

ABBREVIATIONS:

- EX EXISTING
- PNM PUBLIC SERVICE COMPANY OF NEW MEXICO
- SWGR SWITCHGEAR
- XFRM TRANSFORMER
- R RADIUS

PARKING SUMMARY:

PARKING	REQUIRED (MIN.)			PROVIDED		
	QUANTITY	DIMENSION <sup>1</sup>	OVERHANG <sup>2</sup>	QUANTITY	DIMENSION	OVERHANG
STANDARD	211	8.5'X18'	2'	357	9'X19'	2'
ADA STANDARD	6	8.5'X18'	2'	6	9'X19'	2'
ADA VAN	2	8.5'X18'	2'	2	9'X19'	2'
MOTORCYCLE	5	4'X8'	N/A	6	4'X19'	N/A
BICYCLE	4	2'X6'	N/A	4	3'X6'	N/A

- AS PER IDO PART 14-16-5-5 PARKING AND LOADING AMENDED MAY 2022
- AS PER DPM PART 7-4(K) EFFECTIVE AS OF JUNE 8, 2020
- AS PER ADA 2010 STANDARD (208.2)

USE	IDO PARKING REQUIREMENT <sup>1</sup> (SPACES/SQ. FT. GFA)	PROPOSED GFA (SQ. FT.)	REQUIRED SPACES (MIN)
OFFICE	3.5/1,000	37,399	131
LIGHT MANUFACTURING	1/1,000	79,872	80
WAREHOUSING	NO REQUIREMENT	87,453	0
<b>TOTAL</b>			<b>211</b>

1. AS PER IDO TABLES 5-1

LEGEND:

- EX LIGHT POLE
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- LANDSCAPED
- TRAFFIC FLOW DIRECTION
- PARKING SPOT COUNT

PROJECT NUMBER: PR-2018-001252  
 APPLICATION NUMBER: SI-2022-02328  
 Ernest Arroyo

- TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
- ARROYO
- Cheryl Smith
- PARKS AND RECREATION DEPARTMENT
- Virginia Cho
- CITY ENGINEER/HYDROLOGY
- CODE ENFORCEMENT
- ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)
- SOLID WASTE MANAGEMENT
- DRB CHAIRPERSON, PLANNING DEPARTMENT

DATE	DATE
Feb 1, 2023	Feb 1, 2023
Feb 1, 2023	Feb 1, 2023
Feb 1, 2023	Feb 1, 2023
Feb 1, 2023	Feb 1, 2023
Feb 1, 2023	Feb 1, 2023
Feb 1, 2023	Feb 1, 2023
Feb 1, 2023	Feb 1, 2023
Feb 1, 2023	Feb 1, 2023

EXECUTIVE SUMMARY:

THE PURPOSE OF CURIA'S NEW MEXICO EXPANSION PROJECT (PROJECT) IS TO INCREASE MANUFACTURING AND WAREHOUSE CAPACITY. THE EXPANSION OF THE EXISTING 137,000 SQUARE FOOT BUILDING TO THE NORTH BY APPROXIMATELY 60,000 SQUARE FEET TOTAL GROSS FLOOR AREA TO APPROXIMATELY 197,000 SQUARE FEET PRIMARY EXISTING / PROPOSED DEVELOPMENT TYPE AND USES INCLUDE LIGHT MANUFACTURING (PRIMARY) AND OFFICE (ACCESSORY).

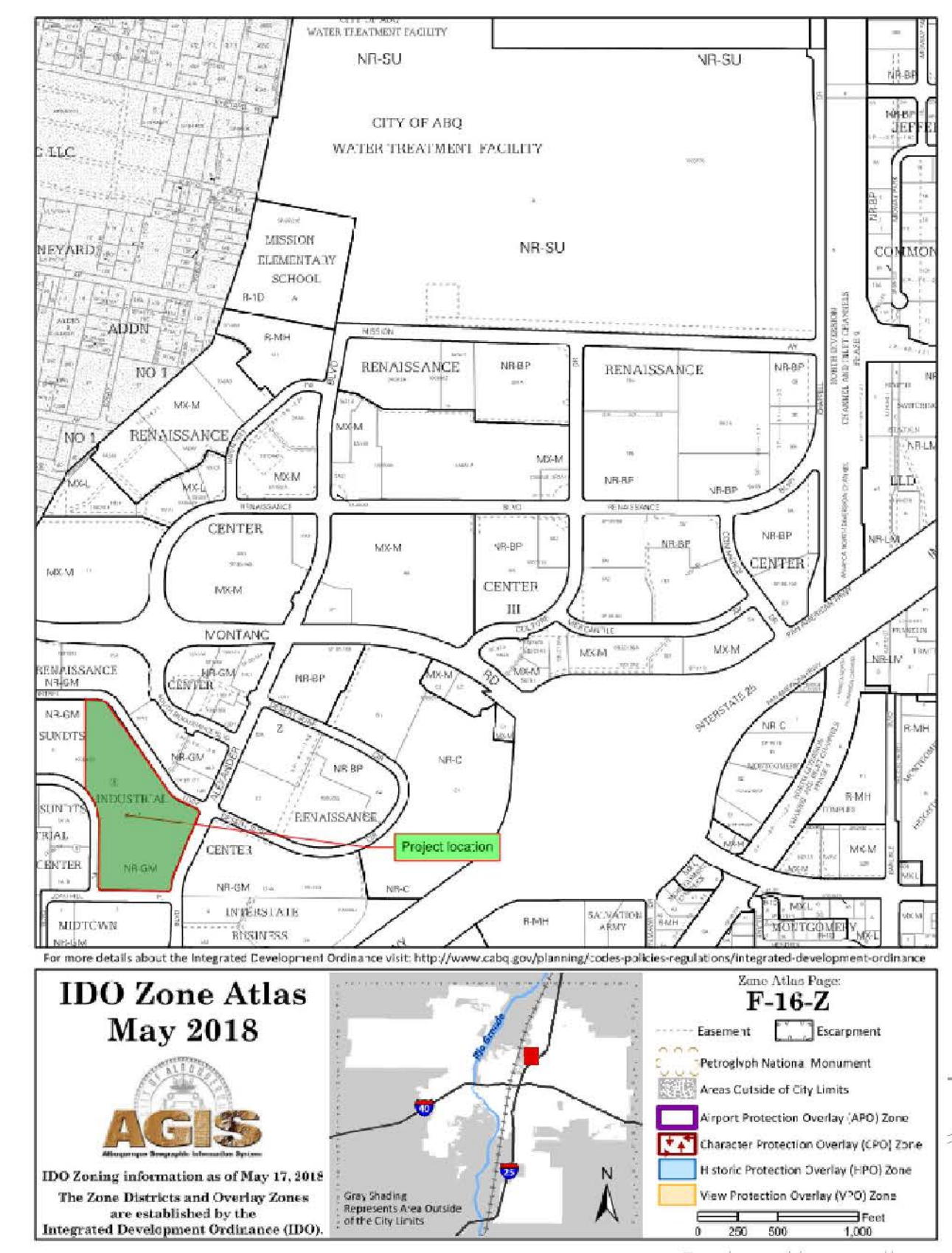
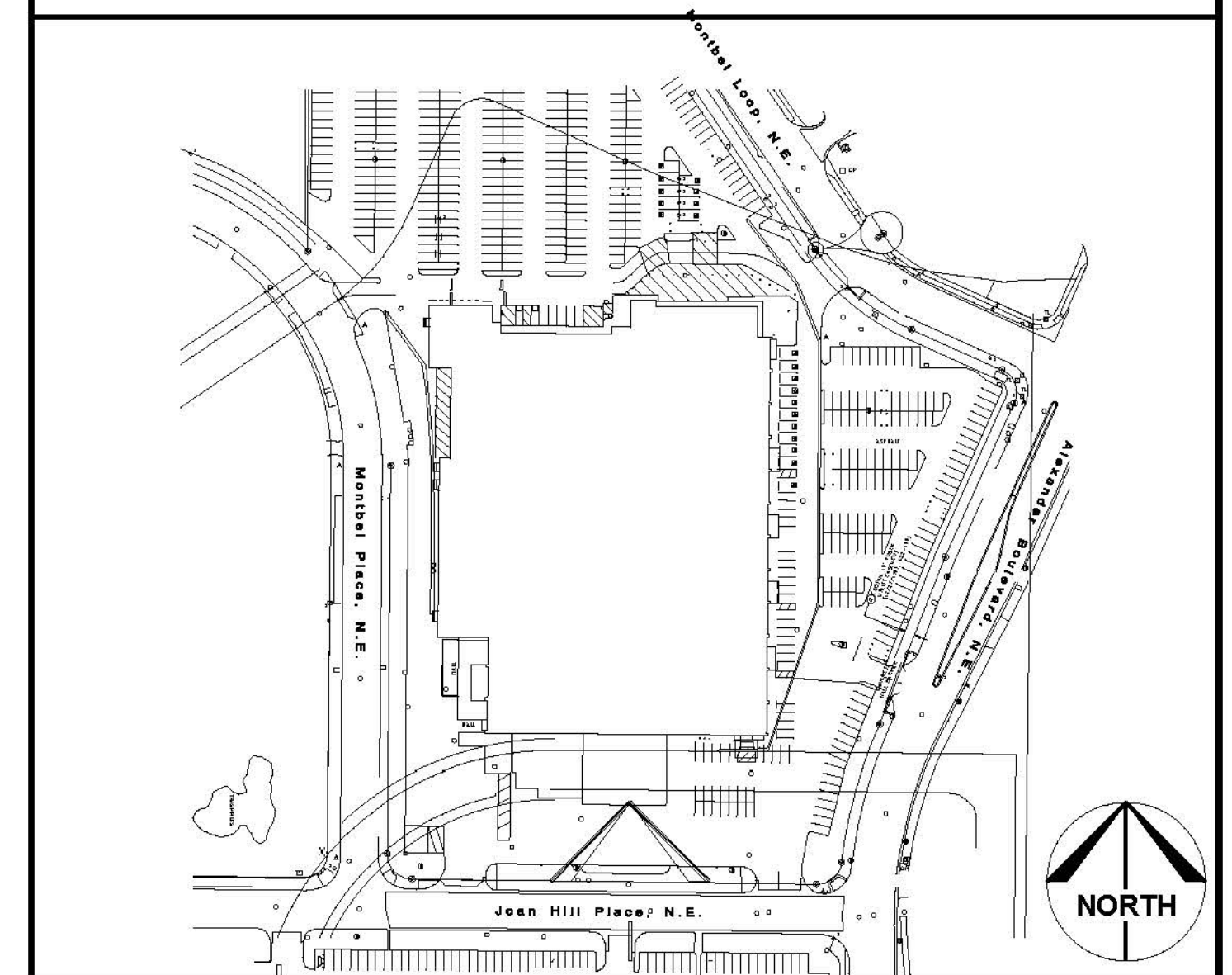
THE PROJECT ADDRESS IS 4401 ALEXANDER BLVD. NE ALBUQUERQUE, NM 87107 AT THE INTERSECTION OF ALEXANDER BLVD NE & MONTBEL PL NE. ALL VISITORS AND EMPLOYEES SHALL ENTER AND EXIT VIA THE NORTHEAST MONTBEL LOCATION. EMPLOYEE'S SHALL PARK IN THE NORTH LOT. EXISTING PARKING AISLES ARE 24 FEET WIDE ALLOWING TWO WAY TRAFFIC. RESERVED VISITOR AND ADA PARKING SHALL BE EAST OF THE PROPOSED EXPANSION. FIRE & EMERGENCY ACCESS THE SITE VIA RESERVED MONTBEL PL NE ENTRANCE. DELIVERY & RECEIVING AND SOLID WASTE ACCESS THE SITE VIA JOAN HILL PL NE.

PROPOSED FIRE AND EMERGENCY ACCESS IS ACCORDANCE WITH ALBUQUERQUE FIRE PLAN CHECKING DIVISION. REFER TO APPROVED ALBUQUERQUE FIRE MARSHAL FIRE PLAN 1 PLAN (08/22/22).

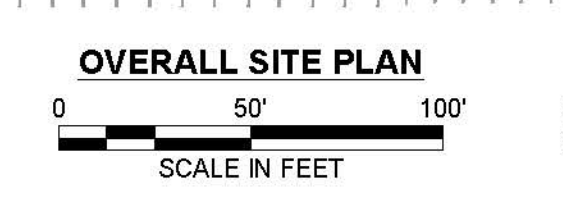
CLEAR SIGHT TRIANGLES, GATES, TYPE OF GATES, AND TREATMENT OF ACCESS POINTS ARE LOCATED ON ADMINISTRATIVE AMENDMENT FILE # SI-2022-00401, PROJECT # PR-2018-01252 (04/04/2022)

KEYED NOTES: (#)

- SIX MOTORCYCLE PARKING STALLS WITH SIX MOTORCYCLE PARKING SIGNS. SEE SHEET C-4401-1-502, DETAILS 5 AND 6.
- SIX ADA STANDARD PARKING STALLS WITH SIX ADA STANDARD PARKING SIGNS. TWO ADA VAN PARKING STALLS WITH TWO ADA VAN SIGNS. SEE SHEET C-4401-1-502, DETAILS 1, 2, 3, AND 4.
- ADA PEDESTRIAN CROSSING. SEE SHEET C-4401-1-502, DETAIL 8.
- ADA CURB RAMP WITH DETECTABLE WARNINGS. SEE SHEET C-4401-1-501, DETAIL 7.
- BICYCLE PARKING RACKS. SEE SHEET C-4401-1-506, DETAILS 1 AND 2.
- EXISTING SOLID WASTE COMPACTOR. ORIENTATION AS SHOWN. SOLID WASTE MAKE UP AND QUANTITY SHALL NOT CHANGE FROM EXISTING CONDITIONS. SOLID WASTE ACCESS SHALL NOT CHANGE FROM EXISTING CONDITIONS.
- DIMENSIONAL STANDARDS SUCH AS SETBACKS AND BUILDING HEIGHT ARE IN COMPLIANCE WITH IDO SECTION 2-5(D) NON-RESIDENTIAL - GENERAL MANUFACTURING ZONE DISTRICT (NR-GM) AND 5-1(E) NON-RESIDENTIAL ZONE DISTRICTS.
- PERIMETER SIDEWALKS, CLEAR SIGHT TRIANGLES, GATES, TYPE OF GATES, AND TREATMENT OF ACCESS POINTS ARE LOCATED ON ADMINISTRATIVE AMENDMENT FILE # SI-2022-00401, PROJECT # PR-2018-01252 (04/04/2022).



LOT 1-A-1, BLOCK 1  
 SUNDT'S INDUSTRIAL CENTER  
 FILED 4/28/89, BK. C39, PG. 30



Jan 27 2023 10:29 AM

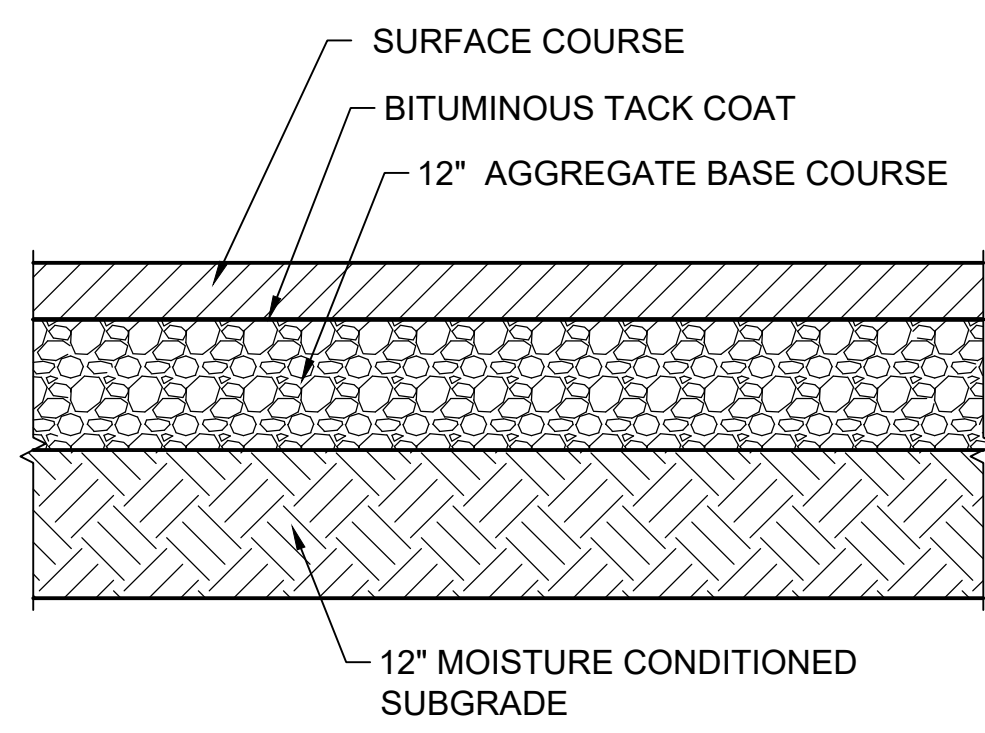
ARCHITECTS/ENGINEERS: **BURNS & MCDONNELL**  
 9400 WARD PARKWAY  
 KANSAS CITY, MO 64114

CONSULTANTS:

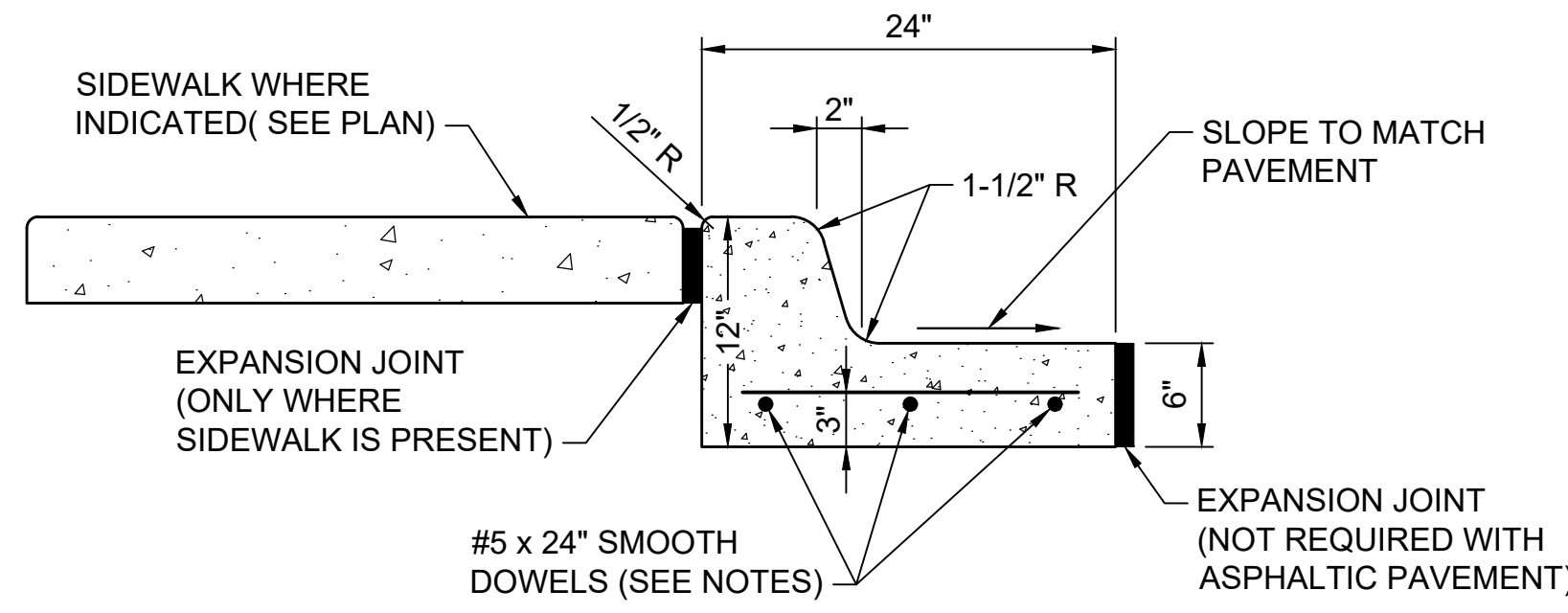
**PRELIMINARY - NOT FOR CONSTRUCTION**

C 01/27/23	ISSUED FOR REVIEW	SE JL
B 10/21/22	ISSUED FOR REVIEW	SE JL
A 09/12/22	ISSUED FOR REVIEW	SE JL
DESIGNED / DRAWN:	LOCATION:	
S. ENGMANN		
ENGINEER REVIEW:	EQUIPMENT FILE NO.:	
J. LAVENDER		
DATE:	SCALE:	PLOT:
08/25/2022	1" = 50'	1:1
DRAWING NUMBER:	SIZE:	
CS100	E1	
		4401
		<b>BUILDING 4401</b>
		<b>TRAFFIC CIRCULATION PLAN</b>
		<b>SITE PLAN</b>

CURIA PHARMACEUTICALS MANUFACTURING LOCATION IS THIS PRELIMINARY STATEMENT. ALL IDEAS, CONCEPTS, ARRANGEMENTS, AND PLANS INDICATED ARE THE PROPERTY OF CURIA PHARMACEUTICALS MANUFACTURING AND WERE CREATED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT OR PROJECTS THEIR DESIGN, ARRANGEMENTS, OR PLANS SHALL NOT BE USED OR REPRODUCED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF CURIA PHARMACEUTICALS MANUFACTURING.

