



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. PR-2018-001280
Application No. SI-2018-00049

TO:

- Kym Dicome, DRB Chair, Planning Department**
- James Hughes, P.E., Hydrology**
- Racquel Michel, P.E., Transportation Development**
- Kris Cadena, P.E., Albuquerque/ Bernalillo Co. WUA**
- Ben McIntosh, Code Enforcement**
- Jason Coffey, Parks/Municipal Development**

NOTE: PDF Required

***(Please attach this sheet with each collated set per board member)**

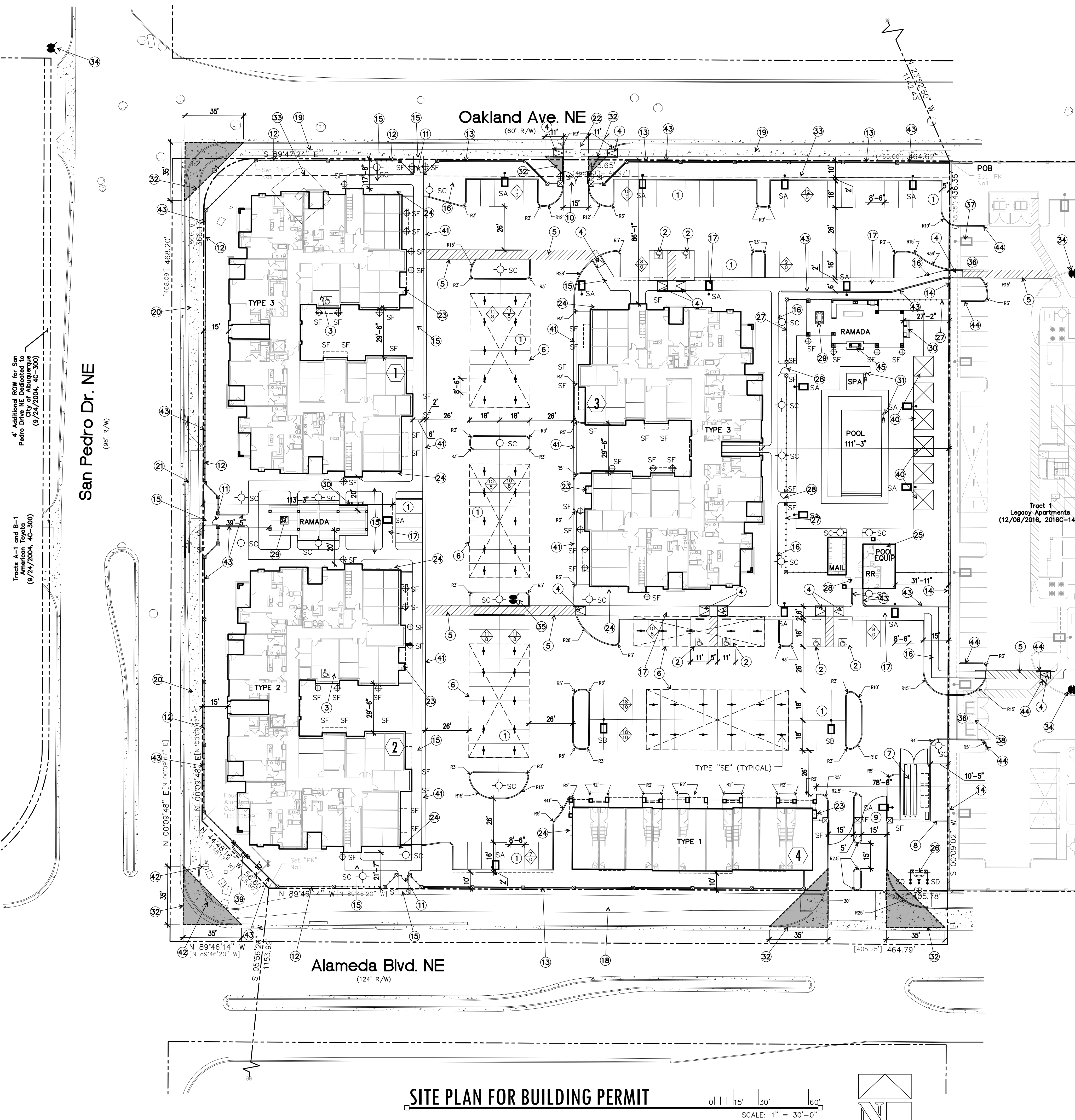
NEXT HEARING DATE: 7/18/18

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Updated Site Plan for Building Permit to remove refuse enclosures and replace
with one compactor enclosure and modifications to ramadas in amenities areas.

CONTACT NAME: Jacqueline Fishman, AICP, Principal

TELEPHONE: 505-764-9801 **EMAIL:** fishman@consensusplanning.com



SITE PLAN FOR BUILDING PERMIT
SCALE: 1" = 30'-0"

KEYNOTES

- 8.5'x18' PARKING SPACE WITH 2' OVERHANG, TYPICAL. SEE DETAIL 01/A1.20.
- 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG. SEE DETAIL 05/A1.20.
- ACCESSIBLE GARAGE SPACE.
- ACCESSIBLE CURB RAMP. SEE DETAIL 08/A1.20.
- ACCESSIBLE DRIVEWAY CROSSING WITH SCORED CONCRETE.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE. SEE DETAIL 06/A1.20.
- 39' CU. YDS. TRASH COMPACTOR ENCLOSURE SURROUNDED BY 8' CMU WALL PAINTED TO MATCH BUILDINGS. SEE DETAIL 13/A1.20.
- 8' H. CMU WALL PAINTED TO MATCH BUILDINGS. SEE DETAIL 07/A1.20.
- RESIDENT ONLY REMOTE CONTROL ENTRY VEHICULAR GATE. SEE DETAIL 28/A1.21.
- EXIT ONLY VEHICULAR GATE. SEE DETAIL 44/A1.22.
- PEDESTRIAN ENTRY GATE. SEE DETAIL 23/A1.21.
- WROUGHT IRON PERIMETER VIEW FENCE. SEE DETAIL 18 & 19/A1.21.
- CMU/WROUGHT IRON COMBO PERIMETER FENCE. SEE DETAIL 17/A1.21.
- EXISTING CMU RETAINING WALL WITH WROUGHT IRON FENCE ON TOP. REMOVE AT NEW DRIVEWAYS AND SIDEWALK CONNECTIONS TO PHASE 1.
- 6' SIDEWALK CONNECTING TO PUBLIC WAYS AND CONNECTING BUILDINGS.
- 4' SIDEWALK, TYPICAL ON SITE.
- 8' SIDEWALK, TYPICAL AT PARKING. SEE DETAIL 09/A1.20.
- EXISTING 10' MULTI-USE ASPHALT TRAIL, 4' FROM STREET CURB AT ALAMEDA BLVD.
- EXISTING 6' SIDEWALK DETACH 6' FROM STREET CURB AT OAKLAND AVE.
- EXISTING 6' SIDEWALK DETACH 3' FROM STREET CURB AT SAN PEDRO DR.
- REMOVE EXISTING DRIVEWAY AND REPLACE WITH NEW CURB AND SIDEWALK TO MATCH EXISTING. SEE DETAIL 28/A1.21.
- FIRE RISER LOCATION. SEE BUILDING PLANS. ALL BUILDINGS SHALL HAVE PIV.
- ELECTRIC SERVICE LOCATION.
- POOL EQUIPMENT ROOM.
- MONUMENT SIGN NEXT TO ALAMEDA ENTRY DRIVE. SEE DETAIL 30/A1.21.
- WROUGHT IRON POOL FENCE. SEE DETAIL 18 & 19/A1.21.
- POOL ENTRY GATE. SEE DETAIL 24/A1.21.
- FIRE PIT. SEE DETAIL 32/A1.22.
- GAS GRILLS. SEE DETAIL 39/A1.22.
- POOL LIFT. SEE DETAIL 43/A1.22.
- SIGHT VISIBILITY. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING 10' PNM EASEMENT (1/13/2017, DOC. NO. 2017003527).
- EXISTING FIRE HYDRANT.
- NEW FIRE HYDRANT.
- DRIVEWAY CONNECTION TO EXISTING PHASE 1 PROJECT. REMOVE EXISTING CMU WALL AS NEEDED.
- RELOCATE EXISTING LIGHT POLE.
- REMOVE EXISTING TRASH ENCLOSURE.
- MONUMENT SIGN AT SWC. SEE DETAIL 30/A1.21.
- POOL CABANA. SEE DETAIL 35/A1.22.
- MOUNTABLE CURB "ESTATE TYPE" PER CITY DETAIL 2415A. SEE DETAIL 43/A1.22.
- EXISTING TRAFFIC MAST.
- NEW RETAINING WALL PER GRADING PLANS.
- CONNECT TO EXISTING CURB ON PHASE 1.
- VENT-LESS 2-SIDED GAS FIREPLACE.

UNIT MIX

	S1	A1	A2	A2H	A3	B2	B2m	B2H	B4	B5	TB1	TB1m1	TB1m2	UNITS/BLDG	NO. BLDGS	TOTAL UNITS
LIVABLE	587	728	768	768	768	1,194	1,216	1,188	1,121	1,242	1,286	1,330	1,330			
STOR/GAR	23	13	26	26	26	22	22	22	21	15	501	517	533			
PAT/BAL	60	59	67	67	67	57	57	57	57	57	56	56	68			
BLDG TYPE 1										5	2	2		8	1	8
BLDG TYPE 2	6	6	4		4	3	4	1	8	6				42	1	42
BLDG TYPE 3	6	6	3	1	4	4	4		6	6				42	2	84
TOTAL	18	18	10	2	12	11	12	1	24	18	5	2	2	4	135	

NOTES:

- ALL UNITS IN BLDGS TYPE 2 & 3 ARE TO MEET ANSI TYPE 'B' UNIT REQUIREMENTS.
- 2% OF TOTAL UNITS ARE REQUIRED TO MEET ANSI TYPE 'A' (135x.02=2.7 PROVIDED: 3)
- UNIT IN BLDG TYPE 1 ARE MULTISTORY UNITS AND ARE EXEMPT FROM ANSII REQUIREMENTS.

LEGEND

- PROPERTY LINE
- BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- No. OF PARKING SPACES
- No. OF COVERED SPACES
- ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- FIRE HYDRANT

LIGHTING LEGEND

- TYPE 'SA'. 18' TALL POLE LIGHT. TYPE III DISTRIBUTION. FULLY CUT-OFF
- TYPE 'SB'. 18' TALL POLE LIGHT. TYPE V DISTRIBUTION. FULLY CUT-OFF
- TYPE 'SC'. 7' TALL POLE LIGHT.
- TYPE 'SD'. WALL MOUNTED SIGN LED LIGHT WITH GLARE SHIELD AND 36" LONG STEM.
- TYPE 'SE'. CARPORT LIGHT. 4 FT. FLUORESCENT STRIP.
- TYPE 'SF'. WALL SCONCE AT 6"-6" B.O.F. ADA COMPLIANT.
- TYPE 'SG'. 18' TALL POLE LIGHT. TYPE III DISTRIBUTION. FULLY CUT-OFF.

B.O.F. - HEIGHT IS MEASURED FROM BOTTOM OF FIXTURE OR FIXTURE LENS TO ABOVE FINISHED FLOOR.
T.O.F. - HEIGHT MEASURED FROM TOP OF FIXTURE TO ABOVE FINISHED FLOOR.

PROJECT NUMBER:
Application Number:
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied. Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

DEVELOPMENT DATA

SITE AREA:
4.4876 ACRES (195,479 S.F.)

ZONING:
CURRENT: R-MH

BUILDING HEIGHT:
ALLOWED: 45 FEET
PROVIDED: 45 FEET

DENSITY:
ALLOWED: 50.00 DU/ACRE
PROPOSED: 30.08 DU/ACRE

SETBACKS PROVIDED:

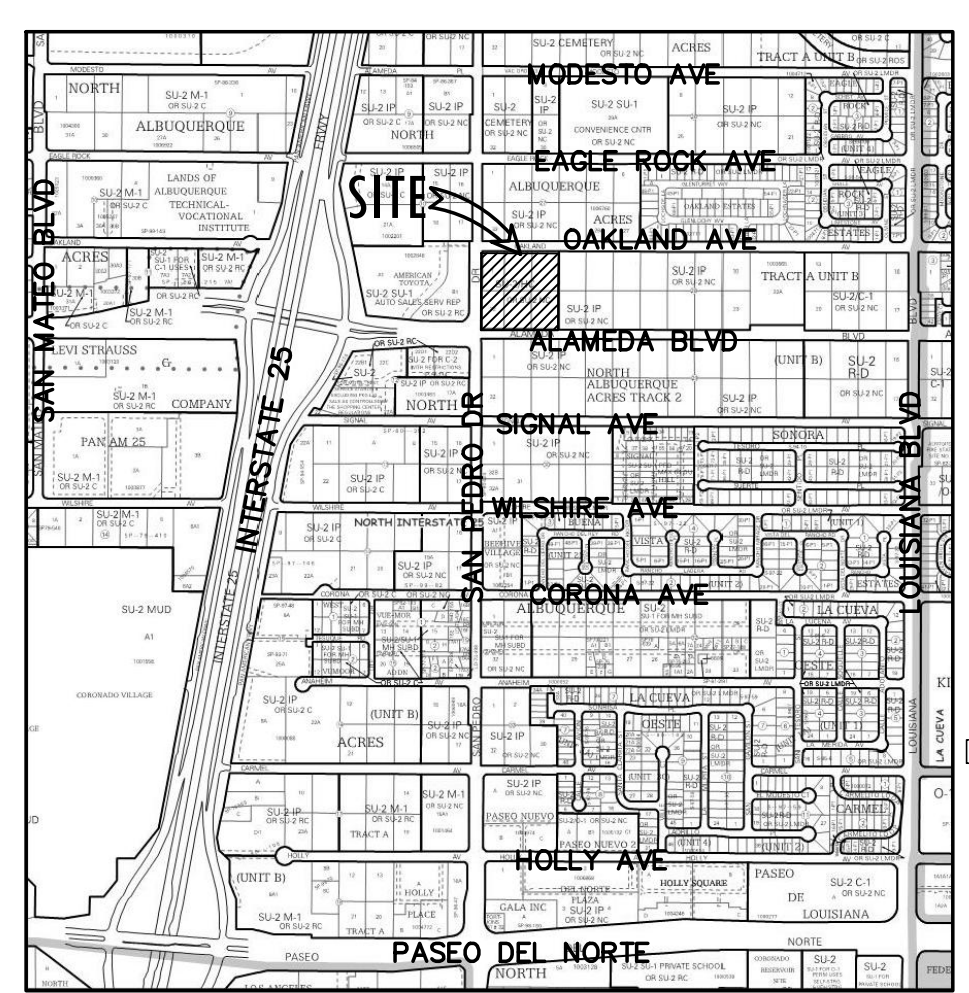
	SIDE (N)	FRONT (W)	SIDE (S)	REAR (E)
BUILDINGS	17'-8"	15'-0"	10'-0"	31'-11"
PARKING	10'-0"	113'-3"	10'-0"	5'-0"

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED

	SF REQ. PER DU	# OF DU'S	TOTAL SF REQUIRED	TOTAL SF PROVIDED
1 BEDROOM	200	60	12,000	
2 BEDROOM	250	75	18,750	
PROVIDED SITE OPEN SPACE				67,433
PROVIDED BALCONY PRIVATE OPEN SPACE				9,000
TOTAL (excess of 45,683 SF)	135	30,750	76,433	

BUILDING AREAS:

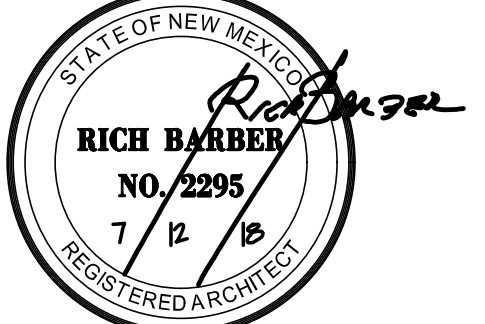
BLDG	OCCUPANCY	1ST FLR	2ND FLR	3RD FLR	4TH FLR	TOTAL
1	U/R-2	14,803	14,964	14,956	14,956	59,679
2	U/R-2	14,803	14,964	14,956	14,956	59,679
3	U/R-2	14,803	14,964	14,956	14,956	59,679
4	U/R-2	5,427	6,006	5,666		17,099
RAMADA 1	U	1,014				1,014
RAMADA 2	U	985				985
POOL RR						
TOTAL		52,455	50,898	50,534	44,868	198,755



VICINITY MAP
NOT TO SCALE

MARKANA APARTMENTS - II
SAN PEDRO AND ALAMEDA
Albuquerque, New Mexico

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



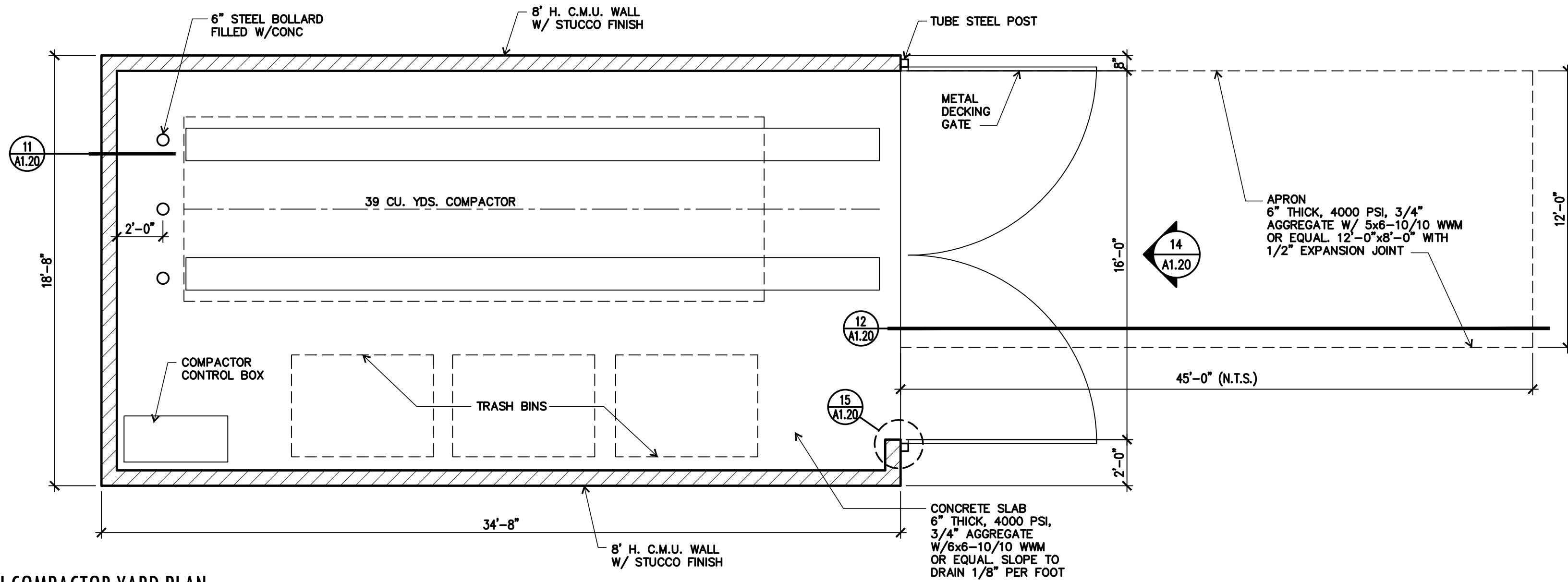
PARKING SPACE REQUIREMENTS

	PARKING RATIO REQUIRED	PARKING SPACES
1.5 PARKING SPACES PER DWELLING UNIT	1.5	203
PHASE 1 PARKING LOST		6
Total Parking Spaces Required		209
OPEN PARKING PROVIDED		93
CARPORT PARKING PROVIDED		76
GARAGE PARKING PROVIDED		69
Total Parking Provided		238
Accessible Parking Required		8
OPEN ACCESSIBLE PARKING PROVIDED		4
CARPORT ACCESSIBLE PARKING PROVIDED		2
GARAGE ACCESSIBLE PARKING PROVIDED		2
Total Accessible Parking Provided		8
Bicycle Parking Required (10% OF REQUIRED OFF-STREET PARKING SPACES)		21
GARAGE		60
Total Bicycle Parking Provided		60

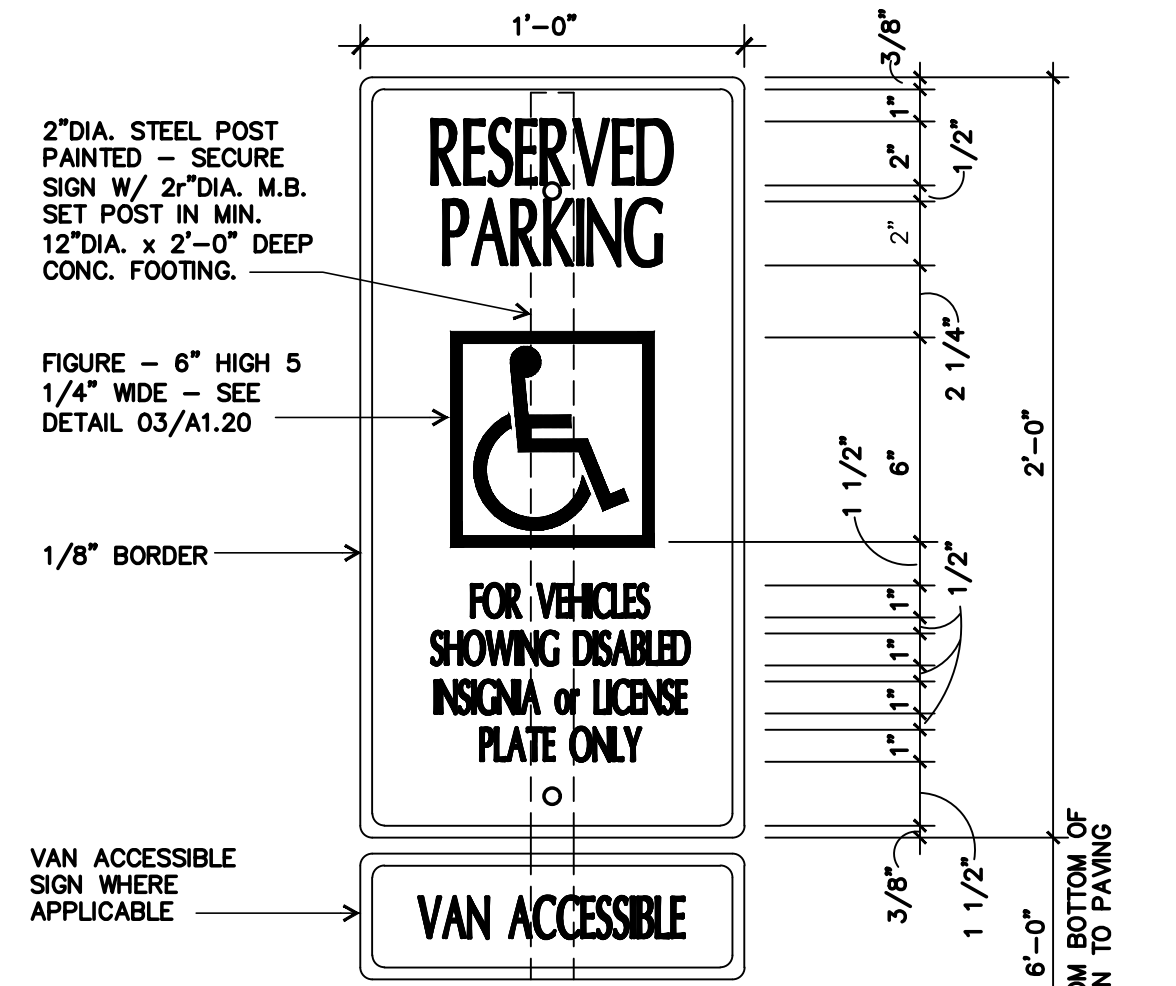
DATE: JULY 12, 2018 ORB # 17-219

A1.10

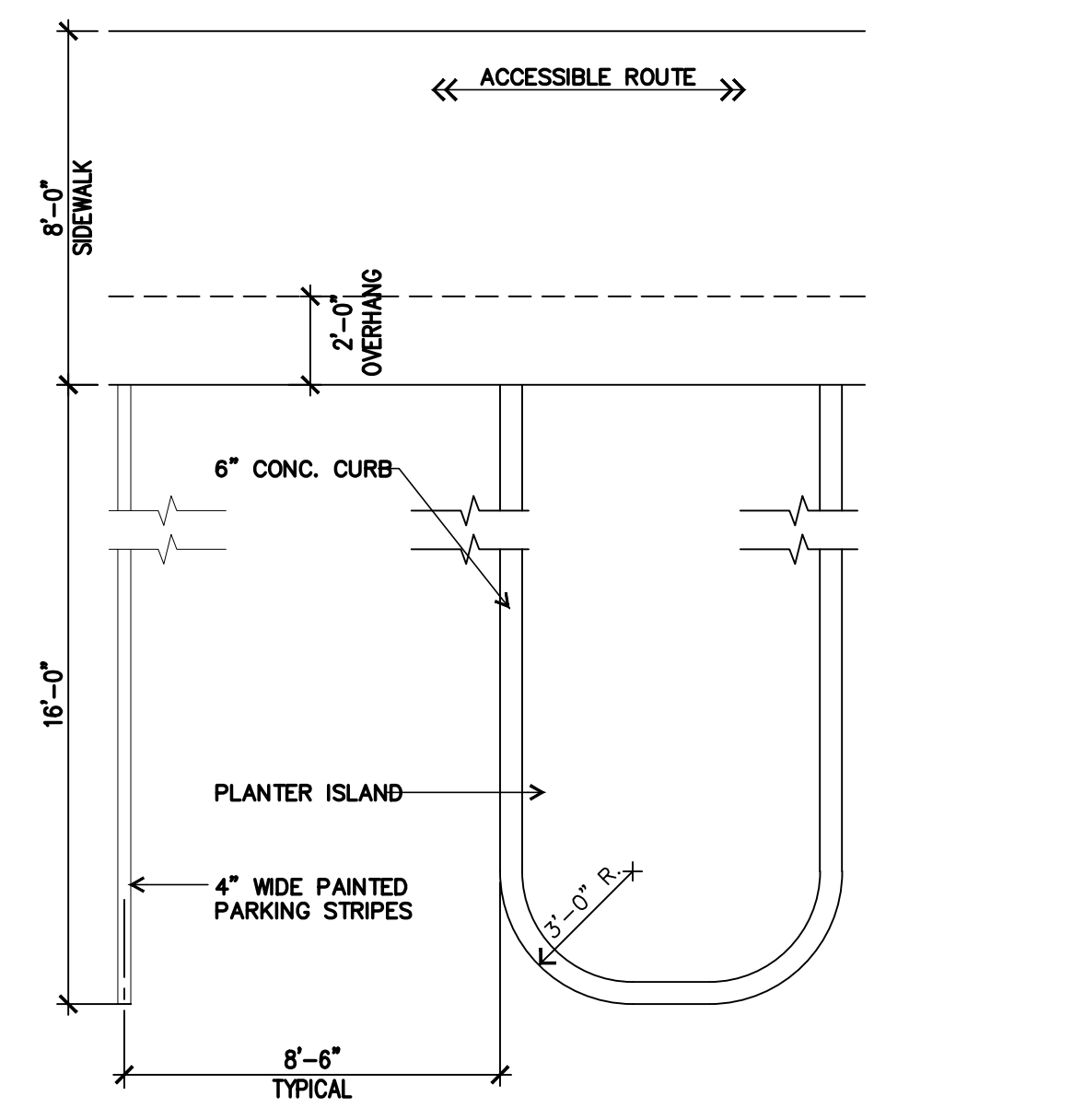
SITE PLAN FOR BUILDING PERMIT



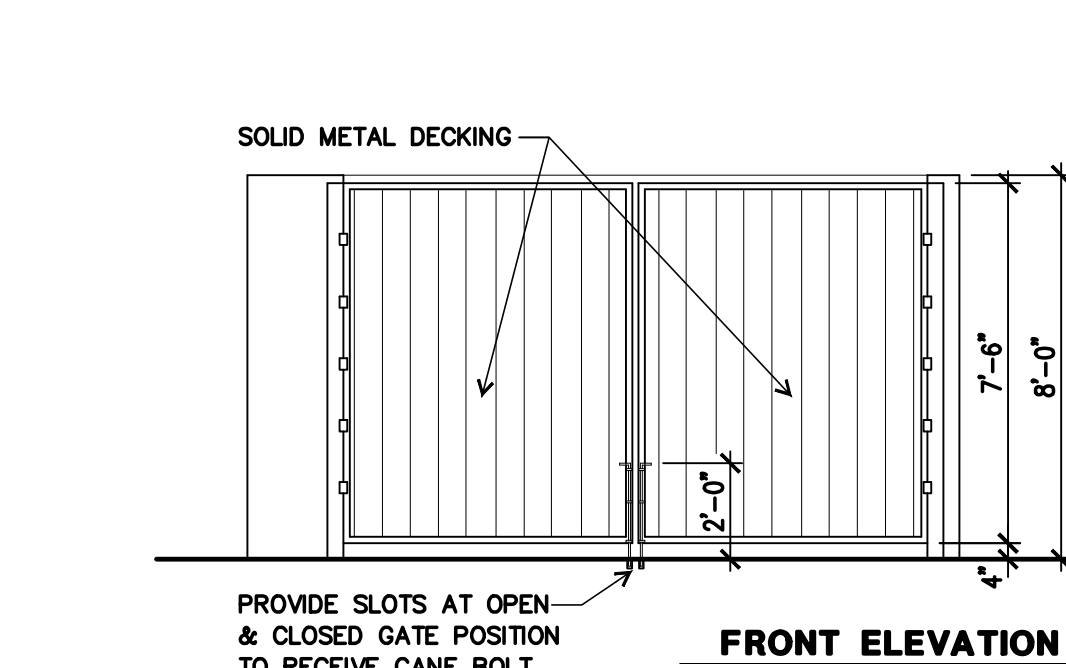
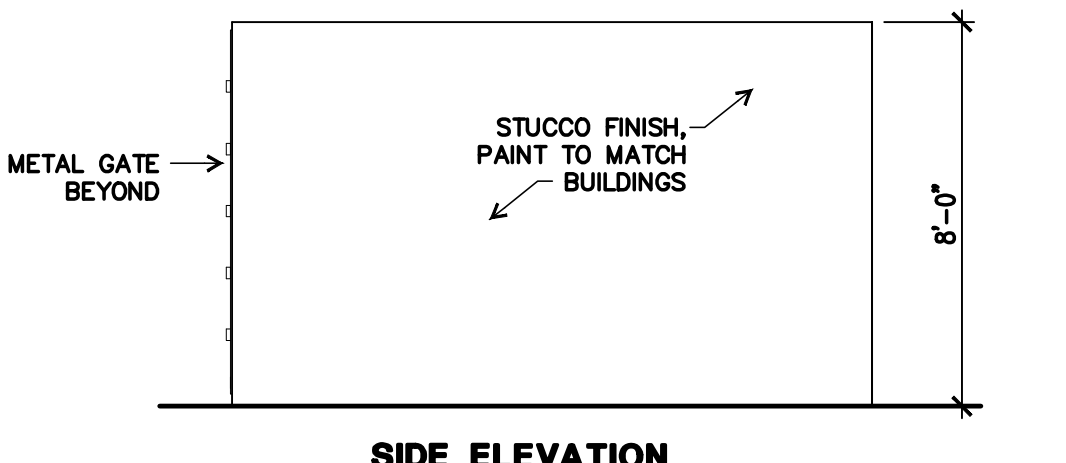
13 TRASH COMPACTOR YARD PLAN



