

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines unless noted differently below. Bring original Mylar of plat with property owner’s and City Surveyor’s signatures on it to the meeting. Your attendance is required.

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

>> INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- Zone Atlas map with the entire site clearly outlined and labeled

SKETCH PLAT REVIEW AND COMMENT

- Letter describing, explaining, and justifying the request
- Scale drawing of the proposed subdivision plat (7 copies, folded)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded)

MAJOR SUBDIVISION FINAL PLAT APPROVAL (requires published notice, heard on the DRB Major Case Schedule)

- Letter describing, explaining, and justifying the request
- Copy of recorded IIA
- Proposed Final Plat (7 copies, 24” x 36” folded)
- Design elevations & cross sections of perimeter walls (3 copies)
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- DXF file and hard copy of final plat data for AGIS submitted and approved


MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL

- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(l)
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- Required notice with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination Public Notice Inquiry response
 - Proof of emailed notice to applicable Neighborhood Association representatives
- Proposed Preliminary / Final Plat with property owner’s and City Surveyor’s signatures on the plat prior to submittal (7 copies, folded)
- Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11” by 17” maximum)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- Proposed Infrastructure List, if applicable
- DXF file and hard copy of final plat data for AGIS submitted and approved

MINOR AMENDMENT TO PRELIMINARY PLAT OR INFRASTRUCTURE LIST

- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: _____</p>	<p>Date: 04/24/2020</p>
<p>Printed Name: Jeremy Shell</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Case Numbers: _____</p>	<p>Project Number _____</p>
<p>Staff Signature: _____</p>	
<p>Date: _____</p>	



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	MISCELLANEOUS APPLICATIONS	
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input checked="" type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	PRE-APPLICATIONS
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
SITE PLANS		
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Minor Amendment to Infrastructure List		

APPLICATION INFORMATION		
Applicant: Legacy Hospitality, LCC		Phone:
Address: 6501 Eagle Rock Ave. NE, Suite B-5		Email: akassam@legacy-hospital.com
City: Albuquerque	State: NM	Zip: 87113
Professional/Agent (if any): RESPEC		Phone: (505) 253-9811
Address: 5971 Jefferson St. NE, Suite 101		Email: Jeremy.shell@respec.com
City: Albuquerque	State: NM	Zip: 87107
Proprietary Interest in Site:		List all owners: Vandy Investments/Legacy Hospitality, LCC
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Lots 1-a Tract A		Block: Unit: B
Subdivision/Addition: North Albuquerque Acres		MRGCD Map No.: UPC Code:
Zone Atlas Page(s): C-18-Z	Existing Zoning:	Proposed Zoning
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 4.8
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: Alameda Blvd. NE	Between: San Pedro Dr. NE	and: Louisiana Blvd NE
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
C18D083_SPBP_APPR.		

Signature:		Date: 04-24-2020	
Printed Name: Jeremy Shell		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	
FOR OFFICIAL USE ONLY			
Case Numbers	Action	Fees	Case Numbers
Meeting Date:			Fee Total:
Staff Signature:		Date:	Project #



April 24, 2020

City of Albuquerque
Development Review Board
Plaza del Sol
600 Second Street NW
Albuquerque, NM 87102

RE: Infrastructure List Revision, Legacy NAA-2 Apartments, Owner: Legacy Hospitality, LLC.

RESPEC Inc., agent for Legacy Hospitality, – is requesting an **Infrastructure List Revision** for lot 1-a, Tract A Unit B North Albuquerque Acres. We are requesting that the Development Review Board approve the Infrastructure List Revision Request.

This request pertains to the property located at the north east corner of Alameda boulevard and San Pedro drive. The current Infrastructure List was approved on April 04, 2018. The current IIA and financial guarantee are set to expire on January 07, 2021. We are requesting an Infrastructure List Revision because the sewer main in Alameda is no longer needed.

This development was required to provide a financial guaranty for the public sewer main in Alameda mainly due to Lot 11-A (formerly Lot 11) further east on Alameda not having a sanitary sewer outfall available. The ABCWUA wanted to be comfortable that Lot 11 could be served via a stub that would be provided via the Pulte development prior to the release of this financial guarantee.

Pulte separated their project into two separate work orders. One covers the infrastructure internal to the subdivision as well as the improvements to Signal. The other is for the improvements within the Alameda right-of-way. Our understanding is that the first work order is complete and closed out. See attached sheet showing what has been constructed in La Pradera Way. The Tract A Unit B North Albuquerque Acres has a blanket public sewer/water easement (See general notes on attached Campo Del Norte plat). This means that an easement between the terminus of La Pradera and Alameda right-of-way would not be necessary for lot 11-A to connect to the terminus of public sewer in La Padera Way.

Therefore, Lot 11-A now has a public sewer stubbed to Alameda that is intended to serve them within public right-of-way. Lot 11-A has access to public sewer at this location and would not require an extension in Alameda from San Pedro.

5971 JEFFERSON ST., NE
SUITE 101
ALBUQUERQUE, NM 87109
505.268.2661

DRB Project # 1011396
18DRB-70046



We request the infrastructure list amendment based on the following review and design criteria as listed in IDO Part 14-16-6-4(X)(2).

Criteria 1 "The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property."

The amendment is necessary because the proposed sanitary sewer is no longer being considered, the Lot 11-A now has access to public sanitary and would not require an extension in Alameda from San Pedro

Criteria 2 "The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-5 (cumulative of any earlier deviations or amendments)."

The amendment does not increase or decrease the dimensions in Table 6-4-5 of the IDO. This submittal only requests that the requirement to construct the sewer main in Alameda lot 11-A now has a sanitary sewer outfall.

Criteria 3 "The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use."

The amendment does not decrease the total amount of open space in the development or the amount of space abutting a lot containing a residential use because the amendment does not change the preliminary plat or site plan and only requests that the requirement to construct the sewer main in Alameda be dismissed.

Criteria 4 "The amendment does not reduce any building setback adjacent to development containing residential uses by any amount."

The amendment does not reduce any building setback adjacent to development containing residential uses by any amount because the amendment does not pertain to the preliminary plat or site plan and only requests that the requirement to construct the sewer main in Alameda.

Criteria 5 "The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan."

The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan because the amendment does not pertain to the preliminary plat or site plan and only requests that the requirement to construct the sewer main in Alameda.

Criteria 6 "The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties."

The amendment does not adjust a building design because the amendment is not to the preliminary plat or site plan and only requests that the requirement to construct the sewer main in Alameda.

