



DEVELOPMENT REVIEW BOARD APPLICATION

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	
<input type="checkbox"/> Major - Final Plat (Form S1)	<input checked="" type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS		APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to IDO (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Extension of Infrastructure List		

APPLICATION INFORMATION		
Applicant: Paradise Hills Holding Company		Phone: 713-464-7757
Address: 10355 Centrepark Dr Suite 200		Email: MichaelM@primroseparadisehills.com
City: Houston	State: TX	Zip: 77043
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park Pl NE		Email: jniski@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site:		List all owners:
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: TR A-1 Plat for TR A-1 Albuquerque West Unit 2		Block:
Subdivision/Addition:		Unit:
MRGCD Map No.:		UPC Code: 101306409028520304
Zone Atlas Page(s): C-13-Z	Existing Zoning: NR-C	Proposed Zoning NR-C
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 3.48
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 4570 Paradise Blvd	Between: Paradise	and: Paseo Del Norte
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
1004000,		


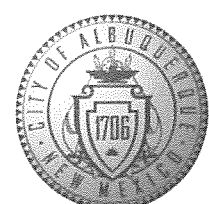
Signature:		Date: 11/16/2020
Printed Name: Ronald R. Bohannon		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY		
Case Numbers	Action	Fees
SD-2020-00199	EIIA	\$350
Meeting Date: December 16, 2020		Fee Total: \$350
Staff Signature: Vanessa A Segura	Date: 11/17/2020	Project # PR-2018-001183

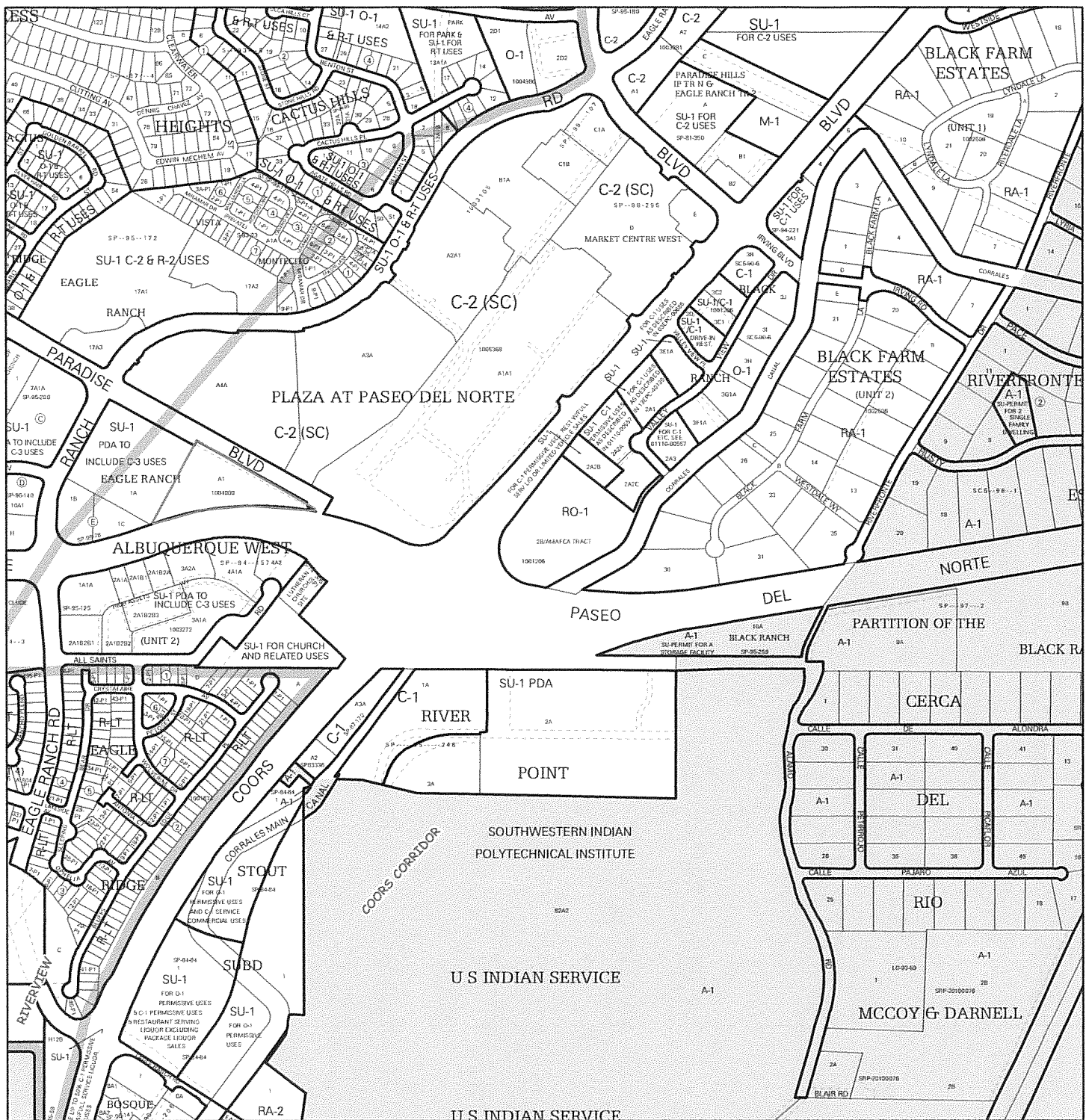
FORM S1: SUBDIVISION OF LAND – MAJOR

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

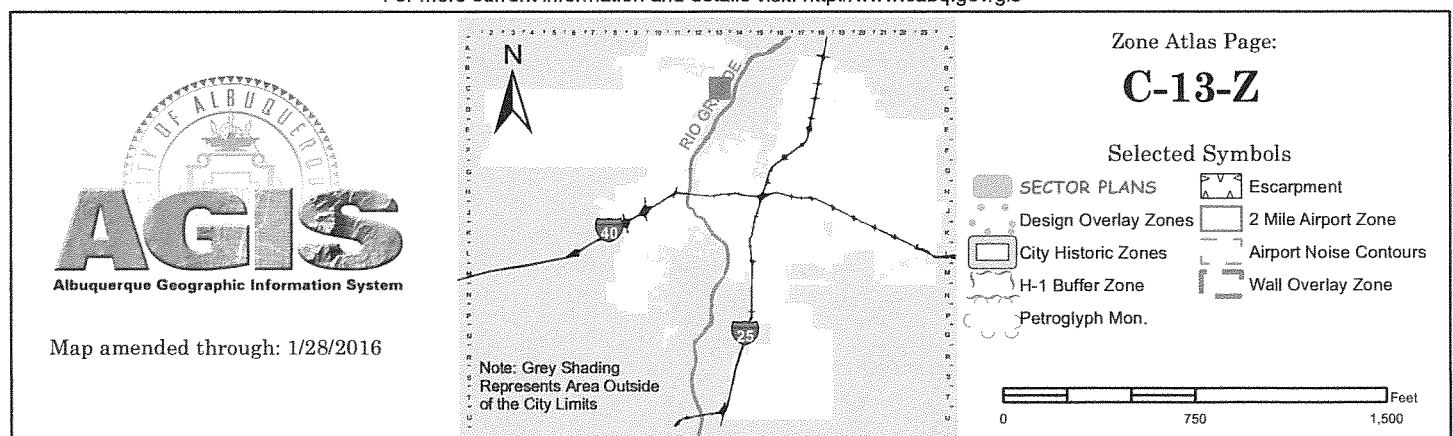
>> INFORMATION REQUIRED FOR ALL MAJOR SUBDIVISION REQUESTS

- ☒ N/A Interpreter Needed for Meeting? _____ if yes, indicate language: _____
- ☒ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P1 at the front followed by the remaining documents in the order provided on this form.
- ☒ Zone Atlas map with the entire site clearly outlined and labeled
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Sign Posting Agreement
- ☐ MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL
- ☐ MAJOR AMENDMENT TO PRELIMINARY PLAT
- ___ Sites 5 acres or greater: Archeological Certificate in accordance with IDO Section 14-16-6-5(A)
 - ___ TIS Traffic Impact Study Form
 - ___ Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
 - ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(J)
 - ___ Proof of Sketch Plat per IDO Section 14-16-6-6(J)(2)(b)
 - ___ Required notices with content per IDO Section 14-16-6-4(K)(6)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Copy of notification letter and proof of first class mailing
 - ___ Proof of emailed notice to affected Neighborhood Association representatives
 - ___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing
 - ___ Preliminary Plat including the Grading Plan with property owner's and City Surveyor's signatures on the plat (7 copies, 24" x 36" folded)
 - ___ Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
 - ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
 - ___ Landfill disclosure statement on the plat per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
 - ___ Proposed Infrastructure List
- ☐ EXTENSION OF PRELIMINARY PLAT
- ☒ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION
- For temporary sidewalk deferral extension, use Form V.**
- ☒ Letter describing, explaining, and justifying the request per IDO Sections 14-16-6-4(W) and 14-16-6-6(J)
 - ☒ Copy of the Official DRB Notice of Decision for any prior approvals
 - ☒ Required notices with content per IDO Section 14-16-6-4(K)(6)
 - ☒ Office of Neighborhood Coordination notice inquiry response
 - ☒ Copy of notification letter and proof of first class mailing
 - ☒ Proof of emailed notice to affected Neighborhood Association representatives
 - ☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing
 - ☒ Preliminary Plat or site plan reduced to 8.5" x 11"
 - ☒ Copy of DRB approved infrastructure list

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.	
Signature: 	Date: 11/16/2020
Printed Name: <u>Ronald R. Bohannon</u>	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers: SD-2020-00199	Project Number: PR-2018-001183
	
Staff Signature: <u>Vanessa A Segura</u>	
Date: 11/17/2020	



For more current information and details visit: <http://www.cabq.gov/gis>



Paradise Hills Holding Company, Inc.
10355 Centrepark Drive, Suite 200
Houston, Texas 77043

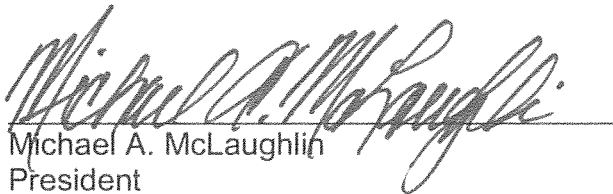
November 11, 2020

Ms. Jolene Wolfley, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: 4570 PARADISE BLVD
TR A-1 PLAT FOR TR A-1
ZONE ATLAS PAGE: C-13-Z**

Dear Ms. Wolfley:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Paradise Hills Holding Company pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.


Michael A. McLaughlin
President

November 11, 2020

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____.

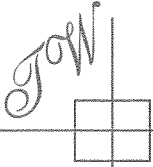
5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

(Applicant or Agent) 11/16/2020
(Date)

I issued 2 signs for this application, 11/17/2020 Vanessa A Segura
(Date) (Staff Member)



TIERRA WEST, LLC

November 16, 2020

Ms. Jolene Wolfley, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: EXTENSION OF INFRASTRUCTURE LIST
4550 PARADISE BLVD. NW ALBUQUERQUE, NM 87114
ZONE ATLAS PAGE C-13-Z**

Dear Ms. Wolfley:

Tierra West LLC, on behalf of Paradise Hills Holding Company, Inc., requests approval of a Extension of Infrastructure List for the above-referenced site for the future development of the Primrose School. The site is located at Paradise Boulevard and Paseo Del Norte, the property is zoned SU-1 for PDA and C-3 Uses.

The School has been unable to go to construction while dealing with the Covid-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me at 505-858-3100.

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2017092
RRB/jn/kw

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

OFFICIAL NOTICE OF DECISION

PROJECT #1004000

March 14, 2013

Page 7 of 14

protect environmental carrying capacities. Scenic views to the mountains have been preserved.