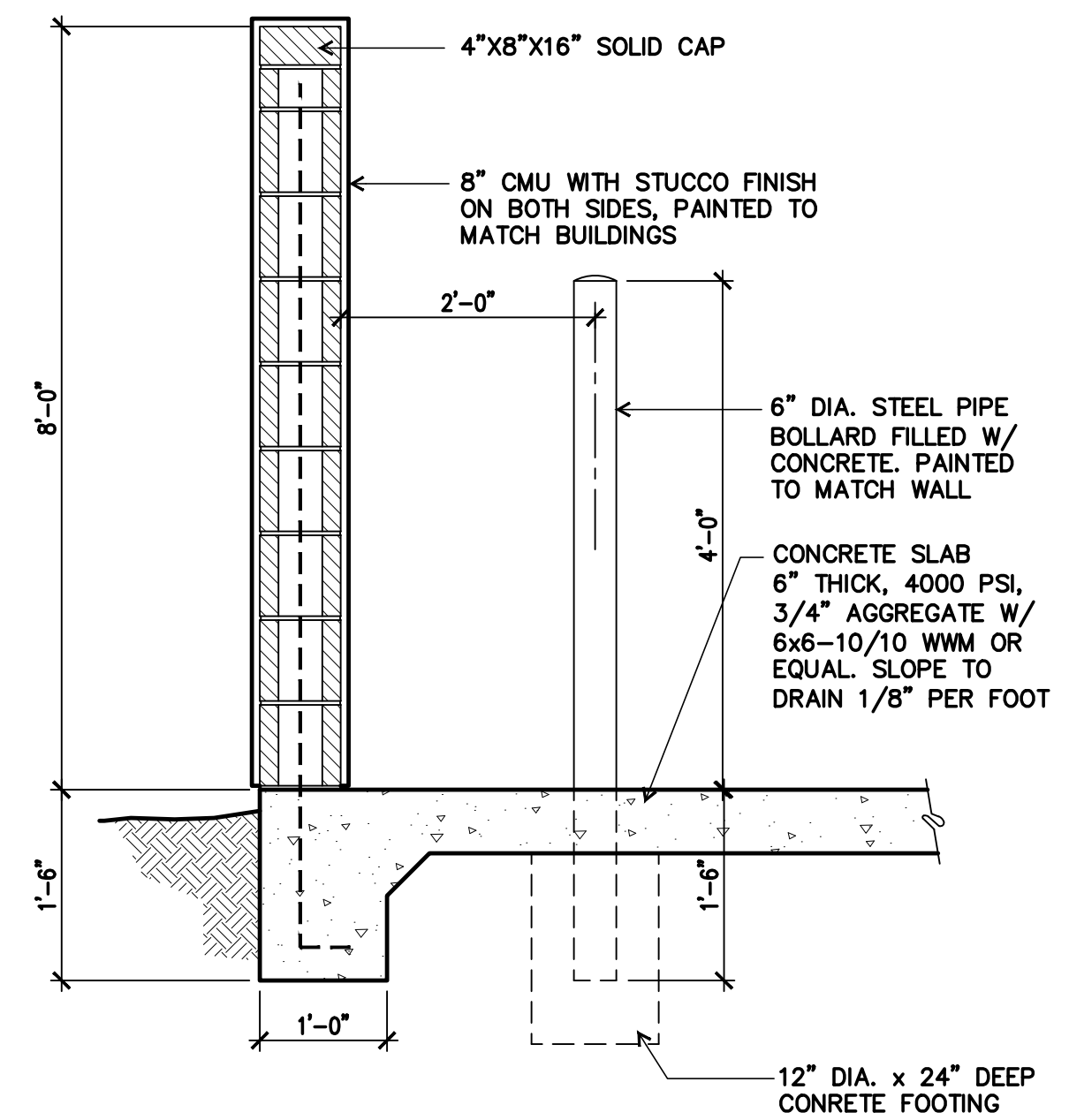
04 ACCESSIBLE PARKING SIGN



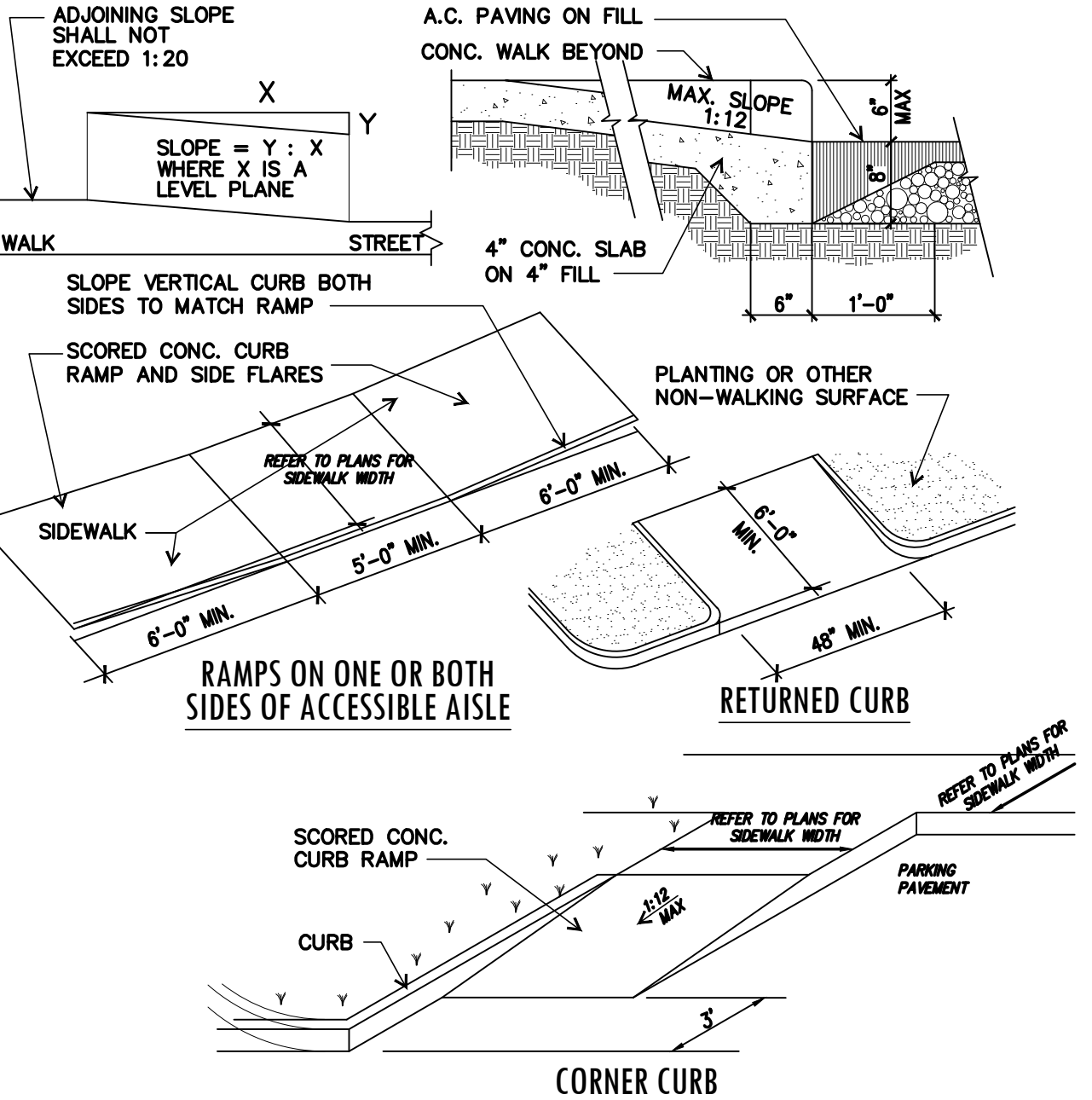
01 TYPICAL PARKING STALL WITH ISLAND



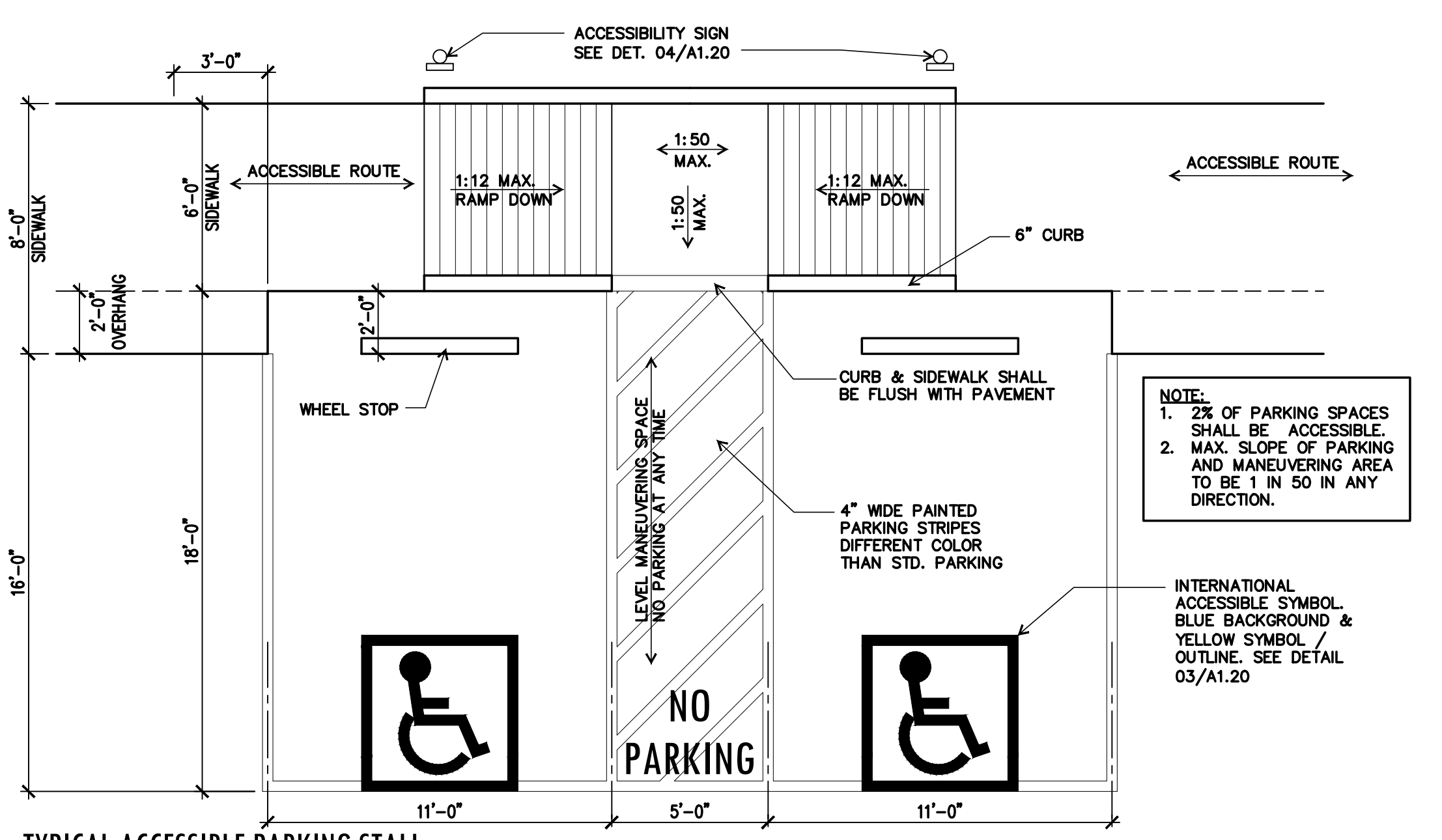
14 TRASH COMPACTOR YARD ELEVATIONS



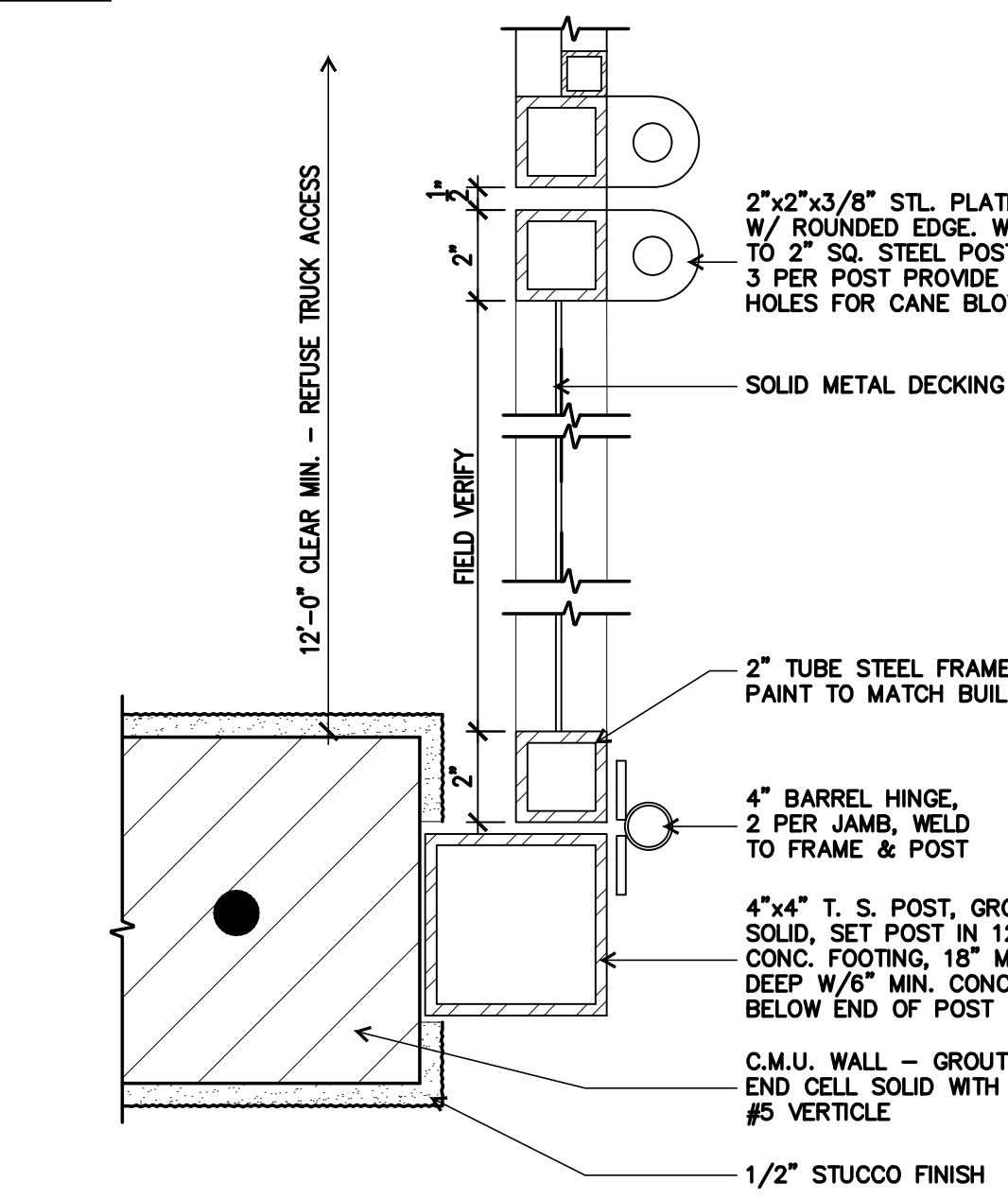
11 TRASH ENCLOSURE WALL



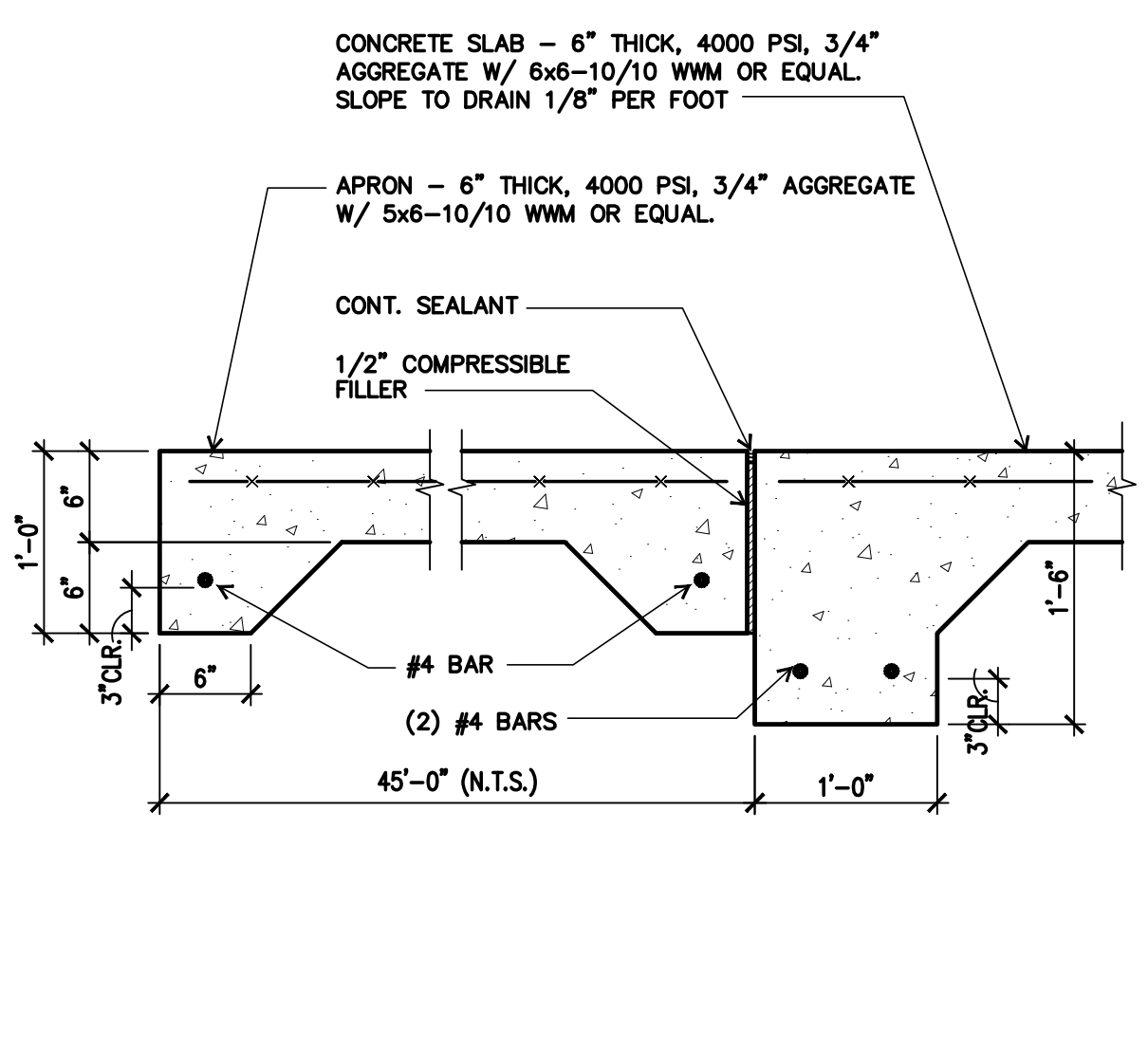
08 TYPICAL ACCESSIBLE RAMP



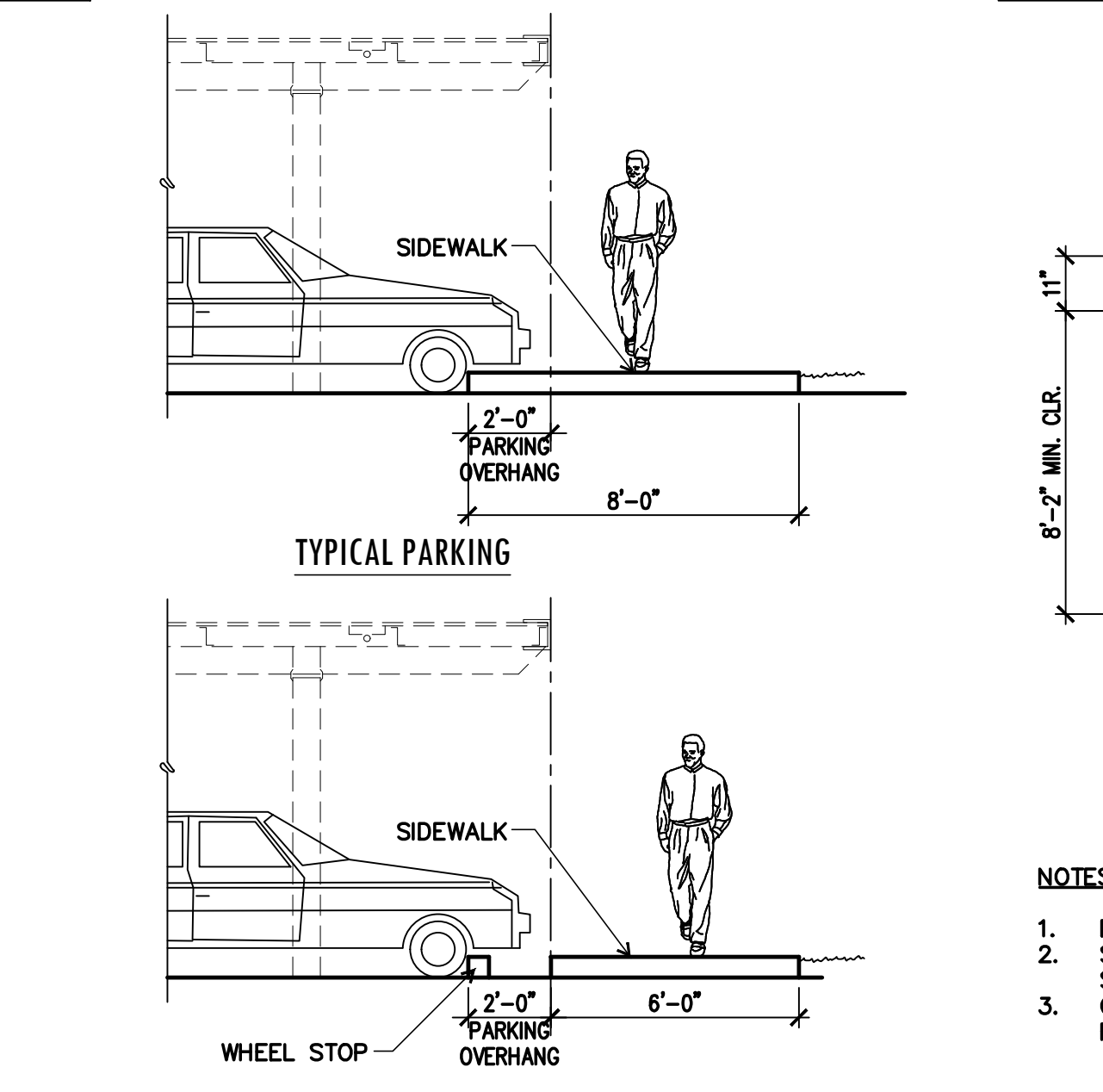
05 TYPICAL ACCESSIBLE PARKING STALL



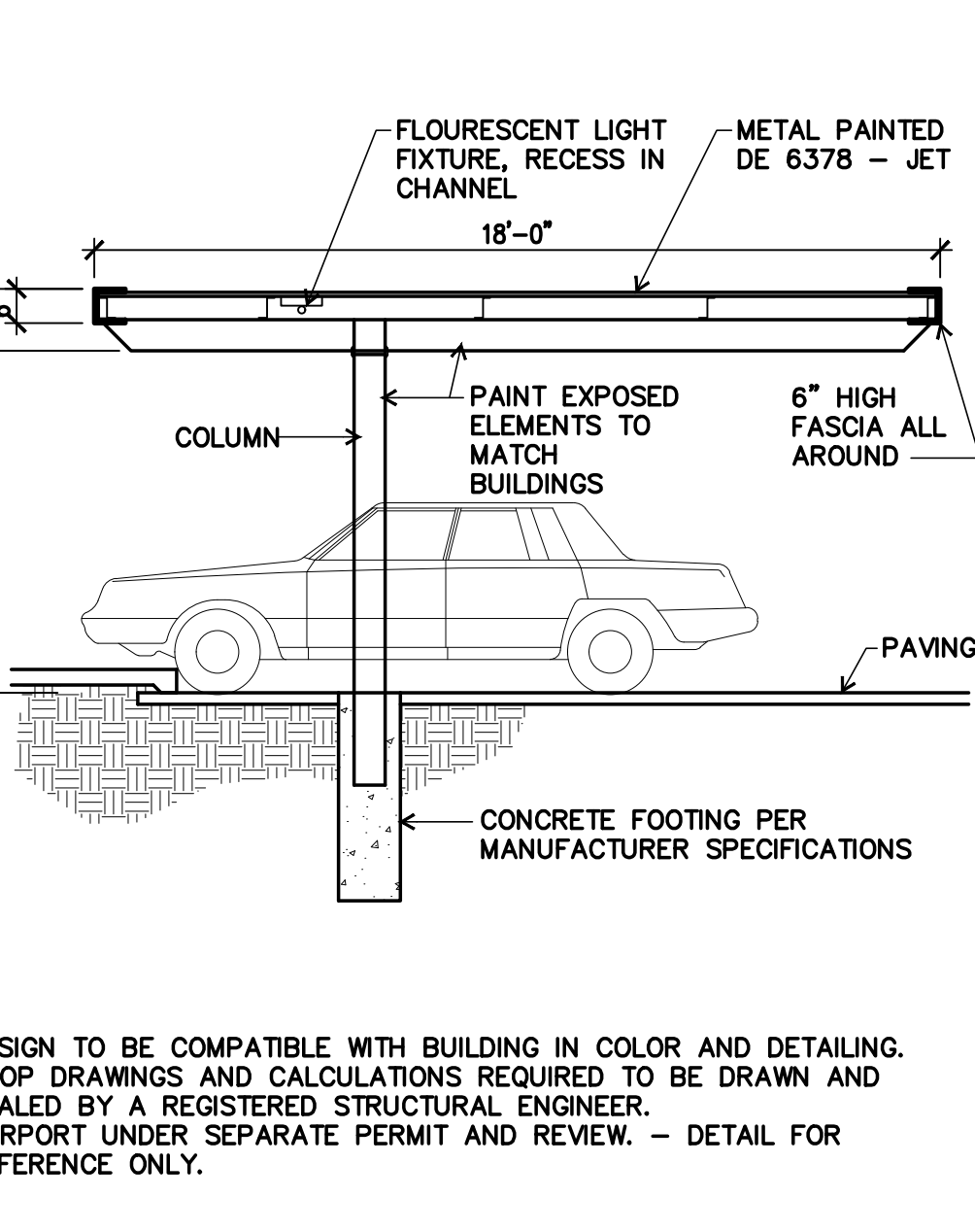
15 TRASH COMPACTOR YARD GATE



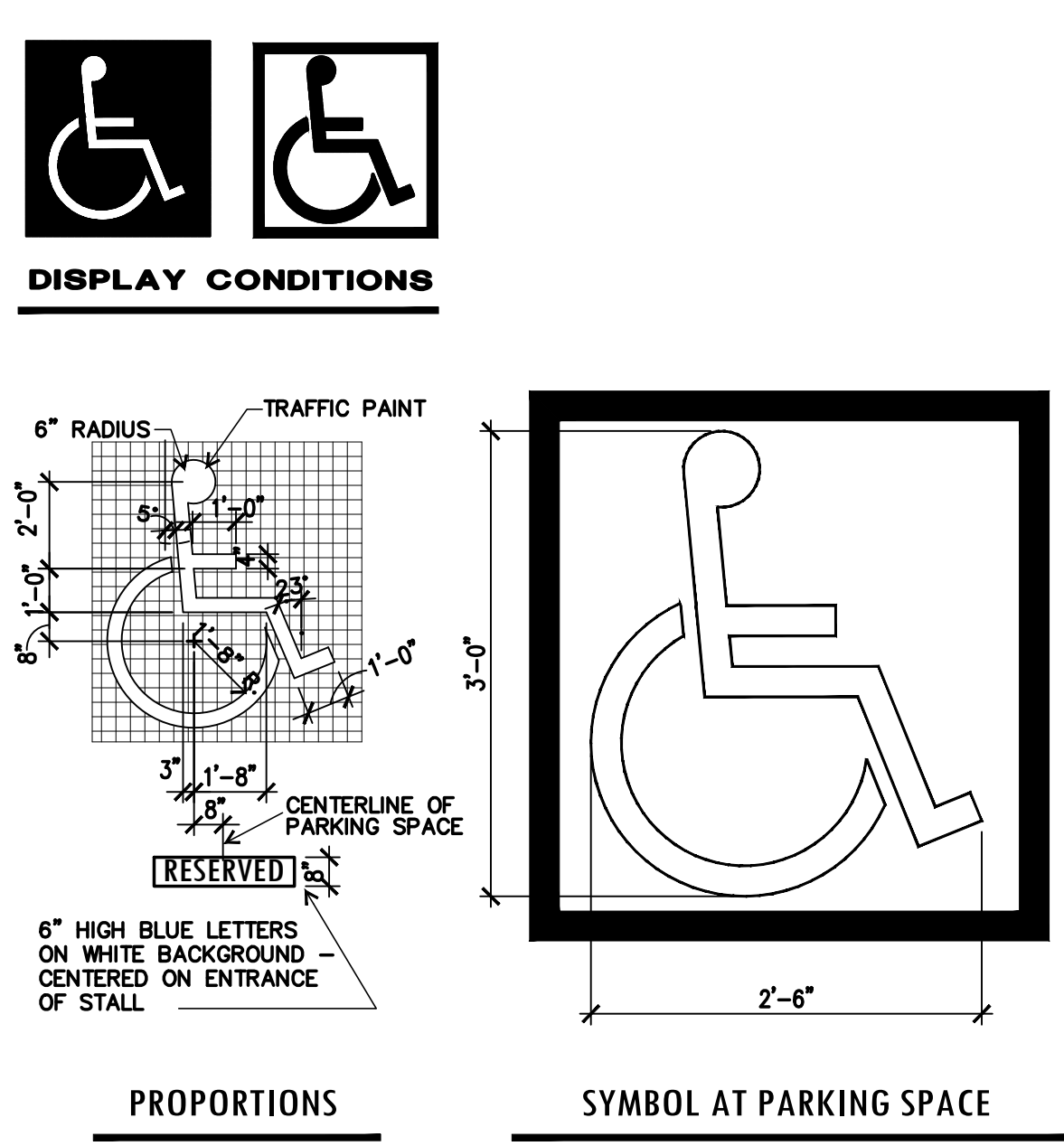
12 TRASH COMPACTOR YARD SLAB JOINT



09 SIDEWALK AT PARKING



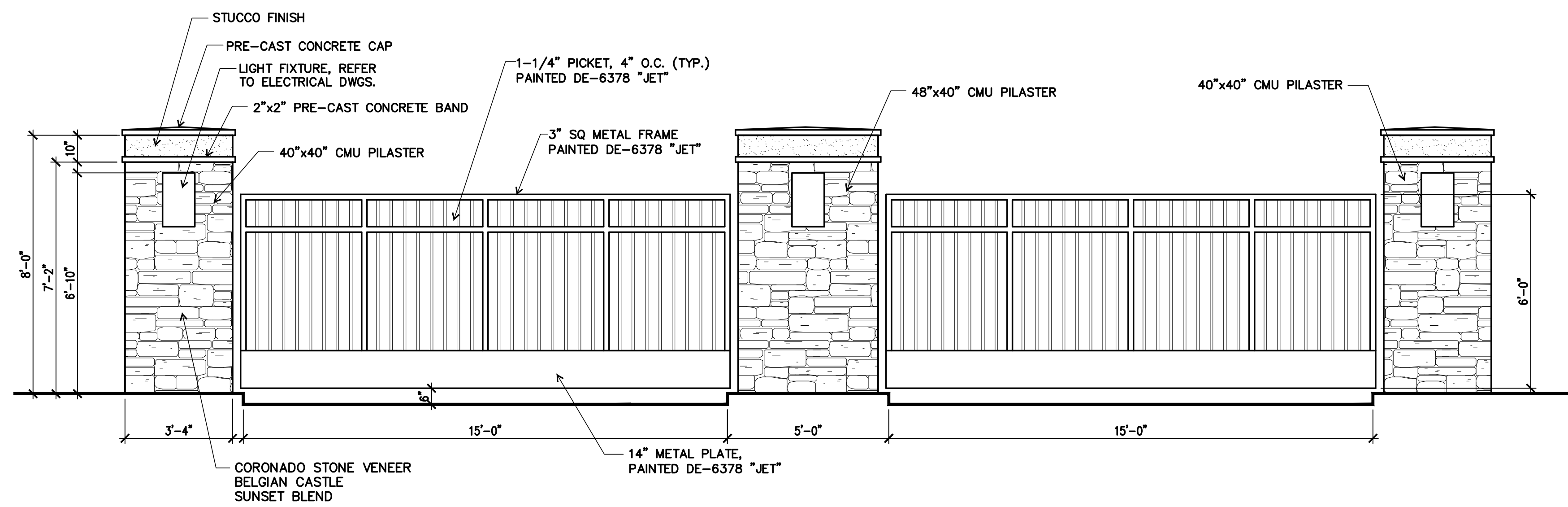
06 CARPORT DETAIL



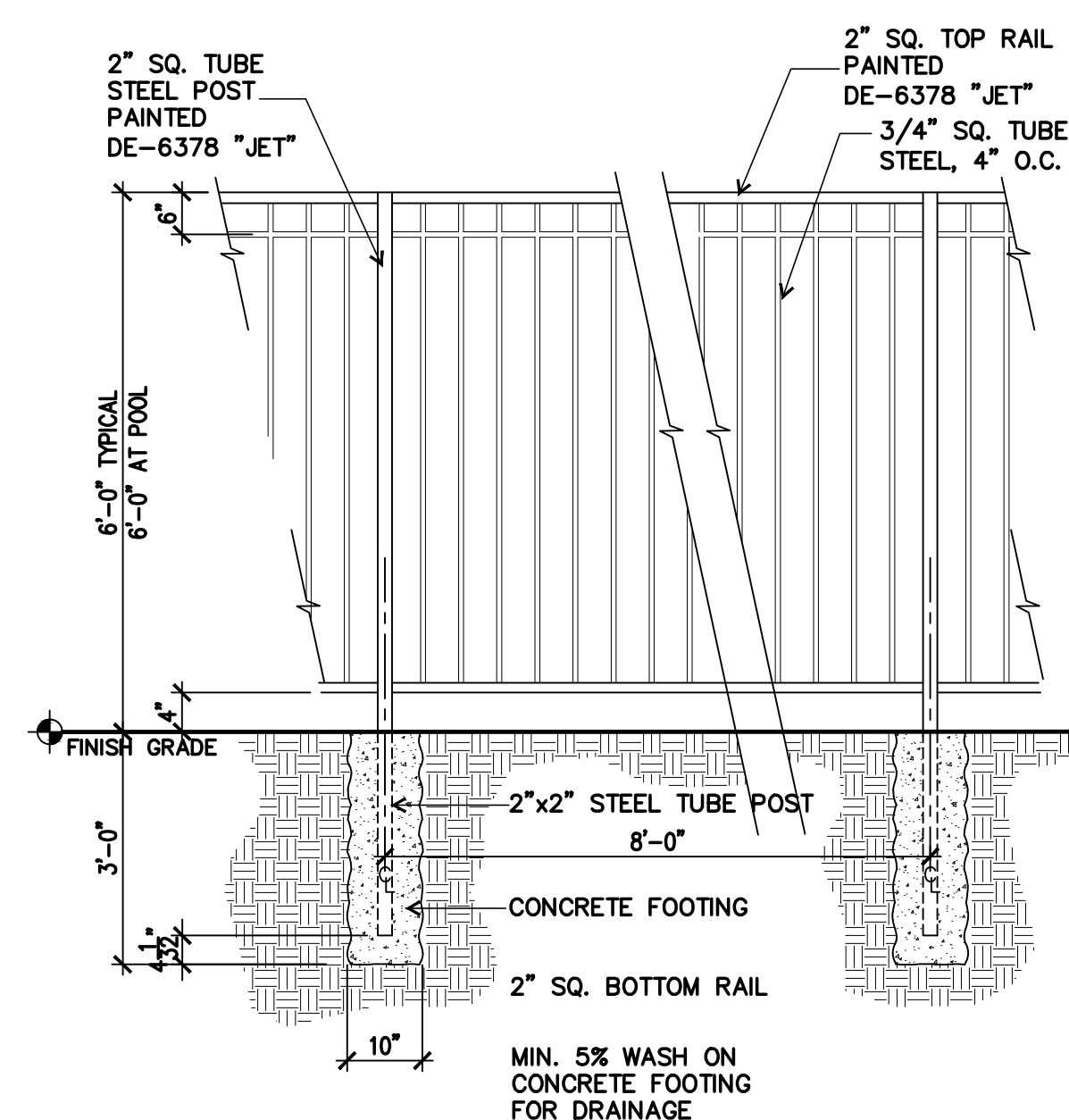
03 INTERNATIONAL SYMBOL OF ACCESSIBILITY

- NOTES:
- DESIGN TO BE COMPATIBLE WITH BUILDING IN COLOR AND DETAILING. SHOP DRAWINGS AND CALCULATIONS REQUIRED TO BE DRAWN AND SEALED BY A REGISTERED STRUCTURAL ENGINEER.
 - CARPORTR UNDER SEPARATE PERMIT AND REVIEW. - DETAIL FOR REFERENCE ONLY.

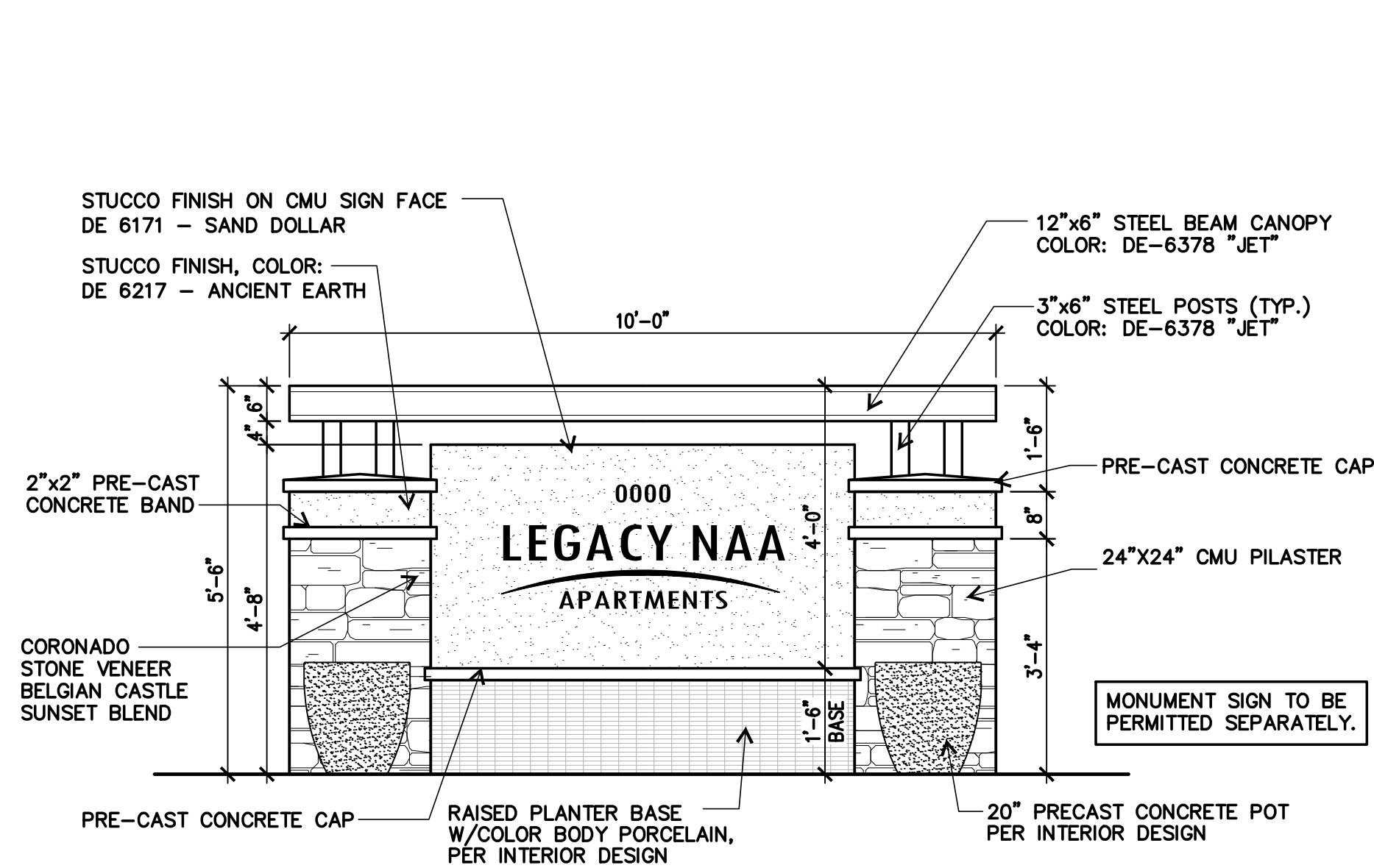
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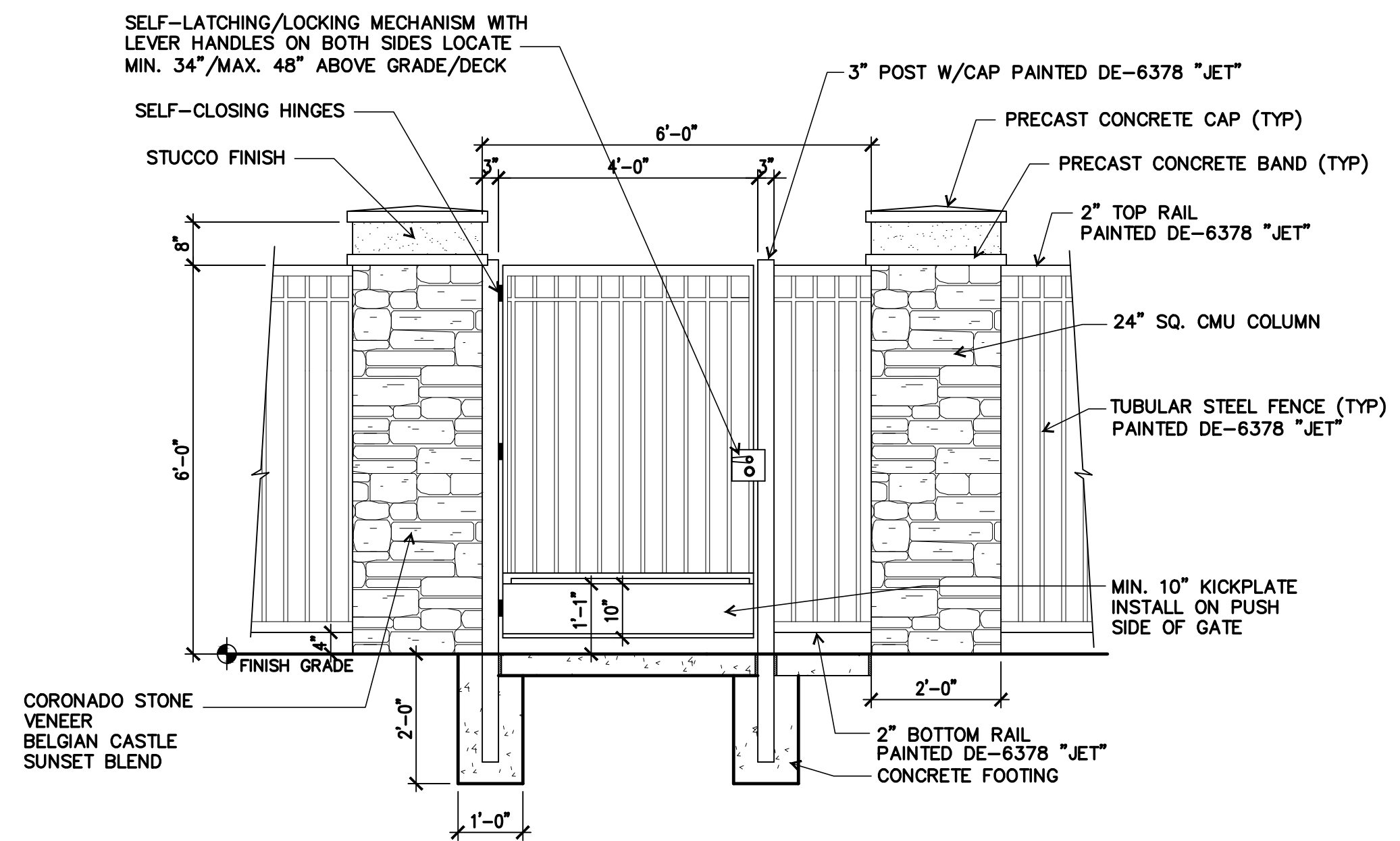
28 ALAMEDA BLVD. VEHICULAR ENTRY GATE



