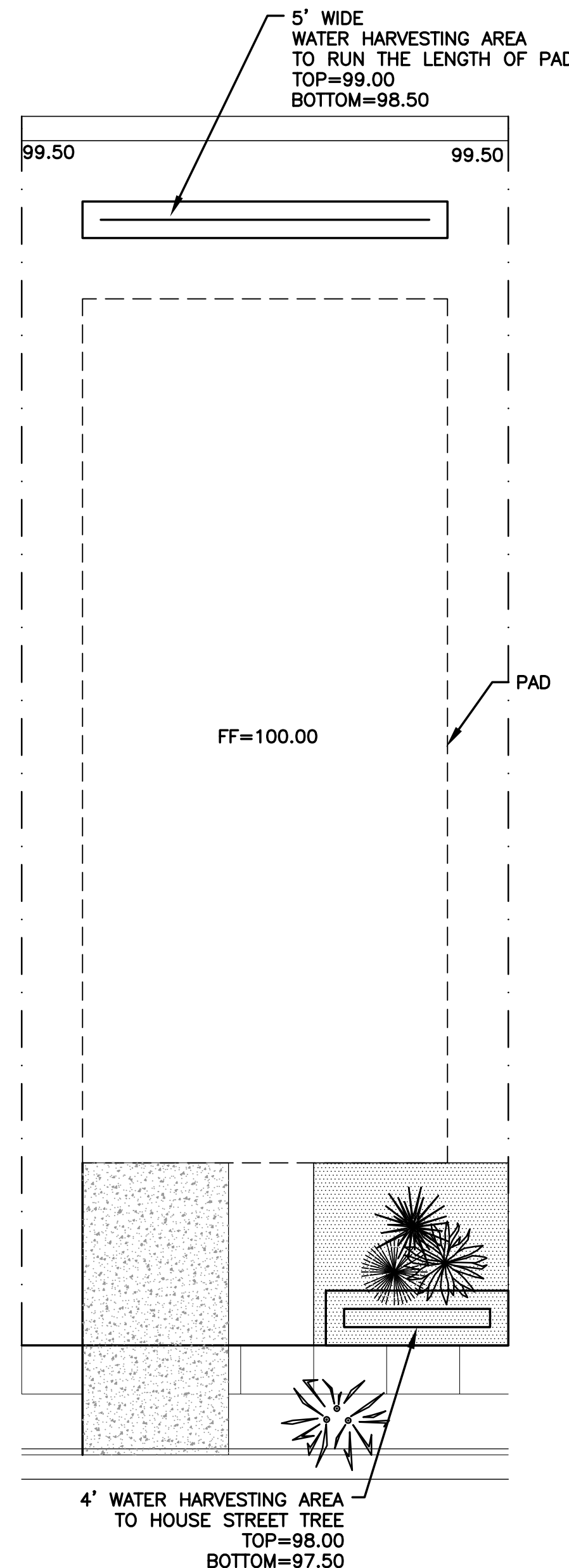


ENGINEER'S SEAL	QUIVIRA ESTATES	DRAWN BY: WCWJ
	SITE PLAN FOR BUILDING PERMIT	DATE: 3-09-21
DAVID SOULE P.E. #14522	Rio Grande Engineering 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	2102059-LAYOUT-8-06-20
		SHEET # 1
		JOB # 2102059



6' CROSS-LOT DRAINAGE EASEMENT FOR LOTS 13-23

6' CROSS-LOT DRAINAGE EASEMENT FOR LOTS 13-23



TYPICAL LOT LANDSCAPING PLAN

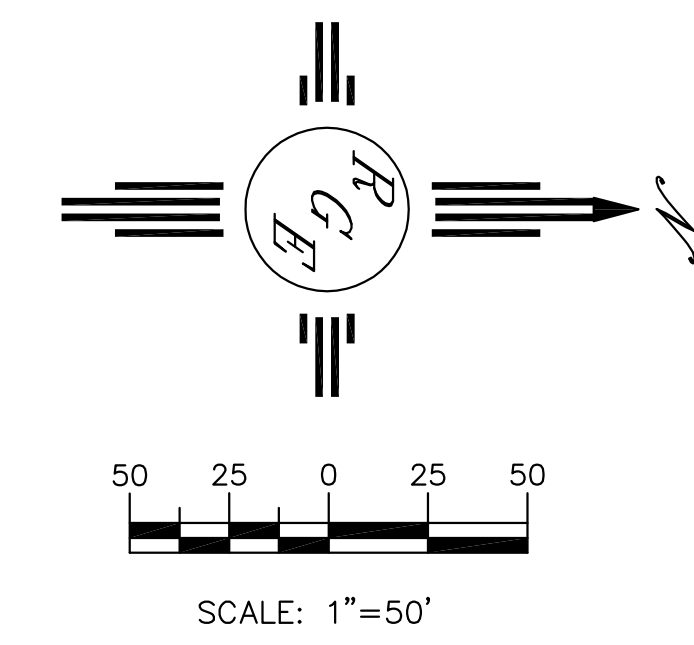
NTS

LANDSCAPE CALCULATIONS

TOTAL ACREAGE:	7.1256 AC±
# OF LOTS	23 LOTS
IMPERMEABLE SURFACE AREA	3.4321 AC±
PERMEABLE SURFACE AREA	3.6935 AC±
PONDING AREA	6595 SF

PLANT LEGEND

	MODESTO ASH FRAXINUS VERUS 2" CALIPER (5)		MAIDEN GRASS MISANTHUS (10)
	RUSSIAN SAGE PEROVSKIA 5 GAL (4)		TEXAS RED YUCCA HESPERALOE PARVIFLORA 5 GAL (15)
	BLUE BEARD BLUE MIST CARYOPTERIS X CL BLUEMIST 5 GAL (6)		CONCRETE
			3/4" SANTA FE BROWN MULCH (6) FABRIC



LANDSCAPE NOTES

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION OF FROM WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

NO PARKING SPACE SHALL BE GREATER THAN 100' FROM THE TRUNK OF A PARKING LOT TREE IAW LANDSCAPE ORDINANCE.

ALL ROCK MULCH SHALL HAVE A MIN. DEPTH OF 3".

STREET TREE REQUIREMENTS

STREET TREES REQUIRED UNDER THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE ARE AS FOLLOWS:

MONTANO ROAD
REQUIRED# 8 PROVIDED# 8 25' O.C. MAX BASED ON CANOPY SIZE

NOTE: STREET TREES ARE EXISTING AND MATURE.

IRRIGATION NOTES

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECEIVE 2 (1.0) GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS IN THE NORTHWEST CORNER OF THE SIGHT AS INDICATED ON THE IRRIGATION PLAN.

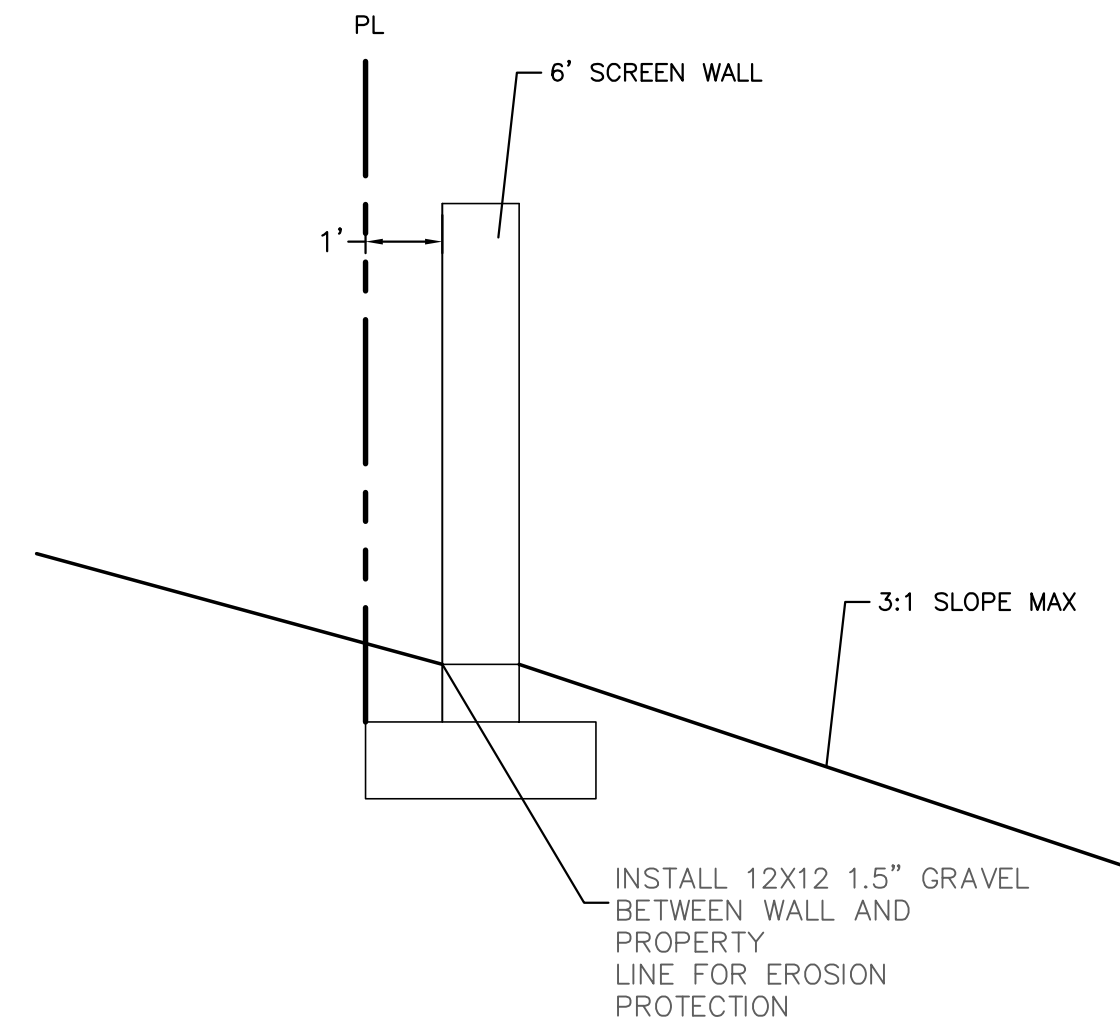
IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE IN THE MECHANICAL ROOM OF OF THE NORTH BUILDING AS INDICATED ON THE IRRIGATION PLAN.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

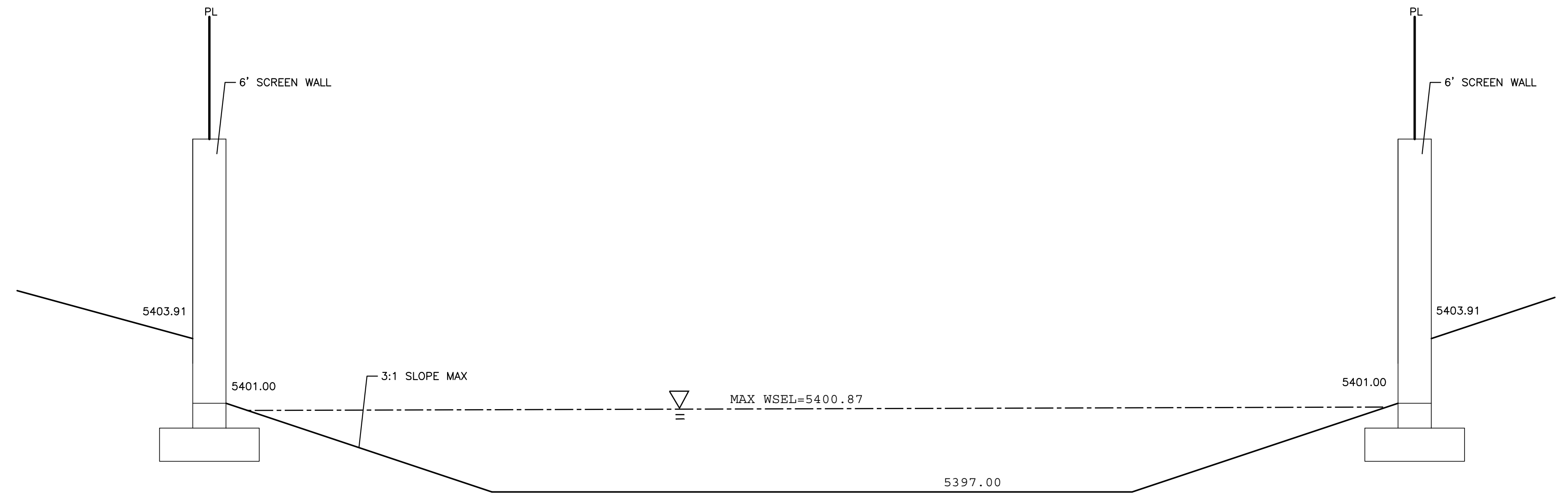
DRIP IRRIGATION MUST COMPLY WITH CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE.