- c. Policy II.B.5.e - development contiguous to existing facilities and services. The development is proposed on vacant land served by existing infrastructure.
- d. Policy II.B.5.i - employment and service uses/complement residential areas. The proposed development will add new employment opportunities in an area zoned for commercial uses and adjacent to a community activity center.
- e. Policy II.B.5.k - land adjacent to arterial streets shall be planned to minimize harmful effects of traffic. Land adjacent to arterial streets has been planned to minimize the harmful effects of traffic and improve livability; the property accesses the adjacent local street and has no direct connection to the limited-access Paseo del Norte.
- f. Policy II.B.5.l - Quality and innovation in design. The request furthers this policy by proposing a development that exhibits design quality in the building articulation, site layout, and landscaping design.
- g. Policy II.B.5.m - unique vistas/quality of the visual environment. By placing the buildings towards Paradise Blvd., views of the Sandia Mountains from Paseo del Norte will be preserved. Views of the Manzano Mountains from Paradise Blvd. will be largely unaffected.
- h. The request is partially inconsistent with the following Comprehensive Plan Activity Center goal and policy:
 - i. Activity Centers Goal: The request is within the boundaries of the WWSP Paseo del Norte Community Activity Center. The Goal for Activity Centers is to create a node of density where mixed use activities help to reduce urban sprawl and reliance on the automobile. The site plan proposes a recreational service use and future retail. The site plan, as proposed, would negatively impact the feasibility of a future High Capacity Transit line in the Paradise right-of-way. Requiring dedication of right-of-way concurrent with development would both reduce service costs be associated with future purchase of the right-of-way and also help reduce auto travel needs through provision of frequent transit service in the Paseo del Norte Activity Center.
 - ii. Policy II B.7 g - Activity Centers shall be developed in accordance with more specific sub-area planning efforts: The proposed site should be developed consistently with the ongoing Paseo del Norte High Capacity Transit planning effort, see the right-of-way consideration discussion on page 11.

- 8. The request generally furthers the following policies of the West Side Strategic Plan:

OFFICIAL NOTICE OF DECISION

PROJECT #1004000

March 14, 2013

Page 8 of 14

- a. Policy 1.1 and 1.3 - community areas and clustered commercial development. The subject site is within the Paradise Community Activity Center. The request proposes commercial and service uses, which are appropriate at this location.
 - b. Policy 1.5 - pedestrian and bicycle access to key activity areas. The proposed site development plan incorporates pedestrian and bicycle access into the development. Parking is located behind the buildings, and convenient pedestrian and bicycle access are provided from the public right-of-way to the building entrances. However, the pedestrian access between the two phases of development could be improved.
9. The request is inconsistent with the following West Side Strategic Plan policy:
 - a. Policy 3.9 – interagency coordination to resolve critical road issues. MRCOG is in the process of completing a High Capacity Transit Corridor Study, and the subject site is within the study area. A high frequency transit line will likely be routed along Paradise Blvd. adjacent to the subject site. Paradise Blvd. narrows in front of the subject site. MRCOG has commented that providing a consistently wide road ROW would provide more options for the transit capital improvements that are being studied.
10. The request generally furthers the following policies of the Coors Corridor Plan:
 - a. Environmental Policy 7 – minimize grading. Site topography is generally consistent with the existing conditions, and the extent of grading is minimized.
 - b. Visual Impressions Policy A.1 & A.2 - views within and beyond the corridor. The request proposes an attractive development within the Corridor that respects views to the site from Paradise Blvd. and Paseo del Norte. There are no views of the site from Coors Blvd.
 - a. Visual Impressions Policy A.3 - new development/design regulations/guidelines. The site is designed with a variety of natural colors and materials, and as such, is compatible with the natural landscape. Where inconsistencies exist, conditions of approval can resolve the discrepancies.
 - b. Visual Impressions Policy B.2 - building setback, height and bulk. The site plan has a well-designed relationship among the buildings and the roadway that preserves desirable visual impressions in the area.
11. The request is inconsistent with the following Coors Corridor Plan policy:
 - a. Land Use Policy 5 - development intensity/compatibility. The proposed development intensity and site design are generally compatible with existing zoning and the site's

OFFICIAL NOTICE OF DECISION

PROJECT #1004000

March 14, 2013

Page 9 of 14

location within a WSSP Community Activity Center. However, the easternmost driveway may not be compatible with anticipated transit infrastructure. The chain link fence is also not compatible with the WSSP fence materials list (pg. 173) and the adjacent property's perimeter fence.

- b. Environmental Policy 9 - public transportation and transportation management program. Dedication of additional right-of-way for the Paradise Blvd. may be warranted to implement the Paseo del Norte High Capacity Transit Line.
12. The request generally complies with the Coors Corridor Design Overlay Zone regulations. Where inconsistencies exist, conditions of approval can be used to resolve the discrepancies.
13. MRCOG is currently studying the area as part of a high-capacity transit study, and has identified Paradise Blvd. as a potential transit route in two of the three preferred alternatives. Dedication of right-of-way along Paradise Blvd. could create a consistent road right-of-way width, which would facilitate development of a transit corridor if Paradise Blvd. is selected as the preferred alternative. Dedication of right-of-way would not adversely impact the proposed development.
14. In order for this site plan to be consistent with the policies of the West Side Strategic Plan and the Coors Corridor Plan, which require interagency coordination with MRCOG to resolve transportation related issues, dedication of right-of-way should be provided (WSSP Policy 3.9, CCP Environmental Policy 9, CCP Land Use Policy 5).
15. Property owners within 100 feet of the subject site, Taylor Ranch NA, and the Westside Coalition of NA's were notified. A facilitated meeting was held on February 22, 2013. Residents expressed concerns about the capacity of the wastewater system and adding new uses as well as MRCOG's consideration of Paradise Blvd. as a transit route in the High Capacity Transit Study.

CONDITIONS OF APPROVAL – 13EPC-40093 – March 14, 2013 – Site Development Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been

OFFICIAL NOTICE OF DECISION

PROJECT #1004000

March 14, 2013

Page 10 of 14

made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Pedestrian Access & Amenities:
 - a. A pedestrian walkway, minimum of 10 feet in width, shall be provided along the entire length of the major building façade on Tract A-1-A, §14-16-3-18(C)(1)(a). A note shall be added to the site plan that indicates the 10-foot walkway and other related pedestrian features shall be relocated if the building is expanded in a future phase.
 - b. The pedestrian walkway between the two Tracts shall be relocated so that it is a more direct route between the two building entrances and also so that it crosses drive aisles perpendicularly.
 - c. The patio space on Tract A-1-A shall be relocated to the front building setback near Paradise Blvd., where it would have the benefit of being in a more open and visible location near the landscaped portion of the site.
 - d. The sidewalk shall be relocated so that the street trees are between the sidewalk and the vehicular travel lanes - improving pedestrian safety and compliance with street tree ordinance.
4. Walls and Fences: The existing chain link fence provides visibility into the site and additional casual surveillance of the area. However, similar benefits could be provided with a wrought-iron fence, which would coordinate with the perimeter fence around the adjacent property. This is required for consistency with the West Side Strategic Plan fence materials list and CCP Land Use Policy 5.
5. Landscaping:
 - a. The phase lines for development do not correspond to the phasing shown on the Site Plan sheet. The extent of landscaping and parking lot improvements shall be clarified and shall be consistent on all sheets.
 - b. Street trees shall be placed between the curb and the public sidewalk and in the parkway, unless traffic safety requires different locations of trees. §6-6-2-5(B).

OFFICIAL NOTICE OF DECISION

PROJECT #1004000

March 14, 2013

Page 11 of 14

- c. Additional landscaping is required to achieve the minimum 75% live, vegetative material groundcover requirement in the southern landscape buffer along Paseo del Norte. Tree canopy does not count, §14-16-3-10.
 - d. Autumn Purple Ash and Spartan Juniper are high pollen producers. These trees shall be replaced with less allergenic species. If possible, the replacement species shall coordinate with the plant palette on the north side of Paradise Blvd.
6. Architecture:
- a. The architectural elevations for Tract A-1-A are labeled incorrectly. The cardinal directions for each building façade shall be corrected. Also, "Singage" is misspelled on Sheet A2.02.
 - b. A note shall be added to the Site Plan that indicates the architectural design shall be compatible with Phase I development on Tract A-1-A. It shall be similar in color and material to the first building on the site and have a similar level of articulation and detail. Future buildings shall be consistent with the General Building Regulations, §14-16-3-18.
 - c. Major facades greater than 100 feet in length shall incorporate outdoor seating adjacent to at least one of the facades, a minimum of one seat per 25 linear feet of building façade, §14-16-3-18(C)(3).
7. Signage: The signage plan shall indicate: "A total of ten items of information allowed per premise frontage may be displayed on a combination of ground signs, wall signs, and projecting signs. Directional signs are not counted. An item of information means any of the following: a word, an abbreviation, a number, a symbol, or a geometric shape."
8. Conditions from City Engineer, Municipal Development and NMDOT:
- a. Provide 6 ft. of unobstructed ADA accessible pedestrian pathway from the COA ROW to the nearest building entrance.
 - b. Provide 6 ft. of unobstructed ADA accessible pedestrian pathways from all ADA parking stalls to nearest building entrance.
 - c. Provide 6 ft. of unobstructed ADA accessible pedestrian pathway connections between buildings to provide accessible connectivity.
 - d. Revise note #9 "All future development shall be delegated to the Development Review Board."
 - e. Provide detail drawings of ADA access ramps abutting parking stalls.

OFFICIAL NOTICE OF DECISION

PROJECT #1004000

March 14, 2013

Page 12 of 14

- f. Please consider realigning the construction phase line to include both curb returns at the westerly access off of Paradise Blvd., as well as the adjoining sidewalk from the eastern curb return and pedestrian path leading to the Shooting Range Building. The COA ROW infrastructure: roadway, curb, gutter, valley gutters, sidewalk, ADA accessible ramps with truncated domes and pavement markings will be included with the phasing line alignment.
 - g. Provide/label/detail all dimensions, classifications and proposed infrastructure within the site. Please include the following: width of sidewalk at entrance to proposed building phase 1 (a 6 ft. min. required), label keyway clearance width at dead-end parking stalls (a 5 ft. min. clearance required), demonstrate adequate clearance between trash enclosure door swing and perpendicular parking stall, and provide dimensional information to ensure the overhang of parked vehicles onto pedestrian pathways maintains 6 feet of unobstructed ADA accessible width.
 - h. Please clarify note #5 regarding construction materials for pedestrian pathways.
 - i. Please provide a note to clarify that the phase one construction will include the full sidewalk and parking area adjacent to the "future addition" with the certificate of occupancy for the Indoor Shooting Range.
 - j. A Shared Parking Agreement will be required.
 - k. The response letter (02/27/13) to EPC comments included "The largest delivery truck anticipated for the site is a WB-30 or panel truck." Please note that WB-30 is correctly referenced as SU-30. Also, have you received access approval from the Fire Department?
 - l. Phase line on SPBP does not match phase line on Landscaping Plan.
 - m. Right-of-way dedication may be required on Paradise Blvd. Ref. to DPM Table 23.2.1A Note (4).
 - n. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
9. Conditions from the Police Department:
- a. Recommend relocating any tree variety landscaping adjacent to pole light locations. As the tree matures it will eventually obscure or diminish illumination. All lower-level bush variety landscaping should be maintained to a level no more than 3' off the ground to allow for the best possible natural surveillance.
 - b. External property video surveillance cameras should be positioned to cover all vehicle access points, parking lots (including each side of the building, which has

OFFICIAL NOTICE OF DECISION

PROJECT #1004000

March 14, 2013

Page 13 of 14

reduced natural surveillance), walkways, common and maintenance areas, building entrance walk-up and all other areas deemed important to the operation. Each camera image should be monitored in a variety of locations inside the business and recorded for real-time and historical use.