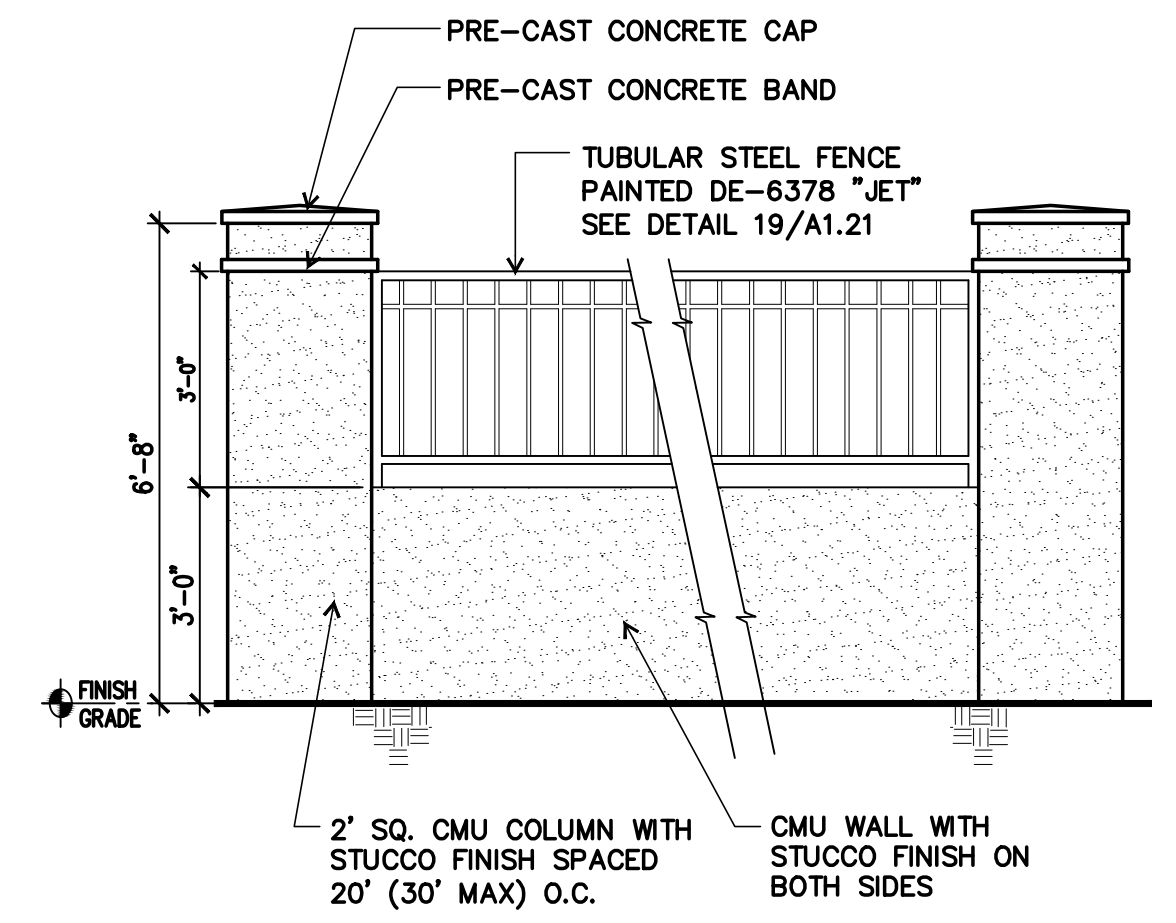
19 TUBULAR STEEL FENCE



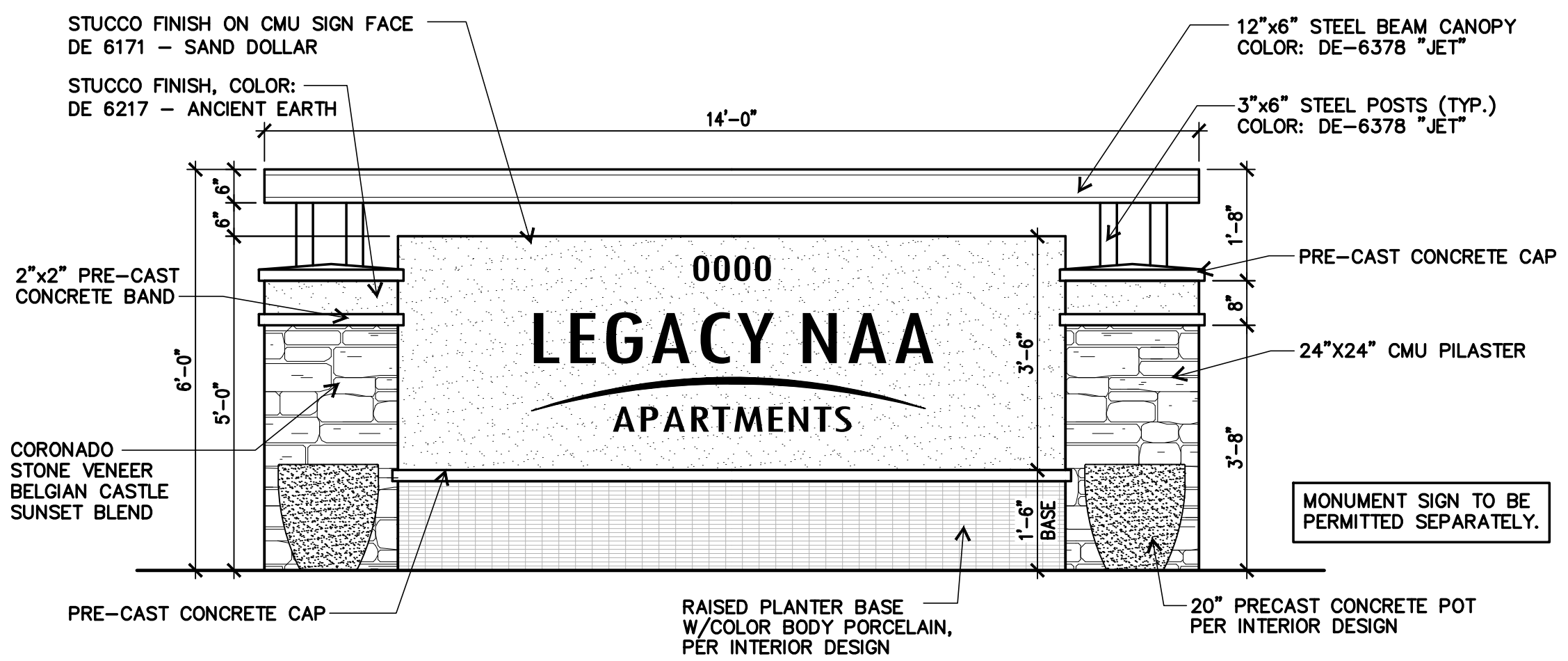
29 MONUMENT SIGN AT ALAMEDA DRIVE - ELEVATION



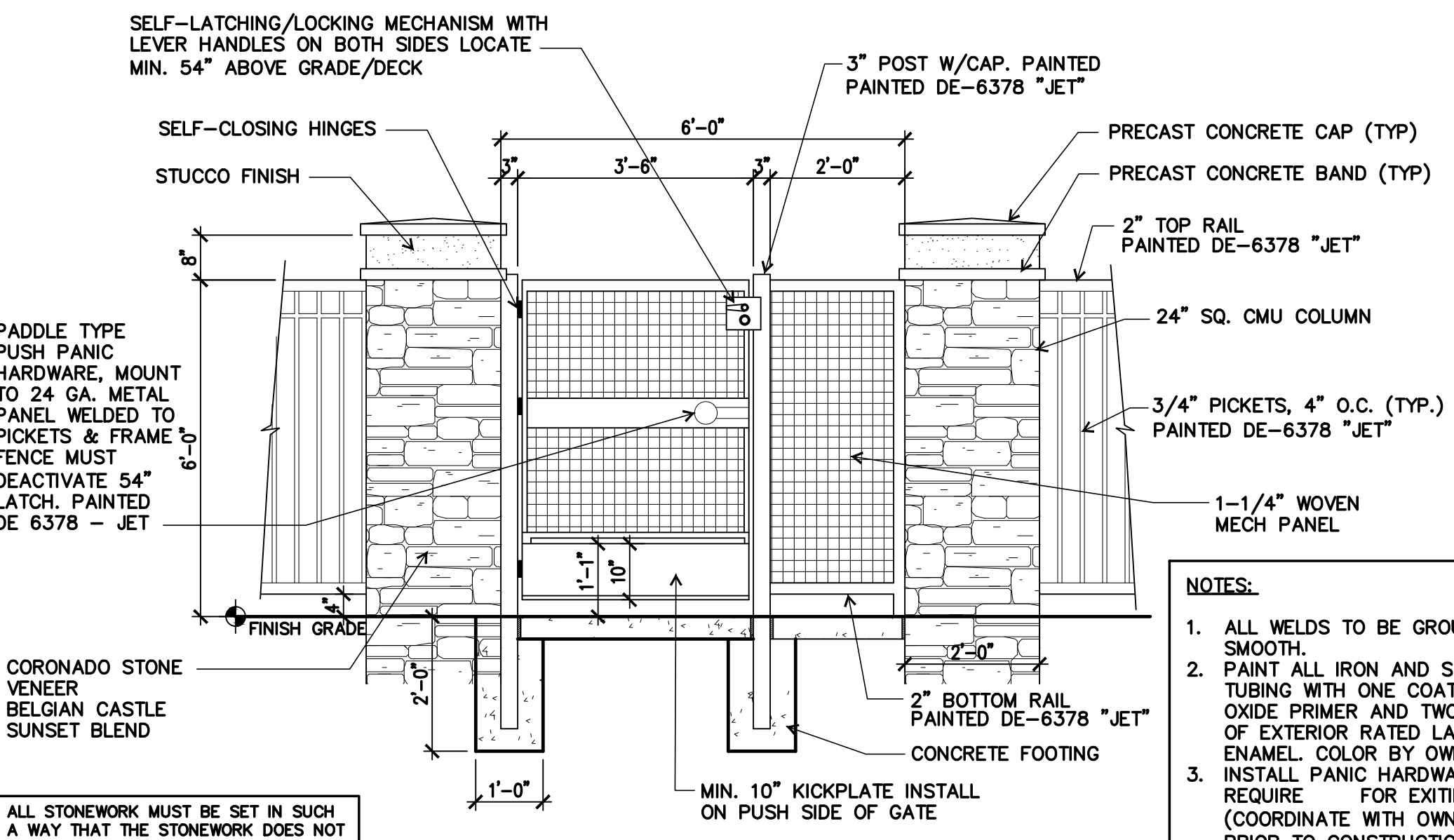
23 PEDESTRIAN ENTRY GATE



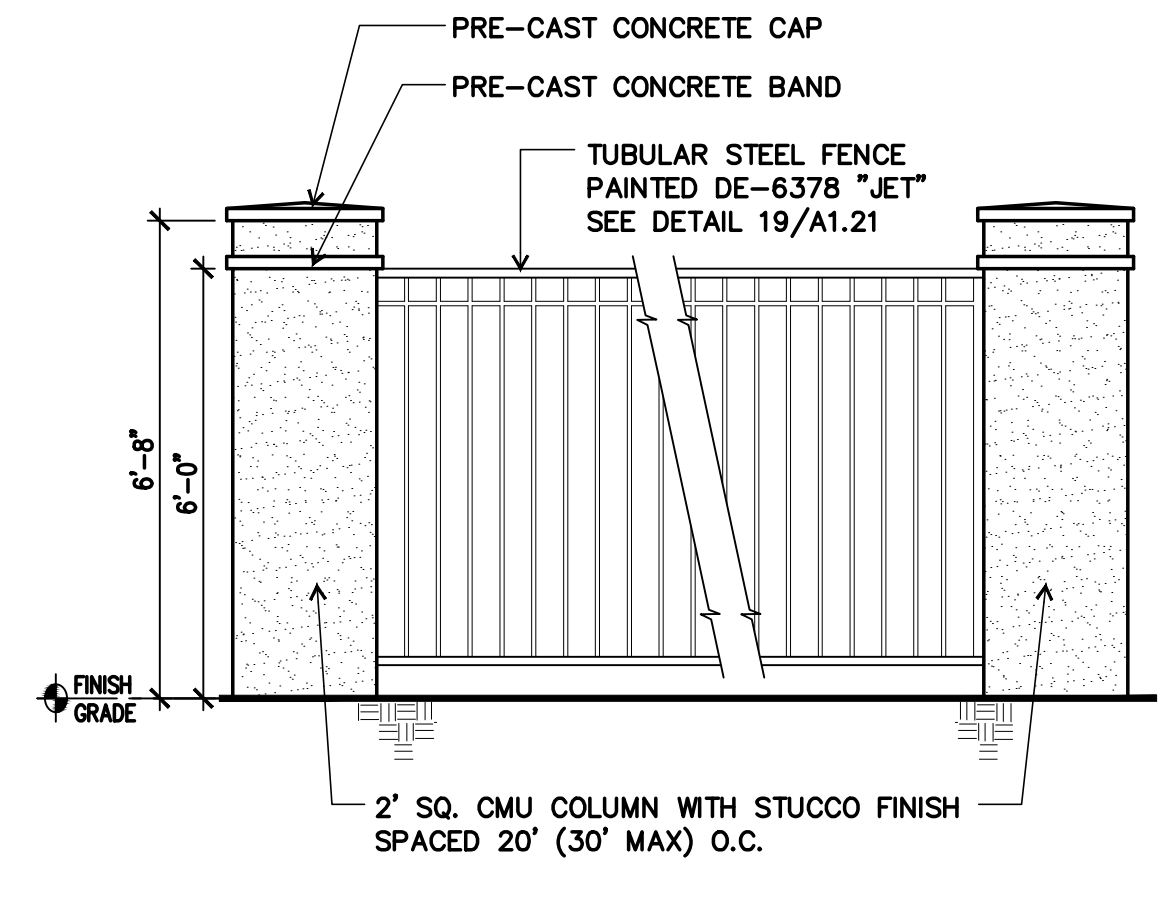
17 PILASTER AT CMU/TUBULAR COMBO FENCE



30 MONUMENT SIGN AT CORNER OF ALAMEDA AND SAN PEDRO - ELEVATION



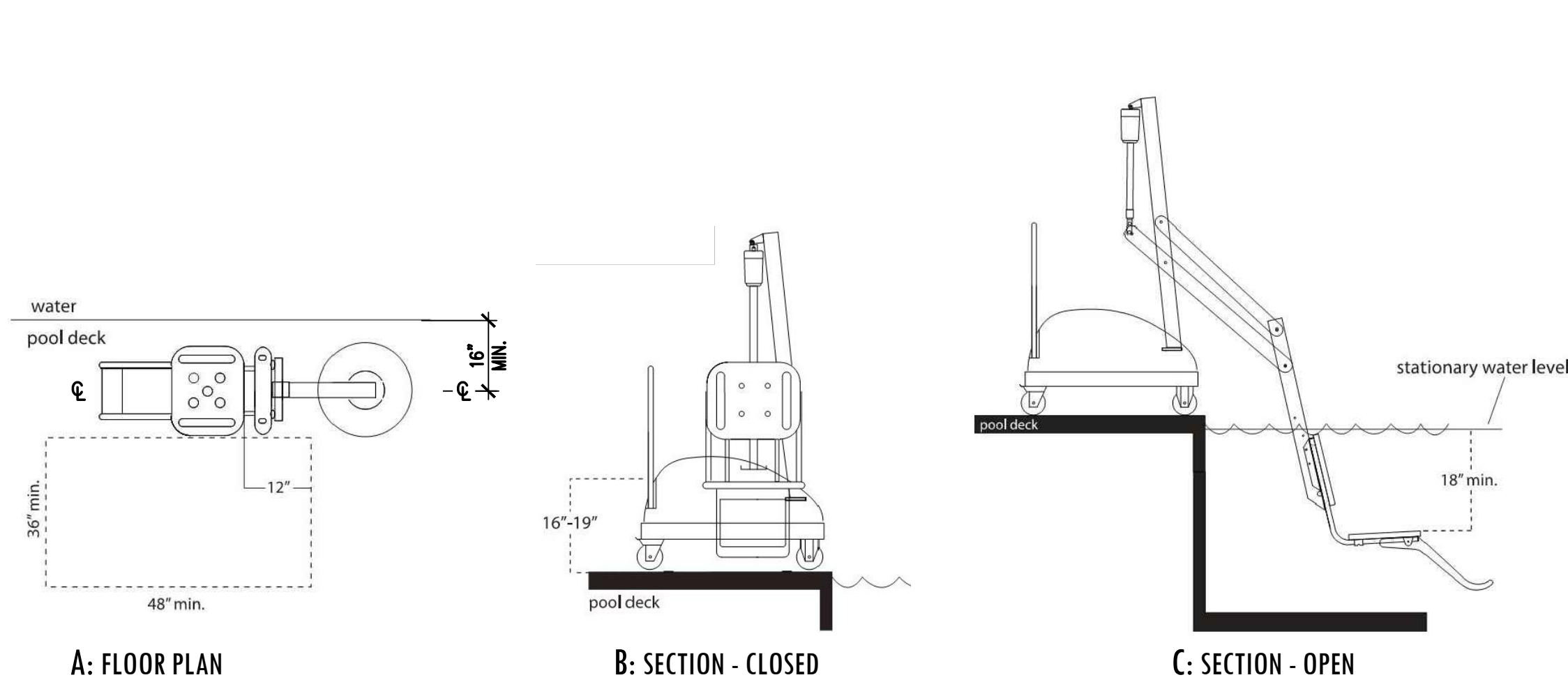
24 PEDESTRIAN ENTRY GATE AT POOL FENCE



18 PILASTER AT PERIMETER TUBULAR STEEL FENCE

- NOTES:
1. ALL WELDS TO BE GROUND SMOOTH.
 2. PAINT ALL IRON AND STEEL TUBING WITH ONE COAT RED OXIDE PRIMER AND TWO COATS OF EXTERIOR RATED LATEX ENAMEL. COLOR BY OWNER.
 3. INSTALL PANIC HARDWARE AS REQUIRE FOR EXITING. (COORDINATE WITH OWNER PRIOR TO CONSTRUCTION).
 4. POOL FENCING AND GATES SHALL MEET ALL LOCAL JURISDICTIONAL REQUIREMENTS.

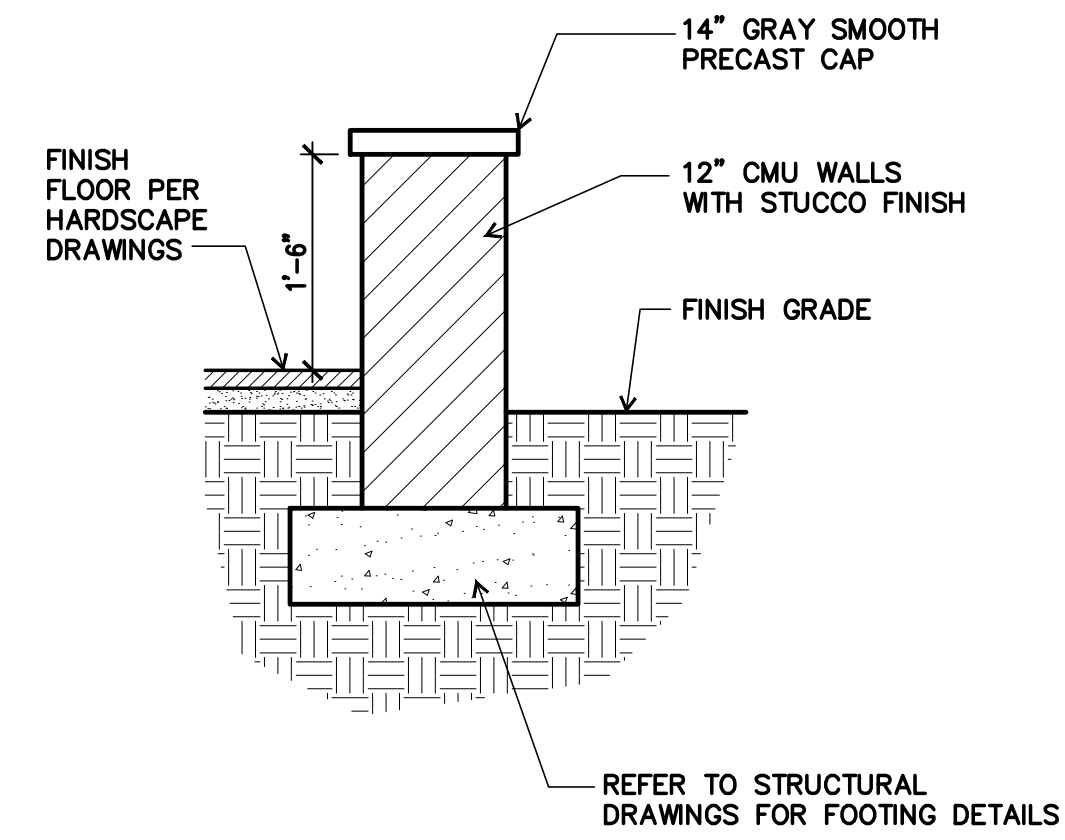
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A: FLOOR PLAN

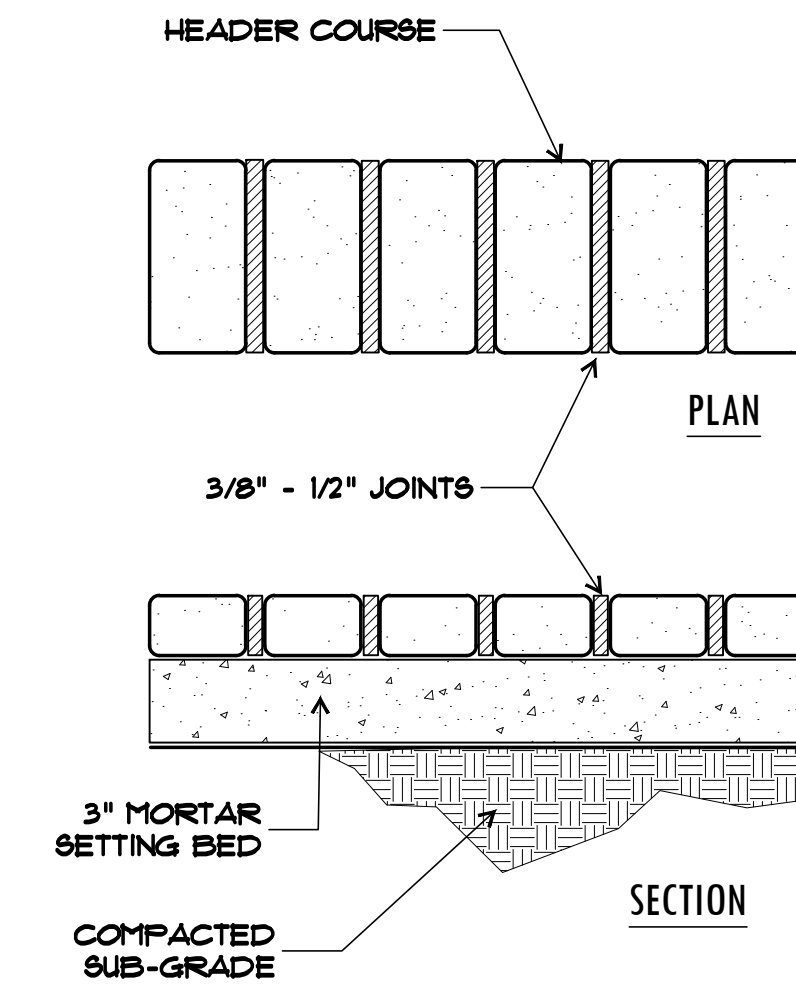
B: SECTION - CLOSED

C: SECTION - OPEN



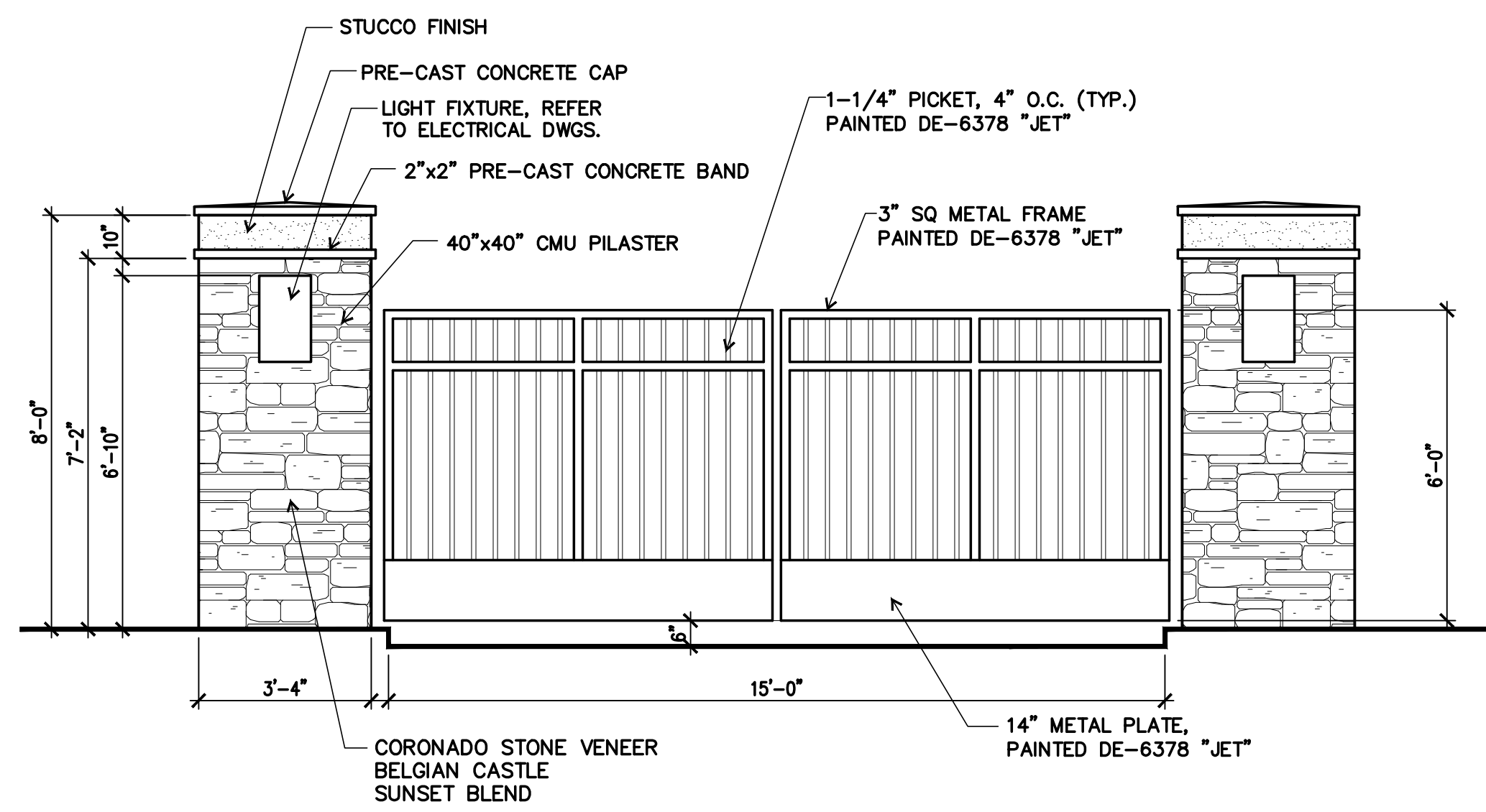
37 SEAT WALL

SCALE: 3/4" = 1'-0"

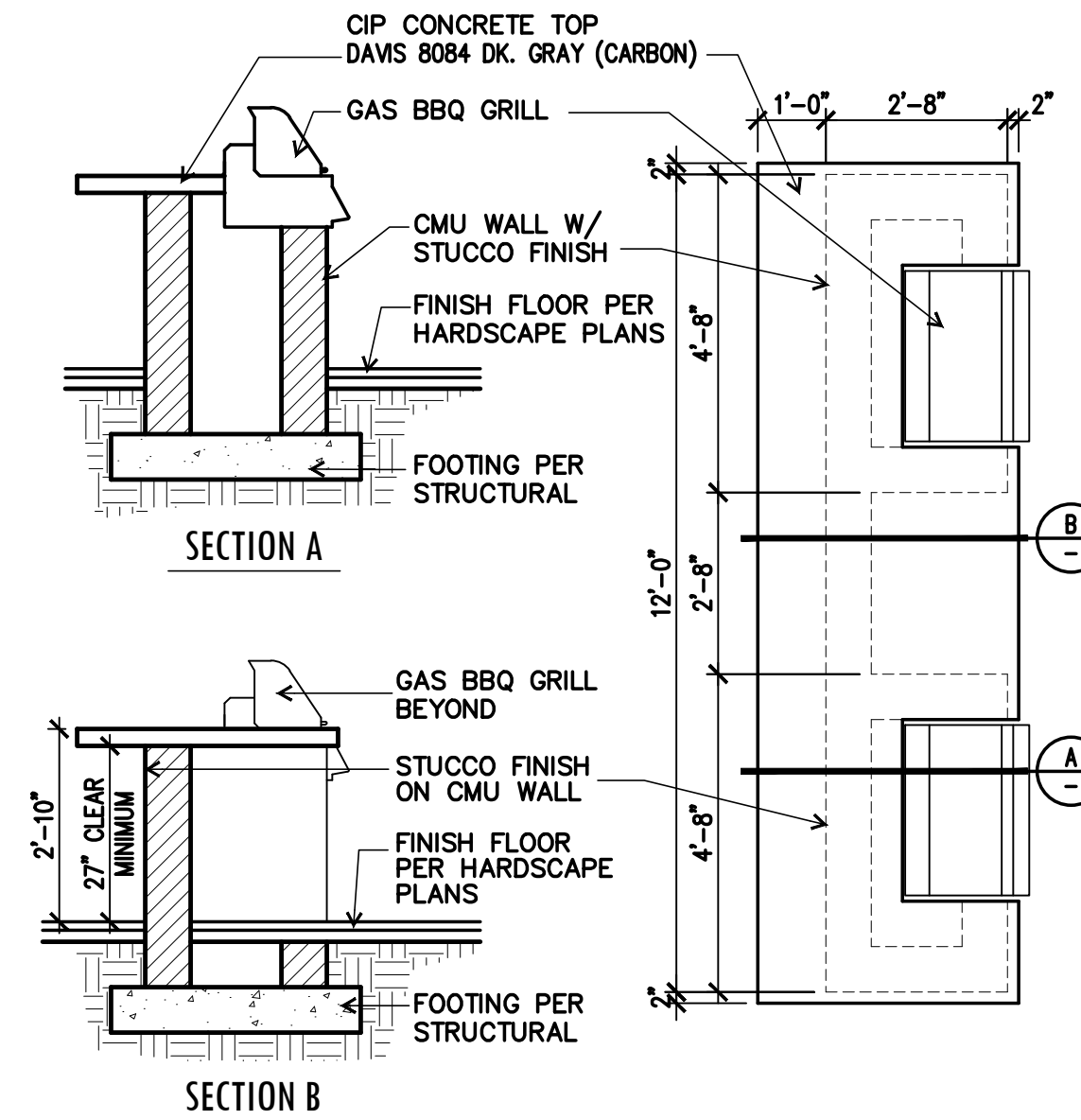


31 PAVER HEADER

NOT TO SCALE

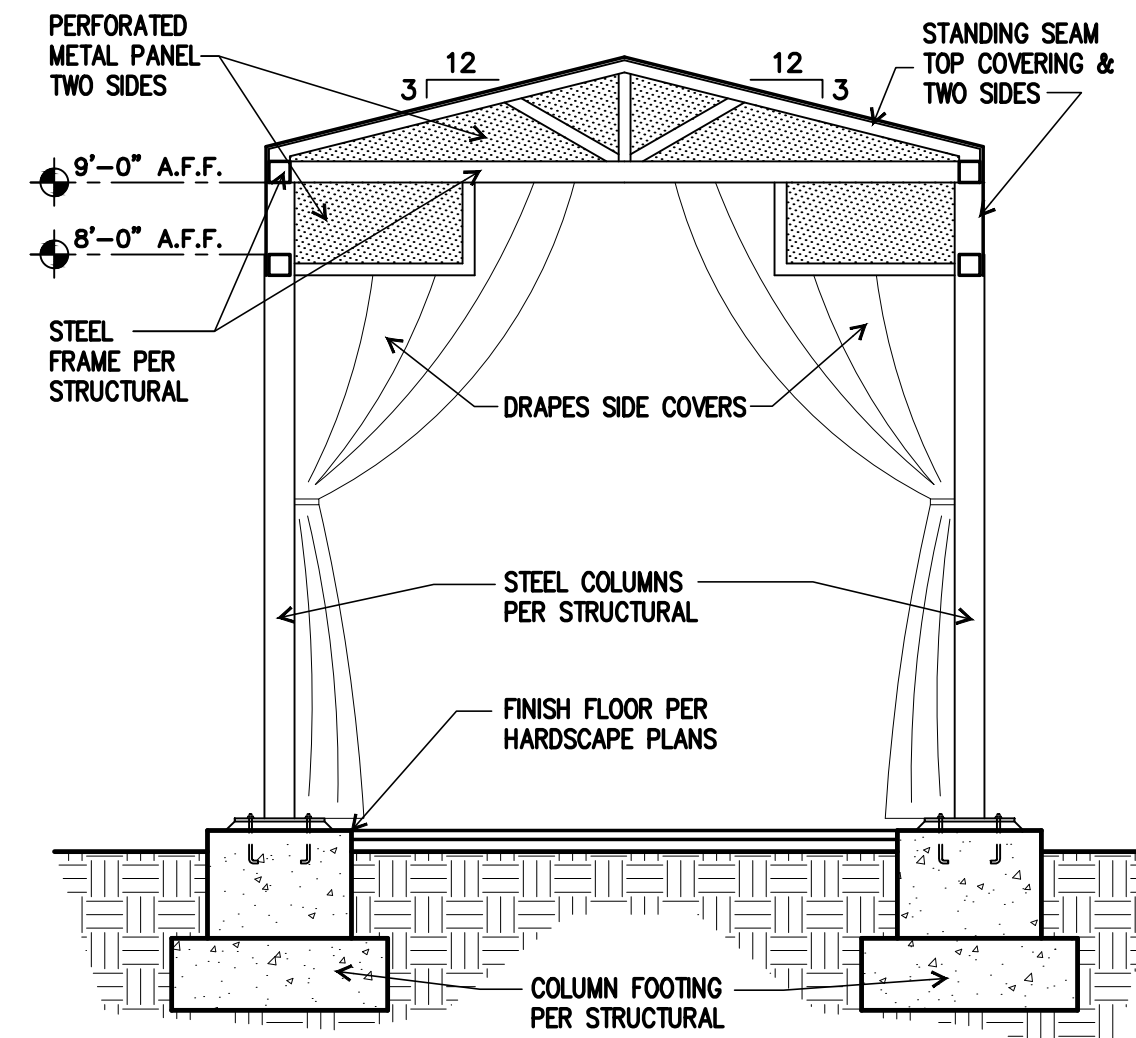


44 OAKLAND AVENUE VEHICULAR ENTRY GATE



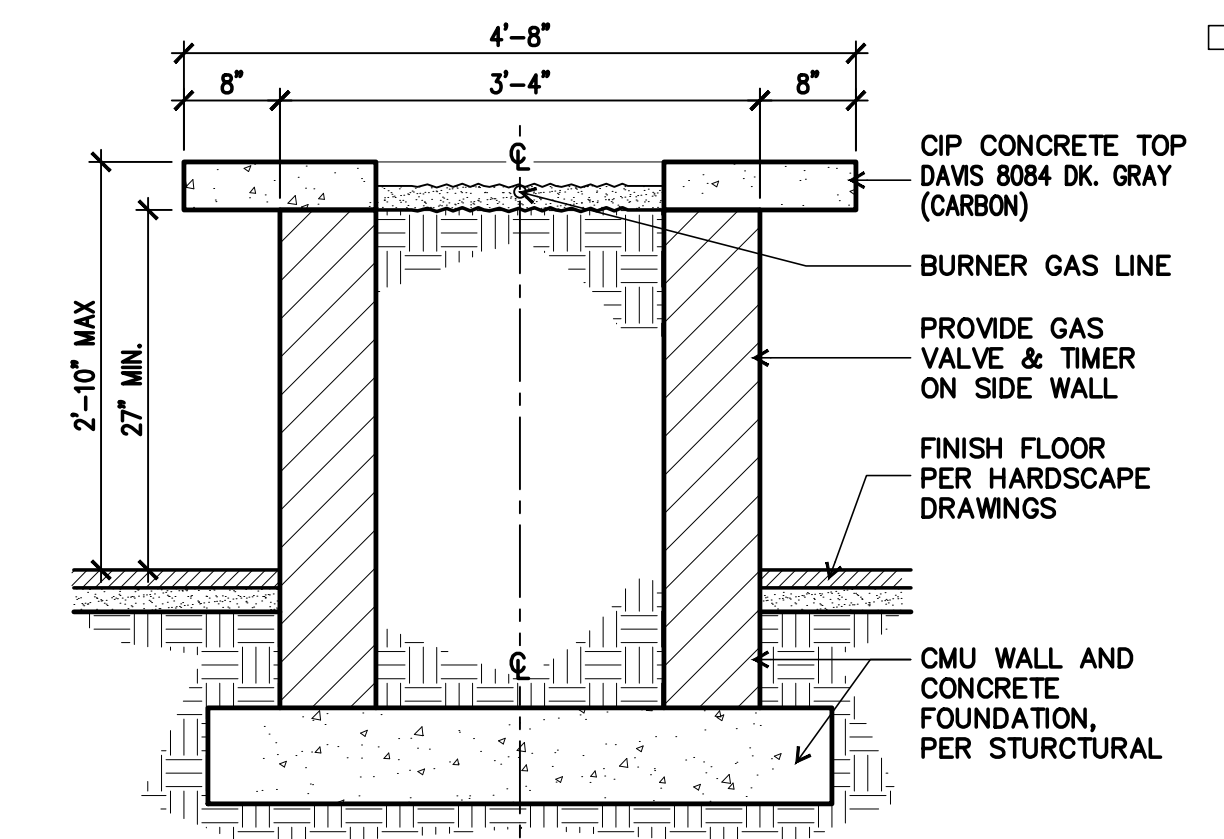
38 GAS GRILLS AT RAMADAS

SCALE: 3/8" = 1'-0"