Criteria 7 "The amendment does not reduce the amount of total landscaping installed on the property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas."

The amendment does not reduce the amount of total landscaping or the amount of buffering previously because the amendment does not change the approved preliminary plat or site plan and only requests that the requirement to construct the sewer main in Alameda.

Criteria 8 "The amendment does not increase the traffic accessing the property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties."

The amendment does not increase traffic accessing the property and does not increase or decrease the number for through streets, sidewalks, trails or trail connections passing through the property through the property or connecting to or designed to connect to abutting properties because the amendment removes the offsite sewer requirements and does not change the property's traffic flow.

Criteria 9 "Other than those allowed within the threshold of a minor amendment pursuant to Table 6-4-4, the amendment does not affect a standard in Section 14-16-5-3 (Access and Connectivity), Section 14-16-5-4 (Subdivision of Land), Section 14-16-5-5 (Parking and Loading), or the DPM, in which case DRB review is required through a Site Plan – DRB pursuant to Subsection 14-16-6-6(G)."

The amendment does not affect a standard in Section 14-16-5-3 (Access and Connectivity), Section 14-16-5-4 (Subdivision of Land), Section 14-16-5-5 (Parking and Loading), or the DPM because the amendment does not change the approved preliminary plat or site plan and only requests that the requirement to construct the sewer main in Alameda.

Criteria 10 "The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process."



The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the property because there were no specific conditions attached to the property.

Criteria 11 "The amendment does not affect a property in an Overlay zone as regulated per Part 14-16-3, in which case amendments may be granted per the original approval process for the Site Plan governing the site."

The site is not located within the overlay zone.

Criteria 12 "The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the property."

The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the property because the amendment does not change the land use of the property.

Criteria 13 "The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities)."

The amendment does not expand a nonconformity because the amendment is related to the sewer requirements for the property.

I appreciate your consideration in this matter.

Included with this submittal:

- Zone Atlas map with the entire property(ies) clearly outlined
- Seven (7) copies of the DRB approved infrastructure list
- Seven (7) copies of the proposed infrastructure list
- Construction plan for sewer in La Pradera Way
- Campo Del Norte Plat

Sincerely,

Jeremy Shell
Engineer

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**LOT 1-A, BLOCK 28, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**PORTIONS OF LOTS 1, 30, 31, AND 32 AND ALL OF LOTS 2 AND 3, BLOCK 28, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		PAVING							
			DEMO EXISTING DRIVEWAY, NEW CURB & GUTTER AND SIDEWALK	SAN PEDRO DR	BETWEEN ALAMEDA BLVD	AND OAKLAND AVE	/	/	/
			MODIFICATIONS TO DRIVEWAY TO TIE PRIVATE CURB TO PUBLIC CURB	ALAMEDA BLVD	BETWEEN SAN PEDRO BLVD	AND EAST PROPERTY BOUNDARY	/	/	/
			NEW DRIVEWAY (EXIT ONLY)	OAKLAND AVE	BETWEEN SAN PEDRO DR	AND EAST PROPERTY BOUNDARY	/	/	/
		SANITARY SEWER							
		8" DIA	REMOVE EXISTING STUB, NEW SANITARY SEWER LINE AND CONNECTION TO EXISTING MH	OAKLAND AVE	BETWEEN SAN PEDRO DR	AND EAST PROPERTY BOUNDARY	/	/	/
		8" DIA	SANITARY SEWER W/ NECESSARY MH'S	ALAMEDA BLVD	SAN PEDRO DR	EAST PROPERTY BOUNDARY	/	/	/
		STORM DRAIN							
		18" DIA	RCP W/ CONNECTION TO EXISTING INLET	ALAMEDA BLVD	NE CORNER OF ALAMEDA AND SAN PEDRO		/	/	/
		WATER							
		8" DIA	COMPOUND METER	OAKLAND AVE	BETWEEN SAN PEDRO DR	AND EAST PROPERTY BOUNDARY	/	/	/
		8" DIA	WATERLINE W/ NECESSARY VALVES, FH'S, MJ'S & RJ'S	ALAMEDA BLVD	SAN PEDRO DR	EAST PROPERTY BOUNDARY	/	/	/
		6" DIA	REMOVE EXISTING 6" WATERLINE STUB	OAKLAND AVE	BETWEEN SAN PEDRO DR	AND EAST PROPERTY BOUNDARY	/	/	/

ORIGINAL

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: March 19, 2020

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: 1011396

**LOT 1-A, BLOCK 28, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**PORTIONS OF LOTS 1, 30, 31, AND 32 AND ALL OF LOTS 2 AND 3, BLOCK 28, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

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Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	PAVING	DEMO EXISTING DRIVEWAY, NEW CURB & GUTTER AND SIDEWALK	SAN PEDRO DR	BETWEEN ALAMEDA BLVD	AND OAKLAND AVE	/	/	/
<input type="text"/>	<input type="text"/>		MODIFICATIONS TO DRIVEWAY TO TIE PRIVATE CURB TO PUBLIC CURB	ALAMEDA BLVD	BETWEEN SAN PEDRO BLVD	AND EAST PROPERTY BOUNDARY	/	/	/
<input type="text"/>	<input type="text"/>		NEW DRIVEWAY (EXIT ONLY)	OAKLAND AVE	BETWEEN SAN PEDRO DR	AND EAST PROPERTY BOUNDARY	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>	STORM DRAIN	18" DIA RCP W/ CONNECTION TO EXISTING INLET	ALAMEDA BLVD	NE CORNER OF ALAMEDA AND SAN PEDRO		/	/	/
<input type="text"/>	<input type="text"/>	WATER	8" DIA COMPOUND METER	OAKLAND AVE	BETWEEN SAN PEDRO DR	AND EAST PROPERTY BOUNDARY	/	/	/
<input type="text"/>	<input type="text"/>		8" DIA WATERLINE W/ NECESSARY VALVES, FH'S, MJ'S & RJ'S	ALAMEDA BLVD	SAN PEDRO DR	EAST PROPERTY BOUNDARY	/	/	/
<input type="text"/>	<input type="text"/>		6" DIA REMOVE EXISTING 6" WATERLINE STUB	OAKLAND AVE	BETWEEN SAN PEDRO DR	AND EAST PROPERTY BOUNDARY	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:	Approval of Creditable Items:		
							Impact Fee Administrator Signature Date	City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
----------------------	--------------------------------------------------