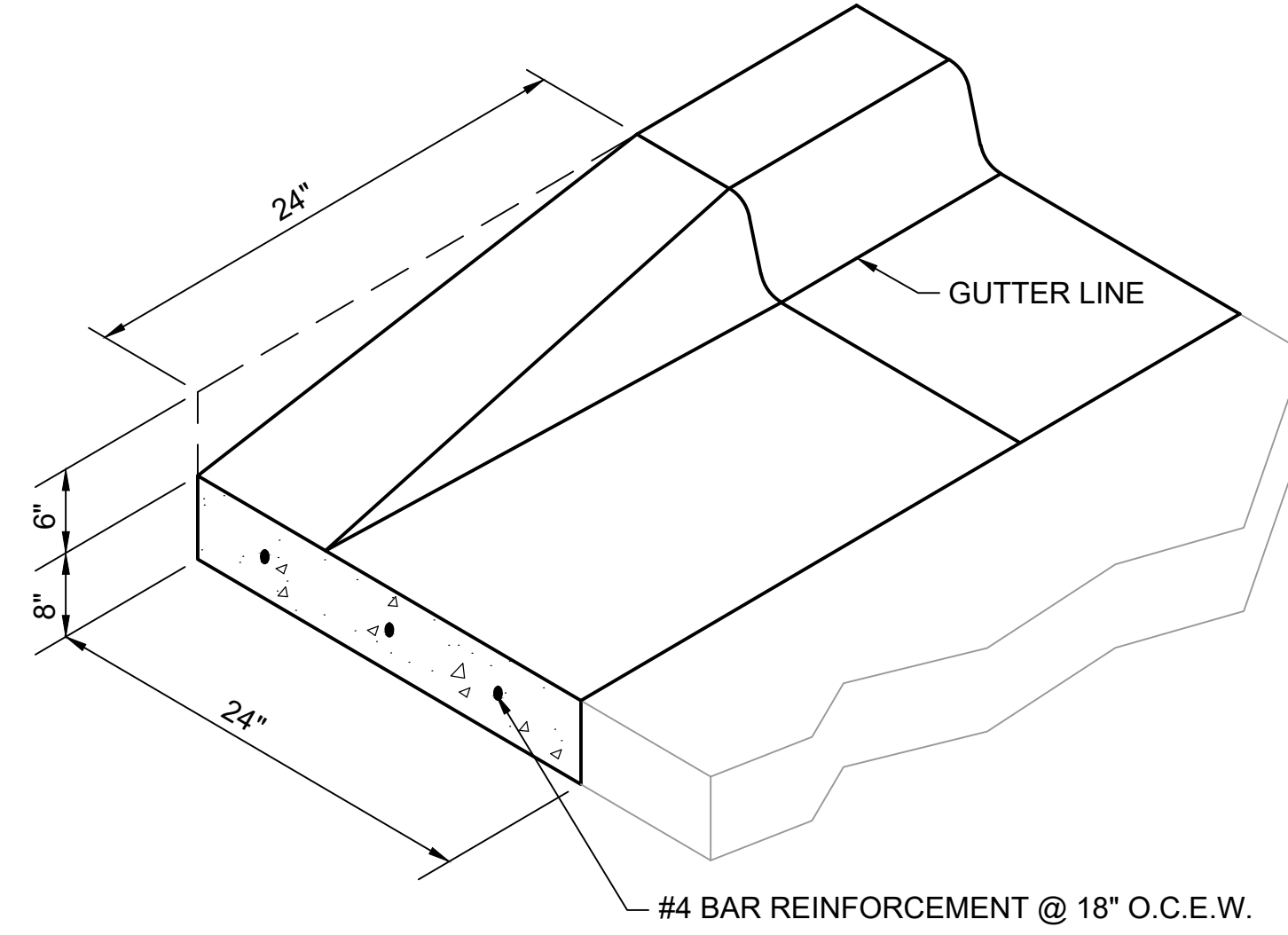


**ASPHALT PAVEMENT**  
 DETAIL NOT TO SCALE C-4401-1-105

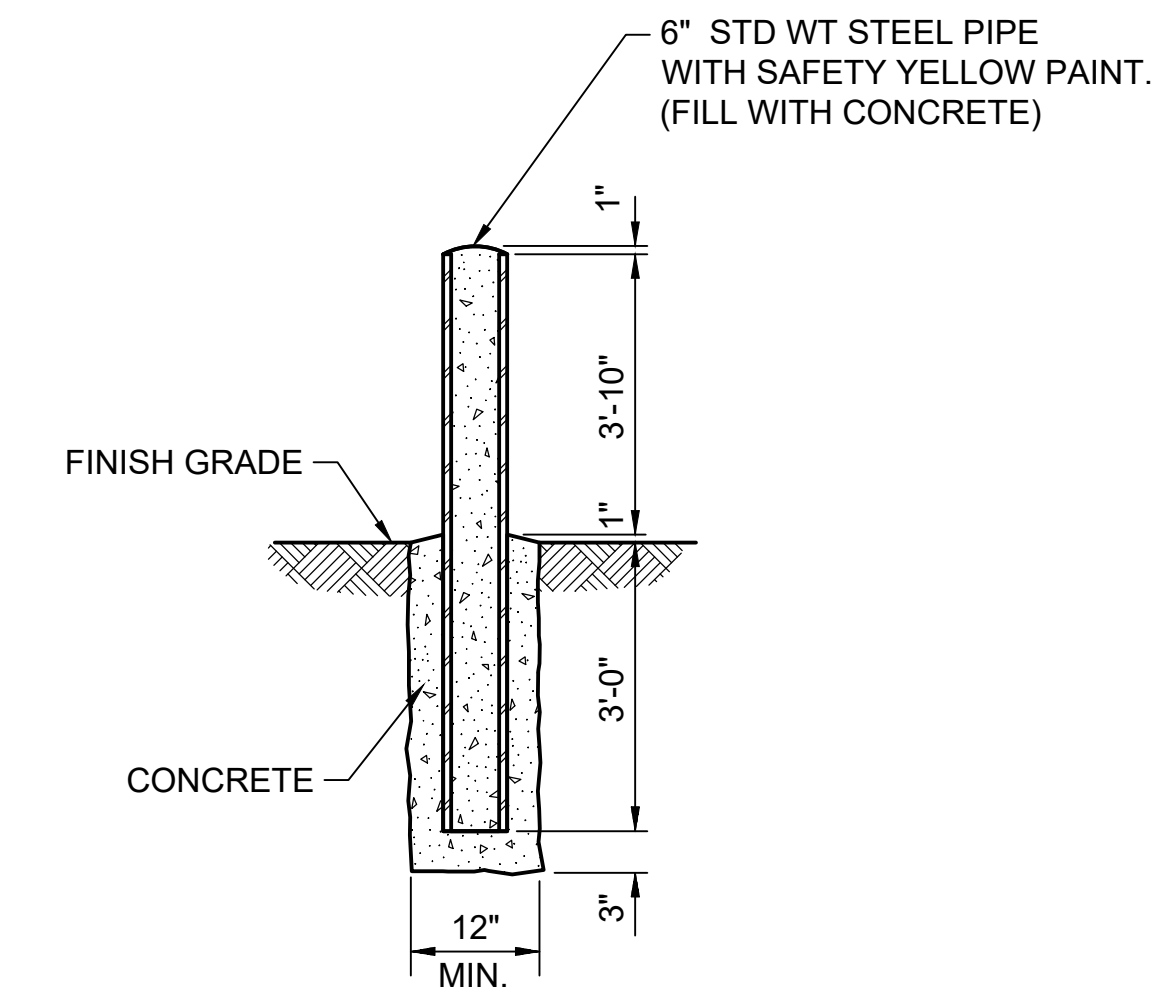


- NOTES:**
1. PLACE 3/4" EXPANSION JOINTS WITH 24" DOWELS AT RADIUS POINTS OR A MAXIMUM OF 60' ON STRAIGHT SECTIONS. THESE DOWELS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
  2. INSTALL 1 1/2" DEEP CONTRACTION JOINTS AT APPROXIMATELY 15' INTERVALS. THESE JOINTS SHALL PASS THROUGH THE ENTIRE CURB SECTION.
  3. FIX DOWELS WITH BAR CHAIRS OR EQUAL.

**CURB AND GUTTER**  
 DETAIL NOT TO SCALE C-4401-1-105

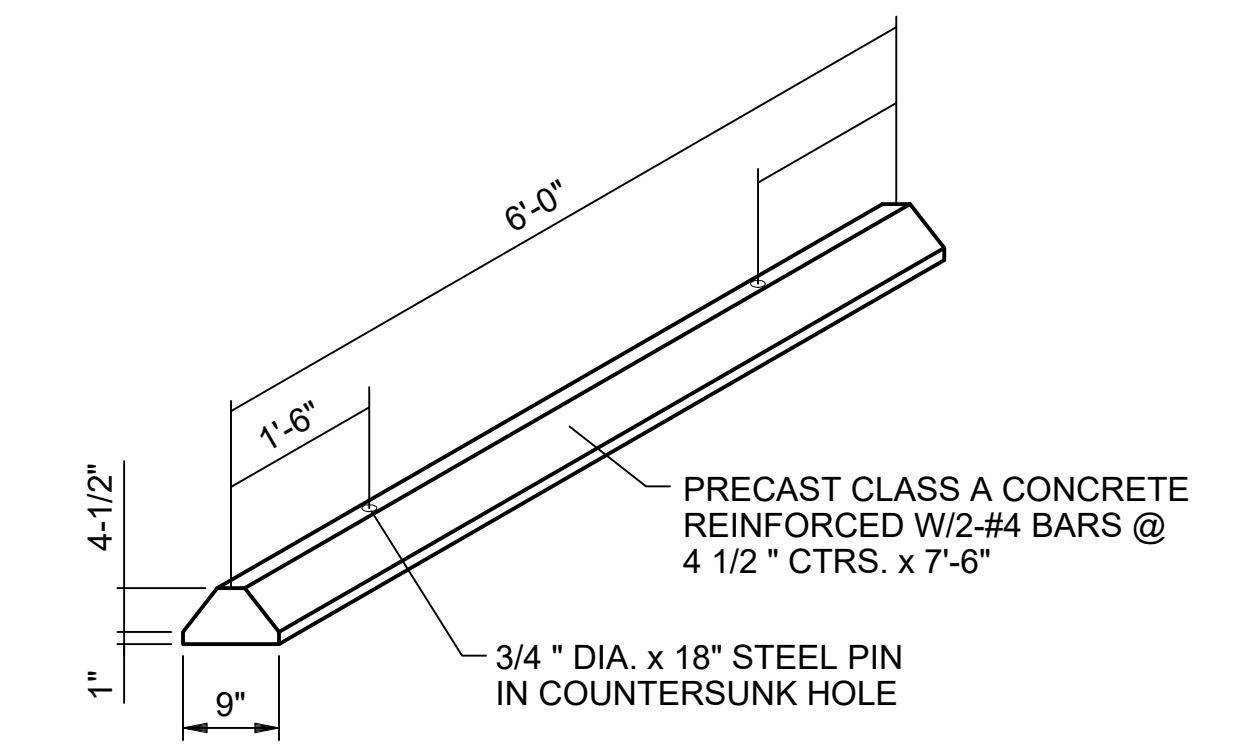


**CURB AND GUTTER TAPERED END**  
 DETAIL NOT TO SCALE C-4401-1-105

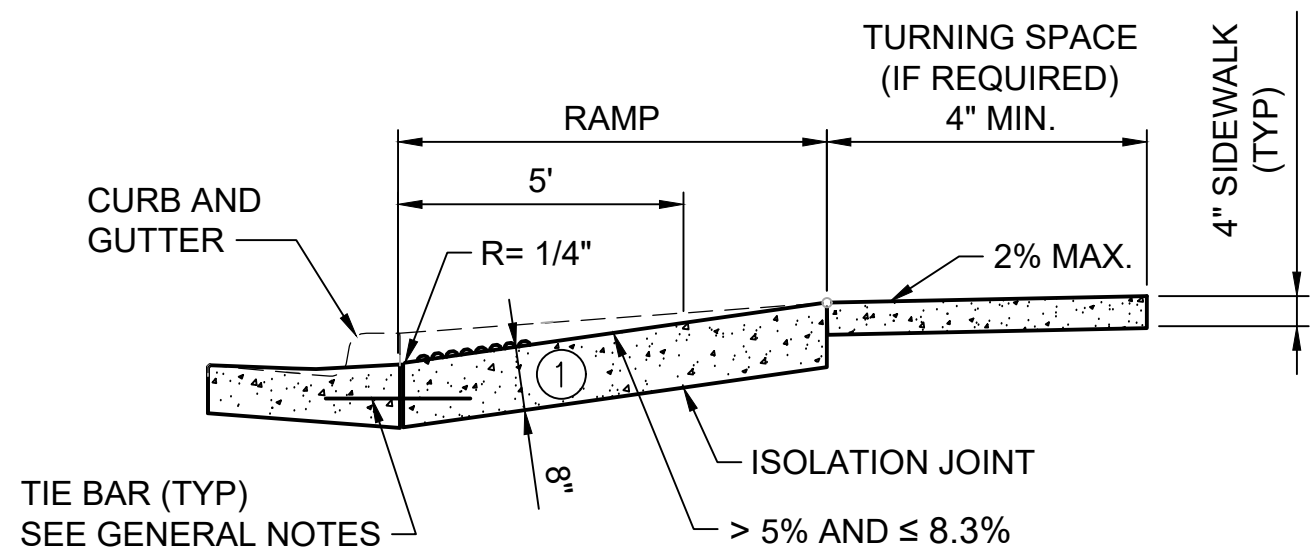


- NOTES:**
1. PREPARE SURFACE IN FIELD BY SSPC-SP3 METHODS TO SSPC-SP6 QUALITY AND 1.0 MIL MIN PROFILE DEPTH. FIRST COAT IS TO BE ALKYD PRIMER AT MIN 40% SOLIDS BY VOLUME. APPLIED AT 2 MILS DRY. SECOND AND THIRD COATS ARE TO BE ALKYD GLOSS ENAMEL MIN 40% SOLIDS BY VOLUME. EACH COAT APPLIED AT 1.5 MILS DRY. TOTAL COATING 5 MIL MIN DRY FILM.
  2. SEE CIVIL SITE PLAN FOR LOCATION AND QUANTITY OF BOLLARDS TO BE INSTALLED.

**BOLLARD**  
 DETAIL NOT TO SCALE C-4401-1-105

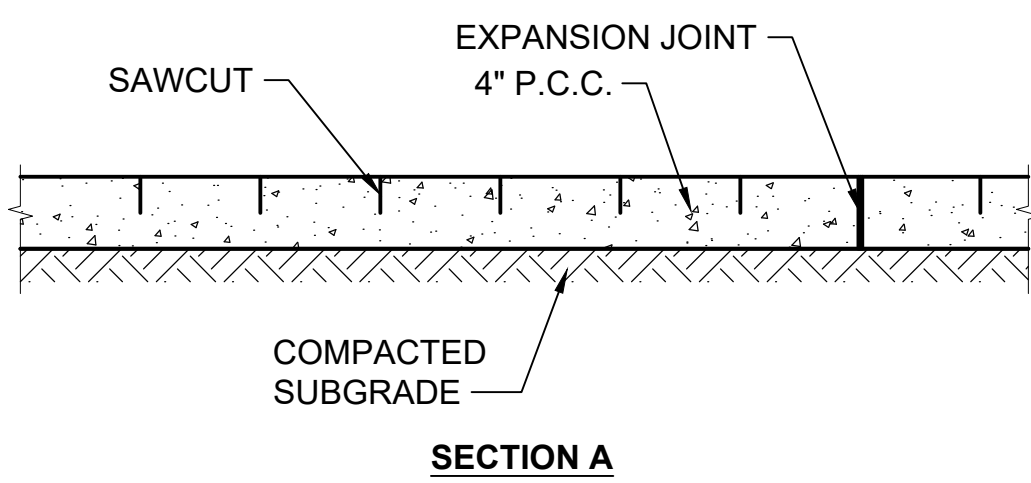


**PRECAST CONCRETE PARKING BLOCK**  
 DETAIL NOT TO SCALE C-4401-1-105

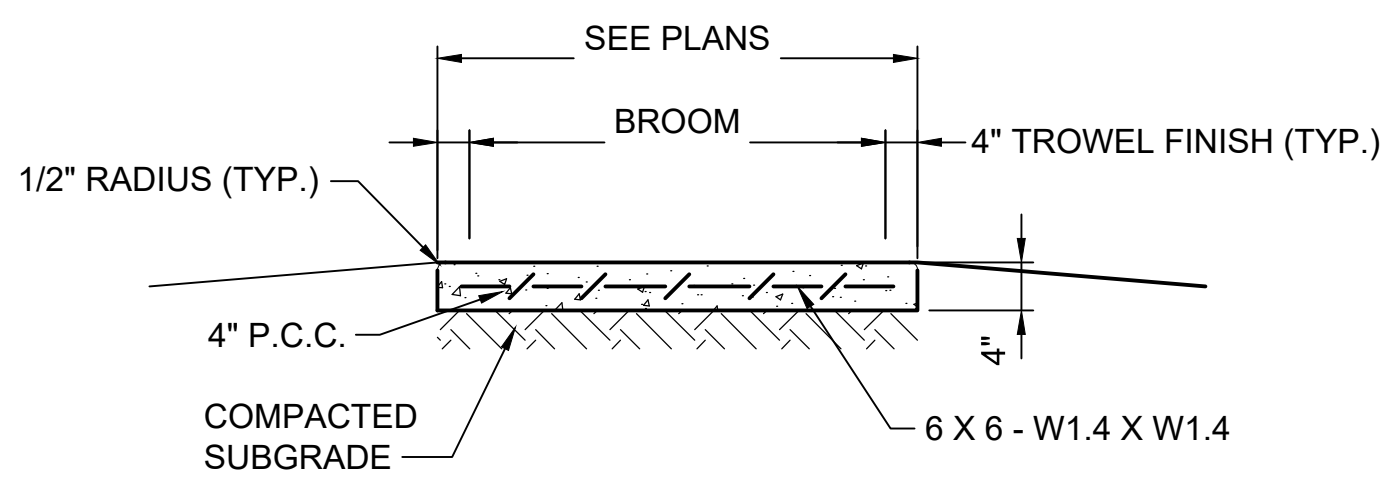


- 1 ONLY 8" THICK PANELS WILL BE PAID FOR AS "RAMP". SIDEWALK BEHIND ISOLATION JOINT WILL BE PAID FOR AS "4\"/>

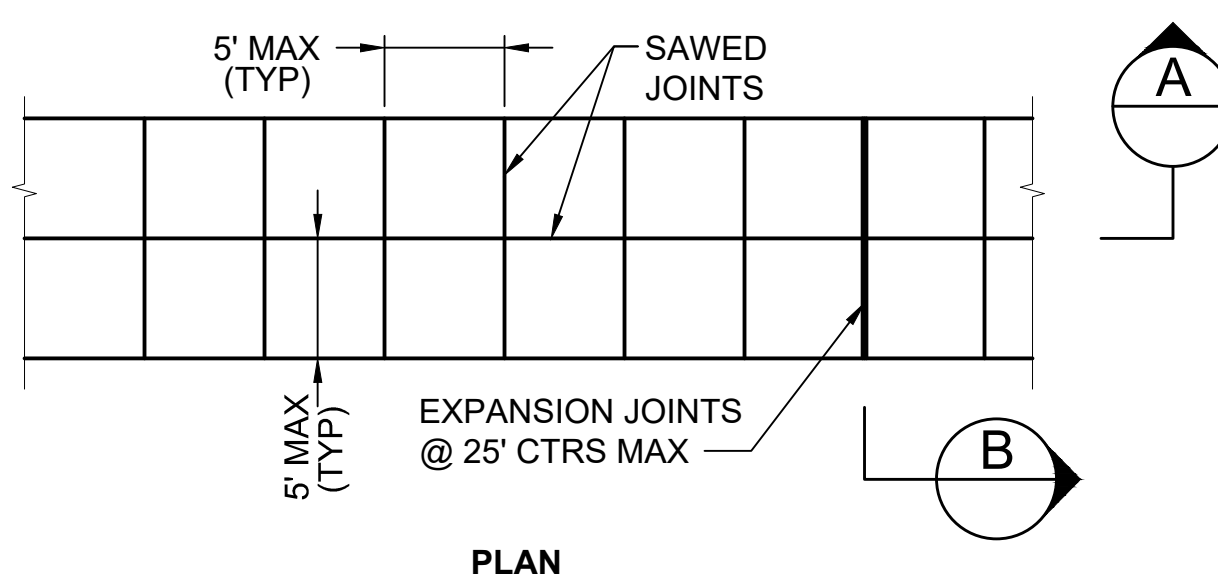
**SIDEWALK RAMP**  
 DETAIL NOT TO SCALE C-4401-1-105



**SECTION A**



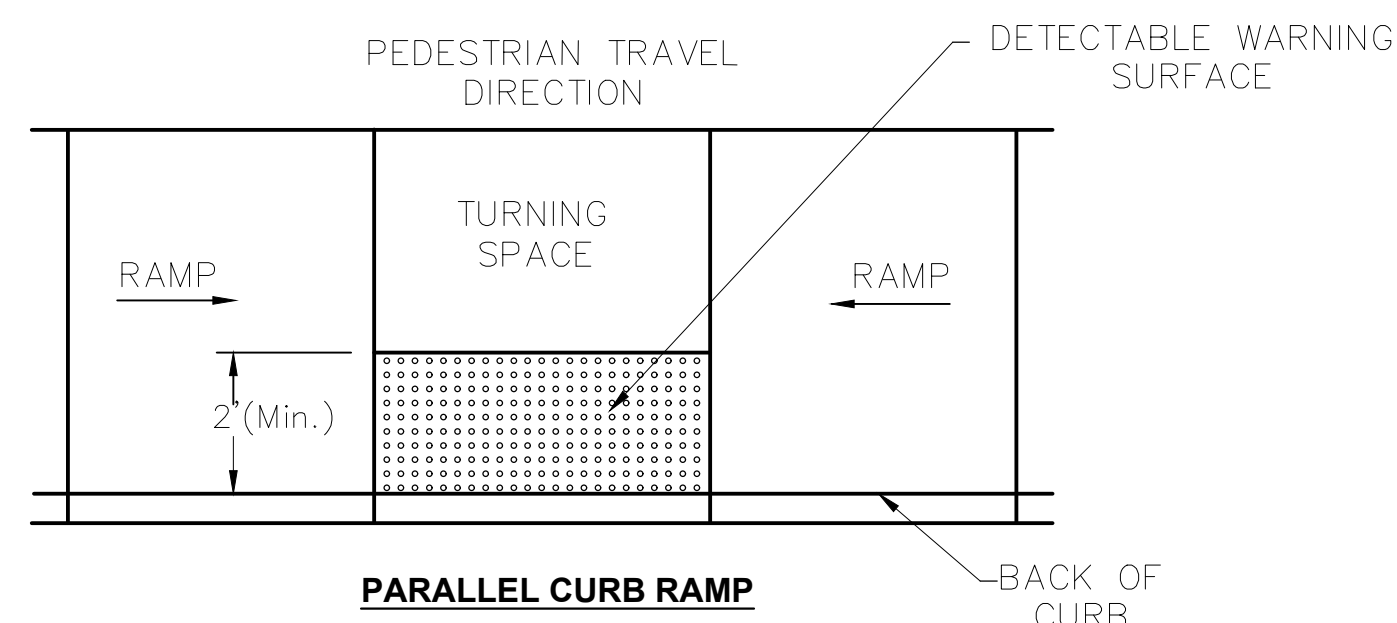
**SECTION B**



**PLAN**

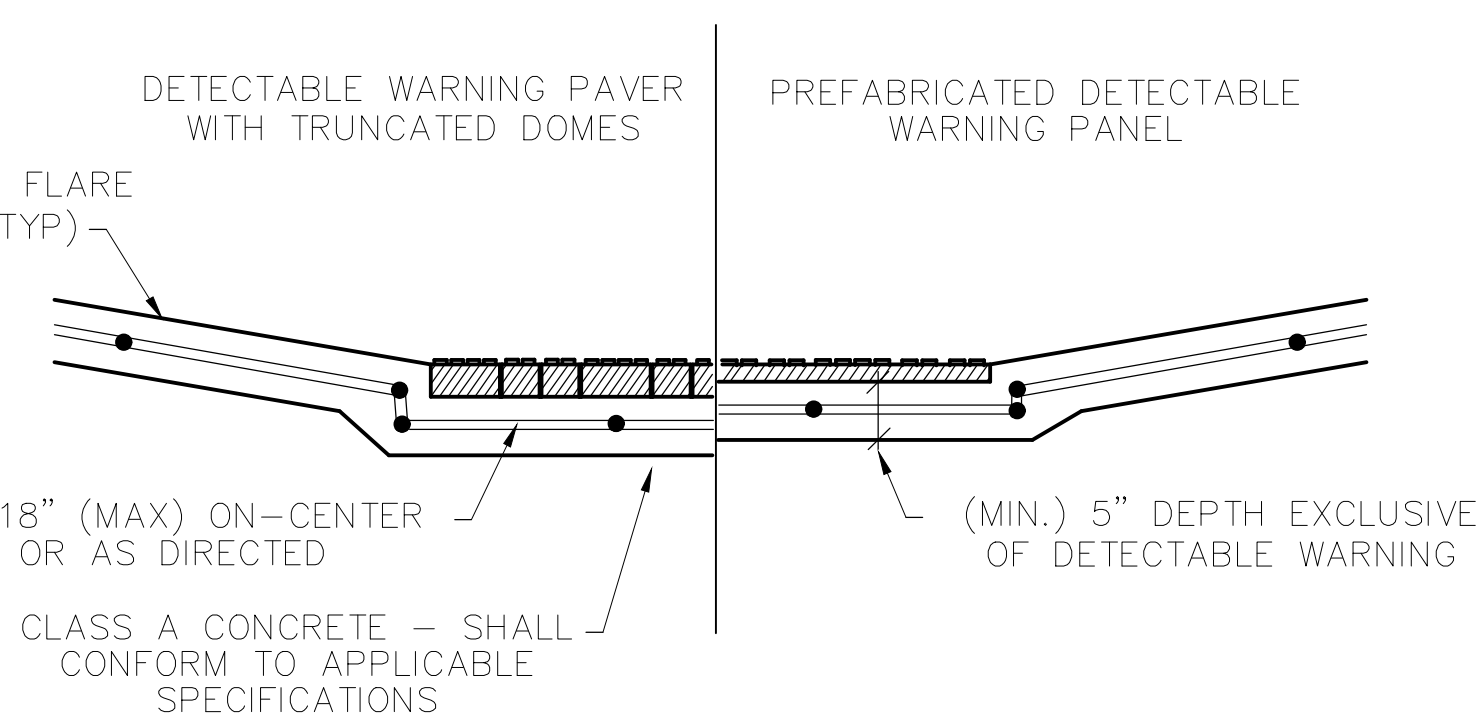
- NOTES:**
1. BROOM FINISH SHALL BE APPLIED NORMAL TO DIRECTION OF TRAFFIC.
  2. SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF TEMPLE SPECIFICATIONS.

**SIDEWALK**  
 DETAIL NOT TO SCALE C-4401-1-105



**PARALLEL CURB RAMP**

TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON LANDING AT STREET EDGE.



**SECTION VIEW DETAIL CURB RAMP AT DETECTABLE WARNINGS**

**CURB RAMPS**

1. INSTALL A CURB RAMP OR BLENDED TRANSITION AT EACH PEDESTRIAN STREET CROSSING.
2. ALL SLOPES SHOWN ARE MAXIMUM ALLOWABLE. CROSS SLOPES OF 1.5% AND LESSER RUNNING SHOULD BE USED. ADJUST CURB RAMP LENGTH OR GRADE OF APPROACH SIDEWALKS AS DIRECTED.
3. MAXIMUM ALLOWABLE CROSS SLOPE ON SIDEWALK AND CURB RAMP SURFACES IS 2%.
4. TURNING SPACES SHALL BE 5' X 5' MINIMUM. CROSS SLOPE SHALL BE MAXIMUM 2%.
5. PROVIDE FLARED SIDES WHERE THE PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP. FLARED SIDES SHALL BE SLOPED AT 10% MAXIMUM, MEASURED PARALLEL TO THE CURB. RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP, EITHER BECAUSE THE ADJACENT SURFACE IS PLANTED, SUBSTANTIALLY OBSTRUCTED, OR OTHERWISE PROTECTED.
6. ADDITIONAL INFORMATION ON CURB RAMP LOCATION, DESIGN, LIGHT REFLECTIVE VALUE AND TEXTURE MAY BE FOUND IN THE LATEST DRAFT OF THE PROPOSED GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT OF WAY (PROWAG) AS PUBLISHED BY THE U.S. ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD (ACCESS BOARD).
7. CROSSWALK DIMENSIONS AND MARKINGS LOCATIONS SHALL BE AS SHOWN ELSEWHERE IN THE PLANS. AT INTERSECTIONS WHERE CROSSWALK MARKINGS ARE NOT REQUIRED, CURB RAMPS SHALL ALIGN WITH THEORETICAL CROSSWALKS UNLESS OTHERWISE DIRECTED.
8. PROVIDE CURB RAMPS TO CONNECT THE PEDESTRIAN ACCESS ROUTE AT EACH PEDESTRIAN STREET CROSSING. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
9. PLACE CONCRETE AT A MINIMUM DEPTH OF 5" FOR RAMPS, FLARES AND LANDINGS, UNLESS OTHERWISE DIRECTED.
10. FURNISH AND INSTALL NO. 3 REINFORCING STEEL BARS AT 18" O.C. BOTH WAYS, UNLESS OTHERWISE DIRECTED.
11. PROVIDE A SMOOTH TRANSITION WHERE THE CURB RAMPS CONNECT TO THE STREET.
12. EXISTING FEATURES THAT COMPLY WITH APPLICABLE STANDARDS MAY REMAIN IN PLACE UNLESS OTHERWISE SHOWN ON THE PLANS.