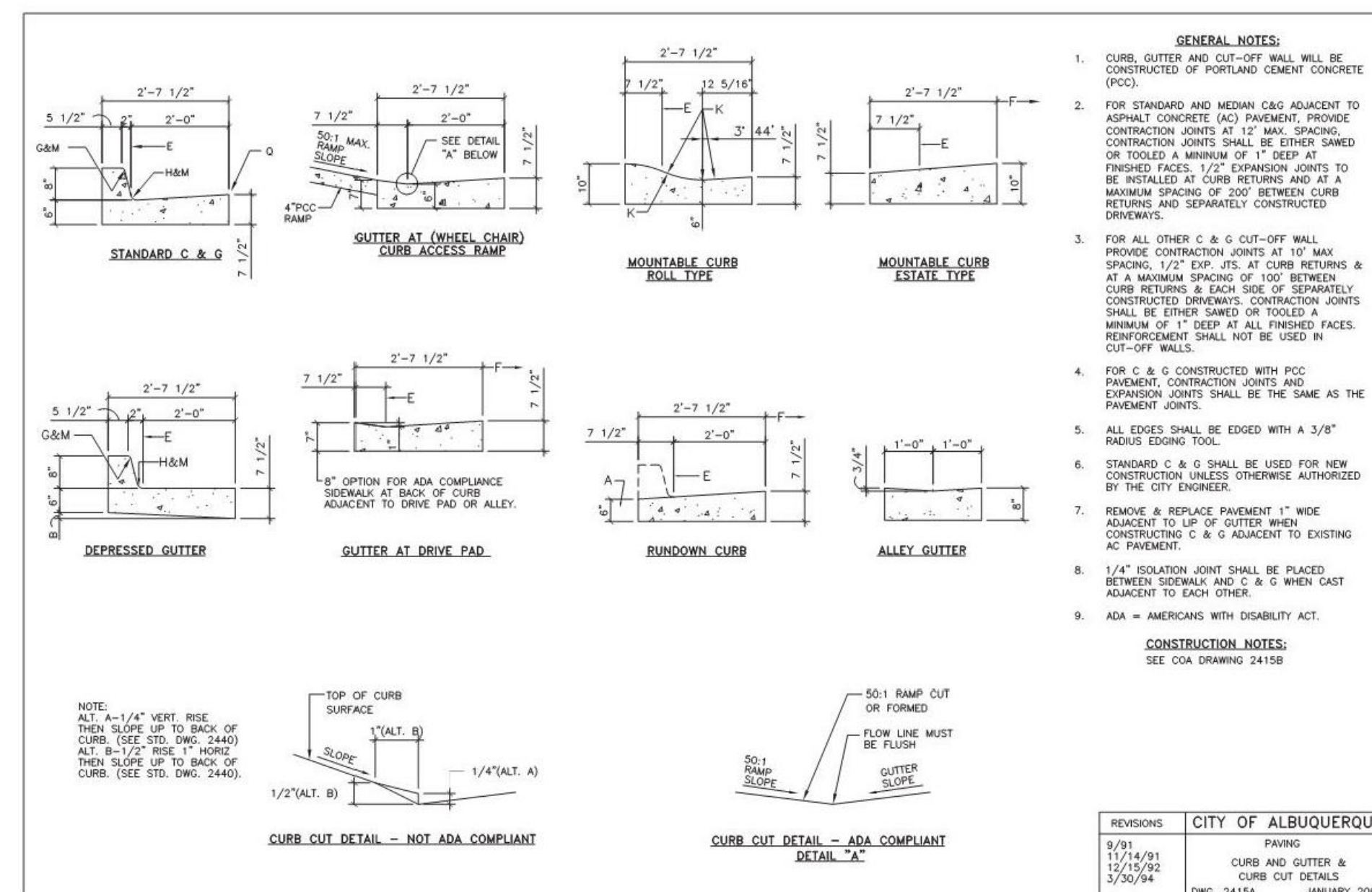
35 POOL CABANA

SCALE: 3/8" = 1'-0"



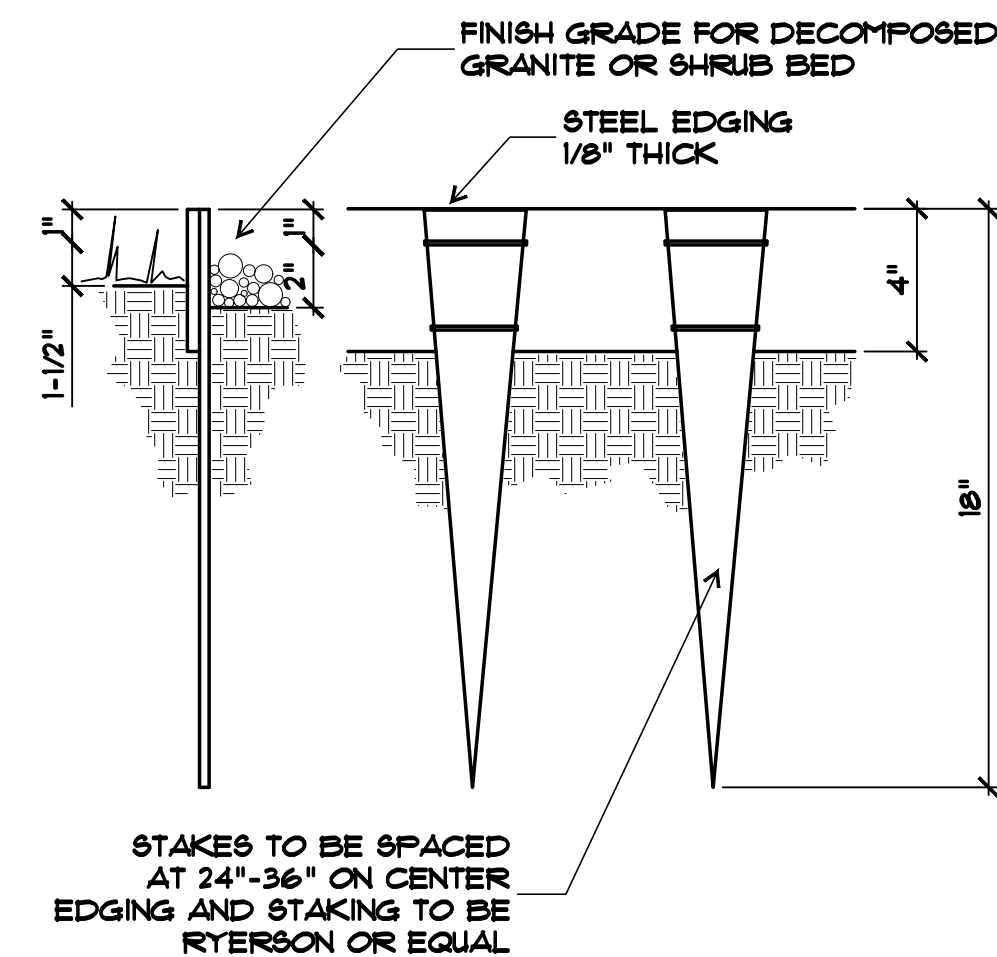
32 FIRE PIT NEXT TO RAMADA

SCALE: 3/4" = 1'-0"



42 CURB AND GUTTER & CURB CUT DETAILS

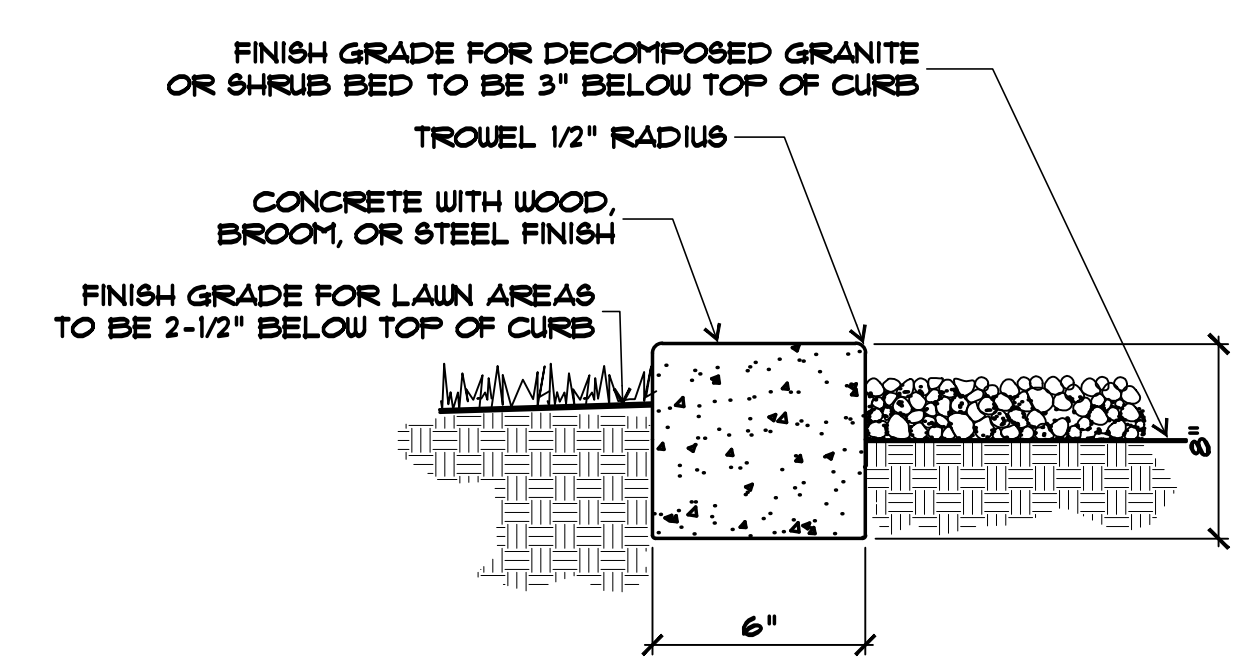
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NOTE:
1. FINISH GRADE TO BE 3" BELOW TOP OF WALK BEFORE INSTALLATION OF DECOMPOSED GRANITE (2-1/2" FOR SOG OR SEED)

36 STEEL HEADER

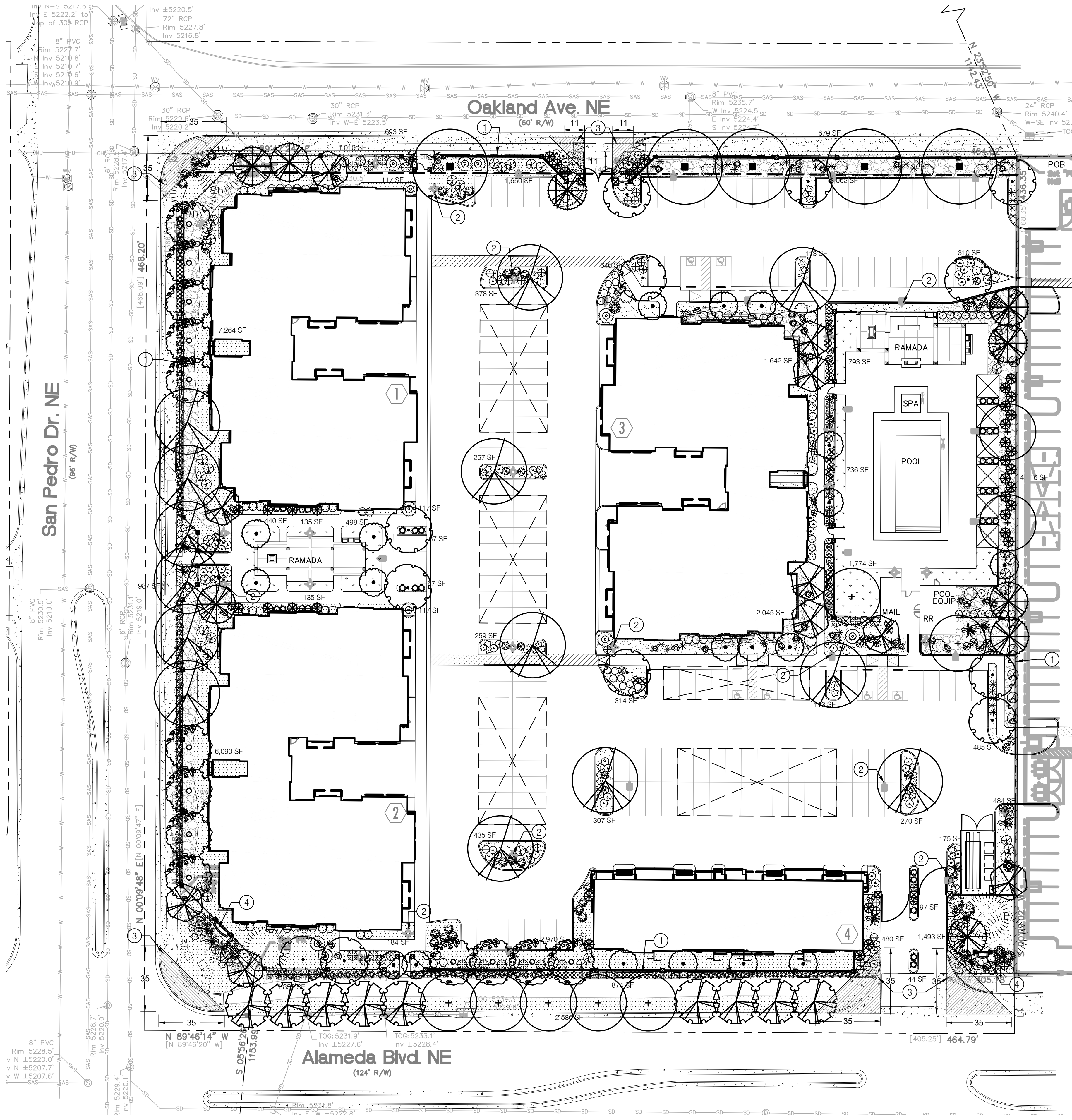
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NOTE:
1. LANDSCAPE ARCHITECT TO APPROVE FORM WORK PRIOR TO PLACING CONCRETE.
2. HEADER SHOULD BE FLUSH WITH ADJOINING WALK OR CURB.
3. CONCRETE TO BE CLASS A (3000 PSI).
4. EXPANSION JOINTS AT 20'-0" O.C.
5. STRAIGHT SECTIONS TO BE FORMED WITH MIN. OF 2"x6" LUMBER.
6. CURVED SECTIONS TO BE FORMED IN SMOOTH, EVEN CURVES AS SHOWN ON PLAN - FORM WITH 5/8"x6" PLYWOOD.
7. FORM STAKING SHALL NOT ALLOW DEFORMING OF LEAKING - ALL SPILL OR EXCESS CONCRETE SHALL BE CLEANED UP AND REMOVED FROM SITE BY CURB CONTRACTOR.
8. GRADING AT CURB SHALL BE BY CURB CONTRACTOR.

33 CONCRETE HEADER

NOT TO SCALE



GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH CRUSHER FINES, 3/4" GRAY ROCK MULCH, 1"-3" ROCK MULCH, OR SIMILAR MATERIAL. CONCRETE HEADERS SHALL BE PROVIDED TO SEPARATE TURF AREAS FROM PLANTING AREAS.

IRRIGATION
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUND COVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUND COVERS WILL BE GROUPED ON THE SAME VALVE. TURF VALVES WILL BE OPERATED TO PROVIDE 1/2" OF WATER PER CYCLE (PEAK SEASON).

RESPONSIBILITY OF MAINTENANCE
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
 THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA:	195,479 SF (4.48 AC)
BUILDING AREA (BUILDING ENVELOPE):	- 48,923 SF
NET AREA:	146,556 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 21,983 SF
 PROVIDED LANDSCAPE AREA 49,354 SF (33%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE OF THE REQUIRED LANDSCAPE AREA. A MINIMUM OF 30% COVERAGE OF THE TOTAL LANDSCAPED AREA SHALL BE ACHIEVED BY GROUND-LEVEL PLANTS.
 PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE 67,750 SF (137% OF LANDSCAPE AREA)

LANDSCAPE TURF
 ONLY 20% OF LANDSCAPED AREAS MAY BE HIGH WATER USE TURF. PROVIDED HIGH WATER TURF AREA 3,225 SF (6% OF LANDSCAPE AREA)

PARKING LOT TREES
 THE PROJECT IS PROVIDING 162 PARKING SPACES, EXCLUDING GARAGE PARKING. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES. PARKING LOT TREES REQUIRED: 16
 PARKING LOT TREES PROVIDED: 24

STREET TREES
 ALAMEDA BOULEVARD IS A REGIONAL PRINCIPAL ARTERIAL AND SAN PEDRO DRIVE IS A MAJOR COLLECTOR AND THEREFORE REQUIRE STREET TREES. OAKLAND AVENUE IS A LOCAL STREET AND DOES NOT REQUIRE STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.

ALAMEDA BOULEVARD FRONTAGE IS 405'.
 STREET TREES REQUIRED: 14
 STREET TREES PROVIDED: 14

SAN PEDRO DRIVE FRONTAGE IS 418'.
 STREET TREES REQUIRED: 14
 STREET TREES PROVIDED: 17

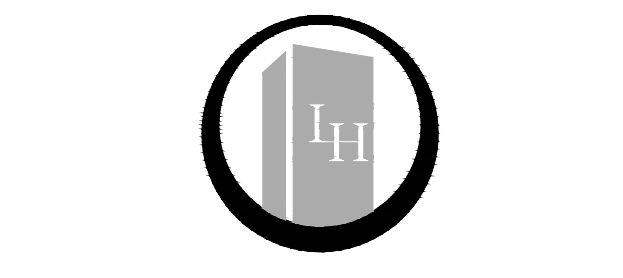
SITE TREES
 TREE REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS ARE AT A RATE OF ONE TREE PER GROUND FLOOR UNIT AND ONE TREE FOR EVERY TWO SECOND FLOOR UNITS. NO ADDITIONAL TREES ARE REQUIRED FOR UNITS ABOVE SECOND STORY. 27 FIRST FLOOR UNITS AND 36 SECOND STORY UNITS ARE PROVIDED.
 SITE TREES REQUIRED: 45
 SITE TREES PROVIDED: 146

- KEY NOTES**
1. PROPERTY LINE, TYP.
 2. SITE LIGHTING, TYP.
 3. CLEAR SIGHT TRIANGLE
 4. RAISED ANNUAL BEDS

PLANT LEGEND

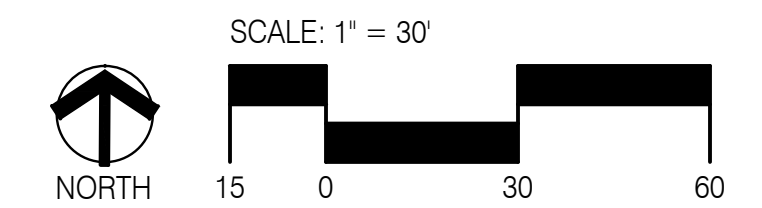
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
9		ACER TATARICUM 'GAR ANN' HOT WINGS MAPLE	2' B&B	10' HT. X 5' SPR. 20' HT. X 24' SPR.	MED+
13		CERCIS RENIFORMIS 'OKLAHOMA' OKLAHOMA REDBUD	2' B&B	8' HT. X 4' SPR. 20' HT. X 25' SPR.	MED
10		CHILOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW	8' MS	8' HT. X 4' SPR. 20' HT. X 20' SPR.	LOW+
9		FRAXINUS PENNSYLVANICA 'URBANITE' URBANITE ASH	2.5' B&B	12' HT. X 6' SPR. 40' HT. X 30' SPR.	MED+
14		GLEDITSIA TRIACANTHUS 'SKYCOLE' SKYLINE HONEYLOCUST	2.5' B&B	12' HT. X 6' SPR. 45' HT. X 35' SPR.	MED+
36		JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER	15 GAL	12' HT. X 5' SPR.	LOW+
5		PINUS NIGRA AUSTRIAN PINE	B&B	8' MIN. HT. 35' HT. X 25' SPR.	MED
5		PISTACHIA X RED PUSH' RED PISTACHE	2.5' B&B	10' HT. X 6' SPR. 40' HT. X 40' SPR.	MED
12		ULMUS PROPINQUA 'JFS-BIEBERICH' EMERALD SUNSHINE ELM	2.5' B&B	12' HT. X 6' SPR. 35' HT. X 25' SPR.	MED+
17		PYRUS CALLERYANA 'GLENS FORM' CHANTICLEER PEAR	2.5' B&B	12' HT. X 4' SPR. 40' HT. X 15' SPR.	MED+
9		VITEX AGNUS-CASTUS CHASTETREE (MULTI STEM)	15-GAL	8' HT. X 4' SPR. 20' HT. X 20' SPR.	MED
SHRUBS AND GROUNDCOVERS					
75		ACHILLEA MOONSHINE MOONSHINE YARROW	1-GAL	2' HT. X 2' SPR.	MED
10		BUDDLEIA DAVIDI 'NAN-HOENSIS' DWARF BLUE BUTTERFLY BUSH	5-GAL	4' HT. X 4' SPR.	MED
24		BUXUS JAPONICA 'WINTER GEM' WINTER GEM BOXWOOD	5-GAL	4' HT. X 4' SPR.	MED
18		CARYOPTERIS CLAN 'DARK KNIGHT' DARK KNIGHT SPIREA	5-GAL	4' HT. X 4' SPR.	LOW
26		COTONEASTER APICULATUS CRANBERRY COTONEASTER	5-GAL	2' HT. X 5' SPR.	MED
18		CYTISUS SCOPARIUS 'ALL GOLD' ALL GOLD SCOTCH BROOM	5-GAL	4' HT. X 4' SPR.	LOW
46		FALLUGIA PARADOXA APACHE PLUME	5-GAL	5' HT. X 5' SPR.	LOW
8		HEMEROCALLIS HYBRID 'STELLA D'ORO' STELLA D'ORO DAY LILY	1-GAL	1' HT. X 18" SPR.	LOW
20		JUNIPERUS HORIZ. 'BLUE CHIP' BLUE CHIP JUNIPER	5-GAL	1' HT. X 7' SPR.	MED
15		JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER	5-GAL	1' HT. X 8' SPR.	MED
8		LAGERSTROEMIA INDICA 'DYNAMITE' DYNAMITE CRAPE MYRTLE	15-GAL	12' HT. X 6' SPR.	MED
47		NANDINA DOMESTICA 'GULFSTREAM' HEAVENLY BAMBOO	5-GAL	4' HT. X 4' SPR.	MED+
14		PINUS MUGO 'PUMILIO' DWARF MUGO PINE	5-GAL	4' HT. X 6' SPR.	MED
16		POTENTILLA FRUTICOSA 'JACKMANII' JACKMAN'S SHRUBBY CINQUEFOIL	5-GAL	3' HT. X 3' SPR.	MED
24		PRUNUS CISTENA PURPLELEAF SAND CHERRY	5-GAL	6' HT. X 5' SPR.	MED
21		RHAPHIOLEPIS INDICA INDIA HAWTHORN	5-GAL	4' HT. X 4' SPR.	LOW
39		RHUS AROMATICA 'GRO-LOW' PROSTRATE SUMAC	5-GAL	2' HT. X 4' SPR.	LOW+
20		ROSA 'KNOCK OUT' KNOCK OUT ROSE	5-GAL	3' HT. X 3' SPR.	MED
27		SALVIA DORRIS PURPLE SAGE	5-GAL	3' HT. X 3' SPR.	MED
32		SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED CHERRY SAGE	3-GAL	30" HT. X 3' SPR.	MED
VINES					
8		LONICERA JAPONICA 'HALLIANA' HALL'S HONEY-SUCKLE	5-GAL	6' SPR.	MED+
DESERT ACCENTS					
18		DASYLIRON WHEELERI DESERT SPOON	5-GAL	4' HT. X 4' SPR.	LOW
42		HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA	3-GAL	3' HT. X 3' SPR.	LOW
ORNAMENTAL GRASSES					
34		CALAMOGROSTIS A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	5-GAL	30" HT. X 3' SPR.	MED
89		MUHLENBERGIA C. 'REGAL MIST' MUHLY GRASS	5-GAL	3' HT. X 4' SPR.	MED
87		PANICUM VIRGATUM 'SHENANDOAH' SHENANDOAH SWITCH GRASS	1-GAL	4' HT. X 4' SPR.	LOW
TURF GRASS					
2,015 SF		REVIELLE BLUEGRASS SOD			
MULCHES AND BOULDERS					
23		MOSS ROCK BOULDERS (3x3' MIN)			
16,200 SF		AMARETTO BROWN CRUSHER FINES (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
21,460 SF		3/4" GRAY CRUSHED GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
13,510 SF		2"-4" SAN LAZARUS GOLD COBBLE (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
HARDSCAPE					
		6" CONCRETE EDGER AT TURF			

**LEGACY NAA
 APARTMENTS - II**
 SAN PEDRO AND ALAMEDA
 Albuquerque, New Mexico



REVISIONS

DATE: FEBRUARY 2, 2018 ORB # 17-219



LANDSCAPE PLAN

Hydrology

Hydrology Calculations

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

Runoff Rate:

Treatment Type Areas	Subbasin	Area (ac)	Area (ac)	Area (ac)	Area (ac)	Total (ac)
Subbasin North	0	0.0678	0.0678	0.9944	1.1300	
Subbasin South	0	0.0510	0.0510	1.5980	1.7000	
Subbasin West	0	0.2795	0.0850	0.5355	0.8500	
Subbasin East	0	0.3000	0.2100	0.1800	0.6900	
Subbasin North East	0	0.0240	0.0240	0.0720	0.1200	

Water Quality

Subbasin	Required Volume (Cu. Ft.)	Drains to	Volume Provided (Cu. Ft.)
Subbasin North	1,227	North Pond	1,230
Subbasin South	1,972	South Pond	1,970
Subbasin West	661	West Pond	665
Subbasin East	222	Ponds 1-4 (Pool Area)	4,545 Retained
Subbasin North East	89	North East Pond	1,290 Retained
Total	4,171	WQ Ponding TOTAL	11,175

Volume

Calculations for 100yr-10day Volume for subbasins East and Northeast

From table A-8 in the COA DPM, the values of excess precipitations for each treatment type in zone 3 are:

$E_{w1} = 0.66"$
$E_{w2} = 0.92"$
$E_{w3} = 1.29"$
$E_{w4} = 2.36"$

The weighted excess precipitation for each treatment type is calculated as following:

$$\text{Weighted } E = \frac{E_{w1}A_{w1} + E_{w2}A_{w2} + E_{w3}A_{w3} + E_{w4}A_{w4}}{A_{w1} + A_{w2} + A_{w3} + A_{w4}}$$

The weighted E was multiplied by each subbasin area to get 360 min (6 hr) volume. Then, the following equation (a-9) was used to get the 10-day volume:

$$V_{10\text{days}} = V_{6\text{hr}} + A_{w1} * (P_{10\text{days}} - P_{6\text{hr}}) / 12 \text{ in ft}$$

P values were taken from table A-2, for Zone 3:

$P_{6\text{hr}} = 4.90$
$P_{10\text{days}} = 2.60$

The calculated V10-day for subbasins North East and East:

Subbasin	V360 (Cu. Ft.)	V10days (Cu. Ft.)
Subbasin East	3226.71	4729.5
Subbasin North East	809.34	1410.5

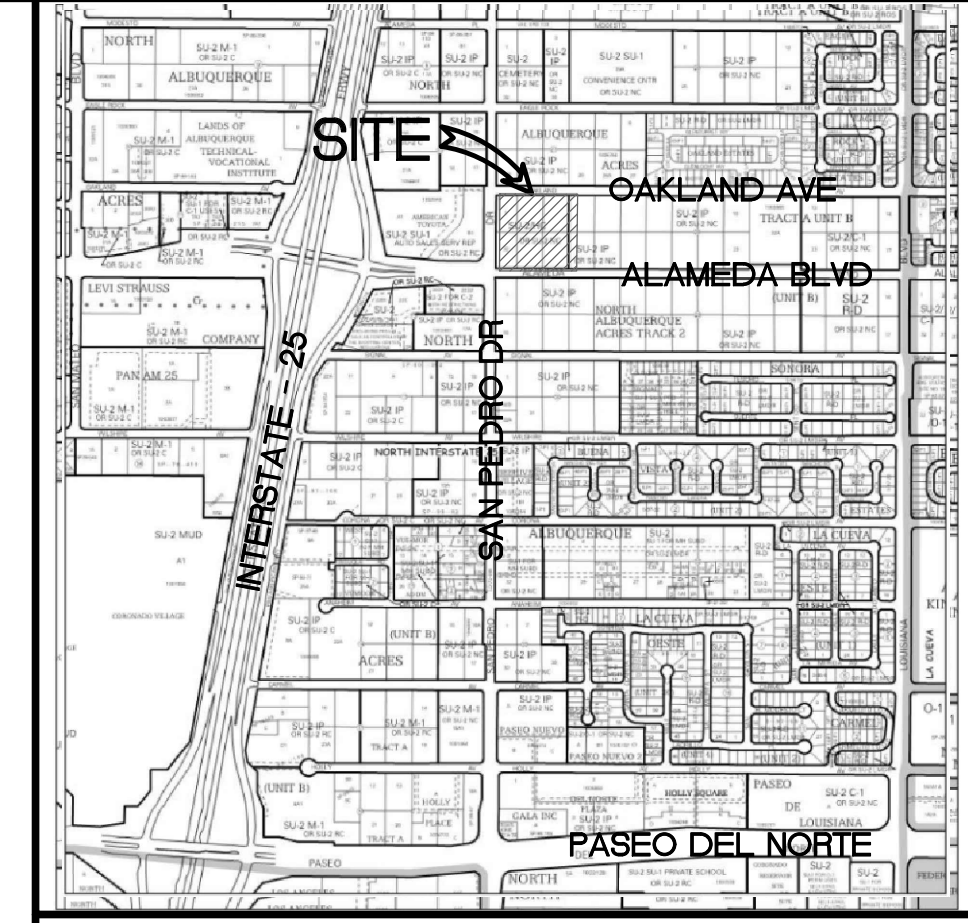
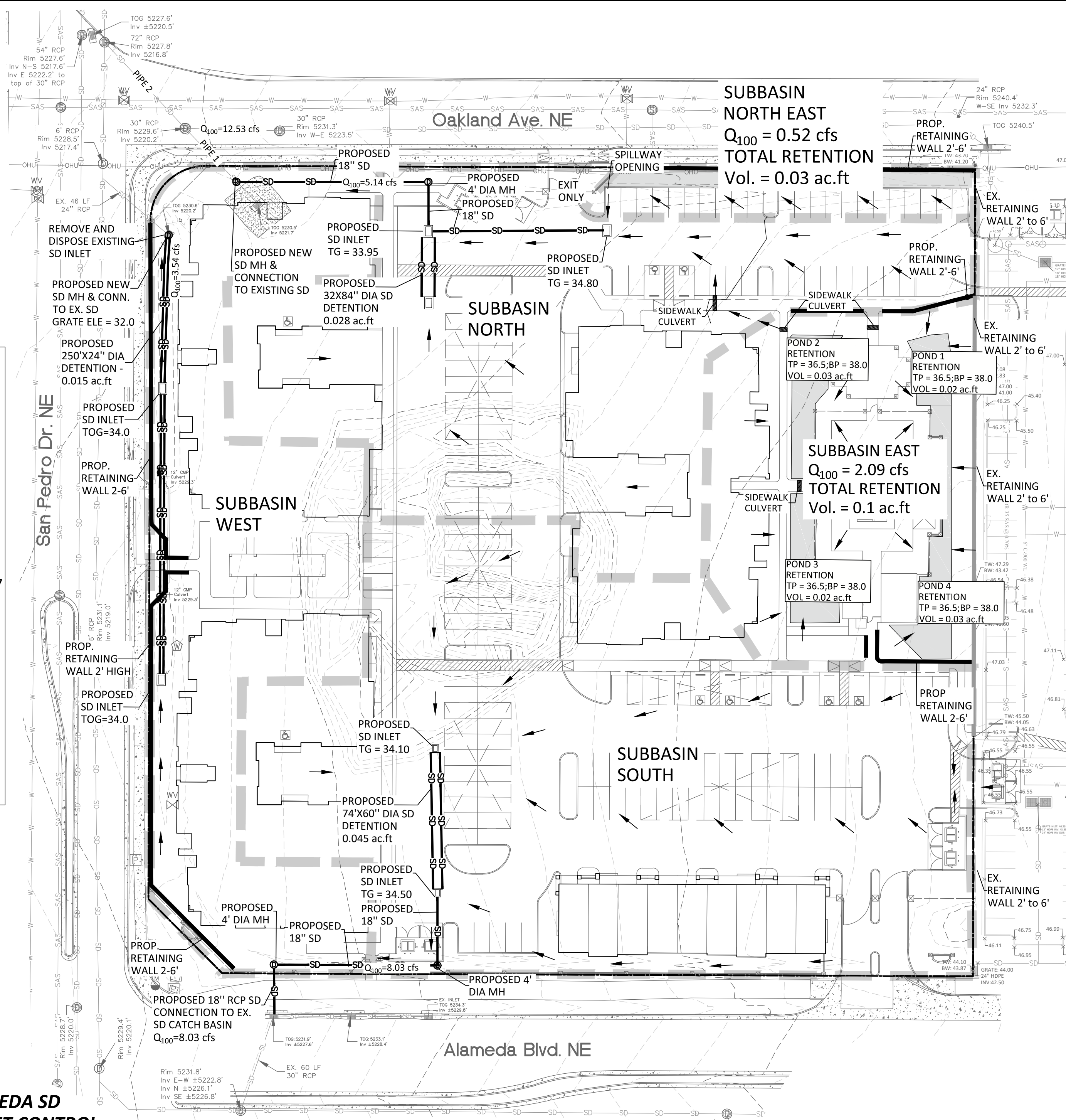
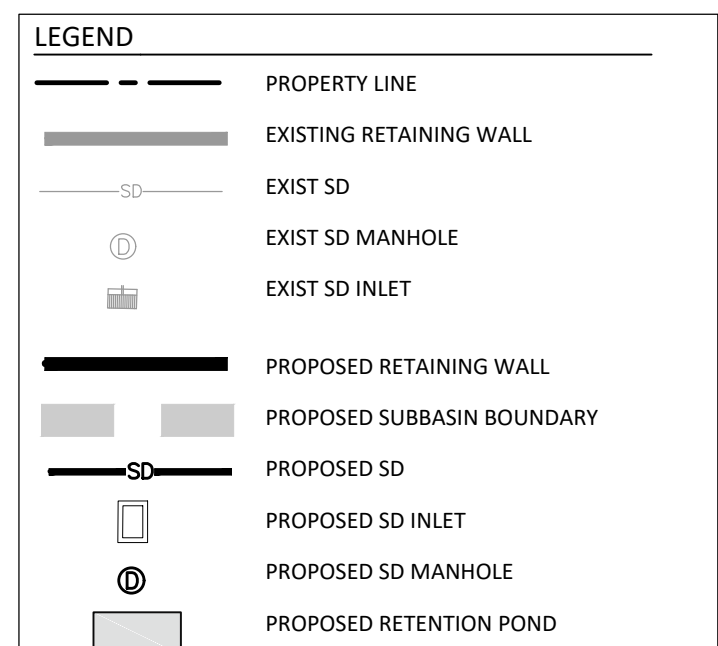
A-HYMO - Input

* PROJECT NAME: LEGACY NAA APARTMENTS PHASE 2
* JOB NO. - 03231
* DATE: Jan. 19 2018
* INPUT FILE NAME: NAANF.hym
* OUTPUT FILE NAME: NAANF.out
* MODIFIED BY: NRIIT F. ON JAN. 19 2018
* BASIN 117.2-NORTH WAS REPLACED WITH SUBBASINS NORTH & WEST
* BASIN 117.3-SOUTH WAS REPLACED WITH SUBBASIN SOUTH

```
***** SUBBASIN EAST *****  
ID=6 HYD NO=BasinEast DA=0.00094 SQ MI  
PER A=0 PER B=50 PER C=20 PER D=30  
TP=0.1333 HR MASS RAIN=1  
ID=6 CODE=20  
PRINT HYD  
***** SUBBASIN NORTH *****  
ID=1 HYD NO=SPSD.BASIN.117.2 DA=0.00348 SQ MI  
PER A=0 PER B=30 PER C=16 PER D=50  
TP=0.1333 HR MASS RAIN=1  
ID=1 CODE=20  
PRINT HYD  
***** SUBBASIN SOUTH *****  
ID=3 HYD NO=BasinSouth DA=0.0017 SQ MI  
PER A=0 PER B=30 PER C=3 PER D=88  
TP=0.1333 HR MASS RAIN=1  
ID=3 CODE=20  
PRINT HYD  
***** SUBBASIN WEST *****  
ID=5 HYD NO=BasinWest DA=0.00133 SQ MI  
PER A=0 PER B=27 PER C=10 PER D=63  
TP=0.1333 HR MASS RAIN=1  
ID=5 CODE=20  
PRINT HYD  
***** SUBBASIN NORTH EAST *****  
ID=7 HYD NO=BasinNorthEast DA=0.00019 SQ MI  
PER A=0 PER B=20 PER C=20 PER D=60  
TP=0.1333 HR MASS RAIN=1  
ID=7 CODE=20  
PRINT HYD  
***** SUBBASIN SOUTH *****  
ID=8 HYD NO=BasinSouth DA=0.0026 SQ MI  
PER A=0 PER B=30 PER C=6 PER D=88  
TP=0.1333 HR MASS RAIN=1  
ID=8 CODE=20  
PRINT HYD  
***** SUBBASIN WEST *****  
ID=10 HYD NO=BasinWest DA=0.00133 SQ MI  
PER A=0 PER B=27 PER C=10 PER D=63  
TP=0.1333 HR MASS RAIN=1  
ID=10 CODE=20  
PRINT HYD  
***** SUBBASIN NORTH *****  
ID=11 HYD NO=BasinNorth DA=0.00348 SQ MI  
PER A=0 PER B=30 PER C=16 PER D=50  
TP=0.1333 HR MASS RAIN=1  
ID=11 CODE=20  
PRINT HYD
```

A-HYMO - Output

COMMAND	HYDROGRAPH IDENTIFICATION	FROM NO.	TO NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF PEAK (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACR	PAGE	NOTATION
*	PROJECT NAME: LEGACY APARTMENTS PHASE 2										
*	JOB NO. - 03231										
*	DATE: Jan. 19 2018										
*	INPUT FILE NAME: NAANF.hym										
*	OUTPUT FILE NAME: NAANF.out										
*	RAINFALL TYPE= 2										
*	***** COMPUTE SAN PEDRO STORM DRAIN PROJECT (THOMPSON REPORT) *****										
*	***** BASIN 117.2-NORTH *****										
*	COMPUTE NM HYD SPSPD.BASIN.117.2	1	1	.00348	8.67	.360	1.94076	1.500	3.894 PER IMP=	50.00	
*	***** SUBBASIN NORTH *****										
*	COMPUTE NM HYD BasinNorth	3	3	.00170	5.13	.240	2.64497	1.500	4.717 PER IMP=	88.00	
*	***** SUBBASIN SOUTH *****										
*	COMPUTE NM HYD BasinSouth	4	4	.00260	8.03	.381	2.75109	1.500	4.828 PER IMP=	94.00	
*	***** SUBBASIN WEST *****										
*	COMPUTE NM HYD BasinWest	5	5	.00133	3.54	.154	2.17270	1.500	4.164 PER IMP=	63.00	
*	***** SUBBASIN NORTH EAST *****										
*	COMPUTE NM HYD BasinNorthEast	6	6	.00094	2.09	.079	1.56591	1.500	3.477 PER IMP=	30.00	
*	***** SUBBASIN SOUTH *****										
*	COMPUTE NM HYD BasinSouth	7	7	.00260	5.13	.122	2.14977	1.500	4.316 PER IMP=	60.00	
*	***** SUBBASIN WEST *****										
*	COMPUTE NM HYD BasinWest	8	8	.00133	3.54	.016	1.31302	7.950	.011 AC-FT=	-.069	
*	***** SUBBASIN NORTH *****										
*	COMPUTE NM HYD BasinNorth	9	9	.00348	8.67	.013	1.30599	2.650	.061 AC-FT=	-.017	
*	***** SUBBASIN SOUTH *****										
*	COMPUTE NM HYD BasinSouth	10	10	.00260	5.13	.269	1.78040	1.500	2.836		Subbasin North + West = 8.68 cfs, Allowable = 8.64 cfs (DPM)



Background

Phase 2 of the Legacy NAA Apartments account for 4.44 acres within the City of Albuquerque, Bernalillo County, New Mexico. This property is located east of San Pedro Drive between Alameda Boulevard and Oakland Avenue. There is a shaded Zone X floodplain that affects a small part of the northern portion of the site.