JEREMY SHELL
NAME (print)

RESPEC
FIRM

SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

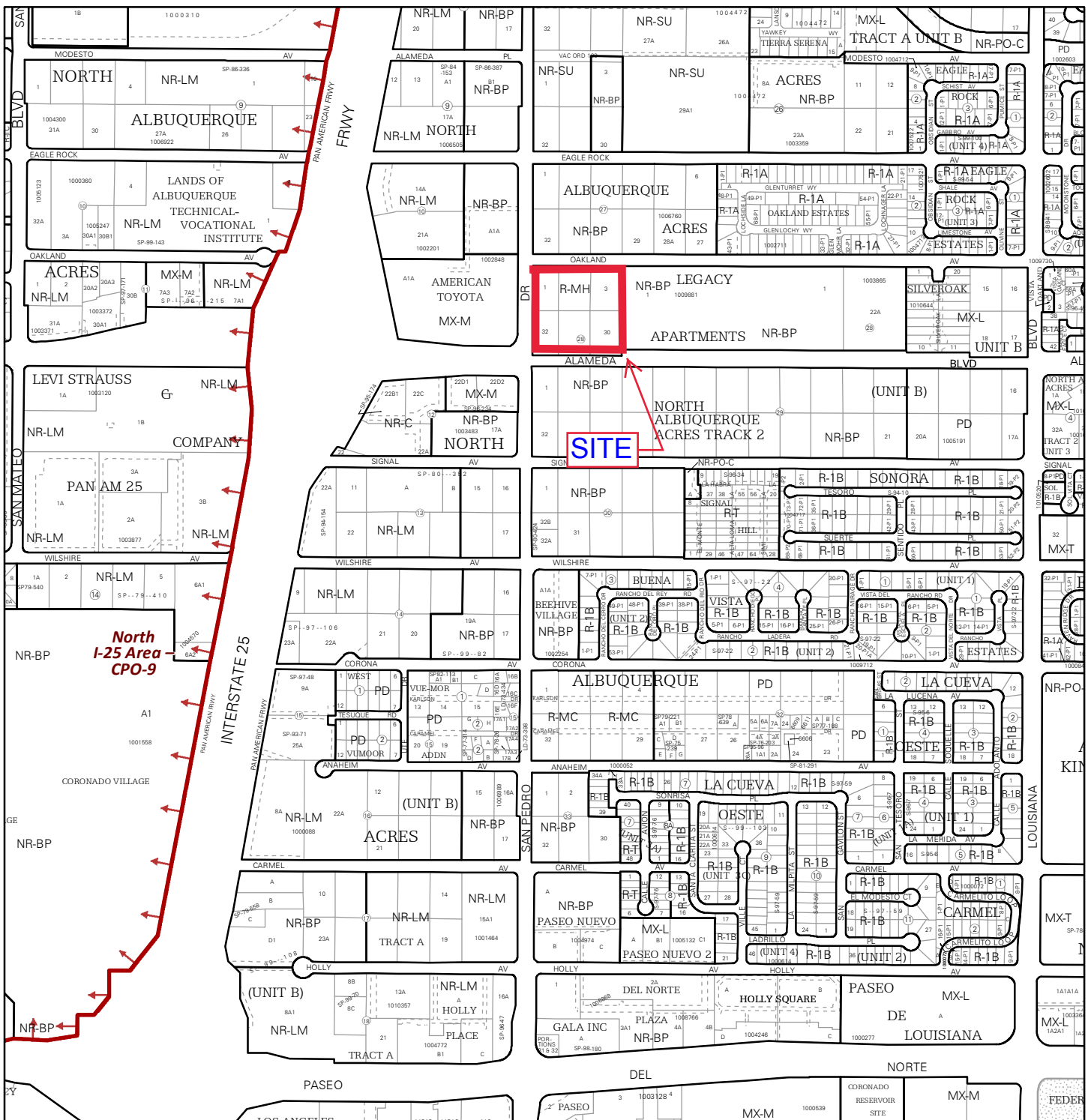
AMAFCA - date

CODE ENFORCEMENT - date

_____ - date

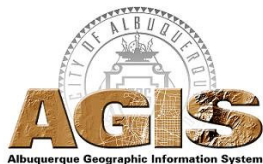
DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

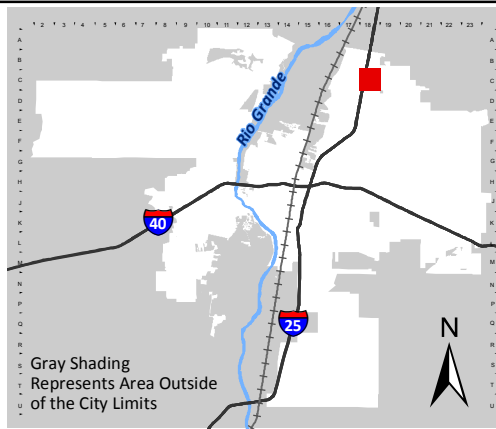


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

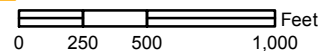


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
C-18-Z

- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone
- Escarpment
- Petroglyph National Monument