STREET TREES SHALL BE CONNECTED TO SITE IRRIGATION SYSTEM AND MAINTAINED BY THE PROPERTY OWNER.

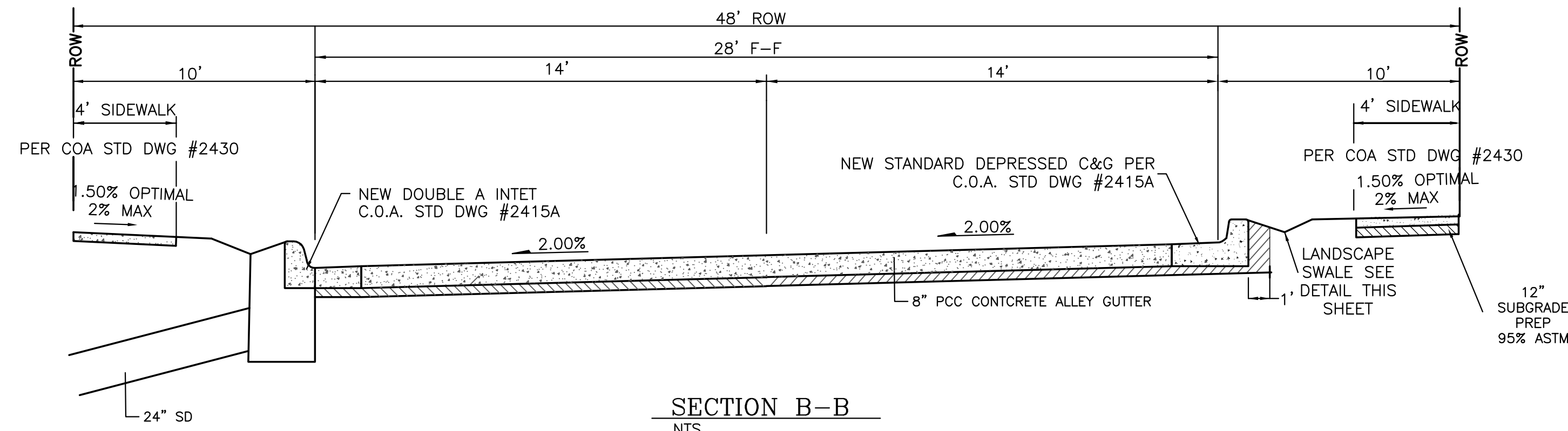
ENGINEER'S SEAL	QUIVIRA ESTATES	DRAWN BY WCWJ
	LANDSCAPE PLAN	DATE 3-09-21
		2102059-LAYOUT-8-06-20
		SHEET # 2
DAVID SOULE P.E. #14522	1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	JOB # 2102059



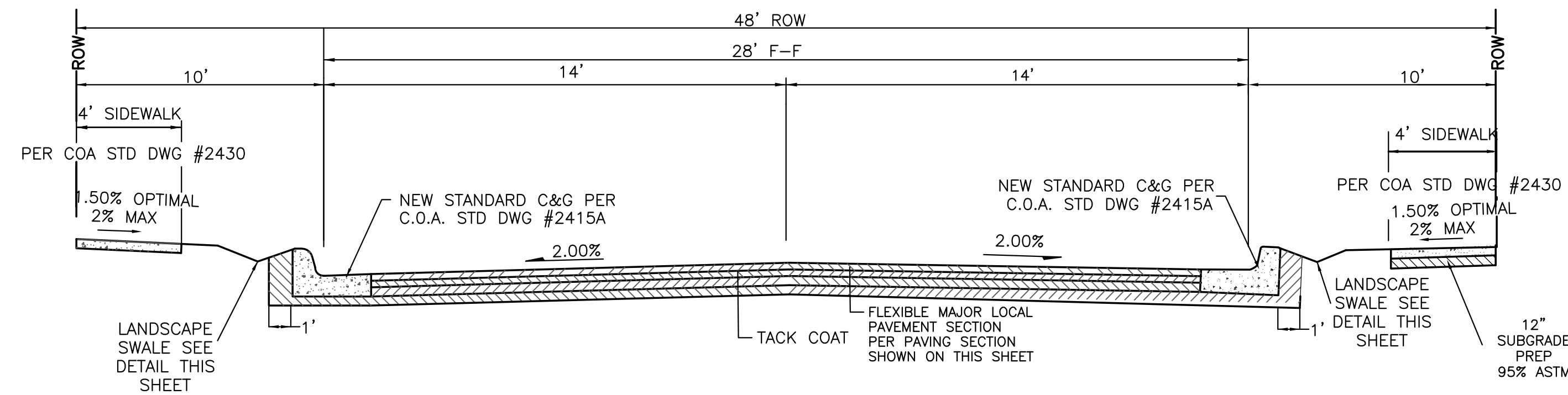
SECTION A-A
NTS



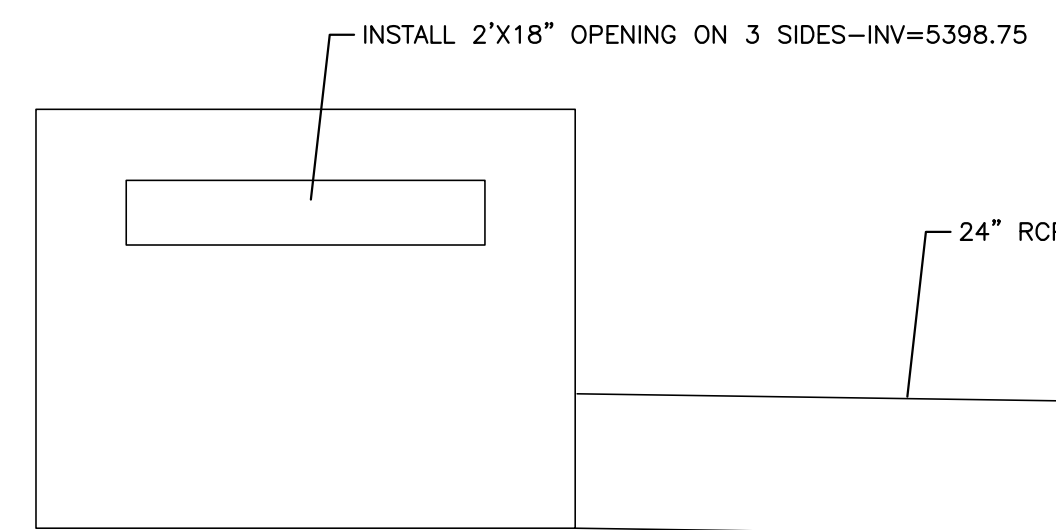
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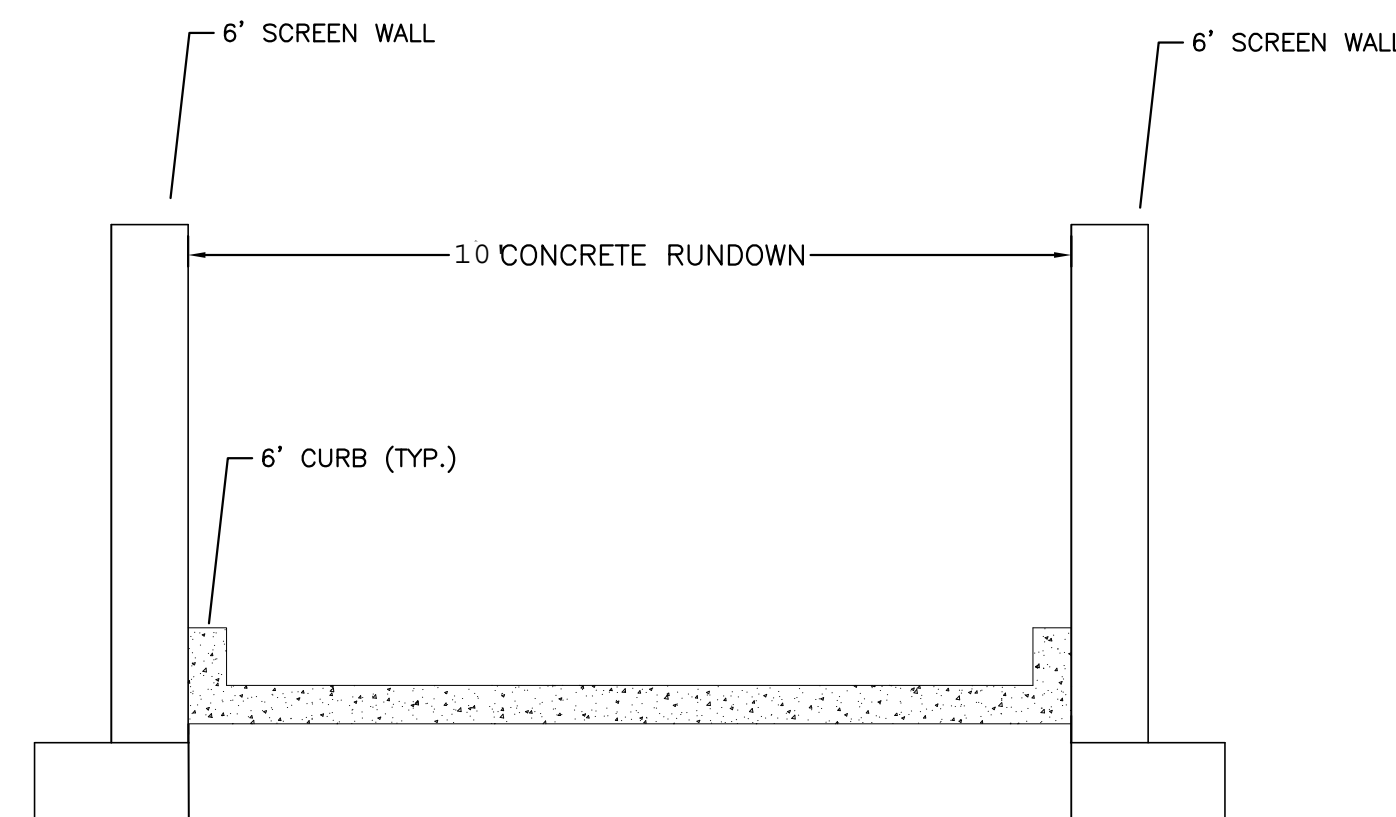
SECTION B-B
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SECTION E-E
NTS

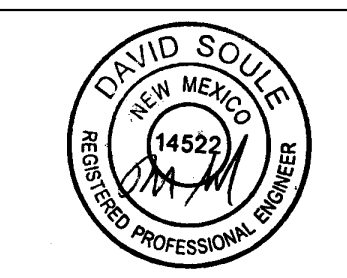
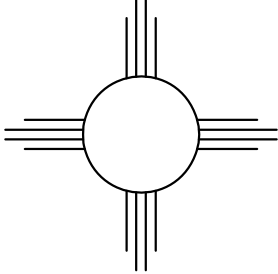


