

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 3.4826 ACRES±
ZONE ATLAS INDEX NO: C-13-Z
NO. OF TRACTS CREATED: 2
MILES OF FULL-WIDTH STREETS CREATED: 0

Notes:

- 1.. PLAT SHOWS ALL EASEMENTS OF RECORD.
2. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE EXISTING TRACT, INTO TWO NEW TRACTS.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

Legal Description

A TRACT OF LAND WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO COMPRISING OF TRACT A-1, UNIT TWO, ALBUQUERQUE WEST, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 6, 2005, IN BOOK 2005C, PAGE 105. NOW COMPRISING OF TRACT A-1-A AND TRACT A-1-B.

TREASURER'S CERTIFICATE
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON TRACT A-1, ALBUQUERQUE WEST UNIT 2
PARCEL ID: 101306409028520304

BERNALILLO COUNTY TREASURER'S OFFICE: _____

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

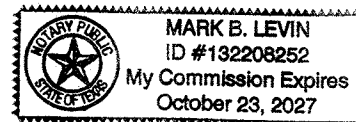
Michael A. McLaughlin
MICHAEL A. McLAUGHLIN
PRESIDENT
PARADISE HILLS HOLDING COMPANY, INC., A NEW MEXICO CORPORATION
7-29-2025
DATE

Acknowledgment

STATE OF TEXAS)
COUNTY OF HARRIS) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29th DAY OF July, 2025 BY
PARADISE HILLS HOLDING COMPANY INC

BY *Maun B. Rier* MY COMMISSION EXPIRES: 10/23/2027
NOTARY PUBLIC



Plat of
Tracts A-1-A and A-1-B
Albuquerque West Unit 2

Town of Alameda Grant
Projected Section 18, Township 11 North, Range 3 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
June 2025

Project No. PR-2025-

Application No. -2025-

DHO Approval Date -2025-

Utility Approvals

<i>Daniel Aragon</i>	07/14/2025
PNM	DATE
<i>Scott Kerr</i>	07/11/2025
NEW MEXICO GAS COMPANY	DATE
<i>David Hall</i>	07/09/2025
CENTURYLINK	DATE
<i>Mike Mortua</i>	07/10/2025
COMCAST	DATE

City Approvals

<i>Loren N. Risenhoover P.S.</i>	6/5/2025
CITY SURVEYOR	DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
<i>J.P.</i>	7/10/2025
ANAFCA	DATE
CITY ENGINEER	DATE
PLANNING DEPARTMENT	DATE
CODE ENFORCEMENT	DATE
HYDROLOGY	DATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL ON THE GROUND SURVEY, AND THAT I AM RESPONSIBLE FOR THIS SURVEY. THIS SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano
LARRY W. MEDRANO
N.M.P.S. No. 11993