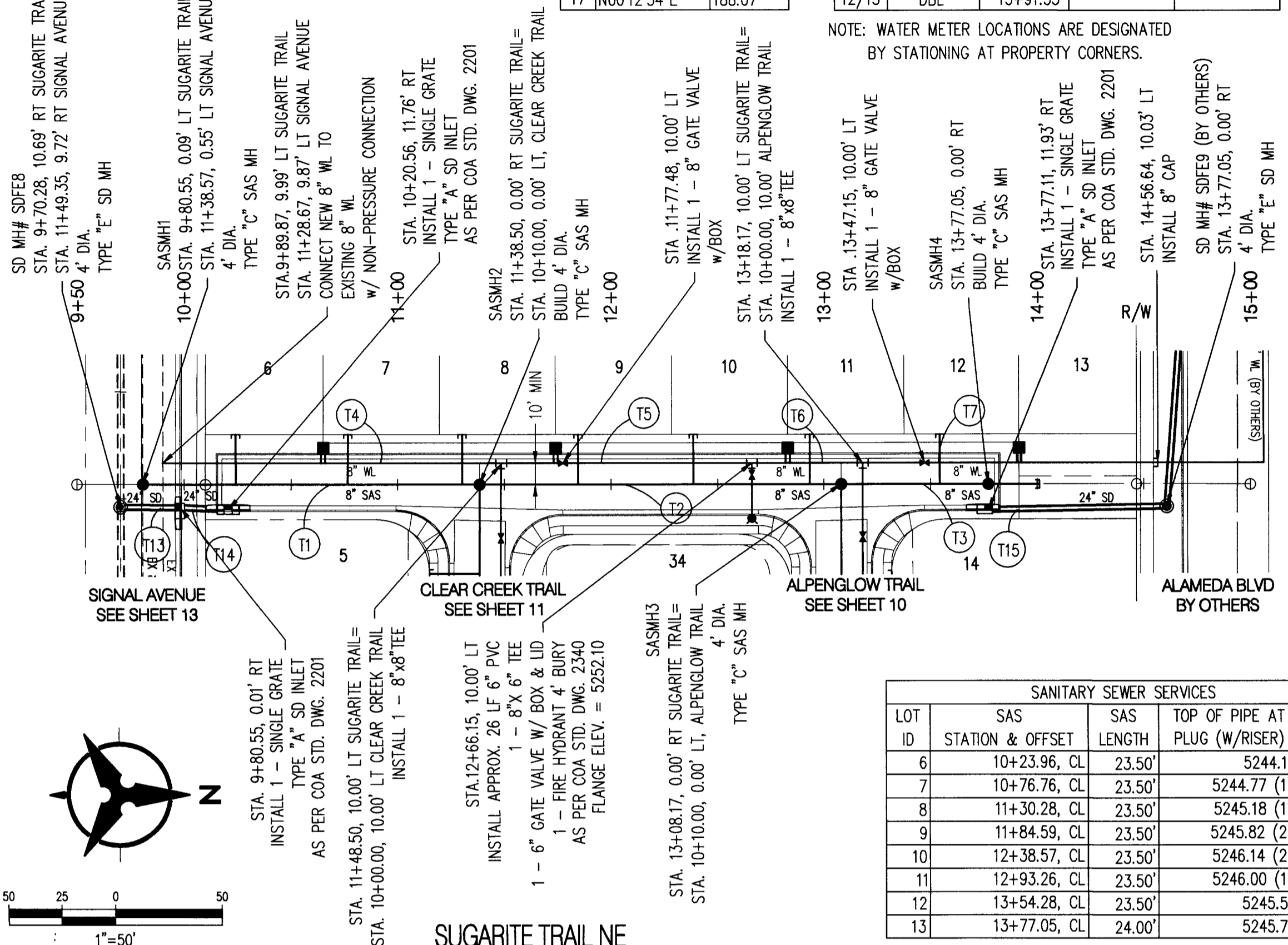


ID	BEARING	LENGTH
T1	N00°12'34"E	157.95'
T2	N00°12'34"E	169.67'
T3	N00°12'34"E	68.88'

ID	BEARING	LENGTH
T13	N00°18'34"E	27.72'
T14	N02°50'28"E	22.58'
T15	N00°44'51"W	83.80'

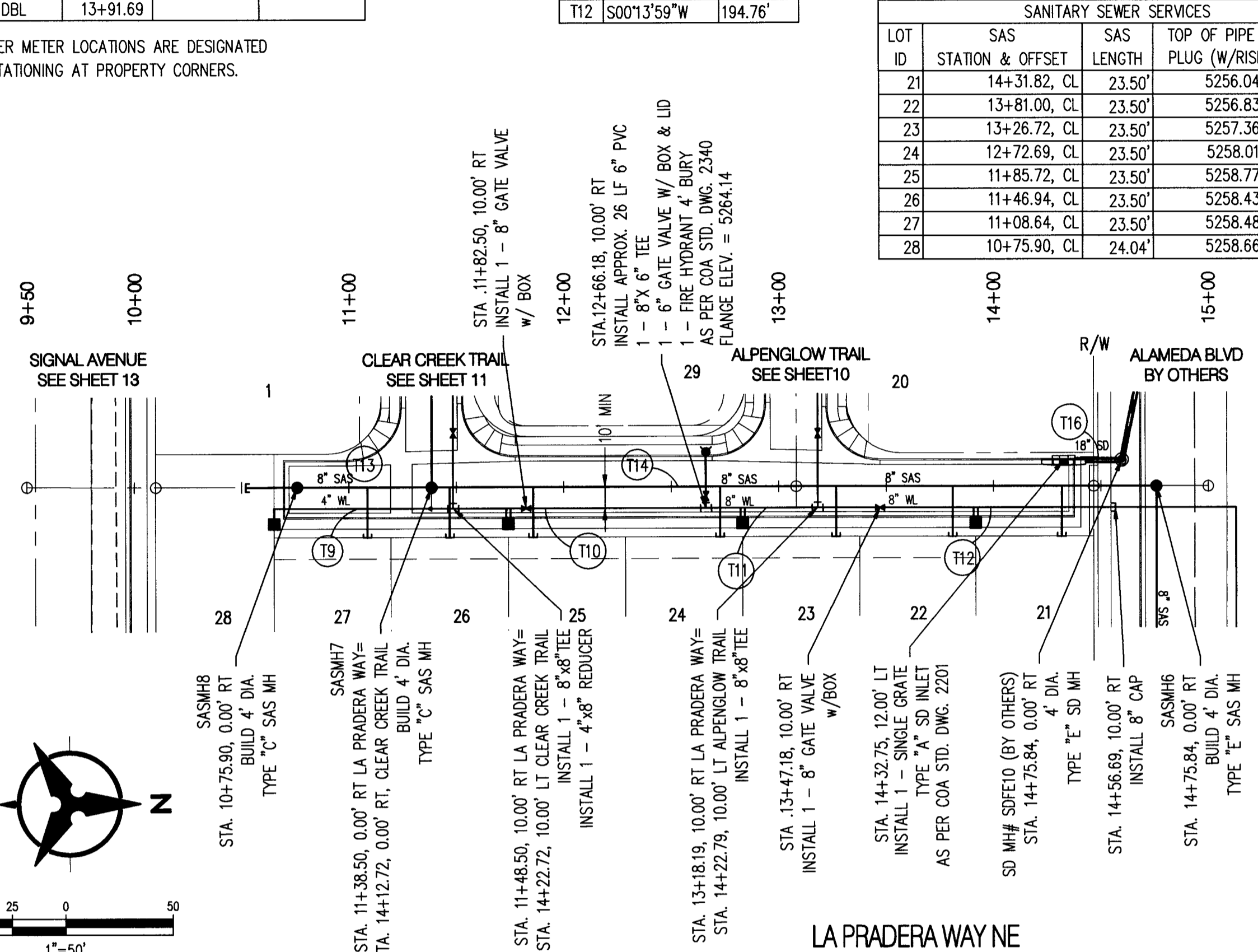
ID	BEARING	LENGTH
T4	N00°12'34"E	158.63'
T5	N00°12'34"E	117.65'
T6	N00°12'34"E	52.02'
T7	N00°12'34"E	188.07'