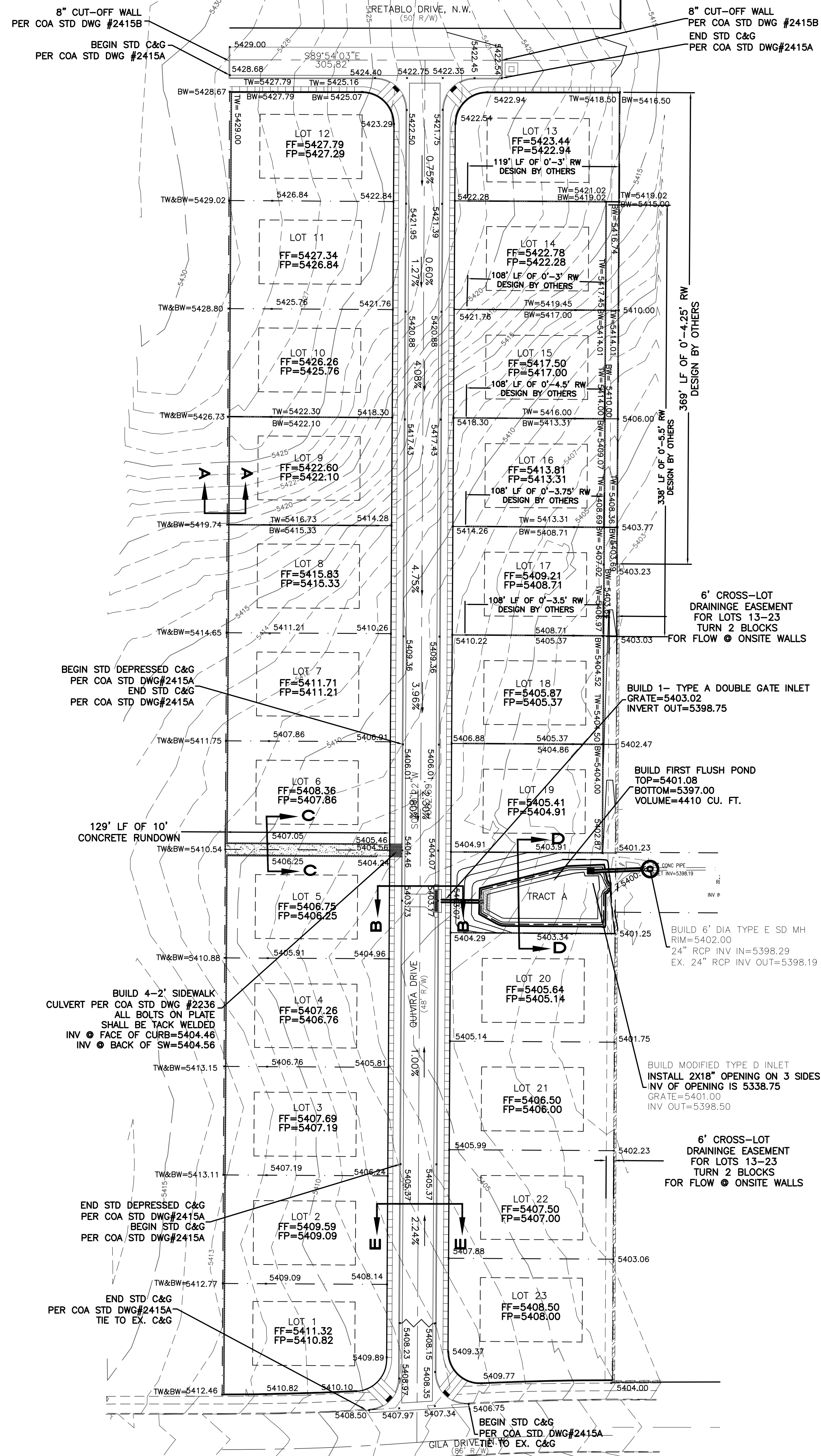
MODIFIED D INLET DETAIL
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SECTION C-C
NTS

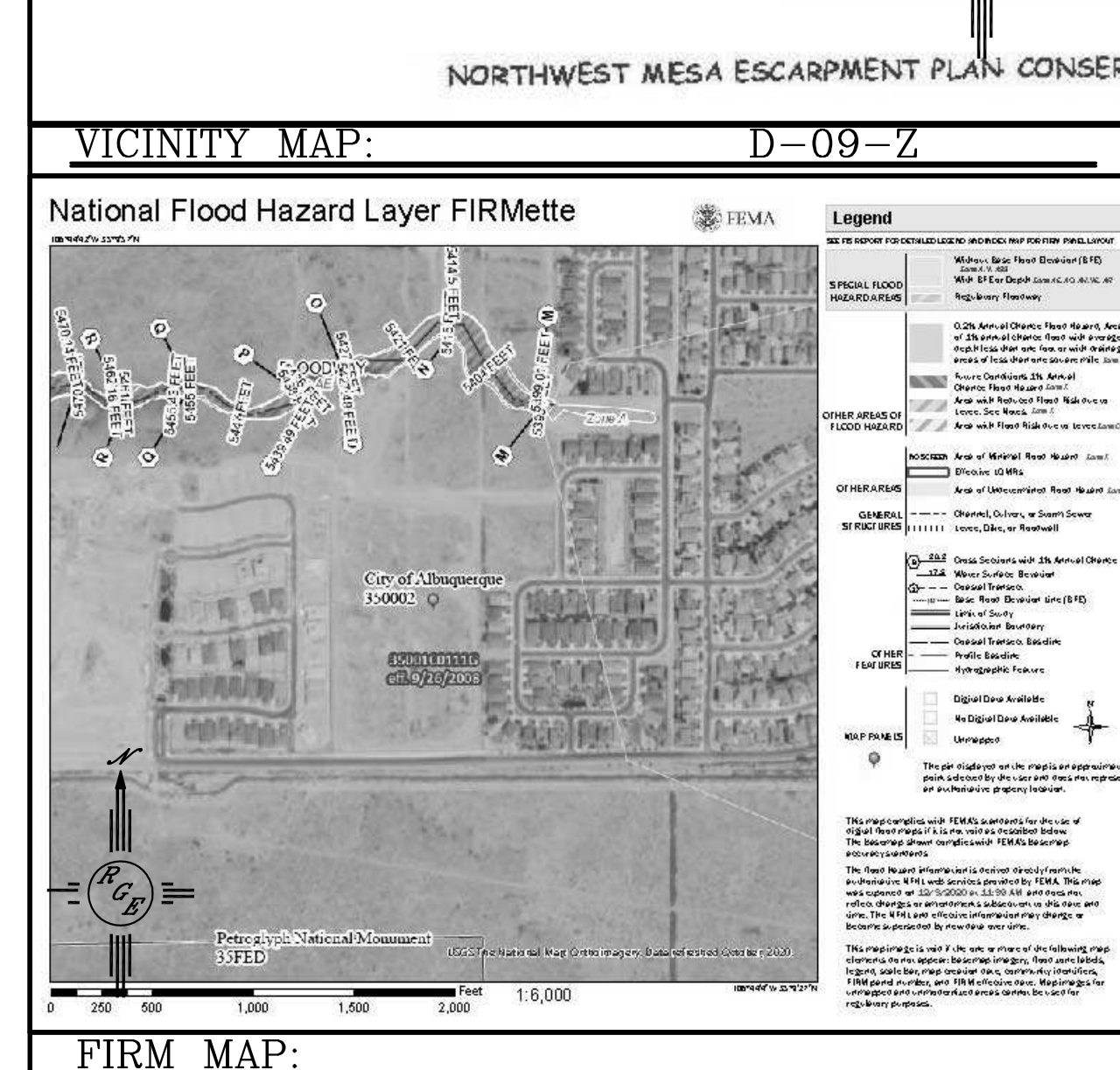
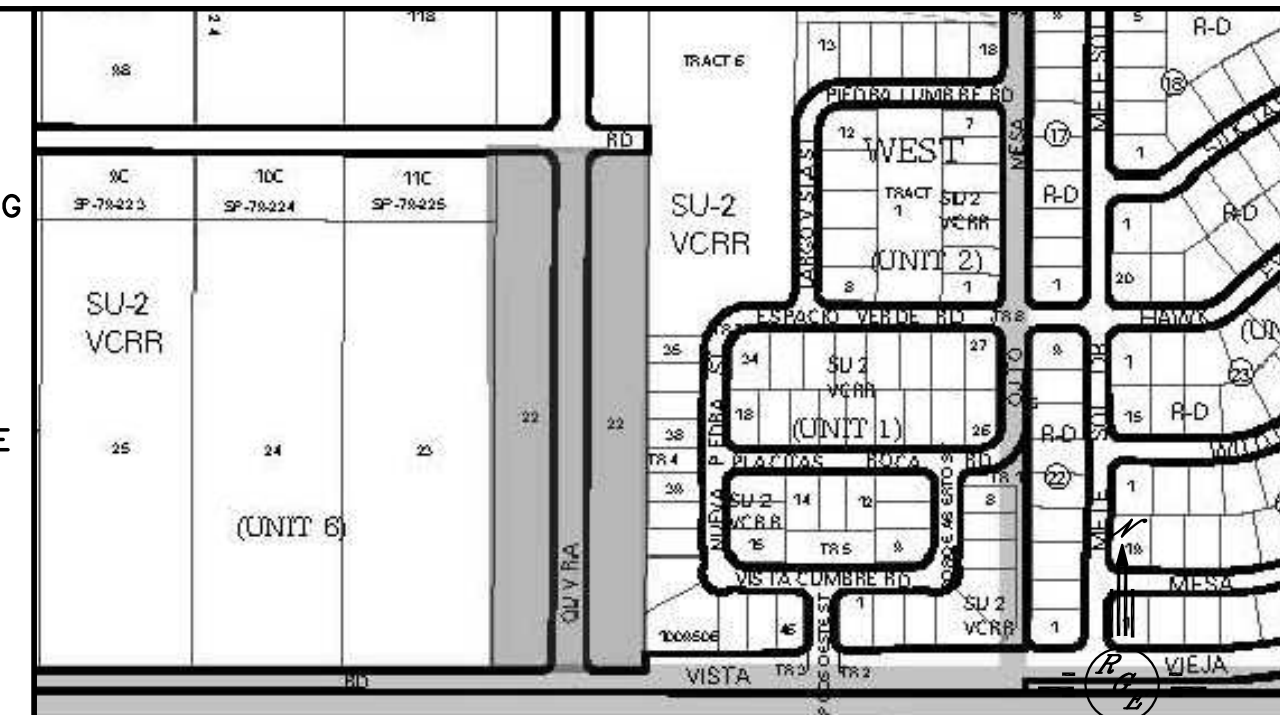


ENGINEER'S SEAL  1/3/21 DAVID SOULE P.E. #14522	QUIVIRA ESTATES	DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN	DATE 12-02-20
 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # -	JOB # 2102059
	2102059-LAYOUT-8-06-20	



EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

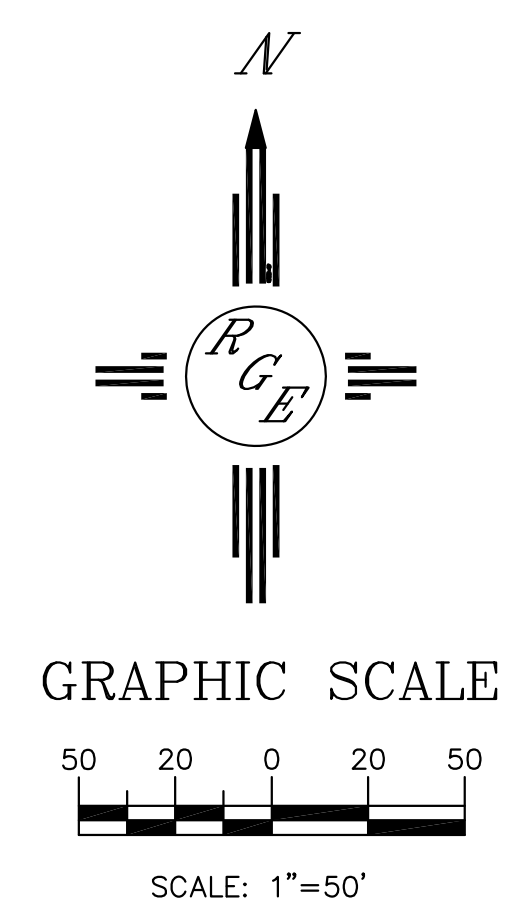
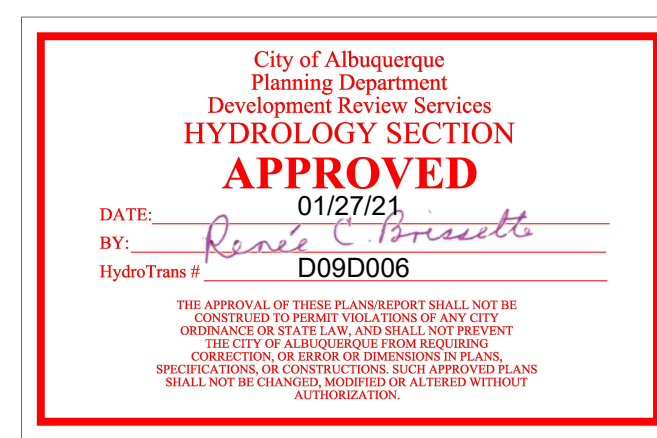
LOTS 1-23, AND TRACT A, QUIVIRA ESTATES

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ALL NEW PAVING SHALL BE 6" PCC OVER 8" SUBGRADE PREPARATION IN CONFORMANCE TO ACI 330R-08. UNLESS OTHERWISE NOTED.
5. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
6. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9

LEGEND

---	EXISTING CONTOUR
- - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
▲	SLOPE TIE
×	EXISTING SPOT ELEVATION
×	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED CURB
---	EXISTING CURB AND GUTTER
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK
---	3' ADA PATH-2% MAX SLOPE



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

	QUIVIRA ESTATES	DRAWN BY WCIJ
	GRADING AND DRAINAGE PLAN	DATE 12-02-20
1/4/21 DAVID SOULE P.E. #14522		2102059-LAYOUT-8-06-20
	1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # JOB # 2102059