The site does not currently receive any offsite flows but has previously received flows from the adjacent properties to the east. The adjacent site is currently under construction and no longer discharges onto the project area (C18D064B). This area is included in the North Albuquerque Acres Master Drainage Plan (NAAMPD). The northern half of the property is allowed to discharge to the San Pedro storm drain and the southern half is allowed to discharge to the Alameda storm drain per the modified Design Analysis Report "Alameda Blvd. - San Pedro to Wyoming" (DARASPW) by Thompson Engineering Consultants (#7663.91, January 2012)

Methodology

Hydrology Calculations for the site are performed in accordance with the Albuquerque Development Process Manual (DPM) Section 22 using AHYMO to calculate peak flow rates in order to ensure all flow paths are sufficient to carry flows effectively throughout the site. The water quality pond volume was calculated by multiplying the first flush runoff value of 0.34" by the impervious area of each sub basin. All hydrologic and hydraulic calculations can be found on this sheet.

Existing Conditions

The existing property slopes from east to west at approximately 3%. The site is currently developed and was previously used as a parking space for the Toyota dealership across San Pedro Drive (C18D083). The site runoff is currently free discharging to the northwest into an existing storm drain in San Pedro.

Proposed Conditions

The DARASPW uses a developed impervious area of 50%, which is consistent with the assumption in the NAAMPD. One subbasin was created to model the allowable flow rate for the northern half of the property. Subbasin 117.20-NORTH is 2.23 acres and generates 8.67 cfs. The 8.67 cfs represents the allowable flow rate to the San Pedro storm drain - See A-HYMO calcs. The DARASPW revises the NAAMPD allowable discharge for the southern half of the property to 3.82 cfs per acre. The southern portion of the site is 2.21 acres. therefore, the allowable flow rate to the Alameda storm drain is 8.44 cfs.

Five proposed subbasins were created to model the developed flow rate for the proposed site. Subbasin North is 1.13 acres and generates 5.13 cfs. Subbasin North discharges to the San Pedro storm drain. Subbasin West is 0.85 acres and generates 3.54 cfs. Subbasin West discharges to the San Pedro storm drain. Therefore, there is a total developed flow rate to the San Pedro storm drain of 8.67 cfs, which is in compliance with the allowable flow rate, 8.67 cfs. Subbasin South is 1.7 acres and generates 8.03 cfs. Subbasin South discharges to the Alameda storm drain. The developed flow rate is below the allowable, 8.44 cfs.

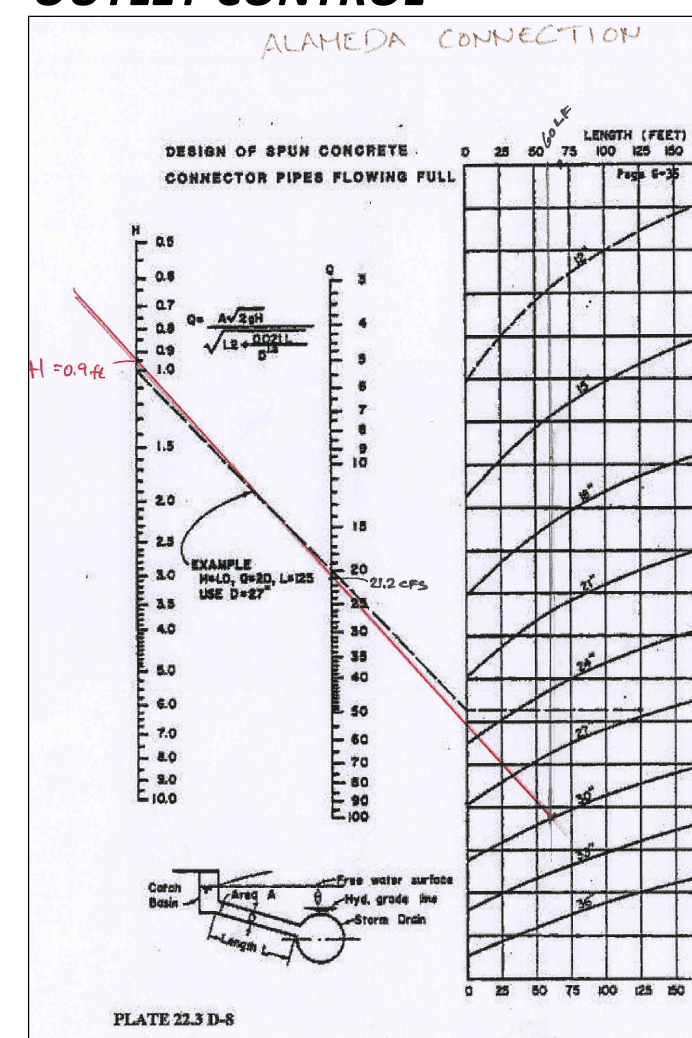
Subbasin East generates 2.09 cfs. The total 100-yr 10-day volume is 0.1 acre feet (4,729 cubic feet) and will be retained at ponds 1-4 with total capacity of 0.1 acre feet (4,945 cubic feet), the ponds will be connected by sidewalk culverts to allow interaction. An emergency spillway is proposed on the north west side of the basin to allow discharge to the parking lot storm drain. Subbasin North East generates 0.52 cfs. The total 100-yr 10-day volume is 1,410 cubic feet. The pond's volume capacity is 0.03 acre feet (1290 cubic feet) and the excess volume will be discharged through an emergency spillway on the south west corner of the basin and into the parking lot storm drain. The total discharge of subbasins North, East and North East, 8.68 cfs, has a negligible effect on the overall peak discharge to San Pedro storm drain, as the allowable is 8.67 cfs - See A-HYMO calcs for pond routing. Overall, the northern basin discharge has no effect on the allowable peak discharge, since the south subbasin discharge is less than the allowable and the total developed discharge flows to the same drainage system at San Pedro storm drain.

Alameda SD HGL shows elevation of 5230 ft (COA 7663.91). According to outlet control analysis, the developed site addition will be 0.9 ft to HGL (See graph). Total HGL=5230.95, lower than grate elevation, 5231.90.

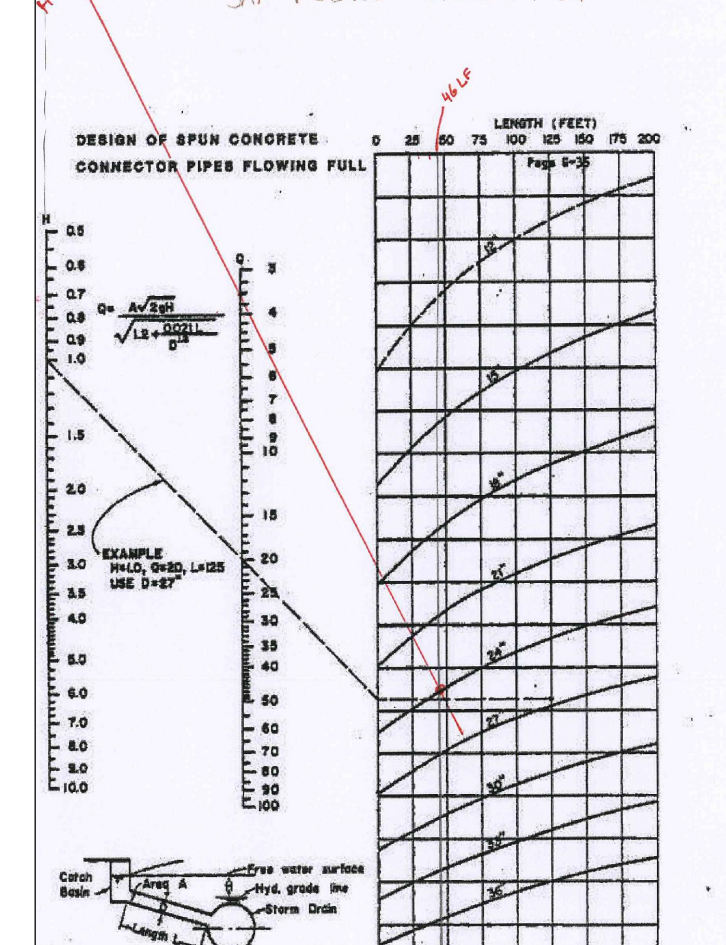
San Pedro SD HGL shows elevation of 5230 ft (COA 5304.91), the developed site has no effect on the HGL. (See graph).

Oakland SD HGL shows elevation of 5234.5 ft (COA 742484), pipe is at inlet control. See Manning's calcs for pipe's capacity.

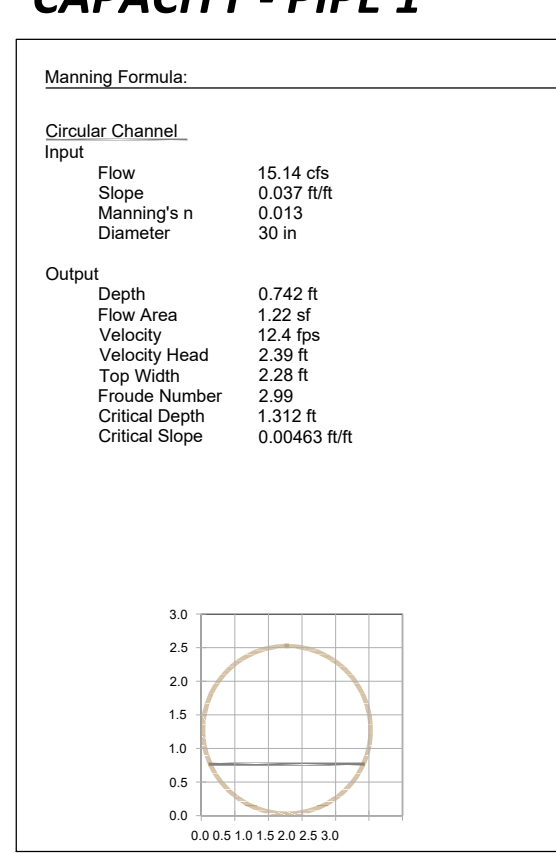
ALAMEDA SD OUTLET CONTROL



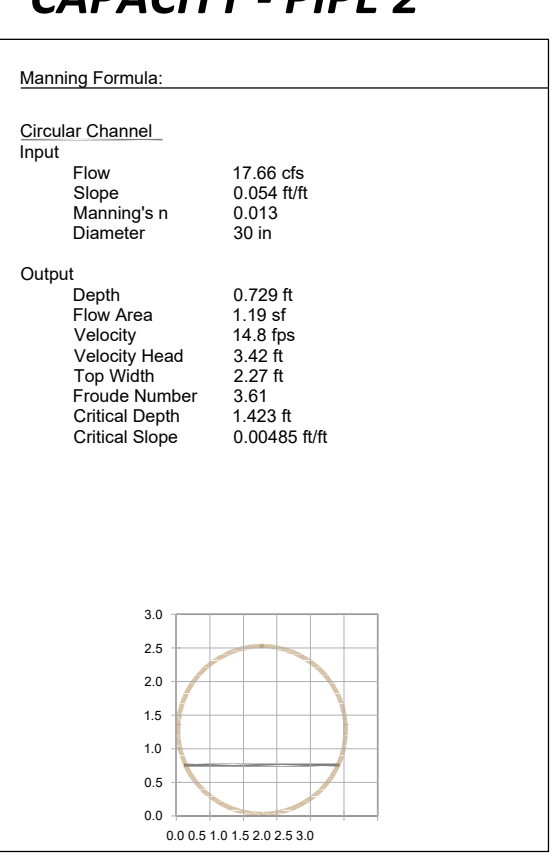
SAN PEDRO SD OUTLET CONTROL



OAKLAND PIPE'S CAPACITY - PIPE 1



OAKLAND PIPE'S CAPACITY - PIPE 2



5971 JEFFERSON ST NE
ALBUQUERQUE, NM 87109
PHONE: 505.566.4187

DESIGNED: NF
DRAWN: NF
CHECKED: RB
DATE: 2/14/18

STAMP: HUGH W. FLOYD
NEW MEXICO
16633
REGISTERED PROFESSIONAL ENGINEER

NOT FOR CONSTRUCTION

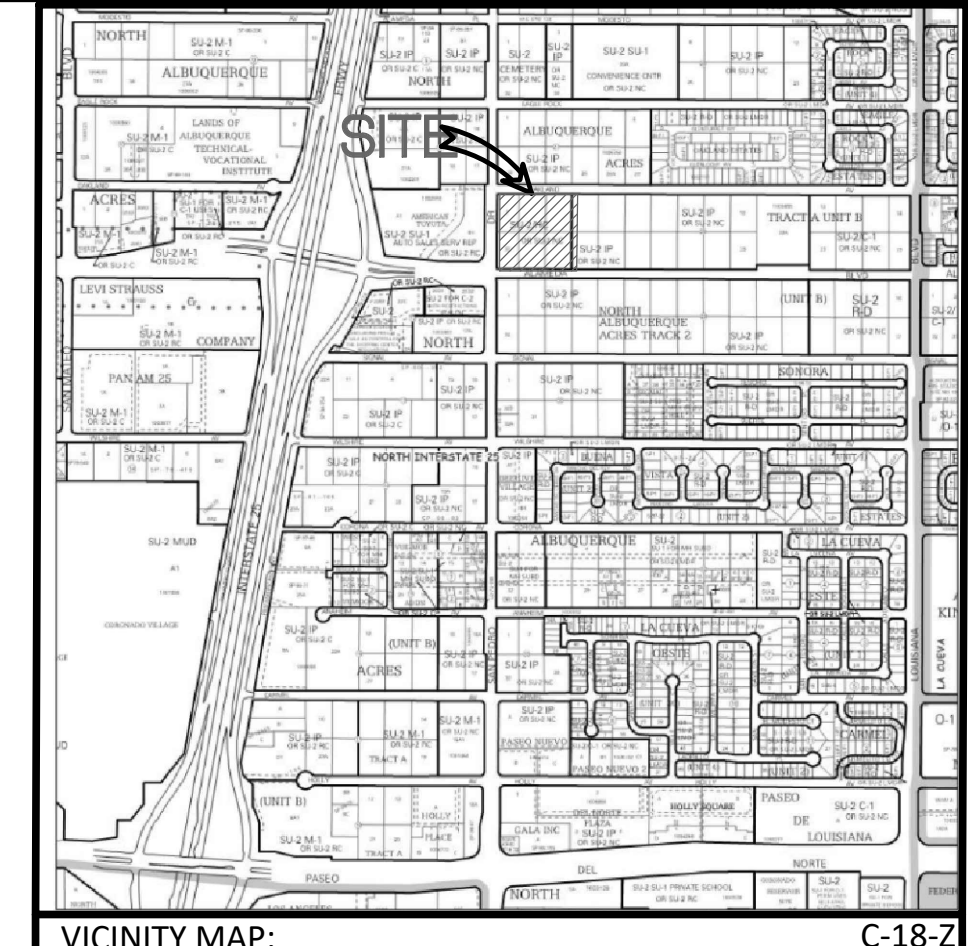
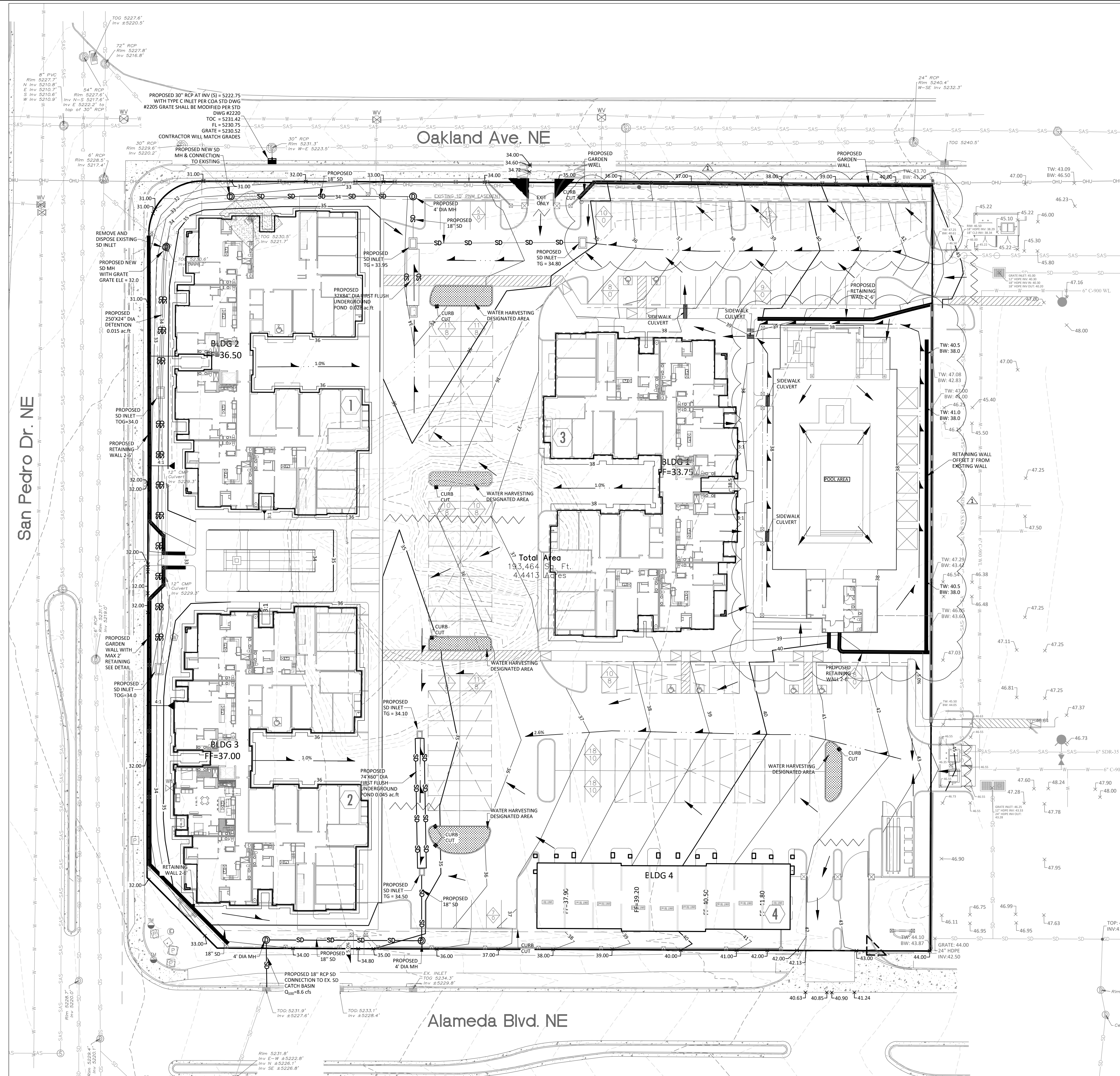
LEGAL DESCRIPTION:
LOTS 1, 2, 3, & 30, 31 & 32,
TRACT A UNIT 8 NORTH
ALBUQUERQUE ACERS

LEGACY NAA
APARTMENTS II
CONCEPTUAL DRAINAGE PLAN

REVISION

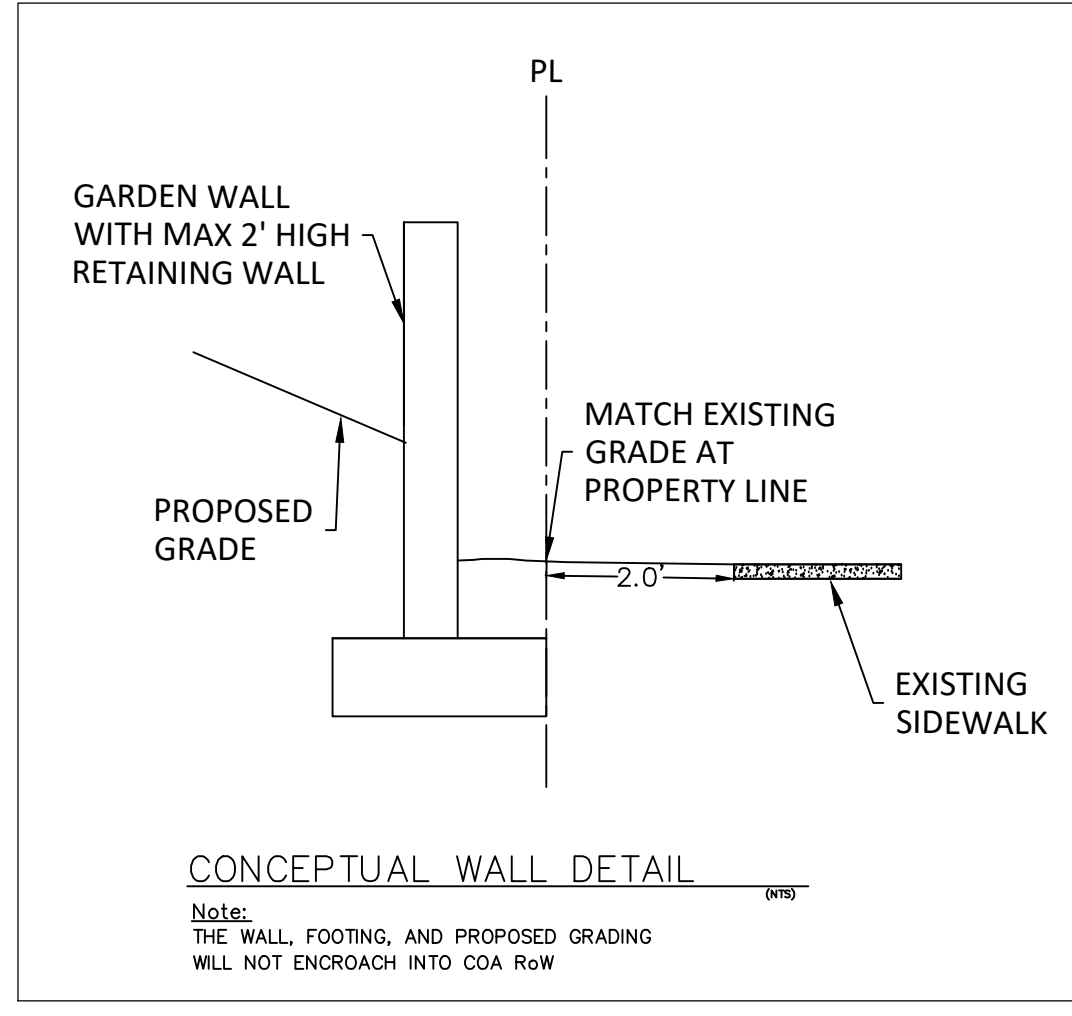
GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

SHEET NUMBER:
C-1



LEGEND

---	PROPERTY LINE
---	EXIST. ELE.
---	EXISTING RETAINING WALL
---	PROPOSED RETAINING WALL
---	PROPOSED HIGH POINT
---	PROPOSED FLOW LINE
SD	PROPOSED SD
○	PROPOSED SD INLET
○	PROPOSED SD MANHOLE
FF-00.00	PROPOSED FINISHED FLOOR ELE.
▨	PROPOSED WATER HARVESTING AREA
○	EXIST SD
○	EXIST SD MANHOLE
○	EXIST SD INLET



5971 JEFFERSON ST NE
ALBUQUERQUE, NM 87109
PHONE: 505.566.4187

RESPEC
WATER & NATURAL RESOURCES

DESIGNED: NF
DRAWN: NF
CHECKED: RB
DATE: 7/17/2018

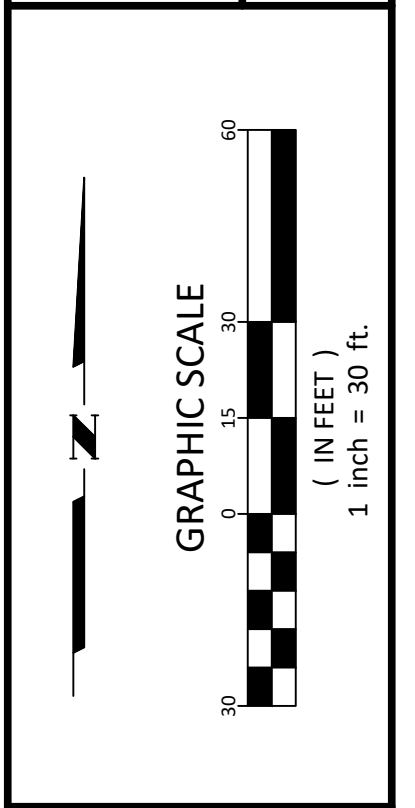
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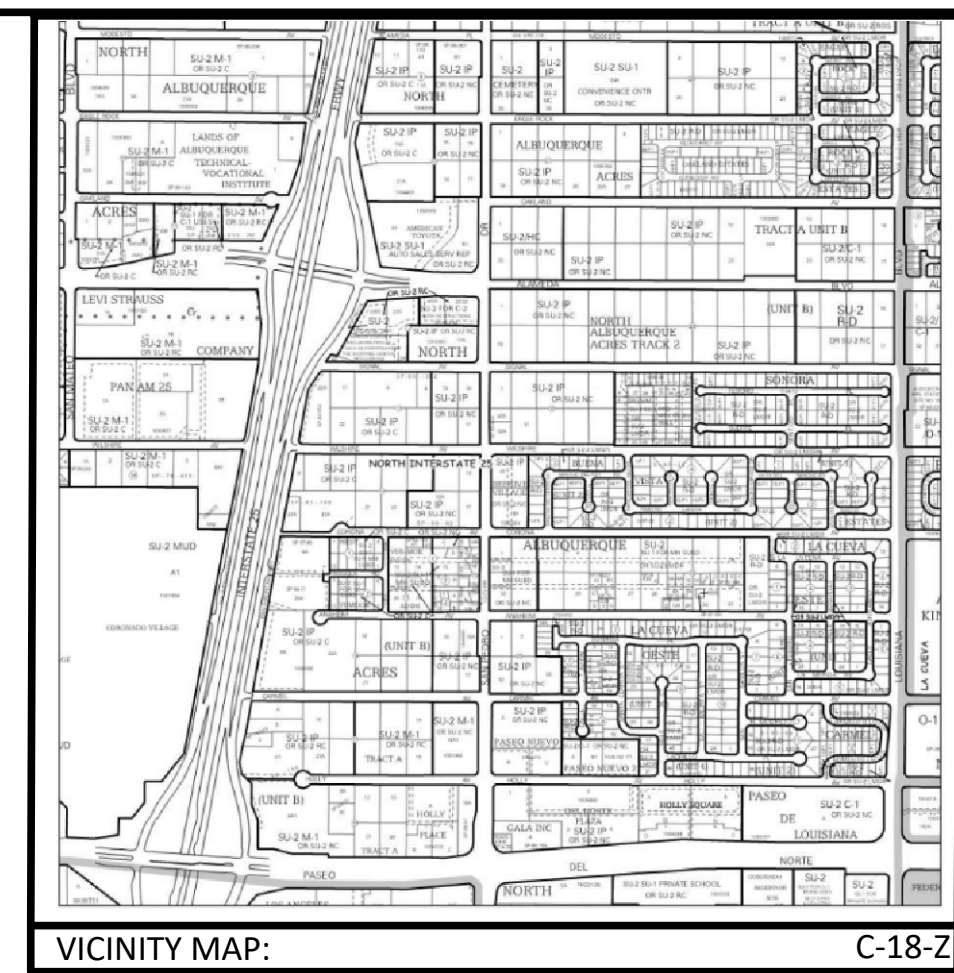
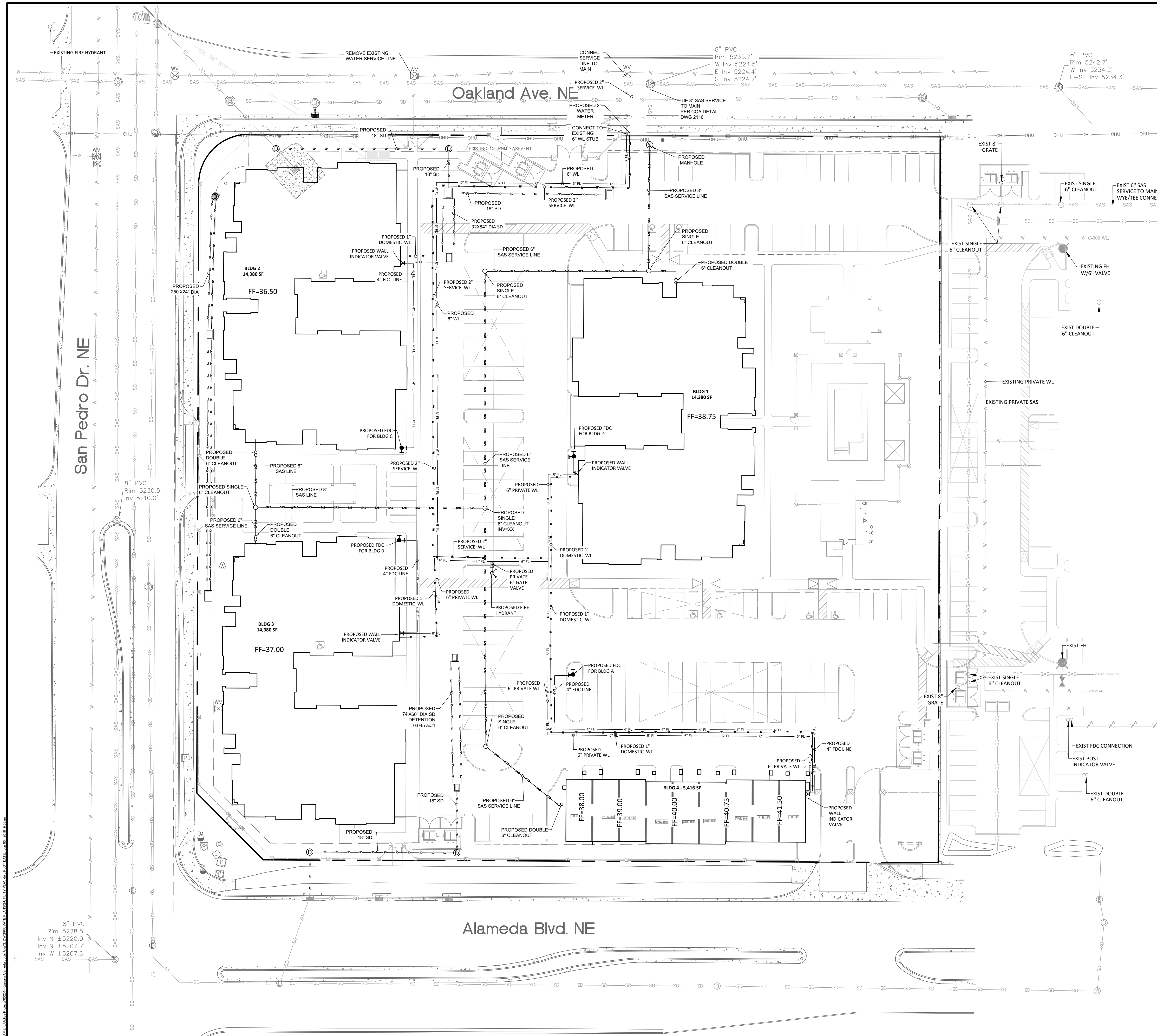
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LOTS 1, 2, 3, & 3031 & 32,
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ALBUQUERQUE ACERS

NOT FOR CONSTRUCTION

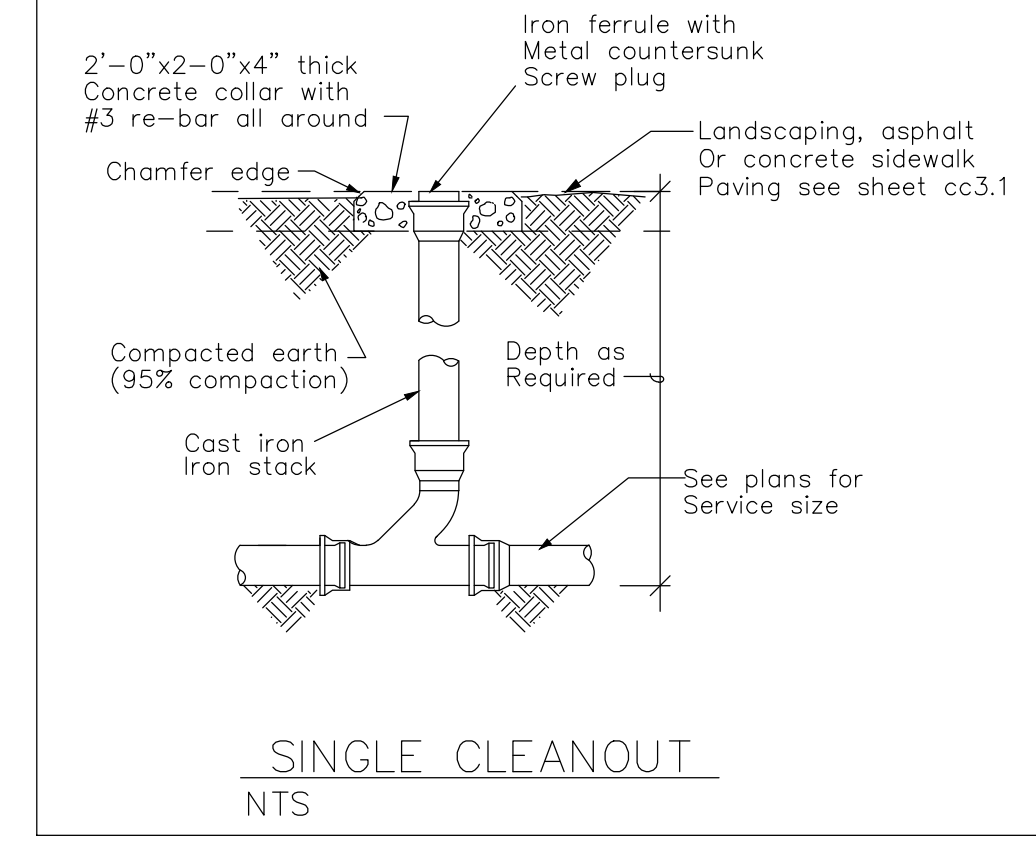
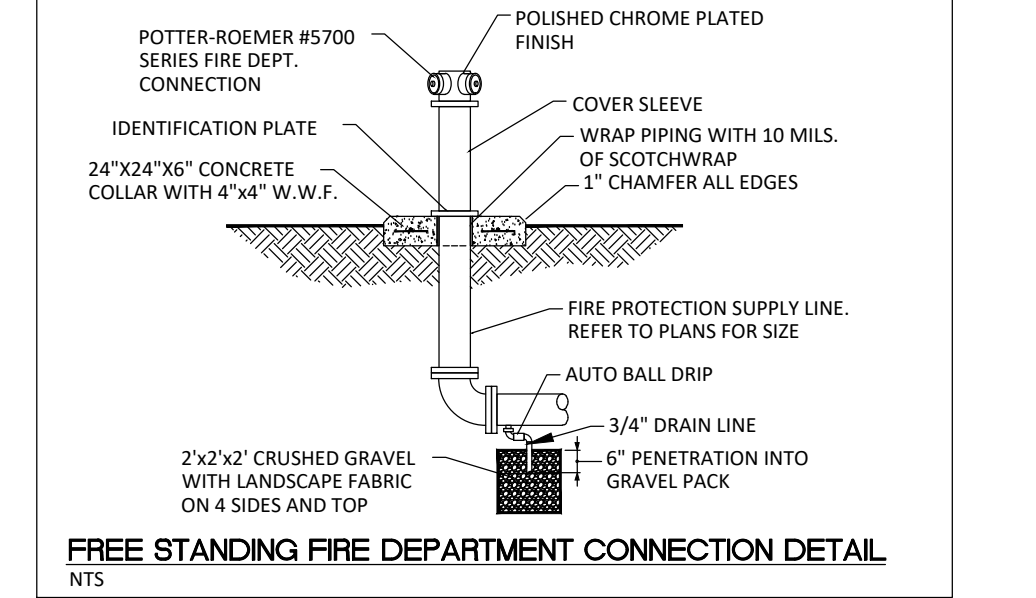
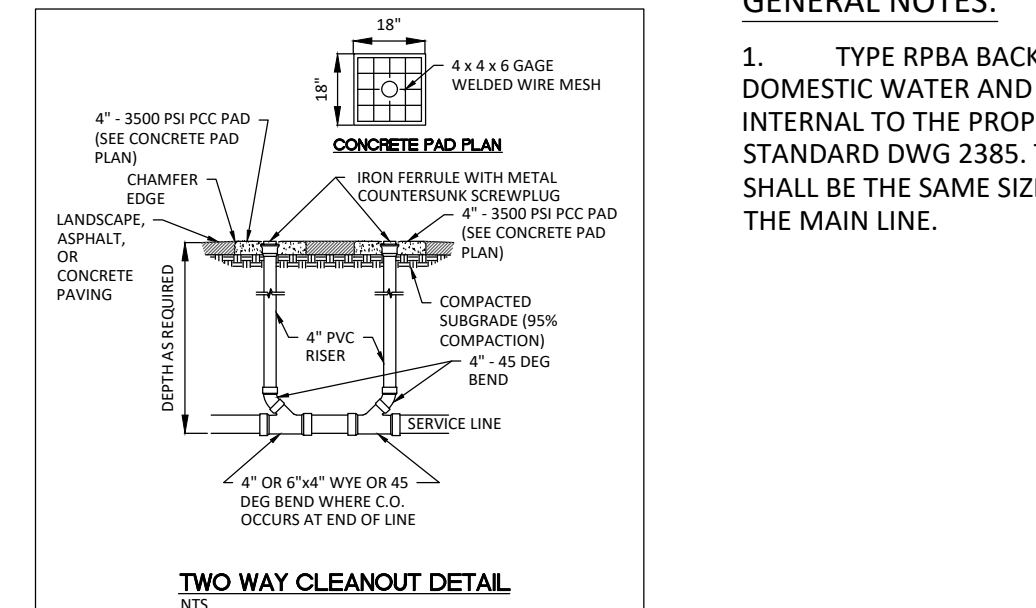
**LEGACY NAA
APARTMENTS II
CONCEPTUAL GRADING PLAN**



SHEET NUMBER:
C-2



GENERAL NOTES:
 1. TYPE RPBA BACKFLOW PREVENTERS FOR THE DOMESTIC WATER AND FIRE LINES SHALL BE PROVIDED INTERNAL TO THE PROPOSED BUILDING PER COA STANDARD DWG 2385. THE BACKFLOW PREVENTERS SHALL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.