**DETECTABLE WARNINGS**

**DETECTABLE WARNINGS**  
 DETAIL NOT TO SCALE C-4401-1-105

**DETECTABLE WARNING MATERIAL**

13. CURB RAMPS MUST CONTAIN A DETECTABLE WARNING SURFACE THAT CONSISTS OF RAISED TRUNCATED DOMES COMPLYING WITH PROWAG. THE SURFACE MUST CONTRAST VISUALLY WITH ADJOINING SURFACES, INCLUDING SIDE FLARES. FURNISH AND INSTALL AN APPROVED CAST-IN-PLACE DARK BROWN OR DARK RED DETECTABLE WARNING SURFACE MATERIAL ADJACENT TO UNCOLORED CONCRETE, UNLESS SPECIFIED ELSEWHERE IN THE PLANS.
14. DETECTABLE WARNING SURFACES MUST BE FIRM, STABLE AND SLIP RESISTANT.
15. DETECTABLE WARNING SURFACES SHALL BE A MINIMUM OF 24 INCHES IN DEPTH IN THE DIRECTION OF PEDESTRIAN TRAVEL, AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR LANDING WHERE THE PEDESTRIAN ACCESS ROUTE ENTERS THE STREET.
16. DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS AT THE BACK OF CURB AND NEITHER END OF THAT EDGE IS GREATER THAN 5 FEET FROM THE BACK OF CURB. DETECTABLE WARNING SURFACES MAY BE CURVED ALONG THE CORNER RADIUS.

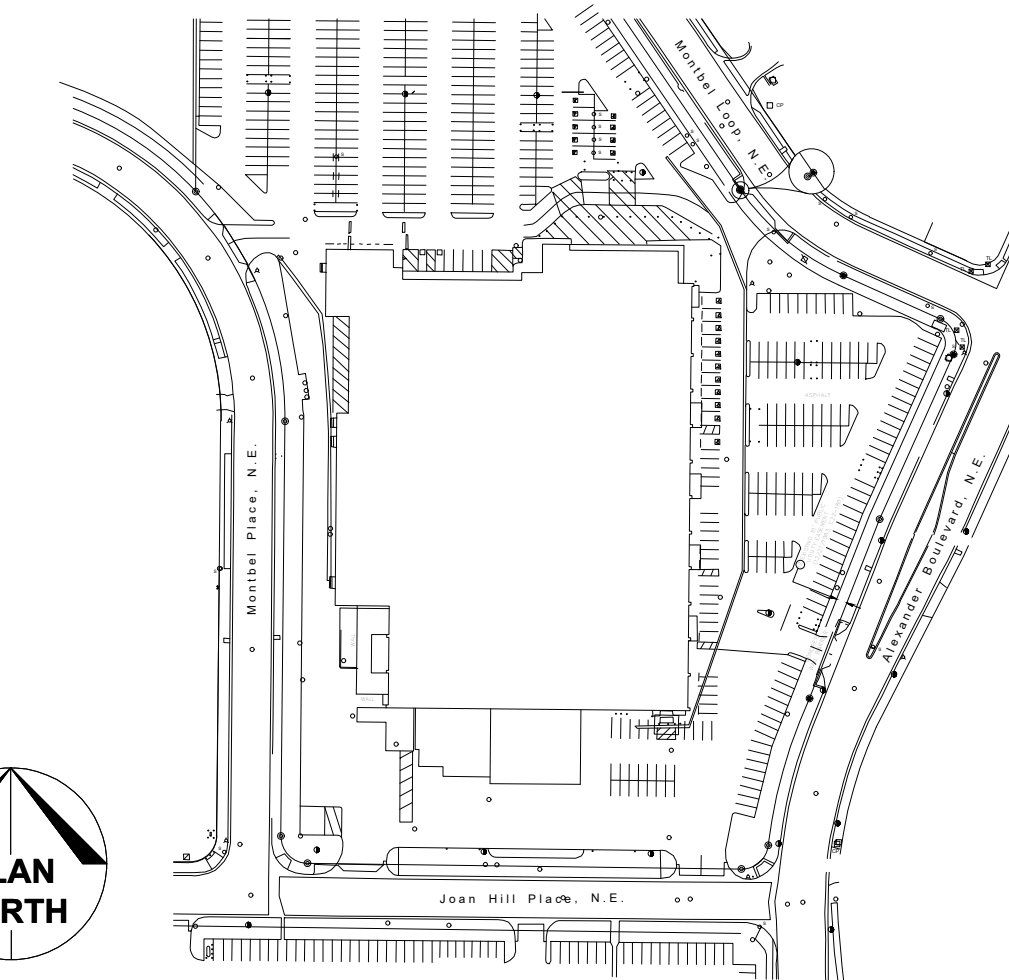
**DETECTABLE WARNING PAVERS (IF USED)**

17. FURNISH DETECTABLE WARNING PAVER UNITS MEETING ALL REQUIREMENTS OF ASTM C-936, C-33. LAY IN A TWO BY TWO UNIT BASKET WEAVE PATTERN OR AS DIRECTED.
18. LAY FULL-SIZE UNITS FIRST FOLLOWED BY CLOSURE UNITS CONSISTING OF AT LEAST 25 PERCENT (25%) OF A FULL UNIT. CUT DETECTABLE WARNING PAVER UNITS USING A POWER SAW.

**SIDEWALKS**

19. STREET GRADES AND CROSS SLOPES SHALL BE AS SHOWN ELSEWHERE IN THE PLANS.
20. CHANGES IN LEVEL GREATER THAN 1/4 INCH ARE NOT PERMITTED.
21. THE LEAST POSSIBLE GRADE SHOULD BE USED TO MAXIMIZE ACCESSIBILITY.
22. SIDEWALK DETAILS ARE SHOWN ELSEWHERE IN THE PLANS.

**KEY PLAN:**



**ARCHITECTS/ENGINEERS:**

**BURNS MEDONNELL**  
 9400 WARD PARKWAY  
 KANSAS CITY, MO 64114

**PRELIMINARY - NOT FOR CONSTRUCTION**

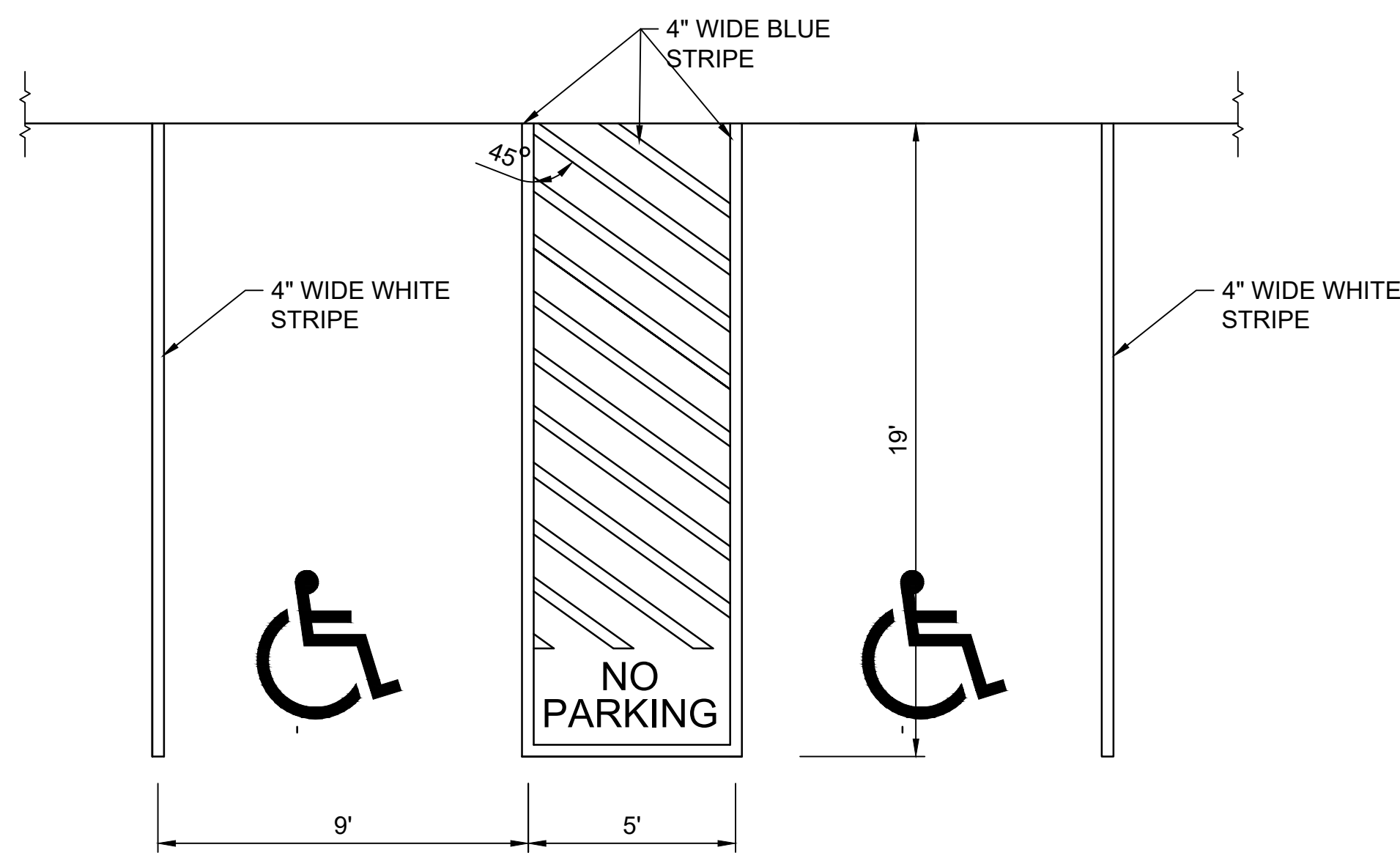
PROJECT NUMBER: PR-2018-001252  
 APPLICATION NUMBER: SI-2022-02328

C	01/27/23	ISSUED FOR REVIEW	SE	JL
B	11/04/22	ISSUED FOR REVIEW	SE	JL
A	09/12/22	ISSUED FOR REVIEW	SE	JL

DESIGNED / DRAWN: S. ENGMANN	LOCATION:	<b>curia</b> 4401 ALEXANDER BLVD, NE ALBUQUERQUE, NEW MEXICO, 87109
ENGINEER REVIEW: J. LAVENDER	EQUIPMENT FILE NO: EQUIP FILE NO.	
DATE: 01/24/2023	SCALE: NO SCALE	PLOT: SCALE 1:1
DRAWING NUMBER: C-4401-1-501	SIZE: E1	<b>BUILDING 4401 CIVIL SITE DETAILS 1</b>



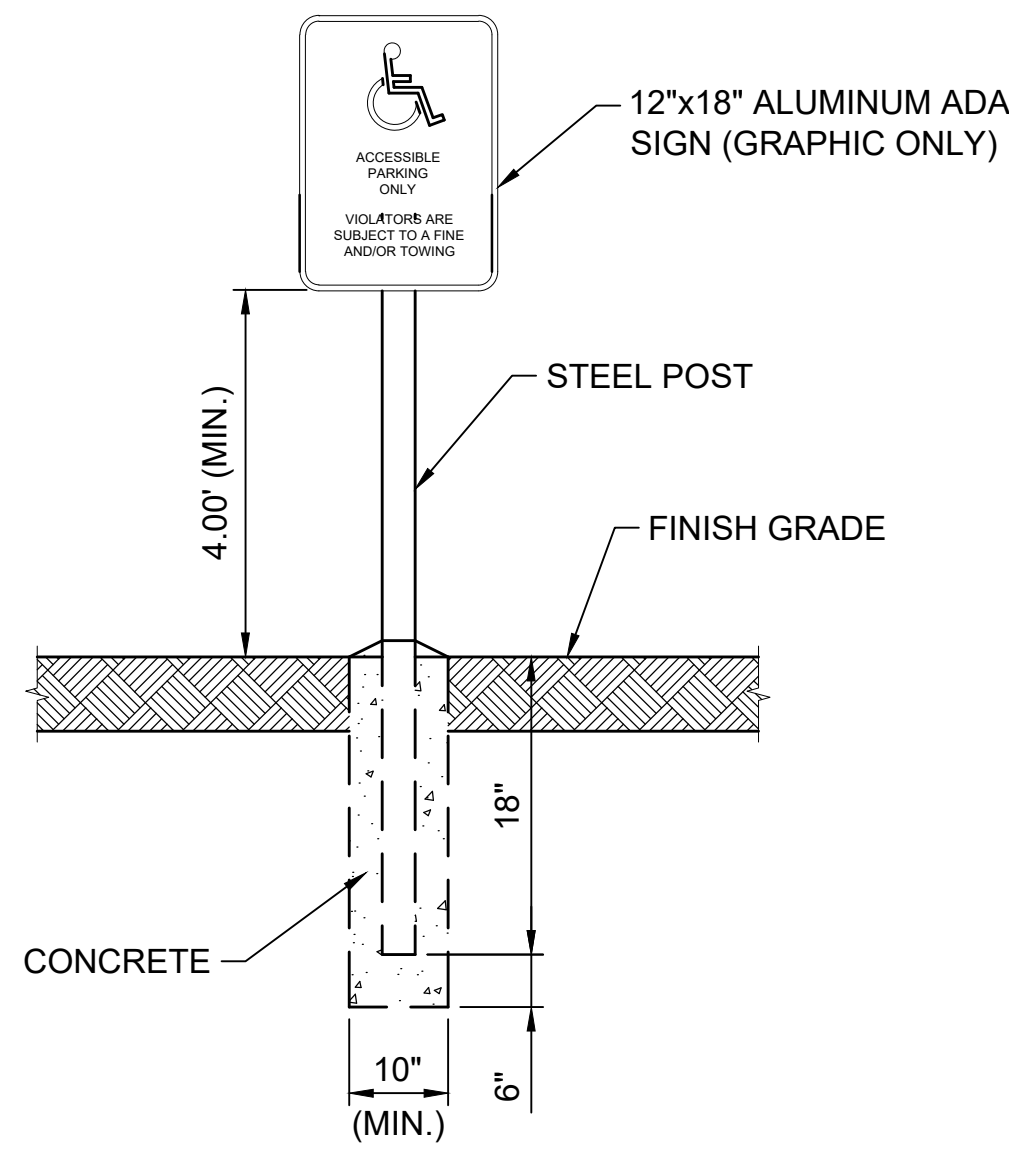
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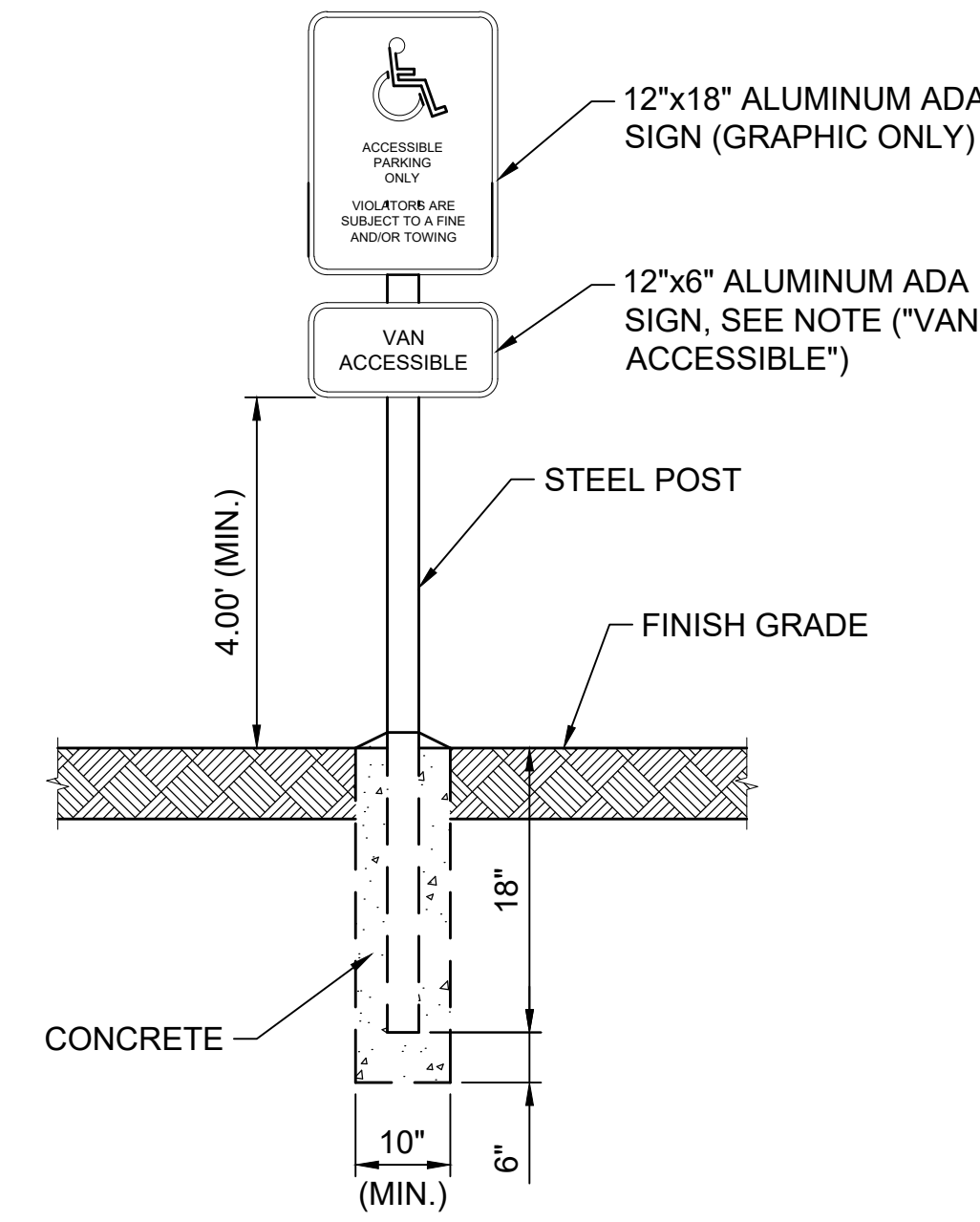
NOTES:

- 1. VAN ACCESSIBLE PARKING WIDTH SHALL BE 8' OPPOSED TO 5' AS SHOWN.
- 2. NO PARKING LETTERING SHALL NOT BE LESS THAN 1' TALL AND 2' WIDE

ADA PARKING STALL



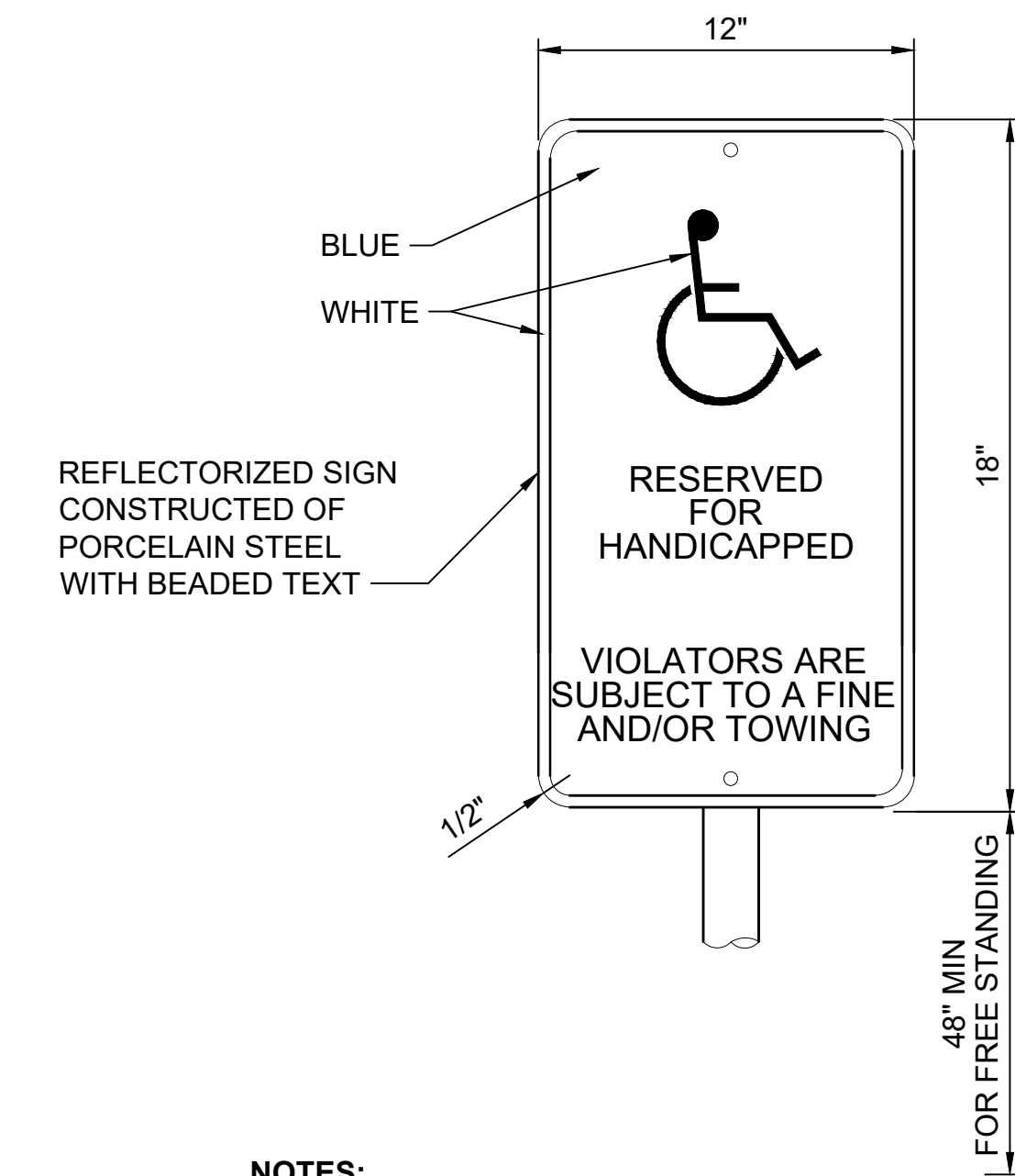
ADA PARKING STALL SIGN POST



NOTES:

- 1. VAN ACCESSIBLE SIGN SHALL ONLY BE PLACED ON VAN POSITIONS AS SHOWN ON SHEET CS104.

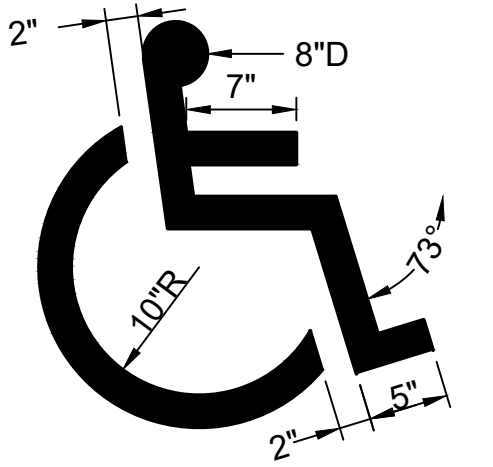
ADA VAN PARKING STALL SIGN POST



NOTES:

- 1. SIGN SHALL BE CENTERED AT THE INTERIOR END OF PARKING SPACE.