6/3/25
DATE

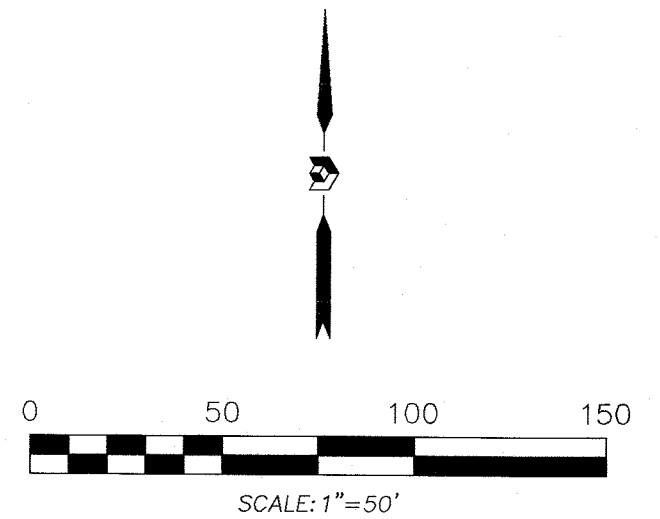


COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				INDEXING INFORMATION FOR COUNTY CLERK		PROJECT INFORMATION	
STATE PLANE ZONE: NM-C	GRID GRID	GEIOD: 18		LAND GRANT TOWN OF ALAMEDA				PROPERTY OWNER PARADISE HILLS HOLDING COMPANY INC		CREW/TECH: MC	DATE OF SURVEY 05/14/2025
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS YES	PROJECTED SECTION 18	TOWNSHIP 11 NORTH	RANGE 3 EAST	MERIDIAN NMPM	SUBDIVISION NAME ALBUQUERQUE WEST UNIT 2		DRAWN BY: KM	CHECKED BY: LM
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0						PSI JOB NO. 7695.01	SHEET NUMBER 1 OF 2
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000319103000 GROUND TO GRID: 0.999680998794				DISTANCE ANNOTATION: GROUND BEARING ANNOTATION: GRID	ELEVATION TRANSLATION: ±0.00'	ELEVATIONS VALID: NO					



OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113
505.856.5700 PHONE
505.856.7900 FAX

Plat of
Tracts A-1-A and A-1-B
Albuquerque West Unit 2
Town of Alameda Grant
Projected Section 18, Township 11 North, Range 3 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
June 2025



A.G.R.S. MONUMENT "16_C3"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1521946.743' US SURVEY FEET
E=1514797.632' US SURVEY FEET
PUBLISHED EL=5038.904' US SURVEY FEET (NAVD 1988)
GROUND TO GRID FACTOR=0.999680944
DELTA ALPHA ANGLE=-0°14'32.03"

A.G.R.S. MONUMENT "11_C13"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1521378.051' US SURVEY FEET
E=1515600.213' US SURVEY FEET
PUBLISHED EL=5031.879' US SURVEY FEET (NAVD 1988)
GROUND TO GRID FACTOR=0.999681054
DELTA ALPHA ANGLE=-0°14'26.41"

Legend

N 90°00'00" E MEASURED BEARING AND DISTANCES
(N 90°00'00" E) RECORD BEARINGS AND DISTANCES
○ FOUND & USED MONUMENT AS DESIGNATED
● DENOTES NO. 5 REBAR WITH PINK PLASTIC CAP
△ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED
◆ FOUND BRASS CAP

Line Table

LINE	BEARING	DISTANCE
L1	S 29°02'01" W	50.63'
L2	S 60°57'59" E	21.80'
L3	S 06°58'35" E	17.00'
L4	S 70°07'24" W	42.23'
(L4)	(S 70°19'53" W)	(42.28')
L5	N 28°48'09" E	19.83'
L6	S 15°24'39" E	28.28'
(L6)	(S 15°52'49" E)	(28.28')
L7	S 61°09'01" E	45.00'
(L7)	(S 60°52'49" E)	(45.00')

Curve Table

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1677.02'	140.04'	140.00'	S 79°36'44" W	4°47'04"
(C1)	(1677.02')	(139.95')	(139.91')	(S 79°34'52" W)	(4°46'53")
C2	1209.92'	145.31'	145.22'	S 73°45'53" W	6°52'52"
(C2)	(1209.92')	(145.30')	(145.22')	(S 73°46'18" W)	(6°52'51")
C3	1677.02'	17.84'	17.84'	S 82°17'30" W	0°36'34"
C4	1677.02'	548.71'	546.26'	N 88°38'23" W	18°44'48"
(C4)	(1639.49')	(548.94')	(546.38')	(N 88°40'03" W)	(19°11'02")
C5	1677.02'	530.87'	528.65'	N 88°20'06" W	18°08'14"

PRECISION
SURVEYS, INC.
A D&D COMPANY

OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113
505.856.5700 PHONE
505.856.7900 FAX

PROJECT INFORMATION

CREW/TECH: MC	DATE OF SURVEY 05/14/2025
DRAWN BY: KM	CHECKED BY: LM
PSI JOB NO. 7695.01	SHEET NUMBER 2 OF 2