LEGEND

- PROPERTY BOUNDARY
- EXISTING WATER LINE
- PROPOSED 1" OR 2" WATER LINE
- 6" FL --- PROPOSED 6" WATER LINE
- 4" FL --- PROPOSED 4" WATER LINE
- SAS --- EXISTING SANITARY SEWER LINE
- --- PROPOSED SANITARY SEWER LINE
- --- EXISTING STORM DRAIN
- --- PROPOSED STORM DRAIN
- --- EXISTING SEWER MANHOLE
- --- PROPOSED SEWER MANHOLE
- --- EXISTING STORM DRAIN MANHOLE
- --- PROPOSED STORM DRAIN MANHOLE
- WV --- EXISTING WATER VALVE

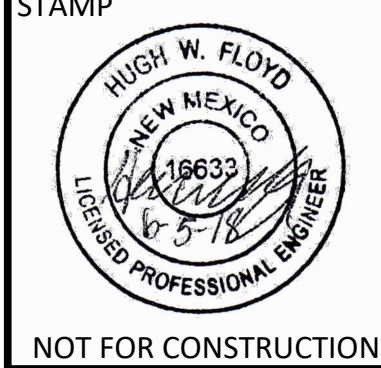
5971 JEFFERSON ST NE
 ALBUQUERQUE, NM 87109
 PHONE: 505.366.4187

RESPEC
 WATER & NATURAL RESOURCES

DESIGNED: NF
 DRAWN: RB
 CHECKED: RB
 DATE: 6/5/2018

2/14/2018

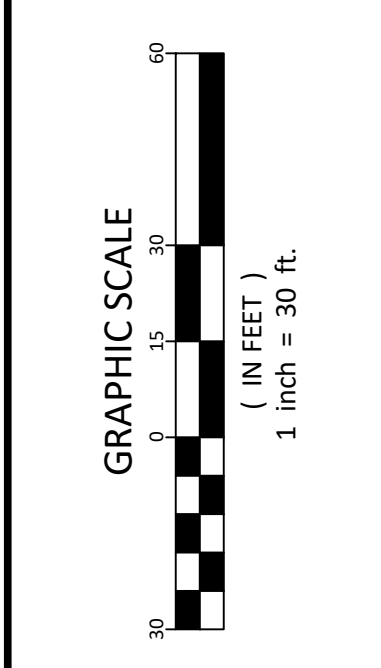
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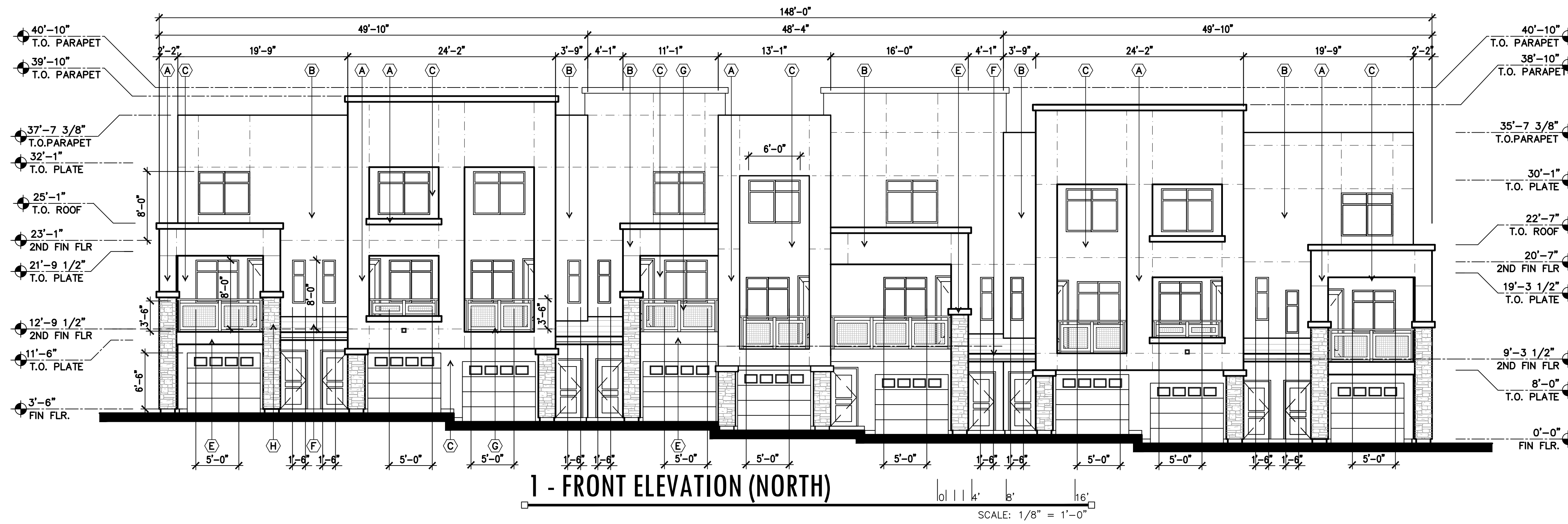
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 ALBUQUERQUE ACERS

**LEGACY NAA
 APARTMENTS II**

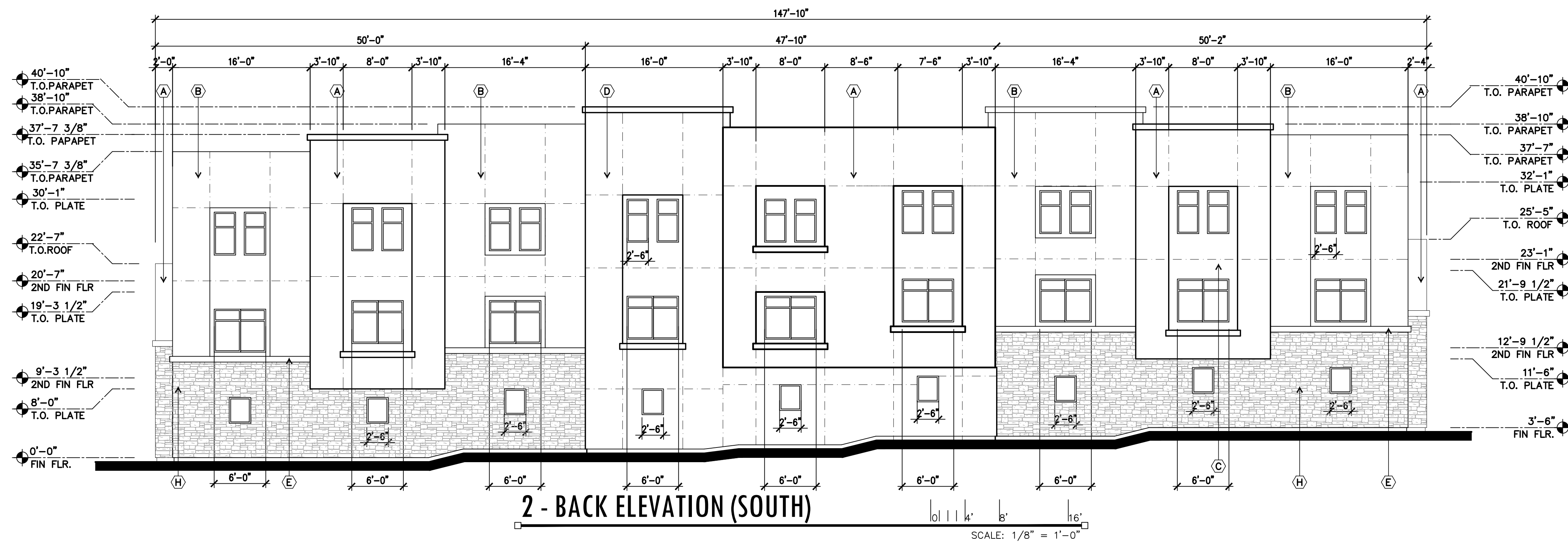
UTILITY PLAN



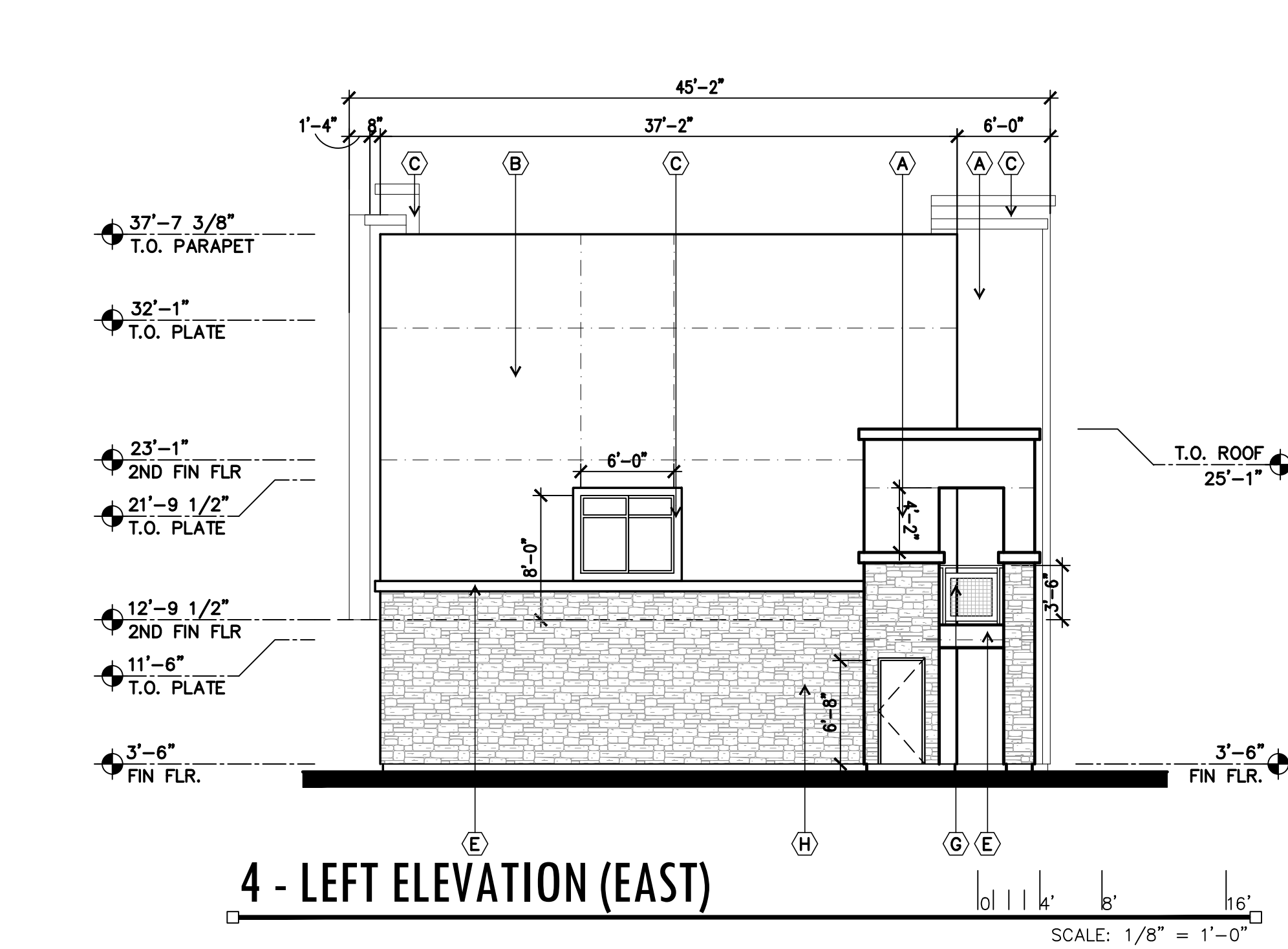
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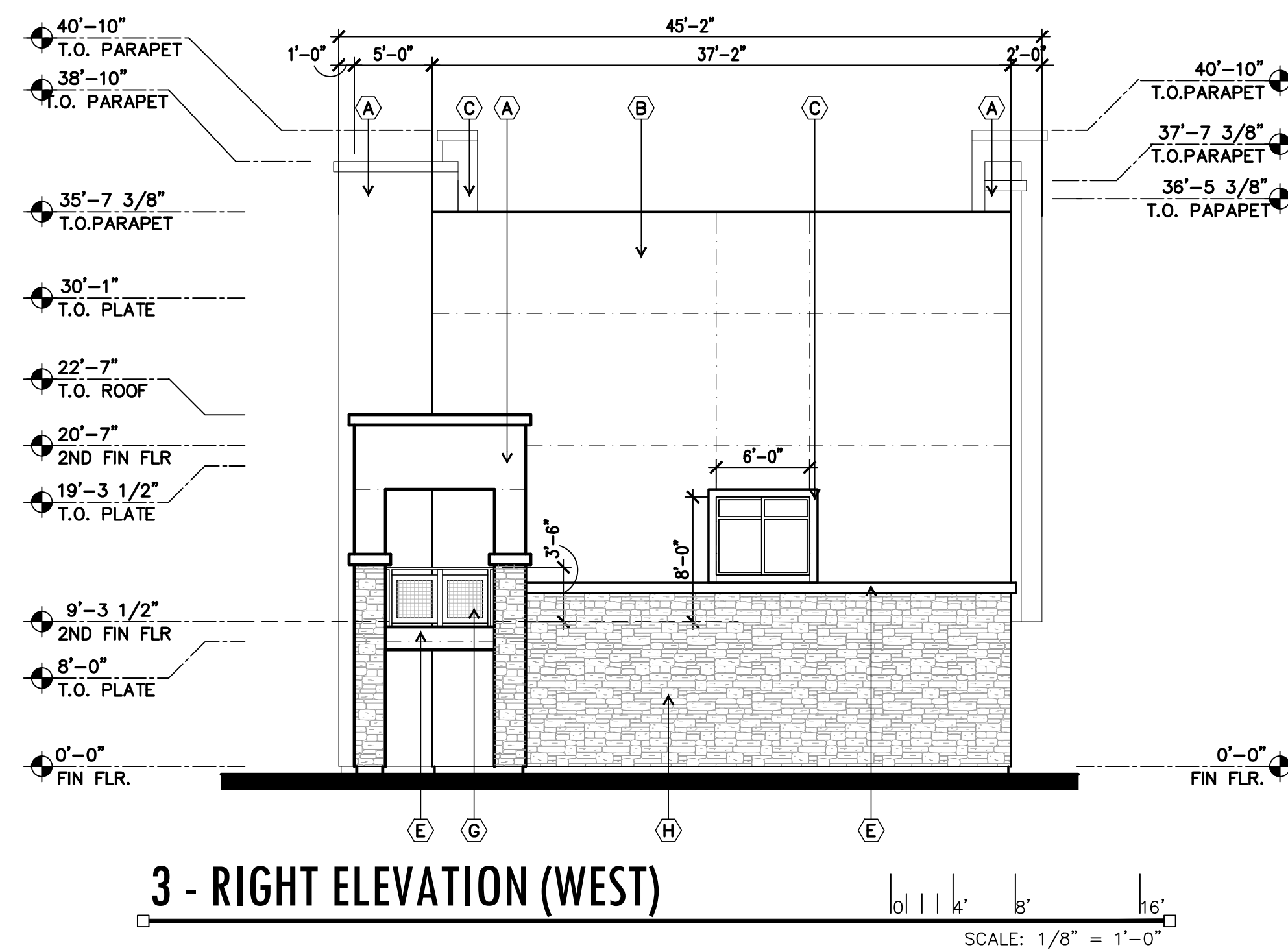
1 - FRONT ELEVATION (NORTH)



2 - BACK ELEVATION (SOUTH)



4 - LEFT ELEVATION (EAST)



3 - RIGHT ELEVATION (WEST)

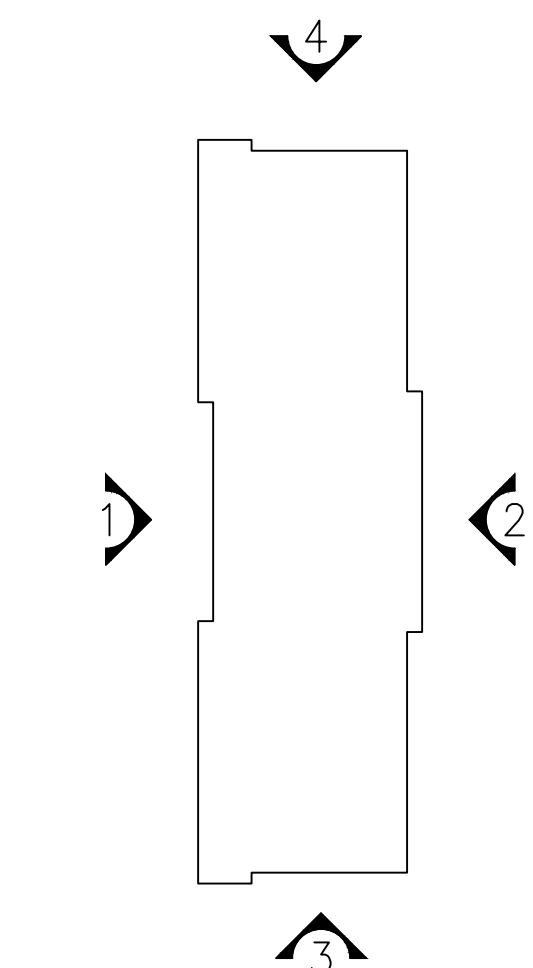
MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT BEIGE
- (B) STUCCO FINISH DARK BEIGE
- (C) STUCCO FINISH LIGHT GRAY
- (D) STUCCO FINISH MEDIUM GRAY
- (E) STUCCO FINISH DARK GRAY
- (F) TILE ROOF
- (G) RAILINGS DARK GRAY
- (H) STONE VENEER
- (I) EXPOSED LIGHT CMU
- (J) EXPOSED DARK CMU
- (K) WALL OPENING
- (L) SERVICE DOOR, COLOR TO MATCH ADJACENT WALL

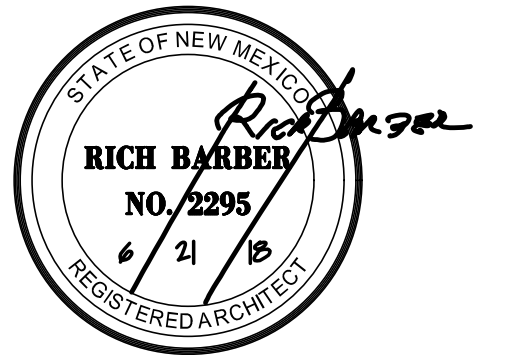
GENERAL NOTES:

1. ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE ADJACENT PUBLIC RIGHT-OF-WAY BY PARAPET WALLS OR STRUCTURAL FEATURES THAT SHALL NOT EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT IN ORDER TO ACHIEVE VERTICAL ARTICULATION. ARCHITECTURAL/STRUCTURAL FEATURES MAY EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT BUT SHALL NOT, AT ANY POINT, EXCEED ONE-HALF (1/2) OF THE HEIGHT OF THE SUPPORTING WALL. SKYLIGHTS AND ROOF VENTS ARE PERMITTED ONLY ON THE ROOF PLANE OPPOSITE THE PRIMARY STREET OR RIGHT-OF-WAY OR WHEN SHIELDED FROM PUBLIC RIGHT-OF-WAY VIEW BY THE BUILDING'S PARAPET.
2. GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICE.

KEYMAP



MARKANA APARTMENTS - II
SAN PEDRO AND ALAMEDA
Albuquerque, New Mexico

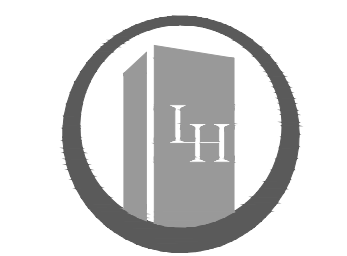


LEGACY HOSPITALITY

DATE: JUNE 21, 2018 ORB # 17-219

A3.13

BUILDING TYPE I
ELEVATIONS



MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT BEIGE
- (B) STUCCO FINISH DARK BEIGE
- (C) STUCCO FINISH LIGHT GRAY
- (D) STUCCO FINISH MEDIUM GRAY
- (E) STUCCO FINISH DARK GRAY
- (F) TILE ROOF
- (G) RAILINGS DARK GRAY
- (H) STONE VENEER
- (I) EXPOSED LIGHT CMU
- (J) EXPOSED DARK CMU
- (K) WALL OPENING
- (L) SERVICE DOOR, COLOR TO MATCH ADJACENT WALL

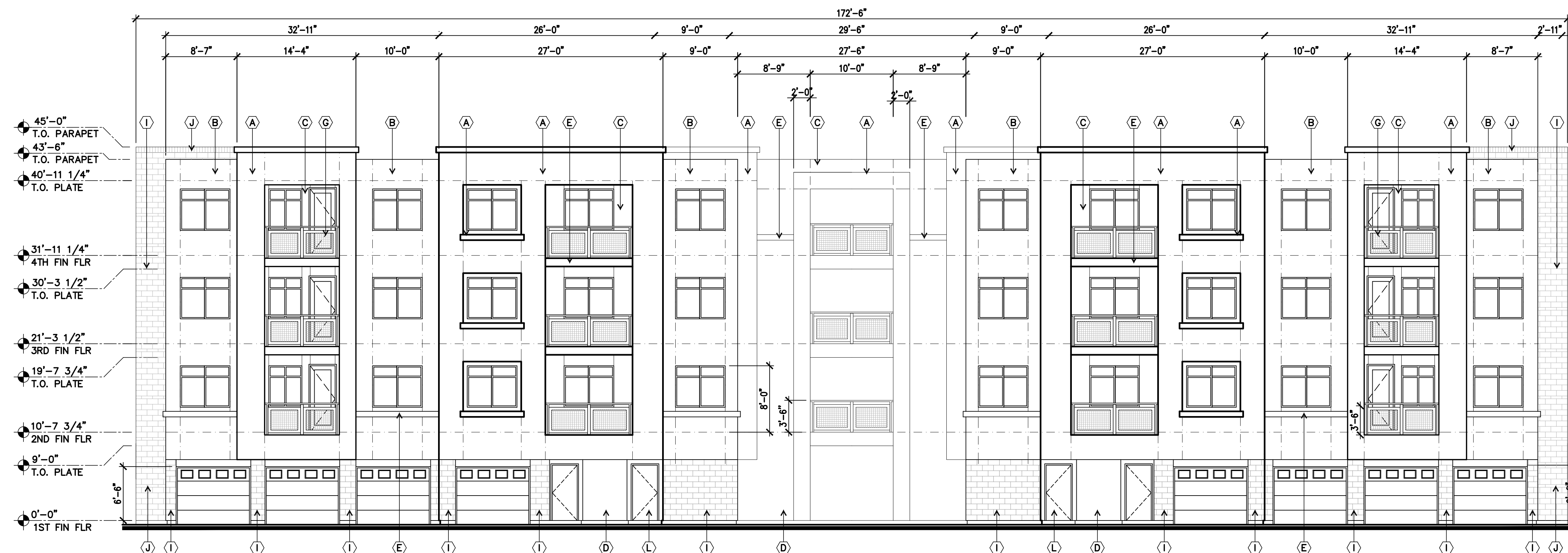
GENERAL NOTES:

1. ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE ADJACENT PUBLIC RIGHT-OF-WAY BY PARAPET WALLS OR STRUCTURAL FEATURES THAT SHALL NOT EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT, IN ORDER TO ACHIEVE VERTICAL ARTICULATION. ARCHITECTURAL/STRUCTURAL FEATURES MAY EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT BUT SHALL NOT, AT ANY POINT, EXCEED ONE-HALF (1/2) OF THE HEIGHT OF THE SUPPORTING WALL. SKYLIGHTS AND ROOF VENTS ARE PERMITTED ONLY ON THE ROOF PLANE OPPOSITE THE PRIMARY STREET OR RIGHT-OF-WAY OR WHEN SHIELDED FROM PUBLIC RIGHT-OF-WAY VIEW BY THE BUILDING'S PARAPET.
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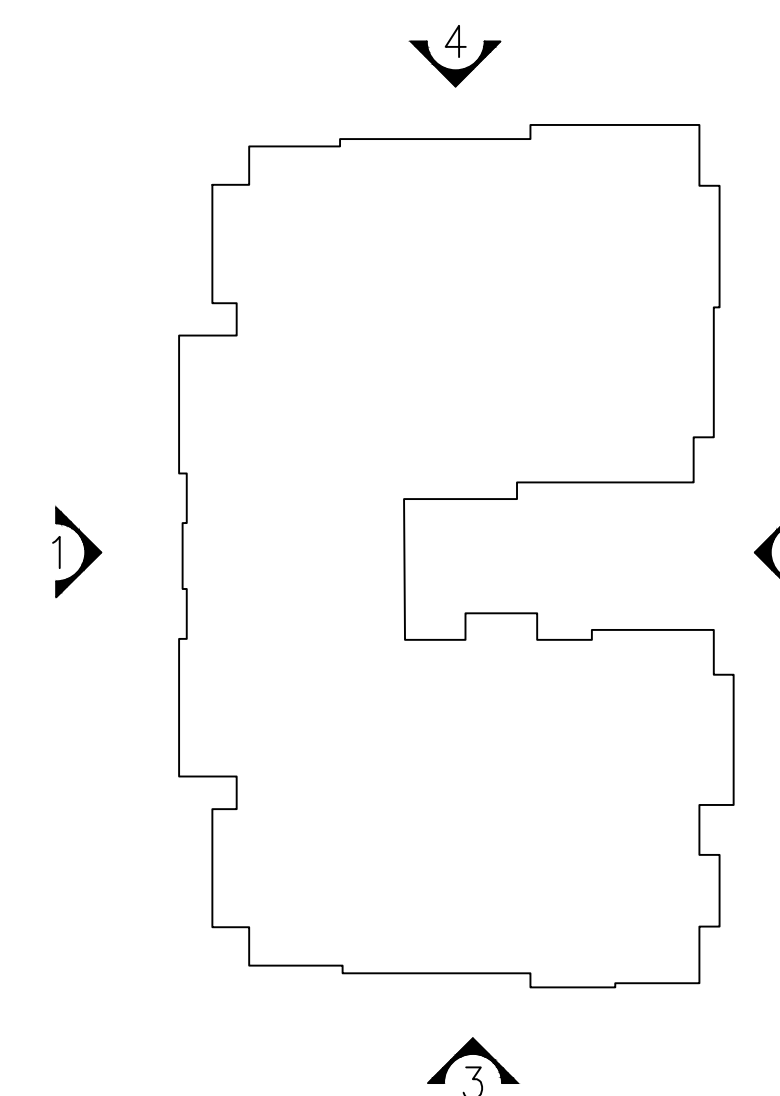
1 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"



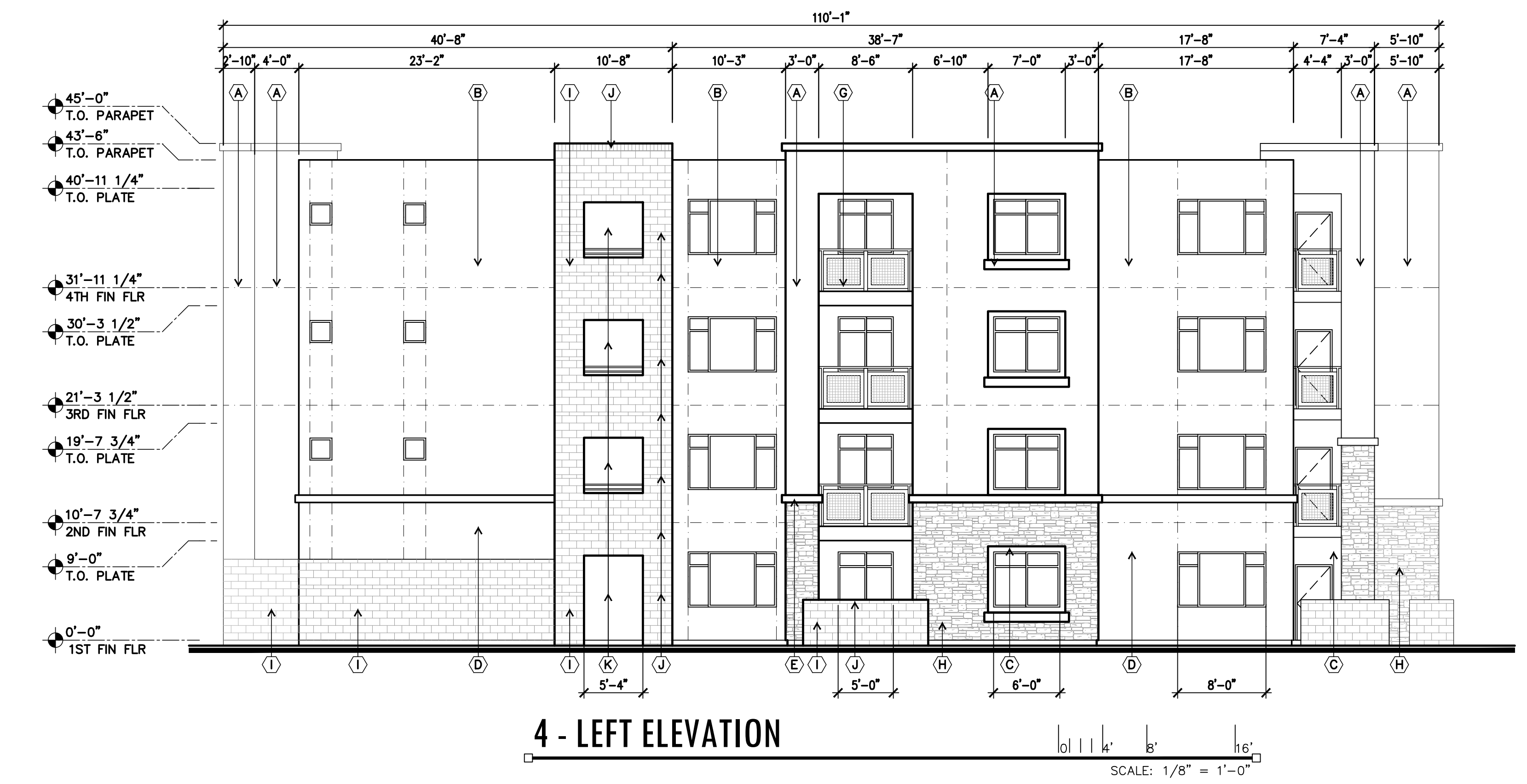
2 - REAR ELEVATION

SCALE: 1/8" = 1'-0"



KEYMAP

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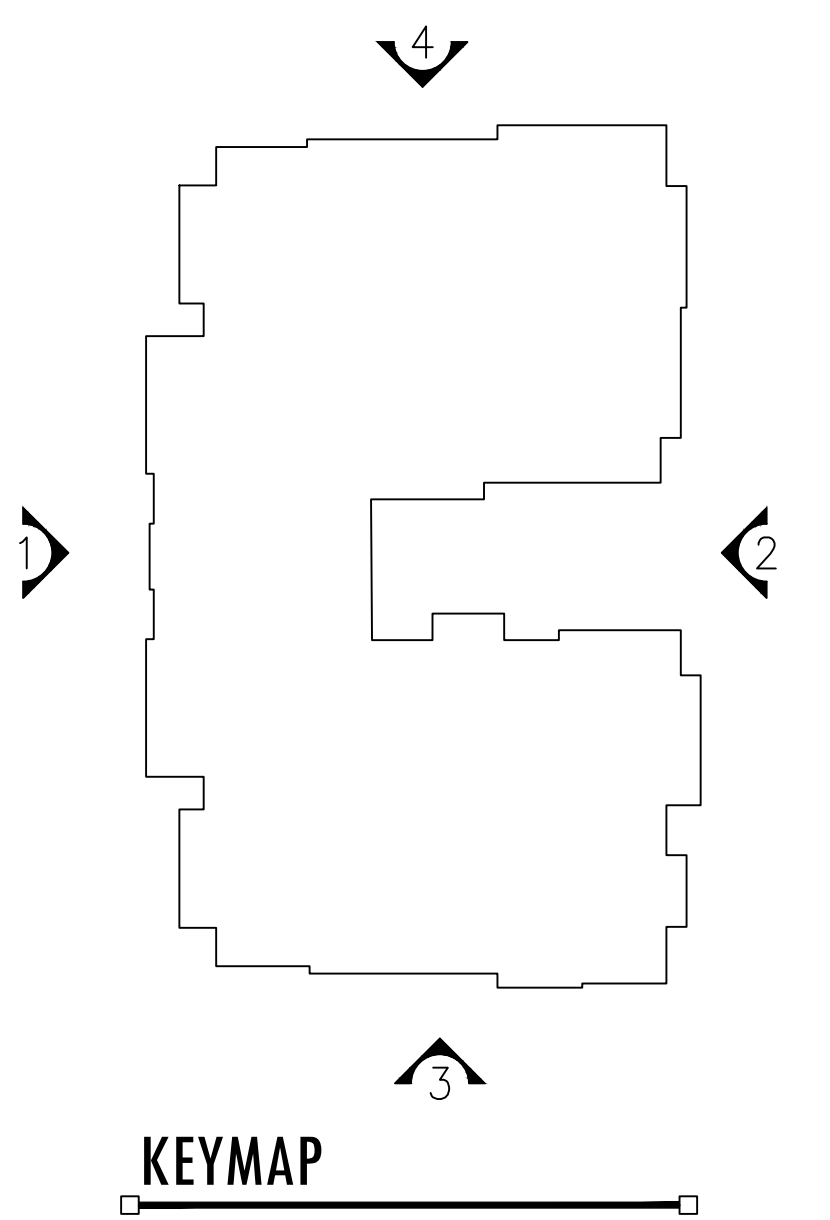


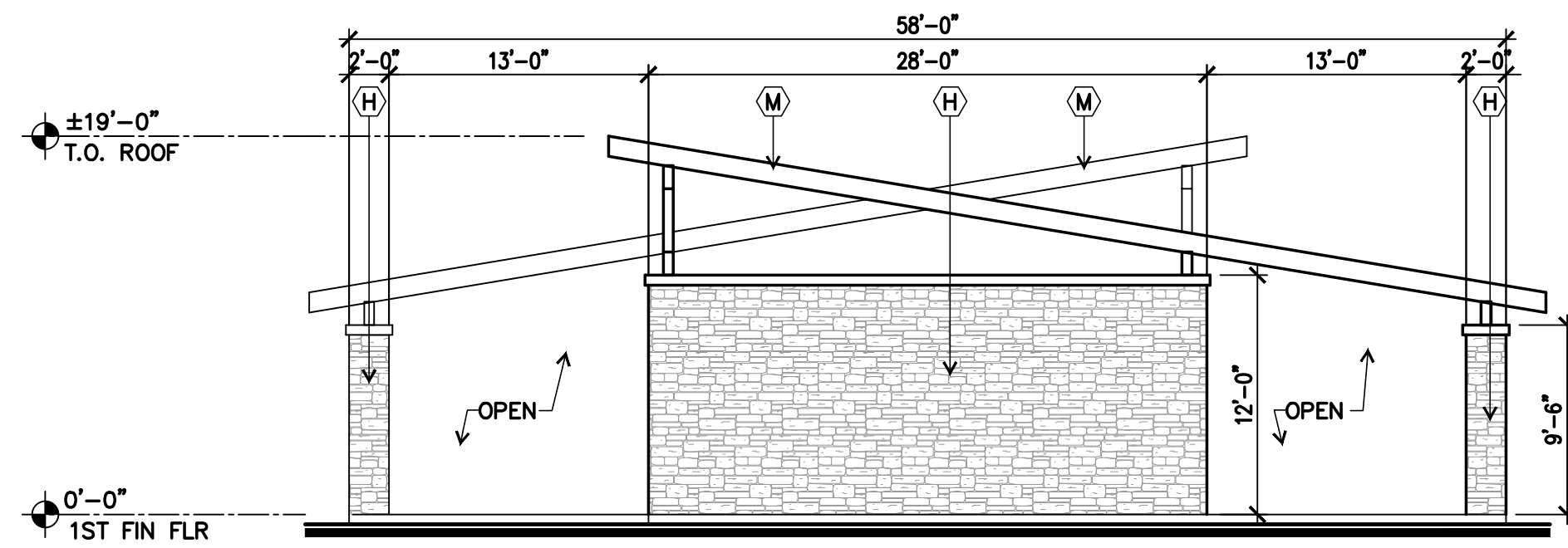
MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT BEIGE
- (B) STUCCO FINISH DARK BEIGE
- (C) STUCCO FINISH LIGHT GRAY
- (D) STUCCO FINISH MEDIUM GRAY
- (E) STUCCO FINISH DARK GRAY
- (F) TILE ROOF
- (G) RAILINGS DARK GRAY
- (H) STONE VENEER
- (I) EXPOSED LIGHT CMU
- (J) EXPOSED DARK CMU
- (K) WALL OPENING
- (L) SERVICE DOOR COLOR TO MATCH ADJACENT WALL

GENERAL NOTES:

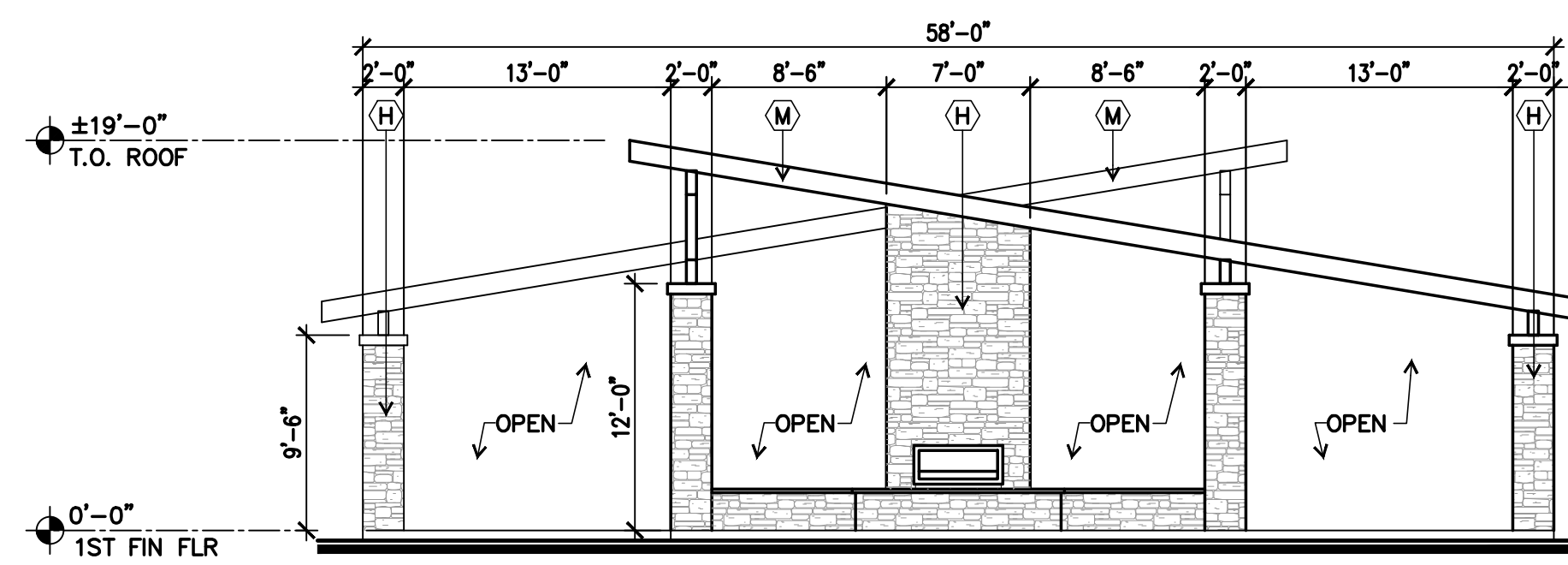
1. ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE ADJACENT PUBLIC RIGHT-OF-WAY BY PARAPET WALLS OR STRUCTURAL FEATURES THAT SHALL NOT EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT. IN ORDER TO ACHIEVE VERTICAL ARTICULATION, ARCHITECTURAL/STRUCTURAL FEATURES MAY EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT BUT SHALL NOT, AT ANY POINT, EXCEED ONE-HALF (1/2) OF THE HEIGHT OF THE SUPPORTING WALL. SKYLIGHTS AND ROOF VENTS ARE PERMITTED ONLY ON THE ROOF PLANE OPPOSITE THE PRIMARY STREET OR RIGHT-OF-WAY OR WHEN SHIELDED FROM PUBLIC RIGHT-OF-WAY VIEW BY THE BUILDING'S PARAPET.
2. GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICE.