WATER & SEWER

13. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER BUT RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER COA STANDARD DRAWINGS 2460 AND 2461.
14. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
15. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://abcwua.org/water_shut_off_and_turn_on_procedures.aspx)
16. PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (6" - 12") OR DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6" - 48").
17. ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS. THE JOINT RESTRAINT REQUIREMENTS SHOULD BE DELINEATED WITHIN A JOINT RESTRAINT TABLE.
18. ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING. EXCEPT WHEN PROFILED WITHIN A PROPOSED OR EXISTING STREET, WHERE STREET STATIONING SHALL GOVERN.
19. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
20. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #9. THE CONTRACTOR SHALL INSTALL A 4" X 4" X5' POST AND EMS AT THE END OF EACH SANITARY SEWER SERVICE.
21. TRACER WIRE SHALL BE INCLUDED FOR ALL PUBLIC WATER AND SEWER MAINS AND FOR WATER SERVICES IN ACCORDANCE WITH WATER AUTHORITY DETAILS.
22. CONTRACTOR SHALL PROVIDE THE PROPOSED HYDRO TESTING PLANS TO THE WUA INSPECTORS FOR APPROVAL PRIOR TO BEGINNING TESTING OPERATIONS.
23. AT UTILITY CROSSINGS, WHERE LESS THAN 18" OF VERTICAL SEPARATION FROM STORM DRAIN PIPING OR STRUCTURES IS PROPOSED, LEAN FILL CONSTRUCTION (PER SECTION 207 OF THE STANDARD SPECIFICATIONS) SHALL BE USED TO PROTECT THE WATER OR SEWER LINE. LEAN FILL SHALL EXTEND A PERPENDICULAR DISTANCE OF 5 FEET ON EACH SIDE OF THE STORM PIPE OR STRUCTURE.
24. ALL DESIGNS AND CONSTRUCTION OF ANY UNDERGROUND UTILITIES SHALL COMPLY WITH ADMINISTRATIVE INSTRUCTION NO. 9 FOR WORK NEARBY OR AFFECTING SAN JUAN CHAMA TRANSMISSION LINES AND APPURTENANCES. INFORMATION SHALL BE PROVIDED TO THE WATER AUTHORITY ONE (1) MONTH IN ADVANCE OF THE CONSTRUCTION START DATE. INFORMATION CAN BE FOUND AT [HTTP://WWW.ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://www.abcwua.org/water_shut_off_and_turn_on_procedures.aspx)

NOTE
AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW CUT EDGES SHALL BE STRAIGHT AND CLEAN AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR WITH FOUR STRAIGHT SIDES, FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OFF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENTS. IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES

FOR INFORMATION ONLY:
FIRE LINE BACK FLOW PREVENTOR SHALL BE LOCATED INTERIOR TO BUILDING AT FIRE RISER

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

DEPTH OF BURY:	3.0' MINIMUM
SAFETY FACTOR:	1.5 TO 1
PIPE MATERIAL:	PVC
SOIL TYPE:	GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
TEST PRESSURE:	150 PSI
TRENCH TYPE 4:	PIPE BEDDED IN SAND, GRAVEL OR CRUSHED STONE TO 1/8 PIPE DIAMETER, 4" MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

SIZE	LENGTH ALONG RUN**				
	5'	4'	3'	2'	1'
12x12x12	75	80	86	91	97
12x12x10	54	61	67	74	80
12x12x8	32	40	48	56	64
12x12x6	2	12	23	34	45
12x12x4	1	1	1	8	24
10x10x10	60	65	74	76	81
10x10x8	39	45	52	59	66
10x10x6	11	20	29	38	46
10x10x4	1	1	1	14	26
8x8x8	46	51	57	62	67
8x8x6	21	28	34	41	48
8x8x4	1	1	1	9	19
6x6x6	29	34	40	45	50
8x8x4	1	9	16	24	32

*RESTRAINTS ONLY PLACED ON THE BRANCH
**LENGTH ALONG RUN REFERS TO THE LENGTH OF PIPE ON EITHER SIDE OF THE TEE BEFORE THE NEXT JOINT.

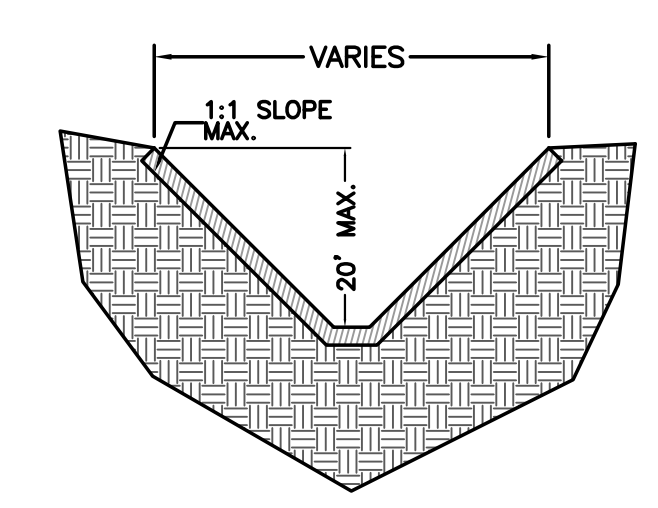
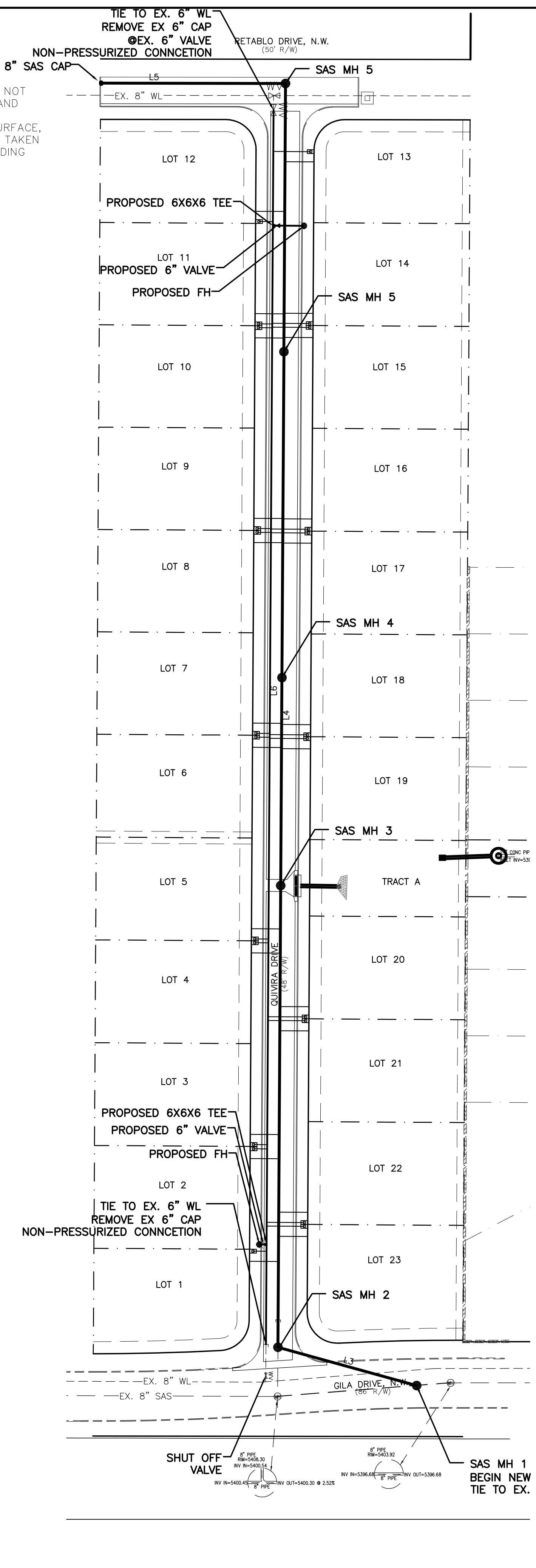
SIZE	RESTRAINED JOINT LENGTHS FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS (EACH SIDE)				
	90°	45°	22-1/2°	11-1/4°	DEAD END
12	37	15	8	4	102
10	31	13	7	4	87
8	27	11	6	3	72
6	20	9	4	2	55
4	15	6	3	2	39

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

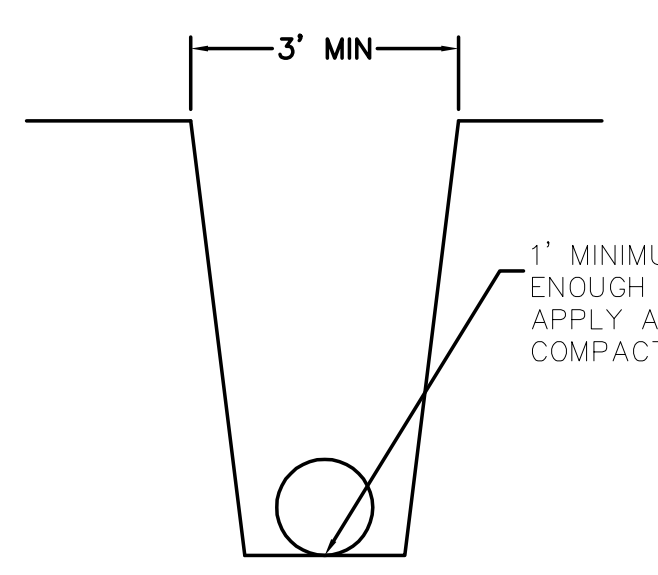
DEPTH OF BURY:	3.0' MINIMUM
SAFETY FACTOR:	1.5 TO 1
PIPE MATERIAL:	PVC
SOIL TYPE:	GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
TEST PRESSURE:	150 PSI
TRENCH TYPE 4:	PIPE BEDDED IN SAND, GRAVEL OR CRUSHED STONE TO 1/8 PIPE DIAMETER, 4" MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

SIZE	RESTRAINED JOINT LENGTHS FOR VERTICAL OFFSETS/BENDS (EACH SIDE)			
	90°	45°	22-1/2°	11-1/4°
12 UPPER	DON'T USE	42	21	11
12 LOWER	USE	10	5	3
10 UPPER	DON'T USE	36	14	9
10 LOWER	USE	9	8	2
8 UPPER	DON'T USE	30	15	8
8 LOWER	USE	7	4	2
6 UPPER	DON'T USE	23	11	6
6 LOWER	USE	6	3	2
4 UPPER	DON'T USE	17	8	4
4 LOWER	USE	4	2	1



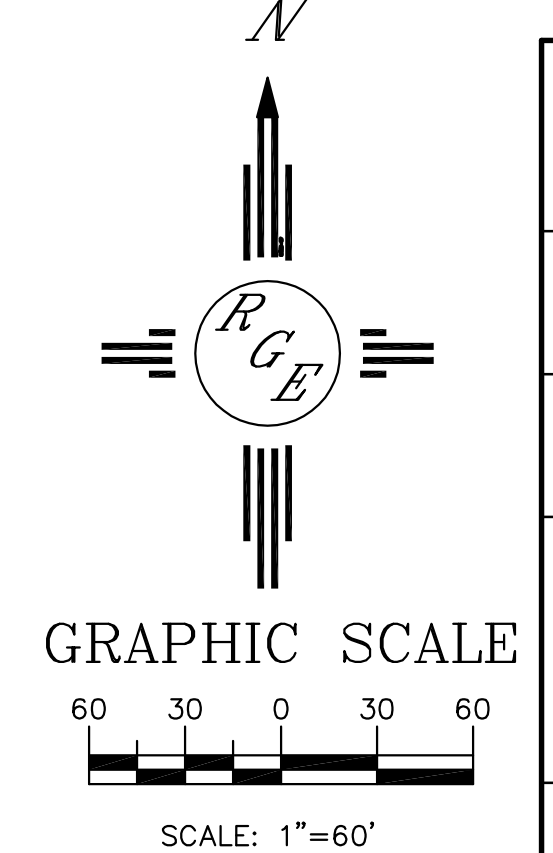
SUPPLEMENTAL TRENCH DETAIL
NTS—PER FIGURE V-2-13 OSHA STANDARD SPECIFICATIONS
NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.