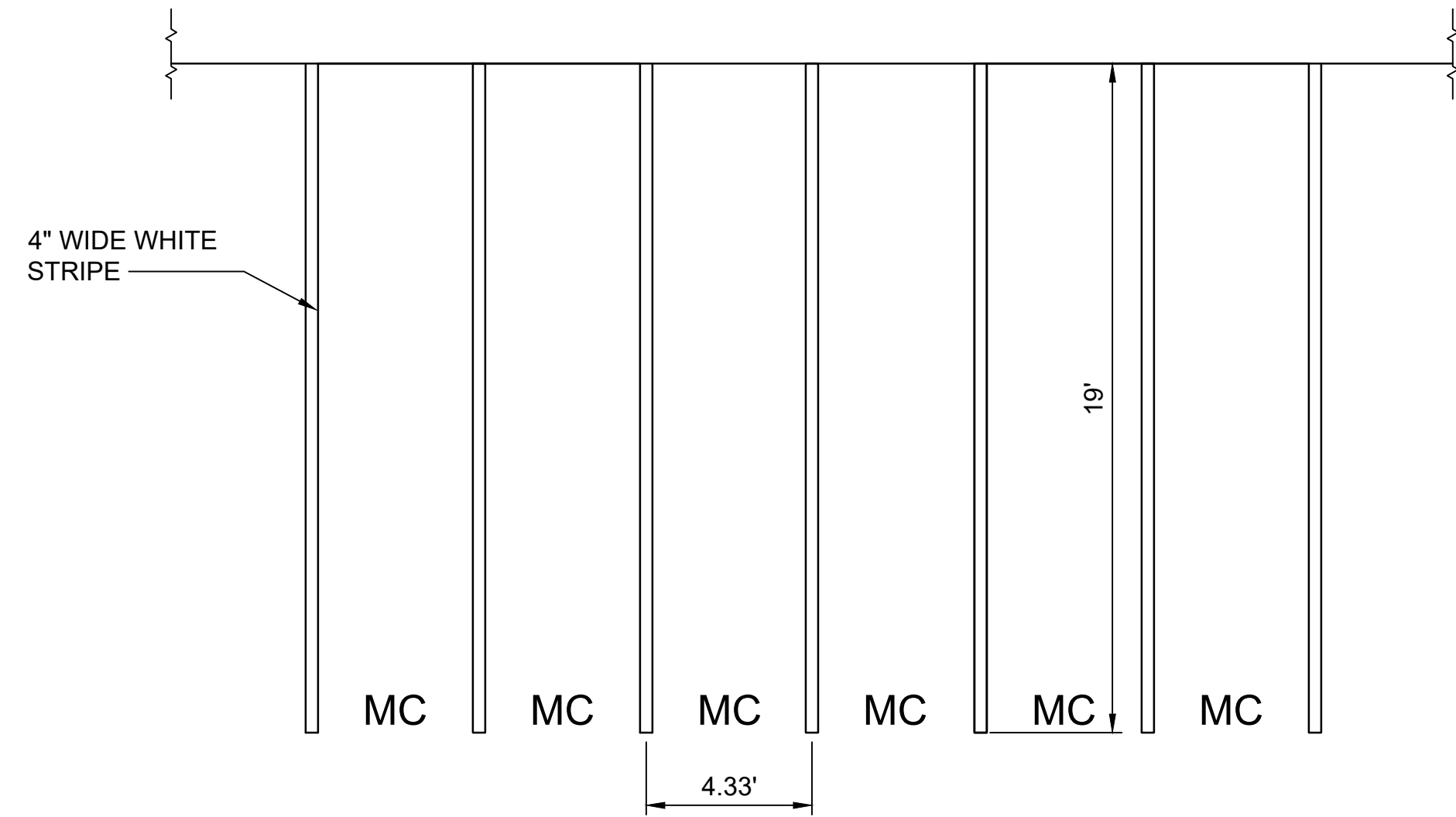
ADA SIGN



NOTES:

- 1. SYMBOL SHALL BE PAINTED AT END OF PARKING STALL.

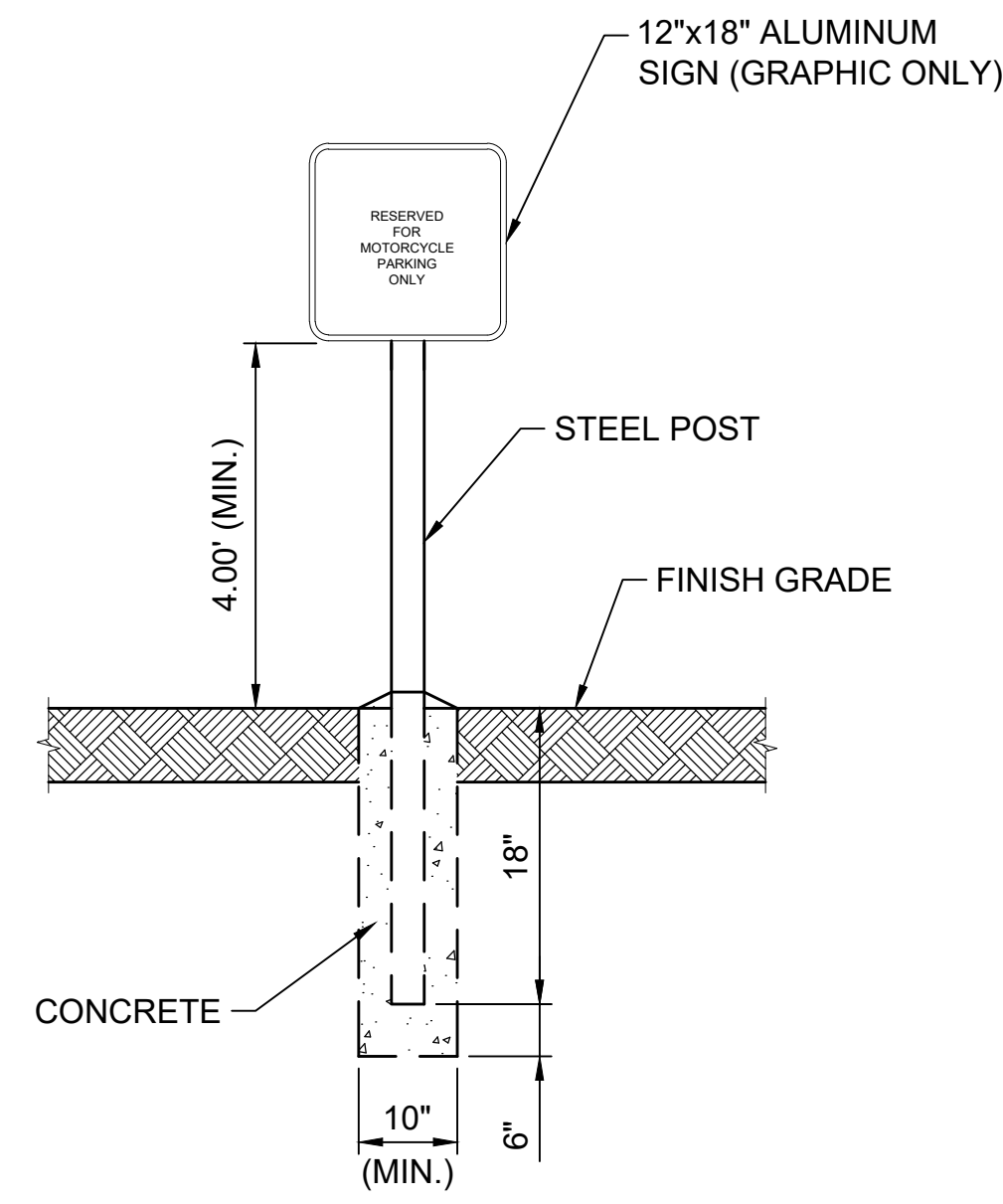
ADA PARKING STALL SYMBOL



NOTES:

- 1. MC LETTERING SHALL BE CENTERED WITHIN MOTORCYCLE PARKING STALL.
- 2. MC LETTERING SHALL NOT BE LESS THAN 1' TALL AND 2' WIDE

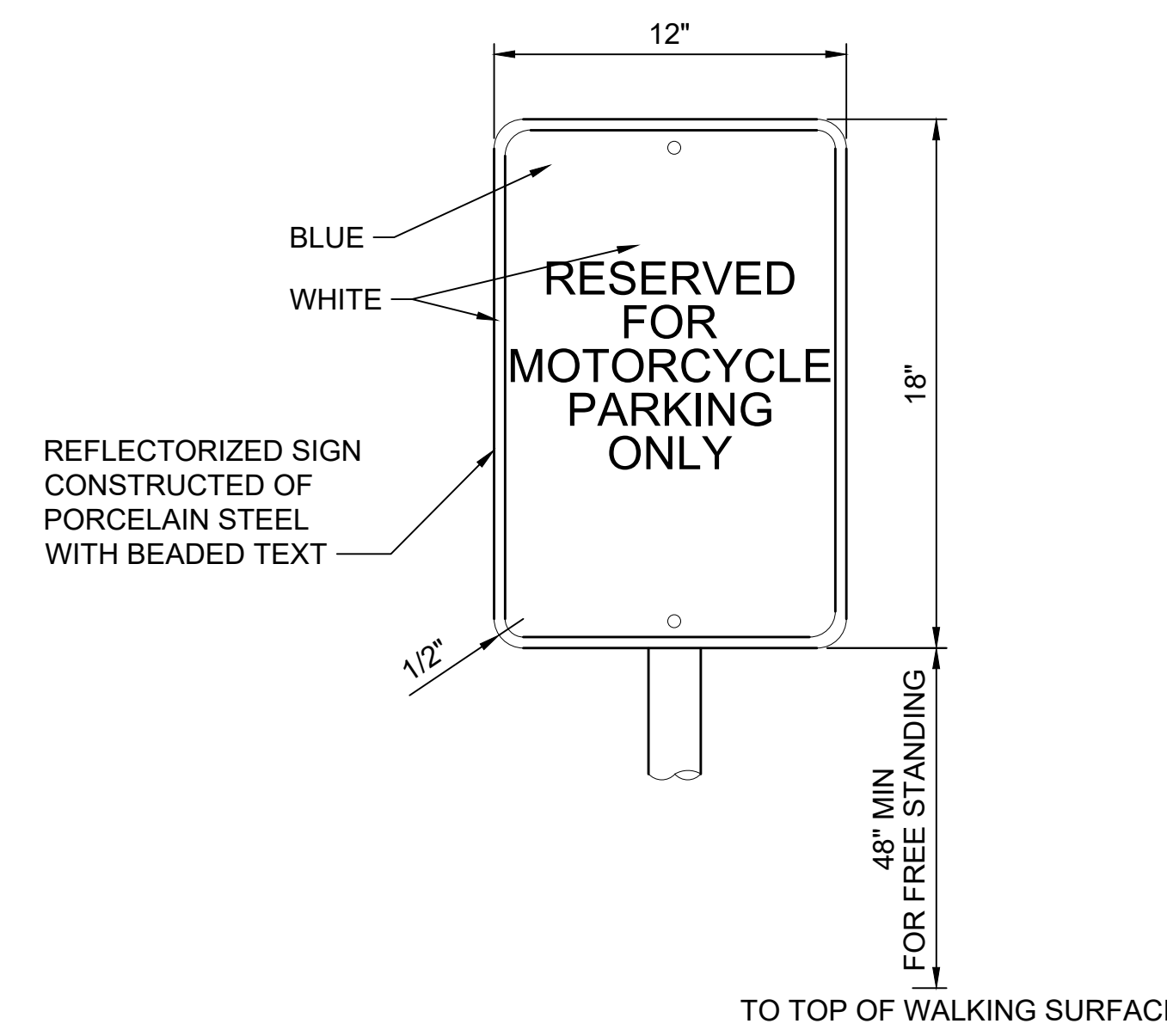
MOTORCYCLE PARKING STALL



NOTES:

- 1. SIGN SHALL BE CENTERED AT THE INTERIOR END OF PARKING SPACE.

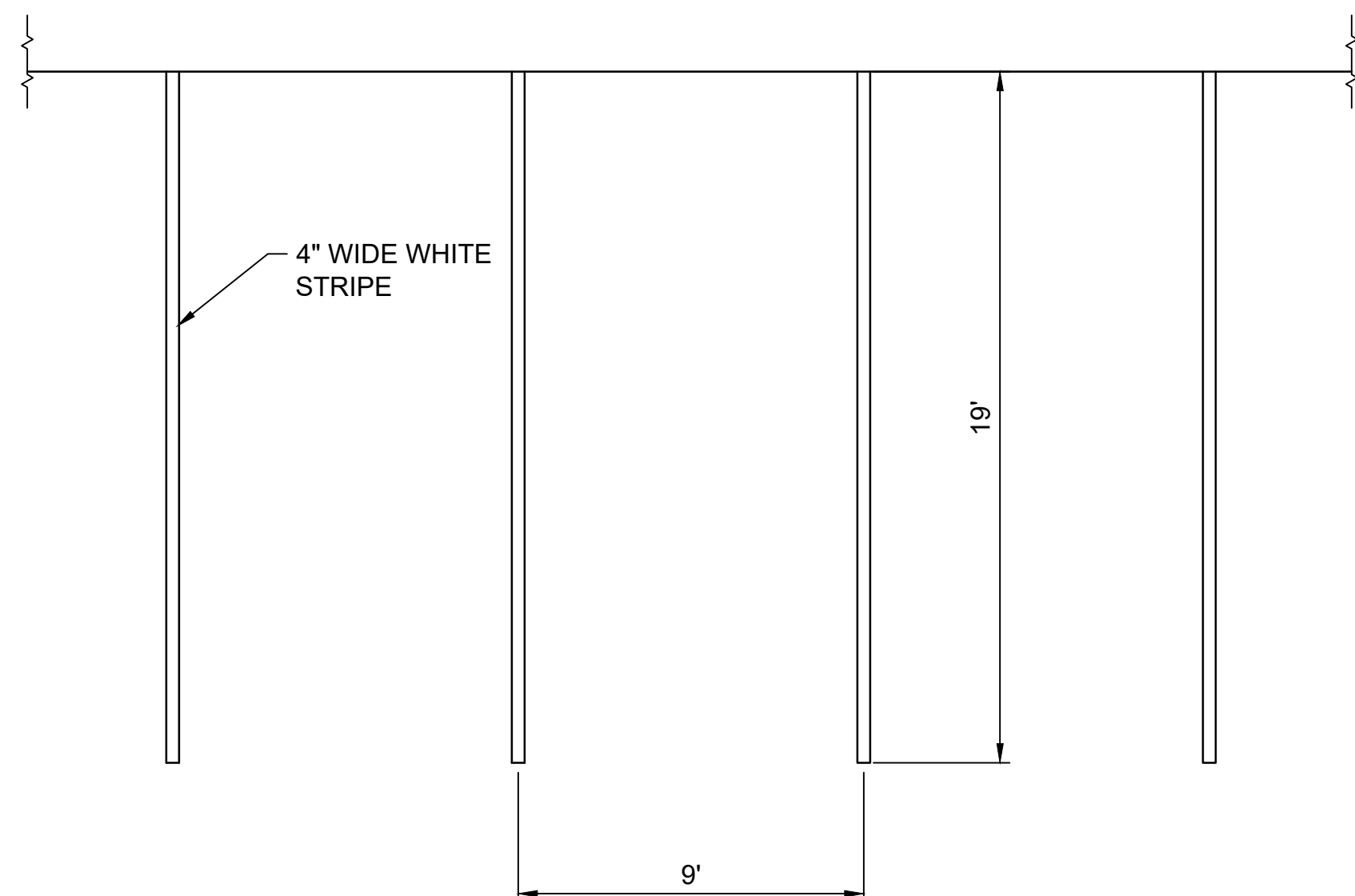
MOTORCYCLE PARKING STALL SIGN POST



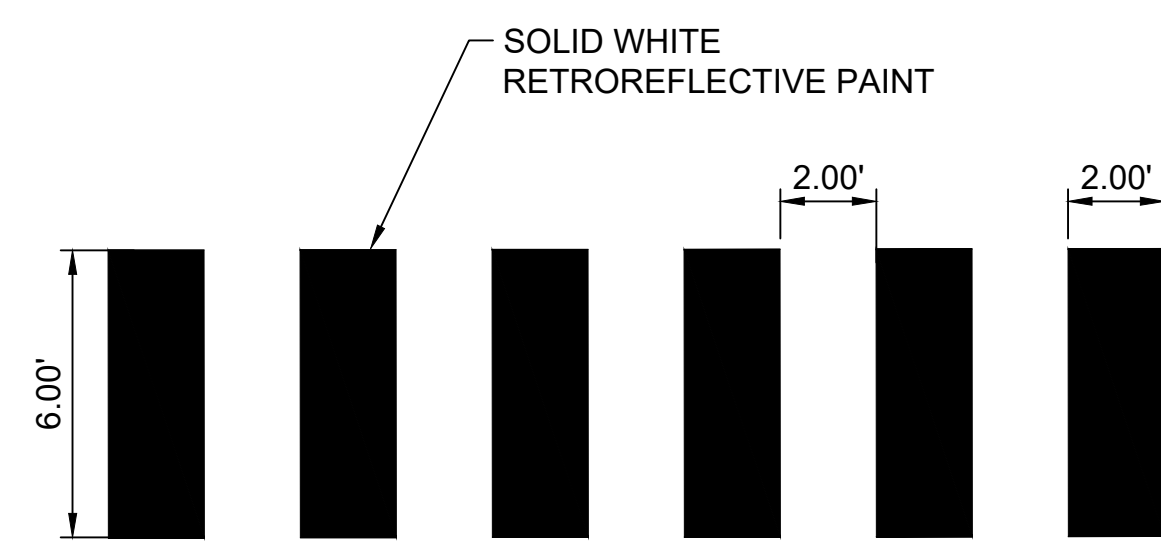
NOTES:

- 1. SIGN SHALL BE CENTERED AT THE INTERIOR END OF PARKING SPACE.

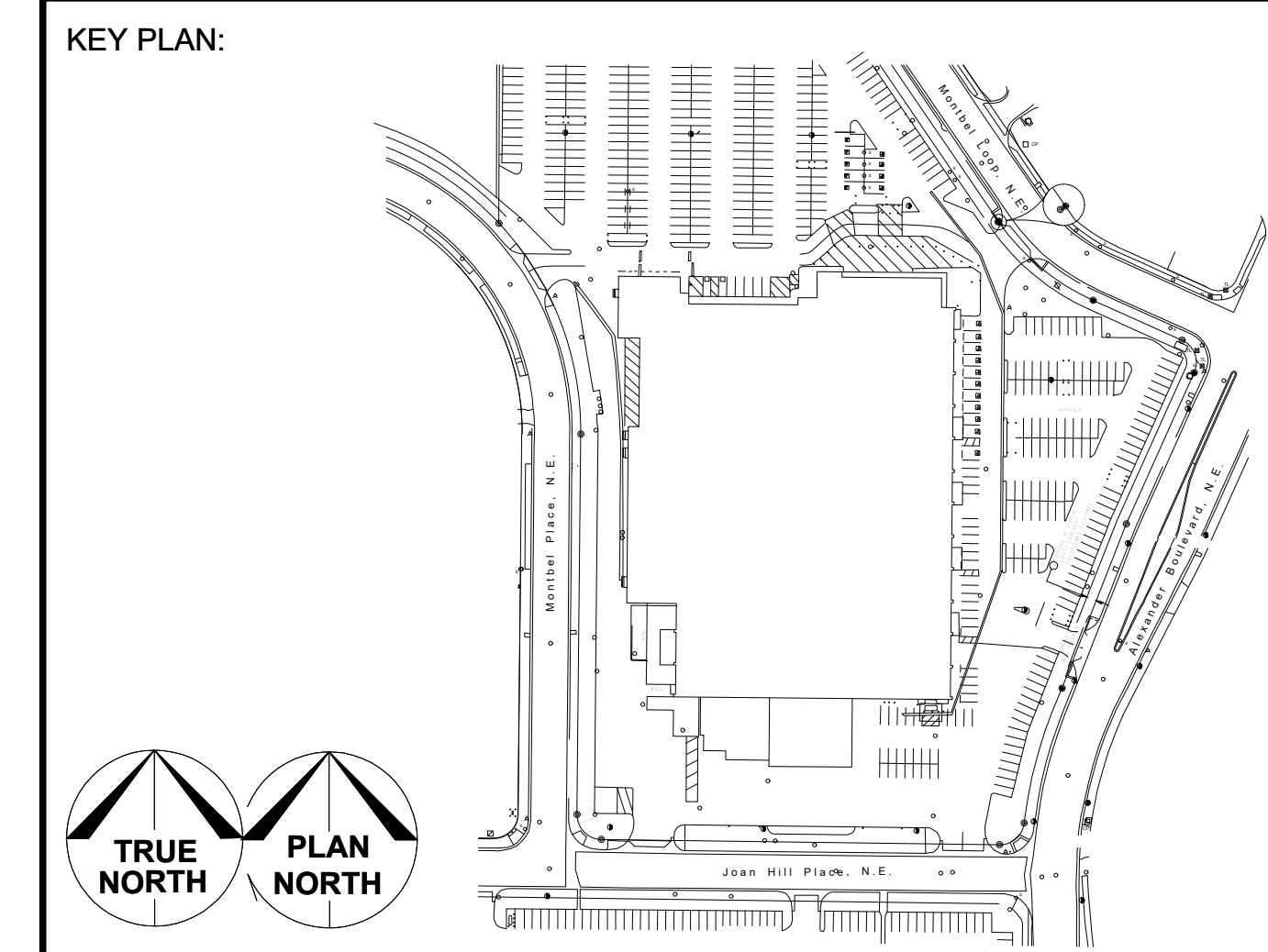
MOTORCYCLE PARKING SIGN



STANDARD PARKING STALL



STANDARD PEDESTRIAN CROSSING



ARCHITECTS/ENGINEERS:  
**BURNS MEDONNELL**  
 9400 WARD PARKWAY  
 KANSAS CITY, MO 64114

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PROJECT NUMBER: PR-2018-001252  
 APPLICATION NUMBER: SI-2022-02328

C	01/27/23	ISSUED FOR REVIEW	SE	JL
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DESIGNED / DRAWN:	LOCATION:			
S. ENGEMANN				
ENGINEER REVIEW:	EQUIPMENT FILE NO.:			
J. LAVENDER	EQUIP FILE NO.:			
DATE:	SCALE:	PLOT:		
01/24/2023	NO SCALE	1:1		
DRAWING NUMBER:	SIZE:			
C-4401-1-502	E1			



