



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1004000/ PR-2018-0001
Application No. SI-2018-00031

TO:

- Kym Dicome, DRB Chair, Planning Department**
- James Hughes, P.E., Hydrology**
- Racquel Michel, P.E. , Transportation Development**
- Kris Cadena, P.E., Albuquerque/ Bernalillo Co. WUA**
- Ben McIntosh, Code Enforcement**
- Jason Coffey, Parks/Municipal Development**

NOTE: PDF Required
***(Please attach this sheet with each collated set per board member)**

NEXT HEARING DATE: July 11, 2018

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Updated Plan Set with comments

CONTACT NAME: Jonathan Niski

TELEPHONE: 505-858-3100 **EMAIL:** jniski@tierrawestll.com



TIERRA WEST, LLC

June 28, 2018

Kym Dicome
DRB Chair
P.O. Box 1293
Albuquerque, NM 87103

**RE: PRIMROSE DRB PROJECT NUMBER: 2018-001183 (1004000)
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

Dear: Ms. Dicome:

Please find the following responses addressing comments received at DRB listed below:

Transportation Development

1. Remove ramp at NW corner of the site and place sidewalk at property line.
The ramp was removed.
2. Provide sidewalk width on site around playground.
Dimensions were added to all of the sidewalks around the playground.
3. Provide detail for "speed reducer".
The speed reducer detail is found on Sheet 6.
4. Verify with NMDOT whether sidewalk along Paseo del Norte is required.
We have contacted NMDOT and they are reviewing if they need the sidewalk or not. We should receive a response back from them prior to the DRB Hearing. We have left it on the plans for now and will update the sheets if it is not required.
5. Right of way dedication is required.
We are unsure why a right of way dedication is required. The current right of way width is 86 feet and the street ends at a cul de sac. The sidewalk was moved to the back of the right of way line and a public pedestrian easement will be recorded at the time of platting.
6. A cross lot access easement is required.
A cross lot access easement is noted on Sheet 1 and will be provided on the plat.

Hydrology

1. Revisions are still required to the Grading and Drainage Plan.
A revised Conceptual Grading Plan and Drainage Report was submitted to Hydrology on June 26th.
2. Hydrology recommends that any necessary revisions to the previously approved Infrastructure List be made prior to Work Order.
Base on the revised Grading Plan and Drainage Report there are no public drainage facilities required for this project.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

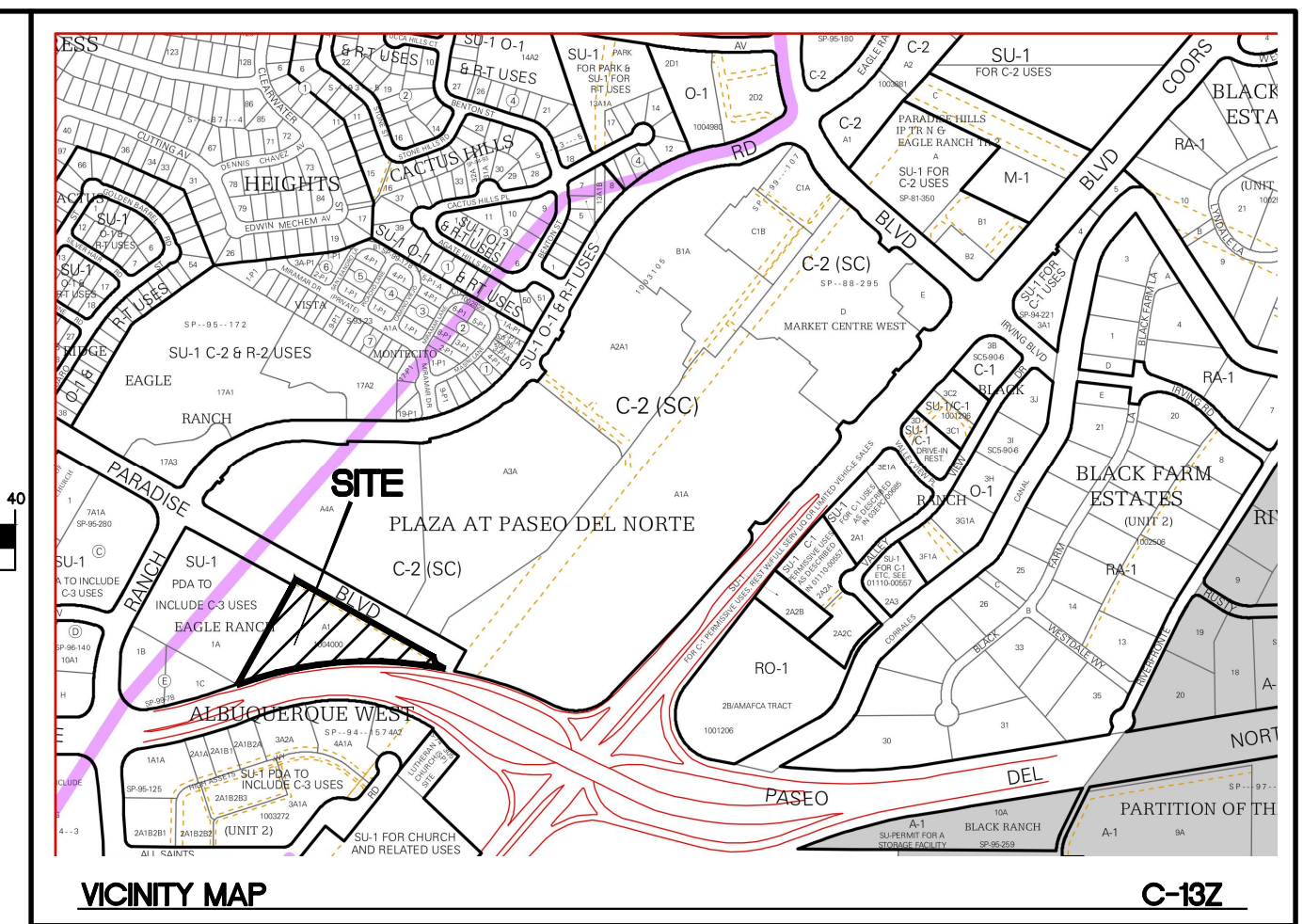
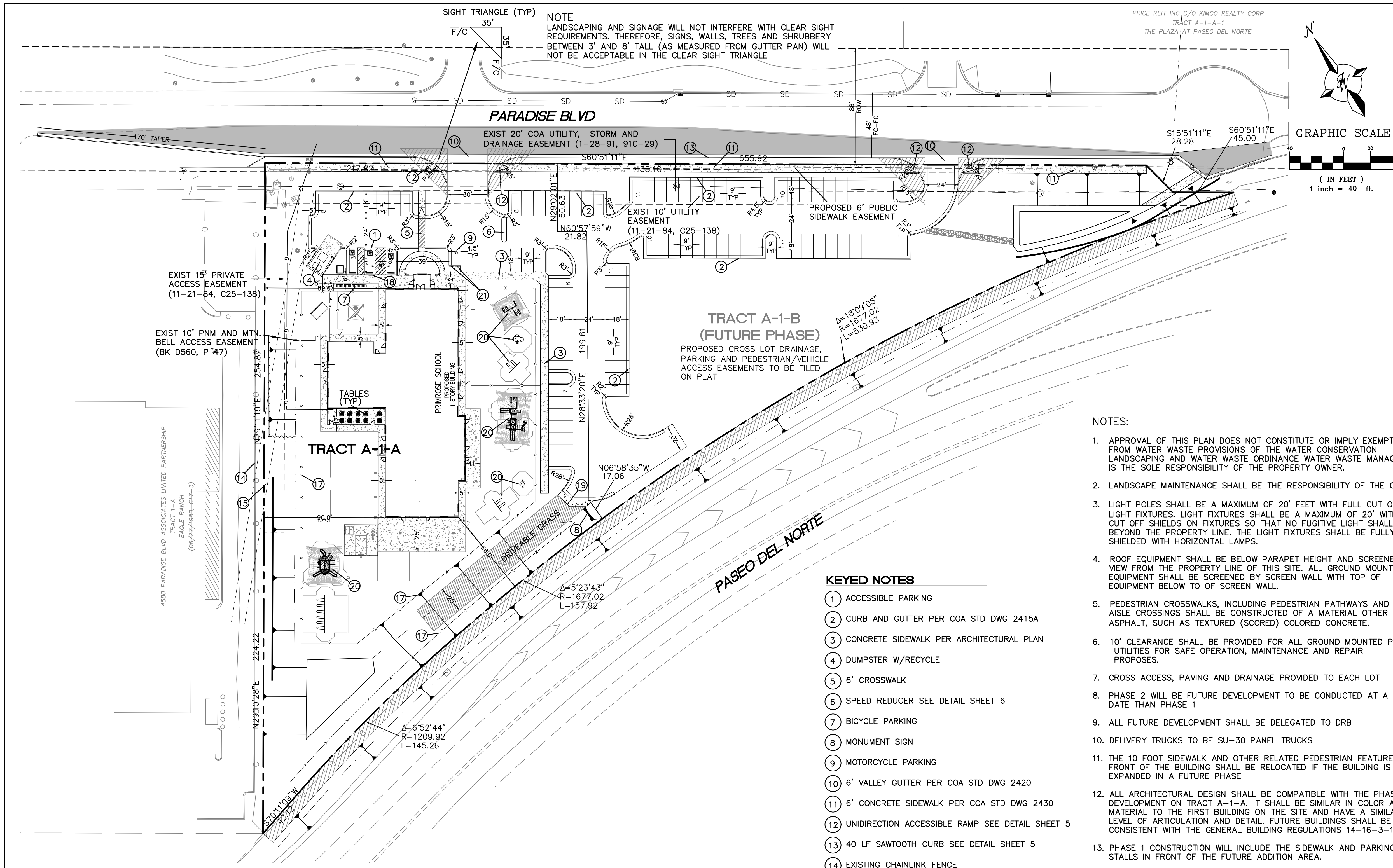
Sincerely,



Ronald R. Bohannon, PE

cc:

JN: 2017092
RRB/jn/kw



LEGAL DESCRIPTION
TRACT A1 ALBUQUERQUE WEST UNIT 2

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	RETAINING WALL
	EXISTING CURB & GUTTER
	PROPOSED FENCE
	NEW PAVING PER COA STANDARDS
	NEW 10' ASPHALT TRAIL
	BICYCLE RACK

- NOTES:**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALL WITH TOP OF EQUIPMENT BELOW TO OF SCREEN WALL.
 - PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE.
 - 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.
 - CROSS ACCESS, PAVING AND DRAINAGE PROVIDED TO EACH LOT
 - PHASE 2 WILL BE FUTURE DEVELOPMENT TO BE CONDUCTED AT A LATER DATE THAN PHASE 1
 - ALL FUTURE DEVELOPMENT SHALL BE DELEGATED TO DRB
 - DELIVERY TRUCKS TO BE SU-30 PANEL TRUCKS
 - THE 10 FOOT SIDEWALK AND OTHER RELATED PEDESTRIAN FEATURES IN FRONT OF THE BUILDING SHALL BE RELOCATED IF THE BUILDING IS EXPANDED IN A FUTURE PHASE
 - ALL ARCHITECTURAL DESIGN SHALL BE COMPATIBLE WITH THE PHASE 1 DEVELOPMENT ON TRACT A-1-A. IT SHALL BE SIMILAR IN COLOR AND MATERIAL TO THE FIRST BUILDING ON THE SITE AND HAVE A SIMILAR LEVEL OF ARTICULATION AND DETAIL. FUTURE BUILDINGS SHALL BE CONSISTENT WITH THE GENERAL BUILDING REGULATIONS 14-16-3-18.
 - PHASE 1 CONSTRUCTION WILL INCLUDE THE SIDEWALK AND PARKING STALLS IN FRONT OF THE FUTURE ADDITION AREA.
 - SECURITY CAMERAS WILL BE PROVIDED TO COVER SURVEILLANCE OF ALL ACCESS POINTS, PARKING LOTS AND THE SIDES OF THE BUILDING.
 - ANY CHANGES TO THIS PLAN WILL REQUIRE A REVIEW BY DRB AS OUTLINED IN THE IDO

- KEYED NOTES**
- ACCESSIBLE PARKING
 - CURB AND GUTTER PER COA STD DWG 2415A
 - CONCRETE SIDEWALK PER ARCHITECTURAL PLAN
 - DUMPSTER W/RECYCLE
 - 6' CROSSWALK
 - SPEED REDUCER SEE DETAIL SHEET 6
 - BICYCLE PARKING
 - MONUMENT SIGN
 - MOTORCYCLE PARKING
 - 6' VALLEY GUTTER PER COA STD DWG 2420
 - 6' CONCRETE SIDEWALK PER COA STD DWG 2430
 - UNIDIRECTION ACCESSIBLE RAMP SEE DETAIL SHEET 5
 - 40 LF SAWTOOTH CURB SEE DETAIL SHEET 5
 - EXISTING CHAINLINK FENCE
 - PROPOSED RETAINING WALL SEE DETAIL SHEET 5
 - NOT USED
 - TUBULAR STEEL FENCE
 - ZERO CURB (AT ACCESSIBLE SPACES)
 - CONCRETE DRIVE PAD
 - PLAYGROUND EQUIPMENT
 - MOTORCYCLE PARKING SIGN

SITE DATA TRACT A-1-A

ZONING	NR-C
PROPOSED USAGE	SCHOOL
LOT AREA:	
PHASE 1	89664 SF (2.06 AC)
BUILDING AREA:	
PHASE 1	13779 SF
FAR	0.154
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	
FRONT	11' (MINIMUM)
SIDE	10' (MINIMUM)
REAR	10' (MINIMUM)

SITE DATA TRACT A-1-B

ZONING	NR-C
PROPOSED USAGE	COMMERCIAL/RETAIL
LOT AREA:	
PHASE 2	62103 SF (1.43 AC)
BUILDING AREA:	
PHASE 2	TO BE DETERMINED
FAR	TO BE DETERMINED
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	
FRONT	11' (MINIMUM)
SIDE	10' (MINIMUM)
REAR	10' (MINIMUM)

PARKING CALCULATIONS TRACT A-1-A

BUILDING AREA:	PHASE 1	13799 SF
PARKING REQUIRED:	PHASE 1	1 SPACE PER 2 SEATS (190 STUDENTS) TOTAL REQUIRED 95 SPACES
PARKING PROVIDED:	PHASE 1	95 SPACES
ACCESSIBLE SPACES REQUIRED:	PHASE 1	3 SPACES
PROVIDED:	PHASE 1	3 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED:	PHASE 1	2 SPACES
PROVIDED:	PHASE 1	2 SPACES
BICYCLE SPACES REQUIRED:	PHASE 1	10 SPACES
PROVIDED:	PHASE 1	20 SPACES

- INDEX TO DRAWINGS**
- SITE PLAN FOR BUILDING PERMIT
 - LANDSCAPING PLAN
 - CONCEPTUAL GRADING PLAN
 - MASTER UTILITY PLAN
 - CONSTRUCTION DETAILS
 - CONSTRUCTION DETAILS
 - APPROVED FIREONE PLAN
 - BUILDING ELEVATION

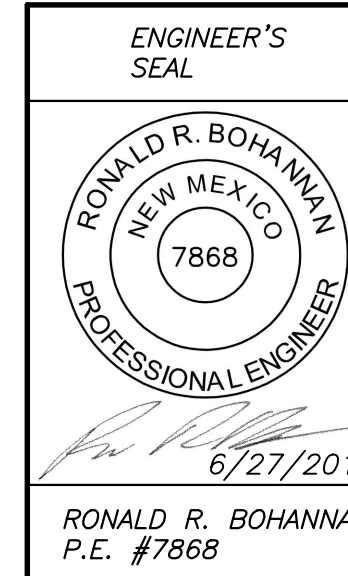
PROJECT NUMBER: PR-2018-0001
APPLICATION NUMBER: SI-2018-00031