LOT	DESCRIPTION	STATION	EASTING	NORTING
6/7	DBL	10+65.05		
8/9	DBL	11+74.05		
10/11	DBL	12+83.05		
12/13	DBL	13+91.55		



LOT ID	SAS STATION & OFFSET	SAS LENGTH	TOP OF PIPE AT PLUG (W/RISER)
6	10+23.96, CL	23.50'	5244.15
7	10+76.76, CL	23.50'	5244.77 (1)
8	11+30.28, CL	23.50'	5245.18 (1)
9	11+84.59, CL	23.50'	5245.82 (2)
10	12+38.57, CL	23.50'	5246.14 (2)
11	12+93.26, CL	23.50'	5246.00 (1)
12	13+54.28, CL	23.50'	5245.55
13	13+77.05, CL	24.00'	5245.70

LOT	DESCRIPTION	STATION	EASTING	NORTING
27/28	DBL	10+65.19		
25/26	DBL	11+74.19		
23/24	DBL	12+83.19		
21/22	DBL	13+91.69		

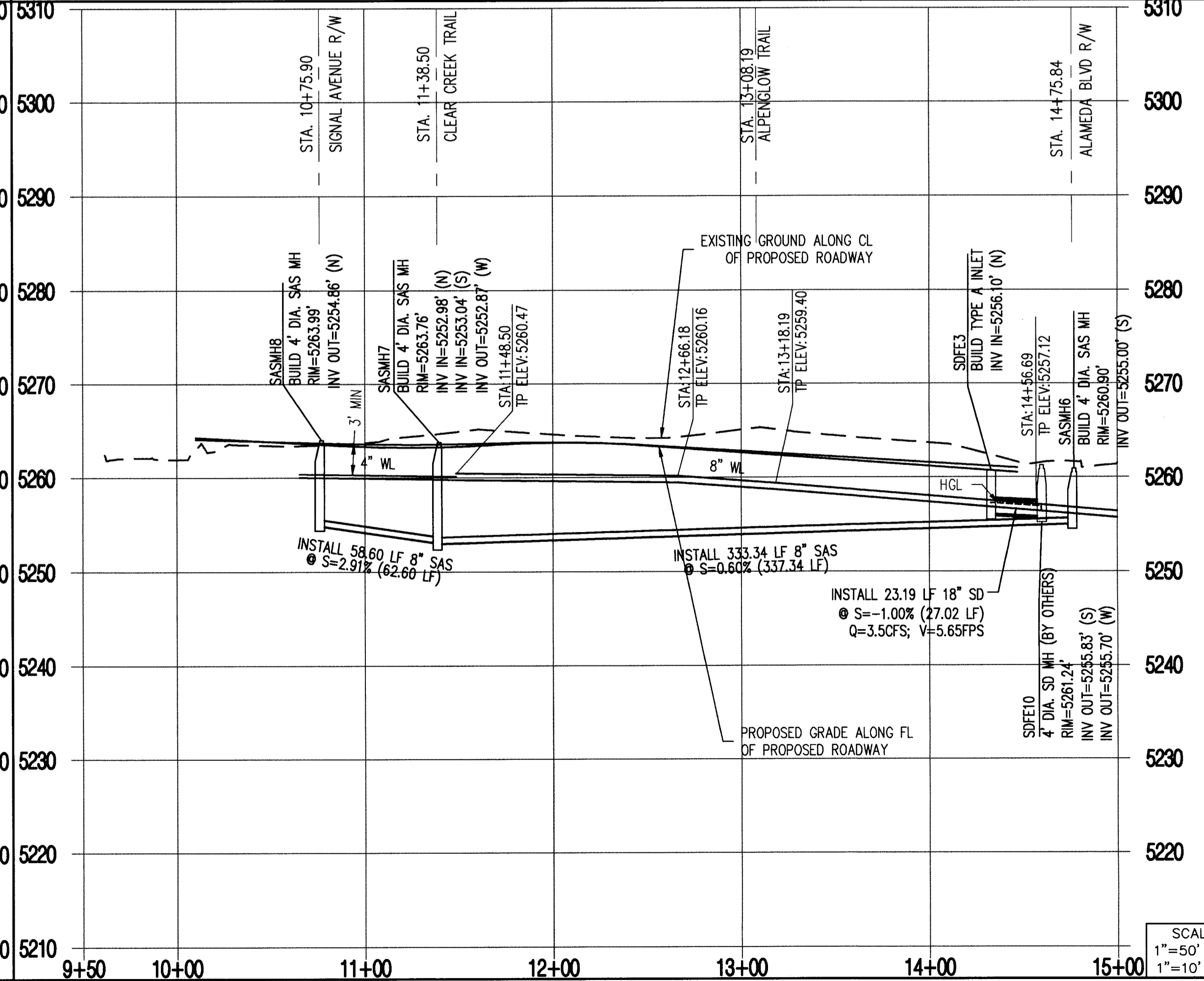
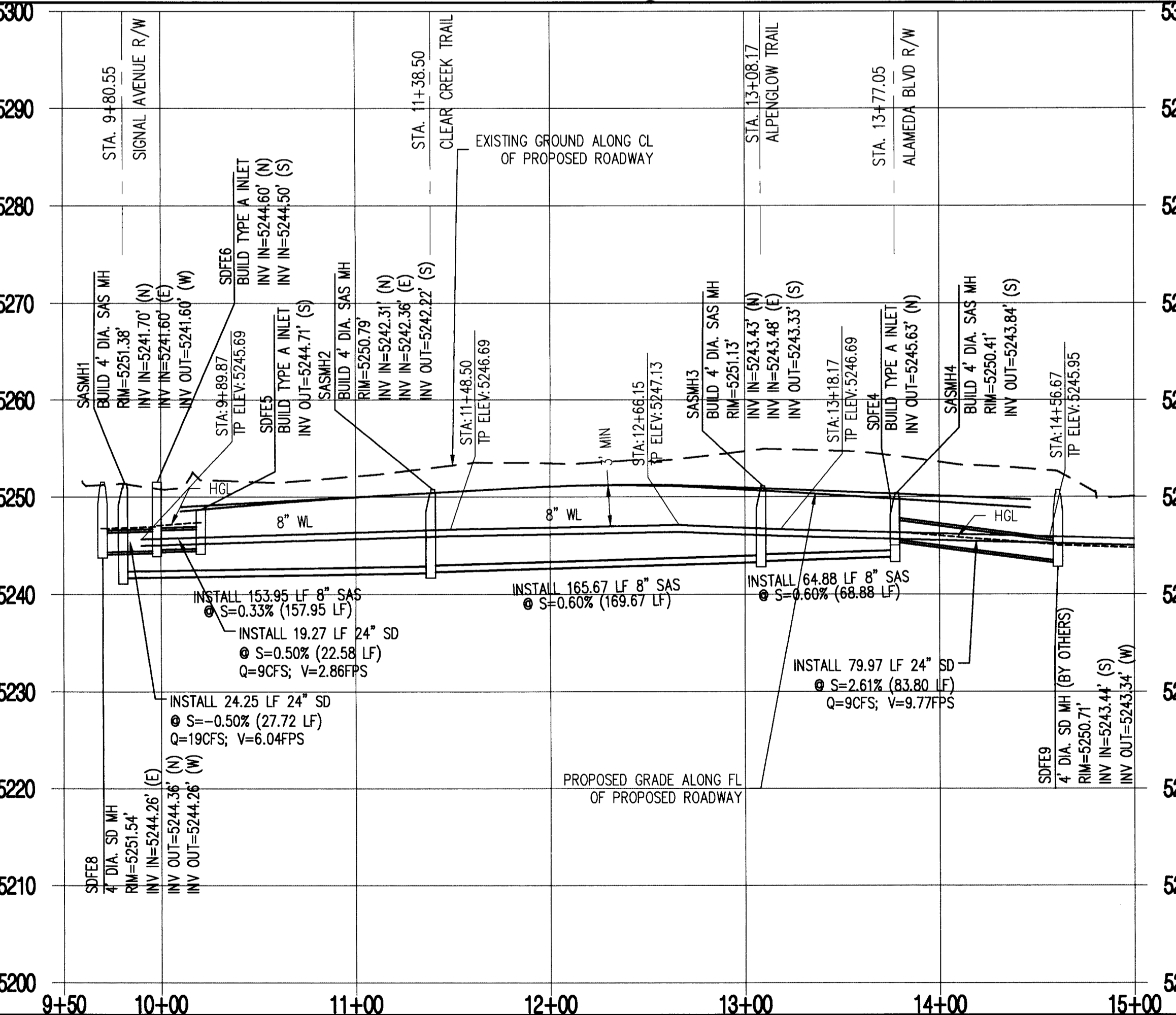