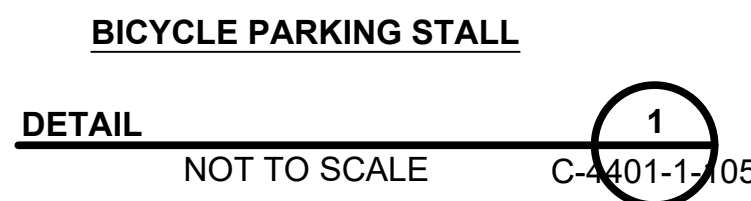
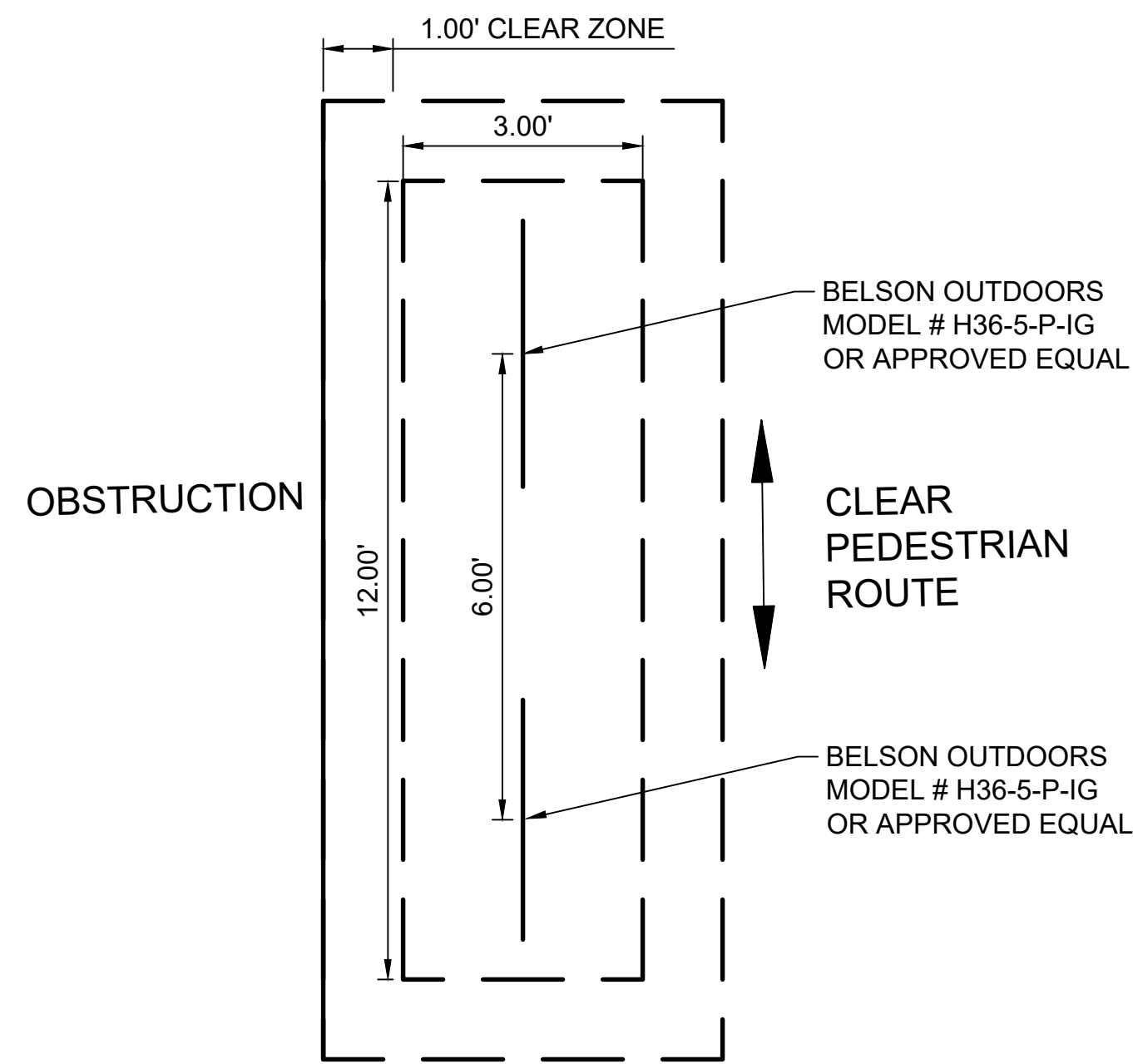
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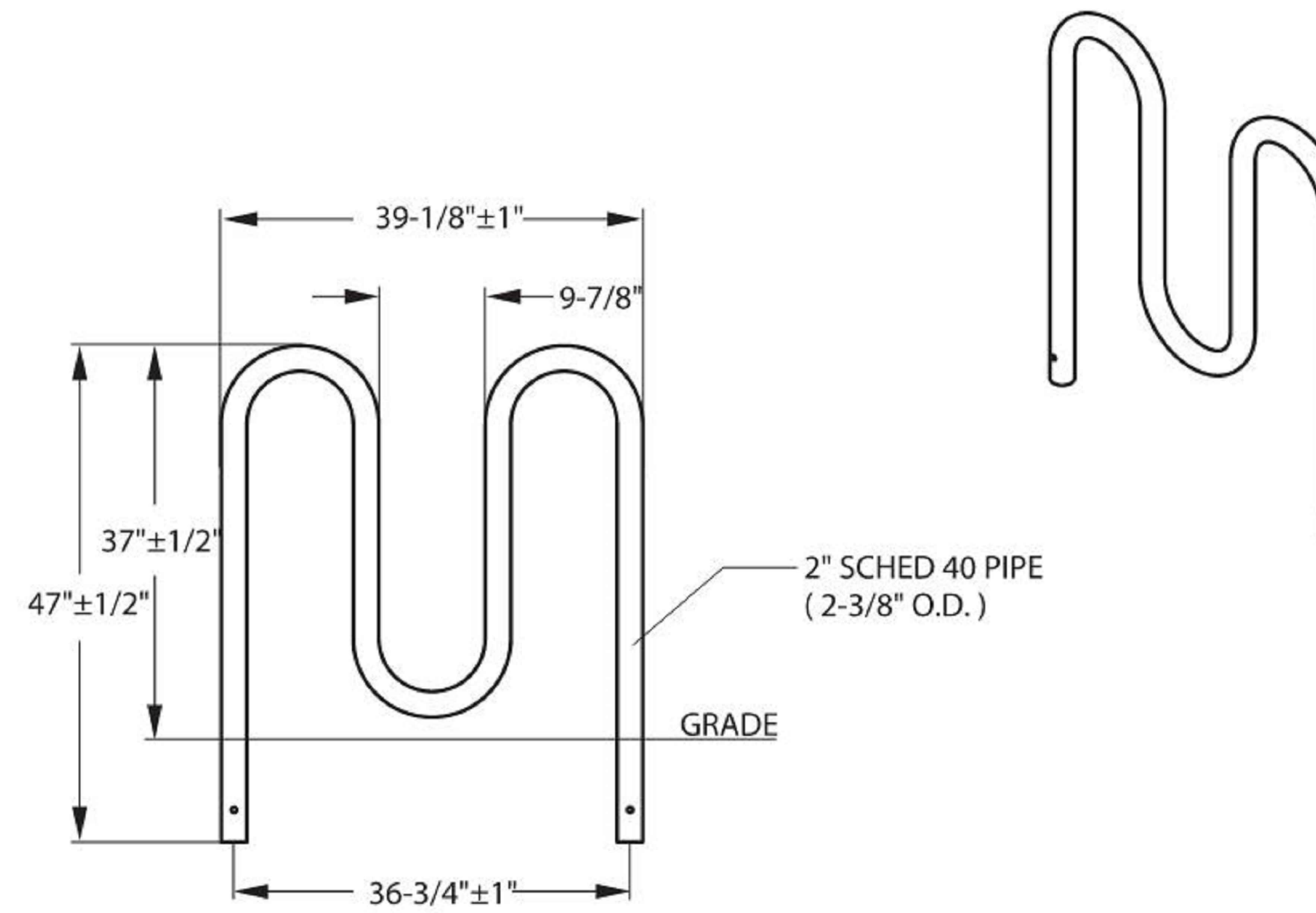
627 Amersale Drive  
Naperville, IL 60563  
Phone: (800) 323-5664  
Fax: (630) 897-0573  
sales@belson.com

Model # H36-5-P-IG

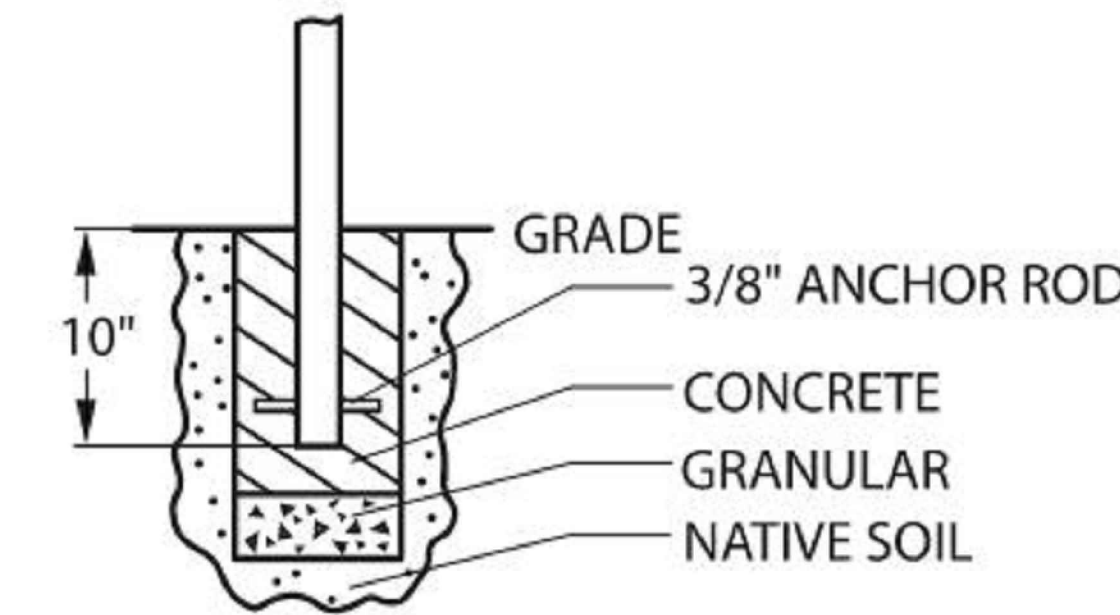
Dimension Sheet



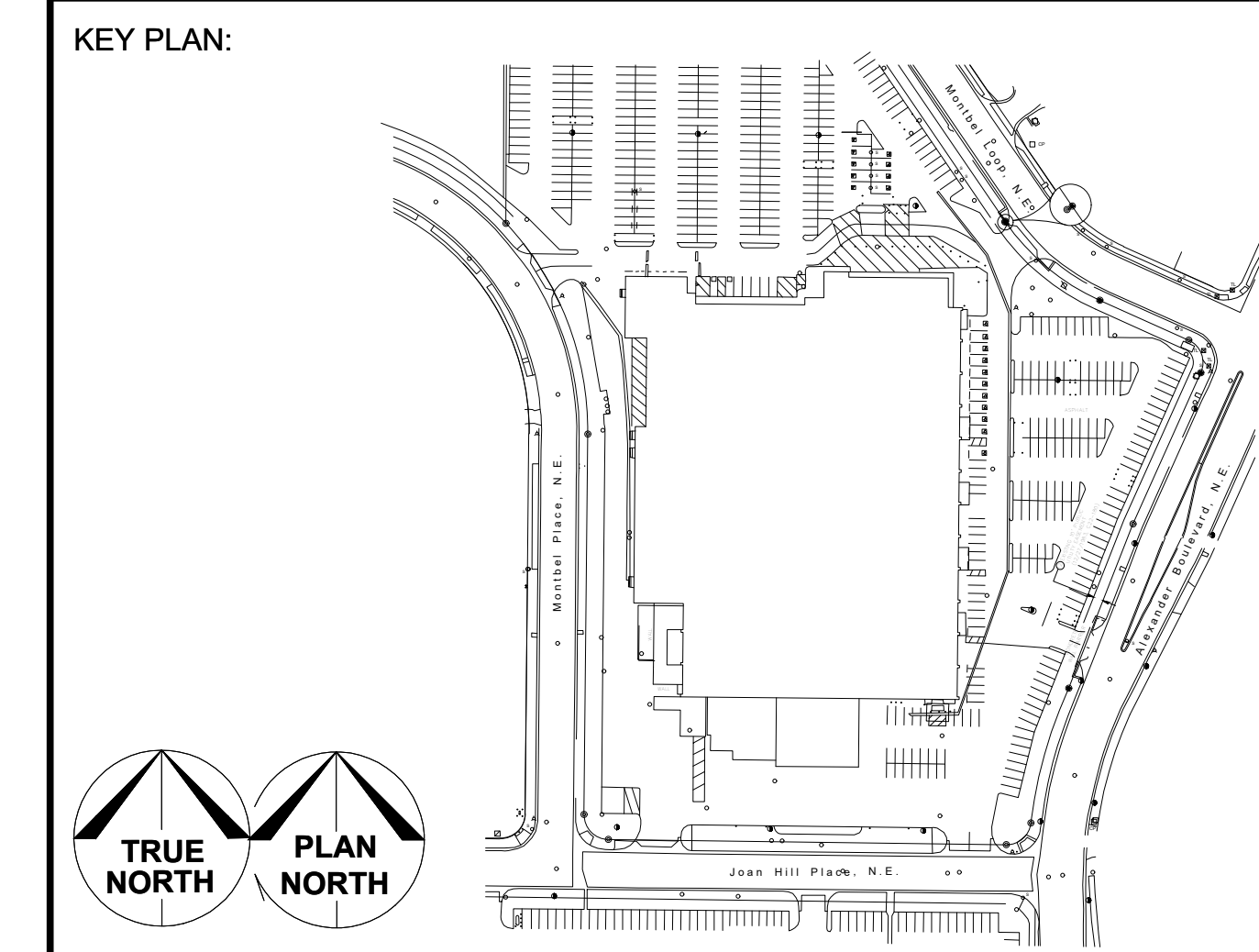
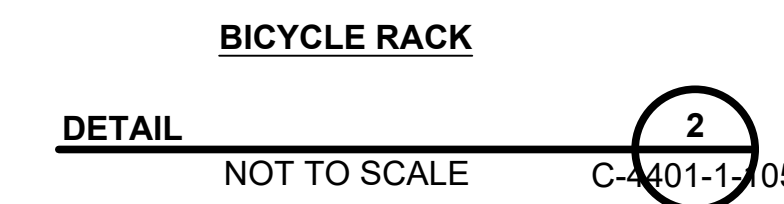
HEAVY DUTY CHALLENGER | 3 LOOPS 5 BIKES



ELEVATION VIEW



www.belson.com



ARCHITECTS/ENGINEERS:  
**BURNS MEDONNELL**  
9400 WARD PARKWAY  
KANSAS CITY, MO 64114

PRELIMINARY - NOT FOR CONSTRUCTION

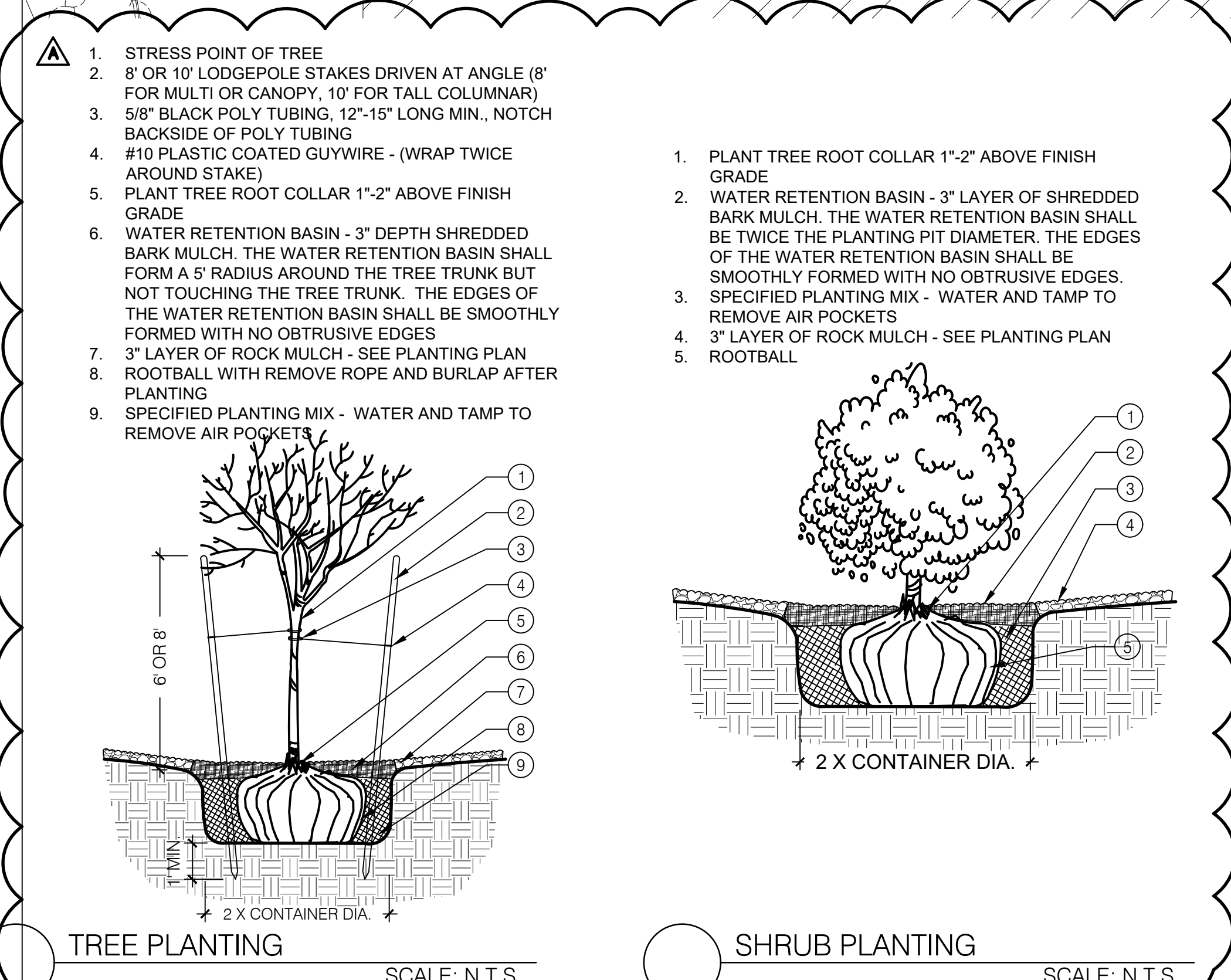
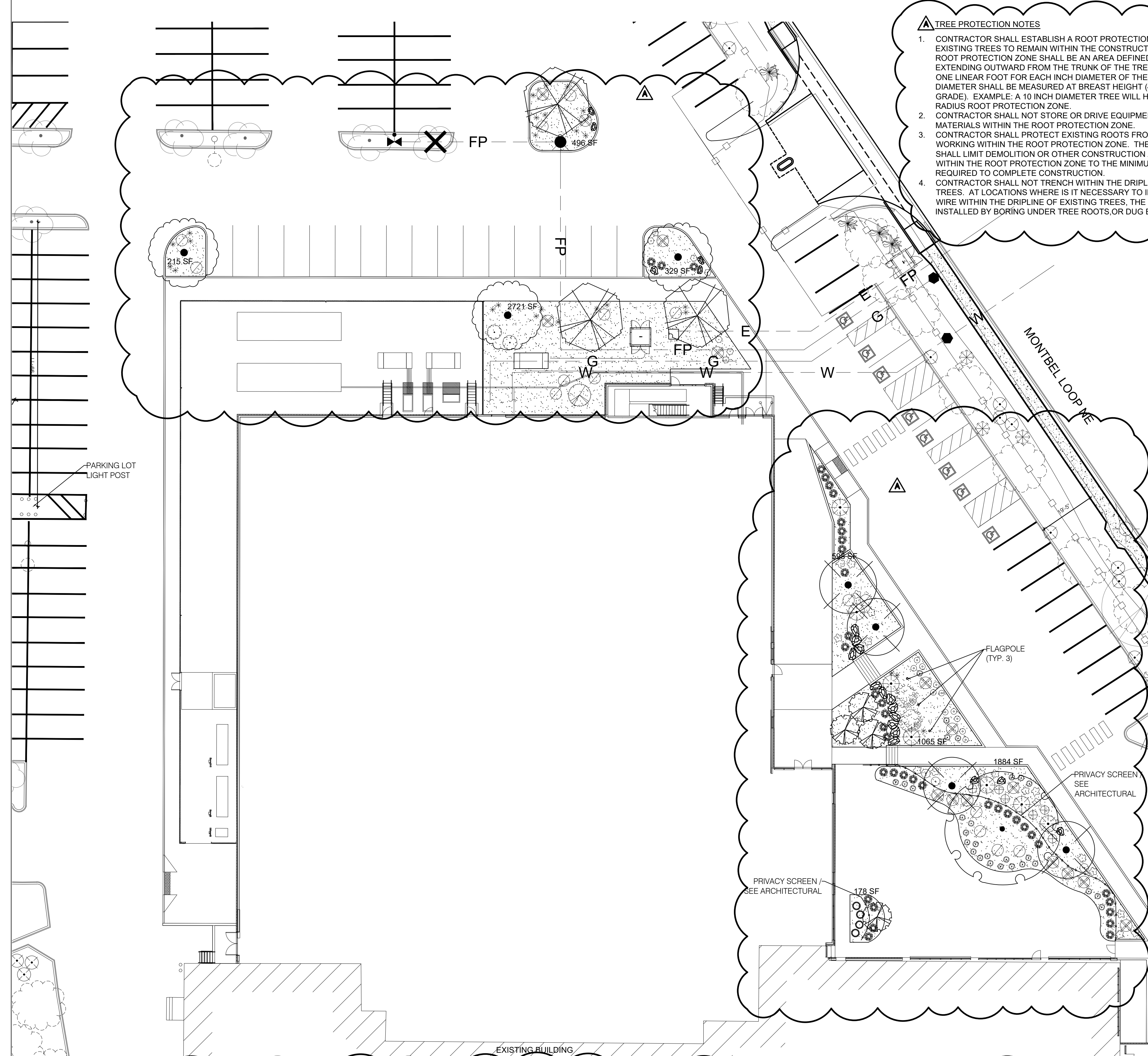
PROJECT NUMBER: PR-2018-001252  
APPLICATION NUMBER: SI-2022-02328

C	01/27/23	ISSUED FOR REVIEW	SE	JL
B	11/04/22	ISSUED FOR REVIEW	SE	JL
A	10/21/22	ISSUED FOR REVIEW	SE	JL

DESIGNED / DRAWN:	LOCATION:	
S. ENGEMANN		
ENGINEER REVIEW:	EQUIPMENT FILE NO.:	4401 ALEXANDER BLVD, NE ALBUQUERQUE, NEW MEXICO, 87109
J. LAVENDER	EQUIP FILE NO.	
DATE:	SCALE:	CIVIL 4401
01/24/2023	NO SCALE 1:1	
DRAWING NUMBER:	SIZE:	<b>BUILDING 4401 CIVIL SITE DETAILS 3</b>
C-4401-1-506	E1	



Jan 27 2023 10:31 AM



**TREE PROTECTION NOTES**  
1. CONTRACTOR SHALL ESTABLISH A ROOT PROTECTION ZONE AROUND EXISTING TREES TO REMAIN WITHIN THE CONSTRUCTION AREA. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY A RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE LINEAR FOOT FOR EACH INCH DIAMETER OF THE TREE. THE TREE DIAMETER SHALL BE MEASURED AT BREAST HEIGHT (4.5' ABOVE FINISH GRADE). EXAMPLE: A 10 INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.  
2. CONTRACTOR SHALL NOT STORE OR DRIVE EQUIPMENT, VEHICLES OR MATERIALS WITHIN THE ROOT PROTECTION ZONE.  
3. CONTRACTOR SHALL PROTECT EXISTING ROOTS FROM DAMAGE WHEN WORKING WITHIN THE ROOT PROTECTION ZONE. THE CONTRACTOR SHALL LIMIT DEMOLITION OR OTHER CONSTRUCTION ACTIVITIES WITHIN THE ROOT PROTECTION ZONE TO THE MINIMUM DISTURBANCE REQUIRED TO COMPLETE CONSTRUCTION.  
4. CONTRACTOR SHALL NOT TRENCH WITHIN THE DRIPLINE OF EXISTING TREES. AT LOCATIONS WHERE IT IS NECESSARY TO INSTALL LINES OR WIRE WITHIN THE DRIPLINE OF EXISTING TREES, THE UTILITY SHALL BE INSTALLED BY BORING UNDER TREE ROOTS OR DUG BY HAND.

**PLANT LEGEND FOR NEW PLANTS**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	MATURE SIZE	WATER USE
<b>TREES</b>					
96	(Symbol)	EXISTING TREE TO REMAIN			
3	(Symbol)	CHILOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW	25-GAL. MS	20' HT. X 25' SPR.	LOW+
4	(Symbol)	JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER	25 GAL.	18' HT. X 3' SPR.	LOW
3	(Symbol)	LAGERSTROEMIA INDICA WHIT II DYNAMITE CRAPE MYRTLE	25 GAL.	18' HT. X 13' SPR.	MED+
3	(Symbol)	PISTACIA CHINENSIS CHINESE PISTACHE	2.5' CAL. B&B	40' HT. X 30' SPR.	MED
4	(Symbol)	ILJULIS JAPONICA X WISLOSONIANA MORTON ACCOLADE ELM	2.5' B&B	50' HT. X 50' SPR.	MED+
4	(Symbol)	VITEX AGNUS-CASTUS CHASTE TREE	25 GAL.	20' HT. X 20' SPR.	MED
<b>SHRUBS</b>					
2	(Symbol)	CAESALPINIA GILLIESII YELLOW BIRD OF PARADISE	5-GAL	10' HT. X 8' SPR.	LOW
1	(Symbol)	CERCOCARPUS LEDIFOLIUS CURL LEAF MOUNTAIN MAHOGANY	5-GAL	18' HT. X 8' SPR.	LOW
15	(Symbol)	ERICAMERIA LARICIFOLIA TURPENTINE BUSH	5-GAL	3' HT. X 4' SPR.	LOW
2	(Symbol)	FALLUGIA PARADOXA APACHE PLUME	5-GAL	4' HT. X 5' SPR.	LOW
3	(Symbol)	POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	5-GAL	3' HT. X 3' SPR.	MED
6	(Symbol)	SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED AUTUMN SAGE	5-GAL	3' HT. X 3' SPR.	LOW
7	(Symbol)	SALVIA PACHYPHYLLA MOVAJE SAGE	5-GAL	2' HT. X 2' SPR.	LOW
<b>DESERT ACCENTS</b>					
15	(Symbol)	DASYLIRION TEXANUM TEXAS SOTOL	5-GAL	5' HT. X 5' SPR.	LOW
26	(Symbol)	HESPERALOE PARVIFLORA 'PERPA' BRANDELIGHTS RED YUCCA	5-GAL	2' HT. X 2' SPR.	LOW
7	(Symbol)	YUCCA THOMPSONIANA THOMPSON'S YUCCA	5-GAL	6' HT. X 6' SPR.	LOW+
<b>PERENNIALS</b>					
28	(Symbol)	ACHILLEA MILLEFOLIUM 'SANGRIA' SANGRIA YARROW	1-GAL	2' HT. X 2' SPR.	MED
18	(Symbol)	NEPETA FAASSENII 'SELECT BLUE' SELECT BLUE CATMINT	1-GAL	3' HT. X 3' SPR.	LOW+
12	(Symbol)	TELCRILIUM AROANIMUM GRAY CREEPING GERMANDER	1 GAL	6' HT X 2' SPR.	LOW
<b>ORNAMENTAL GRASSES</b>					
40	(Symbol)	CALAMAGROSTIS 'KARL FOERSTER' FEATHER REED GRASS	5-GAL	3' HT. X 3' SPR.	MED.
<b>LANDSCAPE BOULDERS AND GRAVEL MULCH</b>					
20	(Symbol)	LANDSCAPE BOULDER. MINIMUM SIZE 3x3x3' (27 CF)			
8,048 SF	(Symbol)	1"-1" AMARETTO BROWN GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			

**GENERAL LANDSCAPE NOTES**  
1. PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.  
2. IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.  
3. ALL PLANTING AREAS ARE TO HAVE WEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO PREPARATION FOR PLANTING.  
4. ALL EXISTING PLANT MATERIALS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.  
5. PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS SHALL TAKE PRECEDENCE.  
6. THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING. IN ADDITION, THE OWNER REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE. THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS.  
7. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.  
8. PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH ALL CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (SECTION 1005 - PLANTING) AND DETAILS.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS / GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUND ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**SEWER AND WATER UTILITIES**  
TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.

**SHREDDED BARK MULCH AT TREES**  
SHREDDED BARK MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 5' RADIUS AROUND TREE TRUNK, BUT NOT DIRECTLY AGAINST THE TRUNK. IN THESE AREAS, WEED BARRIER FABRIC IS PROHIBITED.