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

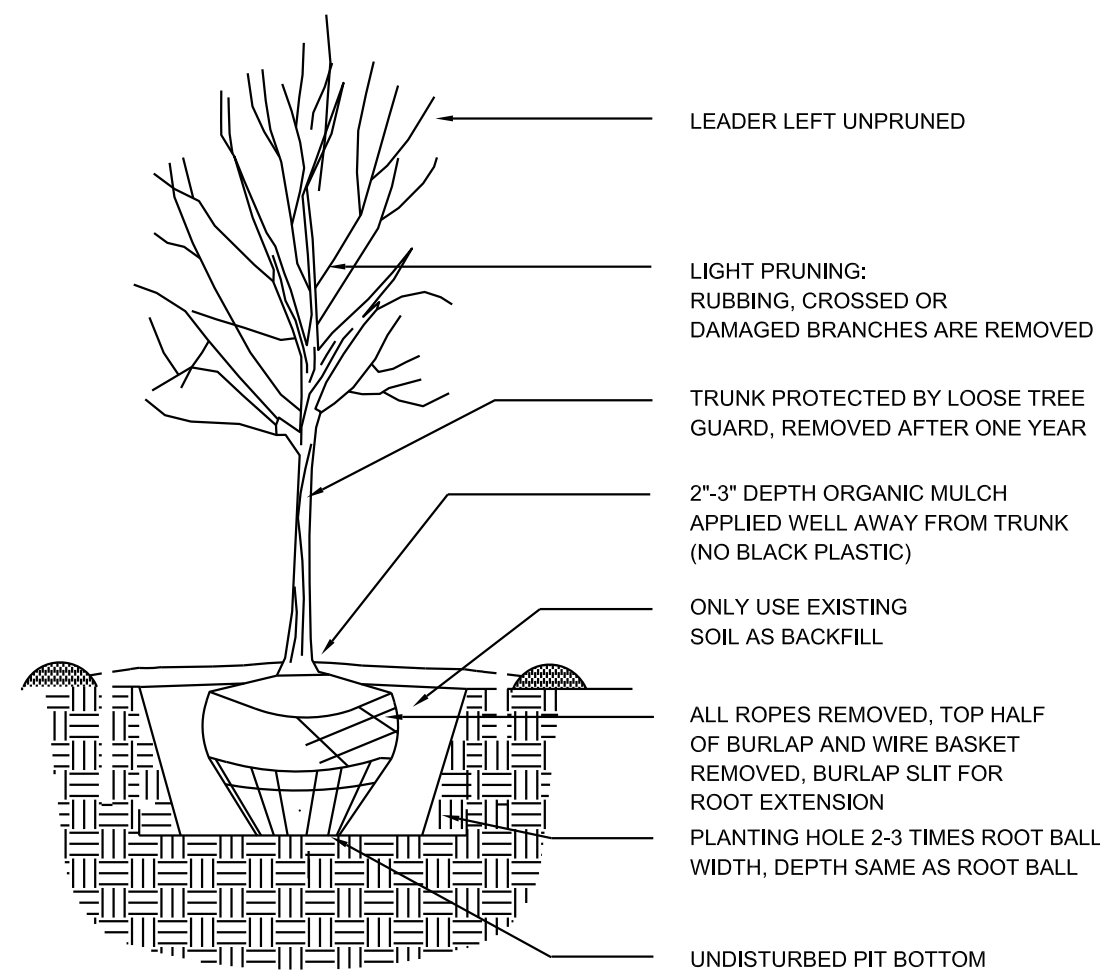
Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	



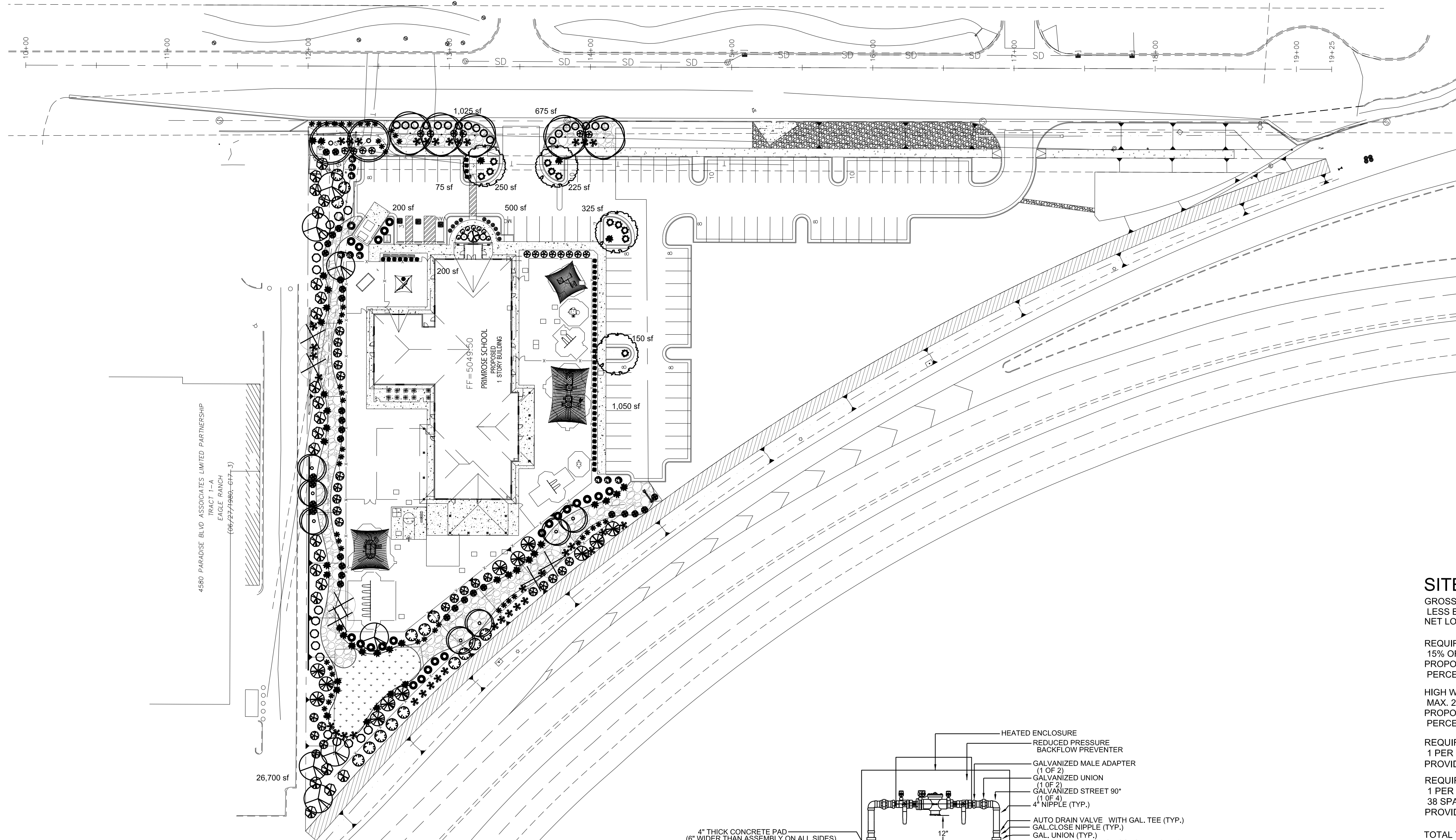
PRIMROSE SCHOOL OF NW ALBUQUERQUE
SITE PLAN FOR BUILDING PERMIT

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY	pm
DATE	6-27-18
DRAWING	
SHEET #	1
JOB #	2017092



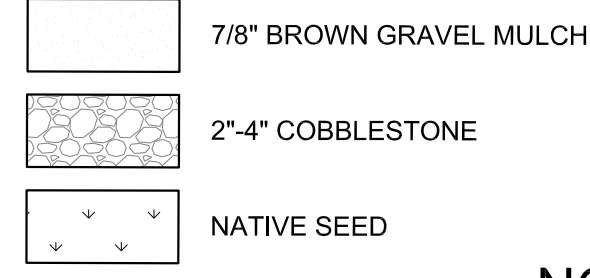
TREE PLANTING DETAIL



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscaping Coverage	Water Use	Drip Emitters
2	○	Fraxinus Autumn Purple Ash	2" B&B	40'/40'	50 sf=100 sf	Medium +6-2 gph	
5	○	Ulmus Lacebark Elm	2" B&B	50'/20'	50 sf=250 sf	Medium 6-2 gph	
4	○	Pistacia chinensis Chinese Pistache	2" B&B	60'/60'	50 sf=200 sf	Medium +6-2 gph	
7	○	Forestiera NM Olive	5-Gal	20'/20'	100 sf=700 sf	Medium+ 6-2 gph	
7	○	Chilopsis Desert Willow	5-Gal	20'/20'	100 sf=700 sf	Low 6-2 gph	
6	○	Vitex Chaste Tree	5-Gal	20'/20'	100 sf=600 sf	Medium 6-2 gph	
Shrubs/Groundcovers							
17	○	Buddleia davidii Butterfly Bush	1-Gal	6'/6'	64 sf=1088 sf	Medium 2-2 gph	
9	○	Caryopteris clandonensis Blue Mist	1-Gal	4'/4'	25 sf=225 sf	Medium 2-2 gph	
23	○	Vauquelinia Rosewood	5-Gal	10'/10'	100 sf=2300 sf	Medium 2-2 gph	
18	○	Rhus aromatica Gro Low Sumac	5-Gal	2'/6'	64 sf=1152 sf	Low + 2-2 gph	
18	○	Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	3'/4'	35 sf=630 sf	Low 2-1 gph	
37	○	Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	30 sf=1110 sf	Low 2-1 gph	
11	○	Juniperus sabina 'Buffalo' Buffalo Juniper (female)	5-Gal	2'/6'	64 sf=704 sf	Low + 2-2 gph	
25	○	Perovskia atriplicifolia Russian Sage	1-Gal	5'/5'	50 sf=1250 sf	Medium 2-2 gph	
1	○	Lagerstroemia Crape Myrtle	5-Gal	15'/10'	100 sf=100 sf	Medium+ 2-2 gph	
7	○	Nepeta Catmint	1-Gal	1'/3'	6 sf=42 sf	Medium 2-2 gph	
2	○	Pinus mugo Mugho Pine	5-Gal	4'/4'	30 sf=60 sf	Medium 2-2 gph	
12	○	Caesalpinia Bird of Paradise	5-Gal	10'/10'	100 sf=1200 sf	Medium 2-2 gph	
15	○	Rhus trilobata 3 Leaf Sumac	5-Gal	2'/6'	64 sf=960 sf	Low + 2-2 gph	
31	○	Dasyllirion Sotol	5-Gal	4'/4'	64 sf=1984 sf	Low 2-1 gph	
39	○	Yucca pendula Scotblade Yucca	5-Gal	4'/4'	64 sf=2496 sf	Low + 2-1 gph	
Grasses							
47	○	Muhlenbergia Deer Grass	1-Gal	4'/4'	40 sf=1880 sf	Low+ 2-2 gph	
10	○	Muhlenbergia Regal Mist Grass	1-Gal	3'/3'	15 sf=150 sf	Medium 2-2 gph	
24	○	Panicum Switch Grass	1-Gal	8'/6'	36 sf=864 sf	Medium 2-2 gph	
49	○	Calamagrostis Karl Foerster Grass	5-Gal	3'/2'	10 sf=490 sf	Medium 2-2 gph	
Total Landscape Coverage=21,235 SF							

MATERIALS LEGEND



NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

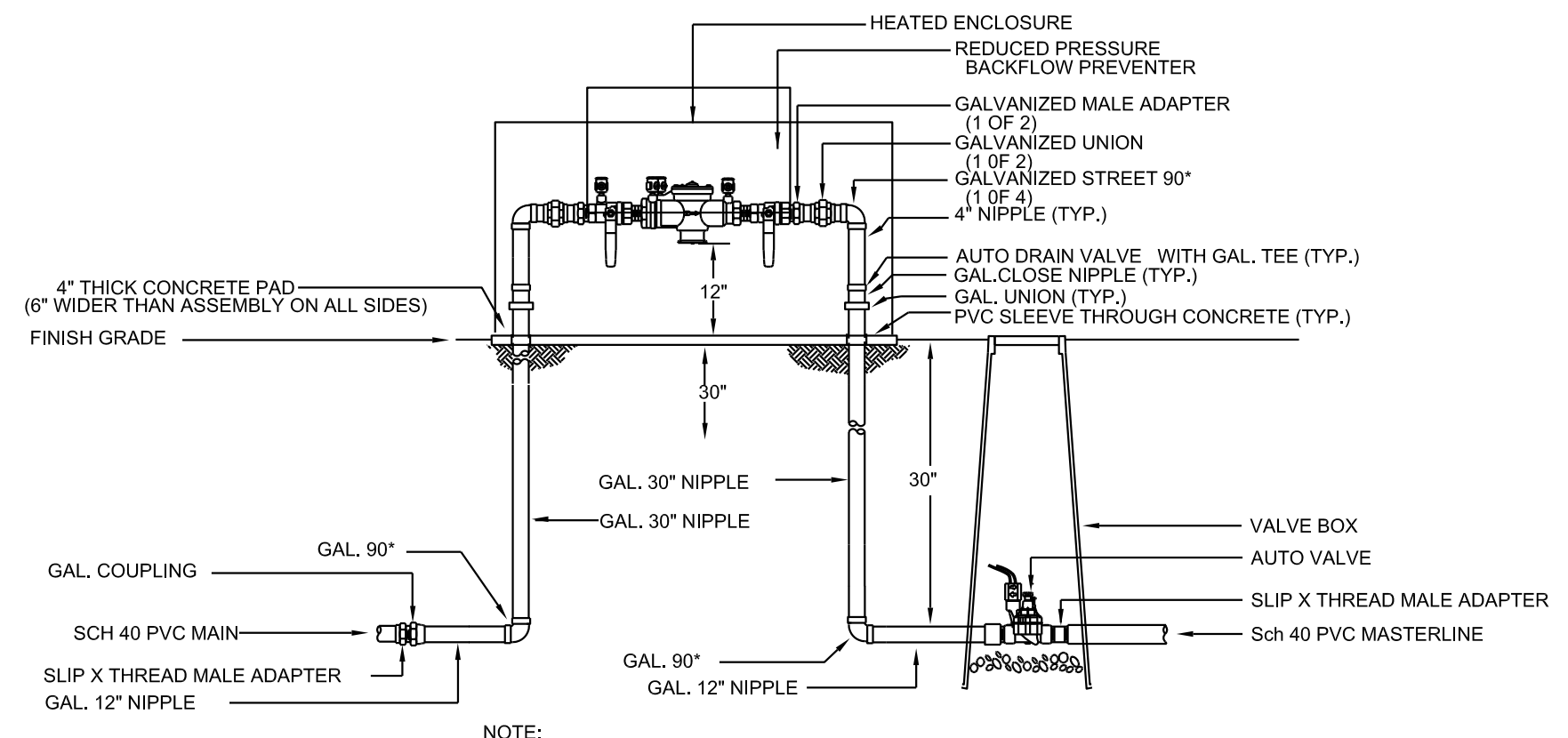
TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

SITE DATA

GROSS LOT AREA (2.05 ac)	89,631 SF
LESS BUILDING(S)	13,779 SF
NET LOT AREA	75,852 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	11,378 SF
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	31,375 SF 39 %
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	SF
PROPOSED HIGH WATER USE TURF PERCENT OF LANDSCAPE AREA	SF
REQUIRED STREET TREES 1 PER 30 L.F. OF STREET FRONTAGE	7
PROVIDED STREET TREES	7
REQUIRED PARKING LOT TREES 1 PER 10 SPACES	
38 SPACES (Phase 1)/10 PROVIDED PARKING LOT TREES (Phase 1)	4
TOTAL TREE REQUIRED/PROVIDED (2" cal or 6' ht.)	11/11
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (31,375 SF PROPOSED LANDSCAPE X 75%)	23,531 SF MIN.
NATIVE SEED/100 % COVERAGE	2,325 SF
PROVIDED GROUND COVER COVERAGE	21,235 SF
TOTAL PROVIDED GROUND COVER COVERAGE PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	75%

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES: ESTABLISHMENT AND SUMMER: 1 HOUR/4 DAYS A WEEK SPRING: 1 HOUR/2-3 DAYS A WEEK FALL: 1 HOUR/2-3 DAYS A WEEK WINTER: 1 HOUR/2 DAYS PER MONTH



RP BACKFLOW/MASTER VALVE DETAIL

growing better **Up Heads**
LANDSCAPE CONTRACTORS
www.headsuplandscape.com

P O Box 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com



Date: 2/21/18

Revisions:

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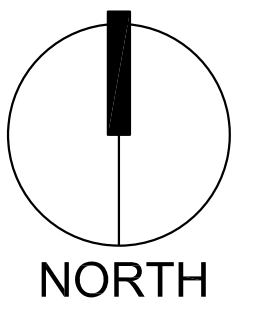
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Drawn by: jc