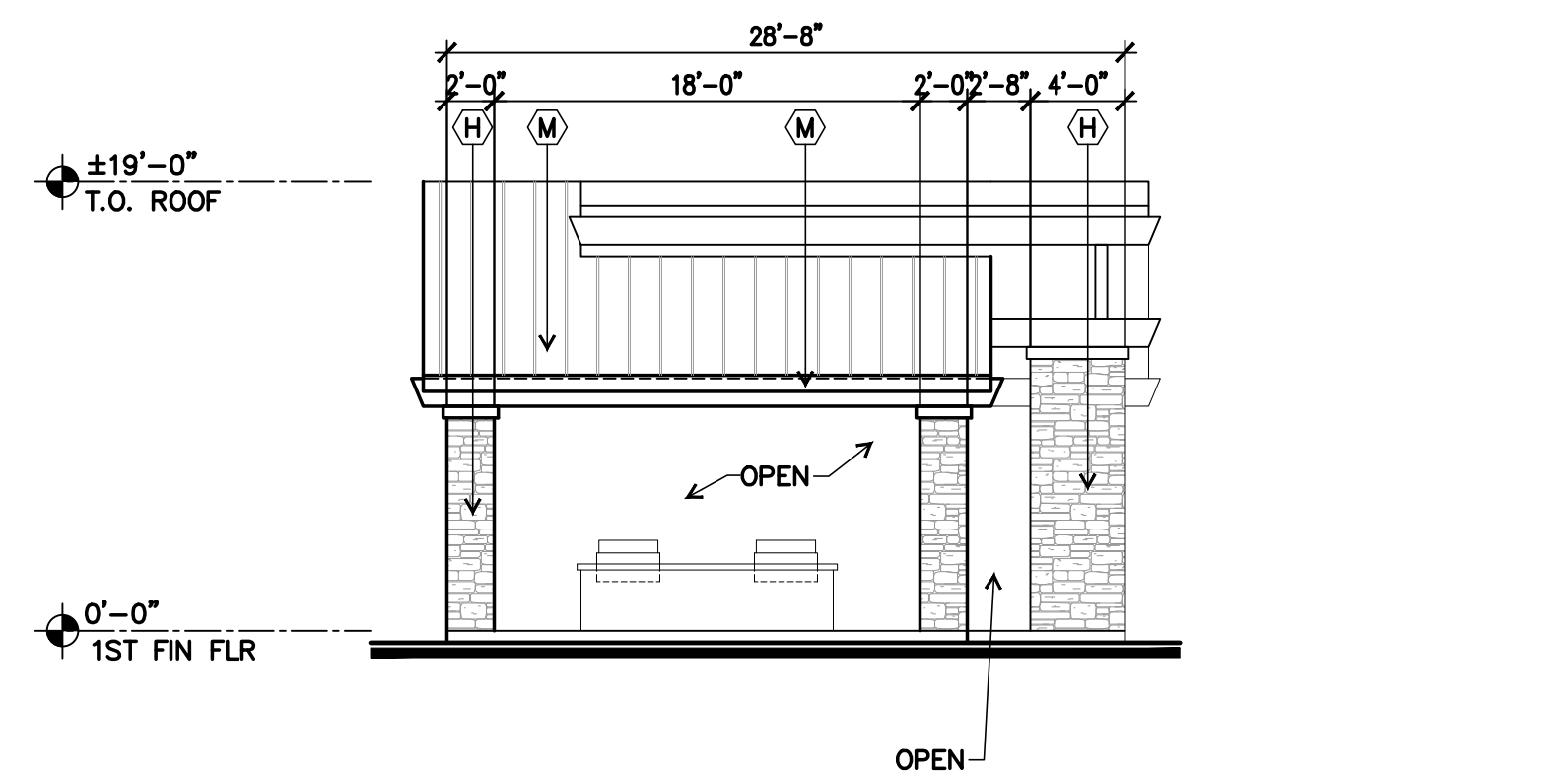
NORTH ELEVATION

POOL RAMADA SCALE: 1/8" = 1'-0"



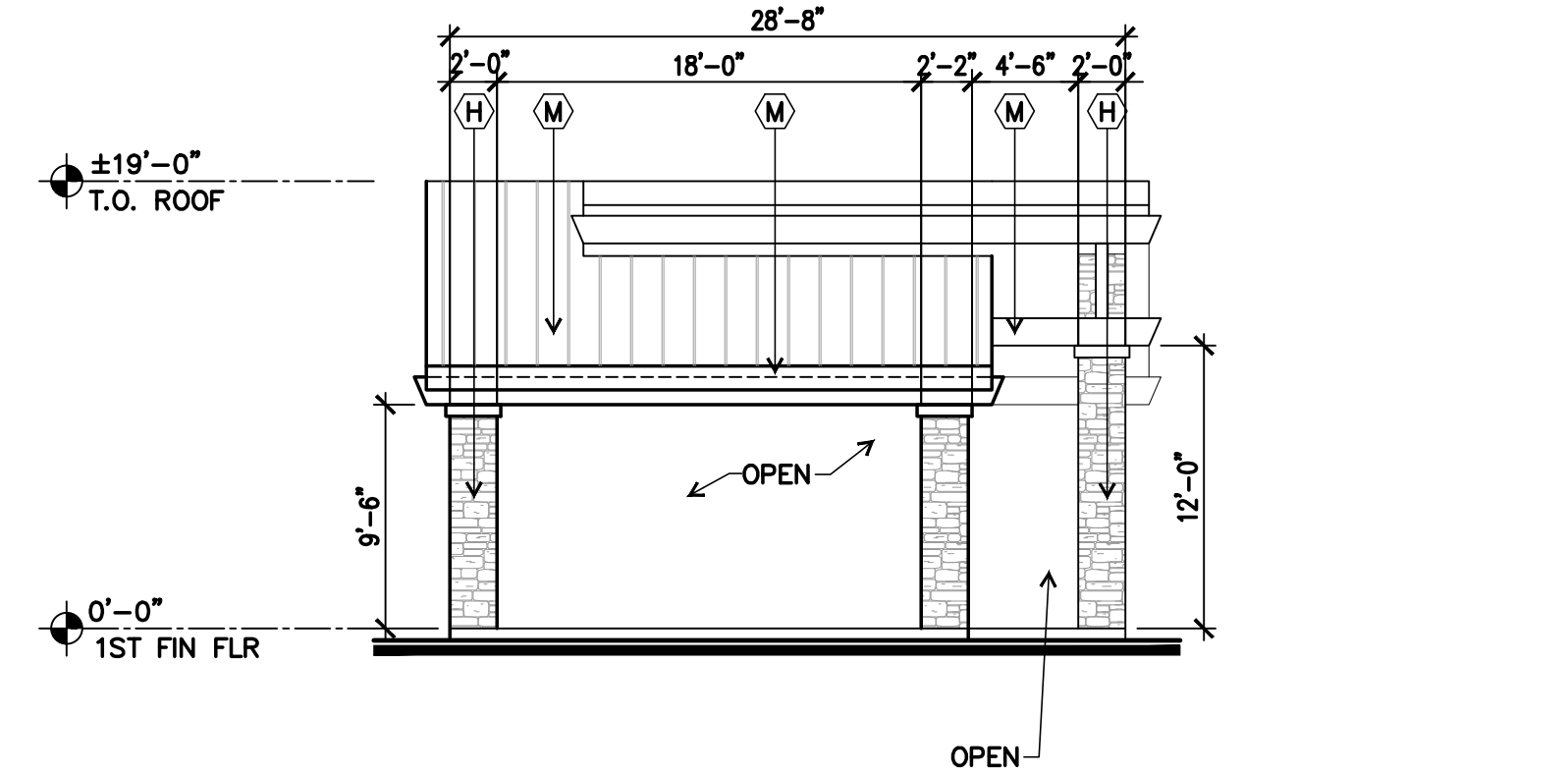
SOUTH ELEVATION

POOL RAMADA SCALE: 1/8" = 1'-0"



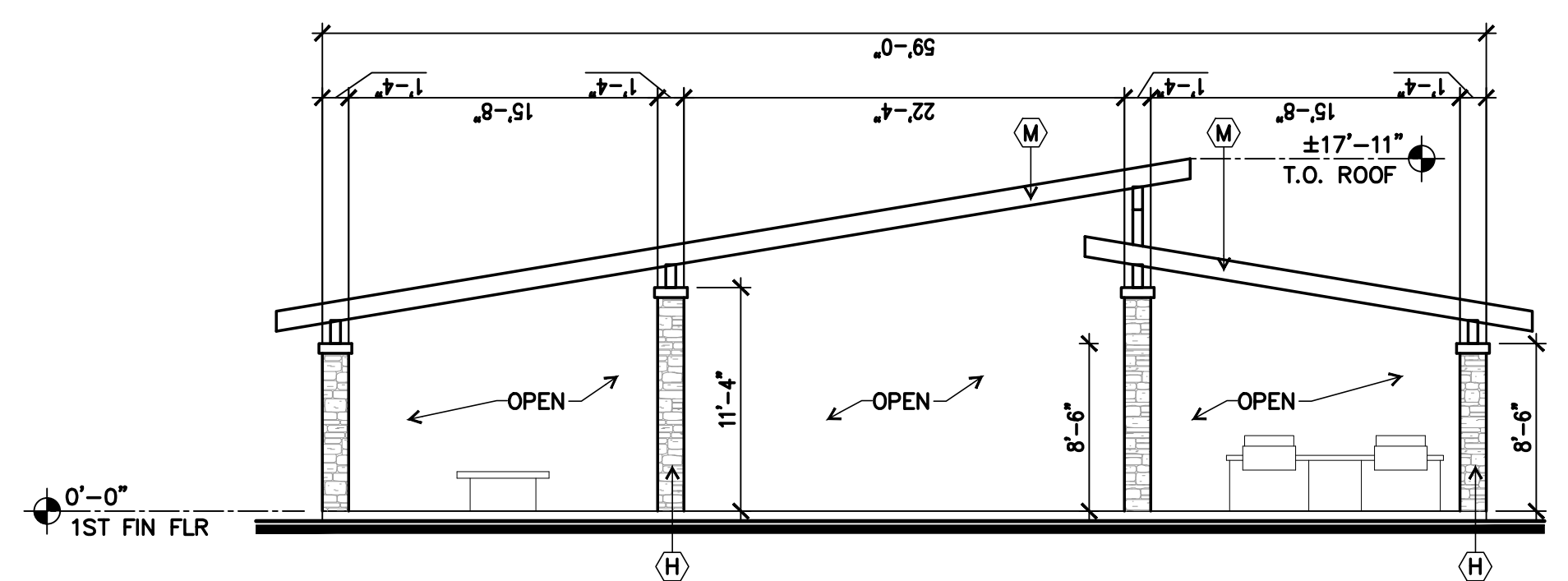
EAST ELEVATION

POOL RAMADA SCALE: 1/8" = 1'-0"



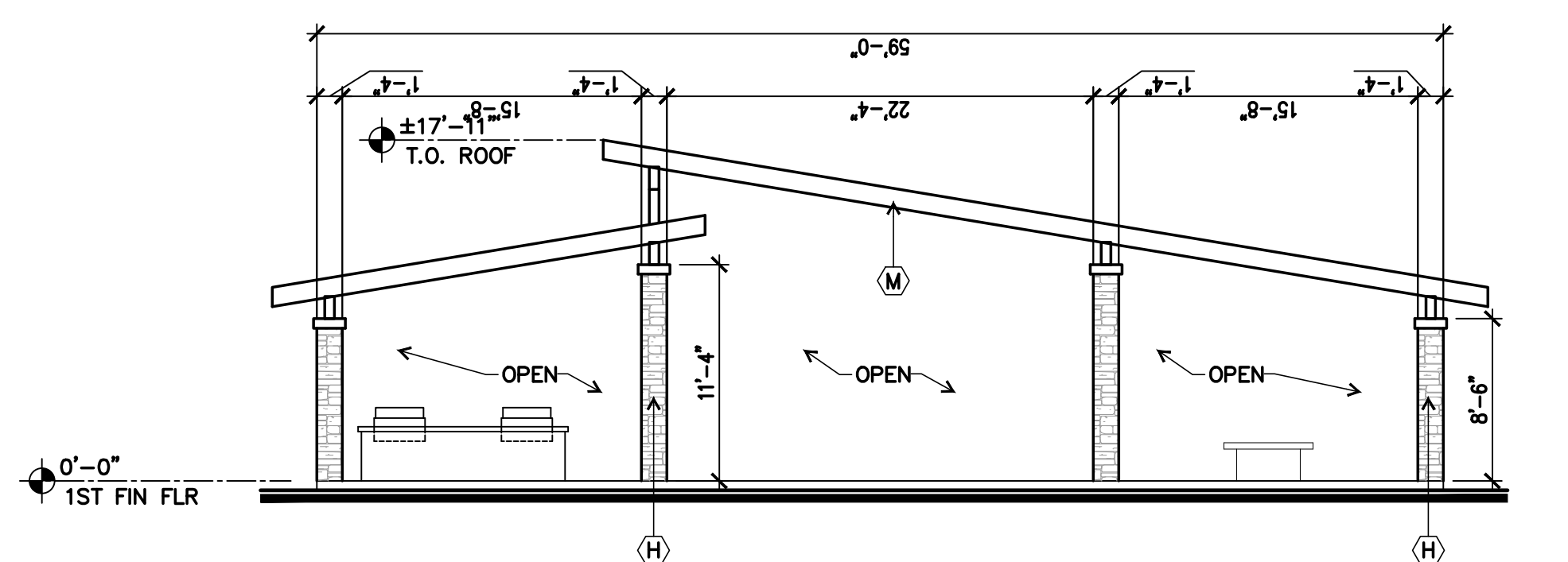
WEST ELEVATION

POOL RAMADA SCALE: 1/8" = 1'-0"



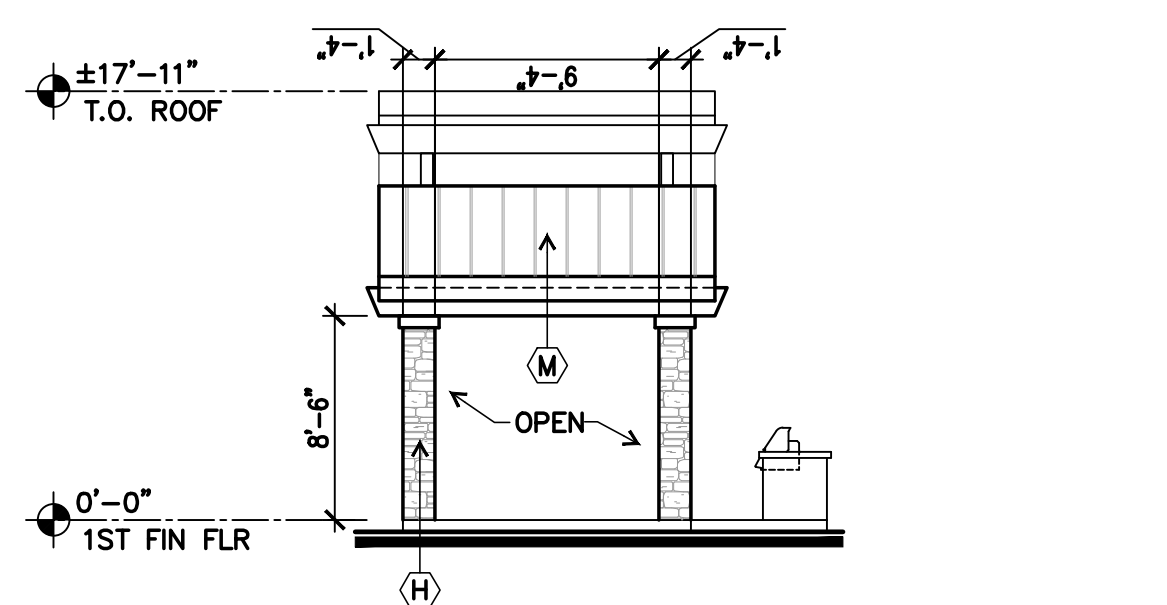
SOUTH ELEVATION

WEST RAMADA SCALE: 1/8" = 1'-0"



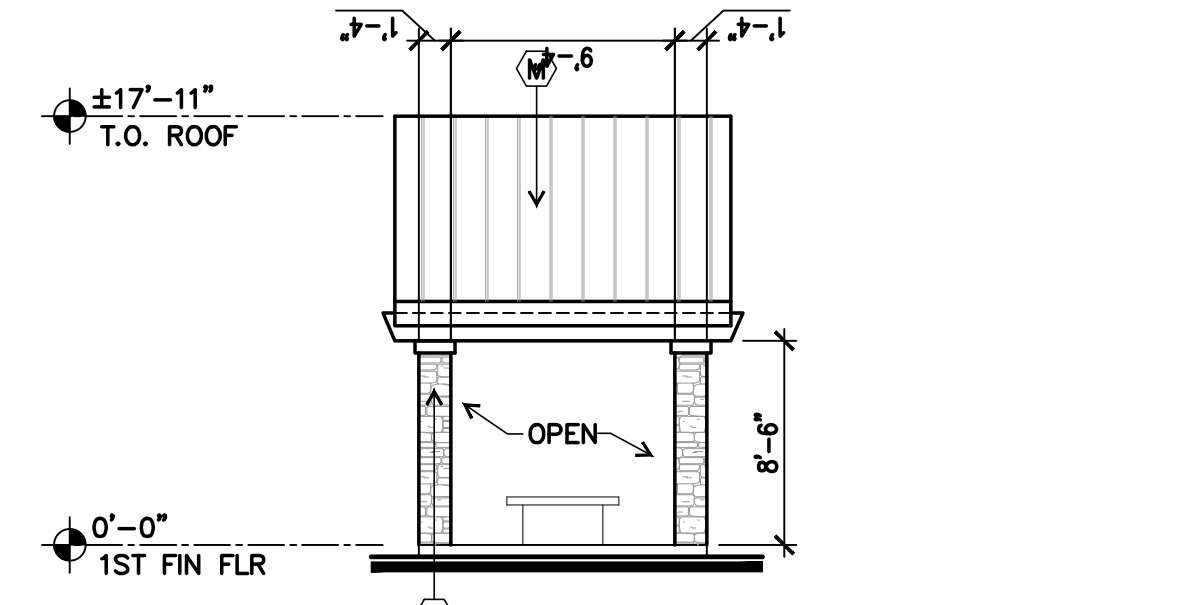
NORTH ELEVATION

WEST RAMADA SCALE: 1/8" = 1'-0"



EAST ELEVATION

WEST RAMADA SCALE: 1/8" = 1'-0"



WEST ELEVATION

WEST RAMADA SCALE: 1/8" = 1'-0"

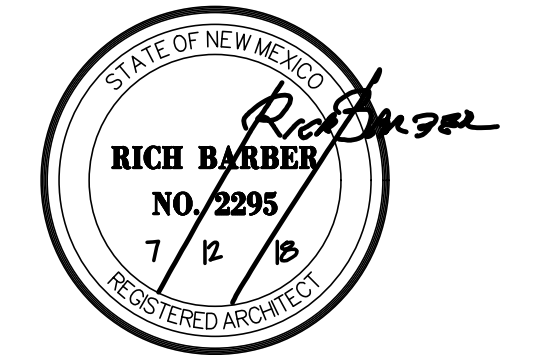
MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT BEIGE
- (B) STUCCO FINISH DARK BEIGE
- (C) STUCCO FINISH LIGHT GRAY
- (D) STUCCO FINISH MEDIUM GRAY
- (E) STUCCO FINISH DARK GRAY
- (F) TILE ROOF
- (G) RAILINGS DARK GRAY
- (H) STONE VENEER
- (I) EXPOSED LIGHT CMU
- (J) EXPOSED DARK CMU
- (K) WALL OPENING
- (L) SERVICE DOOR, COLOR TO MATCH ADJACENT WALL
- (M) METAL ROOF DARK GRAY

GENERAL NOTES:

1. ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE ADJACENT PUBLIC RIGHT-OF-WAY BY PARAPET WALLS OR STRUCTURAL FEATURES THAT SHALL NOT EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT IN ORDER TO ACHIEVE VERTICAL ARTICULATION. ARCHITECTURAL/STRUCTURAL FEATURES MAY EXCEED THE HEIGHT OF THE SUPPORTING WALL, BUT SHALL NOT, AT ANY POINT, EXCEED ONE-HALF (1/2) OF THE HEIGHT OF THE SUPPORTING WALL. SKYLIGHTS AND ROOF VENTS ARE PERMITTED ONLY ON THE ROOF PLANE OPPOSITE THE PRIMARY STREET OR RIGHT-OF-WAY OR WHEN SHIELDED FROM PUBLIC RIGHT-OF-WAY VIEW BY THE BUILDING'S PARAPET.
2. GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICE.

MARKANA APARTMENTS - II
SAN PEDRO AND ALAMEDA
Albuquerque, New Mexico



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REVISIONS

PROGRESS SET

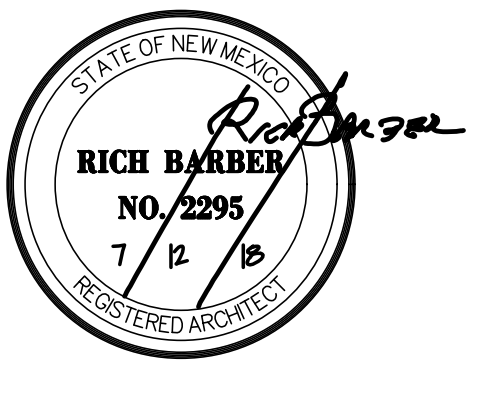
DATE: JULY 12, 2018 ORB # 17-219

A5.10
RAMADA ELEVATIONS

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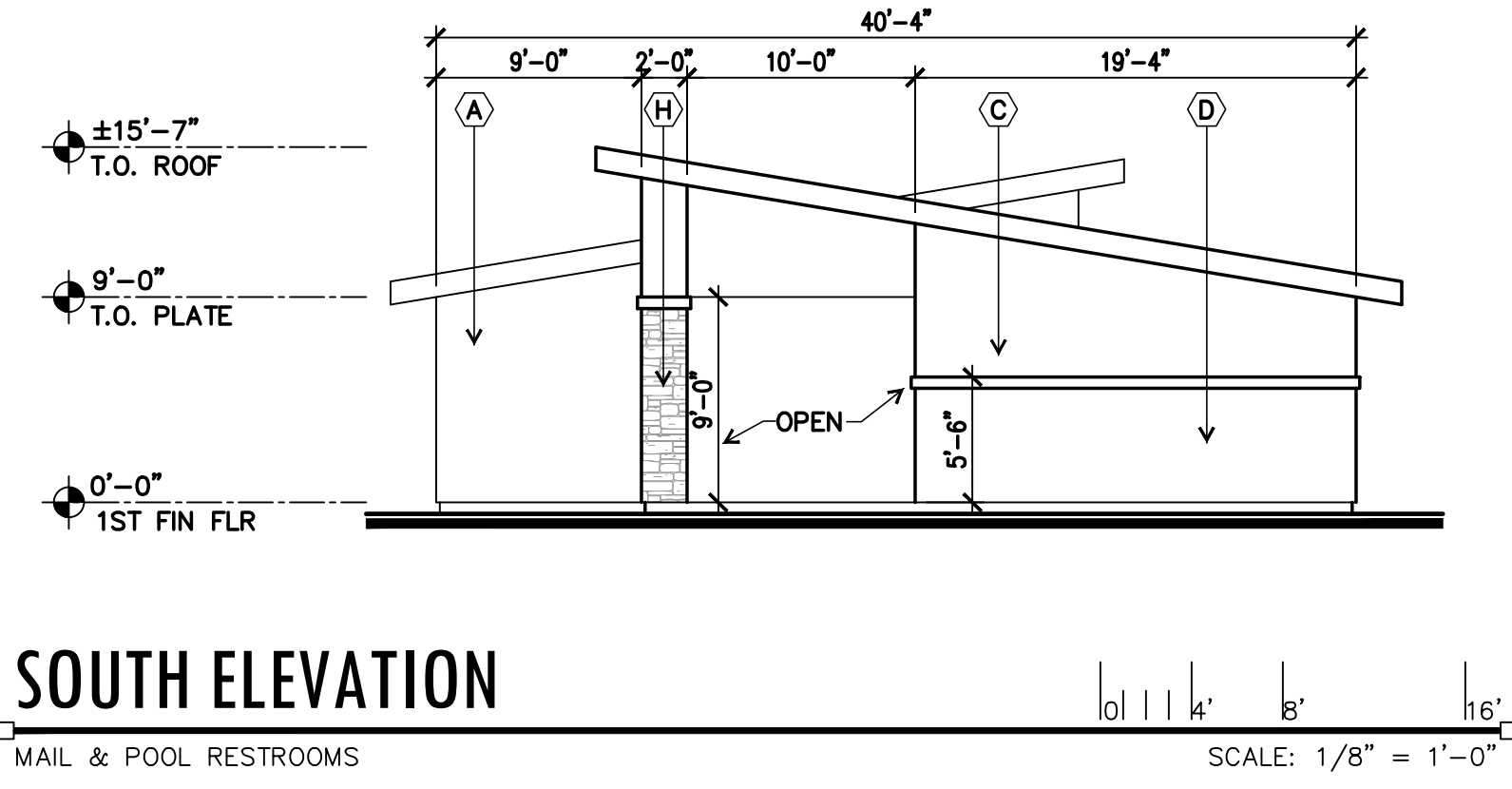
MARKANA APARTMENTS - II

SAN PEDRO AND ALAMEDA
Albuquerque, New Mexico



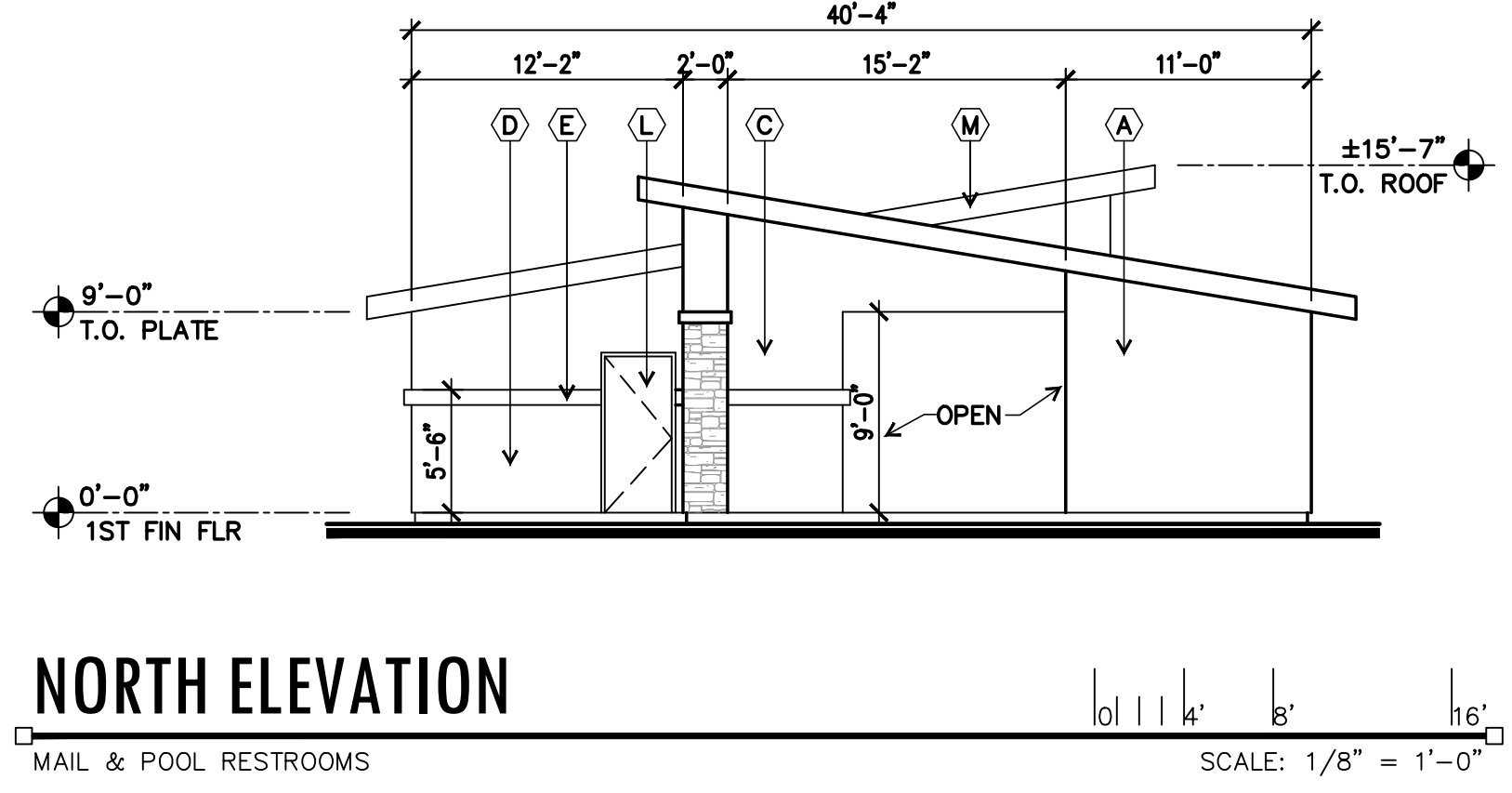
- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH LIGHT BEIGE
 - (B) STUCCO FINISH DARK BEIGE
 - (C) STUCCO FINISH LIGHT GRAY
 - (D) STUCCO FINISH MEDIUM GRAY
 - (E) STUCCO FINISH DARK GRAY
 - (F) TILE ROOF
 - (G) RAILINGS DARK GRAY
 - (H) STONE VENEER
 - (I) EXPOSED LIGHT CMU
 - (J) EXPOSED DARK CMU
 - (K) WALL OPENING
 - (L) SERVICE DOOR, COLOR TO MATCH ADJACENT WALL
 - (M) METAL ROOF DARK GRAY

- GENERAL NOTES:**
1. ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE ADJACENT PUBLIC RIGHT-OF-WAY BY PARAPET WALLS OR STRUCTURAL FEATURES THAT SHALL NOT EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT, IN ORDER TO ACHIEVE VERTICAL ARTICULATION. ARCHITECTURAL/STRUCTURAL FEATURES MAY EXCEED THE HEIGHT OF THE SUPPORTING WALL BUT SHALL NOT, AT ANY POINT, EXCEED ONE-HALF (1/2) OF THE HEIGHT OF THE SUPPORTING WALL.
 2. SKYLIGHTS AND ROOF VENTS ARE PERMITTED ONLY ON THE ROOF PLANE OPPOSITE THE PRIMARY STREET OR RIGHT-OF-WAY OR WHEN SHIELDED FROM PUBLIC RIGHT-OF-WAY VIEW BY THE BUILDING'S PARAPET.
 3. GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICE.



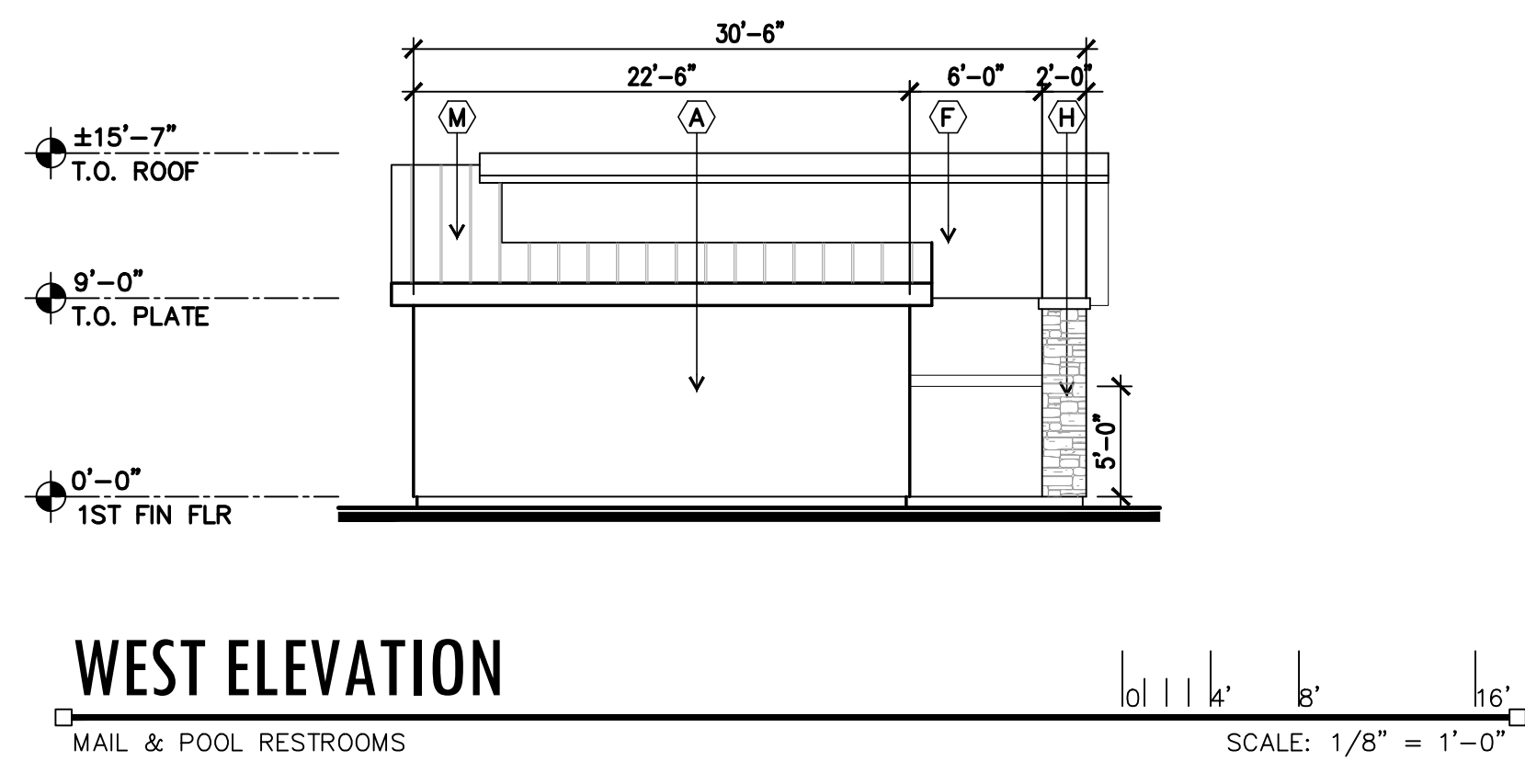
SOUTH ELEVATION

MAIL & POOL RESTROOMS SCALE: 1/8" = 1'-0"



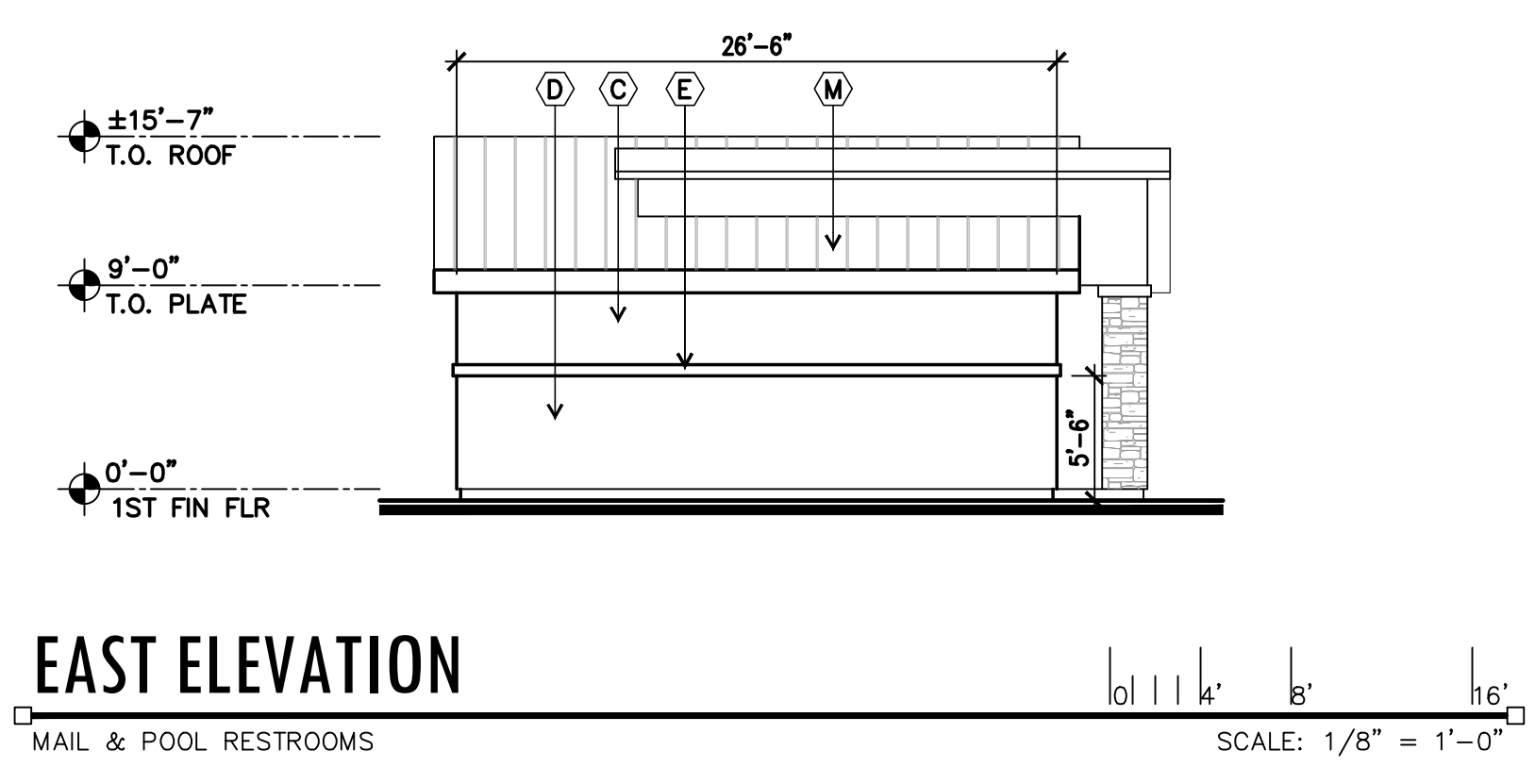
NORTH ELEVATION

MAIL & POOL RESTROOMS SCALE: 1/8" = 1'-0"



WEST ELEVATION

MAIL & POOL RESTROOMS SCALE: 1/8" = 1'-0"



EAST ELEVATION

MAIL & POOL RESTROOMS SCALE: 1/8" = 1'-0"

Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the architect. The drawings and specifications are instruments of service and shall remain the property of the architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the architect.