WATER AND SEWER TRENCH DETAIL
NTS

LEGEND

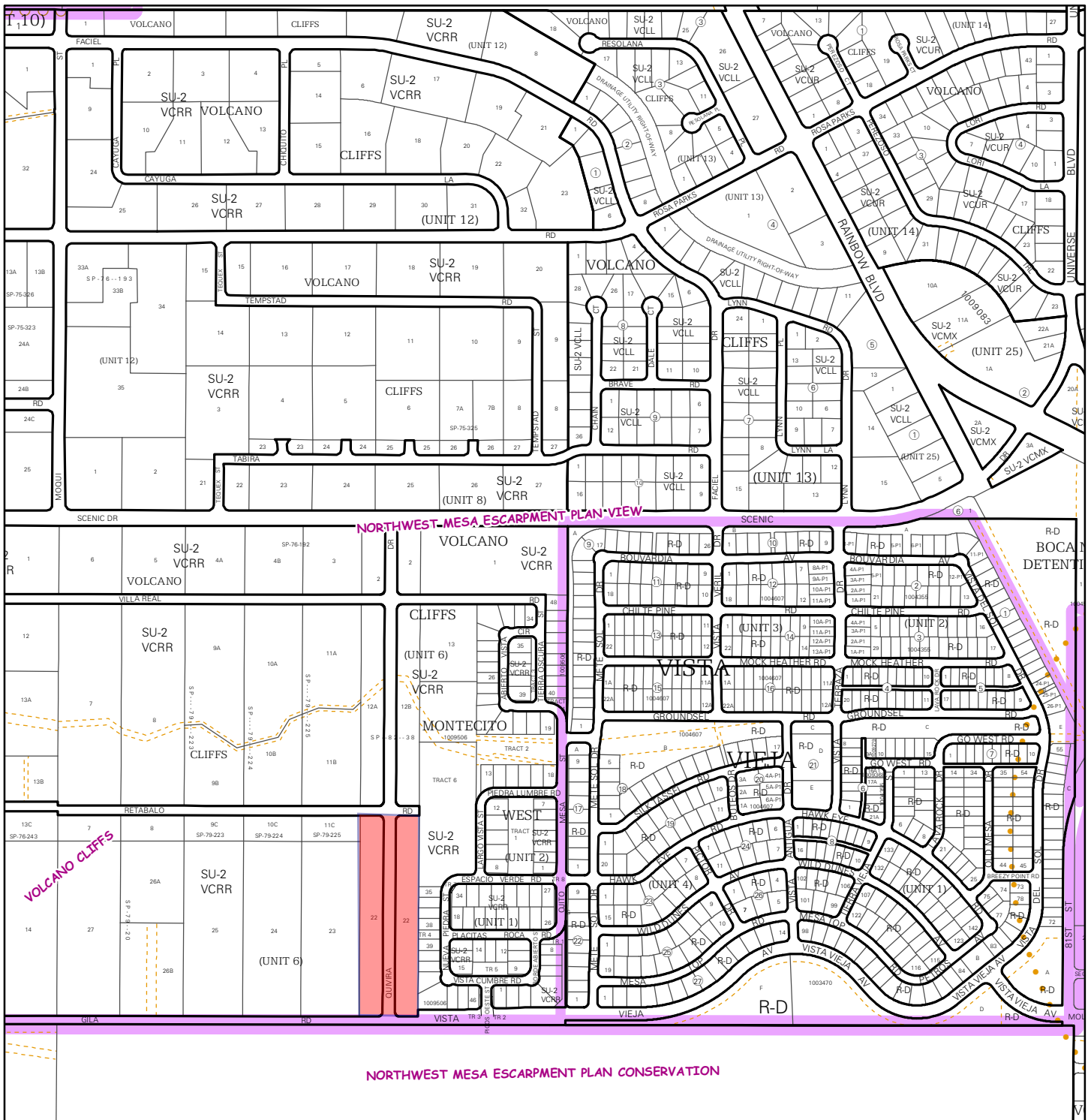
- EX. 12" SD — EXISTING STORM SEWER LINE
 - ⊙ EXISTING SAS MANHOLE
 - EX. 8" SAS — EXISTING SAS
 - ⊗ EXISTING VALVE W/BOX
 - EX. 8" WL — EXISTING WATER LINE
 - ⊕ EXISTING FIRE HYDRANT
 - 8" SAS — PROPOSED SAS
 - 8" WL — PROPOSED WATER LINE
 - PROPOSED STORM SEWER LINE
 - ⊠ PROPOSED METER
 - PROPOSED FIRE HYDRANT
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - CENTERLINE
 - RIGHT-OF-WAY
 - LOT LINES
 - EASEMENT
 - ☼ STREET LIGHTS
- CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG 2465 (LOCAL). CONTRACTOR SHALL REMOVE AND REPLACE STD C&G PER COA STD 2415A. CONTRACTOR SHALL REMOVE AND REPLACE SW PER COA STD SWG 2430. REMOVE TO THE NEAREST JOINT



WATER SHUTOFF NOTES—SHUT OFF VALVE

- WATER SHUTOFF NOTES:**
1. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://abcwua.org/water_shut_off_and_turn_on_procedures.aspx).
 2. VALVES SHALL BE OPERATED BY ABCWUA EMPLOYEES ONLY.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		CHANGE TO SERVICE DETAIL	
CONTRACTOR	DATE	WORK BY	DATE	NO.	BY	NO.	DATE	WJ	DATE
INSPECTOR'S ACCEPTANCE BY	DATE	REVISIONS	DATE	REVISIONS	DATE	REVISIONS	DATE	REVISIONS	DATE
DRAWINGS CHECKED BY	DATE	DESIGNED BY: WJWJ	DATE: 8-06-20	DRAWN BY: WJWJ	DATE: 8-06-20	DRAWN NAME: 2102059-LAYOUT-8-06-20.DWG	JOB NO.: 2102059	CHECKED BY: DS	DATE: 8-06-20
Rio Grande Engineering 2105 GOLF COURSE ROAD SUITE B RIO RANCHO, NM 87124 (505) 872-0999		ABCWUA PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		QUMRA ESTATES MASTER UTILITY PLAN		DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL	
CITY PROJECT NO. —		ZONE MAP NO. —		SHEET 7 OF 10		LAST DESIGN UPDATE		MO./DAY/YR.	



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 1/28/2016

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-09-Z

Selected Symbols

- SECTOR PLANS
- Escarpment
- Design Overlay Zones
- 2 Mile Airport Zone
- City Historic Zones
- Airport Noise Contours
- H-1 Buffer Zone
- Wall Overlay Zone
- Petroglyph Mon.

0 750 1,500 Feet

Letter of Authorization

I, Barbara Mueller, owner of Tract 22, Unit 6 Volcano Cliffs, hereby authorize David Soule and Rio Grande Engineering of New Mexico, LLC to act as our agent regarding the submittal and approval process for the vacation of a Right of Way and subsequent preliminary plat approval for the referenced lot within the city of Albuquerque,

Property Owners: Barbara Mueller Date 10/26/2020

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- ___ Copy of the Official Notice of Decision associated with the prior approval
- ___ Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- ___ Copy of the Official Notice of Decision associated with the prior approval
- ___ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ___ Site Plan to be Expired
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE SIGNAGE PLAN


- ___ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ___ Required notices with content per IDO Section 14-16-6-4(K)
 - ___ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - ___ Sign Posting Agreement
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE LANDSCAPE PLAN

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ Landscape Plan
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: <i>MS</i>	Date: 1/26/21
Printed Name: david soule	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
David S. Campbell, Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: 1/26/21

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR2020-004457
Agent: RIO GRANDE ENGINEERING
Applicant: BARBARA MUELLER
Legal Description: TRACT 22 VOLCANO CLIFFS UNIT 6
Zoning: RA
Acreage: 7.8
Zone Atlas Page(s): D-9

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

SITE VISIT:

RECOMMENDATIONS:

SUBMITTED BY:

SUBMITTED TO:

Russell Brito, Planning Manager
City of Albuquerque Planning Department

Ethan Kalosky, MA
Cultural Resource Specialist
Acting City Archaeologist
Parametrix

Date



Date: 1/27/2021

Office: WEB

Cashier:admin

Batch: 11655

Tran #: 40

=====

Building Permits

12:08 PM Station ID

Office WEB

Receipt #: 00655976

Reference SI-2021-00115

Trans Amt: \$260.00

130 Building Permit \$260.00

Payment Total: \$260.00

=====

Transaction Total: \$260.00

Echeck Tendered : \$260.00

Thank you for your payment.

Have a nice day!



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2019)

Project Title: QUIVIRA SUBDIVISION Building Permit #: _____ Hydrology File #: _____
Zone Atlas Page: D-9 DRB#: PR-2020-003441 EPC#: _____ Work Order#: _____
Legal Description: TRACT 22 VOLCANO CLIFFS UNIT 6
City Address: NOT ADDRESSED- QUIVIRA ROAD AND VISTA VIEJA

Applicant: BARBARA MUELLER Contact: DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 321-9099 Fax#: NONE E-mail: david@riograndeengineering.com

Development Information

Build out/Implementation Year: 2021 Current/Proposed Zoning: RA/RA

Project Type: New: (X) Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()

Proposed Use (mark all that apply): Residential: (X) Office: () Retail: () Mixed-Use: ()

Describe development and Uses:
23 LOT SUBDIVISION

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): 2500SF

Number of Residential Units: 23

Number of Commercial Units: _____

Traffic Considerations

ITE Land Use Code #210 Single-Family Detached Housing

Expected Number of Daily Visitors/Patrons (if known):* AM 21 trips. PM 25 trips

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Driveway(s) Located on: Street Name QUIVIRA

Adjacent Roadway(s) Posted Speed: Street Name VISTA VIEJA Posted Speed 30

Street Name Posted Speed

* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

Roadway Information (to be completed by City of Albuquerque staff)

Comprehensive Plan Corridor Designation/Functional Classification: _____

Comprehensive Plan Center Designation: _____

Jurisdiction of roadway (NMDOT, City, County): _____

Adjacent Roadway(s) Traffic Volume: _____ Volume-to-Capacity Ratio: _____

Adjacent Transit Service(s): _____ Nearest Transit Stop(s): _____

Current/Proposed Bicycle Infrastructure: _____

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No **Borderline** []

Thresholds Met? Yes [] No

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes:

M.P. P.E.

1/29/2021

TRAFFIC ENGINEER

DATE

Submittal

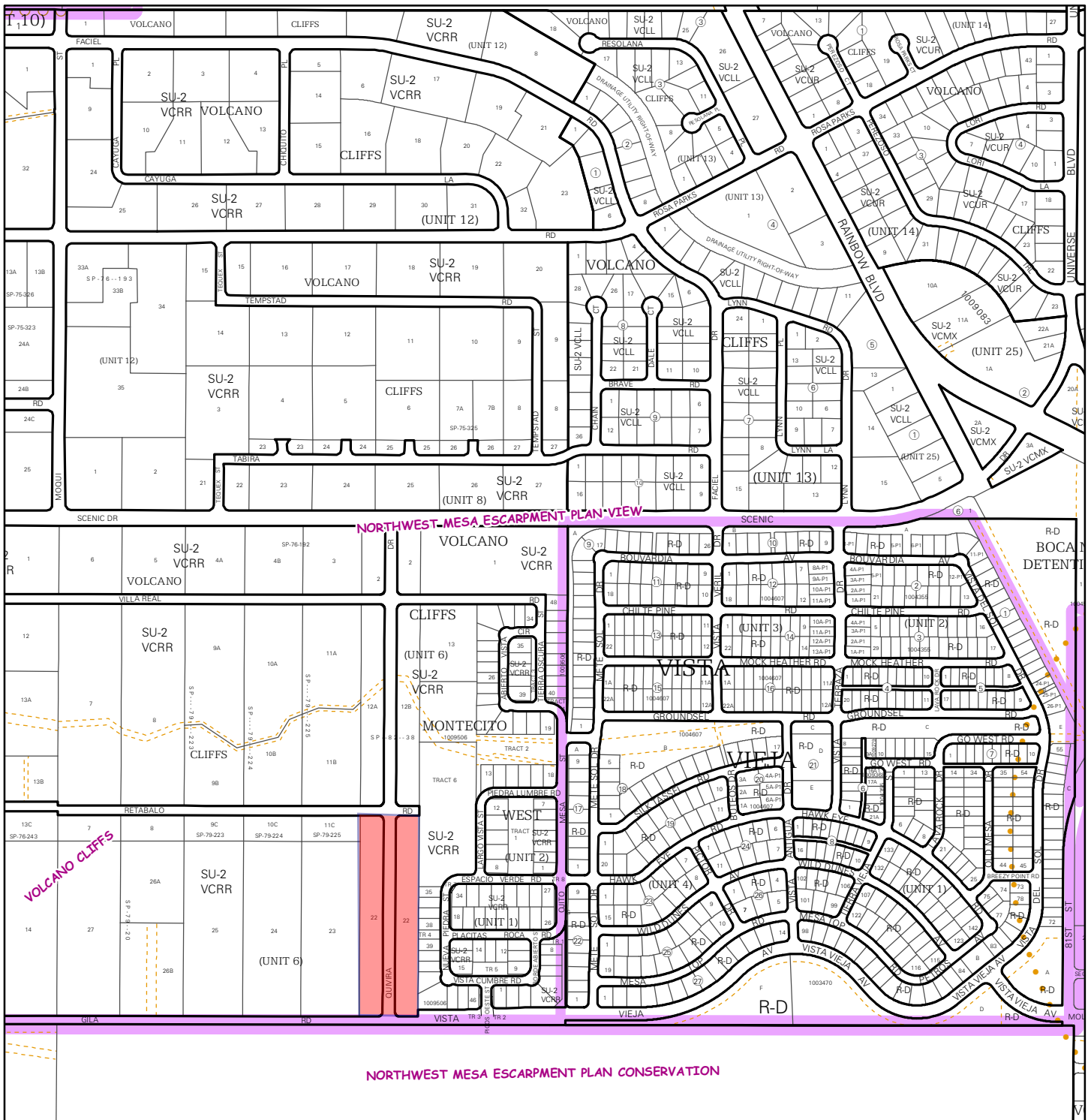
The Scoping Form must be submitted as part of any building permit application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer. Call 924-3991 for information.