10. Conditions from AMAFCA: AMAFCA notes that some stormwater runoff in Paradise Boulevard currently flows through this tract. The engineer shall ensure that the flow stays in the roadway and does not flank the proposed curb. Also, the runoff from the lot to the west may not be cut off by the curb. It currently drains through a pipe that outfalls to the existing roadside swale.
11. Conditions from PNM: The applicant shall coordinate with PNM's New Service Delivery Department regarding proposed tree location and height, sign location and height, and lighting height in order to ensure sufficient safety clearances with the existing overhead distribution facilities on the property. Trees indicated on the Landscape Plan Sheet 3 are not a compatible height with the existing overhead utilities particularly on the north side of the property along Paradise Blvd. NW. A shorter tree selection is recommended at this location.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MARCH 29, 2013** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC's RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC's DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF

OFFICIAL NOTICE OF DECISION

PROJECT #1004000

March 14, 2013

Page 14 of 14

APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,



for Suzanne Lubar
Acting Director, Planning Department

SL/CB/mc

cc: Land Reserve of New Mexico, 11024 Montgomery NE, Albuquerque, NM 87111
Ray Shortridge, 4800 College Heights Dr. NW, Albuquerque, NM 87120
Rene Horvath, 5515 Palomino Dr. NW, Albuquerque, NM 87120
Gerald Worrall, 1039 Pinatubo Pl. NW, Albuquerque, NM 87120
Candelaria Patterson, 7608 Elderwood NW, Albuquerque, NM 87120
Leslie Wafer & Ben Terry, 9270 Eagle Ranch Rd NW, Albuquerque, NM 87114

Kristl Walker

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Monday, November 9, 2020 4:01 PM
To: Kristl Walker
Subject: 4570 Paradise Blvd Public Notice Inquiry
Attachments: Page_C-13-Z.PDF

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	C
Westside Coalition of Neighborhood Associations	Rene	Horvath	✓aboard111@gmail.com	✓5515 Palomino Drive NW	A 8
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	✓ekhaley@comcast.net	✓6005 Chaparral Circle NW	A 8
Taylor Ranch NA	Rene	Horvath	✓aboard111@gmail.com	✓5515 Palomino Drive NW	A 8
Taylor Ranch NA	Diana	Shea	✓secretary@trna.org	✓5113 Spinning Wheel Road NW	A 8
Paradise Hills Civic Association	Maria	Warren	✓samralphroxy@yahoo.com	✓5020 Russell Drive NW	A 8
Paradise Hills Civic Association	Tom	Anderson	✓ta_a@msn.com	✓10013 Plunkett Drive NW	A 8

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template meeting requirement in the integrated development ordinance [meeting requirement in the integrated development ordinance](#)

If you have questions about what type of notification is required for your particular project, please click on the <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails to your permit application for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application including meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department with any questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual meetings. The health and safety of the community is paramount.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Monday, November 09, 2020 3:27 PM

To: Office of Neighborhood Coordination <kwalker@tierrawestllc.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for
Contact Name

Kristl Walker

Telephone Number

5058583100

Email Address

kwalker@tierrawestllc.com

Company Name

Tierra West LLC

Company Address

5571 Midway Park Pl

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TR A-1

Physical address of subject site:

4570 Paradise Blvd

Subject site cross streets:

Paradise Blvd & Paseo del Norte
Other subject site identifiers:
This site is located on the following zone atlas page:
C-13-Z

=====
This message has been analyzed by Deep Discovery Email Inspector.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Westside Coalition of Neighborhood Associations

Name of NA Representative*: Rene Horvath

Email Address* or Mailing Address* of NA Representative¹: 5515 Palomino Drive NW
Alb, NM 87120

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1 Plat for TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²:

The School has been unable to go to construction while dealing with the COVID-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 16, 2020 @ 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<http://ftpserver.tierrawestllc.com/> user name: Primrose Password: Neighbor123

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ C-13-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]
Taylor Ranch NA
Paradise Hills Civic Association

⁶ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Westside Coalition of Neighborhood Associations

Name of NA Representative*: Elizabeth Haley

Email Address* or Mailing Address* of NA Representative¹: 6005 Chaparral Circle NW
Alb, NM 87114

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1 Plat for TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*: _____

The School has been unable to go to construction while dealing with the COVID-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE) ☒ Development Review Board (DRB)
☐ Landmarks Commission (LC) ☐ Environmental Planning Commission (EPC)

Date/Time*: December 16, 2020 @ 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<http://ftpserver.tierrawestllc.com/> user name: Primrose Password: Neighbor123

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]
Taylor Ranch NA
Paradise Hills Civic Association

⁶ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Taylor Ranch NA

Name of NA Representative*: Rene Horvath

Email Address* or Mailing Address* of NA Representative¹: 5515 Palomino Drive NW
Alb, NM 87120

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1 Plat for TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*:

The School has been unable to go to construction while dealing with the COVID-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 16, 2020 @ 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<http://ftpserver.tierrawestllc.com/> user name: Primrose Password: Neighbor123

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]
Taylor Ranch NA
Paradise Hills Civic Association

⁶ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Taylor Rancho NA

Name of NA Representative*: Diana Shea

Email Address* or Mailing Address* of NA Representative¹: 5113 Spinning Wheel Road NW
Alb, NM 87120

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1 Plat for TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²:

The School has been unable to go to construction while dealing with the COVID-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 16, 2020 @ 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<http://ftpserver.tierrawestllc.com/> user name: Primrose Password: Neighbor123

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]
Taylor Ranch NA
Paradise Hills Civic Association

⁶ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Paradise Hills Civic Association

Name of NA Representative*: Maria Warren

Email Address* or Mailing Address* of NA Representative¹: 5020 Russell Drive NW
Alb, NM 87114

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1 Plat for TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²:

The School has been unable to go to construction while dealing with the COVID-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE) ☒ Development Review Board (DRB)
☐ Landmarks Commission (LC) ☐ Environmental Planning Commission (EPC)

Date/Time*: December 16, 2020 @ 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<http://ftpserver.tierrawestllc.com/> User ID- Primrose Password - Neighbor123

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]
Taylor Ranch NA
Paradise Hills Civic Association

⁶ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Paradise Hills Civic Association

Name of NA Representative*: Tom Anderson

Email Address* or Mailing Address* of NA Representative¹: 10013 Plunkett Drive NW
Alb, NM 87114

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1 Plat for TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*: _____

The School has been unable to go to construction while dealing with the COVID-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 16, 2020 @ 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<http://ftpserver.tierrawestllc.com/> User ID- Primrose Password - Neighbor123

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ C-13-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

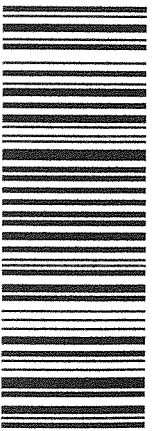
IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]
Taylor Ranch NA
Paradise Hills Civic Association

⁶ Available here: <https://tinyurl.com/idozoningmap>

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



7019 2280 0001 2943 1117
7019 2280 0001 2943 1117



U.S. Postal ServiceTM
CERTIFIED MAIL[®] RECEIPT
Domestic Mail Only
For delivery information, visit our website at www.usps.com.

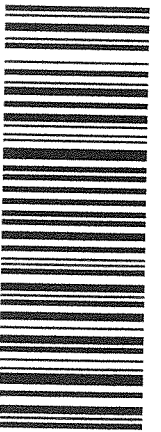
OFFICIAL USE

Certified Mail Fee		\$ 3.58
Extra Services & Fees (check box, add fee as appropriate)		\$ 2.85
<input checked="" type="checkbox"/> Return Receipt (hardcopy)		
<input type="checkbox"/> Return Receipt (electronic)		
<input type="checkbox"/> Certified Mail Restricted Delivery		
<input type="checkbox"/> Adult Signature Required		
<input type="checkbox"/> Adult Signature Restricted Delivery		
Postage		\$ 2.20
Total Postage and		\$ 8.60
Sent To		Rene Horvath
Street and Apt. No		Taylor Ranch NA
City, State, ZIP+4 [®]		5515 Palomino Drive NW Albuquerque, NM 87120

PS Form 3800, A

Rene
Taylor
5515
Albuq

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



7019 2280 0001 2943 1216
7019 2280 0001 2943 1216

PS Form 3800, A

City, State, ZIP+4[®] Albuquerque, NM 87120

Street and Apt. No. 5515 Palomino Drive NW

Sent To Westside Coalition of NA

Total Postage and Fees \$ 2.20

Postage \$ 2.20

Extra Services & Fees (check box, add fee as appropriate)

☒ Return Receipt (hardcopy) \$ 2.85

☐ Return Receipt (electronic)

☐ Certified Mail Restricted Delivery

☐ Adult Signature Required

☐ Adult Signature Restricted Delivery

Certified Mail Fee \$ 3.55

Postmark Here

OFFICIAL USE

For delivery information, visit our website at www.usps.com

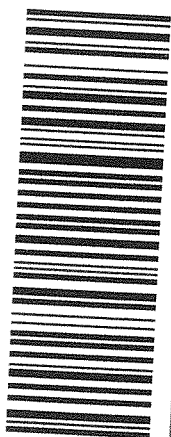
Domestic Mail Only

U.S. Postal Service[™]

CERTIFIED MAIL[®] RECEIPT



TIERRA West, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE NM 87109



7019 2280 0001 2943 1100
 7019 2280 0001 2943 1100

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT
 Domestic Mail Only
 For delivery information, visit our website at www.usps.com®

OFFICIAL USE

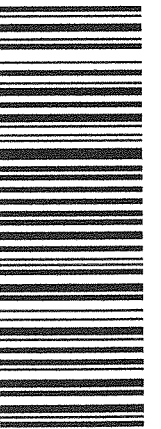
Certified Mail Fee	\$ 3.55
Extra Services & Fees (check box, add fees as appropriate)	\$ 2.88
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ 2.20
Total Postage and Fees	\$ 8.60
Sent to	Elizabeth Haley
Street and Apt. No.	6005 Chaparral Circle NW
City, State, ZIP+4®	Albuquerque, NM 87114

PS Form 3800, 7/10

Postmark
 Here



TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE NM 87109



7019 2280 0001 2943 1124
 7019 2280 0001 2943 1124

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

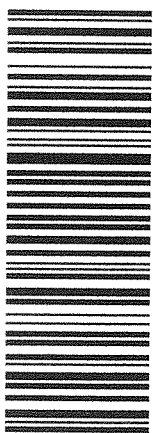
Certified Mail Fee	\$ 3.55
Extra Services & Fees (check box, add fee to appropriate)	\$ 2.85
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ 2.20
Total Postage and Fees	\$ 8.60
Sent To	Taylor Ranch NA
Street and Apt. No.,	5113 Spinning Wheel Road NW
City, State, ZIP+4®	Albuquerque, NM 87120

PS Form 3800, Apr 2008

Postmark Here
 Dia
 Ta
 51
 Alt



TIERRA West, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE NM 87109



7019 2280 0001 2943 1131
 7019 2280 0001 2943 1131

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee		\$ 3.55
Extra Services & Fees (check box, add fee as appropriate)		\$ 2.85
<input checked="" type="checkbox"/> Return Receipt (hardcopy)		
<input type="checkbox"/> Return Receipt (electronic)		
<input type="checkbox"/> Certified Mail Restricted Delivery		
<input type="checkbox"/> Adult Signature Required		
<input type="checkbox"/> Adult Signature Restricted Delivery		
Postage		\$ 2.20
Total Postage and Fees		\$ 8.60
Sent To		Maria Warren
Street and Apt. N		5020 Russell Drive NW
City, State, ZIP+4		Albuquerque, NM 87114

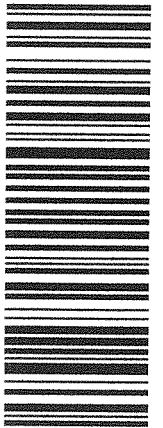
PS Form 3800, 11-10

Maria Y
 Paradise
 5020 R
 Albuqu

Postmark
 Here



TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



7019 2280 0001 2943 1148
7019 2280 0001 2943 1148

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee		\$ 3.55
Extra Services & Fees (check box, add fees as appropriate)		\$ 2.85
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage		\$ 2.20
Total Postage and Fees		\$ 8.60
Sent To		Tom Anderson
Street and Apt. 1		10013 Plunkett Drive NW
City, State, ZIP+		Albuquerque, NM 87114