ID	BEARING	LENGTH
T9	S00°13'59"W	83.31'
T10	S00°13'59"W	117.68'
T11	S00°13'59"W	52.00'
T12	S00°13'59"W	194.76'

ID	BEARING	LENGTH
T16	N00°07'45"W	27.02'

ID	BEARING	LENGTH
T13	N00°19'23"E	62.60'
T14	N00°12'59"E	337.34'

LOT ID	SAS STATION & OFFSET	SAS LENGTH	TOP OF PIPE AT PLUG (W/RISER)
21	14+31.82, CL	23.50'	5256.04 (4)
22	13+81.00, CL	23.50'	5256.83 (5)
23	13+26.72, CL	23.50'	5257.36 (5)
24	12+72.69, CL	23.50'	5258.01 (4)
25	11+85.72, CL	23.50'	5258.77 (4)
26	11+46.94, CL	23.50'	5258.43 (5)
27	11+08.64, CL	23.50'	5258.48 (5)
28	10+75.90, CL	24.04'	5258.66 (5)



GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITY LINES WITH UTILITY COMPANIES AS REQUIRED.
- ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL SAS & SD SLOPES ARE CALCULATED TO TRUE PIPE DIMENSIONS FROM INVERT TO INVERT. (PAY ITEMS ARE SHOWN IN PARENTHESES)
- GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR IS TO INSTALL A 4" X 4" X 5" POST AND ELECTRONIC MARKER SPHERES (E.M.S) AT THE END OF EACH SANITARY SEWER SERVICE. E.M.S WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #9.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL DAMAGED EXISTING UTILITY CONDUITS AND EXISTING LINES.
- CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
- CONTRACTOR SHALL PROVIDE THE INSPECTORS WITH THE PROPOSED TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
- ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, LANDSCAPING, ETC) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- M.H RIMS & CATCH BASIN INLET ELEVATIONS, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
- SAS, STORM DRAIN AND WATERLINE STATIONING FOLLOWS CL OF ROAD. UNLESS OTHERWISE NOTED.
- STATIONING OF DROP INLET IS TO MIDDLE OF DOWN HILL GRATE AT FACE OF CURB.
- FLOWLINE ELEVATIONS FOR DROP INLETS ARE PROJECTED FROM FLOWLINE OF STANDARD CURB TO MIDDLE OF DOWNHILL GRATE.
- ROP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. ROP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
- ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL USE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS.
- AT UTILITY CROSSINGS WHERE LESS THAN 18" OF SEPARATION FROM STORM DRAIN PIPE OR MANHOLE IS PRESENT LEAN FILL IS TO BE USED 1) FOR A DISTANCE OF 5 FEET ON EACH SIDE OF THE SD C FROM TOP OF STORM DRAIN TO BOTTOM OF SANITARY SEWER OR WATER LINE OR 2) FOR 10 FEET ALONG SANITARY SEWER OR WATER LINE CENTERED ON THE MANHOLE WITH DEPTH EQUAL TO 2X SEWER OR WATER LINE DIAMETER.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- STORM DRAIN GRATES PER MODIFIED COA STD DWG 2220

LEGEND

	DOUBLE WATER METER
	SINGLE WATER METER
	PROPOSED WATER VALVE
	SAS LATERAL
	SAS MANHOLE
	STORM DRAIN MANHOLE
	STORM DRAIN INLET
	PROPOSED FIRE HYDRANT
	EXISTING WATER VALVE

"AS-BUILT" LOCATION OF MANHOLES & VALVES

VALVE MH (TYPE)	NORTHING	EASTING

SCALE: 1"=50' HORIZ. 1"=10' VERT.