Site Plan Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter)
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 1/28/2016

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-09-Z

Selected Symbols

- SECTOR PLANS
- Escarpment
- Design Overlay Zones
- 2 Mile Airport Zone
- City Historic Zones
- Airport Noise Contours
- H-1 Buffer Zone
- Wall Overlay Zone
- Petroglyph Mon.

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

March 30, 2021

Neighborhood Associations
and Neighbors

Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Site Plan for Subdivision- Quivira

Dear Sirs and Madams:

The purpose of this letter is to introduce and explain the proposed Site Plan approval request. This project was previously reviewed by the DRB for Sketch plat, vacation of right of way and Preliminary plat. It was determined at the most recent DRB meeting that this site must be review by the EPC in accordance with 5-2(J)(2)(b):

Development on lots 5 acres or greater adjacent to Major Public Open Space shall:

- 1.Be reviewed by the Environmental Planning Commission (EPC), pursuant to Subsection 14-16-6-6(J).
- 2.Have an approved Site Plan – EPC that meets conditions deemed necessary by the EPC to further compliance with the above standards to minimize impact on the Major Public Open Space and maximize compatibility of the proposed development prior to the submittal of any request for platting on the property

The proposed request is for the site plan approval to create 23 lots and one drainage tract from a Single 6 acre tract containing 2 parcels. The replat will dedicate existing roadway easements on vista Vieja road (formally Gila) as right of way. The replat will complete the previously approved vacation of 16 feet of Right of way on Quivira drive. This application includes a request to waive the excessive 40' buffers to major public open space. This is justified due the single loaded street to the south, as well as the disjointed and patchwork open space pattern on the north and Northeast . The enclosed site plan is the same configuration as shown to DRB and previous mailings to the neighbors.

Should you have any questions regarding this submittal, feel free to contact me.

Sincerely,

David Soule, PE
Rio Grande Engineering
505.321.9099

Cc:
Attached list of property owners/Neighborhood associations

David Soule

From: David Soule [david@riograndeengineering.com]
Sent: Thursday, April 01, 2021 10:55 AM
To: 'aboard111@gmail.com'; 'glenn@tegtmeyer.us'
Cc: 'ekhaley@comcast.net'; 'bhetherington@aamnm.com'
Subject: Another offer of meeting

Attachments: submittal.pdf

Hello, I know we have met before, but at the last drb hearing I was instructed this site must have a site plan approved by the epc. I am submitting to them the same configuration. I have attached the submittal as prepared. This email is required to be sent again.

David Soule
321.9099



submittal.pdf (3
MB)

David Soule

From: Carmona, Dalaina L. [dlcarmona@cabq.gov]
Sent: Tuesday, September 22, 2020 3:02 PM
To: david@riograndeengineering.com
Subject: quivira between retabelo and vista vieja Neighborhood Meeting Inquiry
Attachments: d-09 zap.pdf

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email
Montecito West Community Association Incorporated	Glenn	Tegtmeyer	glenn@tegtmeyer.us
Montecito West Community Association Incorporated	Brandy	Hetherington	bhetherington@aamnm.com
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail.

<https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification:

<https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each:

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit:

<https://www.cabq.gov/planning/online-planning-permitting-applications> with those types

of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Tuesday, September 22, 2020 12:43 PM

To: Office of Neighborhood Coordination <david@riograndeengineering.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

david soule

Telephone Number

5053219099

Email Address

david@riograndeengineering.com

Company Name

rio grande engineering

9/22/2020

Company Address

p0 box 93924

City

alb

State

nm

ZIP

87199

Legal description of the subject site for this project:

tract 22 volvano cliffs unit 6

Physical address of subject site:

quivira between retable and vista vieja

Subject site cross streets:

quivira and vista vieja

Other subject site identifiers:

This site is located on the following zone atlas page:

d9

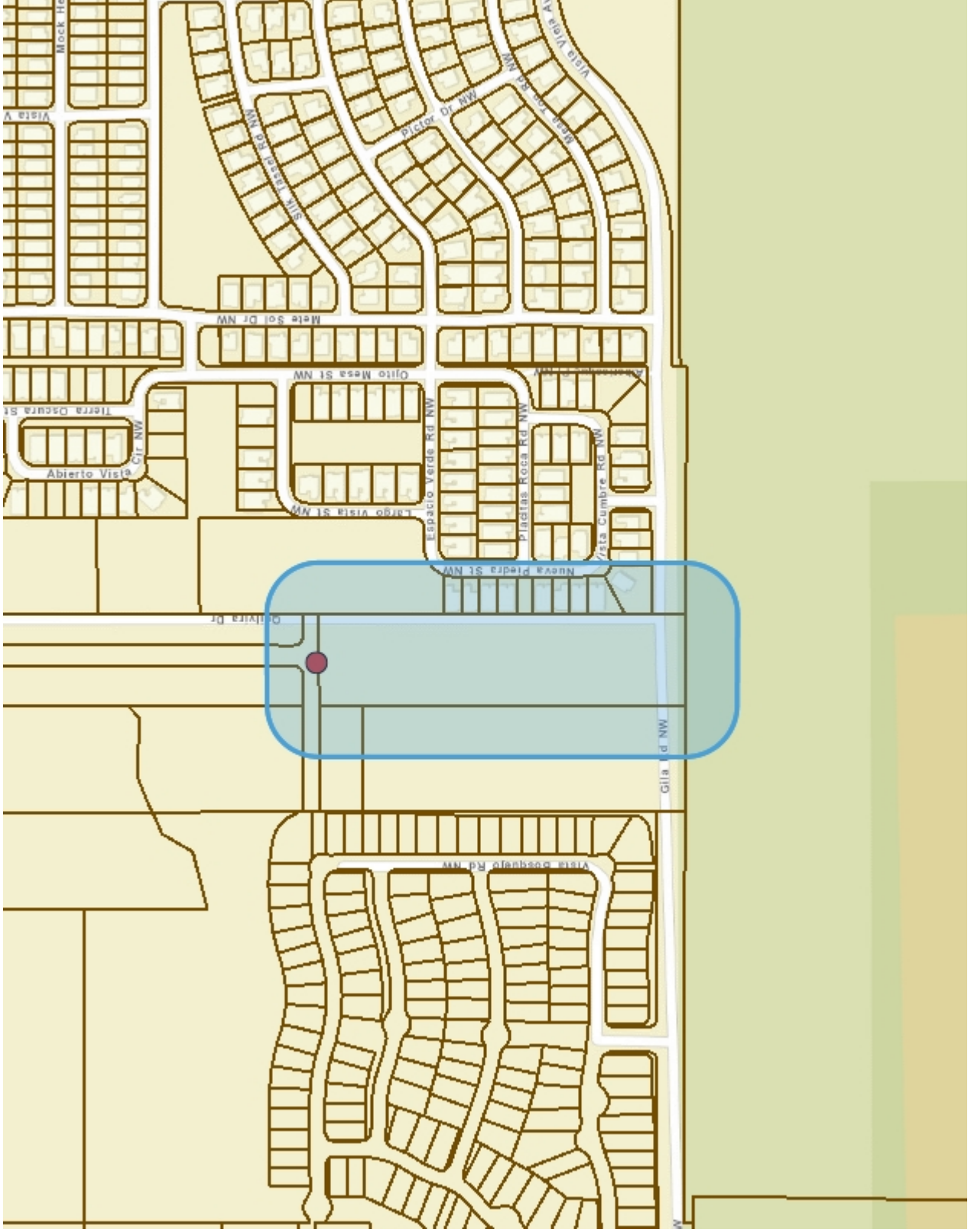
=====
This message has been analyzed by Deep Discovery Email Inspector.



Quivira and Retablo



Legend
□ Bernalillo County Parcels



Notes

Buffer: 160 Ft.
ROW Retablo: 60 Ft.

908 0 454 908 Feet



1: 5,448

WGS_1984_Web_Mercator_Auxiliary_Sphere
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10/23/2020

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

HEATH DEBORAH
3 DESERT SKY RD SE
ALBUQUERQUE NM 87123-3983

MUELLER BARBARA A
4904 ALBERTA LN NW
ALBUQUERQUE NM 87120-2402

CLEMENT MARK ROGER & DARICE
EVANGELINE
8732 VISTA CUMBRE RD NW
ALBUQUERQUE NM 87120-3310

PRESTWICH BRENDON E & DANELLE R
8736 VISTA CUMBRE RD NW
ALBUQUERQUE NM 87120

GALLEGOS ERNEST M & REGINA M
6701 NUEVA PIEDRA ST NW
ALBUQUERQUE NM 87120

LITTLE ELAINE B
6705 NUEVA PIEDRA ST NW
ALBUQUERQUE NM 87120

PRICE DANNIE W JR & AMANDA
KRISTIN
6709 NUEVA PIEDRA ST NW
ALBUQUERQUE NM 87120-3620

ROBINSON WILLIAM D & BARBARA A
6715 NUEVA PIEDRA ST NW
ALBUQUERQUE NM 87120-3620

MONTECITO WEST COMMUNITY
ASSOCIATION INC C/O AAM
1600 W BROADWAY RD SUITE 200
TEMPE AZ 85282

GALLEGOS MATTHEW
6723 NUEVA PIEDRA ST NW
ALBUQUERQUE NM 87120-3620

PAIZ LAURENCE A & JOANN
6727 NUEVA PIEDRA ST NW
ALBUQUERQUE NM 87120-3620

CATANESE LOUIS M JR & JENNIFER A
6731 NUEVA PIEDRA ST NW
ALBUQUERQUE NM 87120-3620

MARQUEZ THOMAS M & LATU
ELIZABETH HOPE
6735 NUEVA PIEDRA ST NW
ALBUQUERQUE NM 87120

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

POUNDS EDWENA C/O RANDALL
POUNDS
3130 HOLLY GREEN DR
KINGWOOD TX 77339-1369

ESTES BETSY EZZELL
4581 W LAURENDALE DR
FRESNO CA 93722-3244

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

March 30, 2021

Neighborhood Associations
and Neighbors

Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Site Plan for Subdivision- Quivira

Dear Sirs and Madams:

The purpose of this letter is to introduce and explain the proposed Site Plan approval request. This project was previously reviewed by the DRB for Sketch plat, vacation of right of way and Preliminary plat. It was determined at the most recent DRB meeting that this site must be review by the EPC in accordance with 5-2(J)(2)(b):

Development on lots 5 acres or greater adjacent to Major Public Open Space shall:

- 1.Be reviewed by the Environmental Planning Commission (EPC), pursuant to Subsection 14-16-6-6(J).
- 2.Have an approved Site Plan – EPC that meets conditions deemed necessary by the EPC to further compliance with the above standards to minimize impact on the Major Public Open Space and maximize compatibility of the proposed development prior to the submittal of any request for platting on the property

The proposed request is for the site plan approval to create 23 lots and one drainage tract from a Single 6 acre tract containing 2 parcels. The replat will dedicate existing roadway easements on vista Vieja road (formally Gila) as right of way. The replat will complete the previously approved vacation of 16 feet of Right of way on Quivira drive. This application includes a request to waive the excessive 40' buffers to major public open space. This is justified due the single loaded street to the south, as well as the disjointed and patchwork open space pattern on the north and Northeast . The enclosed site plan is the same configuration as shown to DRB and previous mailings to the neighbors.

Should you have any questions regarding this submittal, feel free to contact me.

Sincerely,

David Soule, PE
Rio Grande Engineering
505.321.9099

Cc:
Attached list of property owners/Neighborhood associations

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF QUIVIRA AND THE STATE OF KANSAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF QUIVIRA AND THE STATE OF KANSAS.