PS Form 3800

Postmark Here



[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Paradise Hills Civic Association

Name of NA Representative*: Maria Warren

Email Address* or Mailing Address* of NA Representative¹: samralphroxy@yahoo.com

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1 Plat for TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²:

The School has been unable to go to construction while dealing with the COVID-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 16, 2020 @ 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<http://ftpserver.tierrawestllc.com/> User ID- Primrose Password - Neighbor123

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ C-13-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]
Taylor Ranch NA
Paradise Hills Civic Association

⁶ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Paradise Hills Civic Association

Name of NA Representative*: Tom Anderson

Email Address* or Mailing Address* of NA Representative¹: ta_a@msn.com

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1 Plat for TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*: _____

The School has been unable to go to construction while dealing with the COVID-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 16, 2020 @ 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<http://ftpserver.tierrawestllc.com/> User ID- Primrose Password - Neighbor123

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ C-13-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]
Taylor Ranch NA
Paradise Hills Civic Association

⁶ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Taylor Ranch NA

Name of NA Representative*: Diana Shea

Email Address* or Mailing Address* of NA Representative¹: secretary@trna.org

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1 Plat for TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*: _____

The School has been unable to go to construction while dealing with the COVID-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE) ☒ Development Review Board (DRB)
☐ Landmarks Commission (LC) ☐ Environmental Planning Commission (EPC)

Date/Time*: December 16, 2020 @ 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<http://ftpserver.tierrawestllc.com/> user name: Primrose Password: Neighbor123

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]
Taylor Ranch NA
Paradise Hills Civic Association

⁶ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Taylor Ranch NA

Name of NA Representative*: Rene Horvath

Email Address* or Mailing Address* of NA Representative¹: aboard111@gmail.com

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1 Plat for TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*: _____

The School has been unable to go to construction while dealing with the COVID-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 16, 2020 @ 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<http://ftpserver.tierrawestllc.com/> user name: Primrose Password: Neighbor123

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] 3.48
- 2. IDO Zone District NR-C
- 3. Overlay Zone(s) [if applicable] N/A
- 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]
Taylor Ranch NA
Paradise Hills Civic Association

⁶ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Westside Coalition of Neighborhood Associations

Name of NA Representative*: Elizabeth Haley

Email Address* or Mailing Address* of NA Representative¹: ekhaley@comcast.net

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1 Plat for TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*:

The School has been unable to go to construction while dealing with the COVID-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE) ☒ Development Review Board (DRB)
☐ Landmarks Commission (LC) ☐ Environmental Planning Commission (EPC)

Date/Time*: December 16, 2020 @ 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<http://ftpserver.tierrawestllc.com/> user name: Primrose Password: Neighbor123

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A
- ☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]
Taylor Ranch NA
Paradise Hills Civic Association

⁶ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Westside Coalition of Neighborhood Associations

Name of NA Representative*: Rene Horvath

Email Address* or Mailing Address* of NA Representative¹: aboard111@gmail.com

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1 Plat for TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*: _____

The School has been unable to go to construction while dealing with the COVID-19 crisis. They intend to begin construction the first quarter of 2021 assuming the pandemic slows down and they are able to complete the construction safely.

¹ Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE) ☒ Development Review Board (DRB)
☐ Landmarks Commission (LC) ☐ Environmental Planning Commission (EPC)

Date/Time*: December 16, 2020 @ 9:00am

Location*³: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

<http://ftpserver.tierawestllc.com/> user name: Primrose Password: Neighbor123

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁵ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A
- ☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]
Taylor Ranch NA
Paradise Hills Civic Association

⁶ Available here: <https://tinurl.com/idozoningmap>

From: Kristl Walker
Sent: Tuesday, November 17, 2020 9:11 AM
To: 'aboard111@gmail.com'; 'ekhaley@comcast.net'
Cc: Jaimie Garcia; Ron Bohannon ; Jon Niski
Subject: 2017092 Primrose School Westside Coalition Neighborhood Email
Attachments: Westside Coaliton of NA.pdf; 2017092 11-16-20 IIA Extension Submittal.pdf

Here is a link that has additional information.

<http://ftpserver.tierrawestllc.com/>

User ID:

Primrose

Password:

Neighbor123

Kristl Walker

Administrative Assistant

Tierra West, LLC

5571 Midway Park Place NE

Albuquerque, NM 87109

505-858-3100 Office

505-858-1118 Fax

kwalker@tierrawestllc.com

From: Kristl Walker
Sent: Tuesday, November 17, 2020 9:11 AM
To: 'aboard111@gmail.com'; secretary@trna.org
Cc: Jaimie Garcia; Jon Niski; Ron Bohannon
Subject: 2017092 Primrose School Taylor Ranch Neighborhood Email
Attachments: Taylor Ranch NA.pdf; 2017092 11-16-20 IIA Extension Submittal.pdf

Here is a link that has additional information.

<http://ftpserver.tierrawestllc.com/>

User ID:

Primrose

Password:

Neighbor123

Kristl Walker

Administrative Assistant

Tierra West, LLC

5571 Midway Park Place NE

Albuquerque, NM 87109

505-858-3100 Office

505-858-1118 Fax

kwalker@tierrawestllc.com

From: Kristl Walker
Sent: Tuesday, November 17, 2020 9:11 AM
To: samralphroxy@yahoo.com; ta_a@msn.com
Cc: Jaimie Garcia; Jon Niski; Ron Bohannon
Subject: 2017092 Primrose School Paradise Hills civic Neighborhood Email
Attachments: Paradise Hills Civic.pdf; 2017092 11-16-20 IIA Extension Submittal.pdf

Here is a link that has additional information.

<http://ftpserver.tierrawestllc.com/>

User ID:

Primrose

Password:

Neighbor123

Kristl Walker

Administrative Assistant

Tierra West, LLC

5571 Midway Park Place NE

Albuquerque, NM 87109

505-858-3100 Office

505-858-1118 Fax

kwalker@tierrawestllc.com

Kristl Walker

From: Mail Delivery System <MAILER-DAEMON@exrmf-va-1-2.serverdata.net>
To: samralphroxy@yahoo.com
Sent: Tuesday, November 17, 2020 9:12 AM
Subject: Relayed: 2017092 Primrose School Paradise Hills civic Neighborhood Email

Delivery to these recipients or groups is complete, but no delivery notification was sent by th

samralphroxy@yahoo.com

Subject: 2017092 Primrose School Paradise Hills civic Neighborhood Email



Message Headers

Kristl Walker

From: Microsoft Outlook
To: secretary@trna.org
Sent: Tuesday, November 17, 2020 9:12 AM
Subject: Relayed: 2017092 Primrose School Taylor Ranch Neighborhood Email

Delivery to these recipients or groups is complete, but no delivery notification was sent by th

secretary@trna.org (secretary@trna.org)

Subject: 2017092 Primrose School Taylor Ranch Neighborhood Email



2017092 Primrose
School Taylor...

Kristl Walker

From: Mail Delivery System <MAILER-DAEMON@exrmf-va-1-3.serverdata.net>
To: aboard111@gmail.com
Sent: Tuesday, November 17, 2020 9:13 AM
Subject: Relayed: 2017092 Primrose School Taylor Ranch Neighborhood Email

Delivery to these recipients or groups is complete, but no delivery notification was sent by th

aboard111@gmail.com

Subject: 2017092 Primrose School Taylor Ranch Neighborhood Email



Message Headers

Kristl Walker

From: Mail Delivery System <MAILER-DAEMON@exrmf-va-1-1.serverdata.net>
To: aboard111@gmail.com; ekhaley@comcast.net
Sent: Tuesday, November 17, 2020 9:15 AM
Subject: Relayed: 2017092 Primrose School Westside Coalition Neighborhood Email

Delivery to these recipients or groups is complete, but no delivery notification was sent by th

aboard111@gmail.com

ekhaley@comcast.net

Subject: 2017092 Primrose School Westside Coalition Neighborhood Email



Message Headers

✓ ROMERO GEOFFREY R & MICHAEL J &
MARY BARTHELEMY
4801 ALL SAINTS RD NW
ALBUQUERQUE NM 87120-3111

✓ TACHAU PAUL & LINDA
12 COYOTE HILLS LN
SANTA FE NM 87505-8174

✓ TITAN INVESTMENTS LLC
PO BOX 94088
ALBUQUERQUE NM 87199-4088

✓ EXPRESSIONS OF LIFE INC
9151 HIGH ASSETS WAY NW
ALBUQUERQUE NM 87120-5802

✓ PARADISE HILLS HOLDING COMPANY
INC C/O MCLAUGHLIN MICHAEL A
10355 CENTREPARK DR SUITE 200
HOUSTON TX 77043-1371

✓ PRESBYTERIAN HEALTHCARE SERVICES
4580 PARADISE BLVD
ALBUQUERQUE NM 87114-4105

✓ N/A EAGLE RANCH-67 LTD PTNS
920 GARDEN ST SUITE A
SANTA BARBARA CA 93101

✓ LBJ ENTERPRISES LLC
5601 HIGHWAY 95 NE SUITE 730
LAKE HAVASU CITY AZ 86404-8551

✓ JACKL ADVERTISING LLC
PO BOX 67517
ALBUQUERQUE NM 87193-7517

✓ N/A EAGLE RANCH-67 LTD PTNS
920 GARDEN ST SUITE A
SANTA BARBARA CA 93101

✓ ALL SAINTS LUTHERAN CHURCH
4800 ALL SAINTS RD NW
ALBUQUERQUE NM 87114

✓ CPP PASEO I LLC & CPP PASEO II LLC
C/O ALLIANCE TAX ADVISORS
433 E LAS COLINAS BLVD SUITE 300
IRVING TX 75039-5522



Paseo Del Norte & Paradise Blvd NW



Legend

- ☐ Bernalillo County Parcels



870 0 435 870 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
11/12/2020 © City of Albuquerque

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-discclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Buffer: 270 Ft.
ROW Paseo Del Norte: 170 Ft.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: ROMERO GEOFFREY R & MICHAEL J & MARY BARTHELEMY

4801 ALL SAINTS RD NW
Mailing Address*: ALBUQUERQUE NM 87120-3111

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹:

The school has been unable to go to construction while dealing with the Covid-19 crisis.
They intend to begin construtcion the first quarter of 2021 assuming the pandemic slows down
and they are able to complete the construction safely

5. This application will be decided at a public meeting or hearing by*:
 - ☐ Zoning Hearing Examiner (ZHE)
 - ☒ Development Review Board (DRB)
 - ☐ Landmarks Commission (LC)
 - ☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 @ 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:
<http://ftpserver.tierrawestllc.com/> user name: Primrose password Neighbor123

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum: N/A

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet*: PARADISE HILLS HOLDING COMPANY INC C/O MCLAUGHLIN MICHAEL A

10355 CENTREPARK DR SUITE 200
Mailing Address*: HOUSTON TX 77043-1371

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*: _____

The school has been unable to go to construction while dealing with the Covid-19 crisis.
They intend to begin construcion the first quarter of 2021 assuming the pandemic slows down
and they are able to complete the construction safely

5. This application will be decided at a public meeting or hearing by*:
 - ☐ Zoning Hearing Examiner (ZHE)
 - ☒ Development Review Board (DRB)
 - ☐ Landmarks Commission (LC)
 - ☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 @ 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:
<http://ftpserver.tierrawestllc.com/> user name: Primrose password Neighbor123

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum: N/A

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: JACKL ADVERTISING LLC
PO BOX 67517
Mailing Address*: ALBUQUERQUE NM 87193-7517

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹:

The school has been unable to go to construction while dealing with the Covid-19 crisis.
They intend to begin construcion the first quarter of 2021 assuming the pandemic slows down
and they are able to complete the construction safely