Bohannon & Huston
www.bhnc.com 800.877.5332

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

CAMPO DEL NORTE
UTILITY PLAN AND PROFILE
SUGARITE TRAIL & LA PRADERA WAY

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
DEC 07 2018	DEC 7 2018		

City Project No. 582384 Zone Map No. C-18-Z Sheet 12 Of 16

AS-BUILT INFORMATION		
CONTRACTOR	DATE	
WPH		
BENCH MARKS		
ACS MONUMENT 9_C18		
SURVEY INFORMATION		
GEOGRAPHIC POSITION (NAD 83)		
N.M. STATE PLANE COORDINATES(CENTRAL ZONE)		
X = 1521497.624		
Y = 1521497.624		
GROUND-TO-GRID FACTOR = 0.9999646563		
Δα = -0°11'19.69"		
NAVD 1988 ELEVATION = 5232.47		

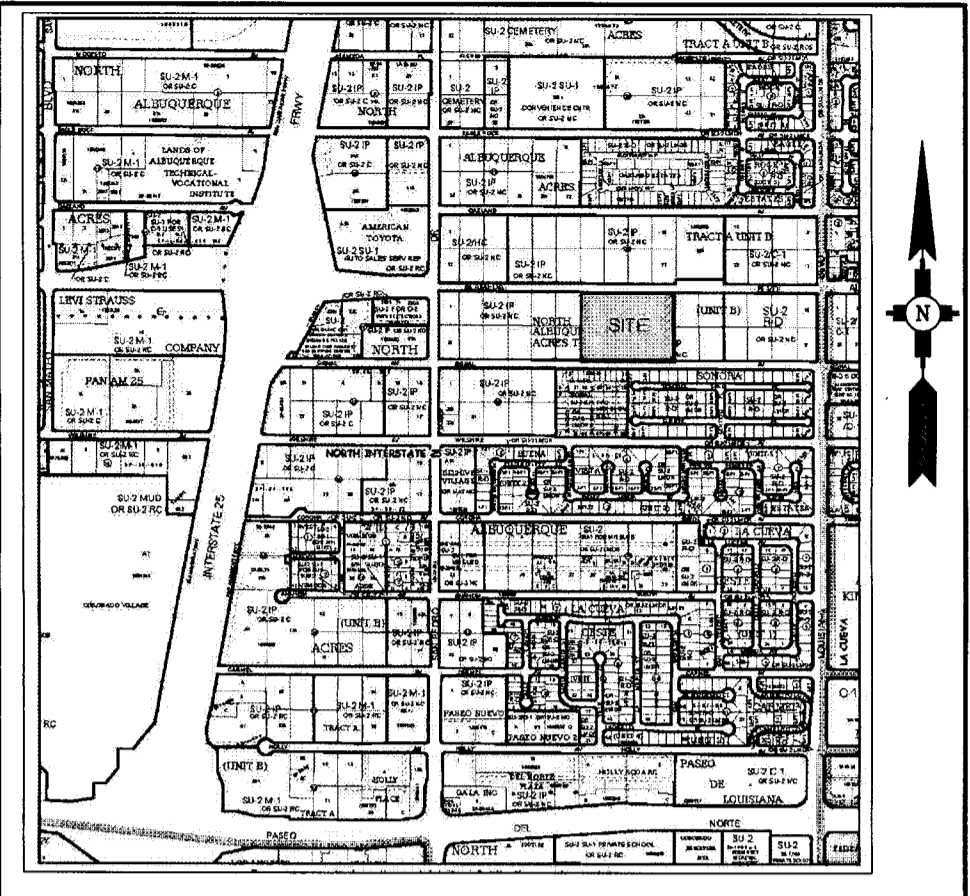


ENGINEER'S SEAL		
REVISIONS	No.	Date
DESIGN		

Designed By: SIS
Drawn By: SIS
Checked By: SIS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
DEC 07 2018	DEC 7 2018		

City Project No. 582384 Zone Map No. C-18-Z Sheet 12 Of 16



VICINITY MAP
NOT TO SCALE ZONE ATLAS C-18-Z

KEYED NOTES

- (A) LOT LINE TO BE ELIMINATED BY THIS PLAT
- (B) 10' PUBLIC UTILITY EASEMENT, GRANTED BY PLAT.
- (C) 5' PUBLIC UTILITY EASEMENT, GRANTED BY PLAT.
- (D) 20' PRIVATE STORM DRAIN EASEMENT TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- (E) 20' PUBLIC WATER LINE EASEMENT GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY BY PLAT.
- (F) EXISTING 7' PNM AND MST&T EASEMENT (10/9/1979, BK. MISC. 723, PG 604) TO BE VACATED BY PLAT.