Reviewed by: jb

Primrose School of NW Albuquerque
Albuquerque, New Mexico



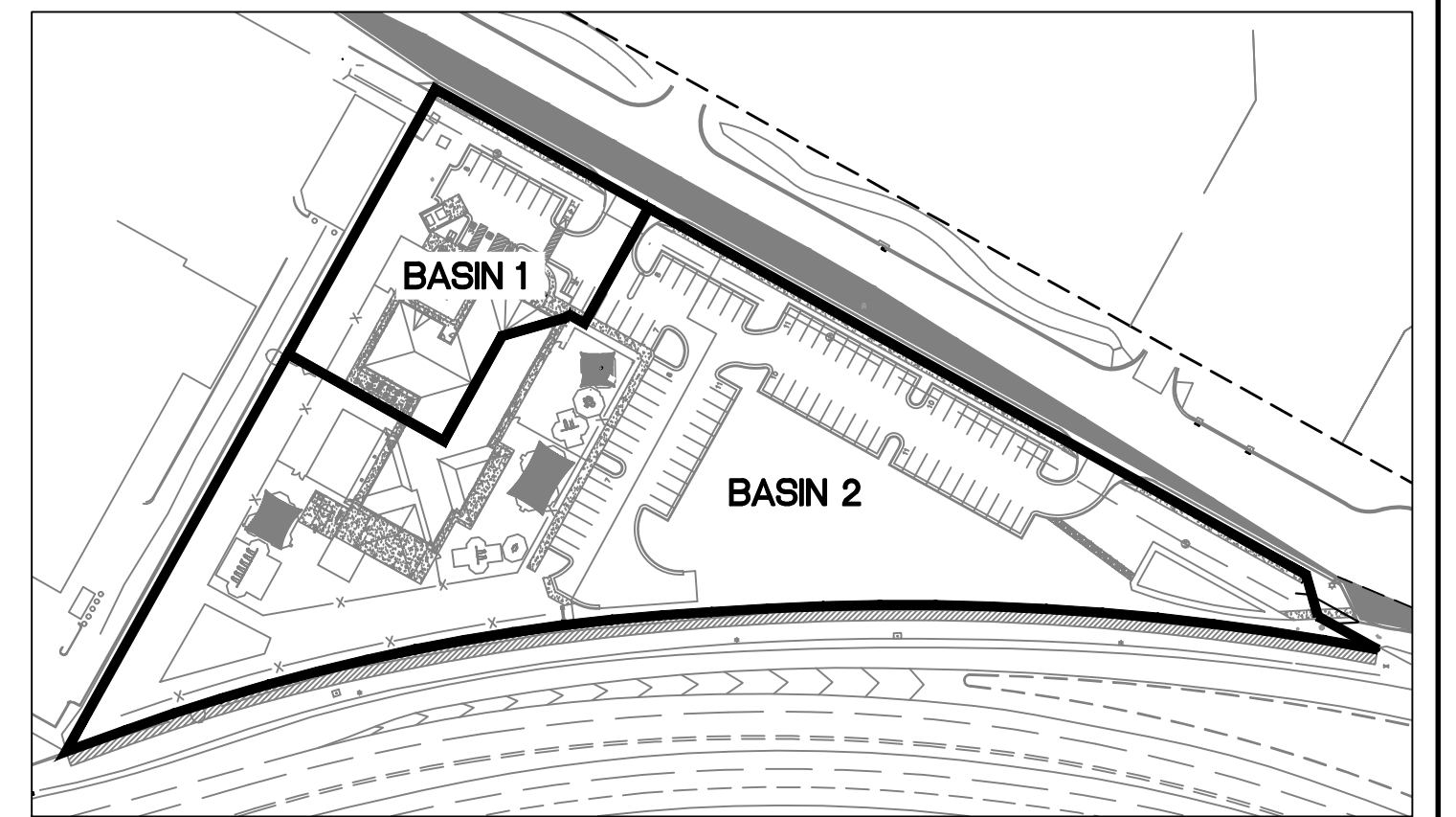
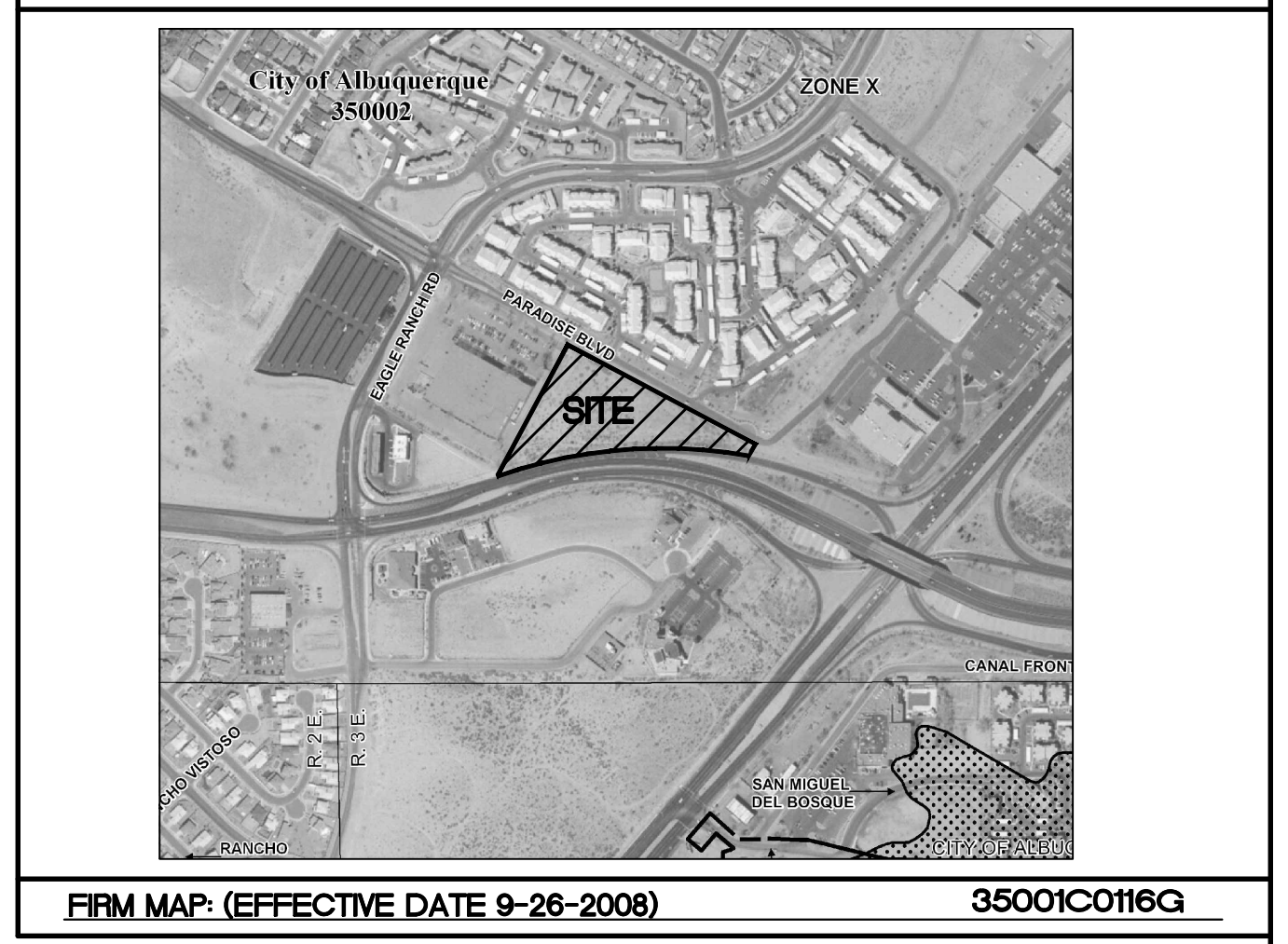
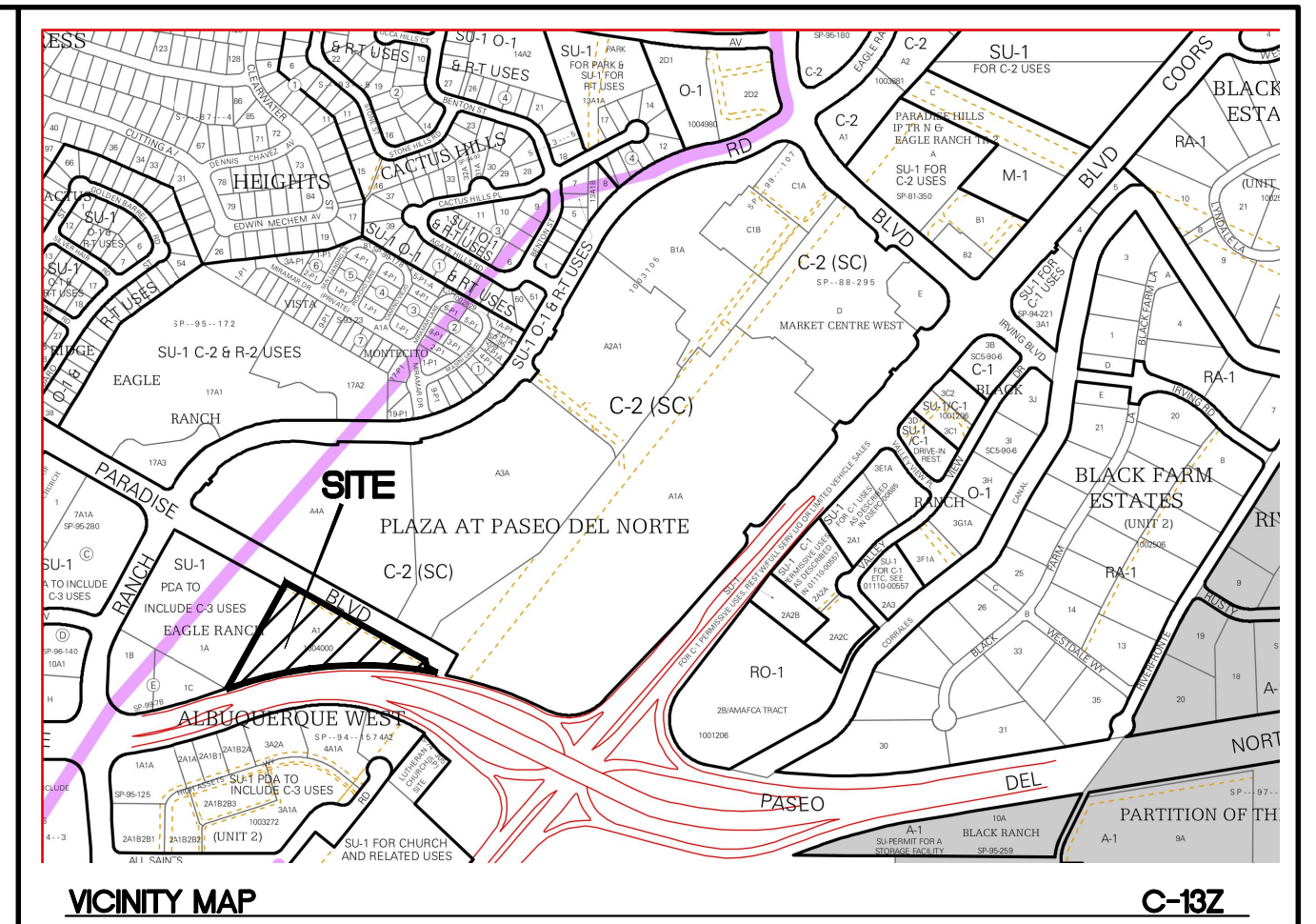
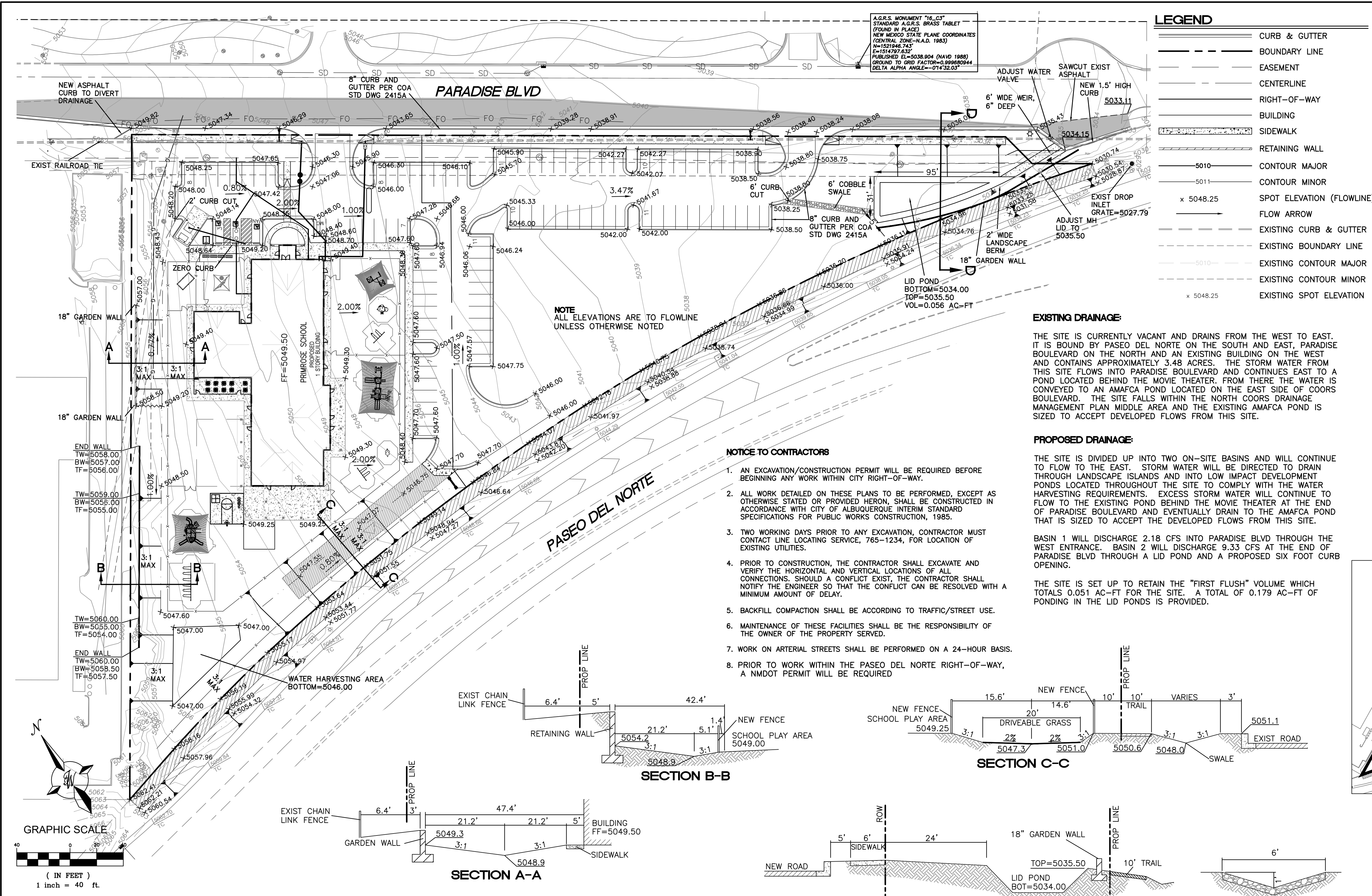
Scale: 1" = 40'

20' 0 40' 80'

Sheet Title:
Landscape Plan

Sheet Number:
LS-01

5/28/2018 1:25:28 PM C:\Users\jgillies\OneDrive\Documents\Primrose School Landscape.dwg 2/22/2018 11:32:30 AM John K



- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment				100-Year		10-Year		
			Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)
1	27,711	0.64	0%	40%	0%	60%	1.450	0.077	0.832	0.044	1.30
2	124,063	2.85	0%	40%	10%	50%	1.349	0.320	0.751	0.178	5.39
		3.48					0.397	11.51			

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$

Volume = Weighted E * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Zone	Excess Precipitation, E (inches)		Peak Discharge (cfs/acre)	
	100-Year	10-Year	100-Year	10-Year
E _a	0.44	0.08	Q _a	1.29
E _b	0.67	0.22	Q _b	2.03
E _c	0.99	0.44	Q _c	2.87
E _d	1.97	1.24	Q _d	4.37

FIRST FLUSH CALCULATION

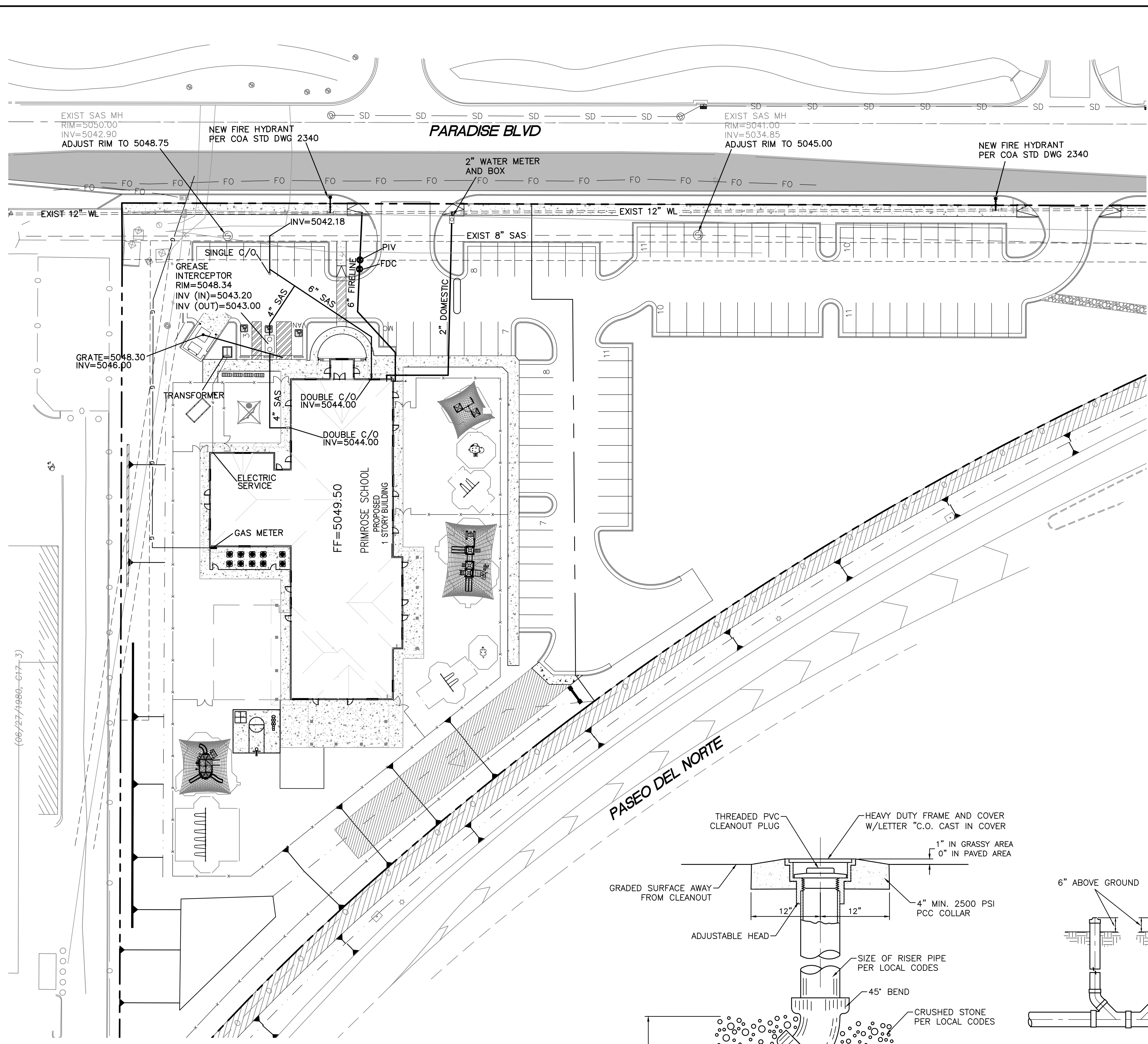
$78844 \text{ SF} \times 0.34''/12'' = 2,234 \text{ CF}$