**GRAVEL AND ORGANIC MULCHES**  
5-6(c)(5)(c) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPE AREA, OR 50 PERCENT IN DT-UC-S.  
5-6(c)(5)(d) A MINIMUM OF 2 INCHES OF ORGANIC MULCH IS REQUIRED IN ALL PLANTING AREAS WITH 3-4 INCHES RECOMMENDED.  
5-6-(C)(5)(e) ORGANIC MULCH IS REQUIRED AS A GROUND COVER UNDER TREES WITHIN A 5' RADIUS AROUND THE TREE TRUNK, BUT NOT DIRECTLY AGAINST THE TRUNK. IN THESE AREAS, WEED BARRIER FABRIC IS PROHIBITED.

**LANDSCAPE SCREENING AND BUFFERING REQUIREMENTS**  
EXISTING LANDSCAPE TO REMAIN WAS PREVIOUSLY APPROVED THROUGH ADMINISTRATIVE AMENDMENT FILE #SI-2022-00401, PROJECT #PR-2018-001252 DESCRIBED AS: INSTALLATION OF A SECURITY FENCE AROUND SITE PERIMETER, UPDATE LANDSCAPE TO REPLACE DEAD TREES / PLANT MATERIALS AND TO ACCOMMODATE SECURITY FENCE; CONSTRUCTION OF A NEW 5-FOOT WIDE PUBLIC SIDEWALK AROUND SITE PERIMETER; ADDITION OF 80 SF SECURITY BOOTH.  
THIS AMENDMENT WAS SIGNED AND DATED ON APRIL 4, 2022 AND CONSTRUCTION WAS COMPLETED IN 2022.  
LANDSCAPE BUFFER AT ALEXANDER BLVD NE: LANDSCAPE BUFFER AT THIS EDGE IS 18'-4" FROM BACK OF SIDEWALK TO BACK OF PARKING LOT CURB AND CONTAINS BERMS 2' TALL. THIS EXCEEDS THE 10' REQUIRED BUFFER.  
LANDSCAPE BUFFER AT MONTBEL PLACE NE ON THE WEST SIDE OF THE PROPERTY IS 19'-10" FROM BACK OF SIDEWALK TO BACK OF PARKING LOT CURB.  
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LANDSCAPE BUFFER AT MONTBEL PLACE NE ON THE SOUTH SIDE OF THE PROPERTY IS 20'-8" FROM BACK OF SIDEWALK TO BACK OF PARKING LOT CURB.

**LANDSCAPE CALCULATIONS FOR NEW ADDITION**

SITE AREA OF BUILDING ADDITION & SURROUNDING AREA (1.8 AC)	79,066 SF
BUILDING ADDITION FOOTPRINT	280,000 SF
NET LOT	12,066 SF
REQUIRED / PROVIDED LANDSCAPE	2,860 SF (15%) / 8,316 SF (44%)

**LANDSCAPE CALCULATIONS COMPLETE SITE**

TOTAL SITE AREA (12.1 AC)	526,763 SF
TOTAL BUILDING FOOTPRINT	-178,727 SF
NET LOT	348,036 SF
REQUIRED / PROVIDED LANDSCAPE	52,205 SF (15%) / 62,437 SF (18%)

**COVERAGES**

REQUIRED / PROVIDED VEGETATIVE COVER	2,145 SF (75%) / 14,547 SF (50%)
REQUIRED / PROVIDED GROUND-LEVEL COVER	536 SF (25%) / 1,417 SF (67%)

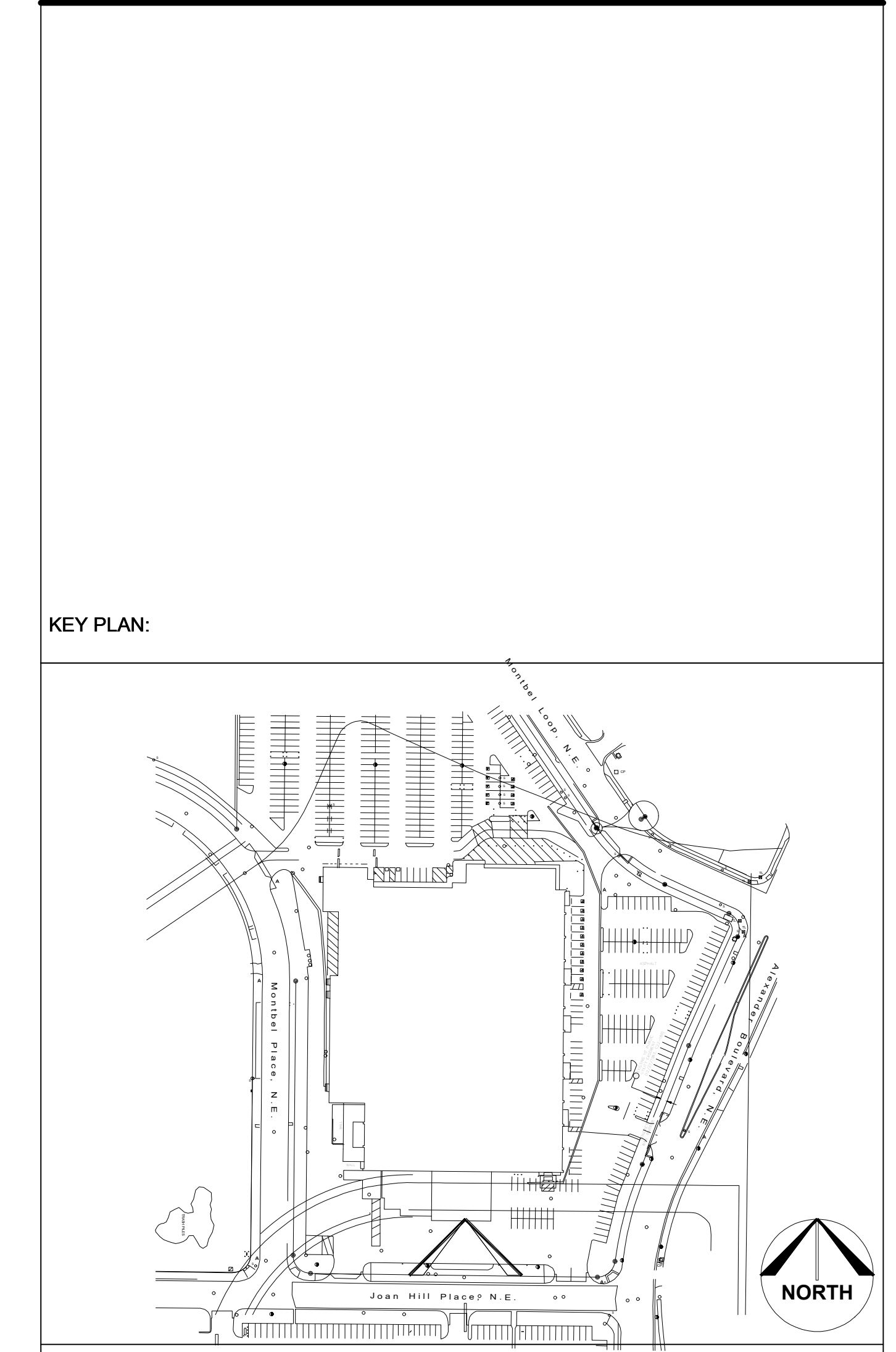
**PARKING LOT TREES**

TOTAL PARKING LOT SPACES FOR FACILITY	371
ONE (1) TREE IS REQUIRED PER 10 PARKING SPACES	
REQUIRED/PROVIDED PARKING LOT TREES (INCLUDING EXISTING)	32/99

**EXECUTIVE SUMMARY:**

KEYED NOTES: (Symbol)

**KEY PLAN:**



**ARCHITECTS/ENGINEERS:**  
**BURNS MEDONNELL**  
9400 WARD PARKWAY  
KANSAS CITY, MO 64114

**CONSULTANTS:**  
**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 784-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

STATE OF NEW MEXICO  
REGISTERED ARCHITECT  
**CHRISTOPHER J. GREEN**  
#234  
01/31/2023

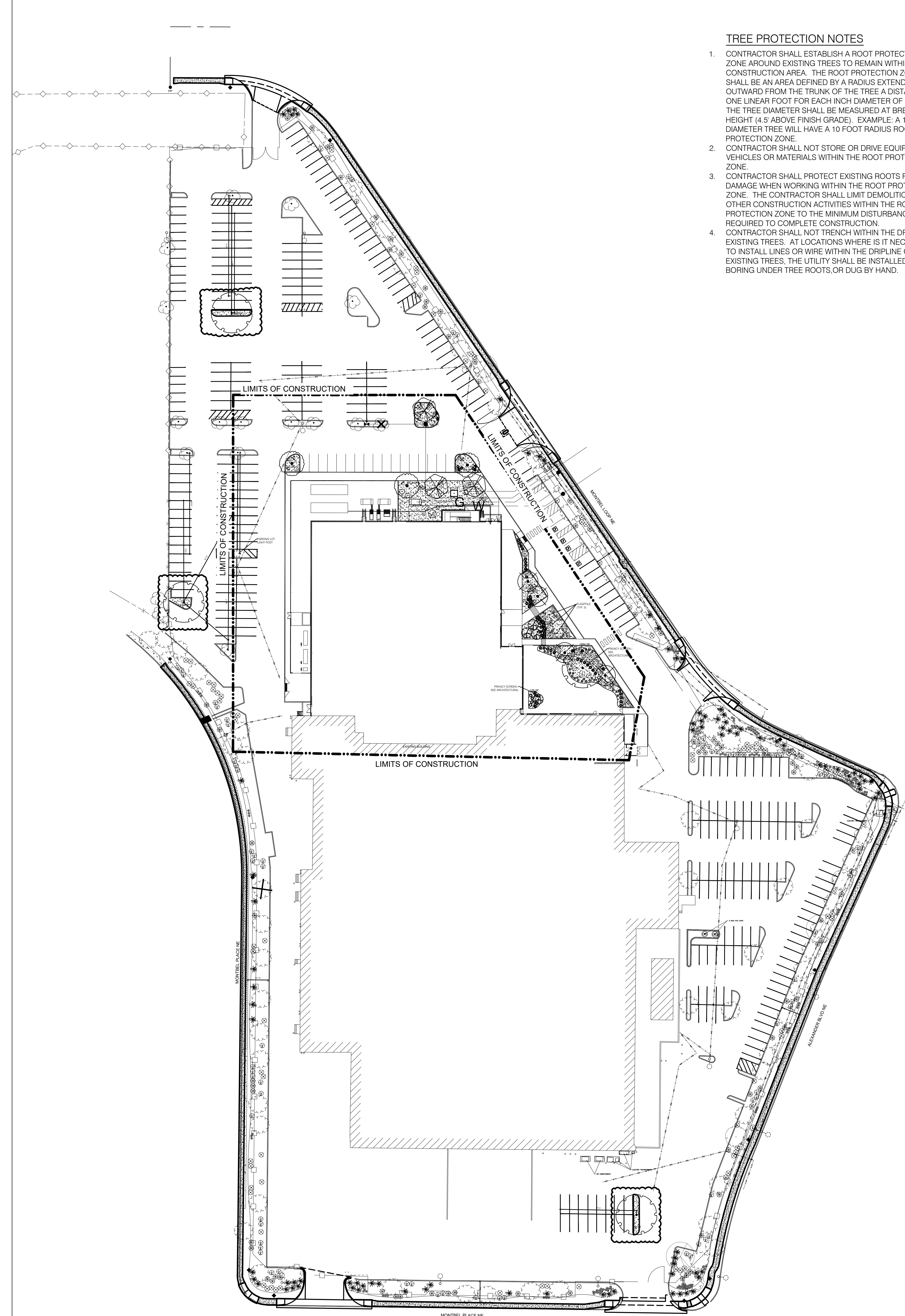
**PRELIMINARY - NOT FOR CONSTRUCTION**

DATE:	01/31/2023	SCALE:	1"=20'-0"	PLLOT:	1:1	4401
DESIGNED / DRAWN:	LA-4401-1-100	LOCATION:		SIZE:	E1	
ENGINEER REVIEW:		EQUIPMENT FILE NO.:				
DRAWING NUMBER:	LA-4401-1-100					

**ISSUED FOR REVIEW** EB CG

**curia**  
4401 ALEXANDER BLVD NE  
ALBUQUERQUE, NEW MEXICO, 87109

**BUILDING 4401**  
**LANDSCAPE PLAN**



TREE PROTECTION NOTES

- CONTRACTOR SHALL ESTABLISH A ROOT PROTECTION ZONE AROUND EXISTING TREES TO REMAIN WITHIN THE CONSTRUCTION AREA. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY A RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE LINEAR FOOT FOR EACH INCH DIAMETER OF THE TREE. THE TREE DIAMETER SHALL BE MEASURED AT BREAST HEIGHT (4.5 ABOVE FINISH GRADE). EXAMPLE: A 10 INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
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<b>ORNAMENTAL GRASSES</b>					
40		CALAMAGROSTIS 'KARL FOERSTER' FEATHER REED GRASS	5-GAL	3' HT. X 3' SPR.	MED.

LANDSCAPE BOULDERS AND GRAVEL MULCH

- 20 LANDSCAPE BOULDER; MINIMUM SIZE 3'x3'x3' (27 CF)
- 8,048 SF 3/4" AMARETTO BROWN GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)

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**LANDSCAPE SCREENING AND BUFFERING REQUIREMENTS**

EXISTING LANDSCAPE TO REMAIN WAS PREVIOUSLY APPROVED THROUGH ADMINISTRATIVE AMENDMENT FILE RSI-2022-00401. PROJECT RFR-2018-001293 DESCRIBED AS: INSTALLATION OF A SECURITY FENCE AROUND SITE PERIMETER; UPDATE LANDSCAPE TO REPLACE DEAD TREES / PLANT MATERIALS AND TO ACCOMMODATE SECURITY FENCE; CONSTRUCTION OF A NEW 5-FOOT WIDE PUBLIC SIDEWALK AROUND SITE PERIMETER; ADDITION OF 80 SF SECURITY BOOTH.

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SITE AREA OF BUILDING ADDITION & SURROUNDING AREA (1.8 AC)	79,066 SF
BUILDING ADDITION FOOTPRINT	-60,000 SF
NET LOT	19,066 SF
REQUIRED / PROVIDED LANDSCAPE	2,860 SF (15%) / 8,316 SF (44%)

**COVERAGE**

REQUIRED / PROVIDED VEGETATIVE COVER	2,145 SF (75%) / 14,547 SF (508%)
REQUIRED / PROVIDED GROUND-LEVEL COVER	536 SF (25%) / 1,417 SF (67%)

**LANDSCAPE CALCULATIONS COMPLETE SITE**

TOTAL SITE AREA (12.1 AC)	526,793 SF
TOTAL BUILDING FOOTPRINT	-178,727 SF
NET LOT	348,066 SF
REQUIRED / PROVIDED LANDSCAPE	52,205 SF (15%) / 62,437 SF (18%)

**COVERAGE**

REQUIRED / PROVIDED VEGETATIVE COVER	39,154 SF (75%) / 79,968 SF (151%)
REQUIRED / PROVIDED GROUND-LEVEL COVER	9,789 SF (25%) / 10,938 SF (28%)

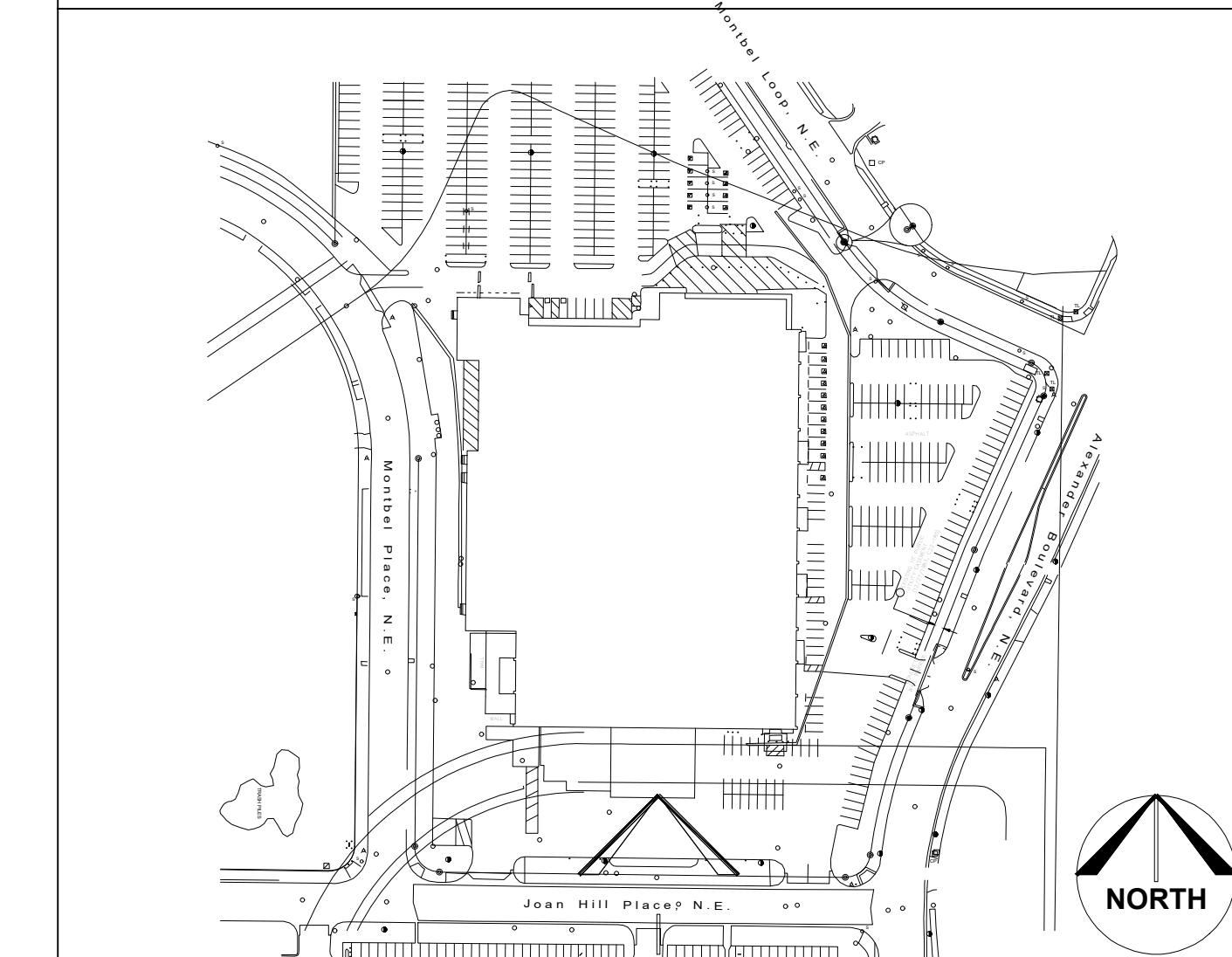
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EXECUTIVE SUMMARY:

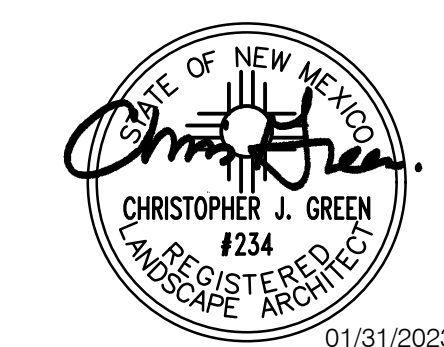
KEYED NOTES:

KEY PLAN:



ARCHITECTS/ENGINEERS: **BURNS MEDONNELL**  
9400 WARD PARKWAY  
KANSAS CITY, MO 64114

CONSULTANTS: **CONSENSUS**  
CONSENSUS PLANNING, INC.  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 784-8801 Fax 842-5485  
e-mail: cp@consensusplanning.com

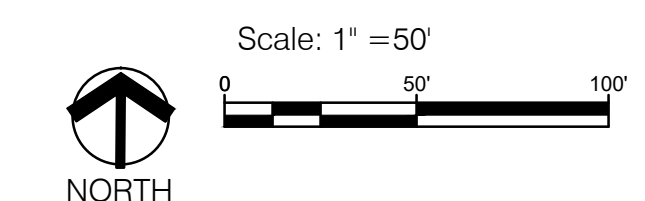


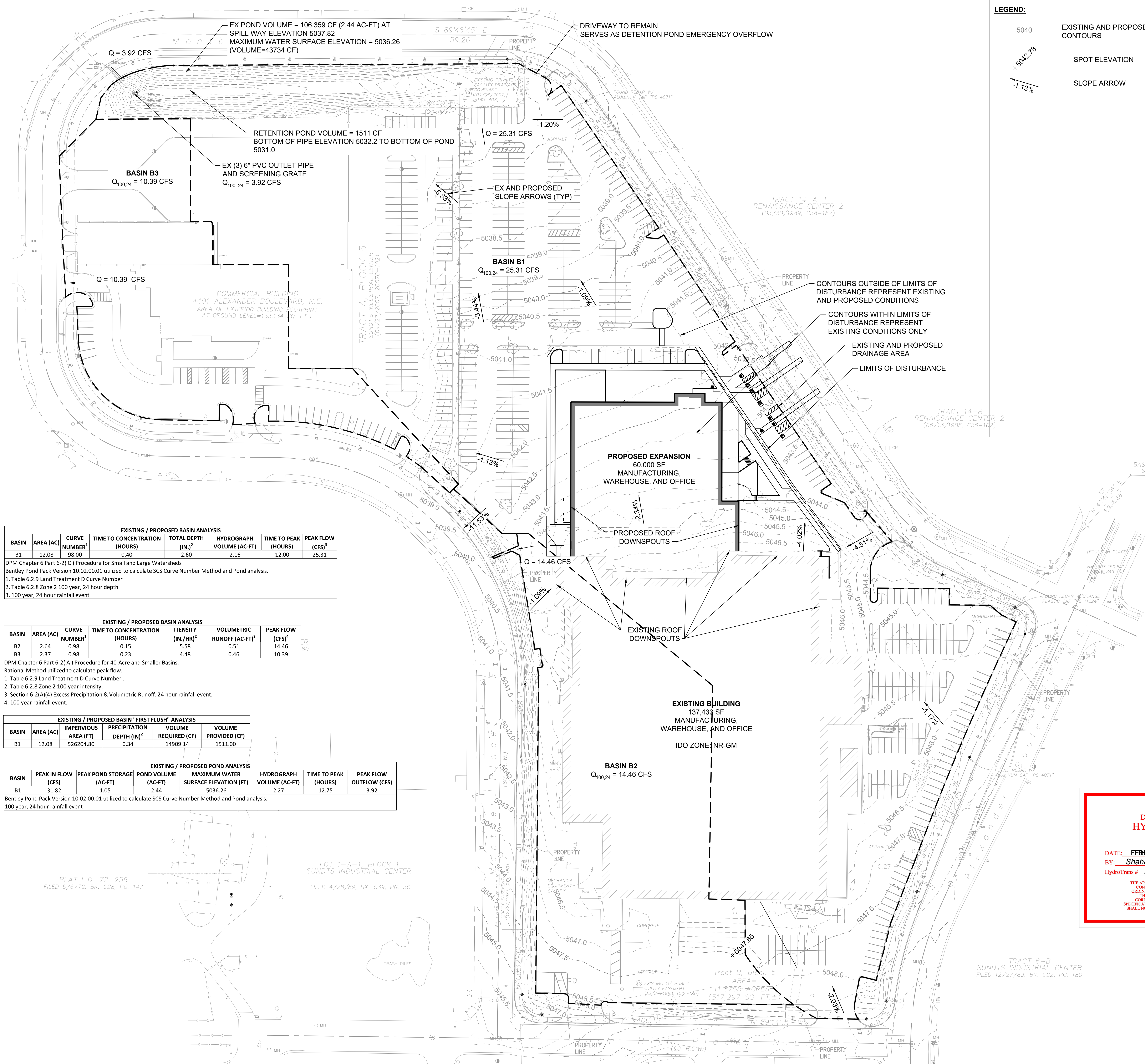
**PRELIMINARY - NOT FOR CONSTRUCTION**

DESIGNED / DRAWN:	LOCATION:	ISSUED FOR REVIEW	EB / CG
ENGINEER REVIEW:	EQUIPMENT FILE NO.:	 4401 ALEXANDER BLVD NE ALBUQUERQUE, NEW MEXICO, 87109 <b>BUILDING 4401</b>	
DATE:	SCALE:		
01/31/2023	1"=50'-0"	PLOT:	4401
DRAWING NUMBER:	SIZE:	OVERALL LANDSCAPE PLAN	
LA-4401-1-101	E1		

CURIA BIOPHARMACEUTICALS MANUFACTURING, LLC ISSUES THE PROPRIETARY STATEMENT. ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED ARE THE PROPERTY OF CURIA PHARMACEUTICALS MANUFACTURING AND WERE CREATED AND DEVELOPED FOR USE ONLY IN CONNECTION WITH THE SPECIFIED PROJECT OR PROCESS THESE IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL NOT BE REPRODUCED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF CURIA PHARMACEUTICALS MANUFACTURING.