5. This application will be decided at a public meeting or hearing by*:
 - ☐ Zoning Hearing Examiner (ZHE)
 - ☒ Development Review Board (DRB)
 - ☐ Landmarks Commission (LC)
 - ☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 @ 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:
<http://ftpserver.tierrawestllc.com/> user name: Primrose password Neighbor123

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum: N/A

- ☐ a. Location of proposed buildings and landscape areas.*
☐ b. Access and circulation for vehicles and pedestrians.*
☐ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: TACHAU PAUL & LINDA
12 COYOTE HILLS LN
Mailing Address*: SANTA FE NM 87505-8174

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*:

The school has been unable to go to construction while dealing with the Covid-19 crisis.
They intend to begin construtcion the first quarter of 2021 assuming the pandemic slows down
and they are able to complete the construction safely

5. This application will be decided at a public meeting or hearing by*:
 - ☐ Zoning Hearing Examiner (ZHE)
 - ☒ Development Review Board (DRB)
 - ☐ Landmarks Commission (LC)
 - ☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 @ 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:
<http://ftpserver.tierrawestllc.com/> user name: Primrose password Neighbor123

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum: N/A

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: PRESBYTERIAN HEALTHCARE SERVICES
4580 PARADISE BLVD
Mailing Address*: ALBUQUERQUE NM 87114-4105

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*:

The school has been unable to go to construction while dealing with the Covid-19 crisis.
They intend to begin construtcion the first quarter of 2021 assuming the pandemic slows down
and they are able to complete the construction safely

5. This application will be decided at a public meeting or hearing by*:
- | | |
|--|--|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input checked="" type="checkbox"/> Development Review Board (DRB) |
| <input type="checkbox"/> Landmarks Commission (LC) | <input type="checkbox"/> Environmental Planning Commission (EPC) |

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 @ 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:
<http://ftpserver.tierrawestllc.com/> user name: Primrose password Neighbor123

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum: N/A

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: N/A EAGLE RANCH-67 LTD PTNS
Mailing Address*: 920 GARDEN ST SUITE A
SANTA BARBARA CA 93101

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*: _____

The school has been unable to go to construction while dealing with the Covid-19 crisis.
They intend to begin construtcion the first quarter of 2021 assuming the pandemic slows down
and they are able to complete the construction safely

5. This application will be decided at a public meeting or hearing by*:
- | | |
|--|--|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input checked="" type="checkbox"/> Development Review Board (DRB) |
| <input type="checkbox"/> Landmarks Commission (LC) | <input type="checkbox"/> Environmental Planning Commission (EPC) |

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 @ 9:00am

Location*2: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*3:
<http://ftpserver.tierrawestllc.com/> user name: Primrose password Neighbor123

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*4 C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum: N/A

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: TITAN INVESTMENTS LLC
PO BOX 94088
Mailing Address*: ALBUQUERQUE NM 87199-4088

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*: _____

The school has been unable to go to construction while dealing with the Covid-19 crisis.
They intend to begin construtcion the first quarter of 2021 assuming the pandemic slows down
and they are able to complete the construction safely

5. This application will be decided at a public meeting or hearing by*:
 - ☐ Zoning Hearing Examiner (ZHE)
 - ☒ Development Review Board (DRB)
 - ☐ Landmarks Commission (LC)
 - ☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 @ 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

<http://ftpserver.tierrawestllc.com/> user name: Primrose password Neighbor123

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum: N/A

☐ a. Location of proposed buildings and landscape areas.*

☐ b. Access and circulation for vehicles and pedestrians.*

☐ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: N/A EAGLE RANCH-67 LTD PTNS
Mailing Address*: 920 GARDEN ST SUITE A
SANTA BARBARA CA 93101

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*: _____

The school has been unable to go to construction while dealing with the Covid-19 crisis.
They intend to begin construtcion the first quarter of 2021 assuming the pandemic slows down
and they are able to complete the construction safely

5. This application will be decided at a public meeting or hearing by*:
- | | |
|--|--|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input checked="" type="checkbox"/> Development Review Board (DRB) |
| <input type="checkbox"/> Landmarks Commission (LC) | <input type="checkbox"/> Environmental Planning Commission (EPC) |

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 @ 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:
<http://ftpserver.tierrawestllc.com/> user name: Primrose password Neighbor123

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum: N/A

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: ALL SAINTS LUTHERAN CHURCH

Mailing Address*: 4800 ALL SAINTS RD NW
ALBUQUERQUE NM 87114

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*:

The school has been unable to go to construction while dealing with the Covid-19 crisis.
They intend to begin construtcion the first quarter of 2021 assuming the pandemic slows down
and they are able to complete the construction safely

5. This application will be decided at a public meeting or hearing by*:
 - ☐ Zoning Hearing Examiner (ZHE)
 - ☒ Development Review Board (DRB)
 - ☐ Landmarks Commission (LC)
 - ☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 @ 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

<http://ftpserver.tierrawestllc.com/> user name: Primrose password Neighbor123

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum: N/A

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: EXPRESSIONS OF LIFE INC
9151 HIGH ASSETS WAY NW
Mailing Address*: ALBUQUERQUE NM 87120-5802

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*:

The school has been unable to go to construction while dealing with the Covid-19 crisis.
They intend to begin construtcion the first quarter of 2021 assuming the pandemic slows down
and they are able to complete the construction safely

5. This application will be decided at a public meeting or hearing by*:
 - ☐ Zoning Hearing Examiner (ZHE)
 - ☒ Development Review Board (DRB)
 - ☐ Landmarks Commission (LC)
 - ☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 @ 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

<http://ftpserver.tierrawestllc.com/> user name: Primrose password Neighbor123

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum: N/A

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: LBJ ENTERPRISES LLC
5601 HIGHWAY 95 NE SUITE 730
Mailing Address*: LAKE HAVASU CITY AZ 86404-8551

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or **Major**)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹∗:

The school has been unable to go to construction while dealing with the Covid-19 crisis.
They intend to begin construtcion the first quarter of 2021 assuming the pandemic slows down
and they are able to complete the construction safely

5. This application will be decided at a public meeting or hearing by*:
 - ☐ Zoning Hearing Examiner (ZHE)
 - ☒ Development Review Board (DRB)
 - ☐ Landmarks Commission (LC)
 - ☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 @ 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

<http://ftpserver.tierrawestllc.com/> user name: Primrose password Neighbor123

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum: N/A

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 16, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: CPP PASEO I LLC & CPP PASEO II LLC C/O ALLIANCE TAX ADVISORS

Mailing Address*: 433 E LAS COLINAS BLVD SUITE 300
IRVING TX 75039-5522

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 4570 Paradise Blvd
Location Description TR A-1
2. Property Owner* Paradise Hills Holding Company
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Extension of Infrastructure List (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*:

The school has been unable to go to construction while dealing with the Covid-19 crisis.
They intend to begin construtcion the first quarter of 2021 assuming the pandemic slows down
and they are able to complete the construction safely

5. This application will be decided at a public meeting or hearing by*:
 - ☐ Zoning Hearing Examiner (ZHE)
 - ☒ Development Review Board (DRB)
 - ☐ Landmarks Commission (LC)
 - ☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 @ 9:00am

Location*²: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:
<http://ftpserver.tierrawestllc.com/> user name: Primrose password Neighbor123

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)*⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum: N/A

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.48
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] School

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

5571 Midway Park Place NE
Albuquerque, NM 87109

TIERRA WEST, LLC

JACKL ADVERTISING LLC
PO BOX 67517
ALBUQUERQUE NM 87193-7517



5571 Midway Park Place NE
Albuquerque, NM 87109

TIERRA WEST, LLC

PARADISE HILLS HOLDING COMPANY
INC C/O MCLAUGHLIN MICHAEL A
10355 CENTREPARK DR SUITE 200
HOUSTON TX 77043-1371



5571 Midway Park Place NE
Albuquerque, NM 87109

TIERRA WEST, LLC

ROMERO GEOFFREY R & MICHAEL J &
MARY BARTHELEMY
4801 ALL SAINTS RD NW
ALBUQUERQUE NM 87120-3111



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

N/A EAGLE RANCH-67 LTD PTNS
920 GARDEN ST SUITE A
SANTA BARBARA CA 93101

stamps.com
L90745.11



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

PRESBYTERIAN HEALTHCARE SERVICES
4580 PARADISE BLVD
ALBUQUERQUE NM 87114-4105

stamps.c
L90745



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

TACHAU PAUL & LINDA
12 COYOTE HILLS LN
SANTA FE NM 87505-8174

stamps.com
L90745.06



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

ALL SAINTS LUTHERAN CHURCH
4800 ALL SAINTS RD NW
ALBUQUERQUE NM 87114



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

N/A EAGLE RANCH-67 LTD PTNS
920 GARDEN ST SUITE A
SANTA BARBARA CA 93101



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

TITAN INVESTMENTS LLC
PO BOX 94088
ALBUQUERQUE NM 87199-4088



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

CPP PASEO I LLC & CPP PASEO II LLC
C/O ALLIANCE TAX ADVISORS
433 E LAS COLINAS BLVD SUITE 300
IRVING TX 75039-5522



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

LBJ ENTERPRISES LLC
5601 HIGHWAY 95 NE SUITE 730
LAKE HAVASU CITY AZ 86404-8551



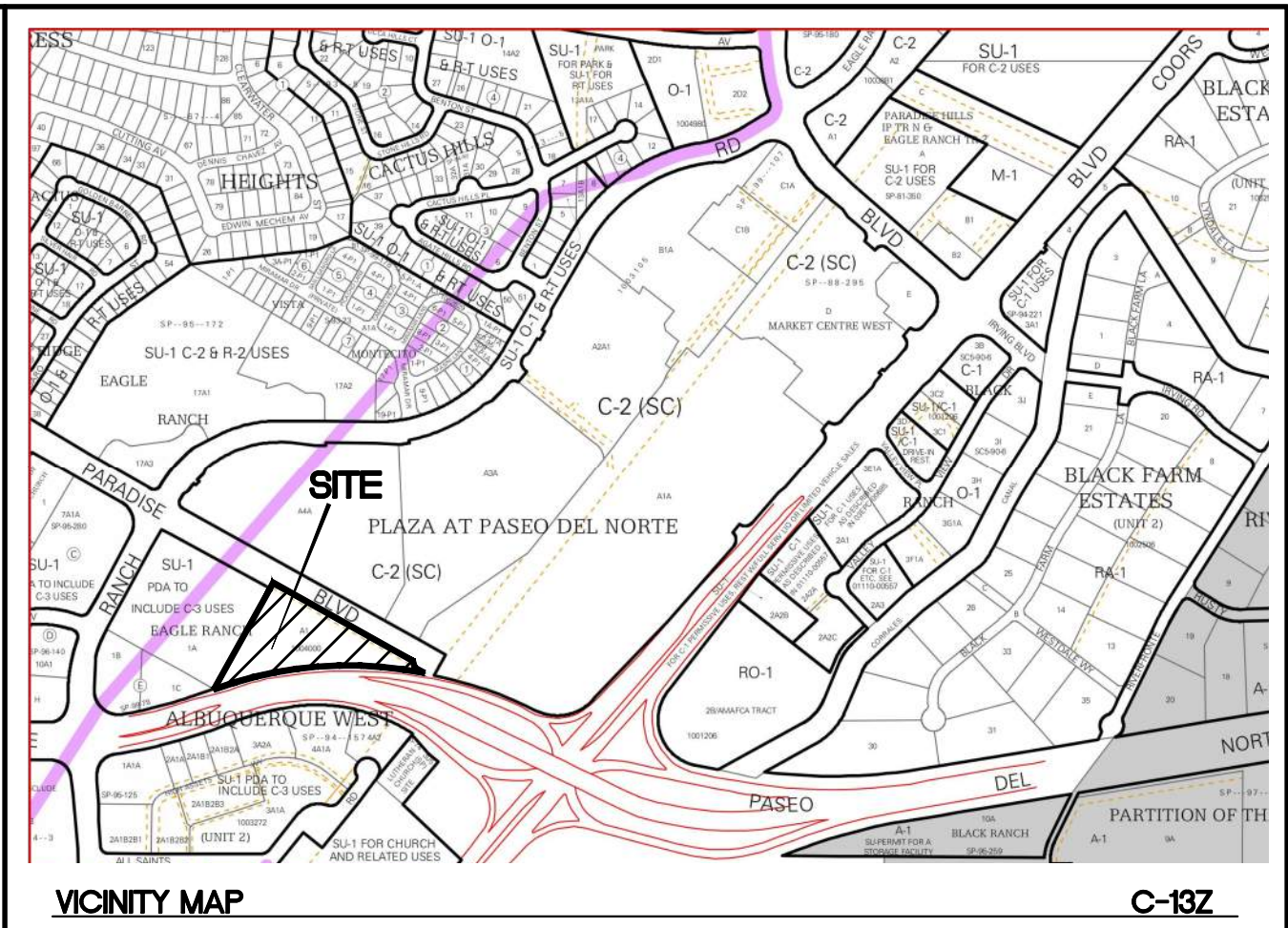
gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