$= 0.051 \text{ AC-FT}$

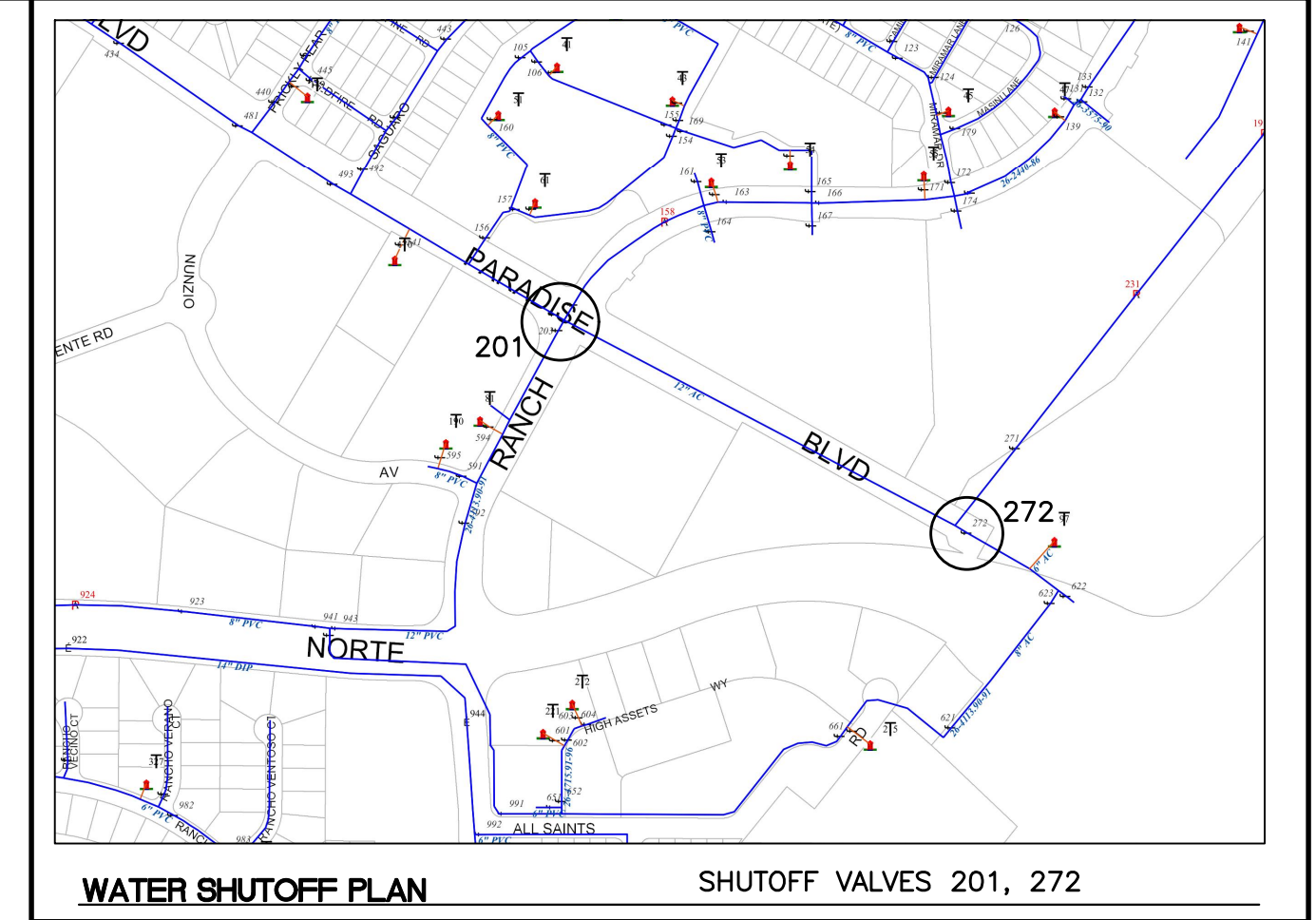
CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	PRIMROSE SCHOOL OF NW ALBUQUERQUE	DRAWN BY pm
	CONCEPTUAL GRADING PLAN	DATE 6-27-18
	TIERRA WEST, LLC 5571 MIDWAY PARK BL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
RONALD R. BOHANNAN P.E. #7868	SHEET # 3	JOB # 2017092



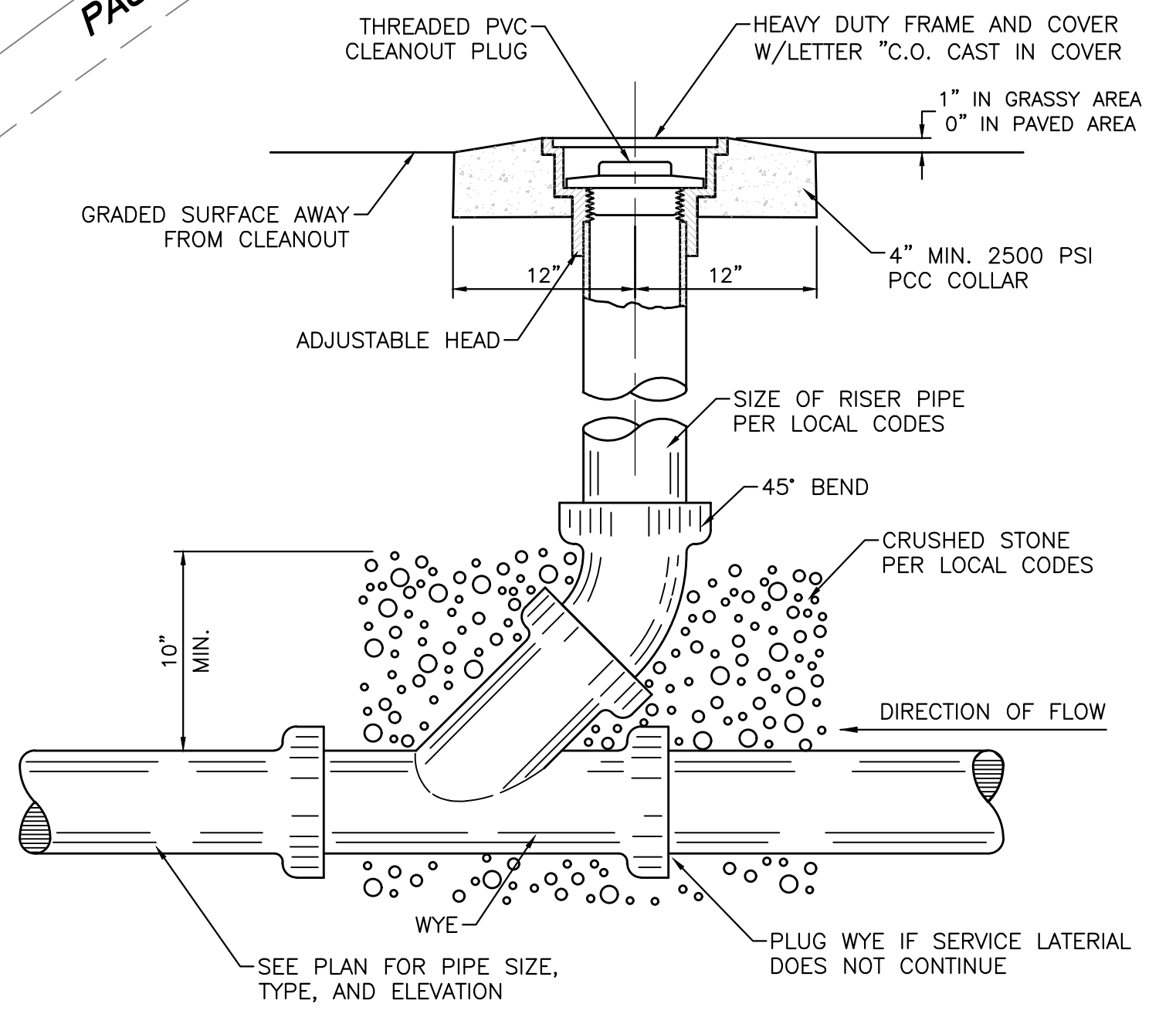
- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - - - EASEMENT
 - ▭ BUILDING
 - ▨ SIDEWALK
 - - - EXISTING CURB & GUTTER
 - 36" SD — STORM SEWER LINE
 - 8" SAS — SANITARY SEWER LINE
 - 8" WL — WATERLINE
 - SINGLE CLEAN OUT
 - ⊗ DOUBLE CLEAN OUT
 - EXISTING SD MANHOLE
 - ▣ EXISTING INLET
 - EXISTING SAS MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER METER
 - EXISTING POWER POLE
 - EXISTING GAS VALVE
 - EXISTING GAS
 - EX. 8" SAS — EXISTING SANITARY SEWER LINE
 - EX. WL — EXISTING WATER LINE
 - EX. RCP — EXISTING STORM SEWER LINE
 - G — PROPOSED GAS
 - P — PROPOSED POWER
 - T — PROPOSED TELEPHONE



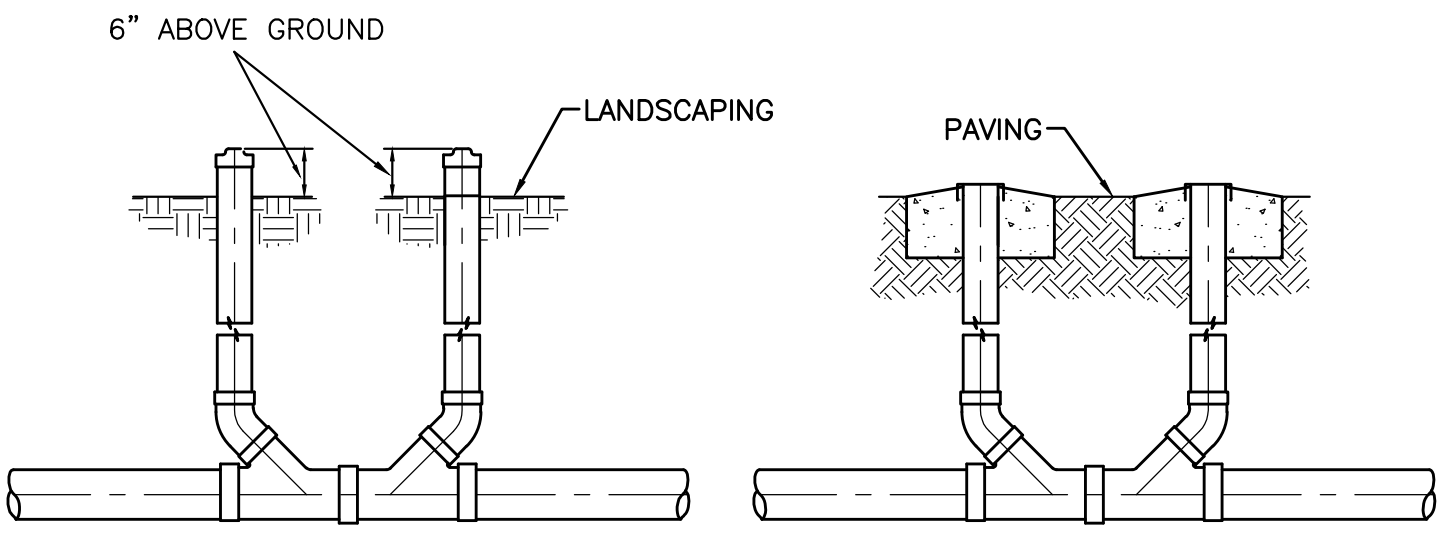
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/729/](http://abcwua.org/content/view/full/729/).

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. ALL BUILDINGS - CONSTRUCTION TYPE IS II-B