DATE: _____

DR SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (Conditionals)	Date
Public Works Management	Date
DRB Chairperson, Planning Department	Date



PAVING NOTE

1. SUBGRADE SHALL BE COMPACTED TO 95% MIN. COMPACTION AT OPT. MOISTURE. TO 44% ASTM D698.

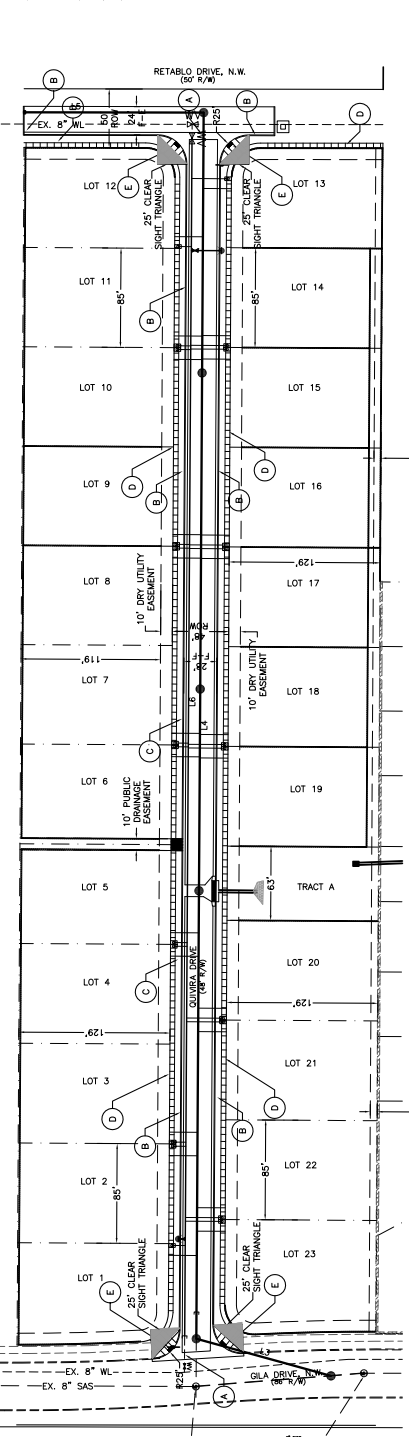
2. 4\"/>

FLEXIBLE PAVING SECTION

LEGAL DESCRIPTION:
 LOTS 1-23, AND TRACT A, QUIVIRA ESTATES

VICINITY MAP:
 NORTHWEST MEESA ESCAPEMENT PLAN CONSERVATION

- GENERAL NOTES:**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION, LANDSCAPING AND WATER WASTE MANAGEMENT ACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF QUIVIRA AND THE STATE OF KANSAS.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
 - ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG #241.
 - ALL SIGNAGE WILL COMPLY WITH THE RENAISSANCE CENTER MASTER PLAN. SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE RENAISSANCE CENTER MASTER PLAN. SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE RENAISSANCE CENTER MASTER PLAN.



- LEGEND**
- EXISTING CURB & GUTTER
 - PROPOSED CURB
 - BOUNDARY LINE
 - EXISTING SIDEWALK
 - PROPOSED SIDEWALK
 - EXISTING SIDEWALK
 - CENTERLINE
 - RIGHT-OF-WAY
 - PROPOSED BUILDING
 - EXISTING BUILDING
 - EXISTING RETAINING WALL
 - PROPOSED RETAINING WALL

KEYED NOTE:

1. GUTTER PER COA STD DWG #2420

(A) 2\"/>

SITE DATA

7.10% SCS

3.23 DVS (AT MAXIMUM BUILD OUT)

EXISTING ZONING: SU-2 VORR

PROPOSED ZONING: SU-2 VORR

PROPOSED USE: INDIVIDUAL RESIDENTIAL

SHEET INDEX

- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- GRADING AND DRAINAGE DETAILS
- MASTER UTILITY PLAN

OWNER'S SEAL:

QUIVIRA ESTATES

SITE PLAN FOR BUILDING PERMIT

DATE: _____

SCALE: 1"=50'

OWNER'S SEAL:

QUIVIRA ESTATES

SITE PLAN FOR BUILDING PERMIT

DATE: _____

SCALE: 1"=50'

OWNER'S SEAL:

QUIVIRA ESTATES

SITE PLAN FOR BUILDING PERMIT

DATE: _____

SCALE: 1"=50'

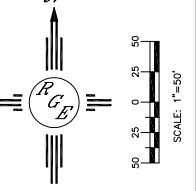
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OWNER'S SEAL:

QUIVIRA ESTATES

SITE PLAN FOR BUILDING PERMIT

DATE: _____

SCALE: 1"=50'

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QUIVIRA ESTATES

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SITE PLAN FOR BUILDING PERMIT

DATE: _____

SCALE: 1"=50'

OWNER'S SEAL:

QUIVIRA ESTATES

SITE PLAN FOR BUILDING PERMIT

DATE: _____

SCALE: 1"=50'

LANDSCAPE NOTES

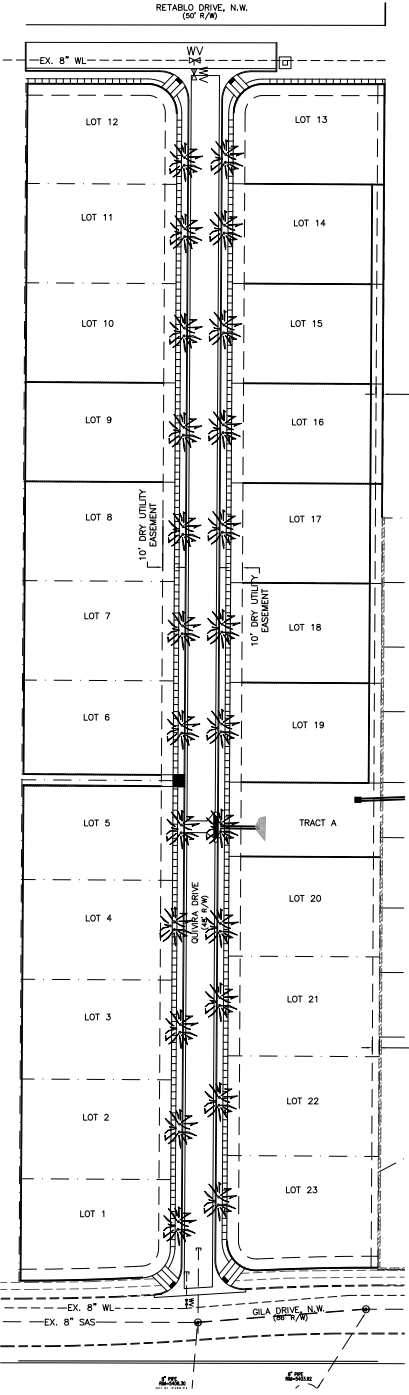
LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPE MAINTENANCE AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.
 APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION OF FROM WATER WASTE ORDINANCE, WATER WASTE ORDINANCE IN GENERAL, WATER CONSERVATION AND ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.
 PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURE.
 ALL PLANTING BEDS SHALL BE GREATER THAN 1'41" FROM THE TRUNK OF A PARKING LOT TREE (MIN. LANDSCAPE ORDINANCE).
 ALL ROCK MULCH SHALL HAVE A MIN. DEPTH OF 3".

STREET TREE REQUIREMENTS

STREET TREES REQUIRED UNDER THE CITY OF ALBUQUERQUE MOUNTAIN ROAD AND
 PROVISION # 8 25' O.C. MAX. BASED ON CANOPY SIZE
 NOTE: STREET TREES ARE EXISTING AND MATURE.

IRRIGATION NOTES

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH 1/2" POLYTYPE WITH FLUSH CAPS AT EACH END. RECEIVE 2 (1.0) GPH DRIP EMITTERS, DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYTYPE WITH FLUSH CAPS AT EACH END. RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.
 POINT OF CONNECTION FOR IRRIGATION SYSTEM IS IN THE MECHANICAL ROOM OF THE NORTH BUILDING AS INDICATED ON THE IRRIGATION PLAN.
 IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE IN THE MECHANICAL ROOM OF THE NORTH BUILDING AS INDICATED ON THE IRRIGATION PLAN.
 IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 DRIP IRRIGATION MUST COMPLY WITH CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE.
 STREET TREES SHALL BE CONNECTED TO SITE IRRIGATION SYSTEM AND MAINTAINED BY THE PROPERTY OWNER.



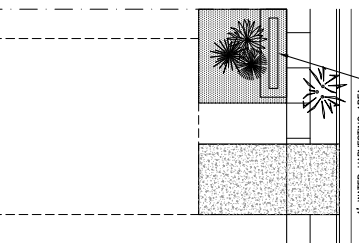
6" CROSS-LOT PAVING STRIP FOR LOTS 12-23

6" CROSS-LOT PAVING STRIP FOR LOTS 13-23

5' WIDE WATER HARVESTING AREA TO HOUSE LENGTH OF PAD
 TOP=89.00
 BOTTOM=88.50



PAD
 FF=100.00

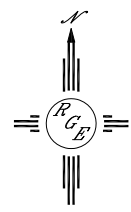


LANDSCAPE CALCULATIONS

TOTAL ACREAGE:	71,256 ACZ
# OF LOTS	23 LOTS
IMPERMEABLE SURFACE AREA	3,4321 ACZ
PERMEABLE SURFACE AREA	3,6935 ACZ
POUNDING AREA	6,095 SF

PLANT LEGEND

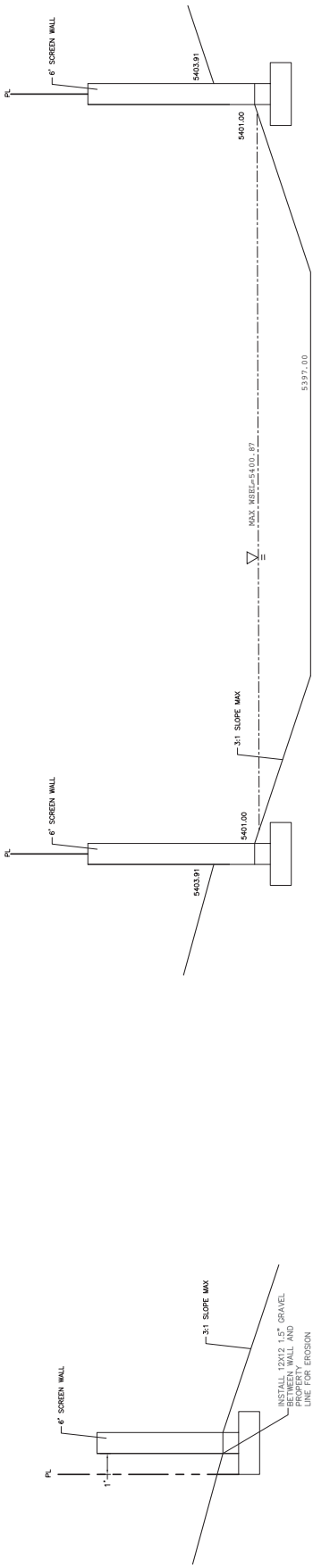
- MODesto ASH (10)
3" CALIFER
- MODesto BLOSS (10)
5" CAL
- RUSSIAN SAGE (4)
5" CAL
- PEROVSKIA (15)
5" CAL
- BLUE BEARD BLUE MIST (6)
5" CAL
- CONCRETE
- CONCRETE
- CONCRETE



TYPICAL LOT LANDSCAPING PLAN

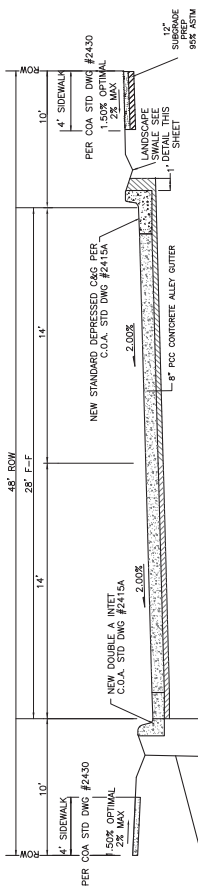
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OWNER'S SEAL	QUIVIRA ESTATES	OWNER'S SEAL	DATE
	LANDSCAPE PLAN		3-09-21
			PROJ# 2102559
			SHEET #
			2
			JOB #
			2102559