LEGEND

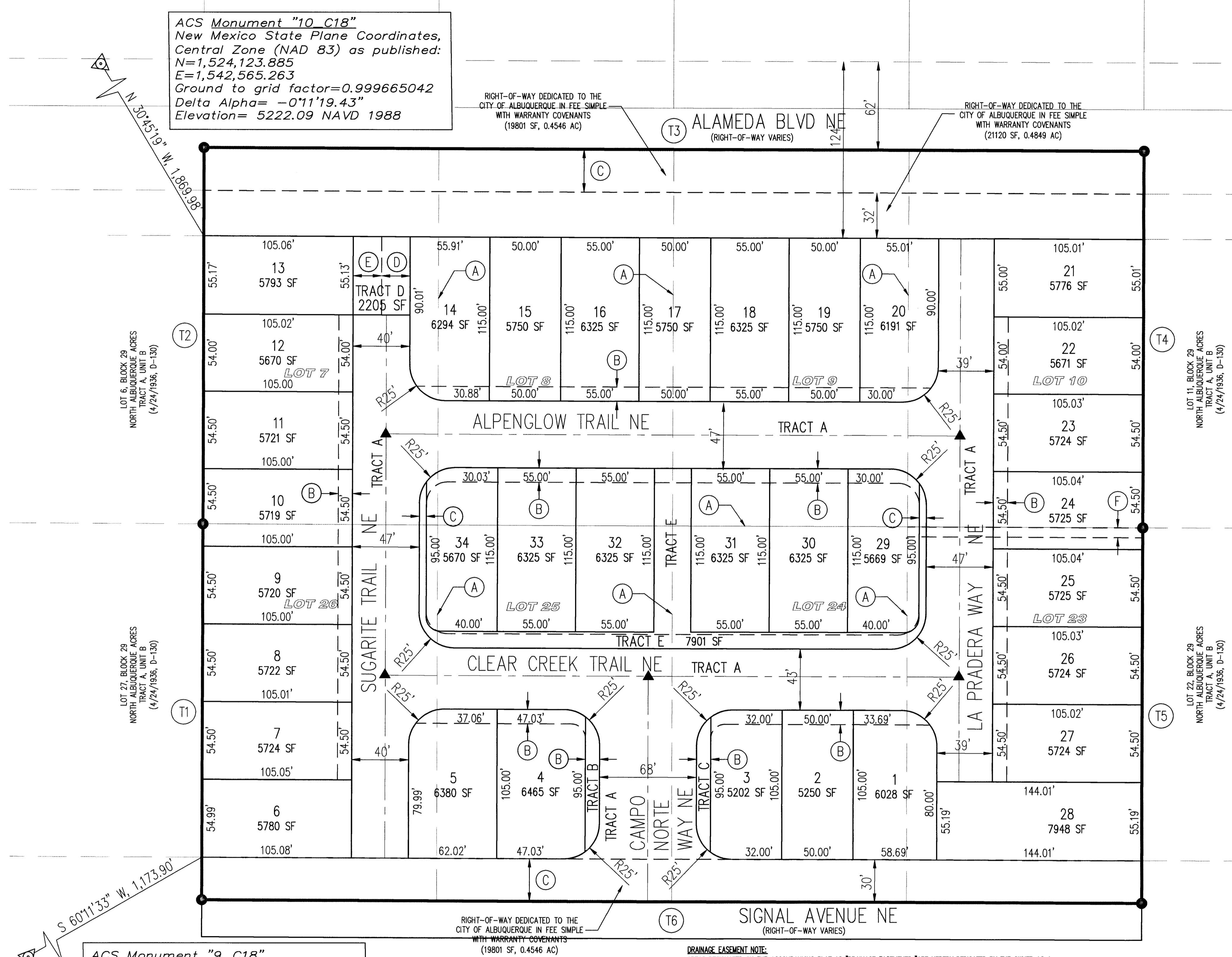
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT

Tangent Table

ID	BEARING	LENGTH
T1	N00°14'46"E	264.25'
T2	N00°10'22"E	264.41'
T3	S89°46'13"E	660.05'
T4	S00°13'23"W	264.76'
T5	S00°14'35"W	263.93'
T6	N89°46'03"W	659.83'

ACS Monument "10_C18"
New Mexico State Plane Coordinates,
Central Zone (NAD 83) as published:
N=1,524,123.885
E=1,542,565.263
Ground to grid factor=0.999665042
Delta Alpha= -0°11'19.43"
Elevation= 5222.09 NAVD 1988

ACS Monument "9_C18"
New Mexico State Plane Coordinates,
Central Zone (NAD 83) as published:
N=1,521,497.624
E=1,542,501.428
Ground to grid factor= 0.999664563
Delta Alpha= -00°11'19.69"
Elevation= 5232.47 NAVD 1988



RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS (19801 SF, 0.4546 AC)

RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS (21120 SF, 0.4849 AC)

RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS (19801 SF, 0.4546 AC)

DRAINAGE EASEMENT NOTE:
AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISION FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN THE EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN THE DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY THE APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION.

THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN OR MODIFY SAID DRAINAGE FACILITY.

PRELIMINARY PLAT FOR
CAMPO DEL NORTE
LOTS 1-34 AND TRACTS A-E
WITHIN ELENA GALLEGOS LAND GRANT
IN PROJECTED SECTION 17,
TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 2018

LEGAL DESCRIPTION

Lots 7-10 and 23-26, Block 29, Tract A, Unit B, North Albuquerque Acres, Bernalillo County, New Mexico, as the same is shown and designated on the map of said Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, Folio 130.

GENERAL NOTES

- EXISTING ZONING: SU-2, NC
PROPOSED ZONING: SU-2, NC
- GROSS ACREAGE: 8.0088 AC
NET ACREAGE: 6.6755 AC
NUMBER OF LOTS: 34
NUMBER OF TRACTS: 5
PROPOSED DENSITY: 5.09 DU/AC
- MIN. LOT DIMENSIONS:
MINIMUM LOT AREA: 50' x 105'
5,250 SQFT
- STORM DRAIN IMPROVEMENTS WITHIN TRACT A ARE PRIVATE TO BE OWNED AND MAINTAINED HOMEOWNER'S ASSOCIATION. STORM DRAIN IMPROVEMENTS IN ALAMEDA BOULEVARD AND SIGNAL AVENUE ARE PUBLIC TO BE OWNED AND MAINTAINED BY THE CITY OF ALBUQUERQUE. SEWER AND WATER ARE PUBLIC TO BE OWNED AND MAINTAINED BY THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY. STREETS ARE PRIVATE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATIONS.
- LOT SETBACKS SHALL CONFORM TO THE SITE DEVELOPMENT PLAN.
- NO LOTS SHALL HAVE DIRECT ACCESS TO ALAMEDA BLVD OR SIGNAL AVENUE.
- TRACT A SHALL HAVE A BLANKET PRIVATE DRAINAGE EASEMENT, A BLANKET SUBSURFACE PUBLIC SANITARY SEWER AND WATER EASEMENT GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY, AND A PRIVATE PEDESTRIAN AND VEHICULAR ACCESS EASEMENT. TRACT A WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- TRACTS B-E SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- TRACT E SHALL HAVE A BLANKET PEDESTRIAN ACCESS AND LANDSCAPE EASEMENT.
- TRACTS B AND C SHALL HAVE A BLANKET LANDSCAPE EASEMENT.
- TRACT D SHALL A BLANKET PRIVATE ACCESS EASEMENT FOR THE USE AND BENEFIT OF LOT 13 TO BE MAINTAINED BY LOT 13.

SITE DATA

ZONE ATLAS NO.	C-18-Z
ZONING	SU-2, NC
MILES OF FULL WIDTH STREETS CREATED	0.32 MILES
NO. OF EXISTING TRACTS	8
NO. OF LOTS CREATED	34
NO. OF HOA TRACTS CREATED	5

SURVEY NOTES:

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 14271".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED

Joseph M. Brice 3/22/18
CITY SURVEYOR (DATE)

Jabeen F. Vagh 3/20/18
JABEEN F. VAGH (DATE)
MANAGER, V_MOD, LLC