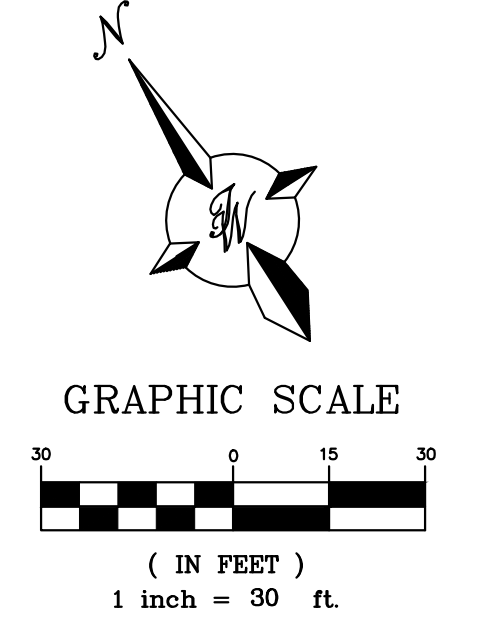


SANITARY SEWER CLEAN-OUT
NTS

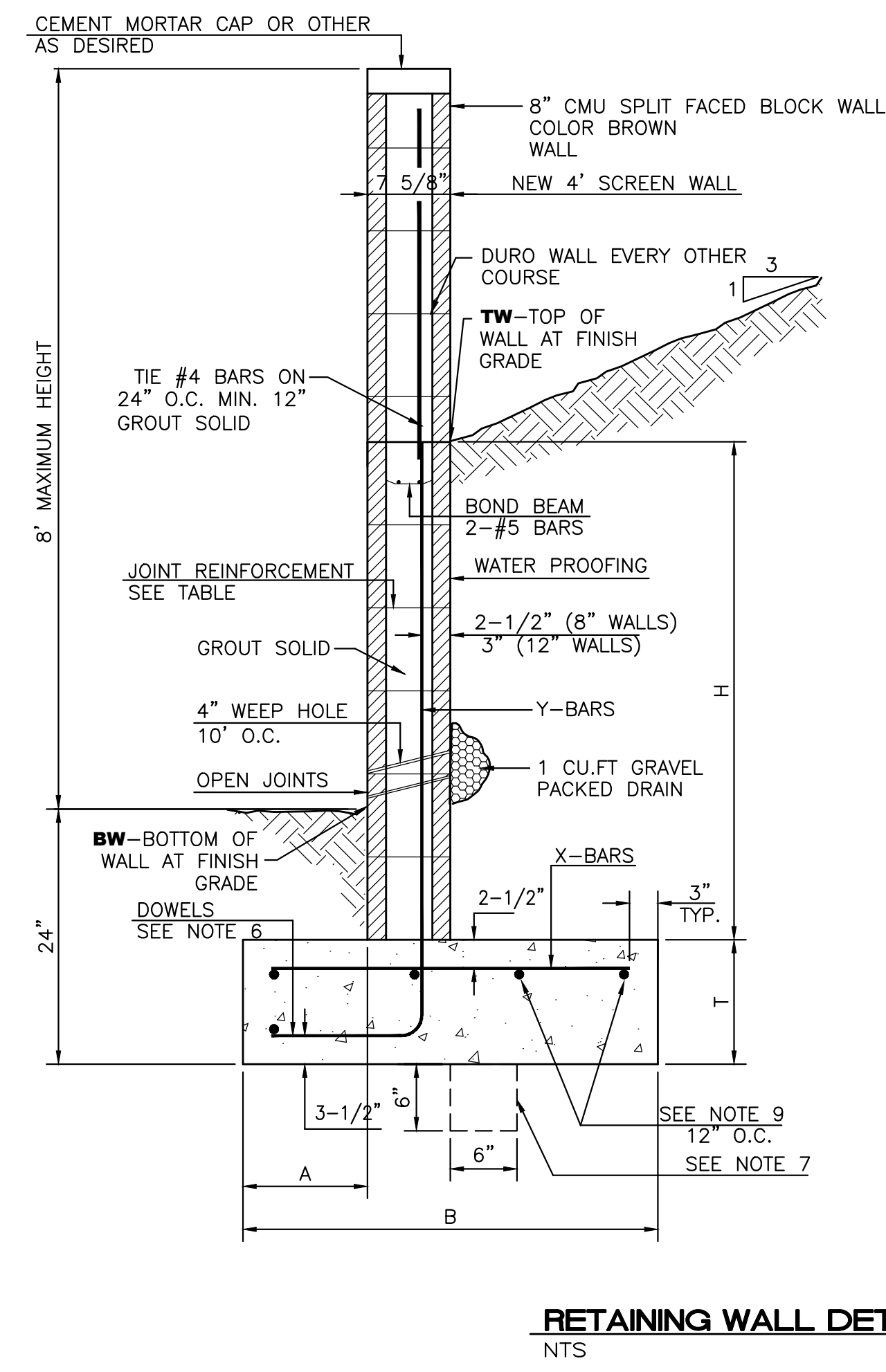
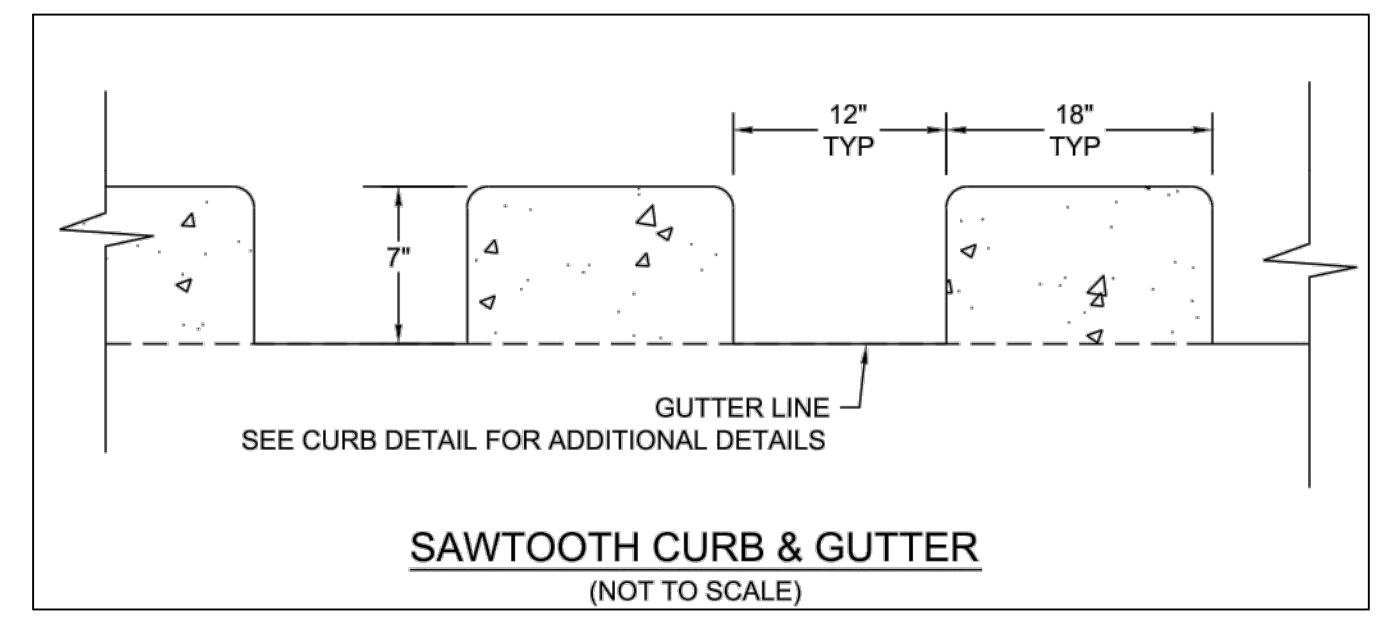
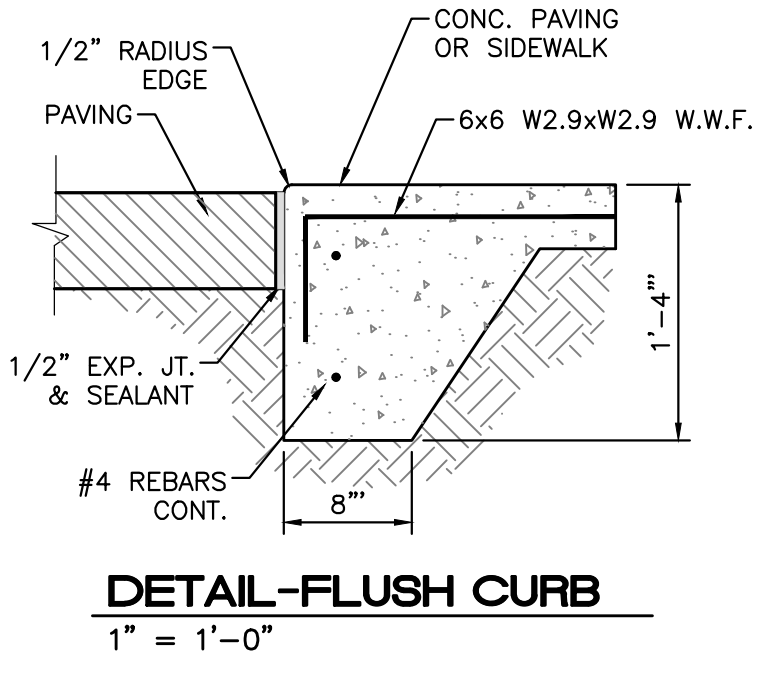
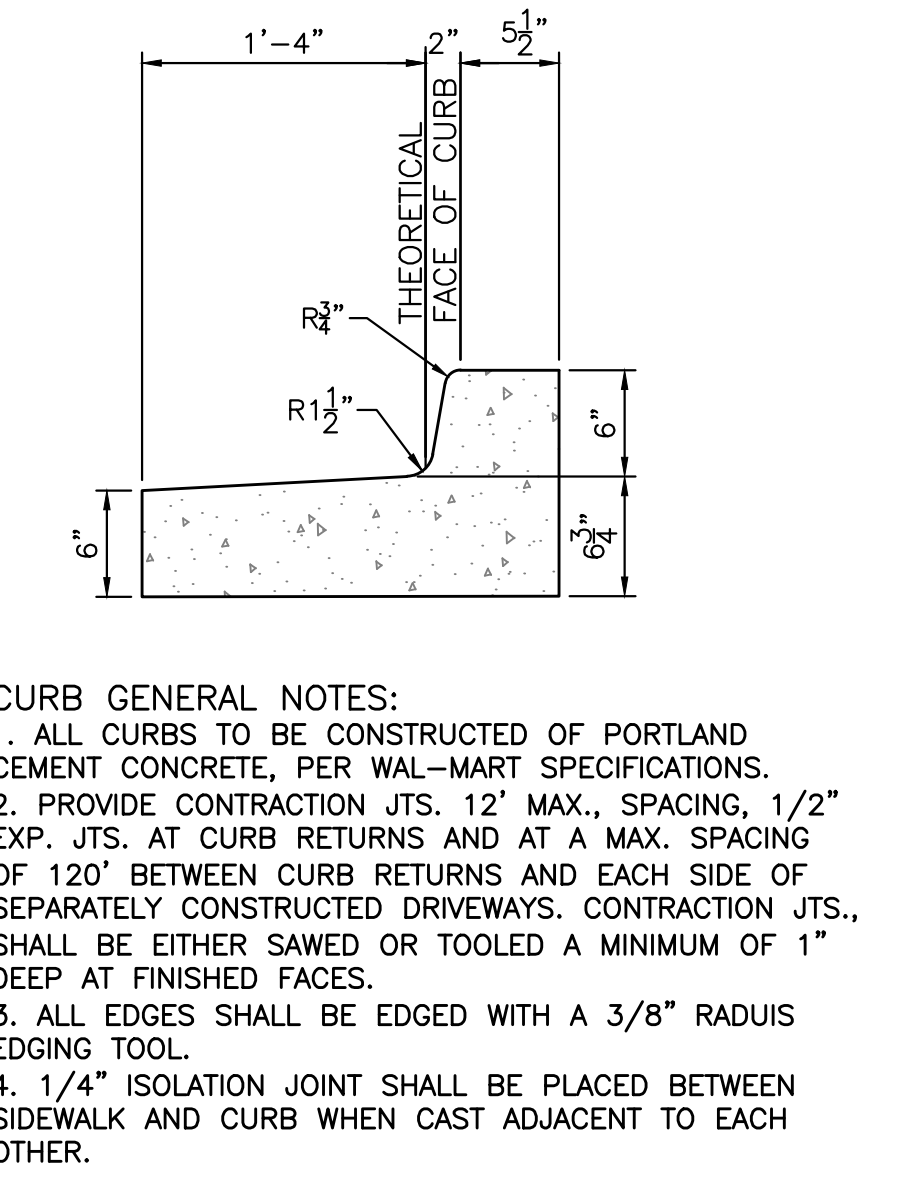
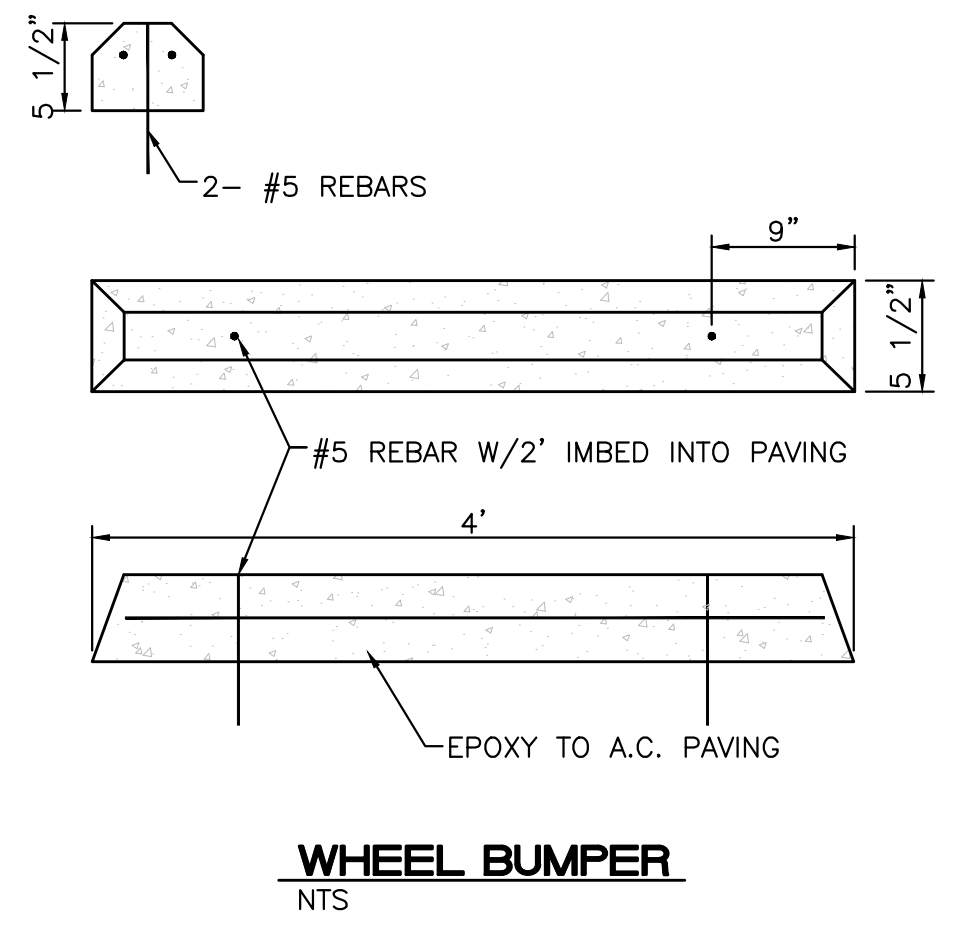
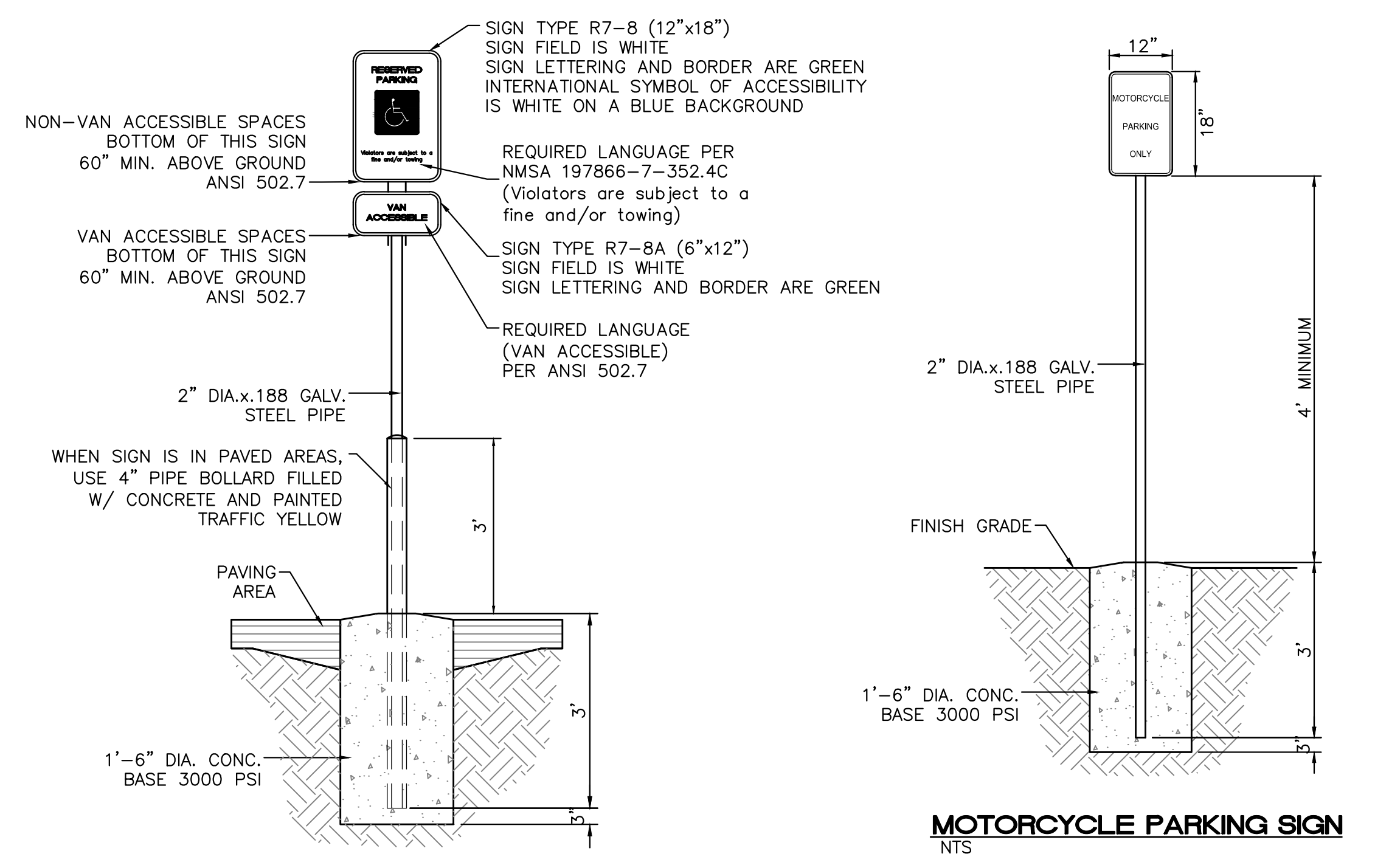
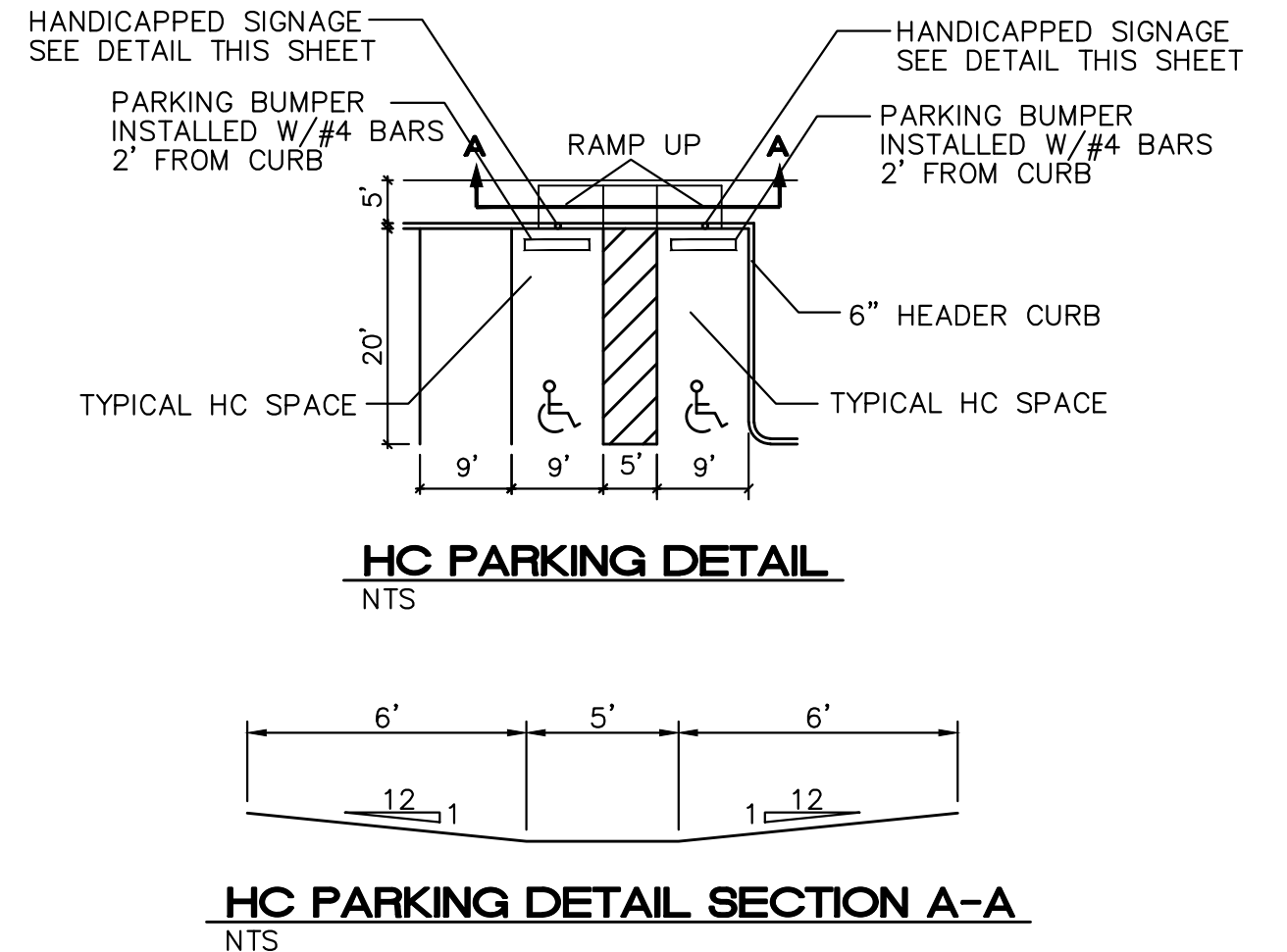
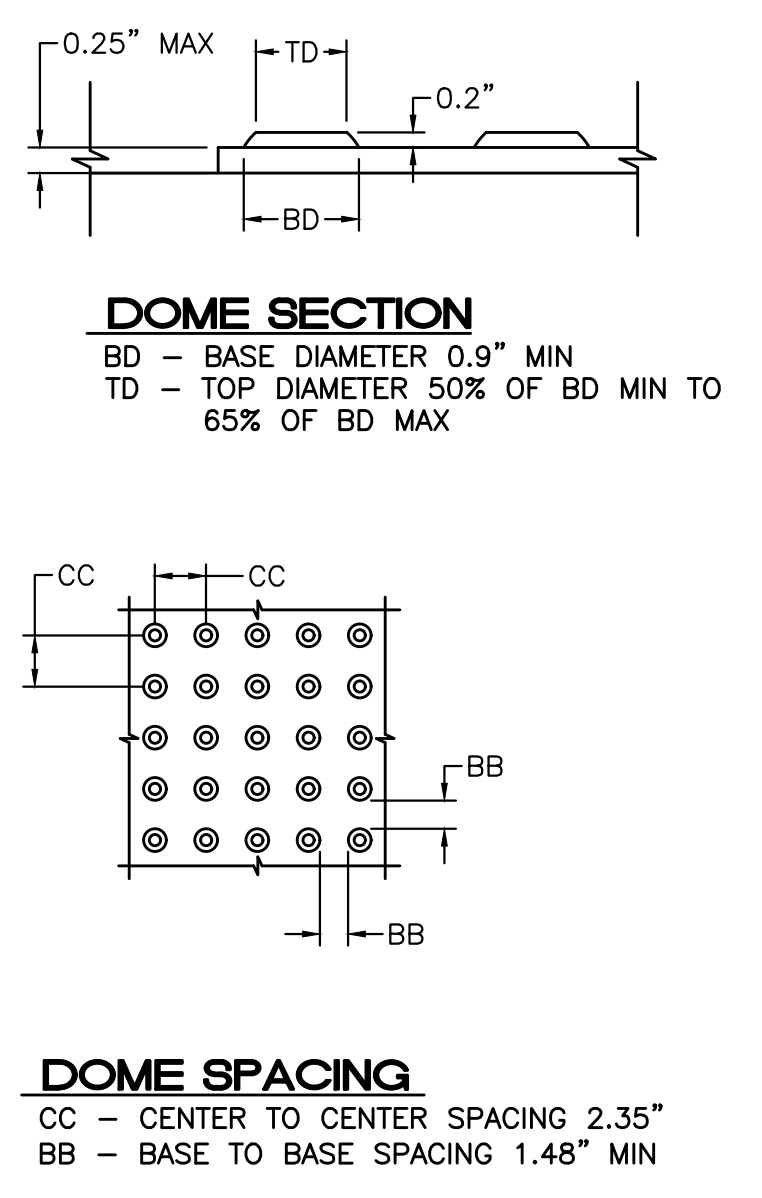
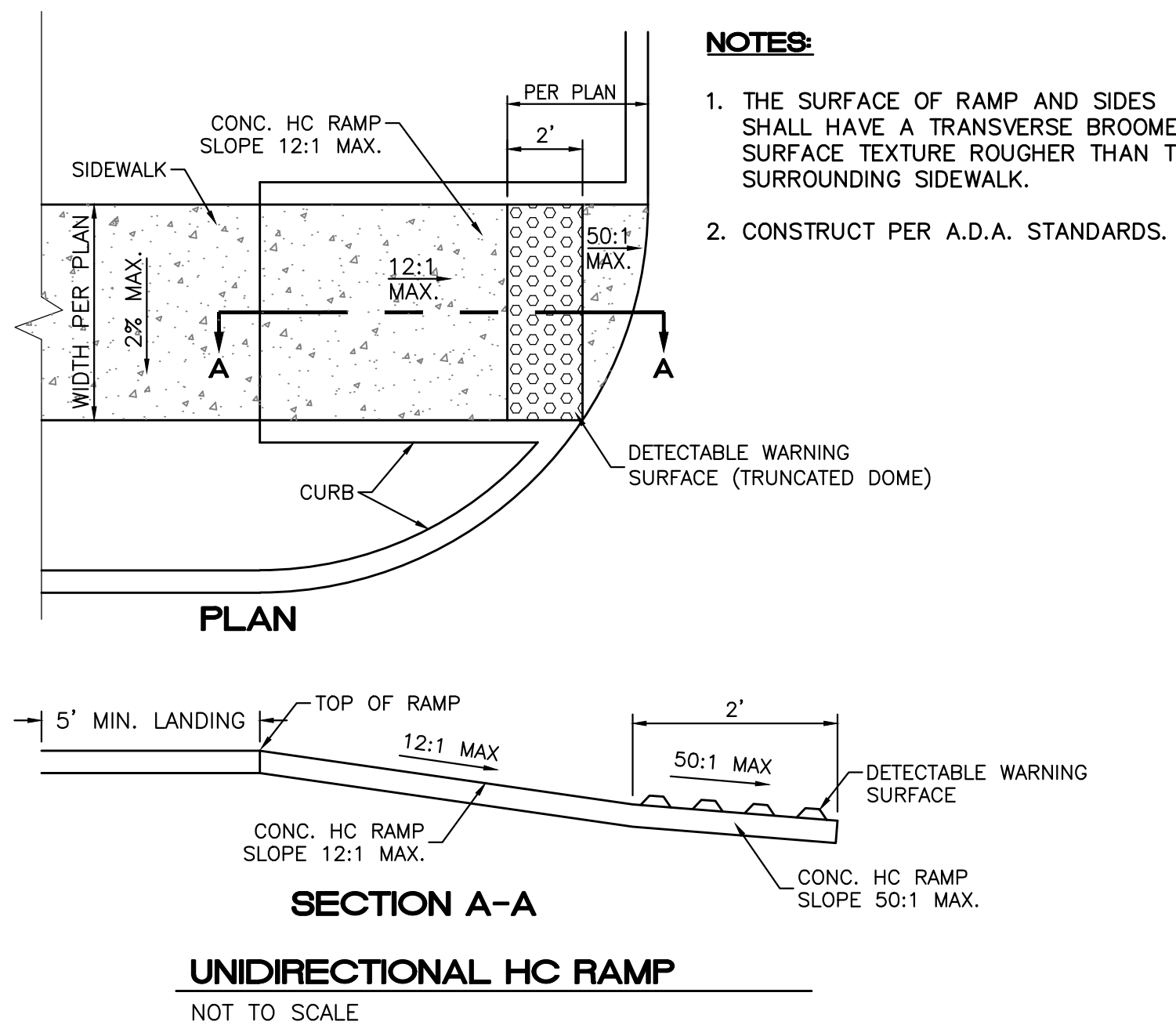


SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



<p>ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 6/27/2018 RONALD R. BOHANNAN P.E. #7868</p>	<p>PRIMROSE SCHOOL OF NW ALBUQUERQUE</p> <p>MASTER UTILITY PLAN</p>	<p>DRAWN BY pm</p> <p>DATE 6-27-18</p> <p>DRAWING</p>
	<p>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com</p>	<p>SHEET # 4</p> <p>JOB # 2017092</p>



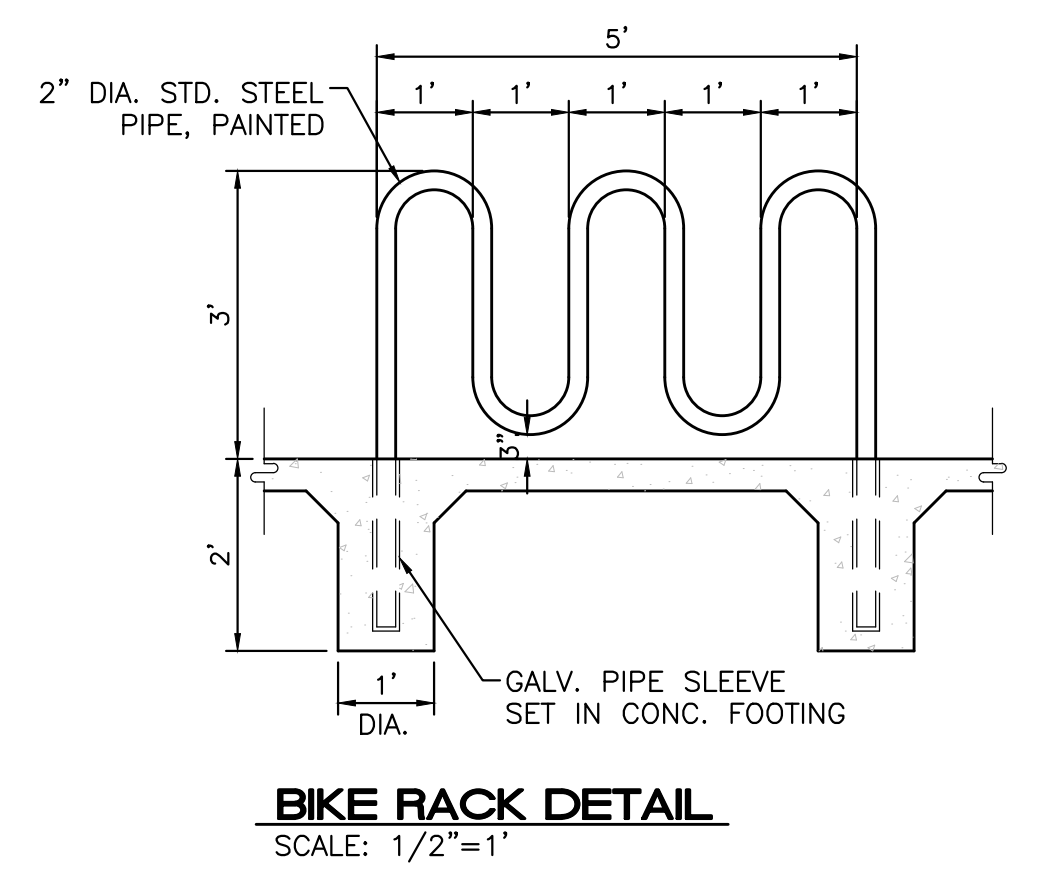
8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



	PRIMROSE SCHOOL OF NW ALBUQUERQUE CONSTRUCTION DETAILS	DRAWN BY pm DATE 6-27-18 DRAWING
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # 5 JOB # 2017092

SPECIFICATIONS

1. 4" inlet/outlet Sch. 40, Plain End (No-Hub)
2. Max flow rate: 100 GPM
3. Liquid capacity: 275 Gallons
4. Max grease capacity: 1,076 lbs. (147.4 Gallons)
5. Max solids/sediment capacity: 105 Gallons
6. Unit weight w/std. covers: 230 lbs.
7. Maximum operating temperature 190°F continuous.
8. Highway Rated cover: 16,000 lb. capacity (standard)
9. Seamless molded polyethylene tank.

NOTES

1. Listed by IAPMO to ASME grease interceptor standard #A112.14.3 and CSA B481.1
2. Factory installed Built-in Flow control.
3. For gravity drainage applications only. Do not use for pressure applications.
4. Seamless high density polyethylene tank.
5. Unit supplied with built-in adapter(s) for up to 6" of adjustability. Additional riser(s) available for deeper burial depth.
6. Cover placement allows full access to tank for proper maintenance.
7. Vent not required unless per local code.
8. Narrow footprint allows clearance through doorways and down stairwells.
9. Engineered inlet and outlet diffusers are removable to inspect/clean piping.
10. For on-the-floor or buried applications.
11. Integral air relief / Anti-siphon / Sampling access.
12. Three outlet options for easy rough in. Unit shipped with outlet diffuser in outlet "B".

DIFFUSION FLOW TECHNOLOGY

The inlet diffuser splits incoming effluent into two paths that utilize the entire liquid volume of the tank for efficient grease separation. The calibrated openings greatly reduce effluent turbulence. The effluent enters the main chamber without disturbing the existing grease or sediment layers.