3/23/2022 1:26:16 PM





**LEGEND:**

- 5040 --- EXISTING AND PROPOSED CONTOURS
- SPOT ELEVATION
- ↘ SLOPE ARROW

**EXECUTIVE SUMMARY**

THE PURPOSE OF CURIA'S NEW MEXICO EXPANSION PROJECT (PROJECT) IS TO INCREASE MANUFACTURING AND WAREHOUSE CAPACITY. THE EXPANSION OF THE EXISTING 137,000 SQUARE FOOT BUILDING TO THE NORTH BY APPROXIMATELY 60,000 SQUARE FEET TOTAL THE GROSS FLOOR AREA TO APPROXIMATELY 197,000 SQUARE FEET.

THE PROJECT'S GRADING AND DRAINAGE ANALYSIS EITHER MATCHES OR IS LESS THAN THE GRADING AND DRAINAGE ANALYSIS PERFORMED IN PLANNING DEPARTMENT HYDROLOGIC FILE : F16D003B1. BASED UPON A CONVERSATION BETWEEN THE PLANNING DEPARTMENT AND BURNS & MCDONNELL, THE HYDROLOGIC FILE : F16D003B1 IS THE AGREED UPON DESIGN STANDARD FOR THIS PROJECT.

GRADING, AND RESULTANT CHANGE IN TOPOGRAPHY, SHALL NOTE TAKE PLACE IN THIS PROJECT. PROPOSED BASIN ENGINEERING PARAMETERS ARE EQUAL TO EXISTING BASIN ENGINEERING PARAMETERS. THE EXISTING POND DOES NOT REQUIRE MODIFICATION TO RETAIN "FIRST FLUSH" RUN OFF.

**EXISTING / PROPOSED CONDITION**

THE EXISTING TOPOGRAPHY DIVIDES THE SITE INTO 3 BASINS. THE PROPOSED PROJECT DOES NOT IMPACT THE EXISTING TOPOGRAPHY OR BASINS.

TOTAL FLOW OF 25.31 CFS FROM BASIN 1 FLOWS TO THE DETENTION POND LOCATED AT THE NORTHWEST CORNER OF THE SITE. BASED ON THE ANALYSIS AT A PEAK INFLOW RATE OF 25.31 CFS, THE MAXIMUM WATER SURFACE ELEVATION OF 5036.26 FT. THE EXISTING POND HAS A VOLUME OF 106,359 CF WITH A SPILLWAY ELEVATION OF 5037.82 AT THE NORTHERN DRIVEWAY. AS NOTED IN THE PRICE CLUB DRAINAGE REPORT, THIS DRIVEWAY WAS DESIGNED AS THE EMERGENCY OVERFLOW IN THE EVENT THE OUTLET PIPE BECOMES CLOGGED. THE TOP OF POND EMBANKMENT IS AT AN ELEVATION OF 5038.20 FT. THIS PROVIDES 1.94 FEET OF FREEBOARD DURING A 100 YEAR, 24 HOUR EVENT. THE PEAK DISCHARGE FROM THE EXISTING DETENTION POND WITH THREE 6 INCH OUTLET IS 3.92 CFS.

OUTLET PIPES FOR THE EXISTING PRIVATE STORMWATER POND (COVENANT A135-0408, 04/04/217) SHALL BE INSPECTED FOR PROPER SCREENING DEVICES TO ENSURE REMOVAL OF GROSS POLLUTANTS (DEBRIS 2" AND LARGER) PRIOR TO DISCHARGE FROM THE SITE.

**EXISTING / PROPOSED BASIN ANALYSIS**

BASIN	AREA (AC)	CURVE NUMBER	TIME TO CONCENTRATION (HOURS)	TOTAL DEPTH (IN.) <sup>2</sup>	HYDROGRAPH VOLUME (AC-FT)	TIME TO PEAK (HOURS)	PEAK FLOW (CFS) <sup>1</sup>
B1	12.08	98.00	0.40	2.60	2.16	12.00	25.31

DPM Chapter 6 Part 6-2( C ) Procedure for Small and Large Watersheds  
Bentley Pond Pack Version 10.02.00.01 utilized to calculate SCS Curve Number Method and Pond analysis.  
1. Table 6.2.9 Land Treatment D Curve Number  
2. Table 6.2.8 Zone 2 100 year, 24 hour depth.  
3. 100 year, 24 hour rainfall event

**EXISTING / PROPOSED BASIN ANALYSIS**

BASIN	AREA (AC)	CURVE NUMBER	TIME TO CONCENTRATION (HOURS)	INTENSITY (IN./HR) <sup>2</sup>	VOLUMETRIC RUNOFF (AC-FT) <sup>3</sup>	PEAK FLOW (CFS) <sup>1</sup>
B2	2.64	0.98	0.15	5.58	0.51	14.46
B3	2.37	0.98	0.23	4.48	0.46	10.39

DPM Chapter 6 Part 6-2( A ) Procedure for 40-Acre and Smaller Basins.  
Rational Method utilized to calculate peak flow.  
1. Table 6.2.9 Land Treatment D Curve Number .  
2. Table 6.2.8 Zone 2 100 year intensity.  
3. Section 6-2(A)(H) Excess Precipitation & Volumetric Runoff. 24 hour rainfall event.  
4. 100 year rainfall event.

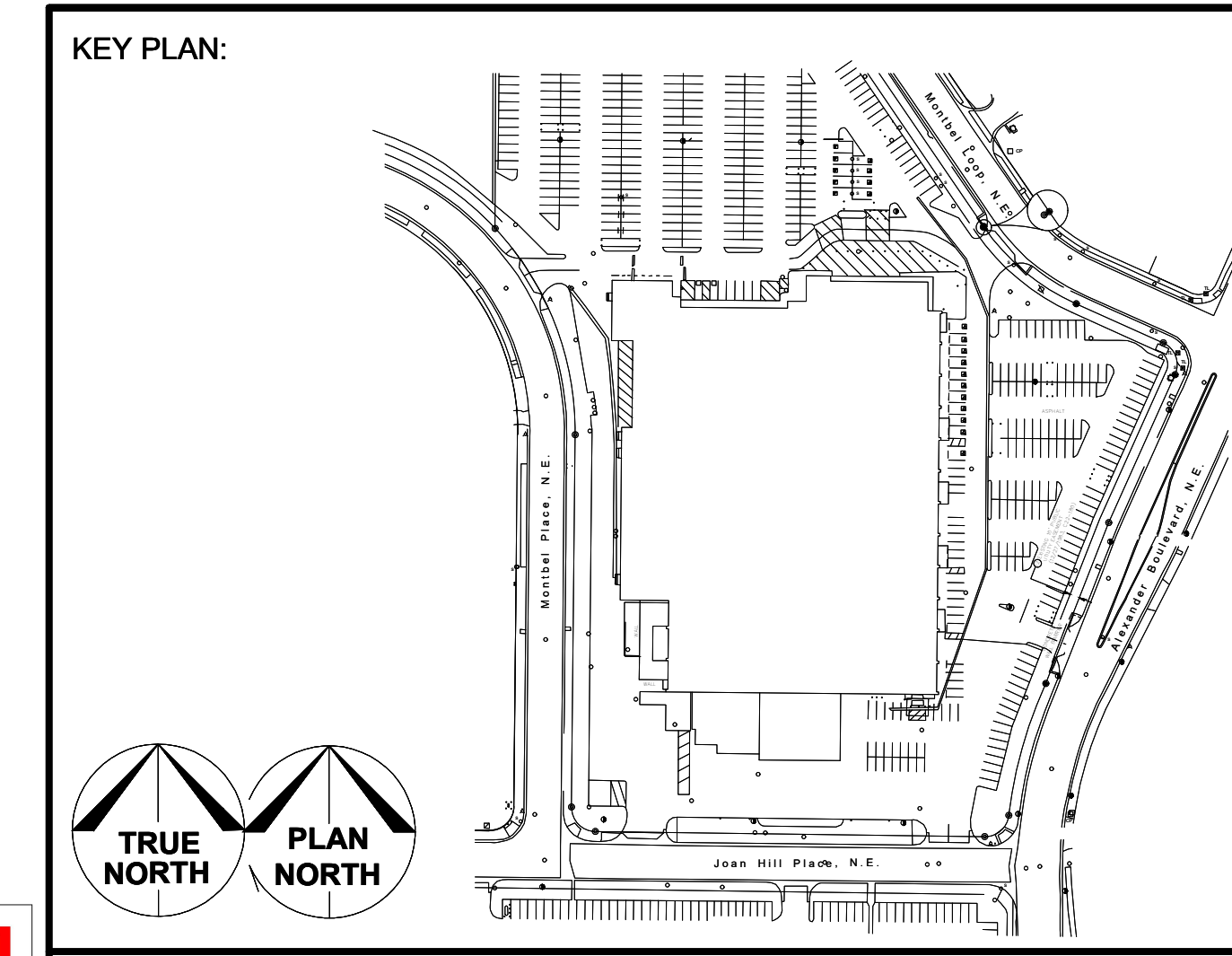
**EXISTING / PROPOSED BASIN "FIRST FLUSH" ANALYSIS**

BASIN	AREA (AC)	IMPERVIOUS AREA (FT)	PRECIPITATION DEPTH (IN.) <sup>2</sup>	VOLUME REQUIRED (CF)	VOLUME PROVIDED (CF)
B1	12.08	526204.80	0.34	14909.14	1511.00

**EXISTING / PROPOSED POND ANALYSIS**

BASIN	PEAK IN FLOW (CFS)	PEAK POND STORAGE (AC-FT)	POND VOLUME (AC-FT)	MAXIMUM WATER SURFACE ELEVATION (FT)	HYDROGRAPH VOLUME (AC-FT)	TIME TO PEAK (HOURS)	PEAK FLOW OUTFLOW (CFS)
B1	31.82	1.05	2.44	5036.26	2.27	12.75	3.92

Bentley Pond Pack Version 10.02.00.01 utilized to calculate SCS Curve Number Method and Pond analysis.  
100 year, 24 hour rainfall event



City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**

DATE: FFB/DECS  
BY: Shahab Blazar  
HydroTrans # F16D003B1

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**ARCHITECTS/ENGINEERS:**

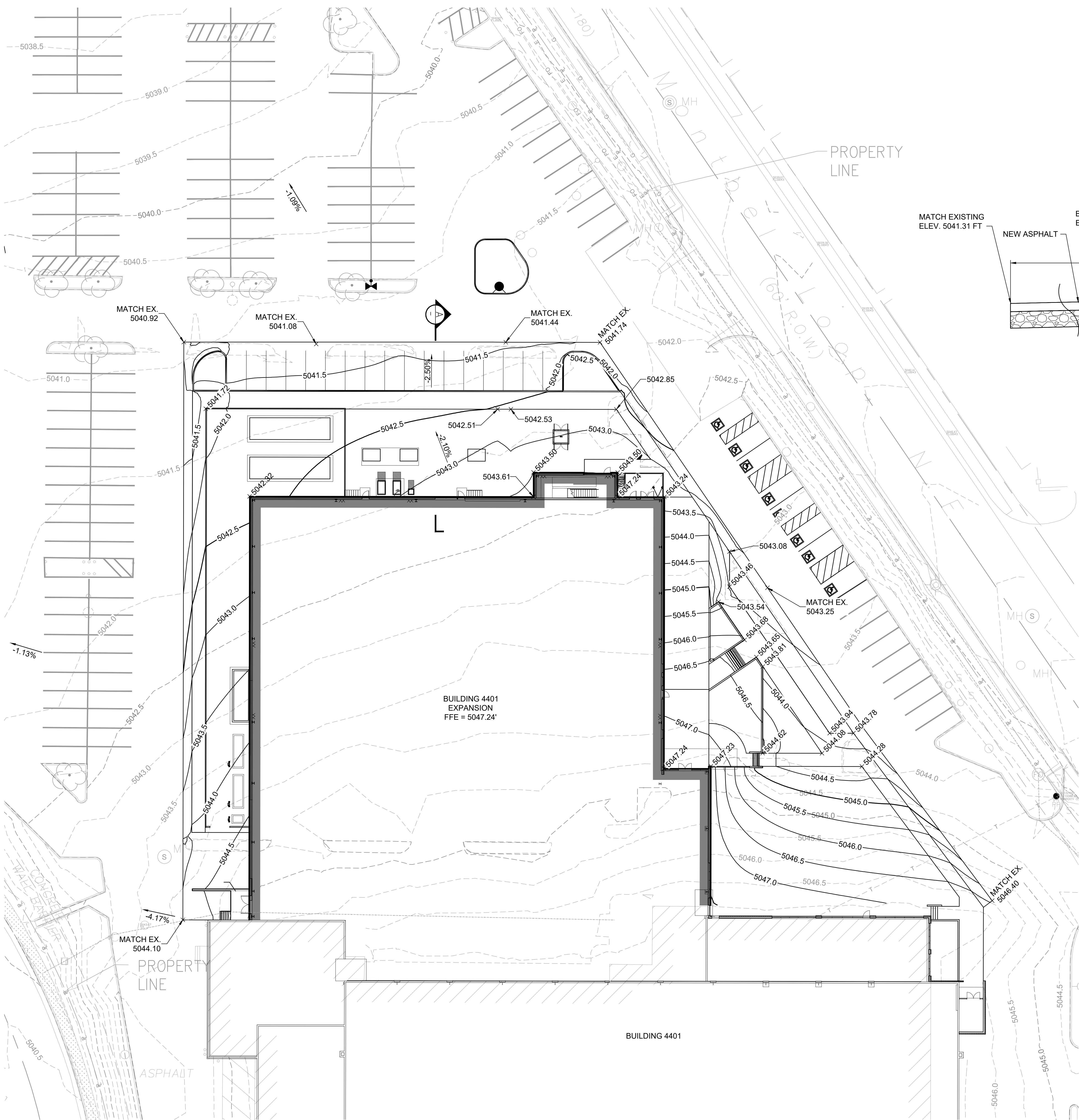
**BURNS & MCDONNELL**  
9400 WARD PARKWAY  
KANSAS CITY, MO 64114

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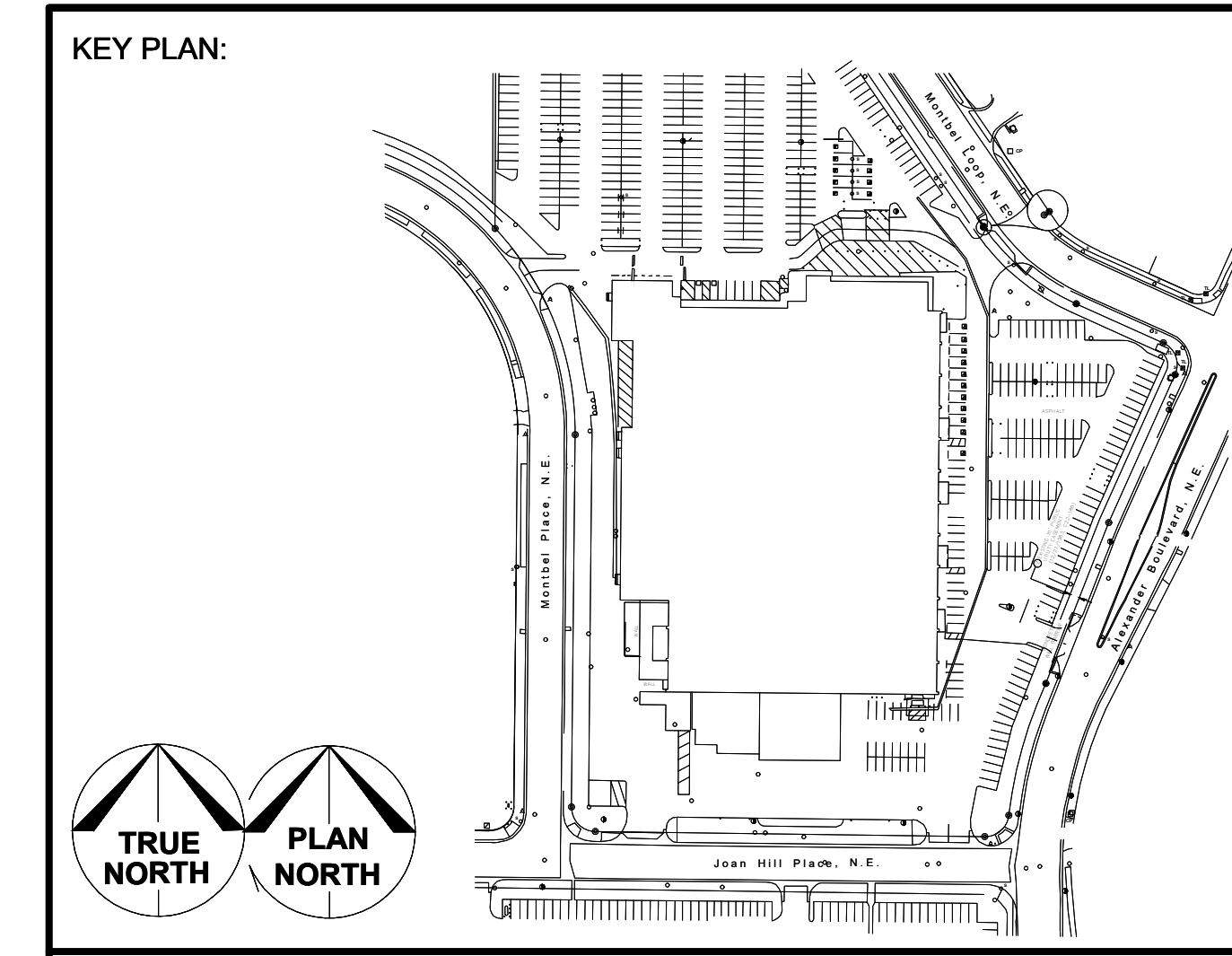
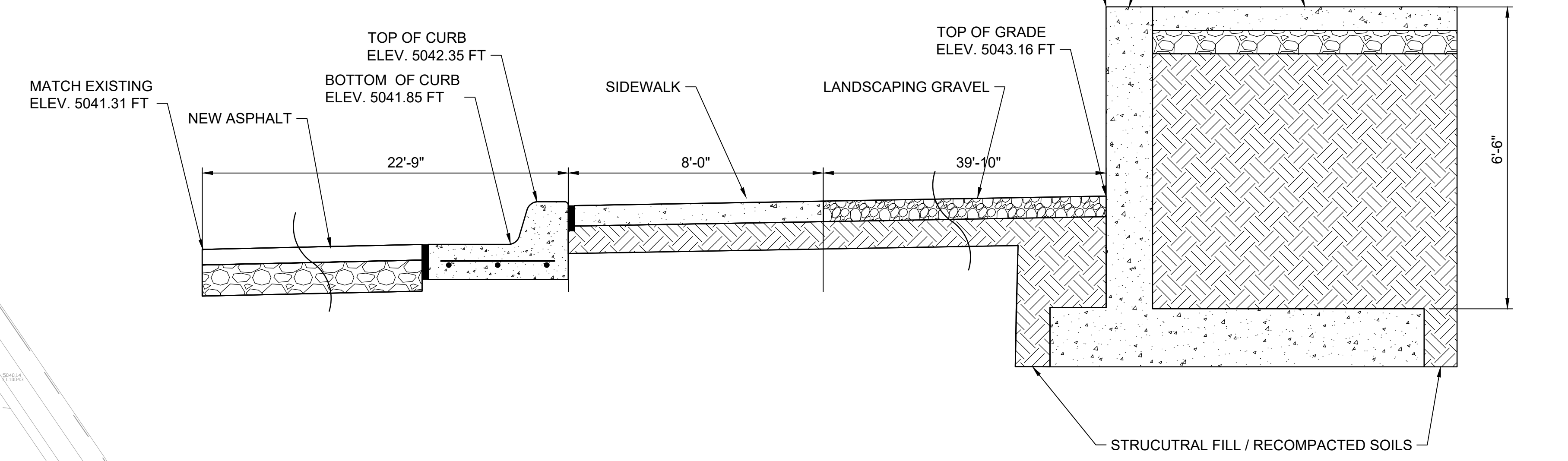
B	10/25/22	ISSUED FOR REVIEW	SE	JL
A	08/03/22	ISSUED FOR REVIEW	SE	JL
DESIGNED / DRAWN:	LOCATION:	<p>4401 ALEXANDER BLVD. NE ALBUQUERQUE, NEW MEXICO, 87109</p> <p>CIVIL 4401</p> <p><b>BUILDING 4401</b> <b>OVERALL GRADING &amp; DRAINAGE PLAN</b></p>		
S. ENGMANN				
J. LAVENDER				
ENGINEER REVIEW:	EQUIPMENT FILE NO:			
J. LAVENDER				
DATE:	SCALE:	PLOT:		
08/03/2022	1" = 50'	1:1		
DRAWING NUMBER:	SIZE:			
CG100	E1			



Oct 25 2022 8:04 PM



- LEGEND:**
- 5040 --- EXISTING CONTOURS
  - 5040 — PROPOSED CONTOURS
  - + 5042.78 SPOT ELEVATION
  - 1.13% SLOPE ARROW



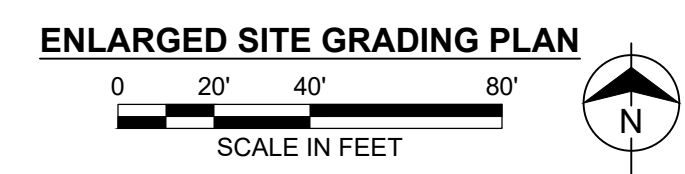
City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**

DATE: 11/3/2022  
BY: Shahab Blazar  
HydroTrans # F16D003B1

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ARCHITECTS/ENGINEERS:  
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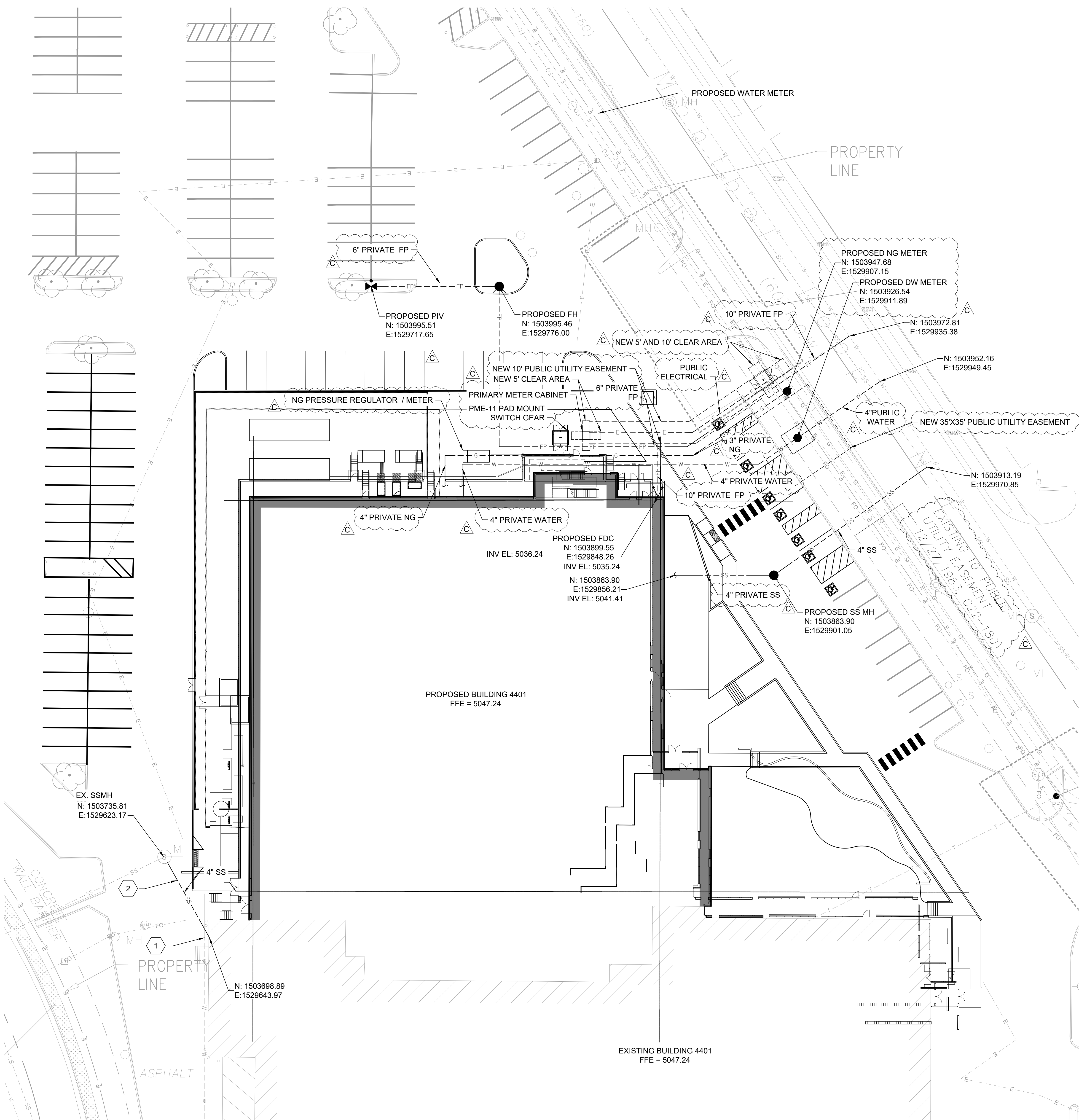


Oct 25 2022 8:05 PM

A 10/19/22 ISSUED FOR REVIEW		SE JL
DESIGNED / DRAWN: S. ENGMANN	LOCATION:	 4401 ALEXANDER BLVD. NE ALBUQUERQUE, NEW MEXICO, 87109 CIVIL 4401
ENGINEER REVIEW: J. LAVENDER	EQUIPMENT FILE NO.:	
DATE: 10/25/2022	SCALE: 1"=20'	PLOT: 1:1
DRAWING NUMBER: CG102	SIZE: E1	<b>BUILDING 4401</b> <b>ENLARGED SITE GRADING PLAN</b>

CURIA BIOPHARMACEUTICALS MANUFACTURING, LLC ISSUES THIS PROPRIETARY STATEMENT: ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED ARE THE PROPERTY OF CURIA PHARMACEUTICALS MANUFACTURING AND WERE CREATED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT OR PROJECTS THESE IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL NOT BE USED OR REPRODUCED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF CURIA PHARMACEUTICALS MANUFACTURING.