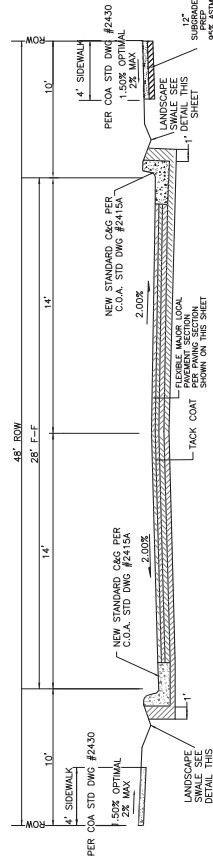


SECTION A-A
NTS

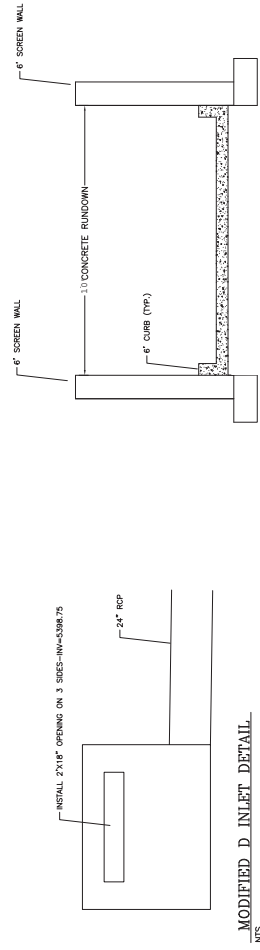
SECTION D-D
NTS



SECTION B-B
NTS



SECTION E-E
NTS



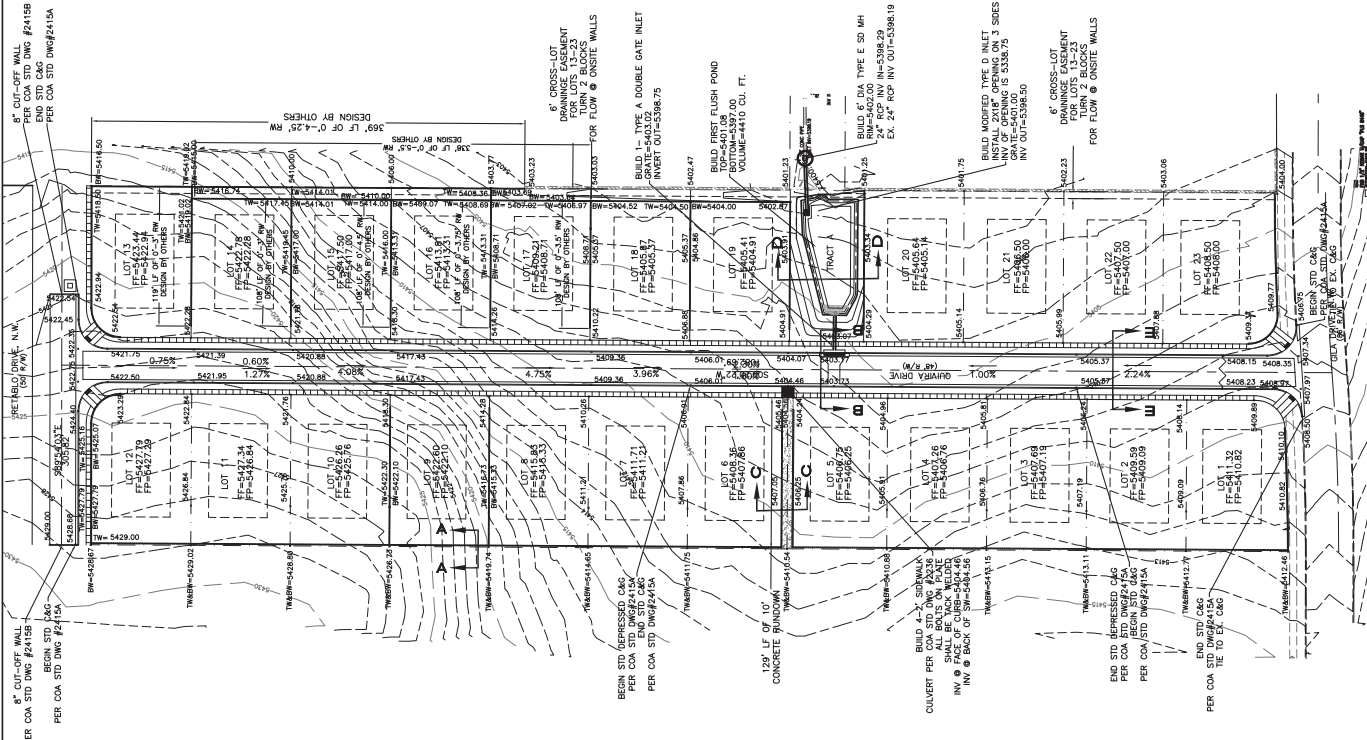
SECTION C-C
NTS



ENGINEER'S SEAL	QUIVIRA ESTATES	DRAWN BY: MCKU	DATE: 12-02-20	PROJECT: 20-00-00-00-00	SHEET #	JOB #
	GRADING AND DRAINAGE PLAN	APPROVED	07/27/21	096908	—	2102059
		Rio Grande Engineering 1005 CENTRAL AVENUE SE ALBANY, GA 31706 (706) 521-1000		1/1/23 DAVID SOULE P.E. #14522		

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EROSION CONTROL MEASURES MUST BE INSTALLED FROM WIND AND WATER EXPOSURE PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:
 LOTS 1-23, AND TRACT A, QUIVIRA ESTATES

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ALL NEW PAVING SHALL BE 6" FCC OVER 8" SUBGRADE PREPARATION IN CONFORMANCE TO AC 300R-08. UNLESS OTHERWISE NOTED.
5. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
6. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR UTILITY WORKS CONSTRUCTION EDITION 9

LEGEND

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED INDEX CONTOUR
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTRELINE
- PROPOSED CURB
- RIGHT-OF-WAY
- EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- 3" ADA PATH--2% MAX SLOPE

VICINITY MAP:
 NORTHWEST MESA ESCARPMENT PLAIN CONDENSED
 D-09-Z
 National Flood Hazard Layer FIRMette

FIRM MAP:

ENGINEER'S SEAL:
 DAVID SOULE
 1/1/23
 P.E. #14522

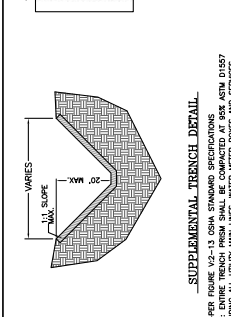
QUIVIRA ESTATES
GRADING AND DRAINAGE PLAN
 Rio Grande
 1000 CENTRAL AVENUE SE
 ALBUQUERQUE, NM 87108
 (505) 725-1000

GRAPHIC SCALE:
 50 20 0 20 50
 SCALE: 1"=50'

CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

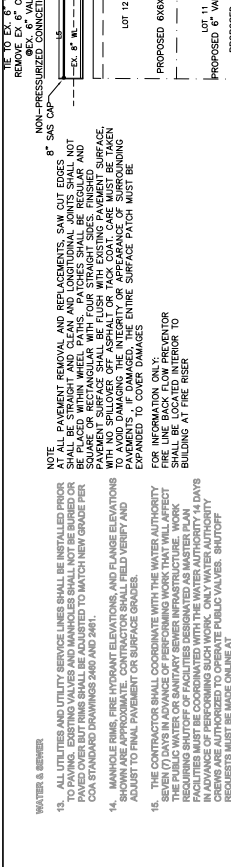
WATER SHUTOFF NOTES:

- THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY TO OBTAIN THE LOCATION OF ALL EXISTING WATER MAINS AND VALVES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LOCATION OF ALL EXISTING WATER MAINS AND VALVES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LOCATION OF ALL EXISTING WATER MAINS AND VALVES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LOCATION OF ALL EXISTING WATER MAINS AND VALVES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LOCATION OF ALL EXISTING WATER MAINS AND VALVES.
- VALVES SHALL BE OPERATED BY PERSONS EMPLOYED ONLY.



WATER AND SEWER TRENCH DETAIL

1" MINIMUM CLEARANCE ON EACH SIDE OR COMPACTIVE EFFORT



LEGEND

- 12" EX. 12" EX. STORM SEWER LINE
- 8" EX. 8" EX. SAS
- 6" EX. 6" EX. SAS
- 4" EX. 4" EX. SAS
- 3" EX. 3" EX. SAS
- 2" EX. 2" EX. SAS
- 1" EX. 1" EX. SAS
- 1/2" EX. 1/2" EX. SAS
- 1/4" EX. 1/4" EX. SAS
- 1/8" EX. 1/8" EX. SAS
- 1/16" EX. 1/16" EX. SAS
- 1/32" EX. 1/32" EX. SAS
- 1/64" EX. 1/64" EX. SAS
- 1/128" EX. 1/128" EX. SAS
- 1/256" EX. 1/256" EX. SAS
- 1/512" EX. 1/512" EX. SAS
- 1/1024" EX. 1/1024" EX. SAS
- 1/2048" EX. 1/2048" EX. SAS
- 1/4096" EX. 1/4096" EX. SAS
- 1/8192" EX. 1/8192" EX. SAS
- 1/16384" EX. 1/16384" EX. SAS
- 1/32768" EX. 1/32768" EX. SAS
- 1/65536" EX. 1/65536" EX. SAS
- 1/131072" EX. 1/131072" EX. SAS
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- 1/1048576" EX. 1/1048576" EX. SAS
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- 1/8796093022208" EX. 1/8796093022208" EX. SAS
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 To: Brandyn Hetherington
 Westside Coalition for Community Development
 8212 Louisiana Blvd NE
 ABBQ NM 87113
 PS Form 3817, April 2007 PSN 7530-02-000-9065

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 To: Rene Harvath
 Westside Coalition for Community Development
 5515 Palomares Dr NW
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 Westside Coalition of Neighborhood
 6005 Chay of Al Circle NW
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 NW
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 To: Westwick Bendmont Walker
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 From: KGE P.O. Box 93924 ABBQ 87199
 To: Price Jennifer & Amanda Kristin
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 From: KGE P.O. Box 93924 ABBQ 87199
 To: Robinson William DeBartolara
 6715 Nueva Piedad St NW
 ABBQ NM 87120
 PS Form 3817, April 2007 PSN 7530-02-000-9065

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 From: KGE P.O. Box 93924 ABBQ 87199
 To: Montecito West Community
 Association
 1100 W Broadway P.O. Box 206
 Tampa AZ 85282
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 To: Gallegos Matthew
 6723 Nueva Piedad St NW
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To: City of Albuquerque
P.O. Box 1293
ABQ NM 87103

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To: Heath Deborah
3 Desert Sky SE
Albany NM 87123-3883

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P.O. Box 93924
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To: Margaret Thomas McLean
Elizabeth Hope
6735 Nueva Piedra SPW
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P.O. Box 93924
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To: Mueller Barbara A
420 Albertella NW
ABQ NM 87120-2402

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From: LGT
P.O. Box 93924
ABQ NM 87199
To: Catanesse Lawisher and
6731 Nueva Piedra SPW
ABQ NM 87120-3620

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P.O. Box 93924
ABQ NM 87199
To: Founds Edward C
Randal's Pounds
3130 Holly Green Dr
Kingwood TX 77339-1369

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From: LGT
P.O. Box 93924
ABQ NM 87199
To: Paiz Laurence Ann
6727 Nueva Piedra SPW
ABQ NM 87120-3620

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SITE PLAN CHECKLIST

Project #: pr-2020-004457 Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 3/30/21

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural (no structures proposed)

- na A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- na B. Square footage of each structure
- na C. Proposed use of each structure
- na D. Signs (freestanding) and other improvements
- na E. Walls, fences, and screening: indicate height, length, color and materials
- na F. Dimensions of all principal site elements or typical dimensions
- na G. Loading facilities
- na H. Site lighting (indicate height & fixture type)
- na I. Indicate structures within 20 feet of site
- na J. Elevation drawing of refuse container and enclosure, if applicable.
- na K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- na A. Parking layout with spaces numbered per aisle and totaled.
 - na 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - na 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - na 3. On street parking spaces
- na B. Bicycle parking & facilities
 - na 1. Bicycle racks – location and detail
 - na 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - na 3. End aisle locations, including width and curve radii dimensions
 - na 4. Location & orientation of refuse enclosure, with dimensions
 - na 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - na A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - na C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- na 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- naA. Scale
- naB. Bar Scale
- naC. Detailed Building Elevations for each facade
 - na 1. Identify facade orientation
 - na 2. Dimensions of facade elements, including overall height and width
 - na 3. Location, material and colors of windows, doors and framing
 - na 4. Materials and colors of all building elements and structures
 - na 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- na 1. Site location(s)
- na 2. Sign elevations to scale
- na 3. Dimensions, including height and width
- na 4. Sign face area - dimensions and square footage clearly indicated
- na 5. Lighting
- na 6. Materials and colors for sign face and structural elements.
- na 7. List the sign restrictions per the IDO



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