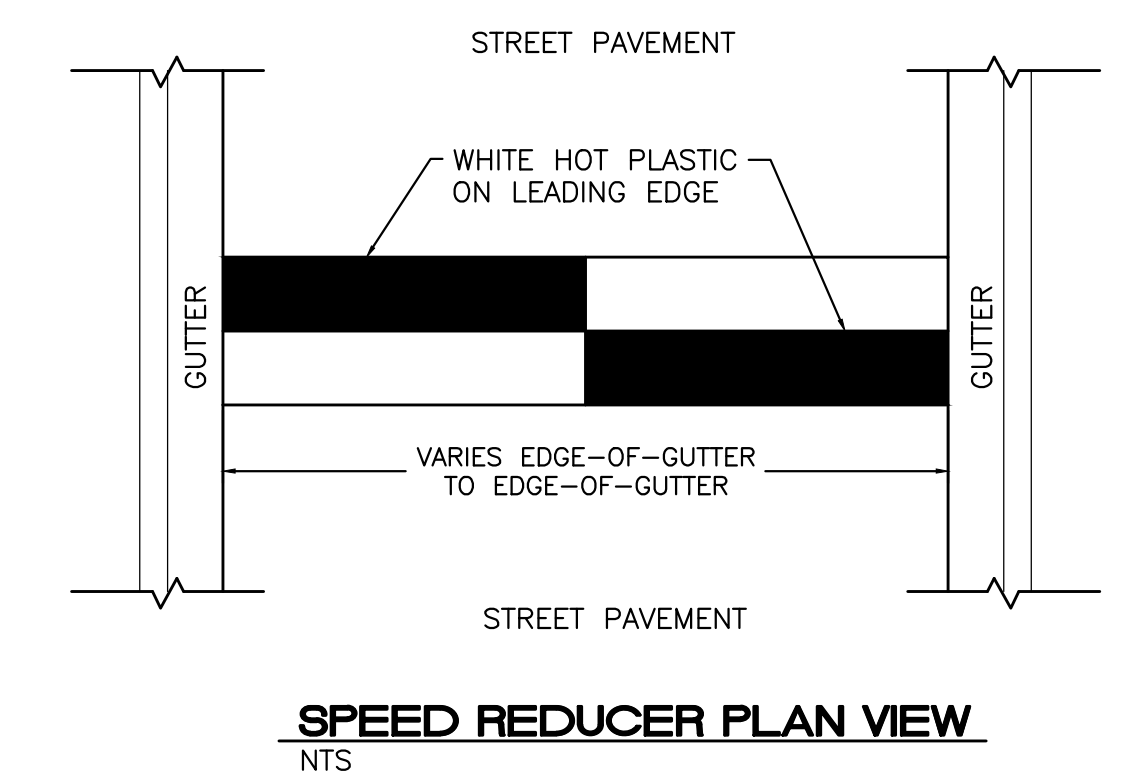
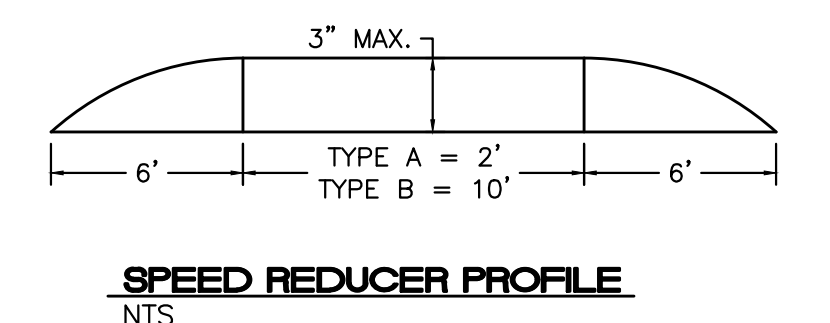
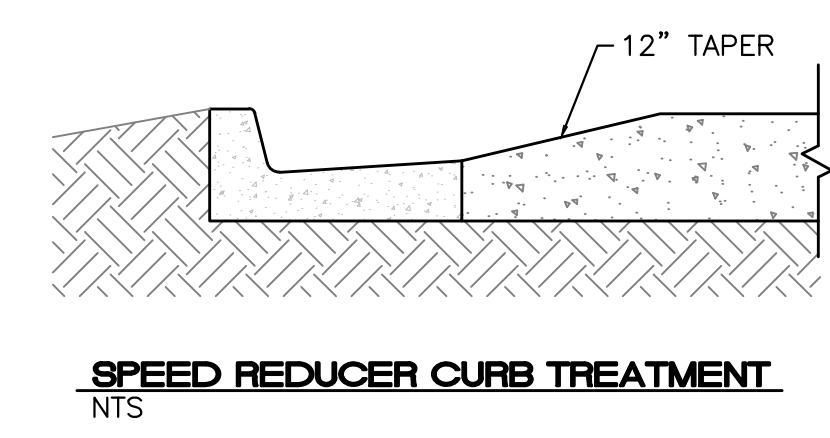
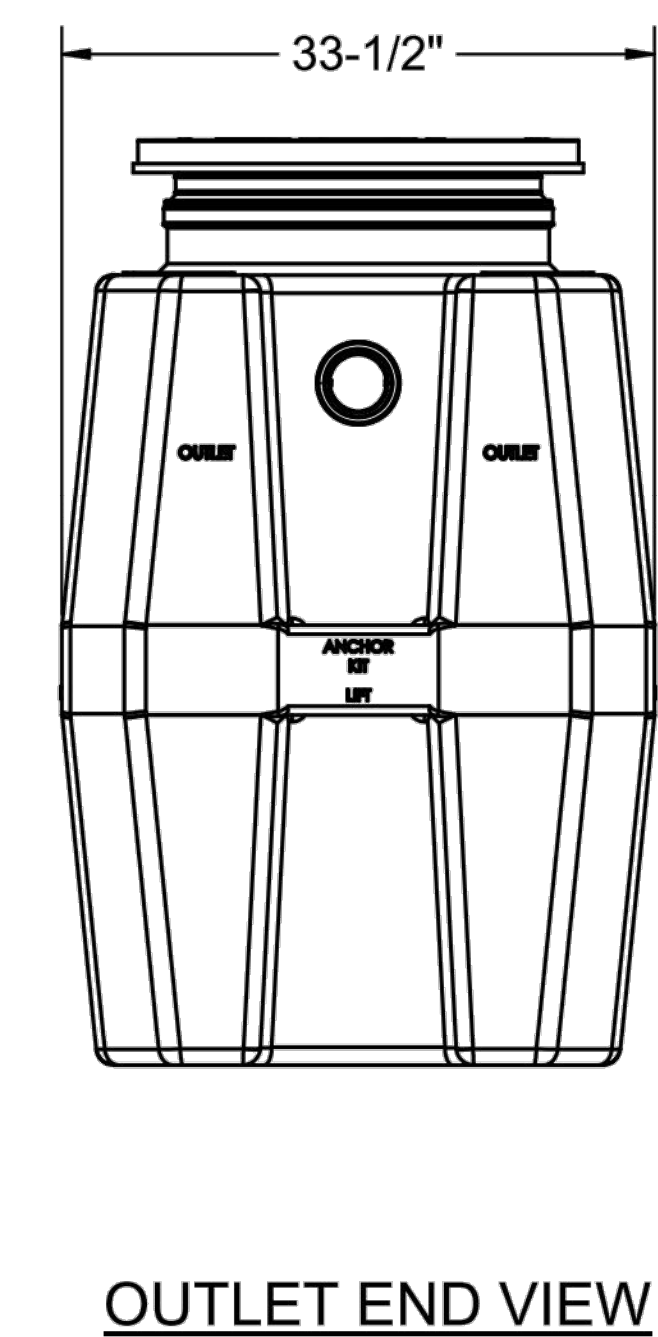
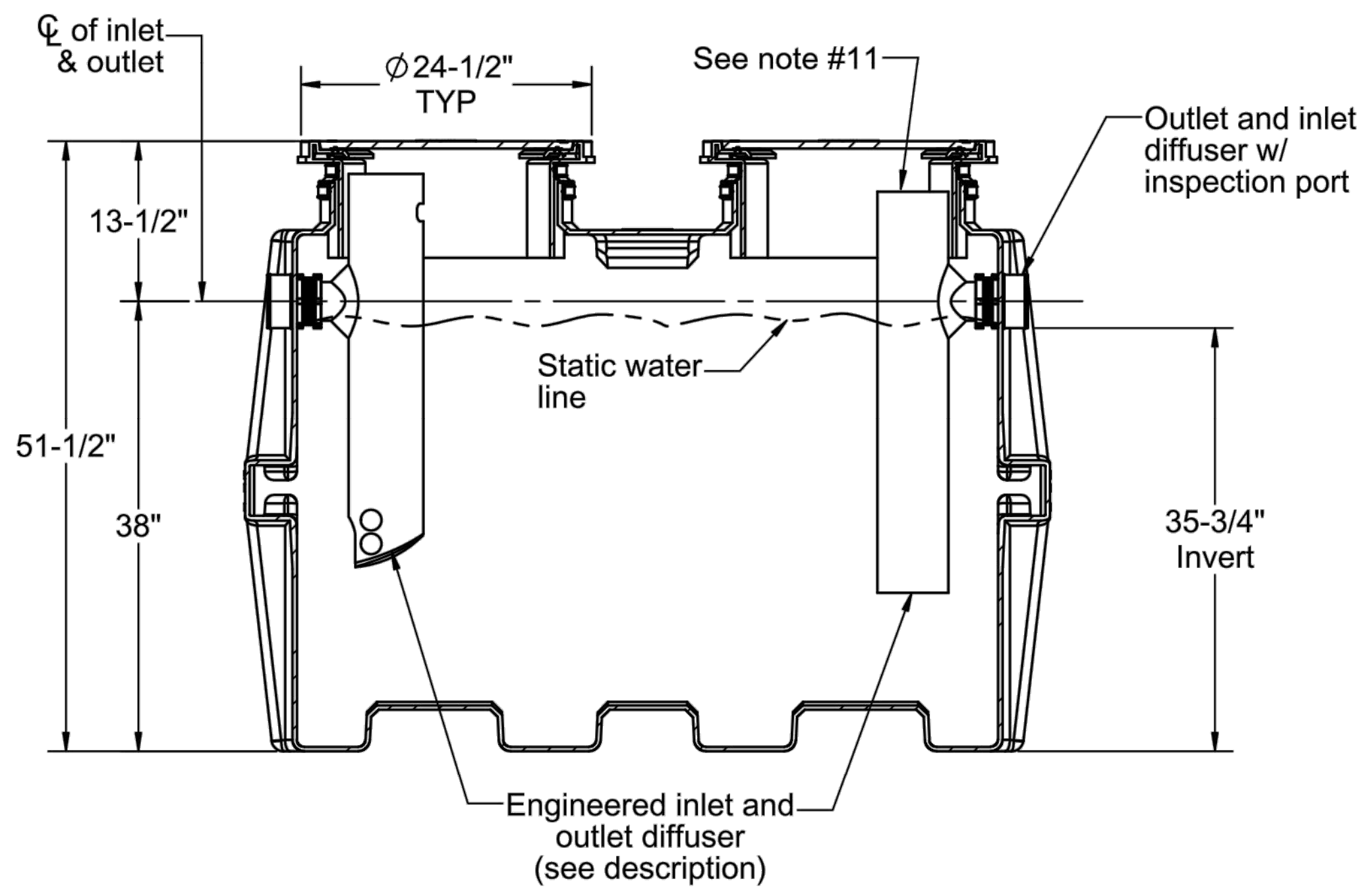
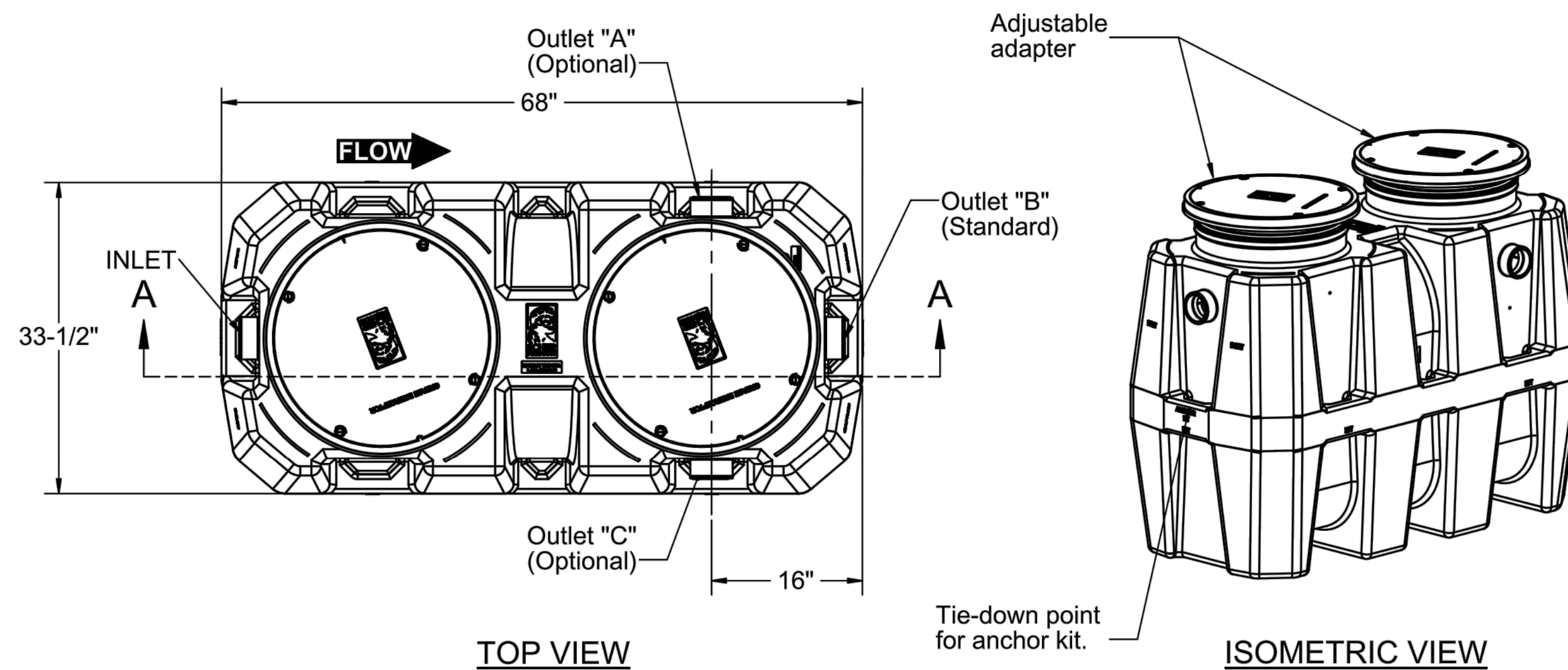
The integral air relief / anti-siphon in the top of the outlet diffuser allows pressure stabilization within the unit during operation. The bottom of the outlet diffuser allows only effluent which is free of grease to exit the tank. It can easily be attached to any of the three outlets provided to ease jobsite piping layouts.

ENGINEER SPECIFICATION GUIDE

Schier Great Basin™ grease interceptor model # GB-250 shall be lifetime guaranteed and made in USA of seamless, rotationally-molded High Density Polyethylene. Interceptor shall be furnished for above or below grade installation. Interceptor shall be certified to ASME A112.14.3 (type C) and CSA B481.1, with field adjustable riser system, built-in flow control, built-in test caps and three outlet options. Interceptor flow rate shall be 100 GPM. Interceptor grease capacity shall be 1,076 lbs. Cover shall provide water/gas-tight seal and have minimum 2,000 lbs. load capacity.

OPTIONS:

- H20 rated Cast Iron Cover: 20,000lb capacity
- Pedestrian rated cover: 2,000 lb. capacity
- Teleglide field adjustable risers for extending covers to grade
- Male pipe thread connections
- 6" Plain end pipe connections (Inlet/Outlet "B" only)
- High water anchor kit
- Clamping collar kit



PROPRIETARY AND CONFIDENTIAL

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SCHIER PRODUCTS. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SCHIER PRODUCTS IS PROHIBITED.

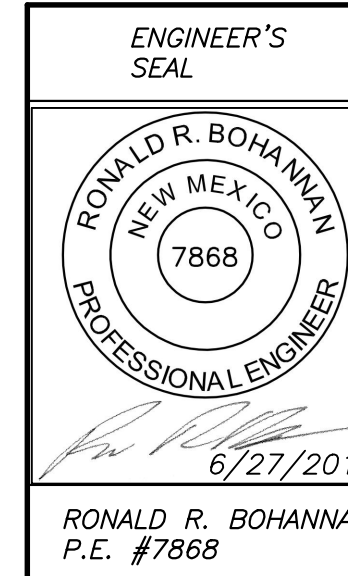
MODEL NUMBER: GB-250	PART NUMBER: 4055-001-XX
DESCRIPTION: 100 GPM POLYETHYLENE GREASE INTERCEPTOR	
DWG BY: N.EBERT	DATE: 07/02/2014
REV: 9	ECO: 1035

SPECIFICATION SHEET

Schier Products
9500 Woodend Road
Edwardsville, KS 66111
Tel: 800-827-7119
Fax: 800-827-9664
www.schierproducts.com



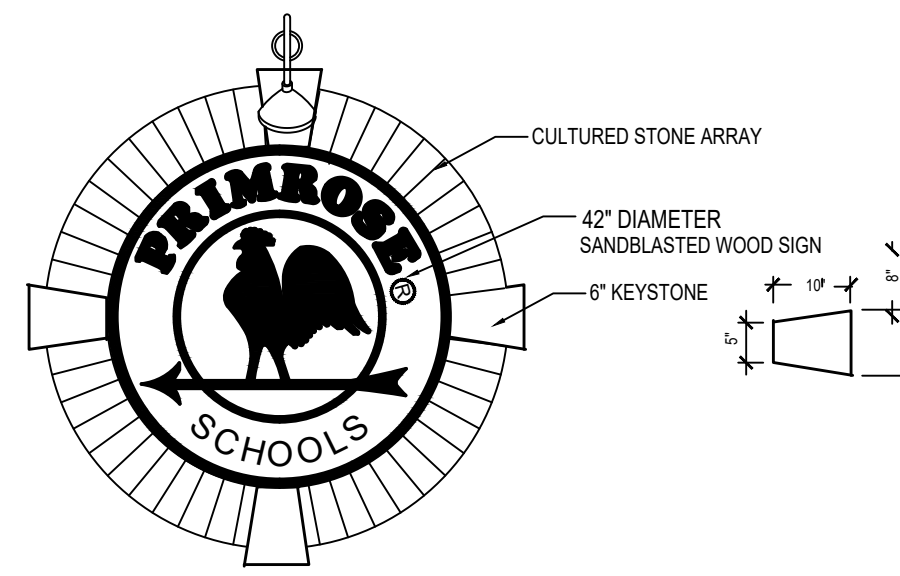
Made in the U.S.A



PRIMROSE SCHOOL OF NW ALBUQUERQUE
CONSTRUCTION DETAILS

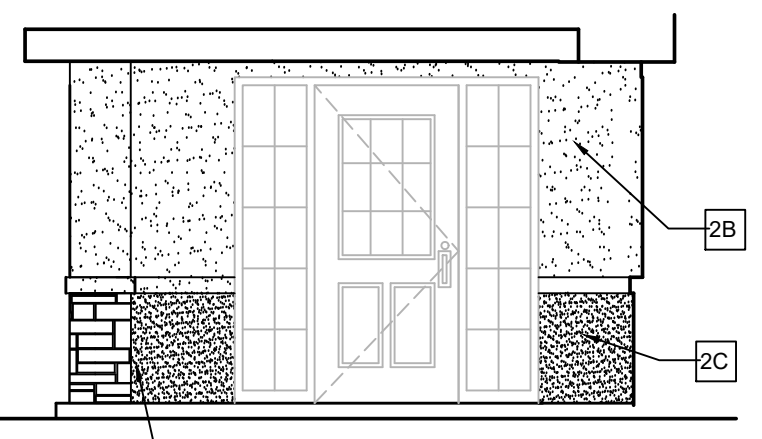
TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrowestllc.com

DRAWN BY: pm
DATE: 6-27-18
DRAWING:
SHEET #: 6
JOB #: 2017092



SIGN COLORS:
 ROOSTER, CIRCLES & TEXT = TATE OLIVE
 BACKGROUND = BEIGE
 (TOTAL SIGN AREA = 9.6 SQ. FT.)