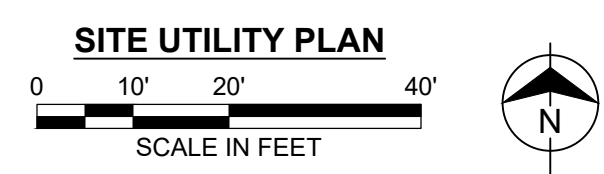




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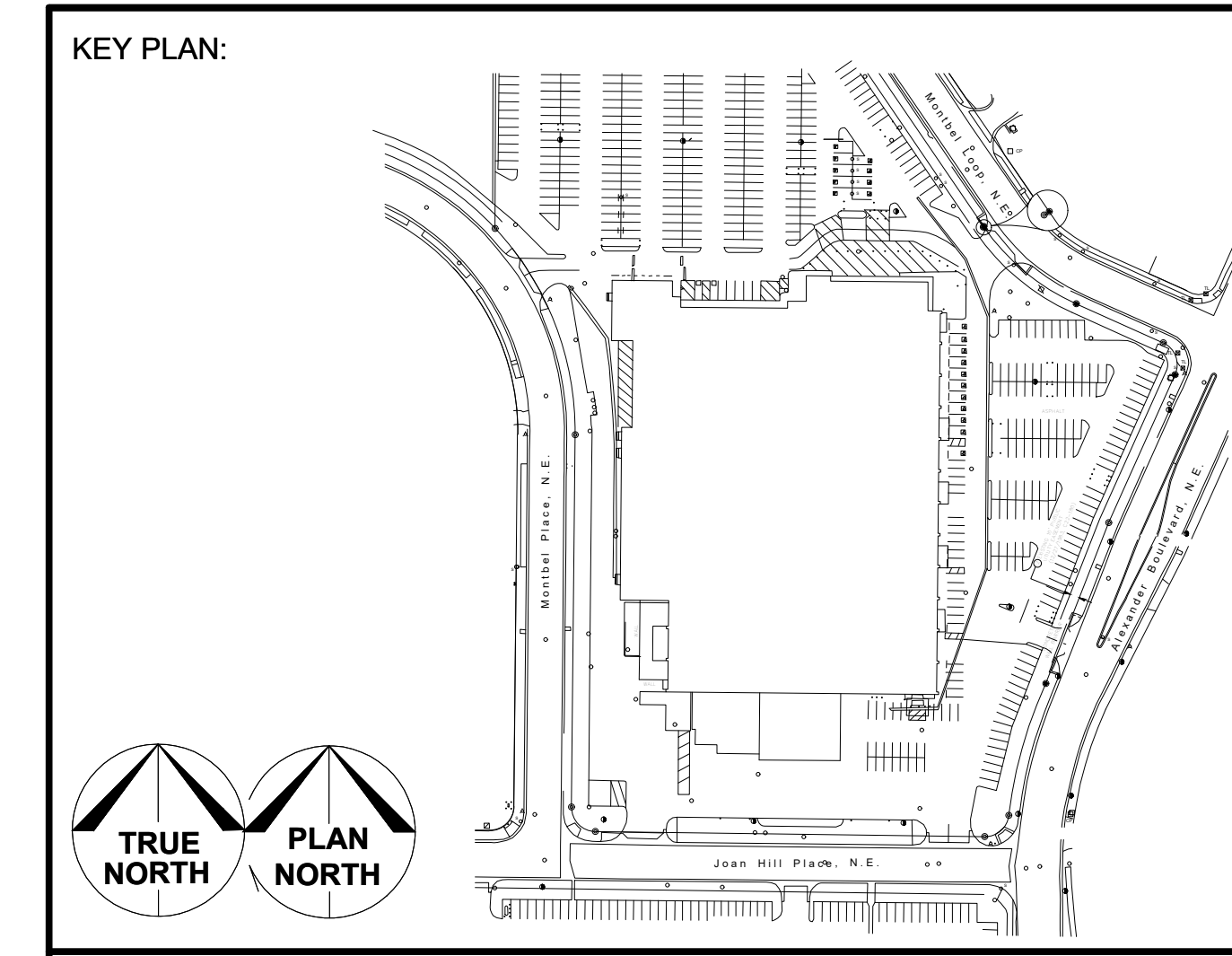
	PROPERTY LINE
	EXISTING CURB
	EXISTING BUILDING OUTLINE
	PROPOSED WATER METER
	PROPOSED PIV
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED BUILDING OUTLINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED DOMESTIC WATER LINE
	PROPOSED FIRE PROTECTION LINE
	PROPOSED UNDERGROUND ELECTRICAL LINE
	PROPOSED UNDERGROUND TELEPHONE LINE
	PROPOSED NATURAL GAS LINE
	PROPOSED FIBER OPTIC LINE
	EXISTING PUBLIC SANITARY SEWER LINE
	EXISTING PUBLIC DOMESTIC WATER LINE
	EXISTING PUBLIC UNDERGROUND ELECTRICAL LINE
	EXISTING PUBLIC TELEPHONE LINE
	EXISTING PUBLIC NATURAL GAS LINE
	PROPOSED PRIVATE OPTIC LINE

- GENERAL NOTES:**
- ALL PIPE SIZES ARE IN INCHES UNLESS INDICATED OTHERWISE.
  - CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL BUILDING CONNECTIONS WITH BUILDING CONTRACTOR AND THE INFORMATION PROVIDED ON MECHANICAL AND ELECTRICAL DRAWINGS FOR EACH FACILITY.
  - CONTRACTOR SHALL CONTACT THE CLIENT REPRESENTATIVE AND ALL ASSOCIATED UTILITY COMPANIES AND AGENCIES TO IDENTIFY THE LOCATION OF UTILITIES PRIOR TO COMMENCEMENT OF WORK.
  - CONTRACTOR SHALL COORDINATE ALL REQUIRED UTILITY SHUTDOWNS FOR UTILITY CONNECTIONS WITH THE CLIENT REPRESENTATIVE.
  - CONNECTION TO EXISTING WATER, SEWER, AND STORM MAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL REQUIREMENTS OF ASSOCIATED UTILITY COMPANIES AND AGENCIES.
  - CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING ALL UTILITY CONNECTION FEES AND OBTAINING ALL PERMITS REQUIRED FOR THE UTILITY CONSTRUCTION AND CONNECTIONS. THIS INCLUDES ALL FEES ASSOCIATED WITH CONNECTION CHARGES AND METERS.
  - SEE DETAIL 1 ON DRAWING C-4401-1-503 FOR TYPICAL PIPE TRENCH DETAIL.
  - THE MINIMUM DEPTH OF COVER FOR UTILITIES SHALL BE AS FOLLOWS UNLESS INDICATED OTHERWISE:
    - a. WATER: 36 INCHES
    - b. FIRE PROTECTION: 42 INCHES
    - c. ELECTRICAL AND COMMUNICATION: 24 INCHES
    - d. ALL OTHER UTILITIES: 36 INCHES
  - ALL UNDERGROUND UTILITIES ARE SUBJECT TO ACCEPTANCE TESTING AND INSPECTION METHODS DETAILED IN THE SPECIFICATIONS, WHICH MAY INCLUDE VIDEO CAMERA INSPECTION.
  - ANY CHANGES TO PROPOSED UTILITY DESIGN SHALL BE APPROVED BY ENGINEER AND THE CLIENT REPRESENTATIVE.
  - COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER OF THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
  - COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.
- KEYED NOTES:**
- LOCATION OF RELOCATED WATER SERVICE CONNECTION. REFER TO P-4401-1-107 FOR CONTINUATION.
  - LOCATION OF RELOCATED SANITARY SEWER SERVICE. EXTEND TO THE EXISTING SANITARY SEWER SYSTEM. REFER TO P-4401-1-107 FOR CONTINUATION.



PROJECT NUMBER: PR-2018-001252  
 APPLICATION NUMBER: SI-2022-02328

ABCWUA \_\_\_\_\_ DATE \_\_\_\_\_



ARCHITECTS/ENGINEERS:

**BURNS MEDONNELL**  
 9400 WARD PARKWAY  
 KANSAS CITY, MO 64114

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C	01/27/23	ISSUED FOR REVIEW	SE	JL
B	11/04/22	ISSUED FOR REVIEW	SE	JL
A	09/12/22	ISSUED FOR REVIEW	SE	JL

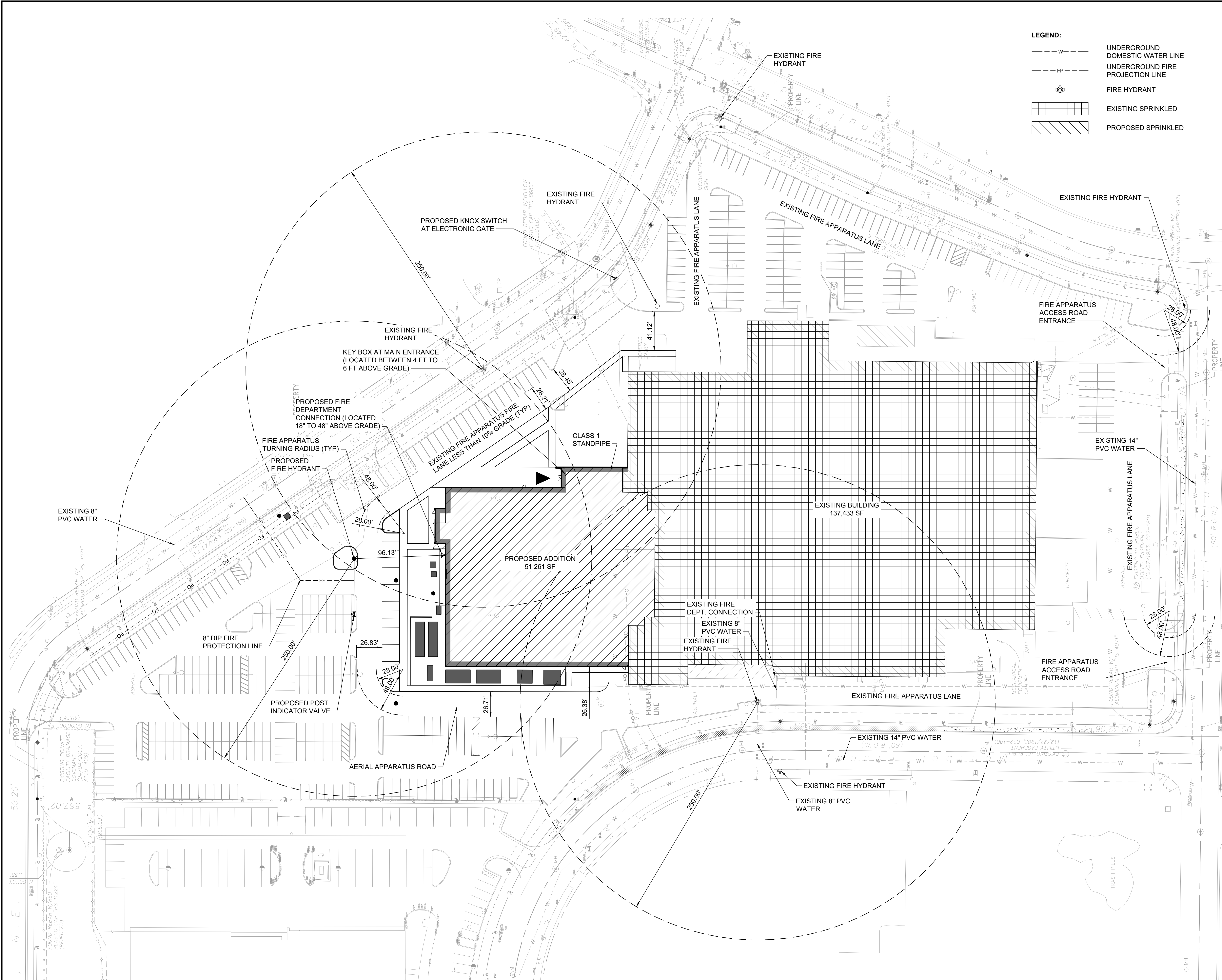
DESIGNED / DRAWN: S. ENGEMANN LOCATION:  
 ENGINEER REVIEW: J. LAVENDER EQUIPMENT FILE NO.:  
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 DATE: 01/26/2023 SCALE: 1"=20' PLOT: 1:1  
 DRAWING NUMBER: C-4401-1-111 SIZE: E1

**curia**  
 4401 ALEXANDER BLVD, NE  
 ALBUQUERQUE, NEW MEXICO, 87109  
 CIVIL 4401

**BUILDING 4401  
 SITE UTILITY PLAN**



Jan 27 2023 10:27 AM

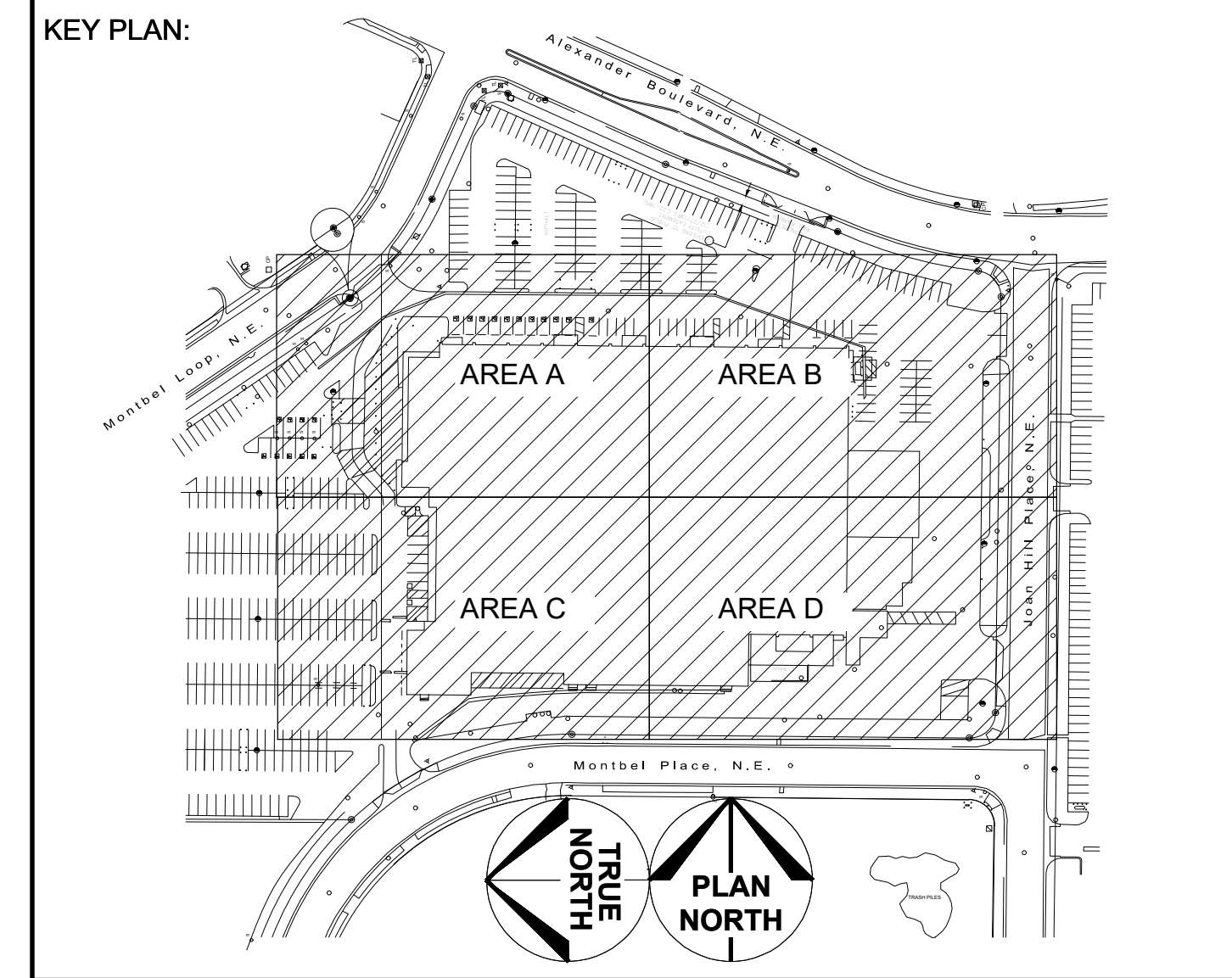


**LEGEND:**

- W --- UNDERGROUND DOMESTIC WATER LINE
- FP --- UNDERGROUND FIRE PROJECTION LINE
- ⊕ FIRE HYDRANT
- [Grid Pattern] EXISTING SPRINKLED
- [Hatched Pattern] PROPOSED SPRINKLED

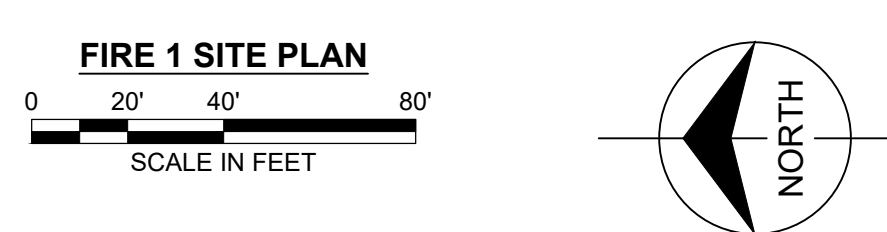
- GENERAL NOTES:**
- FIRE INFORMATION:**  
 TOTAL BUILDING SQ FOOTAGE: 51,261 NEW; 137,433 EXISTING; 188,694 TOTAL  
 CONSTRUCTION TYPE: II-B  
 MINIMUM FIRE FLOW: 4,000 @ 20 PSI  
 (PER IFC TABLE B105.1: 50% REDUCTION PER B105.2)  
 NUMBER OF HYDRANTS REQUIRED: 5  
 NUMBER OF HYDRANTS AVAILABLE: 5  
 BUILDING HEIGHT: +/- 41 FT
  - REFERENCE CODE: 2015 INTERNATIONAL FIRE CODE
  - FIRE APPARATUS ACCESS ROAD SIGNS SHALL COMPLY WITH IFC D103.1.
  - FIRE APPARATUS ACCESS ROAD CURB MARKINGS SHALL COMPLY WITH ORD. 503.3.1.
  - FIRE APPARATUS ACCESS ROAD SHALL HAVE AN ASPHALT SURFACE CAPABLE OF SUPPORTING IMPOSED LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS.
  - THE FDC SHALL BE UNOBSTRUCTED FROM PERMANENT OBJECTS FOR A MINIMUM DISTANCE OF 3- FEET RADIUS AROUND THE CONNECTION AND 6.50 FEET IN HEIGHT.
  - THE NEW AND EXISTING BUILDINGS SHALL INCORPORATE A SPLIT SYSTEM.

**KEYED NOTES:** (#)



ARCHITECTS/ENGINEERS:  
**BURNS MEDONNELL**  
 9400 WARD PARKWAY  
 KANSAS CITY, MO 64114

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Aug 15 2022 2:55 PM

A   07/26/22   ISSUED FOR REVIEW   SE   JL	
DESIGNED / DRAWN: S. ENGEMANN	LOCATION:
ENGINEER REVIEW: J. LAVENDAR	EQUIPMENT FILE NO.:
DATE: 07/26/2022	SCALE: 1" = 40'
DRAWING NUMBER: CS-F1	PLOT: 1:1 SIZE: E1
<b>curia</b> 4401 ALEXANDER BLVD. NE ALBUQUERQUE, NEW MEXICO, 87109 <b>BUILDING 4401          FIRE 1          FIRE PROTECTION          SITE PLAN</b>	













EAST ELEVATION

0 4' 8' 16'



NORTH ELEVATION

0 4' 8' 16'

APPROX 16' X 8' BACKLIT



WEST ELEVATION

0 4' 8' 16'



# Conceptual Site Plan



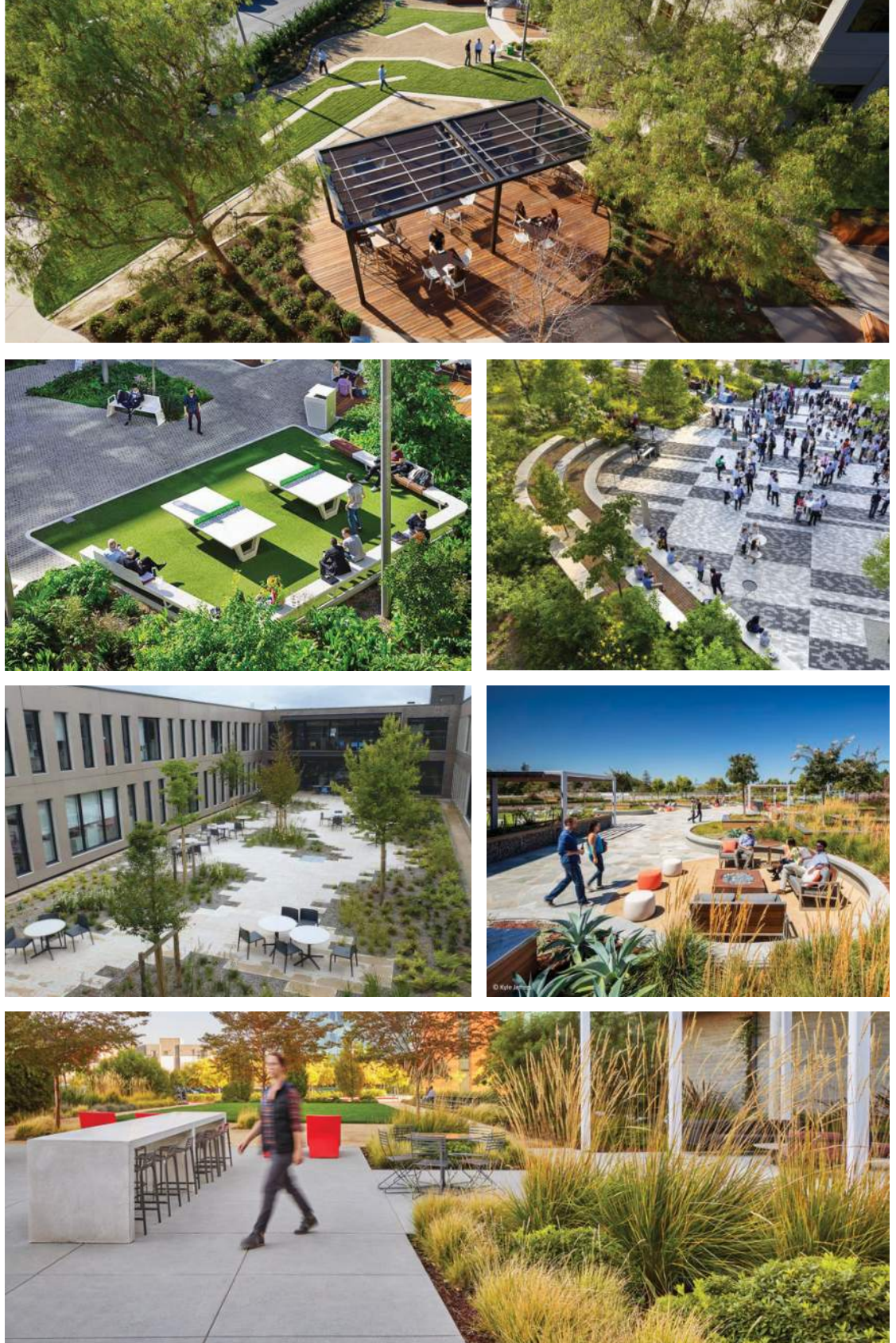
- Legend.**
- 1 vehicular drop-off zone
  - 2 visitor parking zone
  - 3 employee parking zone
  - 4 public entry plaza
  - 5 private employee courtyard
  - 6 utility service yard, re:arch

# Conceptual Plaza + Courtyard Plan Enlargement



- Legend.**
- 1 vehicular drop-off zone
  - 2 raised, seated planter
  - 3 specialty pavement & banding
  - 4 crushed aggregate paving
  - 5 flexible lawn & employee amenities
  - 6 outdoor meeting space
  - 7 flexible seating/dining
  - 8 ping pong/pool table
  - 9 wind sail shade structures
  - 10 flagpoles, (3) total
  - ↔ employee/visitor path
  - ADA parking, quantity T.B.D.
  - EV parking stalls, (2) total
  - visitor parking zone
  - secure screen wall/fence

## vision + inspiration



# Desert-Inspired Site & Landscape













# PR-2018-001252\_SI-2022-02328\_Approved\_2-1-23\_Sheet\_1

Final Audit Report

2023-02-01

Created:	2023-02-01
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAACK3JSN61nDV-UZq7tVWw7wb4pqOCxIT7

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