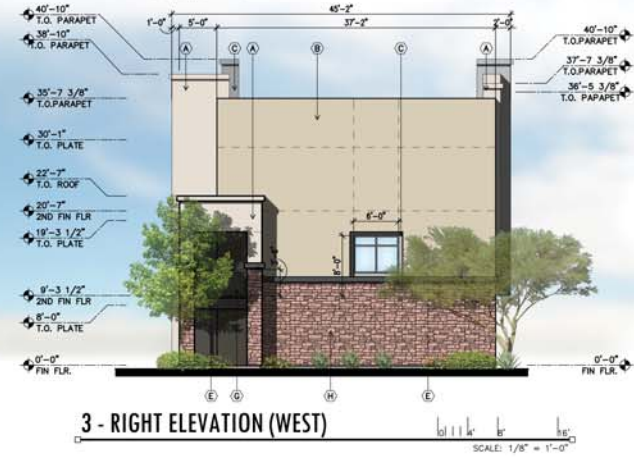
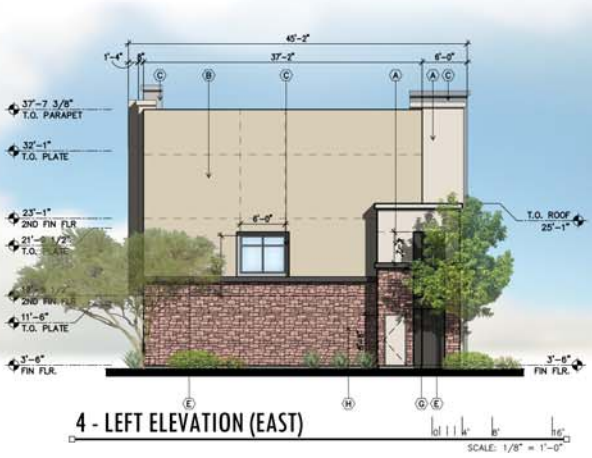
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REVISIONS

PROGRESS SET
DATE: JULY 12, 2018 ORB # 17-219

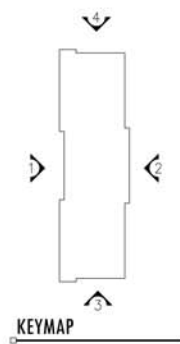
A5.11

MAIL ROOM ELEVATIONS



- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH LIGHT BEIGE
 - (B) STUCCO FINISH DARK BEIGE
 - (C) STUCCO FINISH LIGHT GRAY
 - (D) STUCCO FINISH MEDIUM GRAY
 - (E) STUCCO FINISH DARK GRAY
 - (F) TILE ROOF
 - (G) RAINLIPS DARK GRAY
 - (H) STONE VENEER
 - (I) EXPOSED LIGHT CMU
 - (J) EXPOSED DARK CMU
 - (K) WALL OPENING
 - (L) SERVICE DOOR, COLOR TO MATCH ADJACENT WALL
- GENERAL NOTES:**

1. ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE ADJACENT PUBLIC RIGHT-OF-WAY BY PARAPETS OR WALLS OF STRUCTURAL FEATURES THAT SHALL NOT EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT IN ORDER TO ACHIEVE VERTICAL ARTICULATION. ARCHITECTURAL/STRUCTURAL FEATURES MAY EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT BUT SHALL NOT AT ANY POINT EXCEED ONE-HALF (1/2) OF THE HEIGHT OF THE ROOF VENTS. WALL SCREENING OF THIS ROOF VENTS ARE PERMITTED ONLY ON THE PRIMARY STREET OR RIGHT-OF-WAY OR WHICH SHALL NOT FROM PUBLIC RIGHT-OF-WAY VIEW BY THE BUILDING'S PARAPET.
2. SECOND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING TRANSFORMERS ADJACENT TO A MAJOR FACILITY SHALL BE SCREENED THROUGH ONE'S EXPOSED CLIMATE OF OTHER ACCEPTABLE SCREENING DEVICE.





1 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"



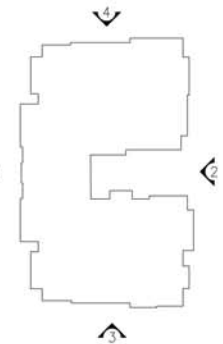
2 - REAR ELEVATION

SCALE: 1/8" = 1'-0"

MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT BEIGE
 - (B) STUCCO FINISH DARK BEIGE
 - (C) STUCCO FINISH LIGHT GRAY
 - (D) STUCCO FINISH MEDIUM GRAY
 - (E) STUCCO FINISH DARK GRAY
 - (F) TILE ROOF
 - (G) RAILINGS DARK GRAY
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2. SECOND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING TRANSFORMERS ADJACENT TO A MAJOR ROADWAY SHALL BE SCREENED THROUGH USE OF A SCREENED PLUMB OR OTHER ACCEPTABLE SCREENING DEVICE.



KEYMAP

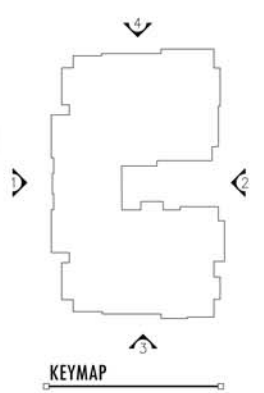


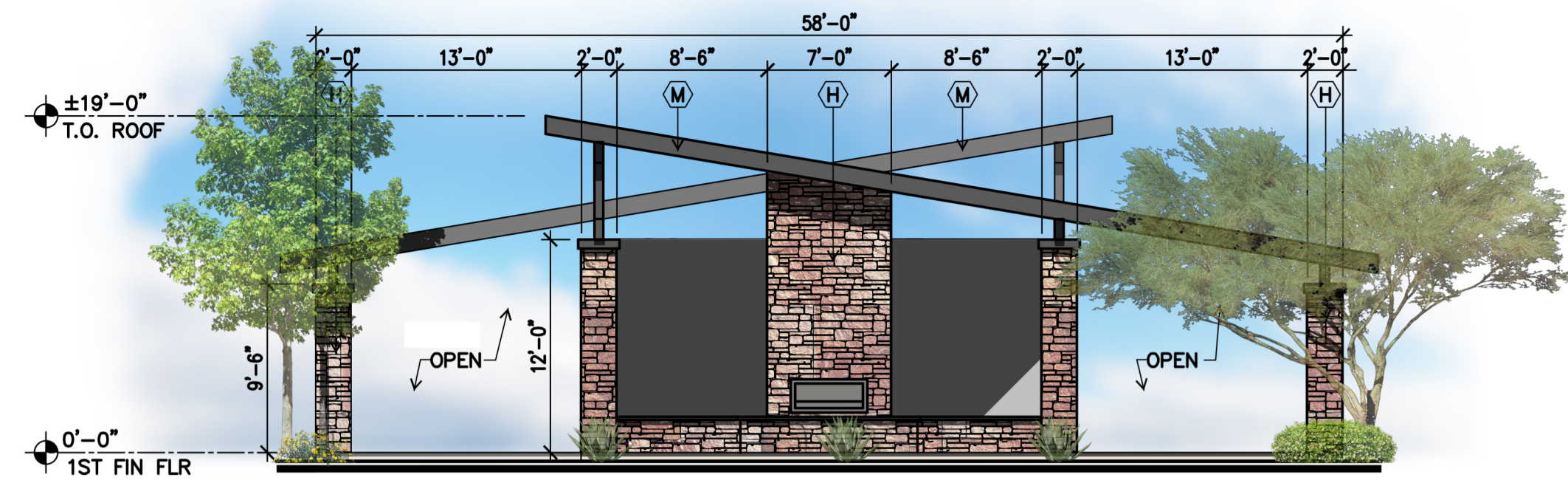


MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT BEIGE
 - (B) STUCCO FINISH DARK BEIGE
 - (C) STUCCO FINISH LIGHT GRAY
 - (D) STUCCO FINISH MEDIUM GRAY
 - (E) STUCCO FINISH DARK GRAY
 - (F) TILE ROOF
 - (G) RAILINGS DARK GRAY
 - (H) STONE VENEER
 - (I) EXPOSED LIGHT CMU
 - (J) EXPOSED DARK CMU
 - (K) WALL OPENING
 - (L) SERVICE DOOR COLOR TO MATCH ADJACENT WALL
- GENERAL NOTES:**

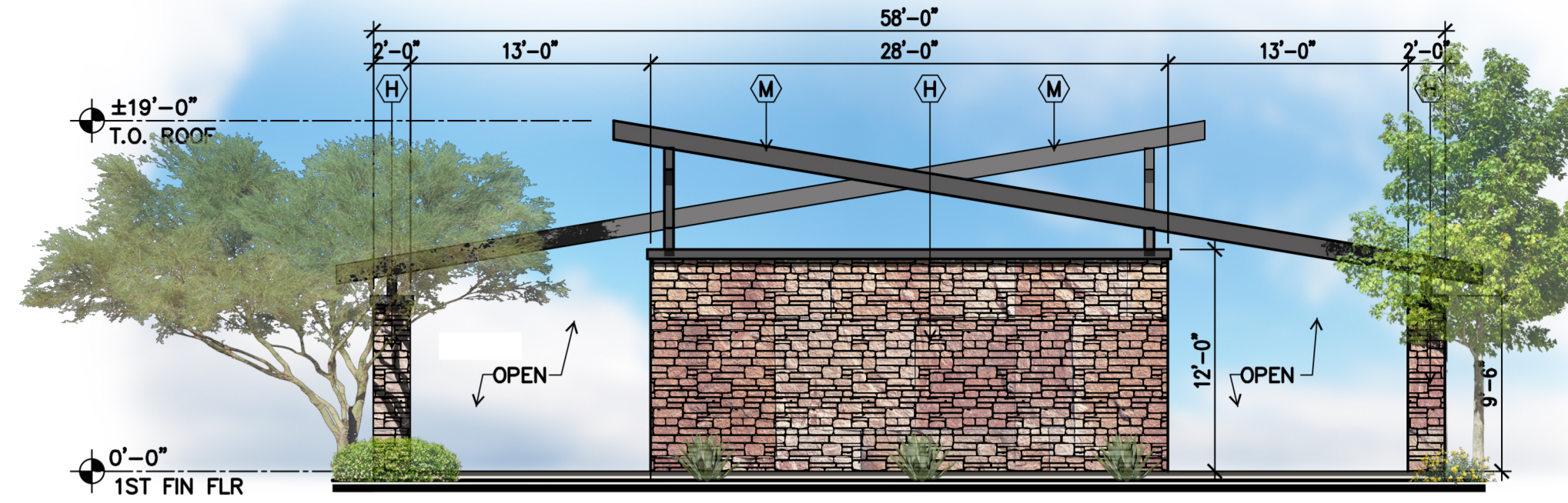
1. ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE ADJACENT PUBLIC RIGHT-OF-WAY BY PARAPET WALLS OR STRUCTURAL FEATURES THAT SHALL NOT EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT IN ORDER TO ACHIEVE VERTICAL ARTICULATION. ARCHITECTURAL/STRUCTURAL FEATURES MAY EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT BUT SHALL NOT AT ANY POINT EXCEED ONE-HALF (1/2) OF THE WALL HEIGHT. RISERS AND ROOF VENTS ARE PERMITTED ONLY ON THE ROOF PLANE OR FROM THE PRIMARY STREET OR RIGHT-OF-WAY OR WHEN SHIELDED FROM PUBLIC RIGHT-OF-WAY VIEW BY THE BUILDING'S PARAPET.
2. SECOND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING TRANSFORMERS ADJACENT TO A MAJOR FACED SHALL BE SCREENED THROUGH ONE'S EXPOSED CLADDING OF OTHER ACCEPTABLE SCREENING DEVICE.





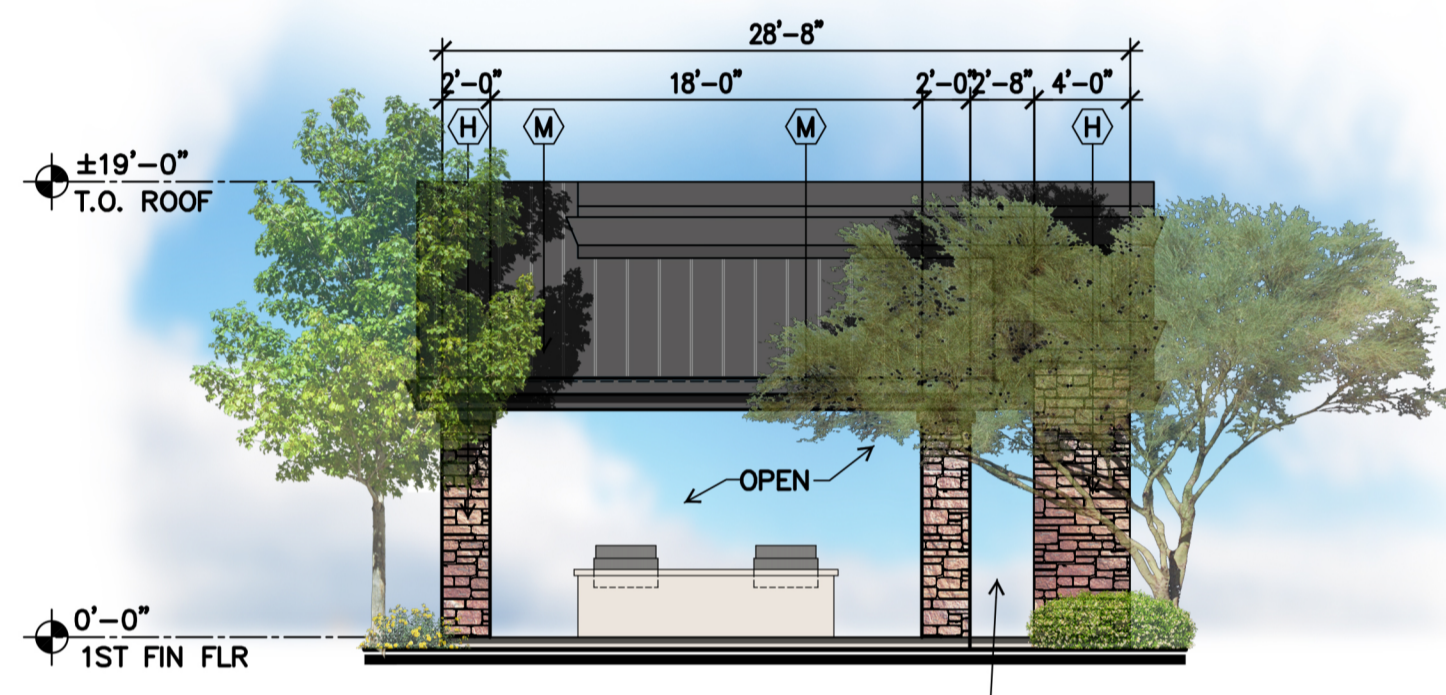
SOUTH ELEVATION

POOL RAMADA SCALE: 1/8" = 1'-0"



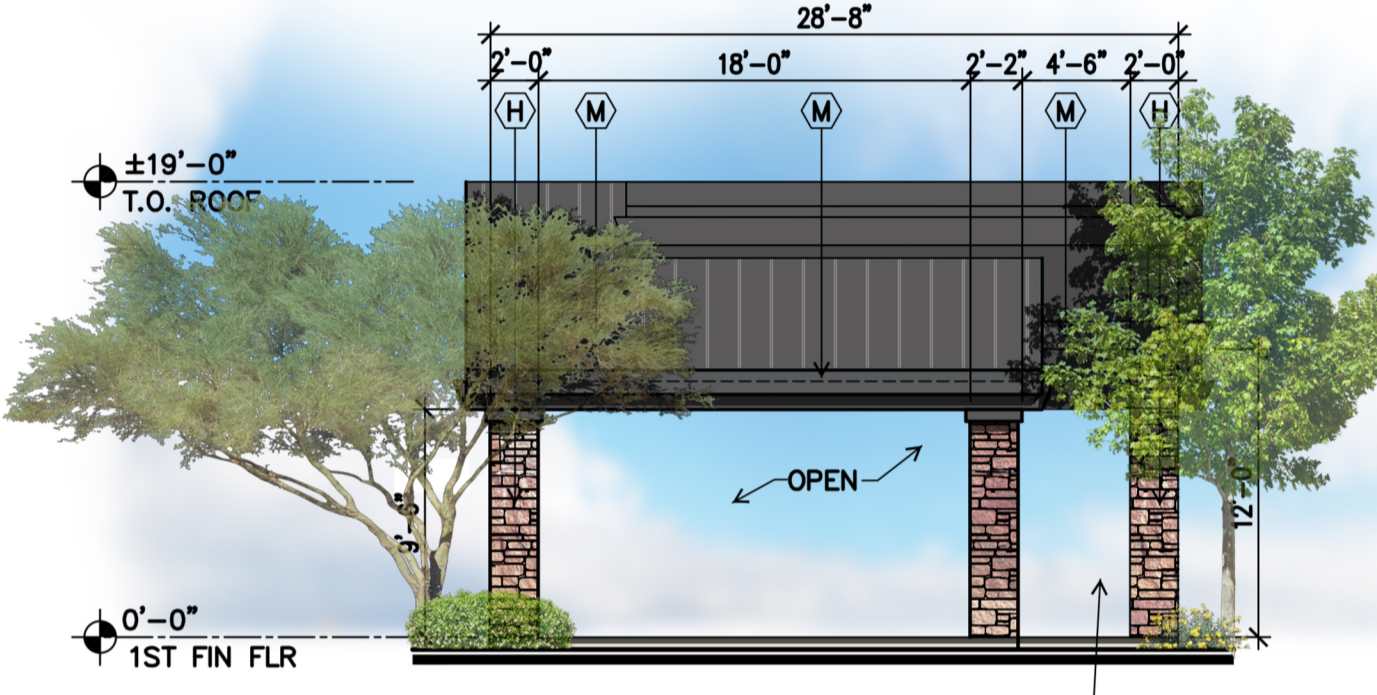
NORTH ELEVATION

POOL RAMADA SCALE: 1/8" = 1'-0"



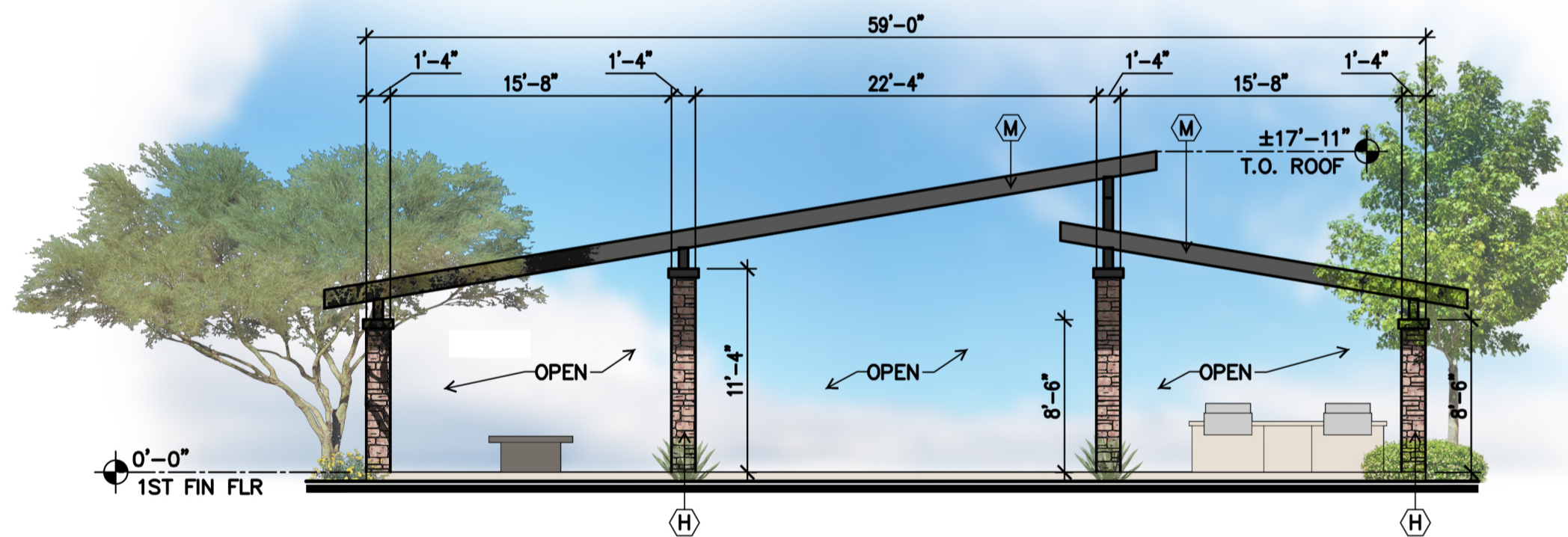
EAST ELEVATION

POOL RAMADA SCALE: 1/8" = 1'-0"



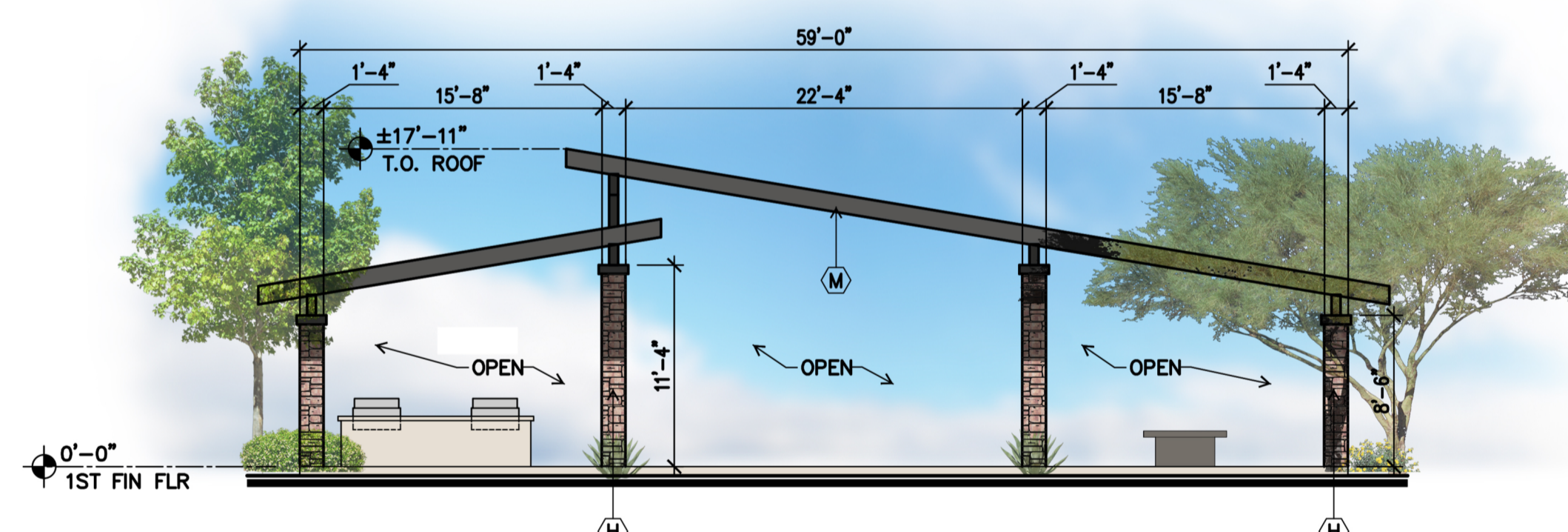
WEST ELEVATION

POOL RAMADA SCALE: 1/8" = 1'-0"



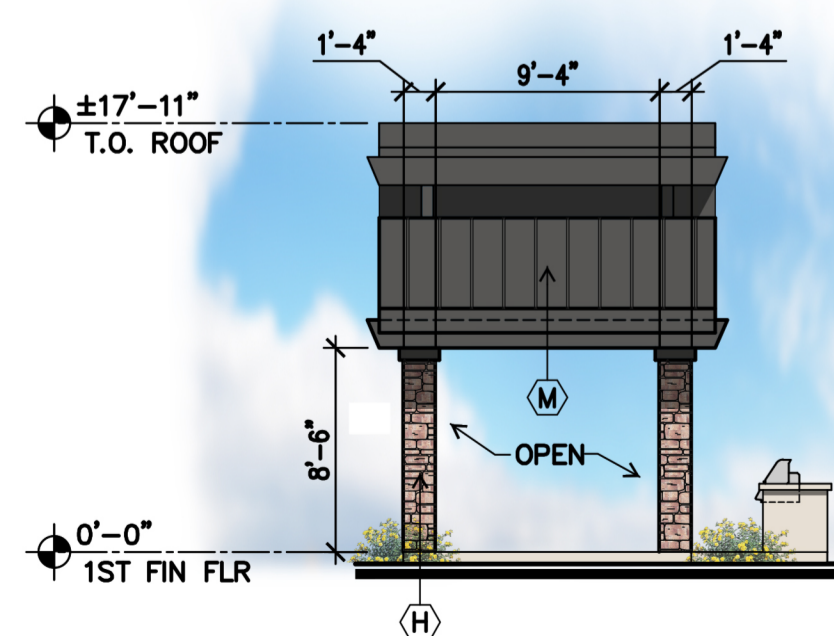
SOUTH ELEVATION

WEST RAMADA SCALE: 1/8" = 1'-0"



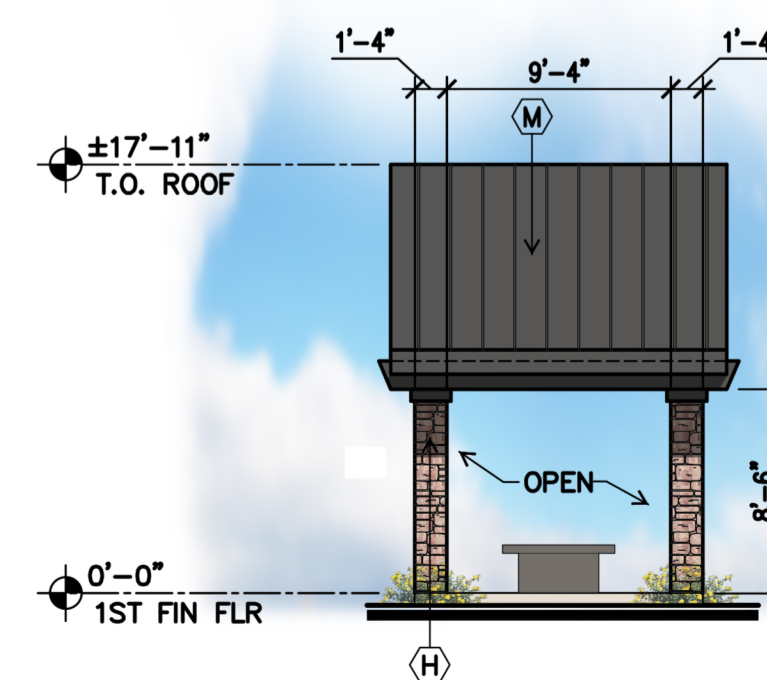
NORTH ELEVATION

WEST RAMADA SCALE: 1/8" = 1'-0"



EAST ELEVATION

WEST RAMADA SCALE: 1/8" = 1'-0"



WEST ELEVATION

WEST RAMADA SCALE: 1/8" = 1'-0"

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- (J) EXPOSED DARK CMU
- (K) WALL OPENING
- (L) SERVICE DOOR, COLOR TO MATCH ADJACENT WALL
- (M) METAL ROOF DARK GRAY

GENERAL NOTES:

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2. SKYLIGHTS AND ROOF VENTS ARE PERMITTED ONLY ON THE ROOF PLANE OPPOSITE THE PRIMARY STREET OR RIGHT-OF-WAY OR WHEN SHIELDED FROM PUBLIC RIGHT-OF-WAY VIEW BY THE BUILDING'S PARAPET.
3. GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICE.

MARKANA APARTMENTS - II

SAN PEDRO AND ALAMEDA
Albuquerque, New Mexico



WorldHQ@ORBArch.com



LEGACY HOSPITALITY

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PROGRESS SET

DATE: JULY 12, 2018 ORB # 17-219

A5.10

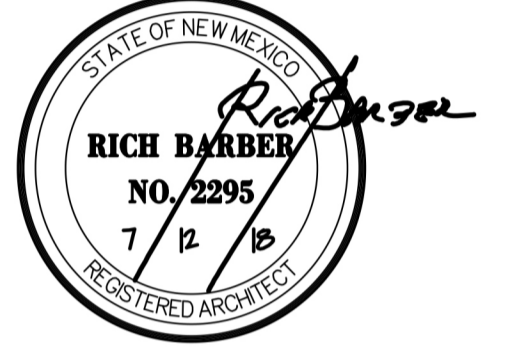
RAMADA ELEVATIONS

MARKANA APARTMENTS - II

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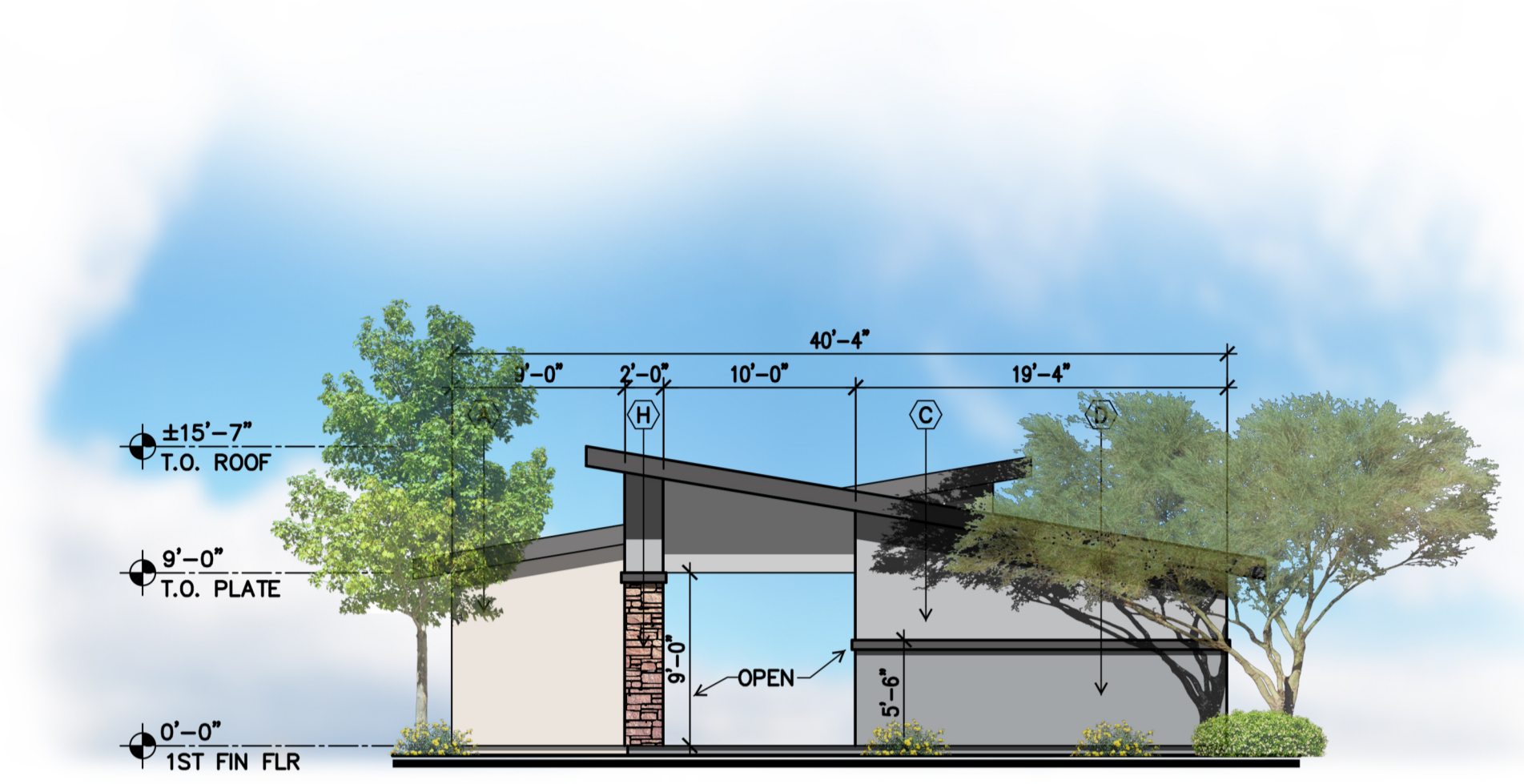
LEGACY HOSPITALITY

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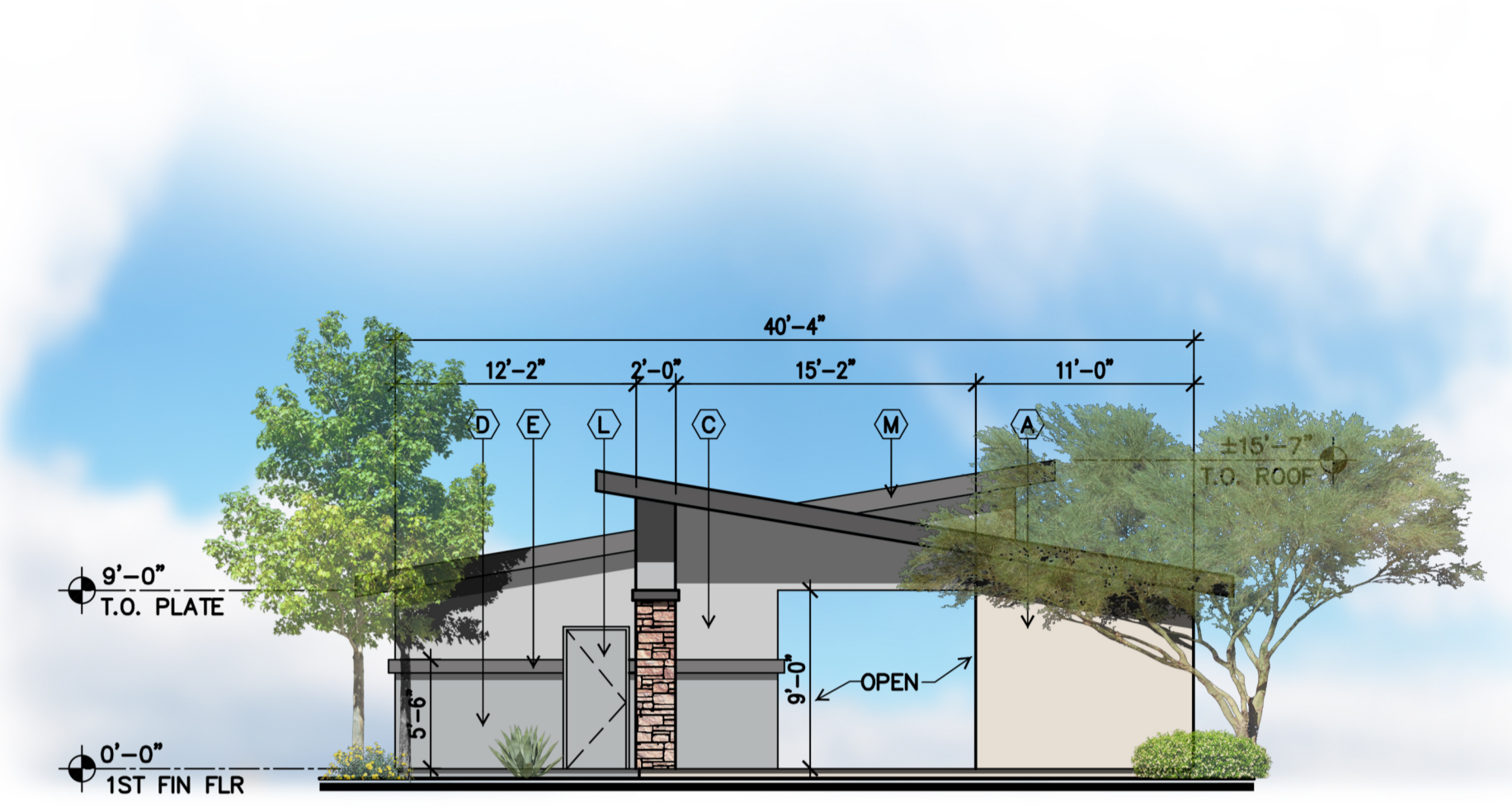
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SOUTH ELEVATION

MAIL & POOL RESTROOMS SCALE: 1/8" = 1'-0"



NORTH ELEVATION

MAIL & POOL RESTROOMS SCALE: 1/8" = 1'-0"



EAST ELEVATION

MAIL & POOL RESTROOMS SCALE: 1/8" = 1'-0"



WEST ELEVATION

MAIL & POOL RESTROOMS SCALE: 1/8" = 1'-0"

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REVISIONS

NO.	DATE	DESCRIPTION

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DATE: JULY 12, 2018 ORB # 17-219

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MAIL ROOM ELEVATIONS