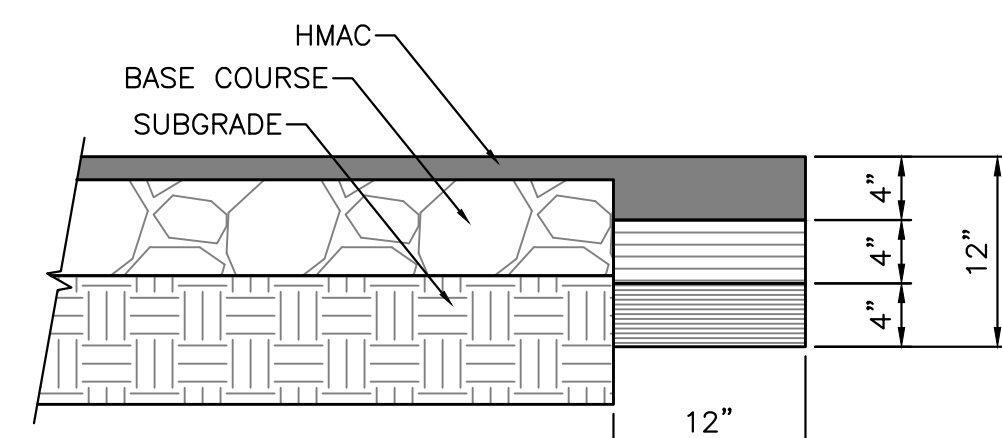
EXPRESSIONS OF LIFE INC
9151 HIGH ASSETS WAY NW
ALBUQUERQUE NM 87120-5802





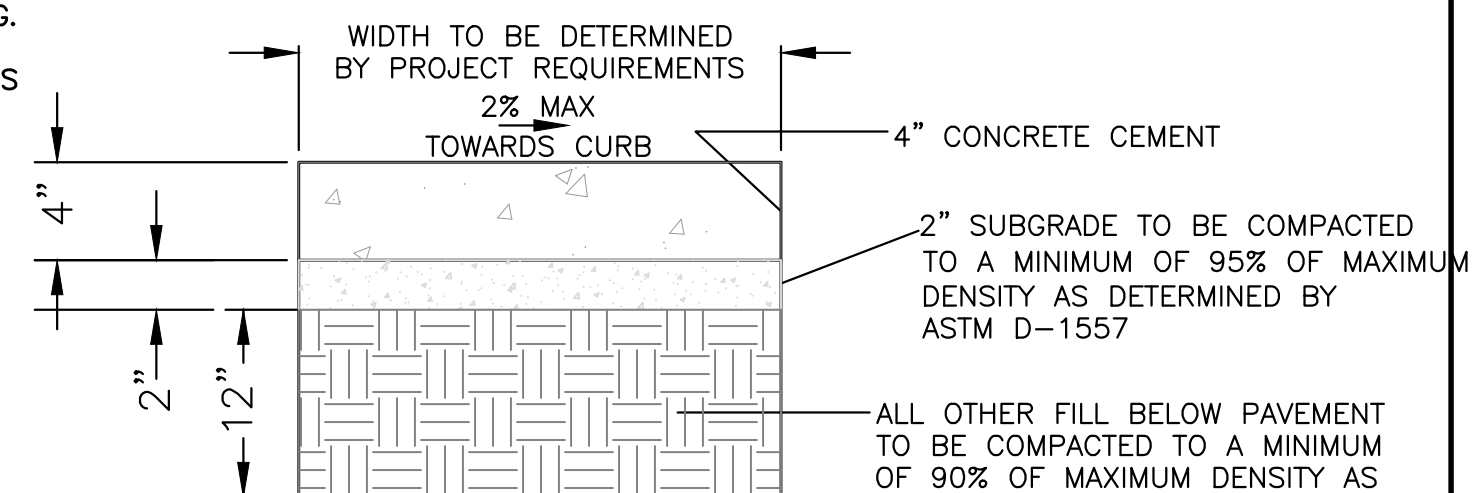
TRACT A1 ALBUQUERQUE WEST UNIT 2

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	RETAINING WALL
	EXISTING CURB & GUTTER
	PROPOSED FENCE
	NEW PAVING PER COA STANDARD
	NEW 10' ASPHALT TRAIL
	BICYCLE RACK
	24' GRAVEL FIRE ACCESS



PAVEMENT TERMINUS
SCALE: 1"=1'

NOTE:
THICKENED EDGE SHALL BE CONSTRUCTED
IN COURSED NOT OVER 4" IN THICKNESS,
EACH COURSE THOROUGHLY COMPACTED
BEFORE PLACING NEXT COURSE, FINAL
COURSE. FINAL COURSE TO BE PLACED
MONOLITHIC WITH PAVEMENT.



ENGINEER'S
SEAL

RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER

Ronald R. Bohannon
8-27-2

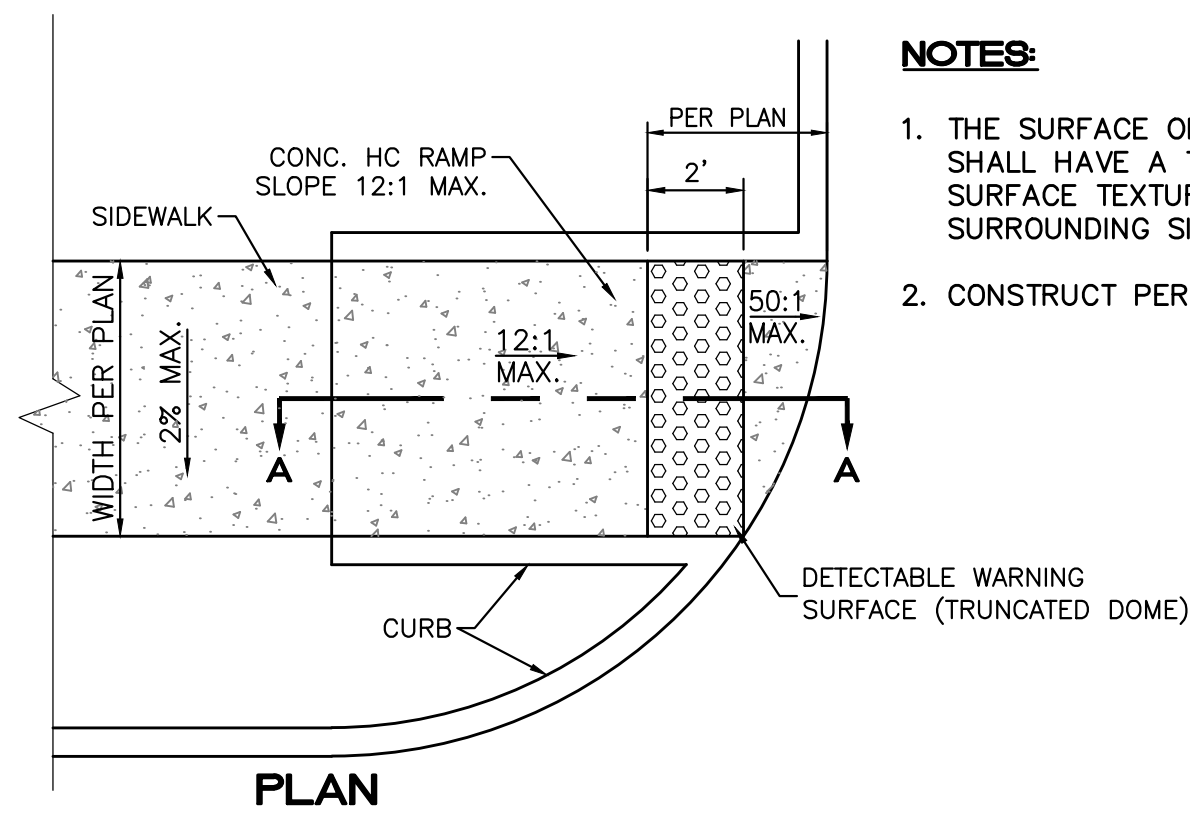
RONALD R. BOHANNAN
P.E. #7868

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

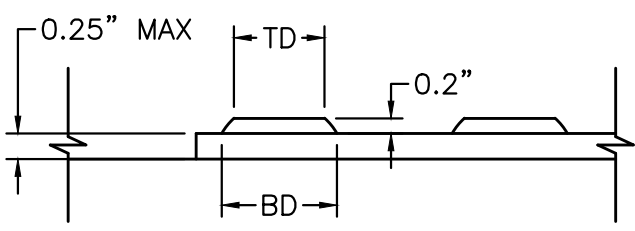
JOB #
2017092

BUILDING AREA:	PHASE 2	12300 SF
PARKING REQUIRED	PHASE 2	4 SPACES PER 1000 SF
		TOTAL REQUIRED=49 SPACES
PARKING PROVIDED	PHASE 2	49 SPACES
ACCESSIBLE SPACES REQUIRED	PHASE 2	3 SPACES
PROVIDED	PHASE 2	4 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED	PHASE 2	2 SPACES
PROVIDED	PHASE 2	2 SPACES
BICYCLE SPACES REQUIRED	PHASE 2	2 SPACES
PROVIDED	PHASE 2	5 SPACES

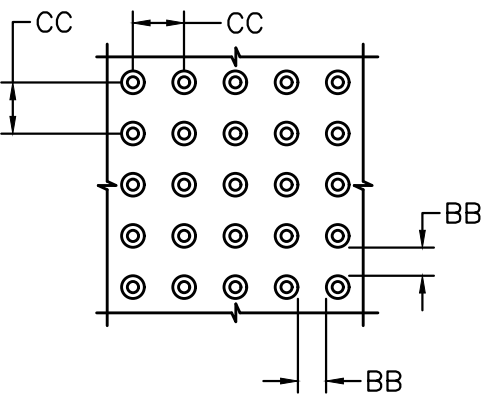
1. SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPING PLAN
3. CONCEPTUAL GRADING PLAN
4. MASTER UTILITY PLAN
5. CONSTRUCTION DETAILS
6. CONSTRUCTION DETAILS
7. APPROVED FIREONE PLAN
8. BUILDING ELEVATION



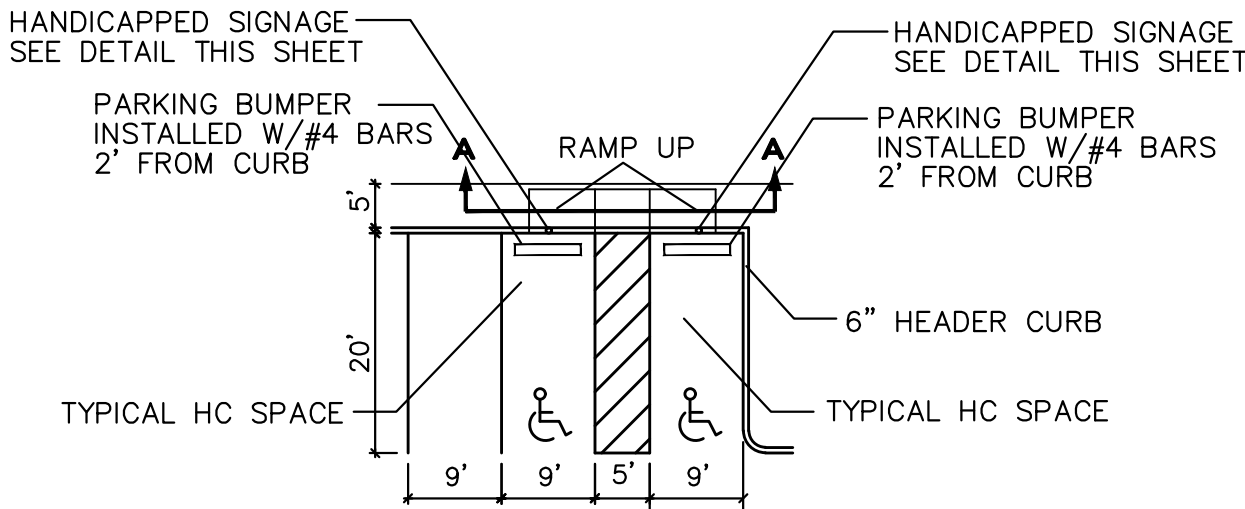
- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.



DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

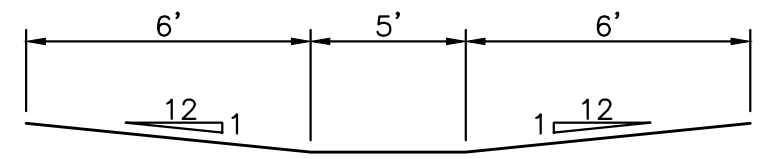


DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



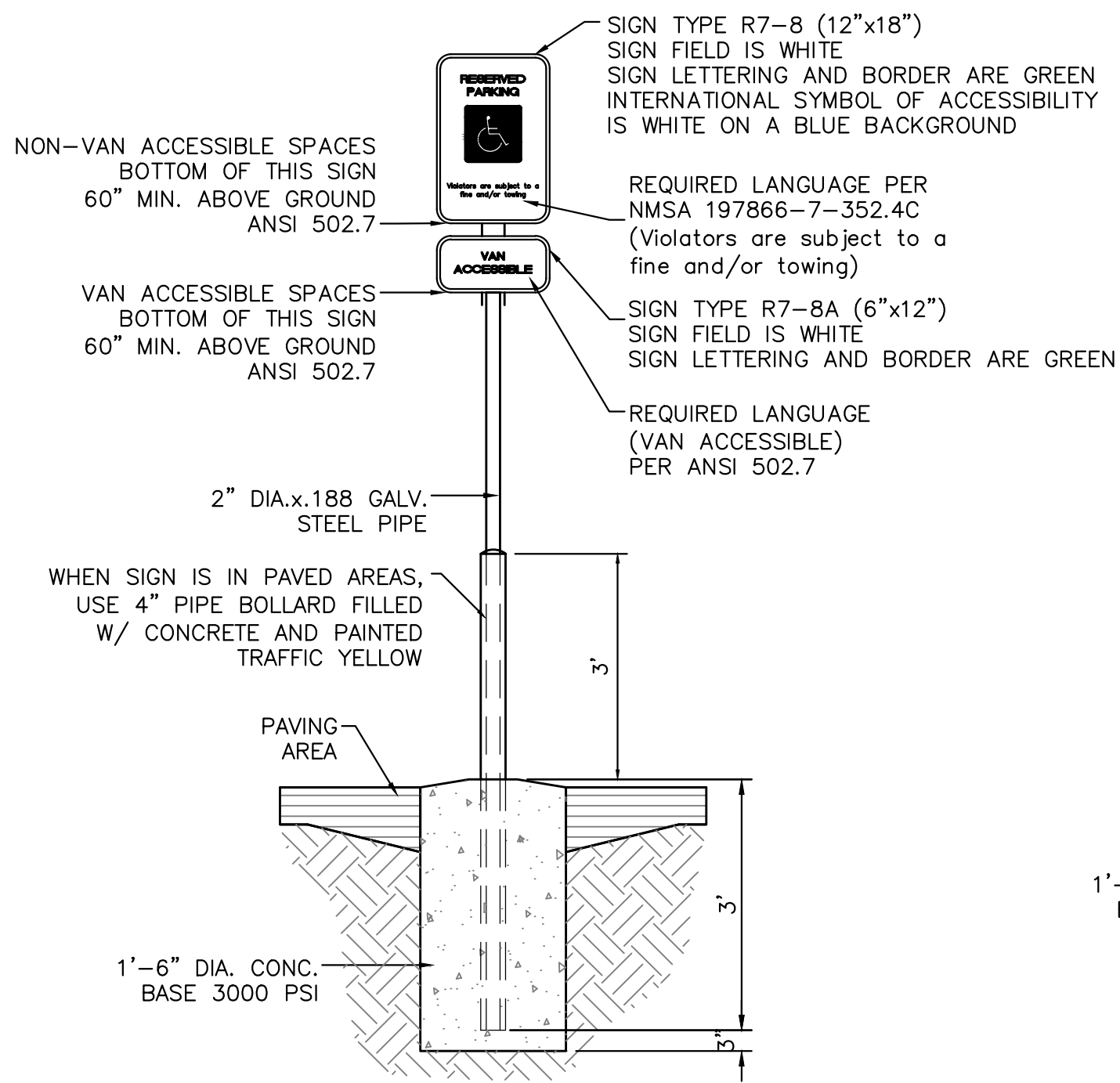
HC PARKING DETAIL

NTS



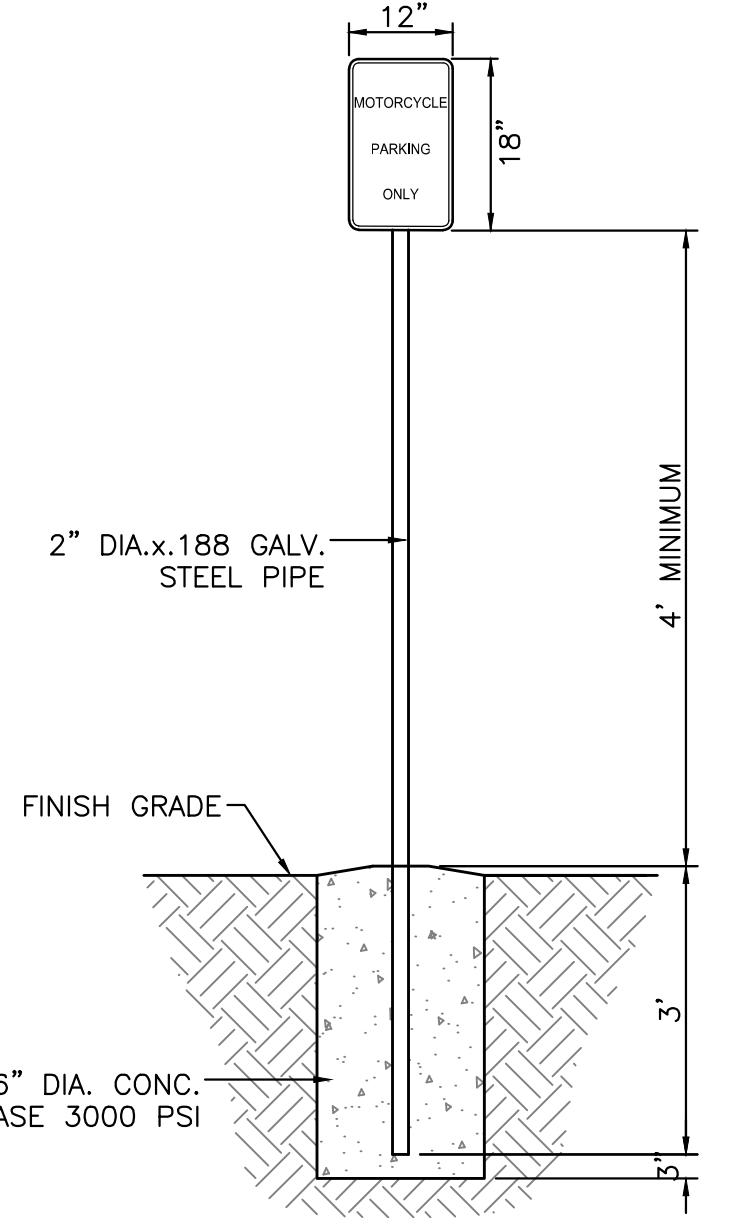
HC PARKING DETAIL SECTION A-A

NTS



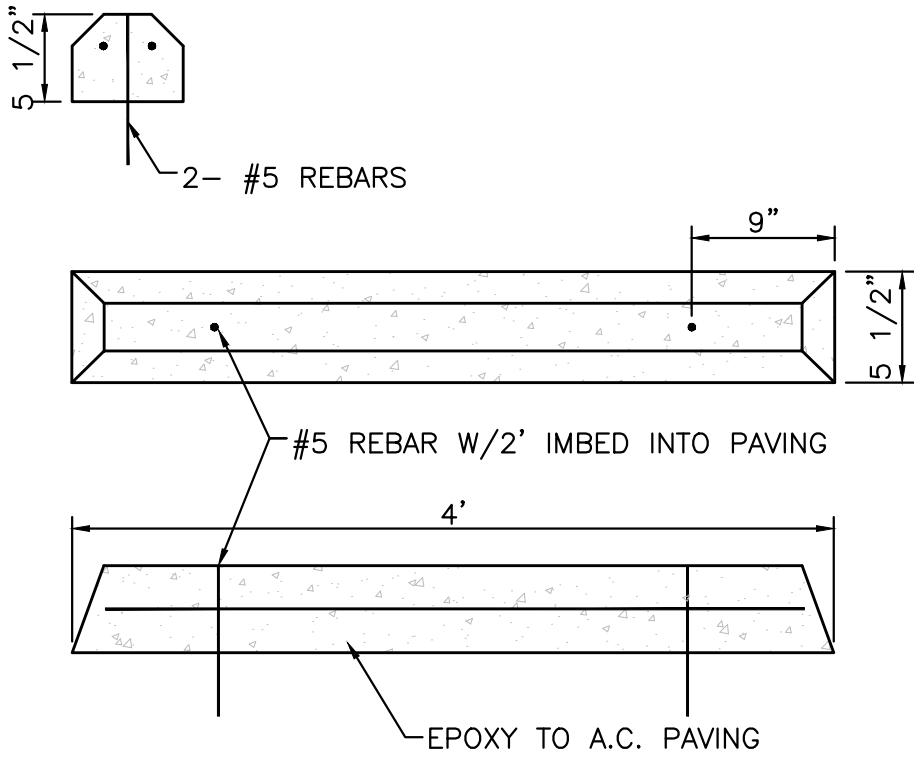
ACCESSIBLE PARKING SIGN

NTS



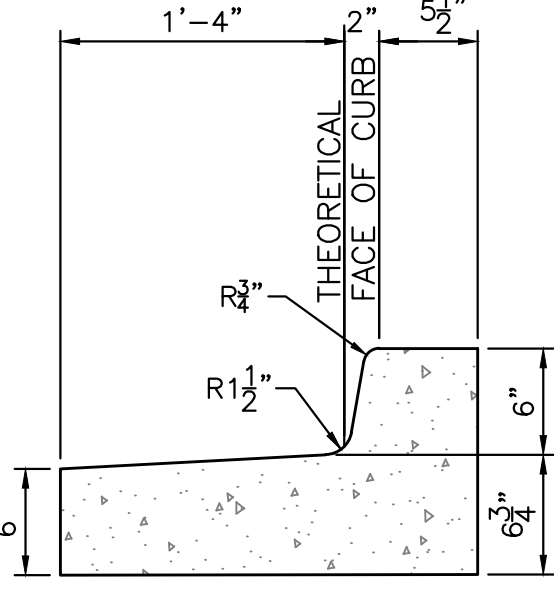
MOTORCYCLE PARKING SIGN

NTS



WHEEL BUMPER

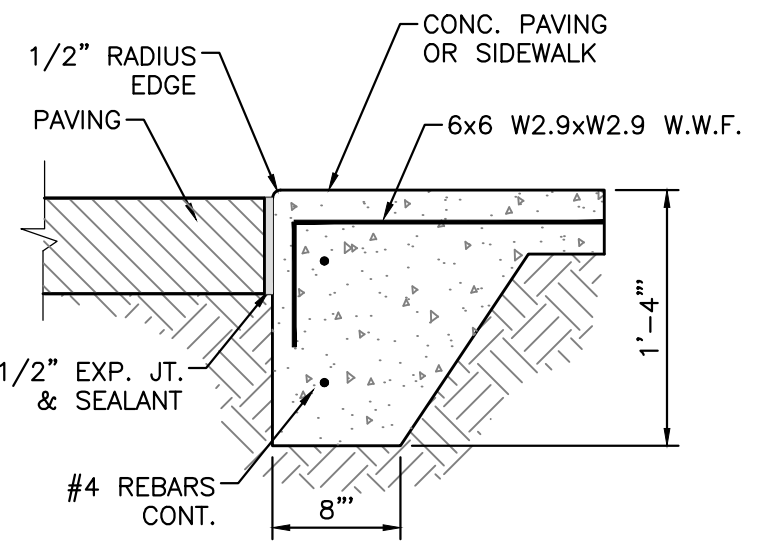
NTS



- CURB GENERAL NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12" MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADUIS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