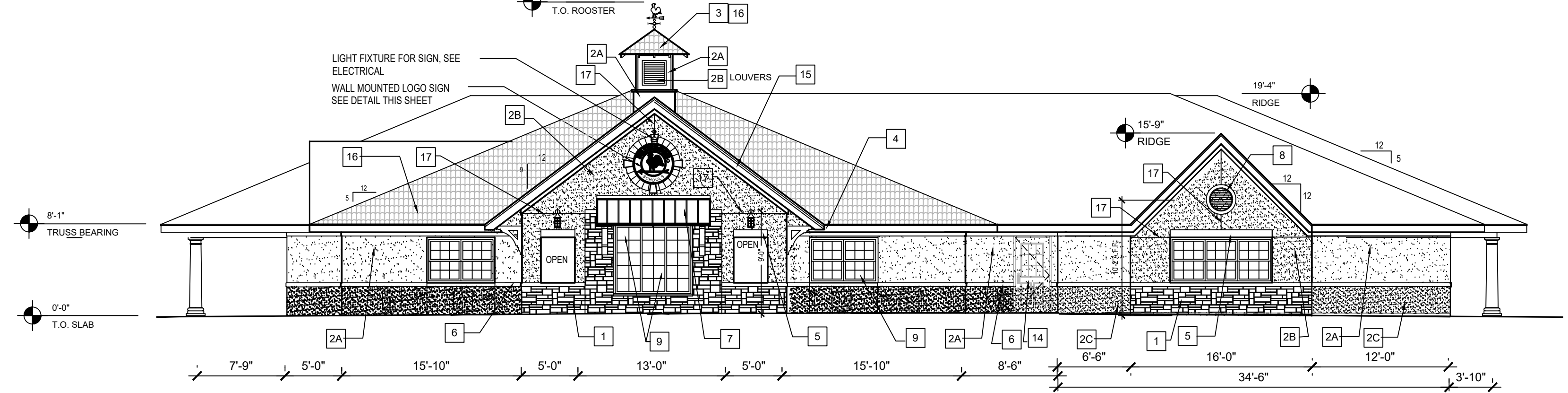
1 WALL MOUNTED LOGO SIGN
 1/2" = 1'-0"



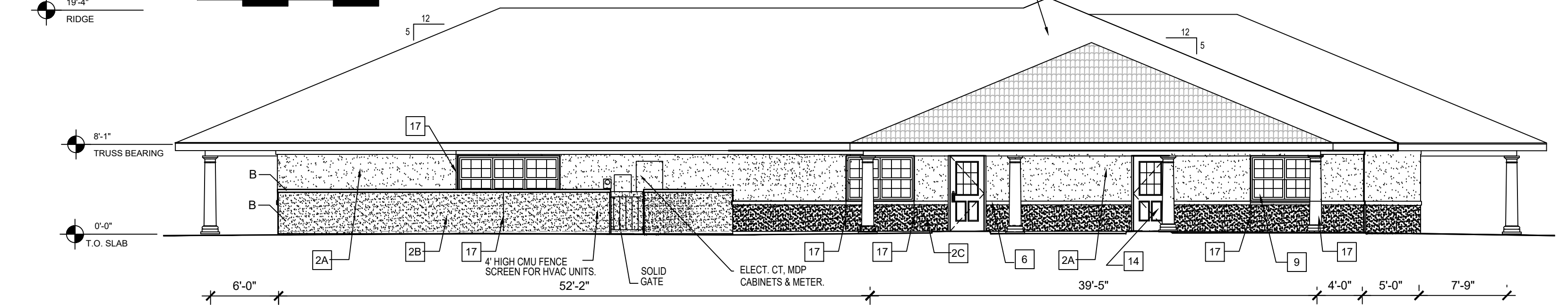
2 ENLARGED ENTRY. ELEV. N.T.S.

EXTERIOR COLOR SCHEDULE	
COLOR "A"	BM HC 6 WINDHAM CREAM
COLOR "B"	BM HC 55 WINTHROP PEACH
COLOR "C"	BM 2095-20 ANTLER BROWN
TRASH ENCLOSURE GATES (POST & HINGES)	COLOR "C" (INDUSTRIAL ENAMEL EXTERIOR APPLICATION)
CUPOLA WALLS AND SOFFITS	COLOR "A"
EXTERIOR FASCIA & FRIEZE	COLOR "D"
WINDOWS	MED. BRONZE ALUMINUM VINYL
STONE	CULTURED STONE - PRO LEDGESTONE COLOR: SHALE GROUT: COLORED MORTAR TO MATCH STONE
ROOFING	ONE PIECE 1" MISSION TILE BORAL ROOFING #MCS3001 COLOR: DESERT DRIFFWOOD
NOTES: ALL ROOF MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH ROOF COLOR CONFIRM COLOR WITH EXIST CVS NEXT TO SITE PRIOR TO ORDERING	
STANDING SEAM ROOF:	AEP SPAN SNAPSEAM - 12" BM 2095-20 ANTLER BROWN
STEEL WINNING SUPPORTS & WOOD BRACKETS:	BM 2095-20 ANTLER BROWN (INDUSTRIAL ENAMEL EXTERIOR APPLICATION)
STUCCO:	COLOR "A" 2A COLOR "B" 2B COLOR "C" 2C

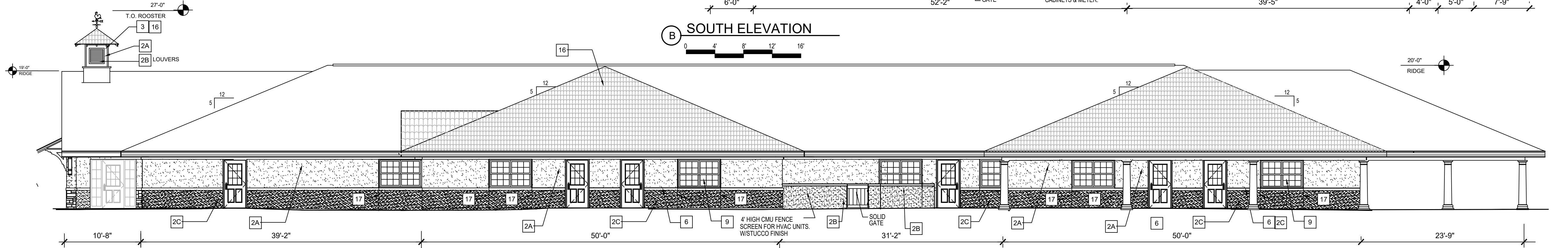
CONSTRUCTION NOTES:	
1	STONE VENEER
2	STUCCO
3	CUPOLA WITH WEATHER VANE. SEE SPECIFICATIONS SECTION OF DRAWINGS. PAINT CUPOLA WALLS AND LOUVERS PER EXTERIOR FINISH SCHEDULE. CONC. ROOF TILE (EPOXY ROOSTER)
4	NOT USED
5	8" T STUCCO ACCENT BAND - COLOR "C"
6	STUCCO SILL/WAISCOT - PAINT "D"
7	STANDING SEAM ROOF ON METAL FRAME - PAINT "C"
8	24" DIAMETER VENT LOUVERS. PROVIDE PAINTABLE UNIT AND PAINT PER SCHEDULE. TRIM = COLOR "C" LOUVERS = COLOR "A"
9	ALUMINUM SINGLE HUNG WINDOWS WITH TINTED GLASS (SEE ELEV. SHEET A2.1)
10	NOT USED
11	WALL MOUNTED LIGHT FIXTURE. TYP. AT EACH EXTERIOR DOOR. SEE LIGHT FIXTURE SCHEDULE. FLUSH TOP TO BOT OF SOFFIT OR 80" MIN AFG.
12	STOP BULLNOSE SILL AS REQUIRED TO ALLOW SPACE FOR ELECTRICAL SWITCHGEAR.
13	12" REFLECTORIZED ADDRESS NUMBERS - BLACK
14	H.M. INSUL. EXTERIOR DOOR AND FRAME - SEE DOOR SCHEDULE
15	HARD TRIM EXTERIOR FASCIA & STUCCO FRIEZE PAINT "D"
16	TILE ROOFING
17	CONTROL JOINT - SEE 6/A-6.1



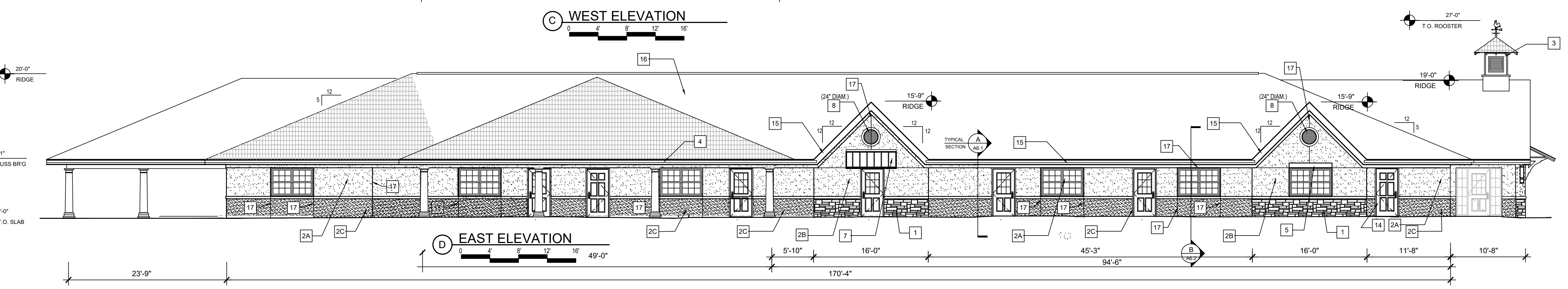
A NORTH ELEVATION



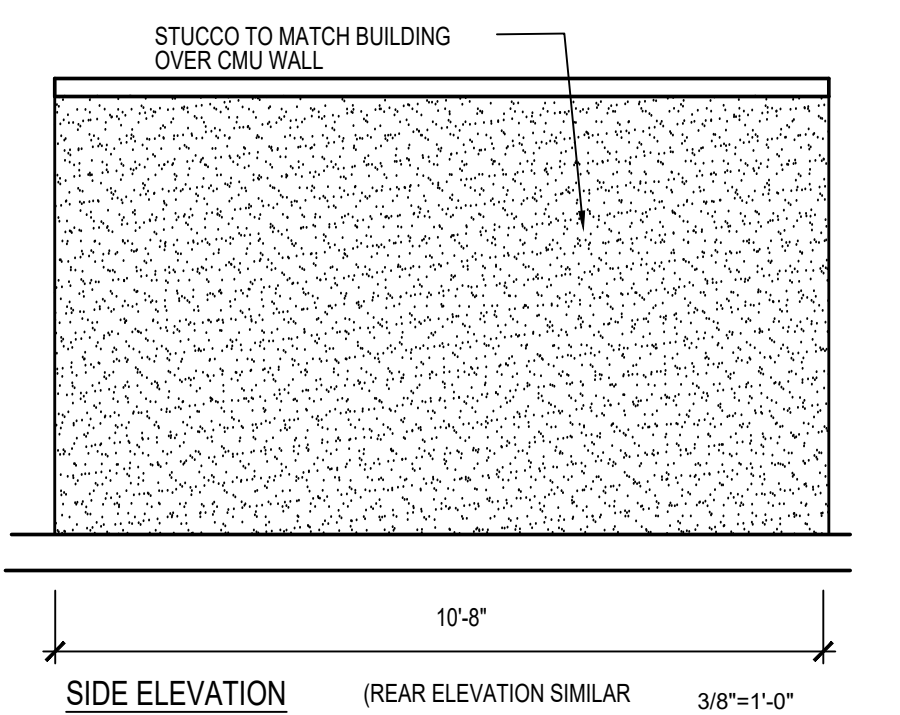
B SOUTH ELEVATION



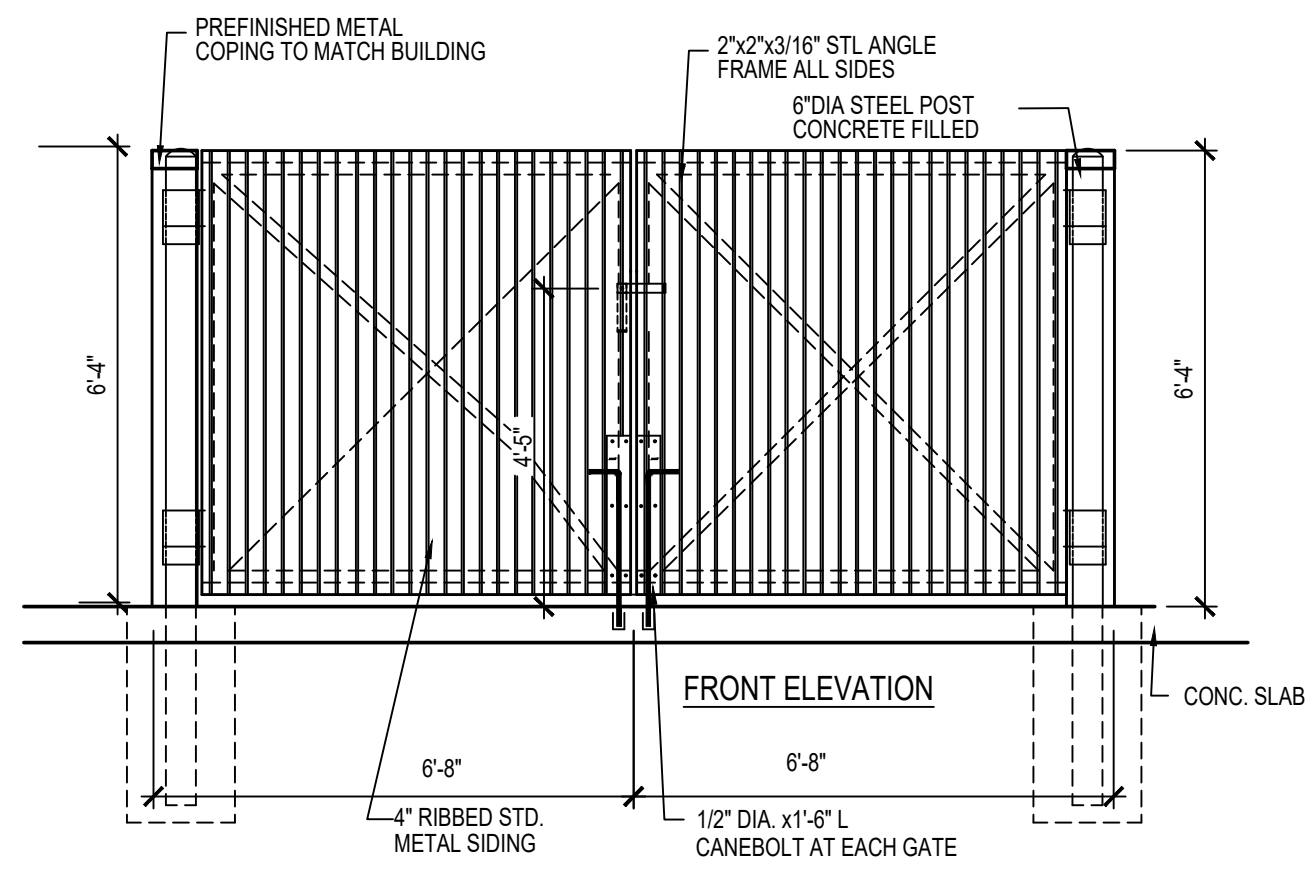
C WEST ELEVATION



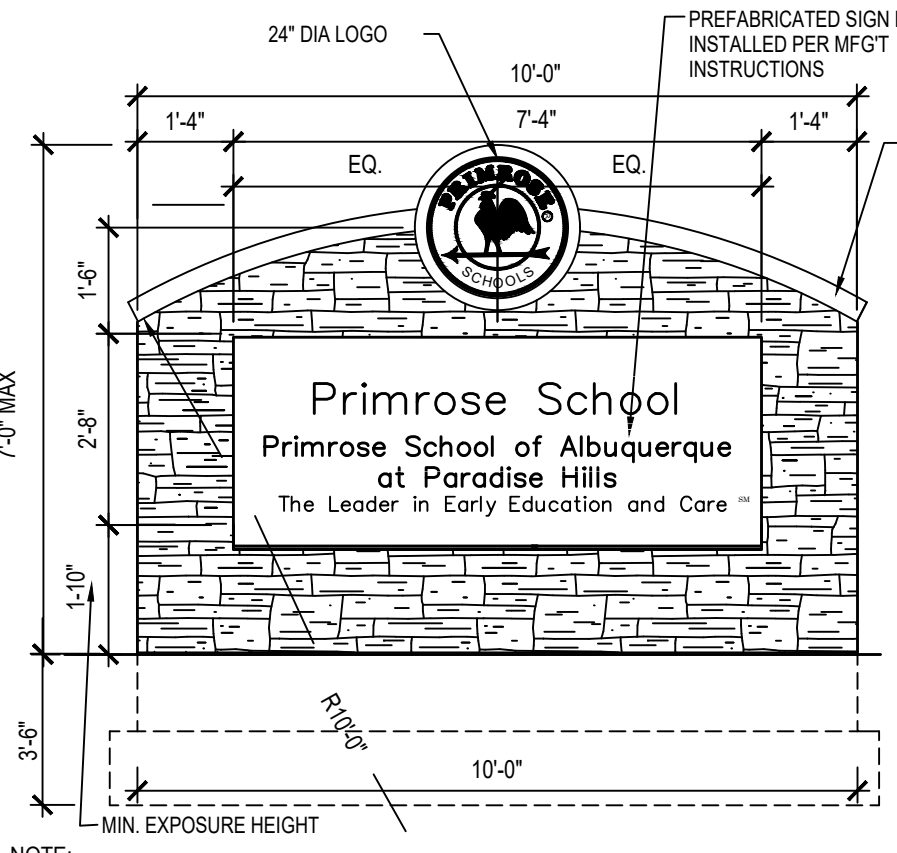
D EAST ELEVATION



3 TRASH ENCLOSURE
 3/8" = 1'-0"



4 MONUMENT SIGN
 3/8" = 1'-0"



SIGN SPECIFICATIONS:	
LOGO	24" DIAMETER, SANDBLASTED - TATE OLIVE ON BEIGE BACKGROUND
LETTERS	DARK BRONZE 5" HIGH, STYLE: TIMES BOLD
STRIP LETTERS (THE LEADER N...)	2.5" HIGH, STYLE: TIMES BOLD DARK BRONZE LETTERS
BACKGROUND	BEIGE PAINTED METAL
STONE SPECIFICATION	SAME AS BUILDING

SIGN AREAS (ONE SIDE)	
LOGO	2'-8" x 7'-4" = 19 S.F.
LETTERS	2'-8" x 7'-4" = 19 S.F.
STRIP LETTERS	2'-8" x 7'-4" = 19 S.F.
BACKGROUND	22.14 SF X 2 = 44.28 SF

PRIMROSE SCHOOL of Albuquerque at Paradise Hills ELEVATIONS

Prepared for:



Primrose School
 Franchising Company
 3660 Cedarcrest Road
 Acworth, Georgia 30101

Prepared by:

Children's Design Group
 Mark D. Pavey, A.I.A. - Architect
 PO BOX 1365
 Gulf Shores, AL 36547