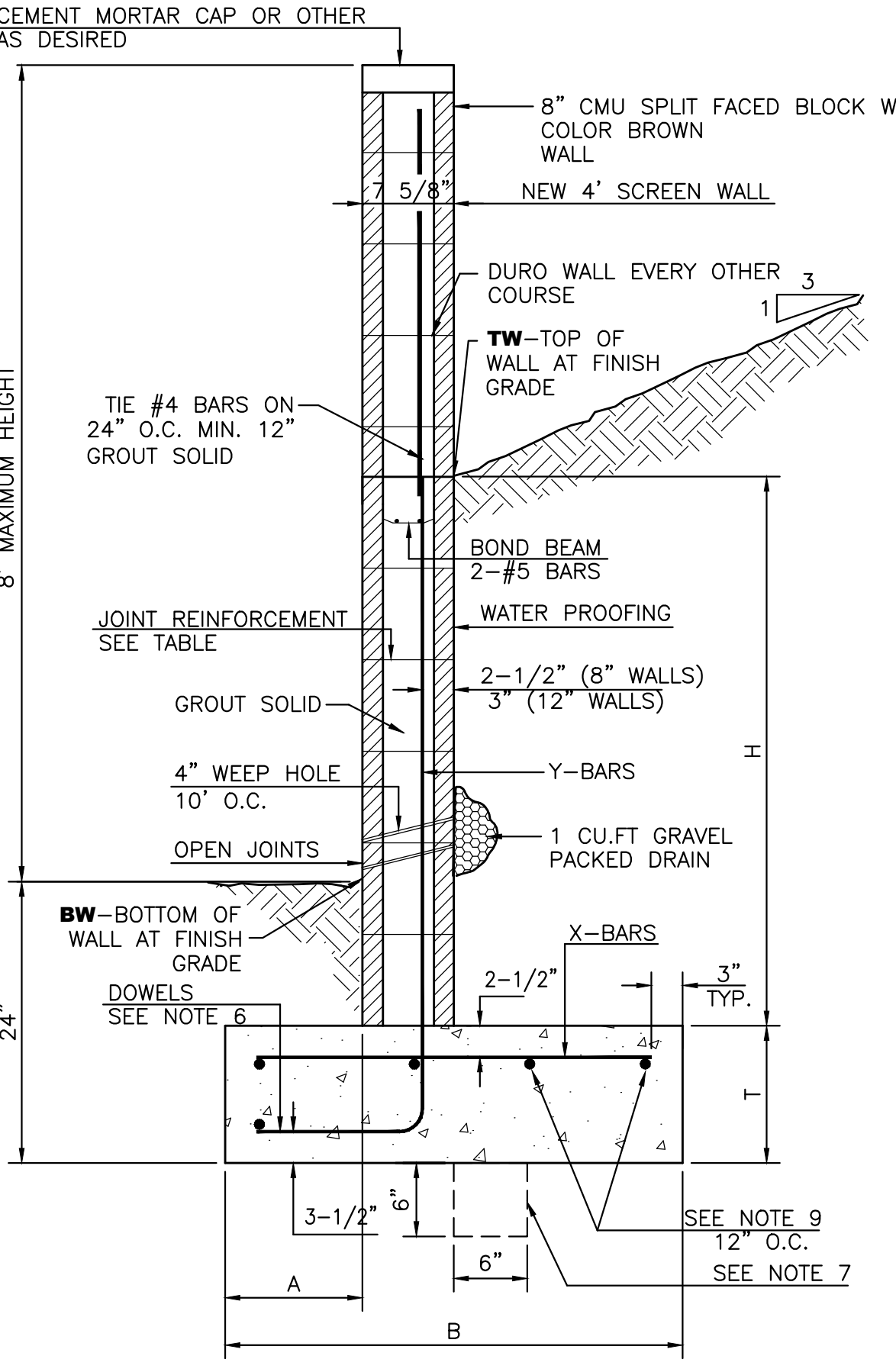
STANDARD CURB / GUTTER

NTS



DETAIL-FLUSH CURB

1" = 1'-0"



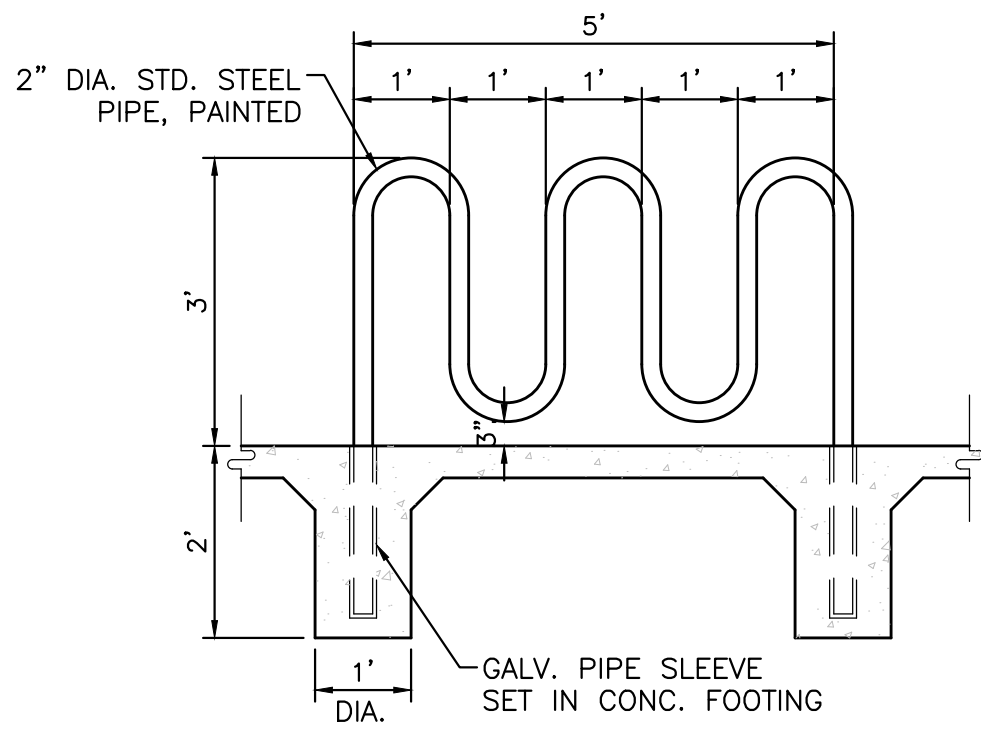
RETAINING WALL DETAIL

NTS

8 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

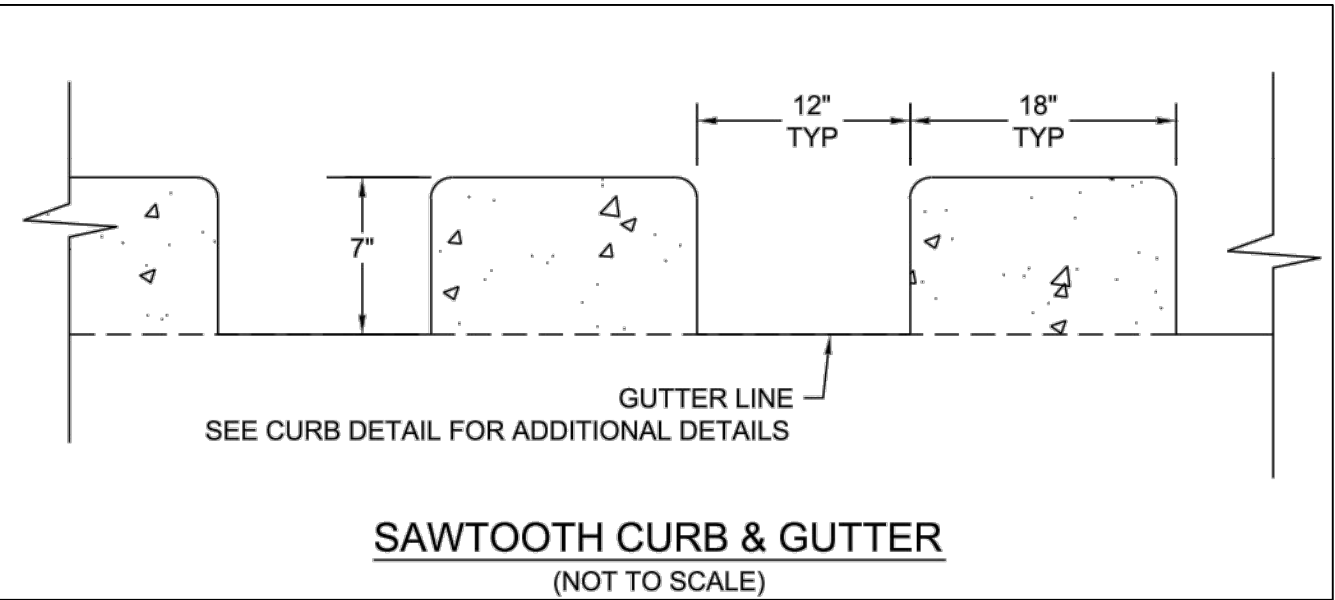
12 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



BIKE RACK DETAIL

SCALE: 1/2"=1'



SAWTOOTH CURB & GUTTER

(NOT TO SCALE)

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	PRIMROSE SCHOOL OF NW ALBUQUERQUE	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 5-1-18
		DRAWING
TERRA WEST, LLC 5571 MIDWAY PARK, PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com		SHEET # 6
		JOB # 2017092

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 4-20-03)
EXHIBIT "A"

PHASE 1 OF ALBUQUERQUE SPORTING CENTER

PROPOSED NAME OF PLANT AND/OR SITE DEVELOPMENT PLAN

TRACT A1 ALBUQUERQUE WEST UNIT 2
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

project acceptance and close out by the City.

[illegible]

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Crst Engineer
							/	/
							/	/
							/	/

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ronald E. Bohanan
NAME (print)

DRB CHAIR 5-1-13
DRB CHAIR - date

Carol S. Diamond 5-1-13
PARKS & RECREATION - date

Teresa White LLC
FIRM

TRANSPORTATION DEVELOPMENT 05-01-13
TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature]
SIGNATURE - date

UTILITY DEVELOPMENT 05-01-13
UTILITY DEVELOPMENT - date

- date

CITY ENGINEER 5-1-13
CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER