

**Easement Notes**

- EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
- EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126) & (6/29/1984, C24-89)
- EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- INTENTIONALLY OMITTED
- EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (8/7/1998, BK. 98-13, PG. 8016)
- INTENTIONALLY OMITTED
- INTENTIONALLY OMITTED
- EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DOC. NO. 2007144250)
- EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, PRIVATE CROSS LOT UTILITY EASEMENT AND RECIPROCAL PRIVATE CROSS PARKING EASEMENT BENEFITING AND MAINTAINED BY TRACT A-2-B AND TRACTS A-2-A & A-2-B (7/2/2001, 2001C-186) (4/19/2011, 2011C-35)
- PRIVATE CROSS LOT DRAINAGE EASEMENT ACROSS TRACTS A-2-A-2 AND A-2-A-1 BENEFITING AND MAINTAINED BY TRACT A-2-B (8/13/1998, 98C-241)
- PRIVATE PARKING, VEHICULAR ACCESS, AND PEDESTRIAN EASEMENT BENEFITING AND MAINTAINED BY TRACTS 1-B-1, A-2-A-1 AND A-2-A-2, PARK SQUARE (7/15/1998, BK. 9812, PG. 6785) (7/31/2002, BK. A39, PG. 6377) (1/14/2005, BK. A90, PG. 7567) (5/19/2007, BK. A136, PG. 8823)
- PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- PRIVATE CROSS LOT DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1 AND A-2-A-2, PARK SQUARE (4/19/2011, 11C-35)
- EXISTING 33' COA WATER & SEWER EASEMENT (6/29/1984, C24-89)
- 10' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAT

**DEVELOPMENT DATA**

**NET SITE AREA:**

TRACT A-2-A-2-A 2.4244 ACRES (105,609 S.F.)  
 TRACT A-2 0.9123 ACRES (39,741 S.F.)  
 TRACT A-2-A-1-A 1.6520 ACRES (71,959 S.F.)

**SETBACKS REQUIRED:**

FRONT(E) SIDE(N) SIDE(S) REAR(W)  
 ALLOWED 0' 0' 0' 15'  
 PROVIDED 10' 3' 2' 7'

**ZONING AND LAND USE:**

CURRENT: MX-H (UC-MS-PT)  
 LAND USE: RESTAURANT / HOTEL  
 MULTI-FAMILY RESIDENTIAL

**FLOOR AREA RATIO:**

BUILDING NET AREA 252,480 S.F.  
 F.A.R. PROVIDED 252,480 / 105,609 = 2.39

**BUILDING HEIGHT:**

ALLOWED: 99 FEET  
 PROPOSED: 97 FEET

**BUILDING AREAS:**

LEVEL	S-2 GARAGE	R-2 RES.	A-3 ASSEMBLY REC	FITNESS	POOL	HOUSE	TOTAL	B LEASING	TOTAL
P1	73,471	1,814					75,285	2,134	77,419
P2	71,920	1,414					73,334		73,334
L1		45,307	1,864	1,344		652	49,167		49,167
L2		45,186	855	662			46,703		46,703
L3		50,416					50,416		50,416
L4		50,416					50,416		50,416
L5		50,416					50,416		50,416
TOTAL	145,391	244,969	2,719	2,006		652	5,377	2,134	397,871

**DENSITY:**

PROPOSED: 100.2 DU/ACRE

**LEGEND**

- DENOTES PROPERTY LINE
- NO. OF PARKING SPACES
- NO. OF COMPACT PARKING SPACES
- DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- MS MONUMENT SIGNAGE
- DS DIRECTIONAL SIGNAGE - GROUND MOUNTED
- AW ACCESSIBLE WALKWAY SIGNAGE - BUILDING OR GROUND MOUNTED
- BM BUILDING MOUNTED SIGNAGE - SEE A3.4 & A3.41 FOR LOCATIONS

**USABLE OPEN SPACE:**

REQUIRED:  
 STUDIO 200 SF x 60 = 12,000 S.F.  
 1 BR 200 SF x 107 = 21,400 S.F.  
 2 BR 250 SF x 78 = 19,500 S.F.  
 TOTAL REQUIRED = 52,400 S.F.  
 50% REDUCTION FOR PROPERTY BEING UC/MS/PT = 26,200 S.F.  
 TOTAL REQUIRED = 26,200 S.F.

**PROVIDED:**

LEVEL L1 COURTYARDS 22,057 S.F.  
 PRIVATE BALCONIES 14,487 S.F.  
 AT GRADE ON SITE 10,418 S.F.  
 TOTAL PROVIDED 46,962 S.F.

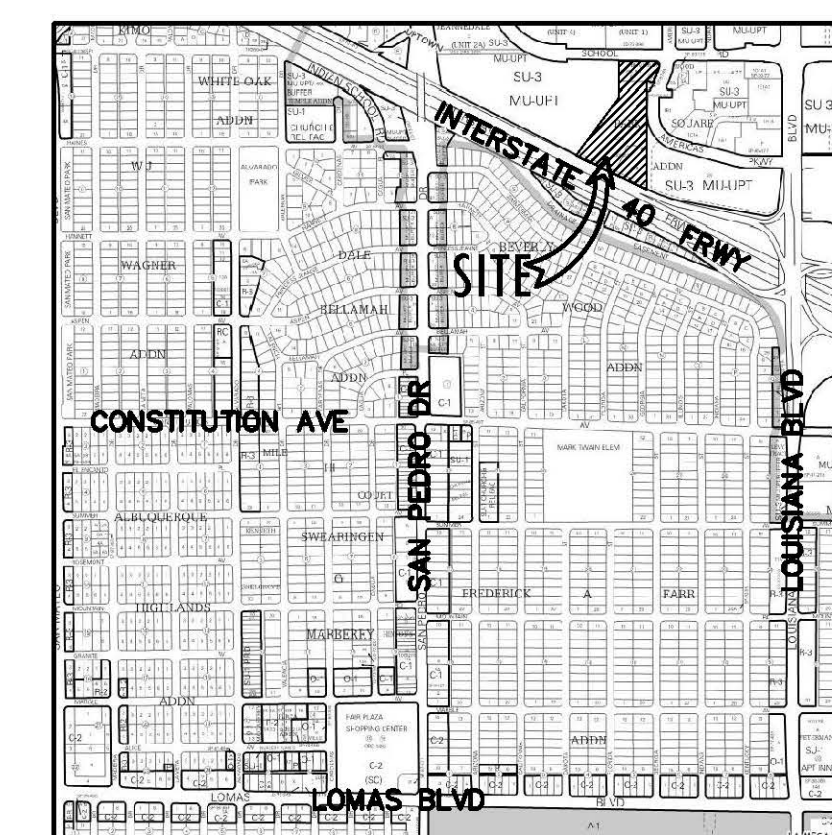
THE FIRST RESIDENTIAL LEVEL (PODIUM LEVEL L1) HAS TWO OPEN COURTYARDS, CONNECTED BY A COVERED BREEZEWAY. THE SOUTH COURTYARD IS THE POOL AREA WITH AMENITIES LIKE CABANAS, RAMADA, SEATING AREA. THE FITNESS CENTER, RECREATIONAL SPACE AND POOL HOUSE ARE PART OF THE BUILDING ORIENTED TOWARDS THE POOL COURTYARD. THE NORTH COURTYARD IS ANOTHER OPEN SPACE WITH RAMADAS, BARBECUES, GAME LAWN, AND SEATING AREAS.

**UNIT MIX:**

UNIT	LIVABLE	BALCONY	L1	L2	L3	L4	L5	TOTAL
S1	589 SF	44 SF	10	11	13	13	51	
S1m1	618 SF	44 SF	1	1	2	2	8	
S2H	754 SF	63 SF						1
A1	678 SF	46 SF	3					3
A2	634 SF	52 SF	12	12	12	12	60	
A2m1	733 SF	67 SF	1	1	1	1	5	
A3	754 SF	63 SF	7	6	6	6	31	
A3m1	733 SF	63 SF	1	1	1	1	5	
B1	928 SF	51 SF	5	8	10	10	43	
B2	1,022 SF	106 SF	6	5	6	6	29	
B2H	1,022 SF	106 SF						1
B3	1,226 SF	135 SF			1	1	3	
TOTAL			45	45	51	51	243	

PARKING SPACE REQUIREMENTS	PARKING RATIO	PARKING REQUIRED
HOTEL (149 ROOMS)	2 PS / 3 ROOMS <sup>(1)</sup>	99
MULTI-FAMILY (243 DWELLING UNITS)	1 PS / DU <sup>(2)</sup>	243
SUBTOTAL FOR REDUCTION		342
TRANSIT REDUCTION <sup>(3)</sup>		34
SUBTOTAL AFTER TRANSIT REDUCTION		308
RESTAURANT (270 SEATS)	1 PS / 3 SEATS <sup>(4)</sup>	90
OPS OFFICE (PER PARKING AGREEMENT)	N/A	191
<b>TOTAL PARKING SPACES REQUIRED</b>		<b>589</b>
OPEN PARKING SPACES PROVIDED		265
GARAGE P1 LEVEL PARKING SPACES PROVIDED		220
GARAGE P2 LEVEL PARKING SPACES PROVIDED		210
<b>TOTAL PARKING SPACES PROVIDED</b>		<b>695</b>
<b>COMPACT PARKING SPACES ALLOWED</b>		<b>200</b>
OPEN COMPACT PARKING SPACES PROVIDED		-
GARAGE P1 LEVEL COMPACT PARKING SPACES PROVIDED		63
GARAGE P2 LEVEL COMPACT PARKING SPACES PROVIDED		65
<b>TOTAL COMPACT PARKING SPACES PROVIDED</b>		<b>128</b>
ACCESSIBLE PARKING SPACES REQUIRED		14
OPEN ACCESSIBLE PARKING SPACES PROVIDED		5
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		8
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		4
<b>TOTAL ACCESSIBLE PARKING SPACES PROVIDED</b>		<b>17</b>
ELECTRIC VEHICLE CHARGING SPACES REQUIRED		11
GARAGE P1 LEVEL REGULAR PARKING SPACES PROVIDED		9
GARAGE P2 LEVEL REGULAR PARKING SPACES PROVIDED		3
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		1
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		1
<b>TOTAL ELECTRIC VEHICLE CHARGING SPACES PROVIDED</b>		<b>14</b>
MOTORCYCLE PARKING SPACES REQUIRED		4
HOTEL AND RESTAURANT		4
<b>TOTAL MOTORCYCLE PARKING SPACES PROVIDED</b>		<b>4</b>
BICYCLE PARKING SPACES REQUIRED		40
10% OF REQUIRED VEHICULAR PARKING REQUIRED (400 PARKING SPACES EXCLUDING OFFICE)		8
OPEN ON SITE RACKS PARKING SPACES PROVIDED		32
IN BIKE ROOM PARKING SPACES PROVIDED		40
<b>TOTAL BICYCLE PARKING SPACES PROVIDED</b>		<b>40</b>

- NOTES:
- SITE IS LOCATED IN THE UPTOWN URBAN CENTER.
  - TRANSIT ROUTE 157 IS ALONG AMERICAS PARKWAY AND TRANSIT ROUTES 34, 6, AND 768 ARE ALONG INDIAN SCHOOL ROAD. BUS STOPS ARE LOCATED TO THE EAST ALONG AMERICAS PARKWAY IN FRONT OF THE MARRIOTT AND PARK SQUARE. THE SITE IS LOCATED WITHIN 1,320 FEET OF THE UPTOWN TRANSIT CENTER. SO PARKING MAY BE REDUCED UP TO 30% PER IDO SECTION 14-16-5(C)(5)(C). THE DEVELOPER HAS VOLUNTARILY CHOSEN TO TAKE AN APPROXIMATE 10% REDUCTION.
  - PER ORIGINAL APPROVAL.



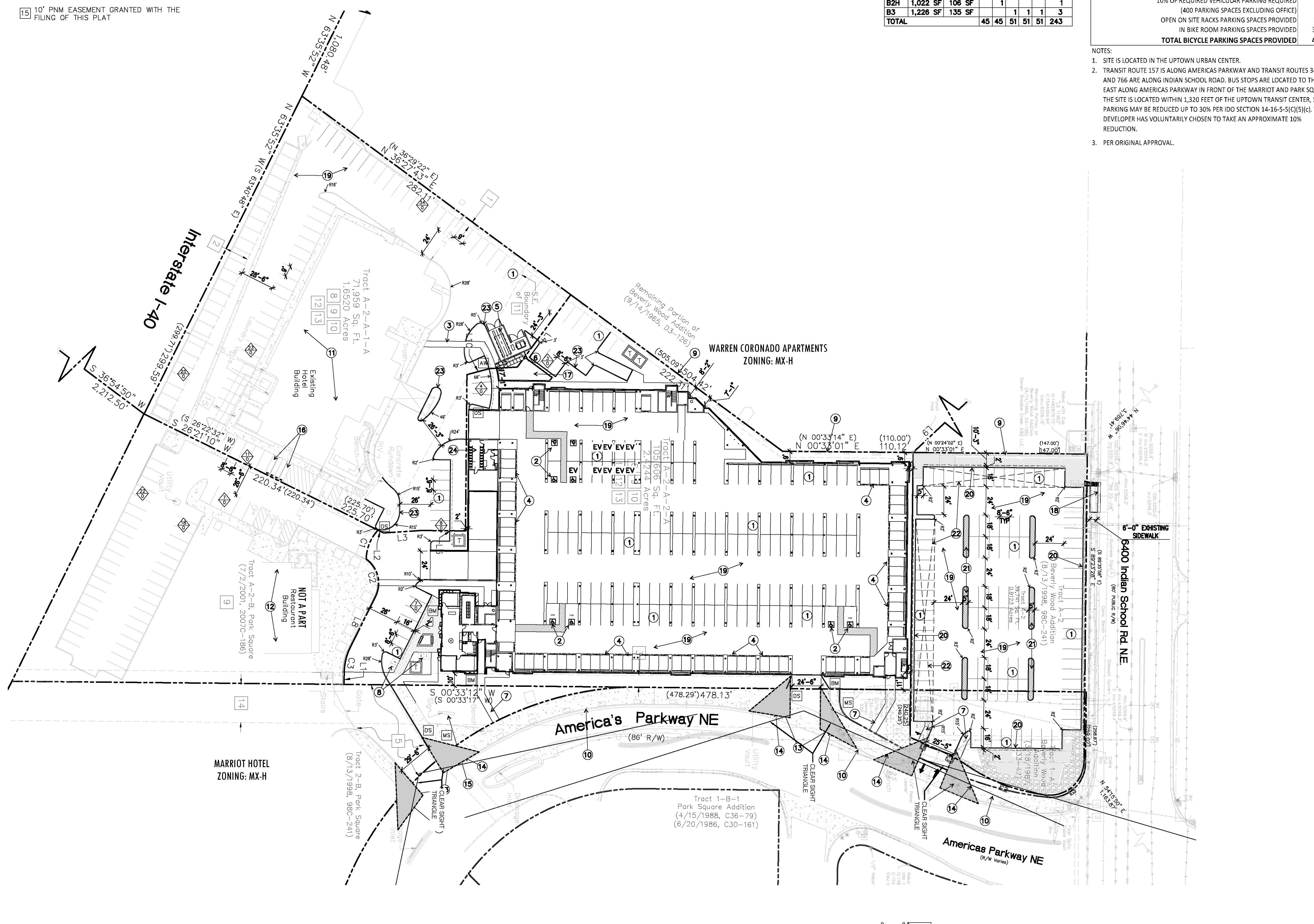
VICINITY MAP  
NOT TO SCALE

**GENERAL NOTES**

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- THE MATERIALS USED FOR CROSSWALKS WILL COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- SITE WILL COMPLY WITH THE LIGHTING STANDARDS IN THE MX-H ZONE AND IDO SECTION 14-16-5-7.
- REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING MONUMENT/DIRECTIONAL/BRANDING SIGNAGE WILL BE A DELEGATED DESIGN. LOCATIONS ARE PROVIDED ON THIS PLAN FOR COORDINATION PURPOSES.

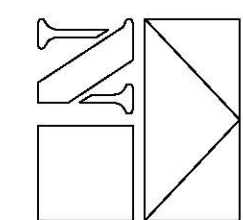
**KEYNOTES**

- 8'-6"x18" PARKING SPACE, TYPICAL. SEE DETAIL 01/A1.20
- 11'x18" ACCESSIBLE PARKING SPACE. SEE DETAIL 05/A1.20
- ACCESSIBLE DRIVEWAY CROSSING MARKING TO COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- 8'x15" COMPACT PARKING SPACE. MARK "COMPACT" TO THE BACK OF THE PARKING SPACE. SEE DETAIL 02/A1.20.
- TRASH YARD ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CHU WALL PAINTED TO MATCH BUILDINGS. SEE DETAIL 10/A1.21. TRASH YARD TO BE SHARED WITH HOTEL TO THE SOUTH.
- 10'x30' LOADING PARKING SPACE.
- SIDEWALK CORNERING TO PUBLIC WAYS.
- BICYCLE PARKING LOCATION, 4 BICYCLES PER LOCATION, 8 BICYCLES TOTAL. SEE DETAIL 04/08/A1.20.
- EXISTING PERMETER WALL.
- EXISTING STREET CURB WITH 13'-6" MIN. SIDEWALK AT AMERICAS PARKWAY.
- EXISTING HOTEL BUILDING.
- EXISTING RESTAURANT BUILDING (NOT A PART).
- EXISTING DRIVEWAY ENTRY WITH ACCESSIBLE CURB RAMPING.
- SIGHT VISIBILITY. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING HOTEL SIGN TO REMAIN.
- (4) 4'x18" MOTORCYCLE PARKING SPACES BY HOTEL AND (2) 5'x18" MOTORCYCLE PARKING SPACES BY HOTEL AND (2) PLANS MARK "MC" TO THE BACK OF THE PARKING SPACE. PROVIDE SIGN PER DETAIL 16/A1.21.
- DOG PARK. REFER TO LANDSCAPE PLANS, SHEET SERIES 000-400.
- REMOVE EXISTING DRIVEWAY AND REPLACE WITH SIDEWALK/CURB PER COA STD. DETAIL 2415-A.
- ASPHALT PAVEMENT IN PARKING LOT.
- STRIPED ISLANDS.
- PARKING CARPORT COVER.
- CONCRETE CURB PER CIVIL DRAWINGS.
- BICYCLE PARKING ROOM WITH RACKS FOR 32 BICYCLES. SEE DETAIL 7/A1.20. SEE SHEET A3.59 FOR ENLARGED PLAN.



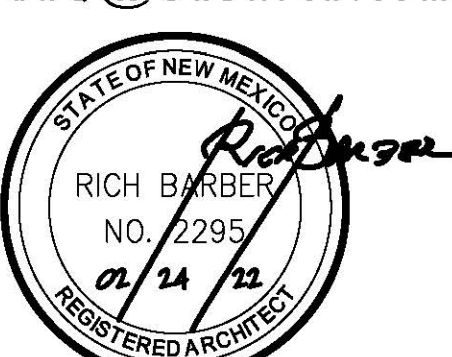
**SITE PLAN**

SCALE: 1" = 40'-0"



**MARKANA UPTOWN**  
 6500 Americas Parkway NE  
 Albuquerque, NM 87110

Office of Rich Barber  
**ORB** Architecture, LLC  
 WorldHQ@ORBArch.com



PROJECT NUMBER: PR-2018-001284  
 Application Number: SI-2021-01962

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [ ] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Jeanne Wolfenbarger Mar 18, 2022  
 Traffic Engineering, Transportation Division  
Blaine Carter Mar 18, 2022  
 ABCWJA  
Cheryl Hamilton Mar 18, 2022  
 Parks and Recreation Department  
Ernest Amoye Mar 18, 2022  
 City Engineer

Solid Waste Management Date  
Angela Matzger Mar 21, 2022  
Code Enforcement Date  
DRB Chairperson, Planning Department Apr 6, 2022 Date

Contractor must verify all dimensions at project before proceeding with this work.  
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**REVISIONS**

NO.	DESCRIPTION	DATE

**RE-PLAT**

DATE: FEBRUARY 24, 2022 ORB# 16-221

**A1.10**  
 SITE PLAN



**Easement Notes**

- EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
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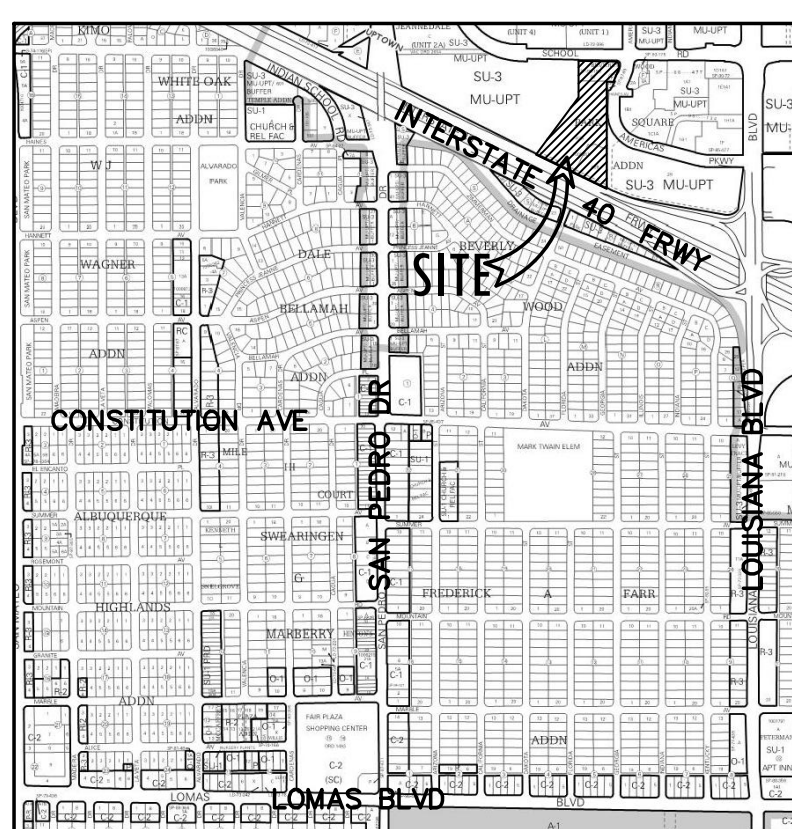
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PARKING SPACE REQUIREMENTS	PARKING RATIO	PARKING REQUIRED
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MULTI-FAMILY (243 DWELLING UNITS)	1 PS / DU <sup>(2)</sup>	243
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<b>TOTAL PARKING SPACES REQUIRED</b>		<b>589</b>
OPEN PARKING SPACES PROVIDED		265
GARAGE P1 LEVEL PARKING SPACES PROVIDED		220
GARAGE P2 LEVEL PARKING SPACES PROVIDED		210
<b>TOTAL PARKING SPACES PROVIDED</b>		<b>695</b>
<b>COMPACT PARKING SPACES ALLOWED</b>		<b>200</b>
OPEN COMPACT PARKING SPACES PROVIDED		-
GARAGE P1 LEVEL COMPACT PARKING SPACES PROVIDED		63
GARAGE P2 LEVEL COMPACT PARKING SPACES PROVIDED		65
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ACCESSIBLE PARKING SPACES REQUIRED		14
OPEN ACCESSIBLE PARKING SPACES PROVIDED		5
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		8
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		4
<b>TOTAL ACCESSIBLE PARKING SPACES PROVIDED</b>		<b>17</b>
ELECTRIC VEHICLE CHARGING SPACES REQUIRED		11
GARAGE P1 LEVEL REGULAR PARKING SPACES PROVIDED		9
GARAGE P2 LEVEL REGULAR PARKING SPACES PROVIDED		3
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		1
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		1
<b>TOTAL ELECTRIC VEHICLE CHARGING SPACES PROVIDED</b>		<b>14</b>
MOTORCYCLE PARKING SPACES REQUIRED		4
HOTEL AND RESTAURANT		4
<b>TOTAL MOTORCYCLE PARKING SPACES PROVIDED</b>		<b>4</b>
BICYCLE PARKING SPACES REQUIRED		40
10% OF REQUIRED VEHICULAR PARKING REQUIRED (400 PARKING SPACES EXCLUDING OFFICE)		8
OPEN ON SITE RACKS PARKING SPACES PROVIDED		32
IN BIKE ROOM PARKING SPACES PROVIDED		40
<b>TOTAL BICYCLE PARKING SPACES PROVIDED</b>		<b>40</b>

- NOTES:
- SITE IS LOCATED IN THE UPTOWN URBAN CENTER.
  - TRANSIT ROUTE 157 IS ALONG AMERICAS PARKWAY AND TRANSIT ROUTES 34, 6, AND 765 ARE ALONG INDIAN SCHOOL ROAD. BUS STOPS ARE LOCATED TO THE EAST ALONG AMERICAS PARKWAY IN FRONT OF THE MARRIOTT AND PARK SQUARE. THE SITE IS LOCATED WITHIN 1,320 FEET OF THE UPTOWN TRANSIT CENTER. SO PARKING MAY BE REDUCED UP TO 30% PER IDO SECTION 14-16-5(C)(5)(c). THE DEVELOPER HAS VOLUNTARILY CHOSEN TO TAKE AN APPROXIMATE 10% REDUCTION.
  - PER ORIGINAL APPROVAL.



VICINITY MAP  
NOT TO SCALE

**GENERAL NOTES**

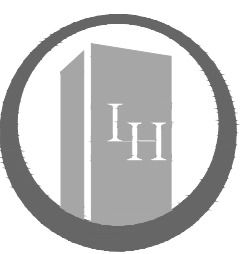
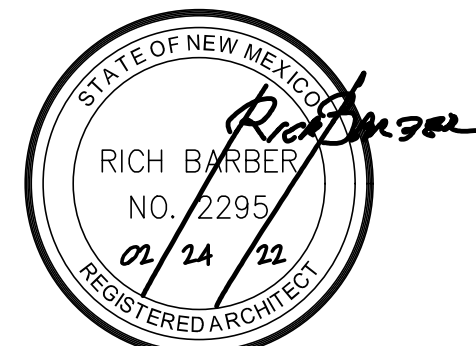
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- THE MATERIALS USED FOR CROSSWALKS WILL COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- SITE WILL COMPLY WITH THE LIGHTING STANDARDS IN THE MX-H ZONE AND IDO SECTION 14-16-5-7.
- REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING MONUMENT/DIRECTIONAL/BRANDING SIGNAGE WILL BE A DELEGATED DESIGN. LOCATIONS ARE PROVIDED ON THIS PLAN FOR COORDINATION PURPOSES.

**KEYNOTES**

- 8'-6"x18" PARKING SPACE. TYPICAL. SEE DETAIL 01/A1.20
- 11'x18" ACCESSIBLE PARKING SPACE. SEE DETAIL 05/A1.20
- ACCESSIBLE DRIVEWAY CROSSING MARKING TO COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- 8'x15" COMPACT PARKING SPACE. MARK "COMPACT" TO THE BACK OF THE PARKING SPACE. SEE DETAIL 02/A1.20.
- TRASH YARD ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL PAINTED TO MATCH BUILDINGS. SEE DETAIL 10/A1.21. TRASH YARD TO BE SHARED WITH HOTEL TO THE SOUTH.
- 10'x30' LOADING PARKING SPACE.
- 6' SIDEWALK CONNECTING TO PUBLIC WAYS.
- BICYCLE PARKING LOCATION. 4 BICYCLES PER LOCATION, 8 BICYCLES TOTAL. SEE DETAIL 04/08/A1.20.
- EXISTING PERMETER WALL.
- EXISTING STREET CURB WITH 15'-6" MIN. SIDEWALK AT AMERICA'S PARKWAY.
- EXISTING HOTEL BUILDING.
- EXISTING RESTAURANT BUILDING (NOT A PART).
- EXISTING DRIVEWAY ENTRY WITH ACCESSIBLE CURB RAMPING.
- SIGHT VISIBILITY. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING HOTEL SIGN TO REMAIN.
- (4) 4'x18" MOTORCYCLE PARKING SPACES BY HOTEL AND (2) 5'x18" MOTORCYCLE PARKING SPACES AT P2 (SEE GARAGE PLANS. MARK "MC" TO THE BACK OF THE PARKING SPACE. PROVIDE SIGN PER DETAIL 16/A1.21.
- DOG PARK. REFER TO HARDSCAPE PLANS. SHEET SERIES 000-400.
- REMOVE EXISTING DRIVEWAY AND REPLACE WITH SIDEWALK/CURB PER COA STD DETAIL 2415-A.
- ASPHALT PAVEMENT IN PARKING LOT.
- ASPHALT CURB.
- STRIPED ISLANDS.
- PARKING CARPORT COVER.
- CONCRETE CURB PER CIVIL DRAWINGS.
- BICYCLE PARKING ROOM WITH RACKS FOR 32 BICYCLES. SEE DETAIL 7/A1.20. SEE SHEET A5.59 FOR ENLARGED PLAN.

**MARKANA UPTOWN**  
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**REVISIONS**

NO.	DESCRIPTION	DATE

**RE-PLAT**

DATE: FEBRUARY 24, 2022 ORB # 16-221

**A1.10**

SITE PLAN

PROJECT NUMBER: PR-2018-001284  
Application Number: SI-2021-01962

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

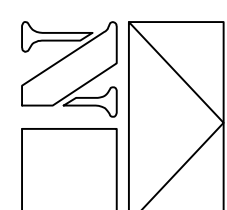
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

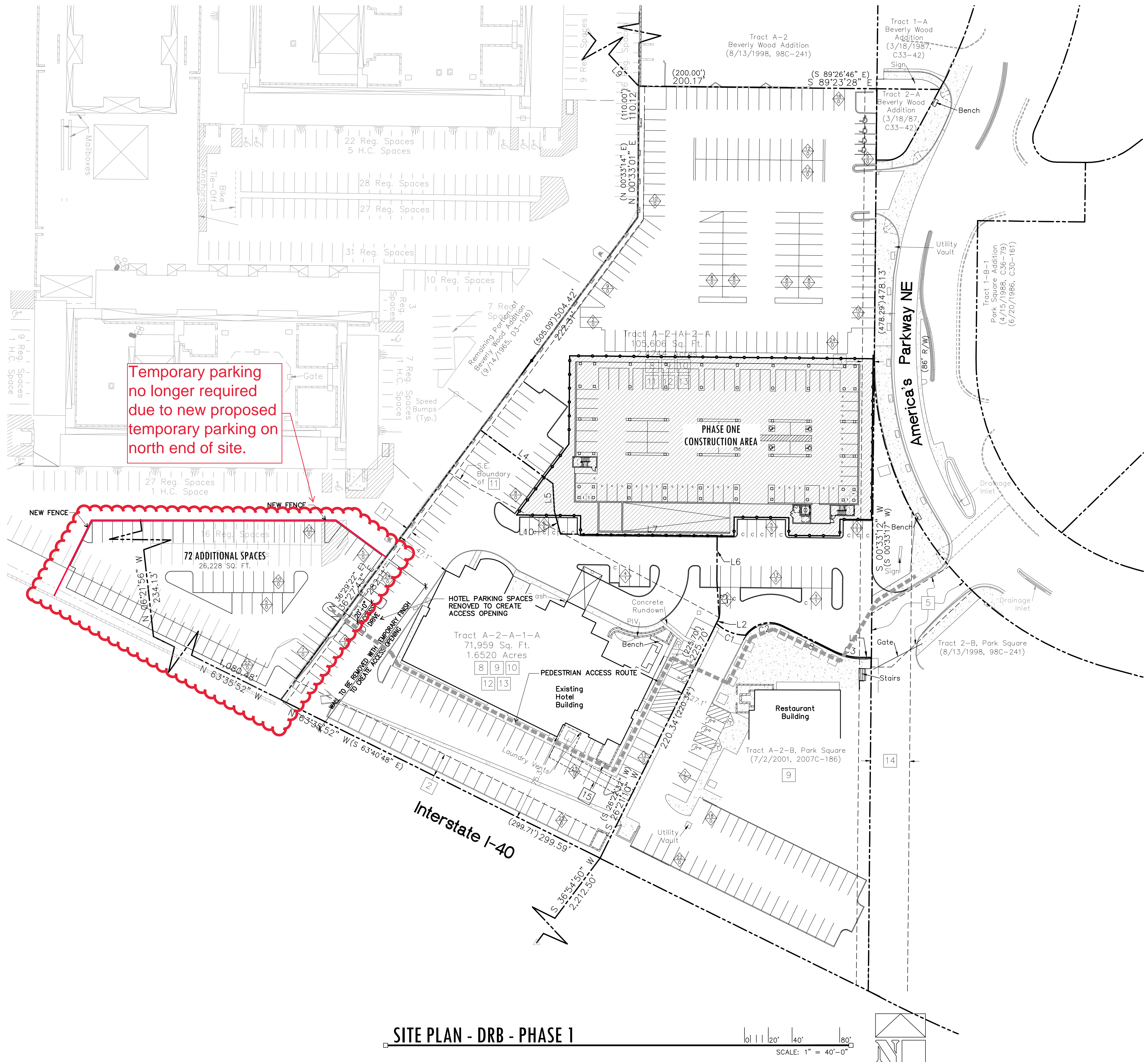
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

**SITE PLAN**

SCALE: 1" = 40'-0"





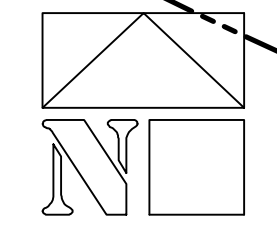
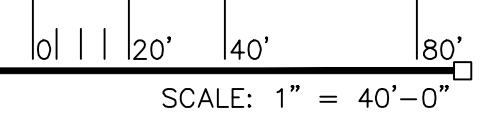


Temporary parking no longer required due to new proposed temporary parking on north end of site.

**PARKING PROVIDED:**

ON SITE:	316
WEST PROPERTY:	72
GARAGE P1 LEVEL:	-
GARAGE P2 LEVEL:	-
<b>TOTAL:</b>	<b>388</b>

**SITE PLAN - DRB - PHASE 1**



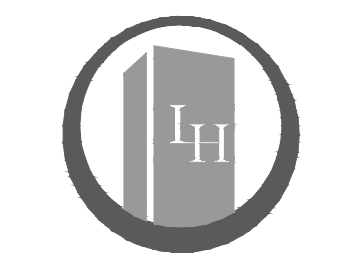
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# MARKANA UPTOWN

Americas Parkway NE  
Albuquerque, New Mexico



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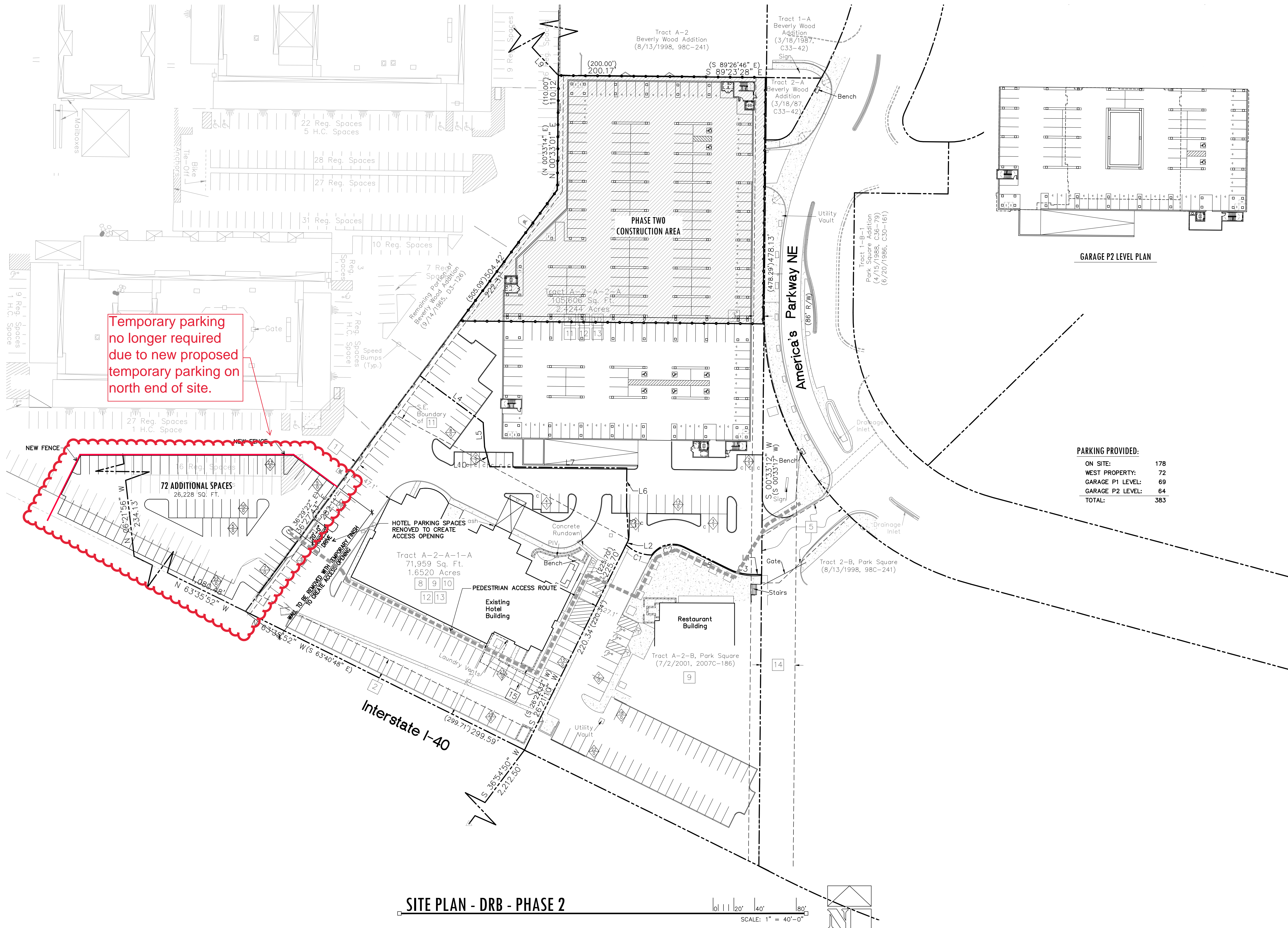
LEGACY HOSPITALITY

DATE: OCTOBER 10, 2018 ORB # 16-221

# A1.11

SITE PLAN - DRB  
PHASE 1



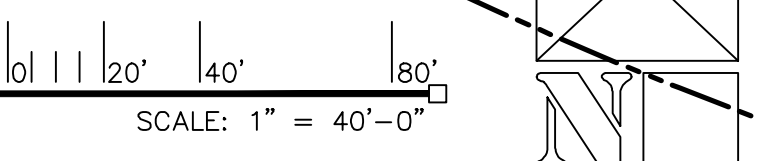


Temporary parking no longer required due to new proposed temporary parking on north end of site.

**PARKING PROVIDED:**

ON SITE:	178
WEST PROPERTY:	72
GARAGE P1 LEVEL:	69
GARAGE P2 LEVEL:	64
<b>TOTAL:</b>	<b>383</b>

**SITE PLAN - DRB - PHASE 2**

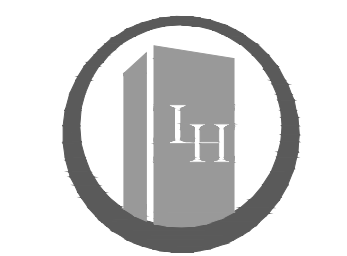


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**MARKANA UPTOWN**  
Americas Parkway NE  
Albuquerque, New Mexico



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LEGACY HOSPITALITY

DATE: OCTOBER 10, 2018 ORB # 16-221

**A1.12**

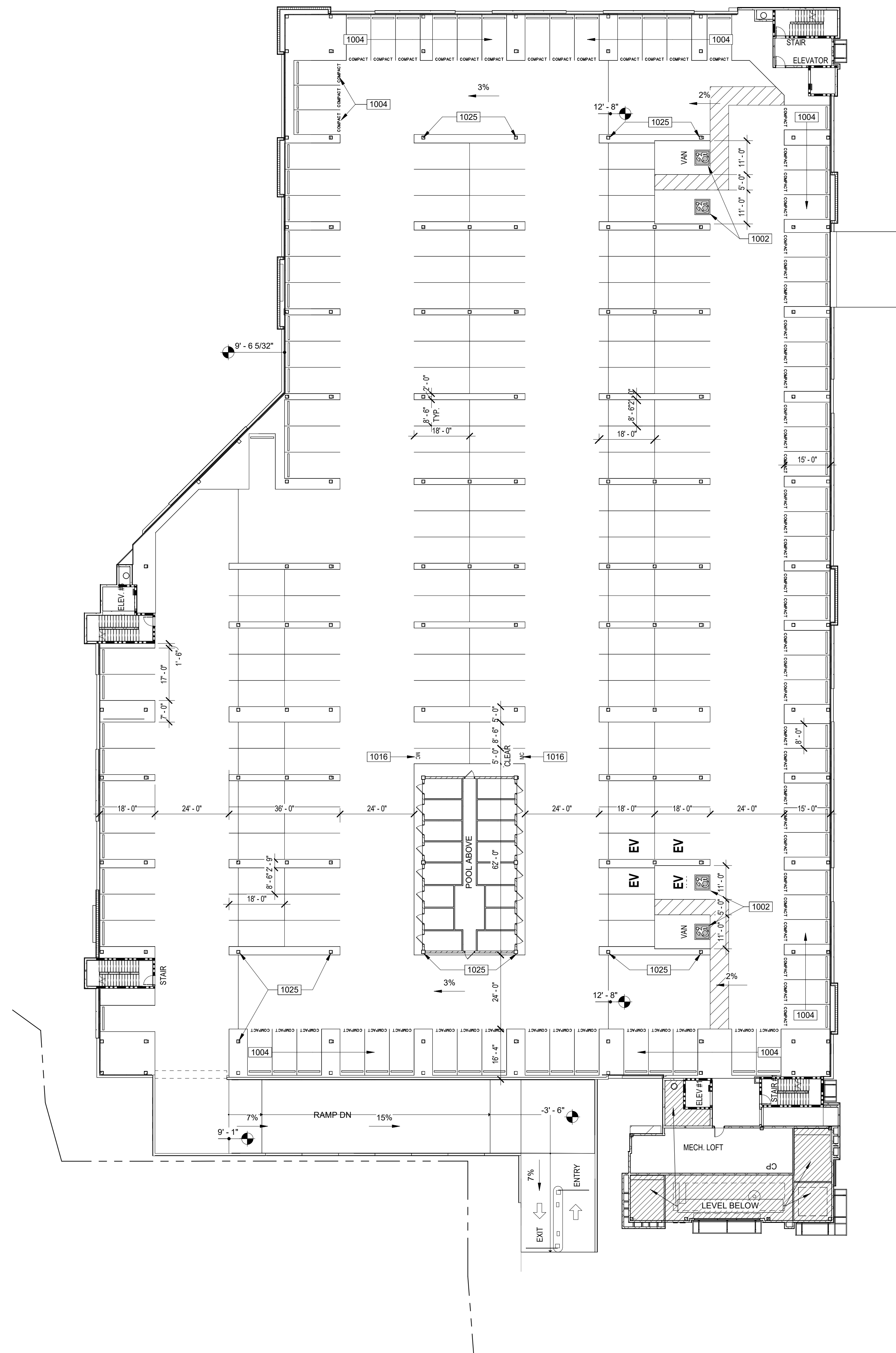
SITE PLAN - DRB  
PHASE 2





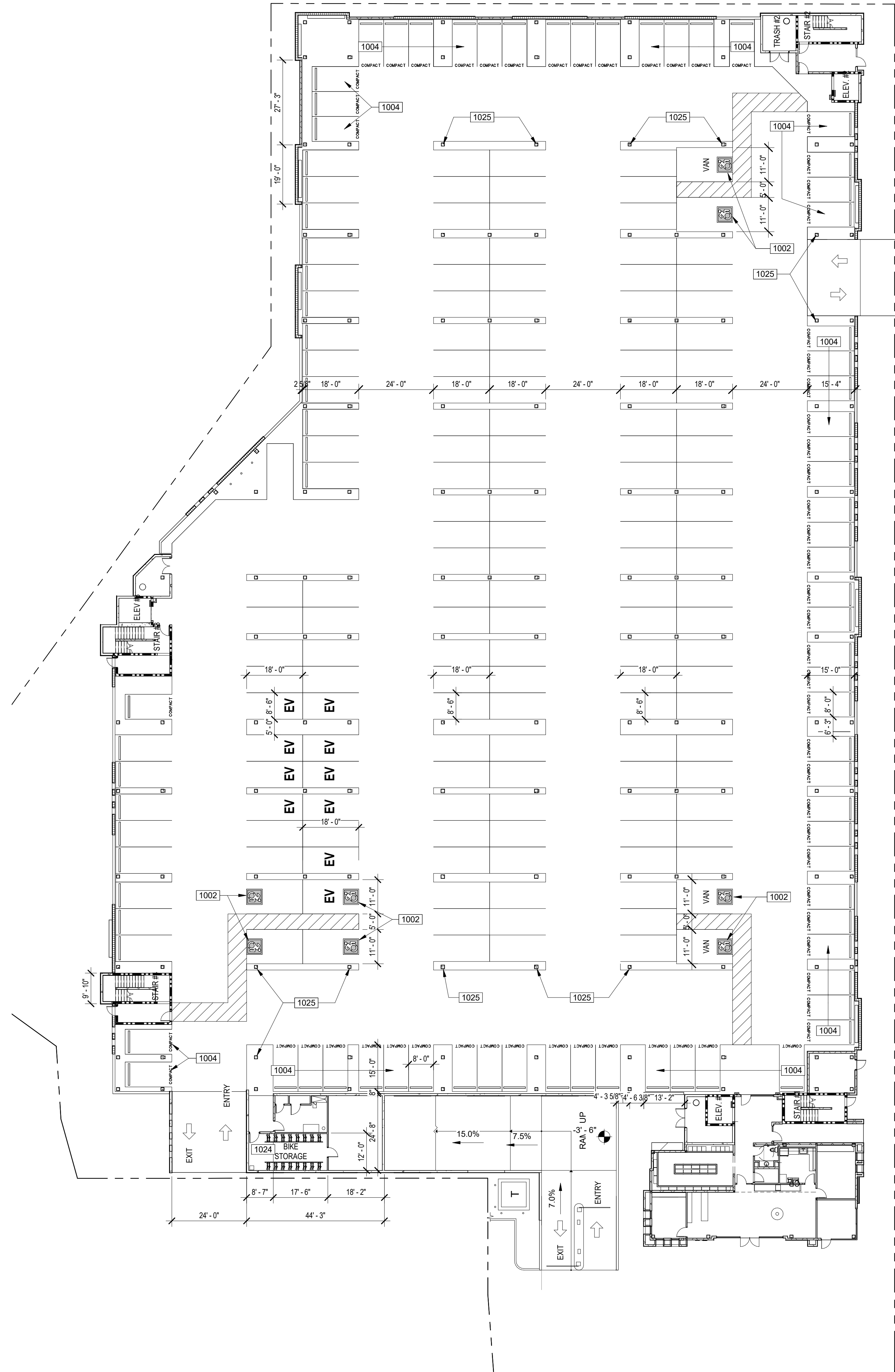


Autodesk Docs: //16-221 Markana Uptown/A16221 Markana Uptown.rvt



2 BUILDING FLOOR PLAN - LEVEL P2

SCALE: 1" = 20'-0"



1 BUILDING FLOOR PLAN - LEVEL P1

SCALE: 1" = 20'-0"

**KEYNOTES**

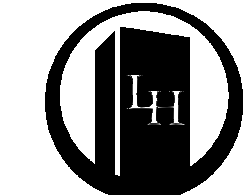
- 1002 11'x18' ACCESSIBLE PARKING SPACE. SEE DETAIL 05A1.20.
- 1004 8'x15' COMPACT PARKING SPACE. MARK 'COMPACT' TO THE BACK OF THE PARKING SPACE. SEE DETAIL 02A1.20.
- 1016 (4) 4'x18' MOTORCYCLE PARKING SPACES BY HOTEL AND (2) 5'x18' MOTORCYCLE PARKING SPACES AT P2 GARAGE. MARK 'MC' TO THE BACK OF THE PARKING SPACE. PROVIDE SIGN PER DETAIL 16A1.21.
- 1024 BICYCLE PARKING ROOM WITH RACKS FOR 32 BICYCLES. SEE DETAIL 7/A1.20. SEE SHEET A5.59 FOR ENLARGED PLAN.
- 1025 PROVIDE PROTECTION AT COLUMNS AT END OF DRIVEWAYS. MANUFACTURER POST GUARD, SQUARE COLUMN PROTECTION (MODEL PS-Y-KIT) PARK SENTRY SQUARE KIT - YELLOW, OR APPROVED EQUAL BY OWNER. COORDINATE WITH PLANNING PRIOR TO INSTALLATION.

**MARKANA UPTOWN**

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**REVISIONS/SUBMITTALS**

DATE	DESCRIPTION
08.21.19	1ST BLD. SUB.
1 10.30.19	DESIGN TEAM COORDINATION
3 04.01.20	2ND CITY COMMENTS
4 04.01.20	DESIGN TEAM COORDINATION
5 04.27.20	3RD CITY COMMENTS
9 06.21.21	OWNER / I.D. CHANGES

**RE-PLAT**

DATE: MARCH 16, 2022 ORB #: 16-221

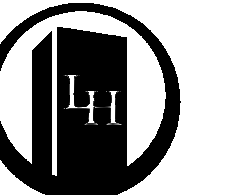
**A3.11.**  
BUILDING FLOOR PLAN  
LEVELS P1 & P2



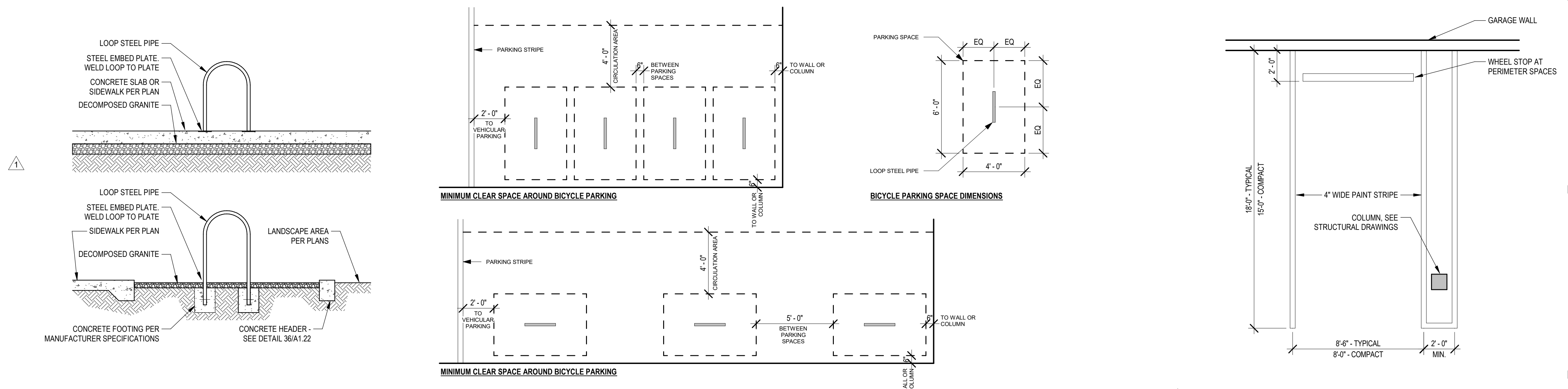
# MARKANA UPTOWN

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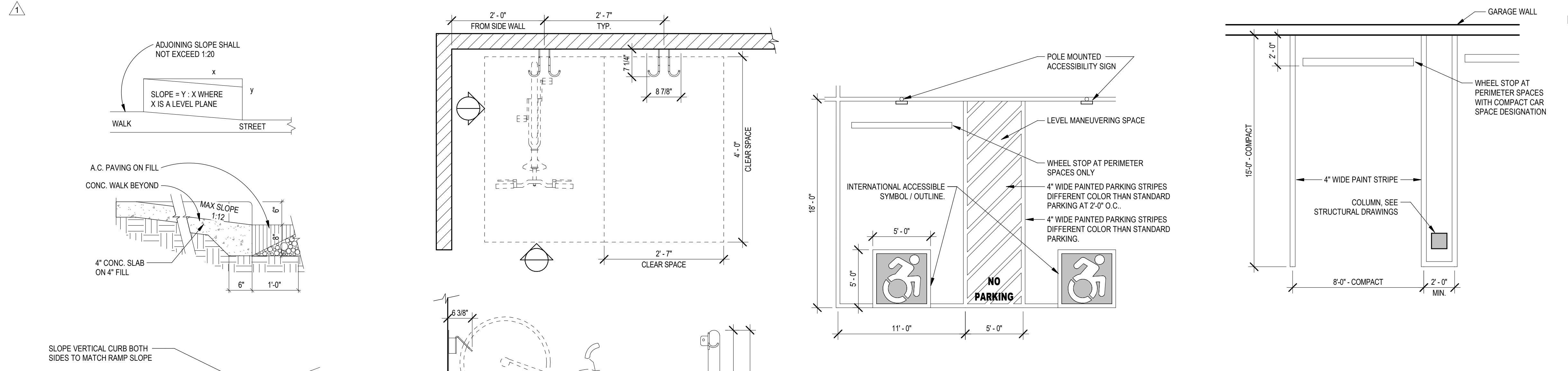
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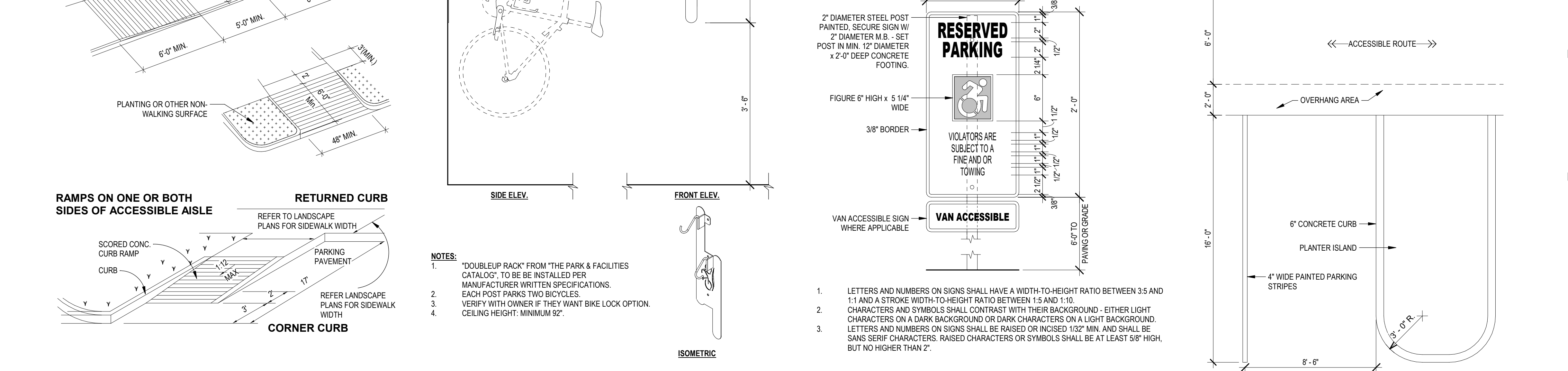
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**8 BICYCLE PARKING** SCALE: 1/2" = 1'-0"  
**4 BICYCLE PARKING RACKS** SCALE: 1/2" = 1'-0"  
**1 TYPICAL PARKING AT GARAGE** SCALE: 1/4" = 1'-0"



**9 TYPICAL ACCESSIBLE RAMP** SCALE: 1/4" = 1'-0"  
**5 TYPICAL ACCESSIBLE PARKING STALL** SCALE: 3/16" = 1'-0"  
**2 TYPICAL COMPACT PARKING AT GARAGE** SCALE: 1/4" = 1'-0"



**7 BICYCLE STORAGE** NOT TO SCALE  
**6 ACCESSIBLE PARKING SIGN** NOT TO SCALE  
**3 TYPICAL PARKING STALL WITH ISLAND** SCALE: 1/4" = 1'-0"

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REVISIONS/SUBMITTALS

DATE	DESCRIPTION
08.21.19	1ST BLD. SUB.
10.30.19	DESIGN TEAM COORDINATION

RE-PLAT  
DATE: FEBRUARY 24, 2022 ORB #: 16-221

# A1.20

SITE DETAILS 1-9

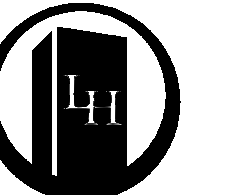
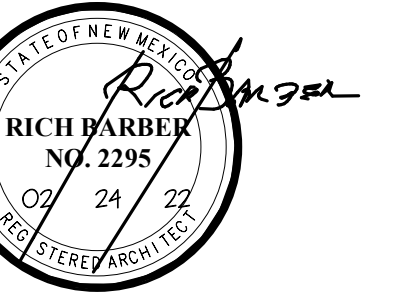


# MARKANA UPTOWN

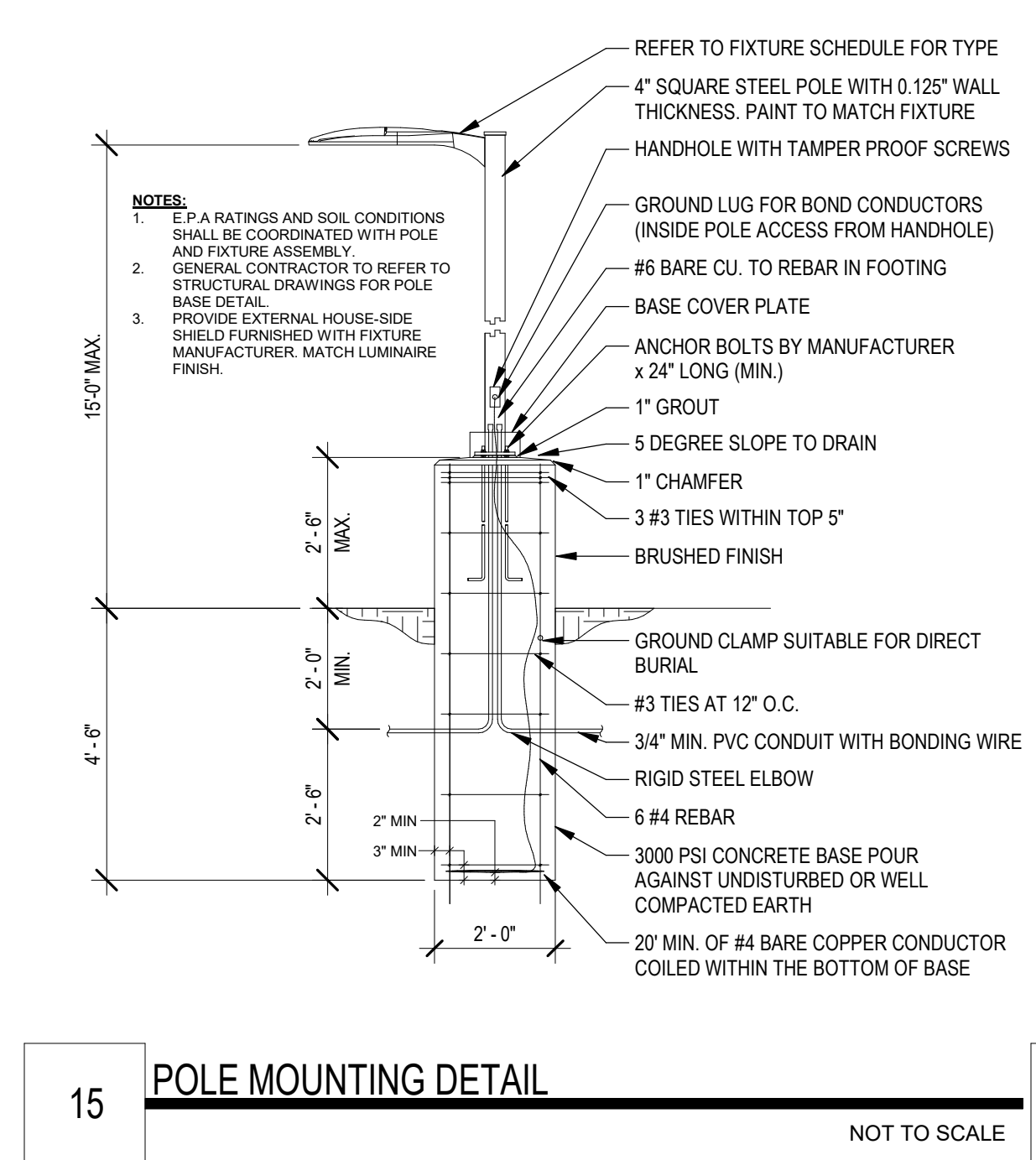
6500 Americas Parkway NE  
Albuquerque, NM 87110

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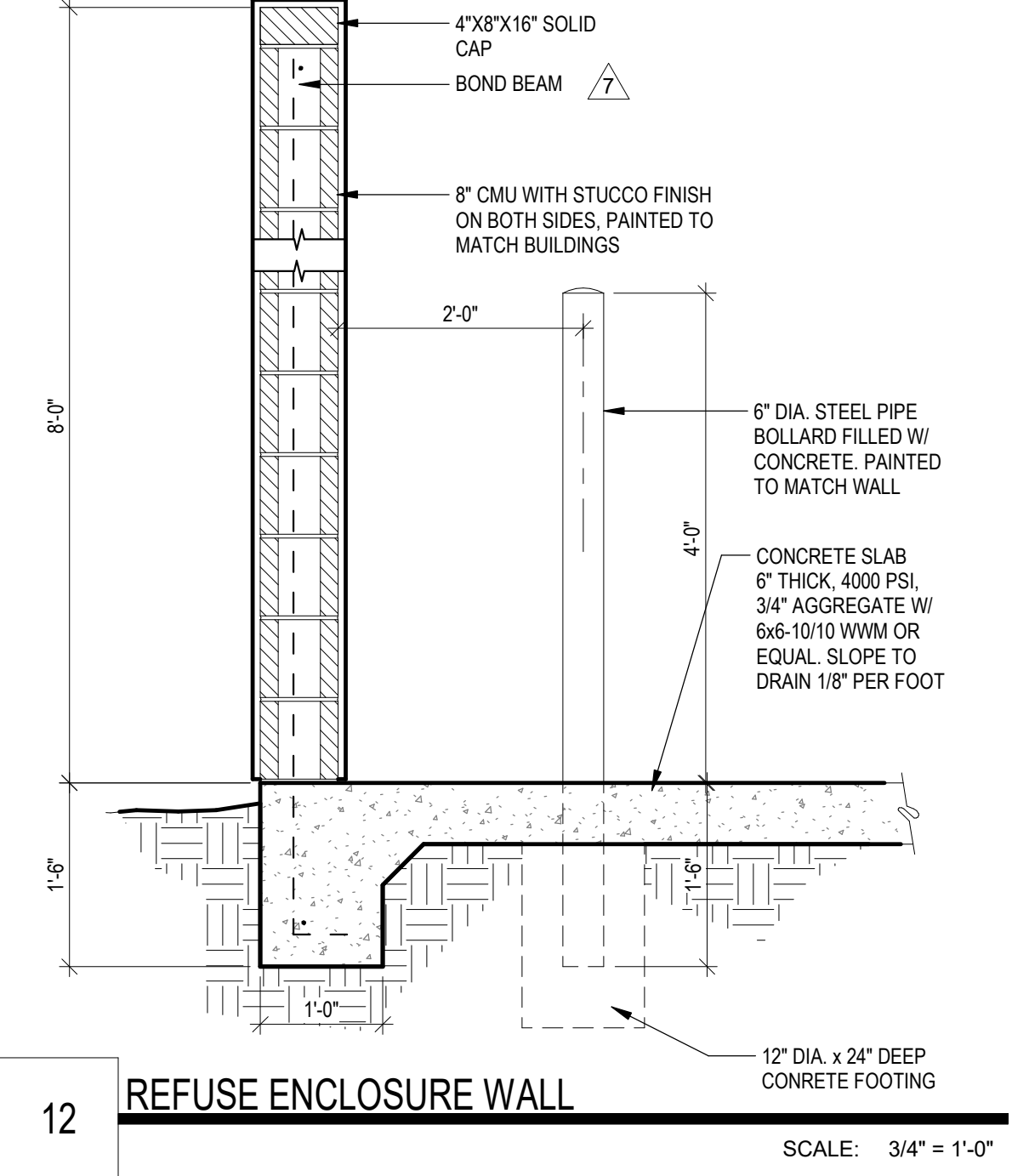
WorldHQ@ORBArch.com



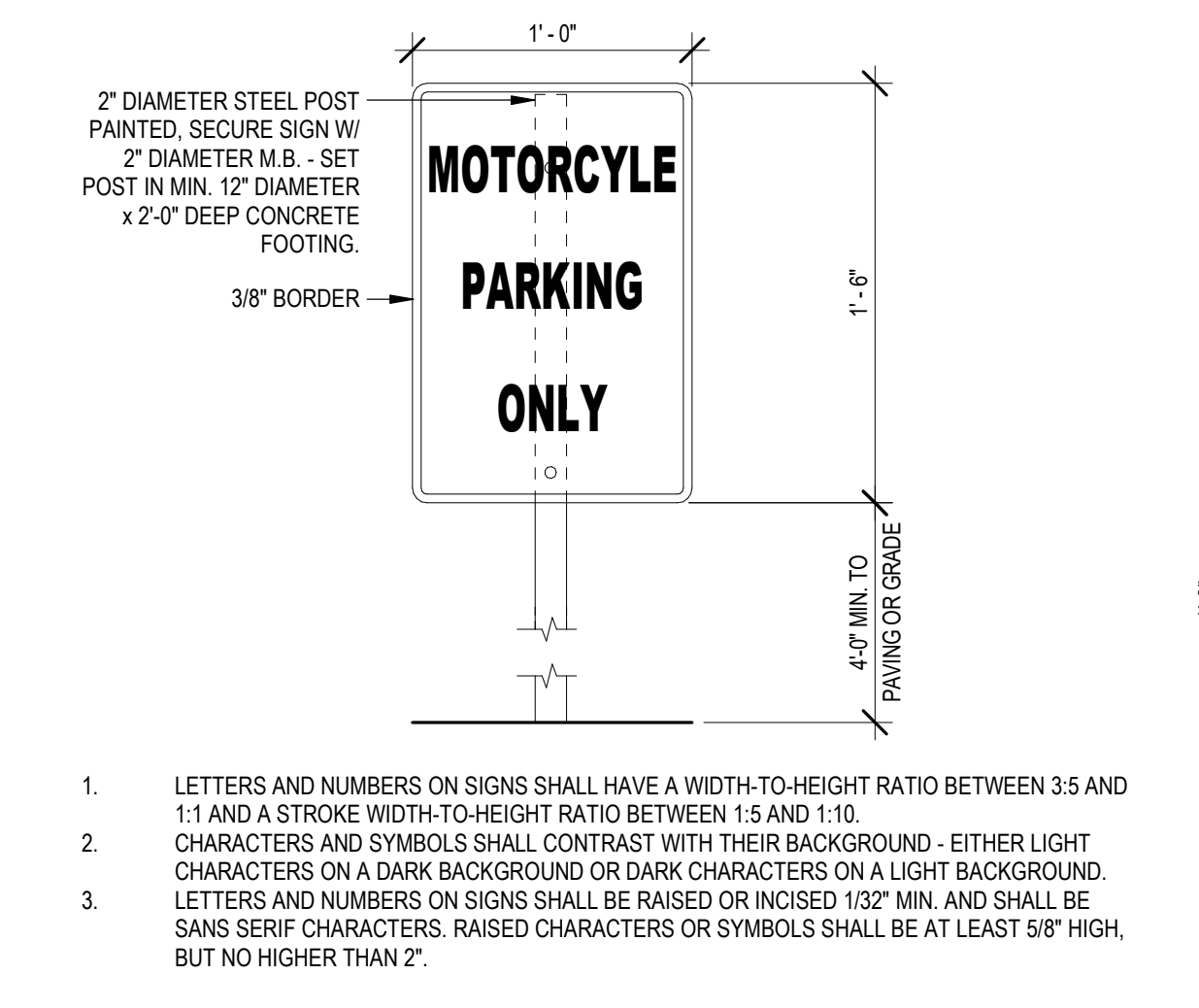
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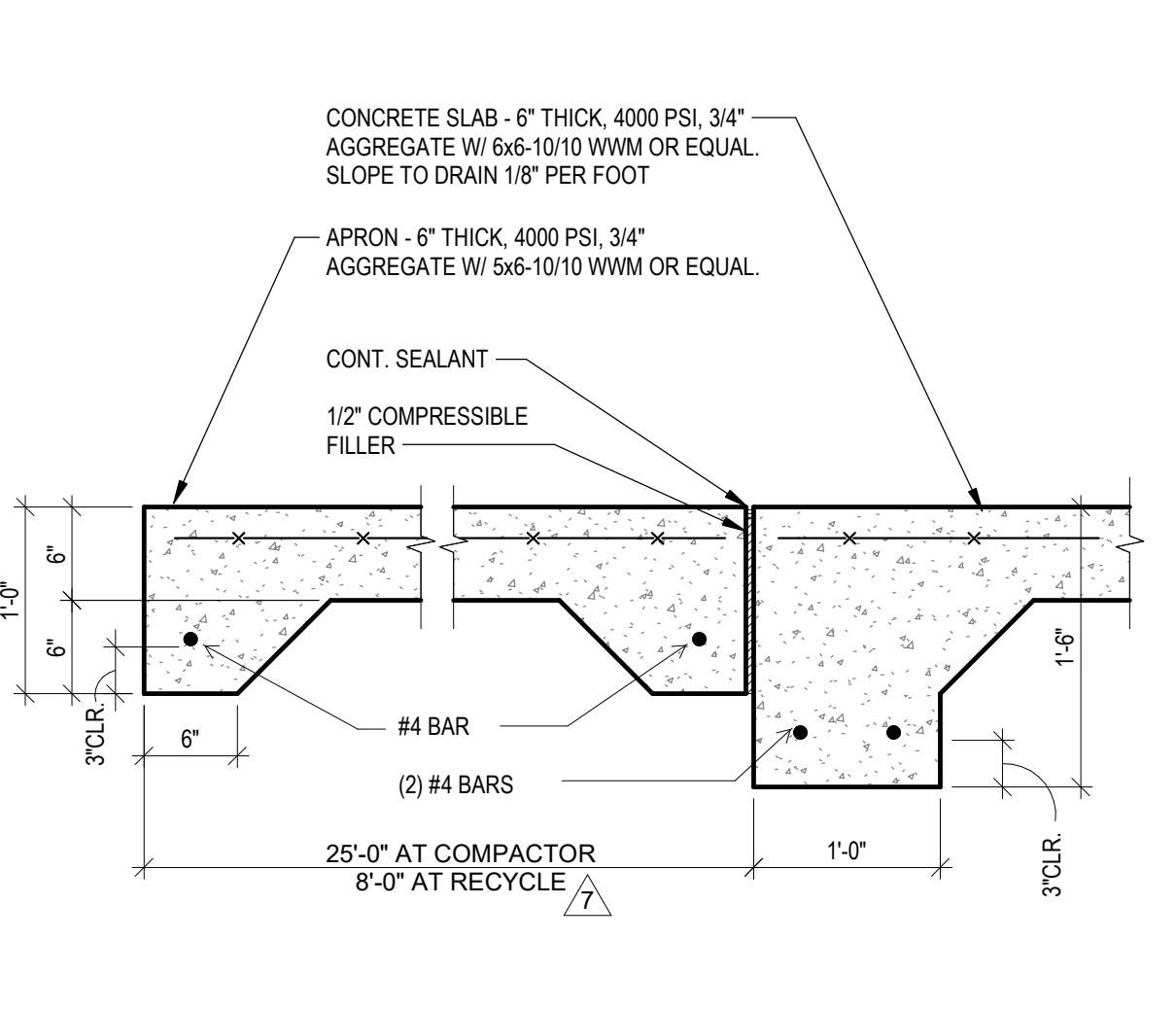
15 POLE MOUNTING DETAIL  
NOT TO SCALE



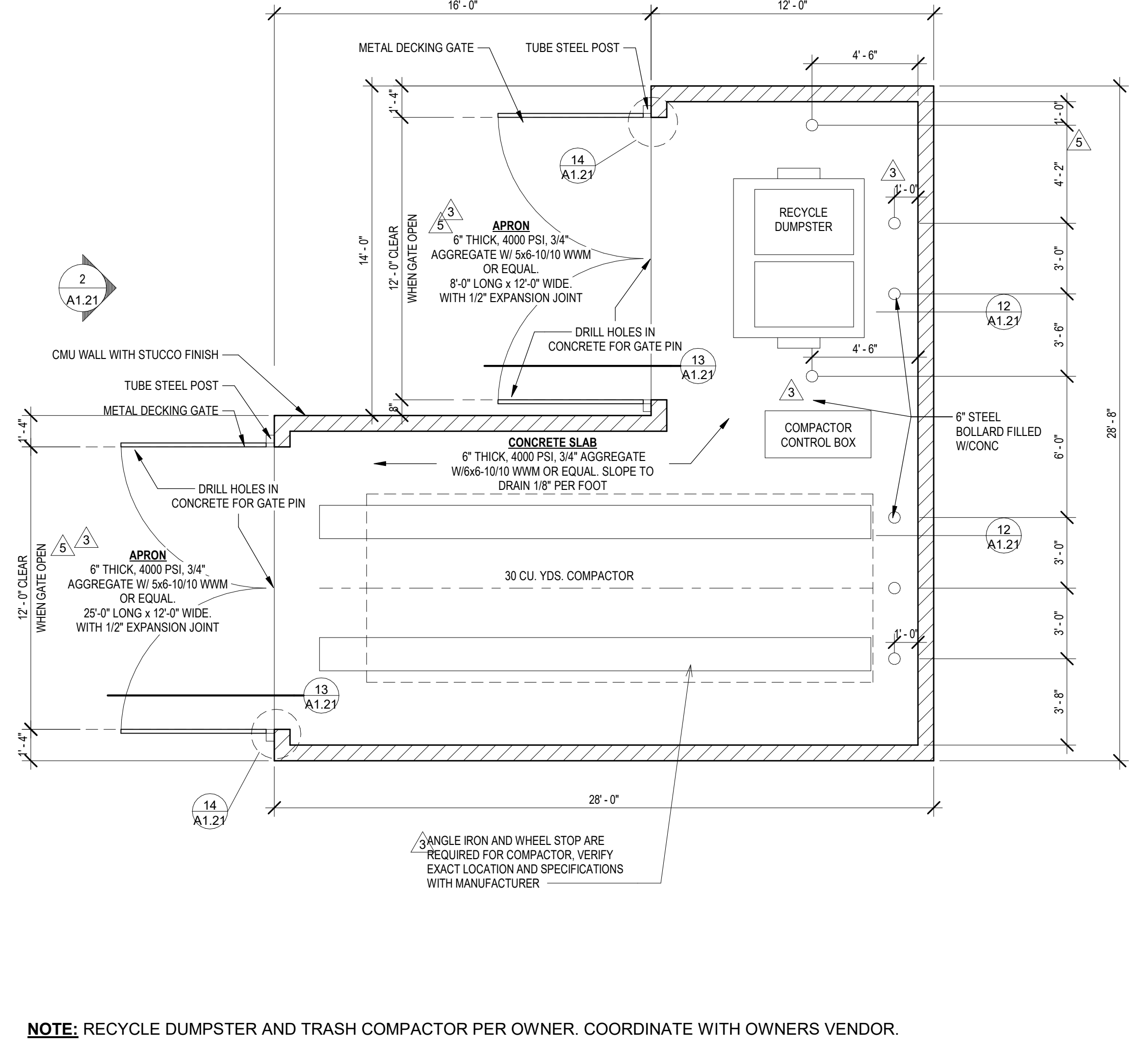
12 REFUSE ENCLOSURE WALL  
SCALE: 3/4" = 1'-0"



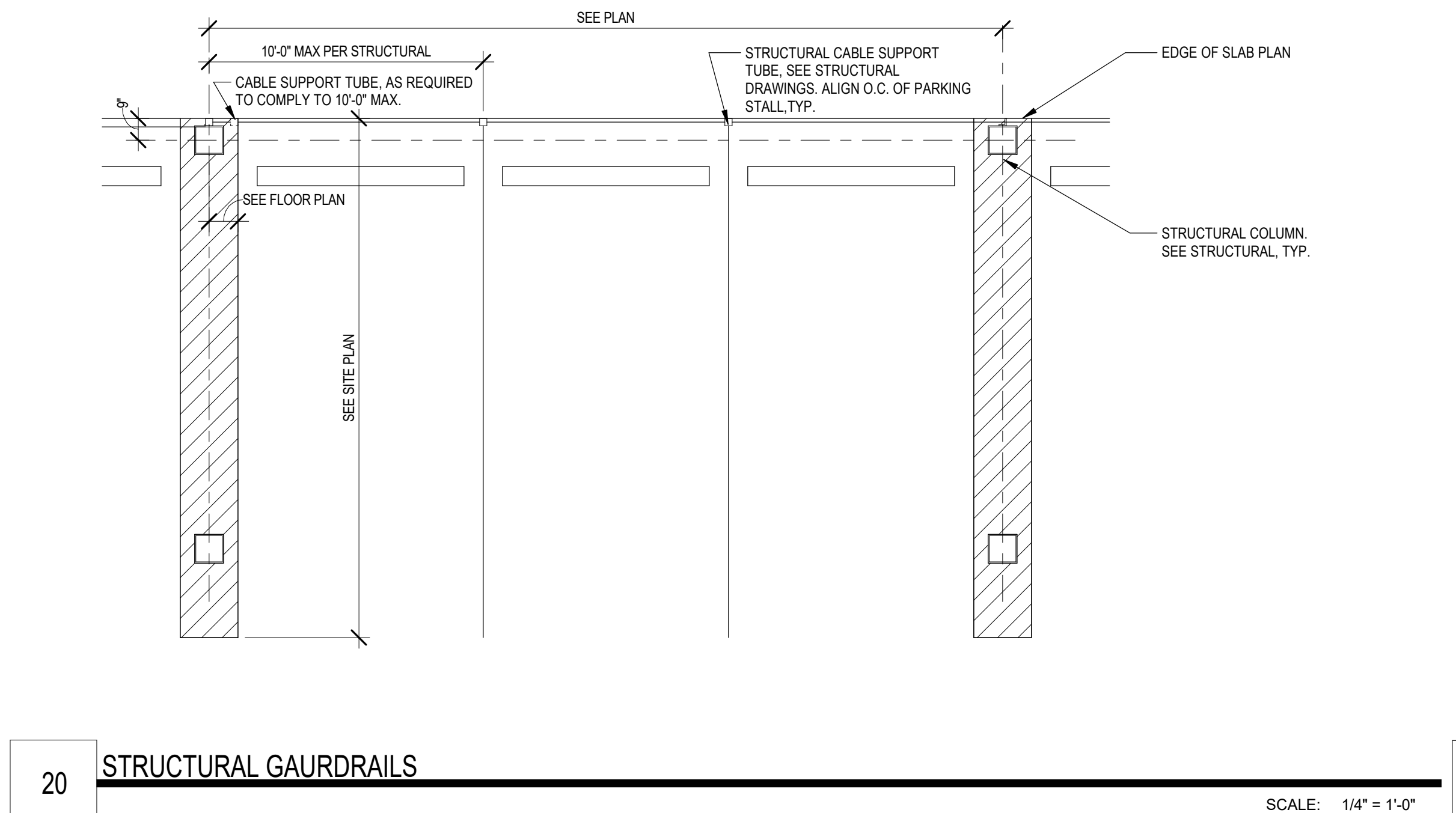
16 MOTORCYCLE PARKING SIGN  
SCALE: 1 1/2" = 1'-0"



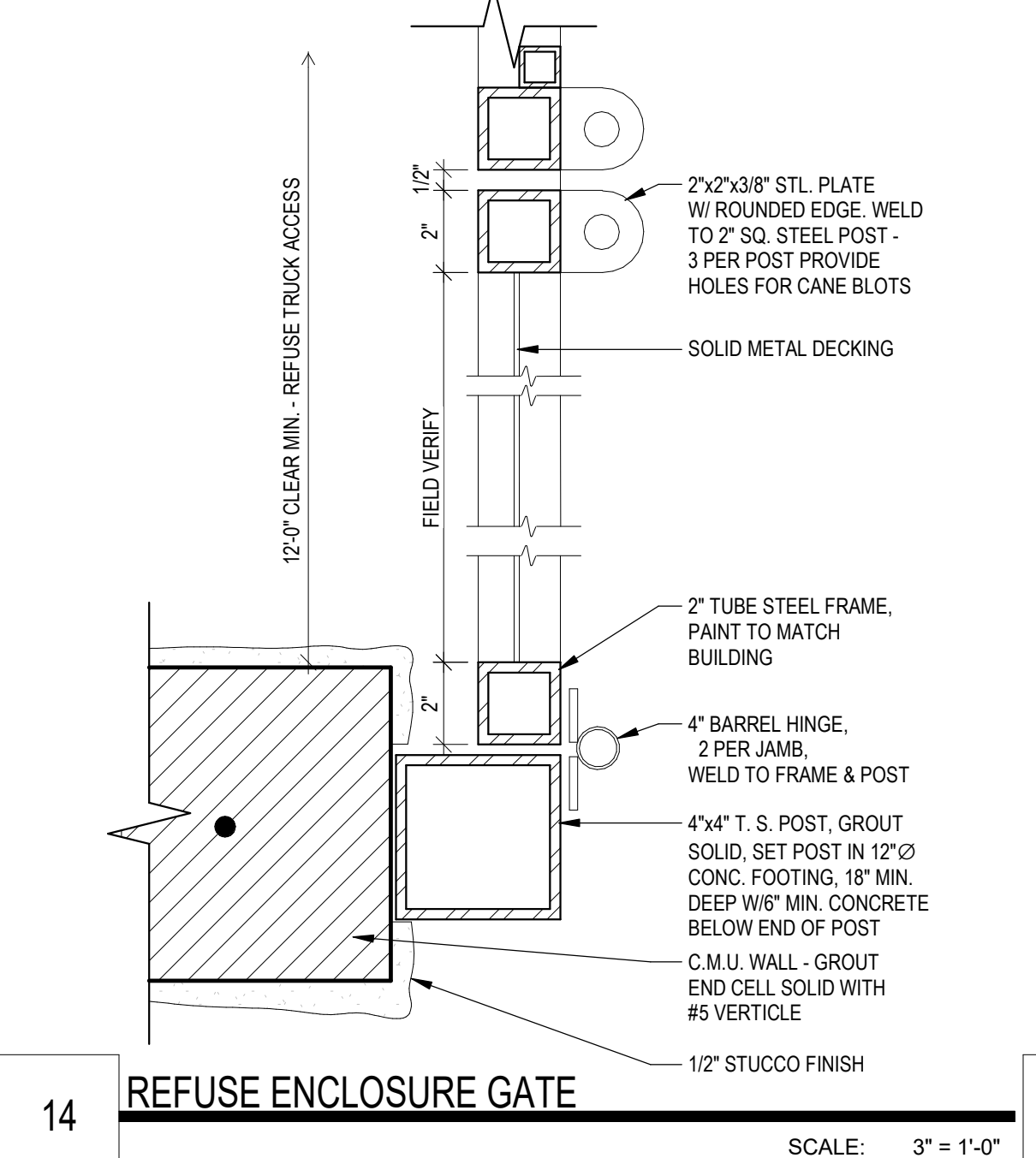
13 REFUSE ENCLOSURE SLAB JOINT  
SCALE: 1" = 1'-0"



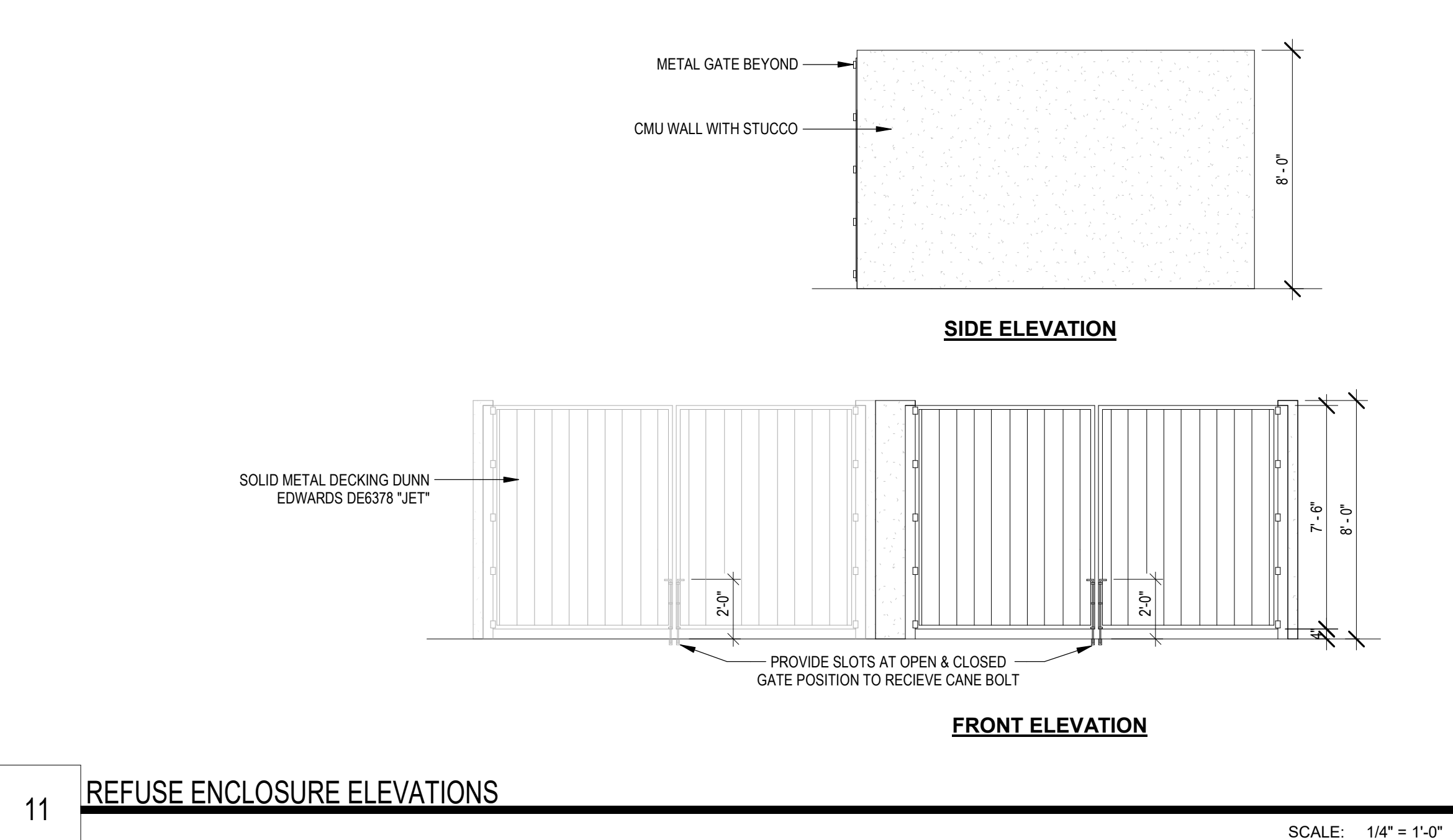
10 REFUSE ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"



20 STRUCTURAL GAURDRAILS  
SCALE: 1/4" = 1'-0"



14 REFUSE ENCLOSURE GATE  
SCALE: 3" = 1'-0"



11 REFUSE ENCLOSURE ELEVATIONS  
SCALE: 1/4" = 1'-0"

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DATE	DESCRIPTION
08.21.19	1ST BLD. SUB.
1 10.30.19	DESIGN TEAM COORDINATION
3 04.01.20	2ND CITY COMMENTS
5 04.27.20	3RD CITY COMMENTS
7 05.13.20	4TH CITY COMMENTS

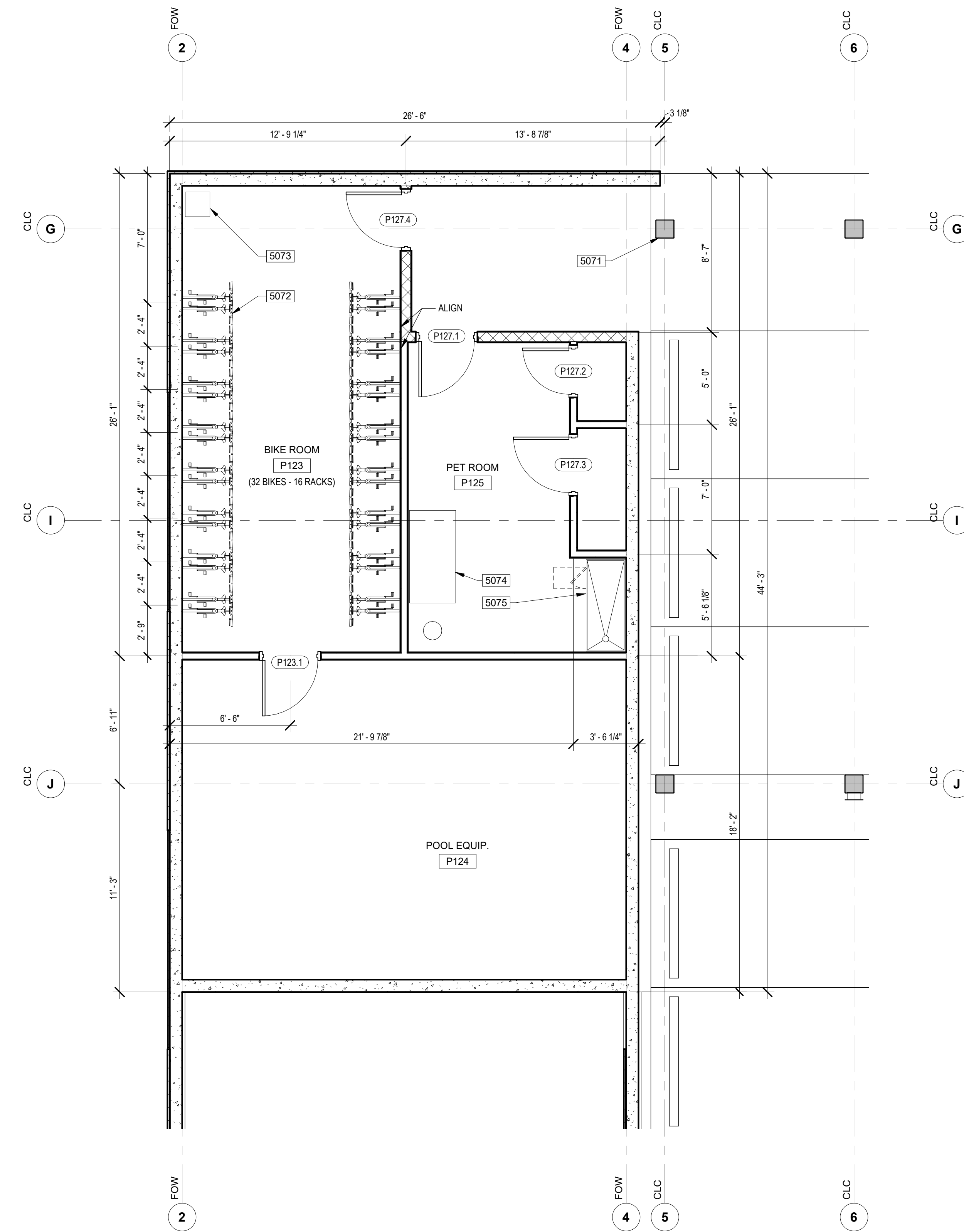
RE-PLAT  
DATE: FEBRUARY 24, 2022 ORB #: 16-221

A1.21  
SITE DETAILS 10-20



**ENLARGED PLAN GENERAL NOTES**

1. ALL WINDOWS WITHIN 3' HORIZONTALLY OR 5' VERTICALLY OF A STAIR OR STAIR LANDING TO HAVE SAFETY GLAZING.
2. REFER TO INTERIOR DESIGN DRAWINGS FOR WALL ELEVATIONS, DROP CEILING DESIGN, FINISH SCHEDULES AND ADDITIONAL REFLECTED CEILING INFORMATION.
3. SEE SHEET A7.8.20 FOR ACCESSIBILITY DETAILS.
4. SEE SHEET A5.00 AND A5.01 FOR COMMON AREAS WINDOW/DOOR SCHEDULES.
5. SEE SHEET A7.10A AND A7.10B FOR STAIR AND ELEVATOR DETAILS.
6. ALL FRAMING ABOVE PODIUM DECK IS TO BE WOOD 2x FRAMING PER STRUCTURAL U.N.O.
7. ALL FRAMING BELOW PODIUM DECK IS TO BE LIGHT GAUGE METAL FRAMING PER STRUCTURAL U.N.O.
8. SEE SHEET A7.1.10 THROUGH A7.1.20 FOR WALL DETAILS.
9. REFER TO BUILDING ELEVATIONS FOR EXTERIOR FINISH MATERIALS.
10. FIELD VERIFY ALL INTERIOR ELEVATOR SHAFT DIMENSIONS.



**1 ENLARGED BIKE / PET ROOM & POOL EQUIPMENT PLAN**  
SCALE: 1/4" = 1'-0"

**SYMBOLS**

- CAST IN PLACE CONCRETE WALLS, PER STRUCTURAL
- CONCRETE MASONRY UNIT
- 2x6 STUD CONSTRUCTION
- 2x8 STUD CONSTRUCTION
- SOFFIT OUTLINE ABOVE
- WALL TYPE - SEE THE A7.1X SERIES FOR WALL TYPES
- WINDOW TYPE - SEE THE A7.1X SERIES FOR WALL TYPES
- DOOR SYMBOL SEE DOOR SCHEDULE A5.00
- WINDOW SYMBOL SEE WINDOW SCHEDULE A5.00
- ACCESSIBILITY EMBLEM
- FIRE EXTINGUISHER & FIRE EXTINGUISHER CABINET
- KEYNOTE
- INTERIOR ELEVATION
- INTERIOR ELEVATION (REFERENCING CONSULTANT SHEETS)

**KEYNOTES**

- 5071 COLUMN PER STRUCTURAL.
- 5072 BIKE RACKS PER OWNER, SEE SHEET A1.20 FOR MORE DETAILS.
- 5073 BIKE VENDING PER OWNER.
- 5074 PET TABLE.
- 5075 PET WASH.

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REVISIONS/SUBMITTALS	
DATE	DESCRIPTION
08.21.19	1ST BLD. SUB.
2 10.30.19	1ST CITY COMMENTS

RE-PLAT  
DATE: FEBRUARY 24, 2022 ORB #: 16-221

**A5.59**  
ENLARGED BIKE / PET ROOM & POOL EQUIP. PLAN







**Easement Notes**

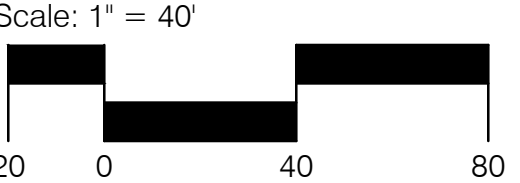
- 1 EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
- 2 EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126) & (6/29/1984, C24-89)
- 3 EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- 4 INTENTIONALLY OMITTED
- 5 EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (8/7/1998, BK. 98-13, PG. 8016)
- 6 INTENTIONALLY OMITTED
- 7 INTENTIONALLY OMITTED
- 8 EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DOC. NO. 2007144250)
- 9 EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, PRIVATE CROSS LOT UTILITY EASEMENT AND RECIPROCAL PRIVATE CROSS PARKING EASEMENT BENEFITING AND MAINTAINED BY TRACT A-2-B AND TRACTS A-2-A & A-2-B (7/2/2001, 2001C-186) (4/19/2011, 2011C-35)
- 10 PRIVATE CROSS LOT DRAINAGE EASEMENT ACROSS TRACTS A-2-A-2 AND A-2-A-1 BENEFITING AND MAINTAINED BY TRACT A-2-B (8/13/1998, 98C-241)
- 11 PRIVATE PARKING, VEHICULAR ACCESS, AND PEDESTRIAN EASEMENT BENEFITING AND MAINTAINED BY TRACTS 1-B-1, A-2-A-1 AND A-2-A-2, PARK SQUARE (7/15/1998, BK. 9812, PG. 6785)(7/31/2002, BK. A39, PG. 6377) (1/14/2005, BK. A90, PG. 7567)(5/19/2007, BK. A136, PG. 8823)
- 12 PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- 13 PRIVATE CROSS LOT DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1 AND A-2-A-2, PARK SQUARE (4/19/2011, 11C-35)
- 14 EXISTING 33' COA WATER & SEWER EASEMENT (6/29/1984, C24-89)
- 15 10' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAN

WARREN CORONADO APARTMENTS  
ZONING: MX-H

SEE SHEET L2 FOR  
LEVEL 1 PATIO  
LANDSCAPE

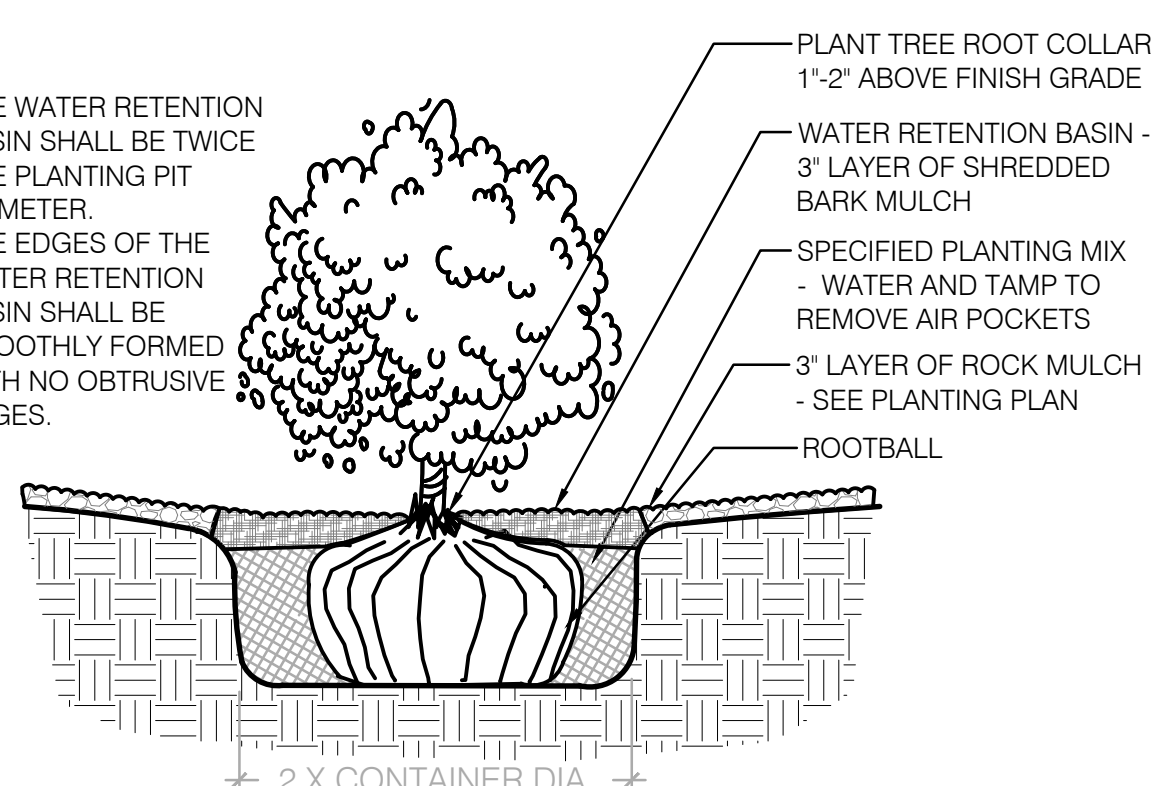
America's Parkway NE  
(88' Public R/W)

MARRIOTT HOTEL  
ZONING: MX-H



**NOTES:**

- A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
- B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.

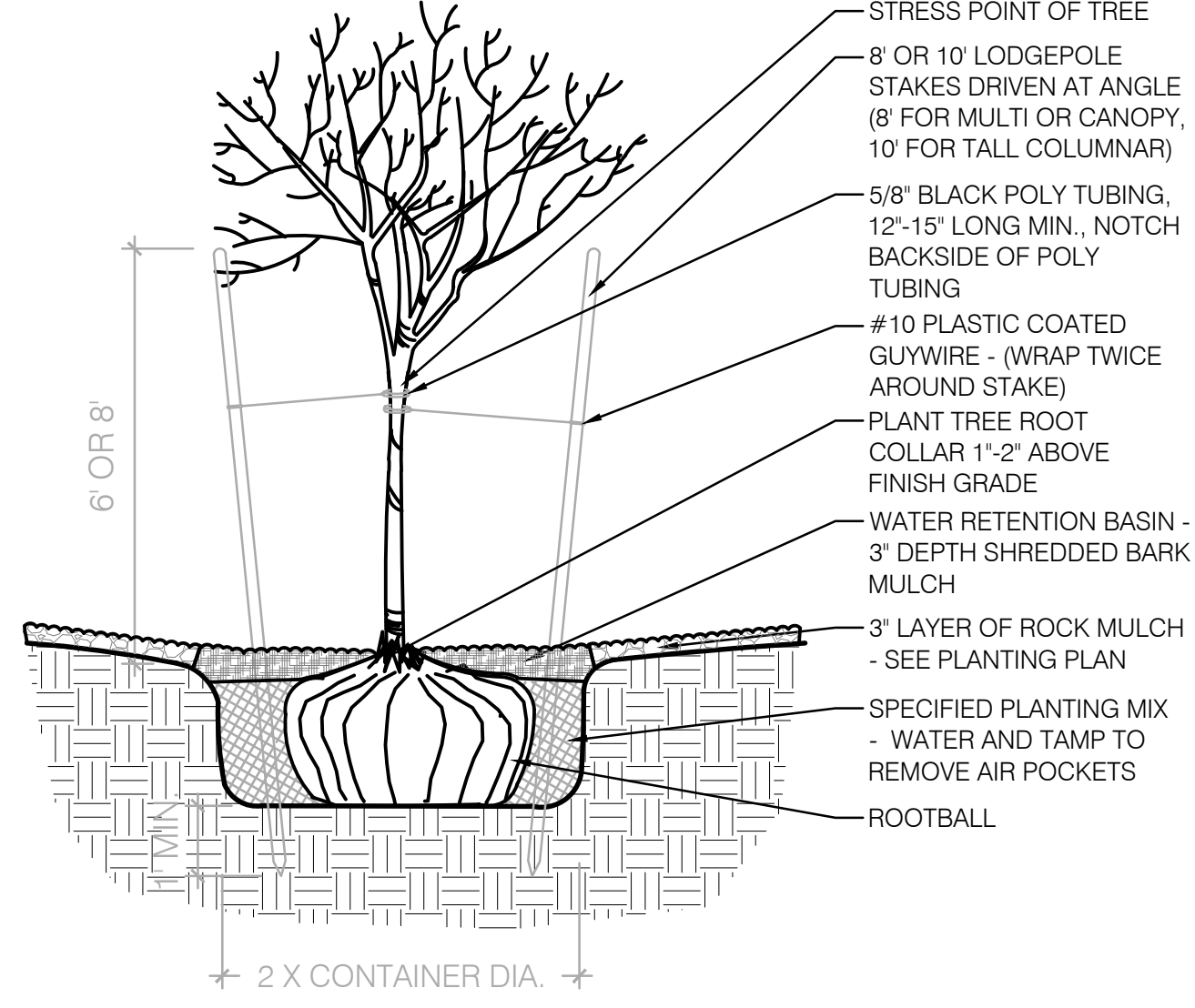


**A SHRUB PLANTING**

SCALE: N.T.S.

**NOTES:**

- A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
- B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
- C. REMOVE ROPE AND BURLAP AFTER PLANTING.



**B TREE PLANTING**

SCALE: N.T.S.

**PLANT LEGEND**

PATIO SITE QTY.	SYMBOL	EXISTING	SCIENTIFIC NAME	COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE	MATURE SIZE
20	⊙	EXISTING TREE TO REMAIN	QUERCUS MUHLBERGII	CHINQUAPIN OAK (M)	2\"/>		
5	⊙	EXISTING SHRUB TO REMAIN	JUNIPERUS SCOPULORUM	FEMALE ROCKY MOUNTAIN JUNIPER (L+)	B&B	6\"/>	
6	⊙	EXISTING TREE TO REMAIN	LAGERSTROEMIA INDICA	MUSKOGEE MUSKOGEE CRAPPE MYRTLE (H)	2\"/>		
13	⊙	EXISTING TREE TO REMAIN	PYRUS CALLERYANA	CHANTICLEER CHANTICLEER FLOWERING PEAR (M)	2\"/>		
22	⊙	EXISTING TREE TO REMAIN	ULMUS HYBRID	FRONTIER FRONTIER ELM (M)	2\"/>		
8	⊙	EXISTING TREE TO REMAIN	VITEX AGNIUS-CASTUS	CHASTE TREE (M)	2\"/>		
92	⊕	SHRUBS	BUXUS JAPONICA	WINTER GEM WINTER GEM BOXWOOD (M)	5-GAL	3\"/>	
55	⊕	SHRUBS	CARYOPTERIS CLANDONENSIS	DARK KNT BLUE MIST DARK KNIGHT SPIREA	5-GAL	6\"/>	
30	⊕	SHRUBS	CYTISUS SCOPARIUS	MOONLIGHT MOONLIGHT SCOTCH BROOM (M)	5-GAL	6\"/>	
45	⊕	SHRUBS	DASYLIRION TEXANA	SOTOL (RW)	5-GAL	4\"/>	
55	⊕	SHRUBS	FALLUGIA PARADOXA	APACHE PLUME (L+)	5-GAL	5\"/>	
56	⊕	SHRUBS	HESPERALOE PARVIFLORA	YELLOW FLOWERING YUCCA (L+)	5-GAL	4\"/>	
28	⊕	SHRUBS	JUNIPERUS SCOPULORUM	SKYROCKET SKYROCKET JUNIPER (L+)	5-GAL	5\"/>	
41	⊕	SHRUBS	PINUS MUGO	MUGHUS MUGO PINE (M)	5-GAL	5\"/>	
51	⊕	SHRUBS	RHAPHIOLEPIS INDICA	PINK LADY INDIAN HAWTHORN (M)	5-GAL	5\"/>	
63	⊕	SHRUBS	RHUS TRILOBATA	AUTUMN AMBER CREEPING THREE-LEAF SUMAC (L+)	5-GAL	5\"/>	
37	⊕	SHRUBS	ROSA WOODSII	WOODS ROSE (L+)	5-GAL	5\"/>	
23	⊕	SHRUBS	YUCCA RUPICOLA	TWISTLEAF YUCCA (RW)	5-GAL	5\"/>	
24	⊕	ORNAMENTAL GRASSES	CALAMAGROSTIS A.	OVERDAM VARIEGATED REED GRASS (M)	1-GAL	3\"/>	
25	⊕	ORNAMENTAL GRASSES	MISCANTHUS SINENSIS	PURPURASCENS FLAME GRASS (M)	1-GAL	3\"/>	
81	⊕	ORNAMENTAL GRASSES	MISCANTHUS SINENSIS	YAKU JIMA DWARF MAIDEN GRASS (M)	1-GAL	3\"/>	
36	⊕	ORNAMENTAL GRASSES	PENNISETUM ALOP.	HAMELN DWARF FOUNTAIN GRASS (M)	1-GAL	3\"/>	
46	⊕	ORNAMENTAL GRASSES	PENNISETUM ORIENTALE	KARLEY ROSE ORIENTAL FOUNTAIN GRASS (M)	1-GAL	3\"/>	
750	⊕	ORNAMENTAL GRASSES	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED (L)	1-GAL	3\"/>	
62	⊕	FLOWERING PLANTS	ACHILLEA MOONSHINE	MOONSHINE YARROW (M)	1-GAL	2\"/>	
20	⊕	FLOWERING PLANTS	CENTRANTHUS RUBER	RED VALERIAN (M)	1 GAL.	2\"/>	
150	⊕	FLOWERING PLANTS	DELOSPERMA COOPERI	NUBIGENUM PURPLE/YELLOW ICEPLANT (L+)	1-GAL	16\"/>	
31	⊕	FLOWERING PLANTS	ECHINACEA PURPUREA	PURPLE CONEFLOWER (M)	1 GAL.	18\"/>	
150	⊕	FLOWERING PLANTS	NEPETA HYBRID	KIT CAT KIT CAT MINT (L+)	1 GAL.	16\"/>	
325	⊕	FLOWERING PLANTS	OENOTHERA BERLANDIERI	MEXICAN EVENING PRIMROSE (L+)	1 GAL.	10\"/>	
7	⊕	BOULDERS AND MULCHES	MOSS ROCK	BOULDERS (3X3\"/>			
32,978	⊕	BOULDERS AND MULCHES	LANDSCAPE AREA	TO INCLUDE ROCK MULCH OVER FILTER FABRIC. MULCHES TO BE 7\"/>			

**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN**  
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH CRUSHER FINES, 7/16\"/>

**ORGANIC MULCH AT TREES**  
ORGANIC MULCH IS REQUIRED AS GROUND COVER UNDER TREES WITHIN A 5-FOOT RADIUS AROUND THE TREE TRUNK, BUT NOT DIRECTLY AGAINST THE TRUNK. IN THESE AREAS, WEED BARRIER FABRIC IS PROHIBITED.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPOED ON THE SAME VALVE.

WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, A SEPARATE VALVE(S) WILL BE PROVIDED AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. DRIP IRRIGATION SYSTEMS AND ARTIFICIAL TURF SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 10 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**LANDSCAPE AREA COVERAGE**  
TRACT A-2-A-2-A & TRACT A-2 COMBINED  
TOTAL SITE AREA: 145,347 SF (3.33 AC)  
BUILDING AREA (BUILDING ENVELOPE): - 77,419 SF  
NET AREA: 67,928 SF  
REQUIRED LANDSCAPE AREA (10% OF NET AREA): 6,793 SF  
PROVIDED LANDSCAPE AREA: 23,922 SF (35%)  
\*NOTE: SITE IS LOCATED IN THE UPTOWN COMPREHENSIVE PLAN URBAN CENTER

TRACT A-2-A-1-A  
TOTAL SITE AREA: 71,959 SF (1.65 AC)  
BUILDING AREA (BUILDING ENVELOPE): - 17,345 SF  
NET AREA: 54,614 SF  
REQUIRED LANDSCAPE AREA (10% OF NET AREA): 5,461 SF  
PROVIDED LANDSCAPE AREA: 8,340 SF (15%)  
\*NOTE: SITE IS LOCATED IN THE UPTOWN COMPREHENSIVE PLAN URBAN CENTER

**LANDSCAPE LIVE VEGETATIVE COVERAGE**  
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

TRACT A-2-A-2-A & TRACT A-2 COMBINED  
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE: 46,477 SF (194% OF LANDSCAPE AREA)  
PROVIDED GROUND-LEVEL PLANT COVERAGE: 9,610 SF (53% OF LIVE VEGETATIVE COVERAGE)

TRACT A-2-A-1-A  
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE: 16,500 SF (198% OF LANDSCAPE AREA)  
PROVIDED GROUND-LEVEL PLANT COVERAGE: 5,980 SF (36% OF LIVE VEGETATIVE COVERAGE)

**LANDSCAPE TURF**  
NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.  
NO TURF GRASS IS USED.

**PARKING LOT AREA**  
THE SITE IS LOCATED IN THE UPTOWN URBAN CENTER. AT LEAST 10 PERCENT OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES SHALL BE LANDSCAPED

TRACT A-2-A-2-A & TRACT A-2 COMBINED IS PROVIDING 122 PARKING SPACES, EXCLUDING GARAGE PARKING.  
TOTAL PARKING LOT AREA: 36,420 SF  
LANDSCAPE AREA: 10,922 SF (30% OF PARKING LOT AREA)

TRACT A-2-A-1-A IS PROVIDING 95 PARKING SPACES.  
TOTAL PARKING LOT AREA: 43,130 SF  
LANDSCAPE AREA: 6,750 SF (15% OF PARKING LOT AREA)

**PARKING LOT TREES**  
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES. PARKING LOT TREES ARE IDENTIFIED ON THE PLAN WITH A PLT TAG.

TRACT A-2-A-2-A & TRACT A-2 COMBINED IS PROVIDING 122 PARKING SPACES, EXCLUDING GARAGE PARKING.  
PARKING LOT TREES REQUIRED: 13  
PARKING LOT TREES PROVIDED: 23

TRACT A-2-A-1-A IS PROVIDING 95 PARKING SPACES.  
PARKING LOT TREES REQUIRED: 10  
PARKING LOT TREES PROVIDED: 15

**STREET TREES**  
AMERICA'S PARKWAY IS A MAJOR COLLECTOR AND THEREFORE REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C.

AMERICA'S PARKWAY FRONTAGE IS 574'.  
STREET TREES REQUIRED: 23  
STREET TREES PROVIDED: 23

INDIAN SCHOOL ROAD IS AN URBAN MINOR ARTERIAL AND THEREFORE REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C.

INDIAN SCHOOL ROAD FRONTAGE IS 300'.  
STREET TREES REQUIRED: 12  
STREET TREES PROVIDED: 12



NOT FOR CONSTRUCTION

**L1**

**LANDSCAPE PLAN**





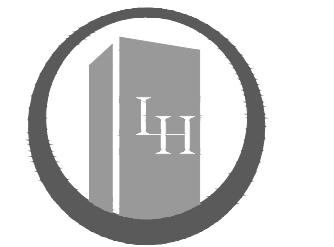


# MARKANA UPTOWN

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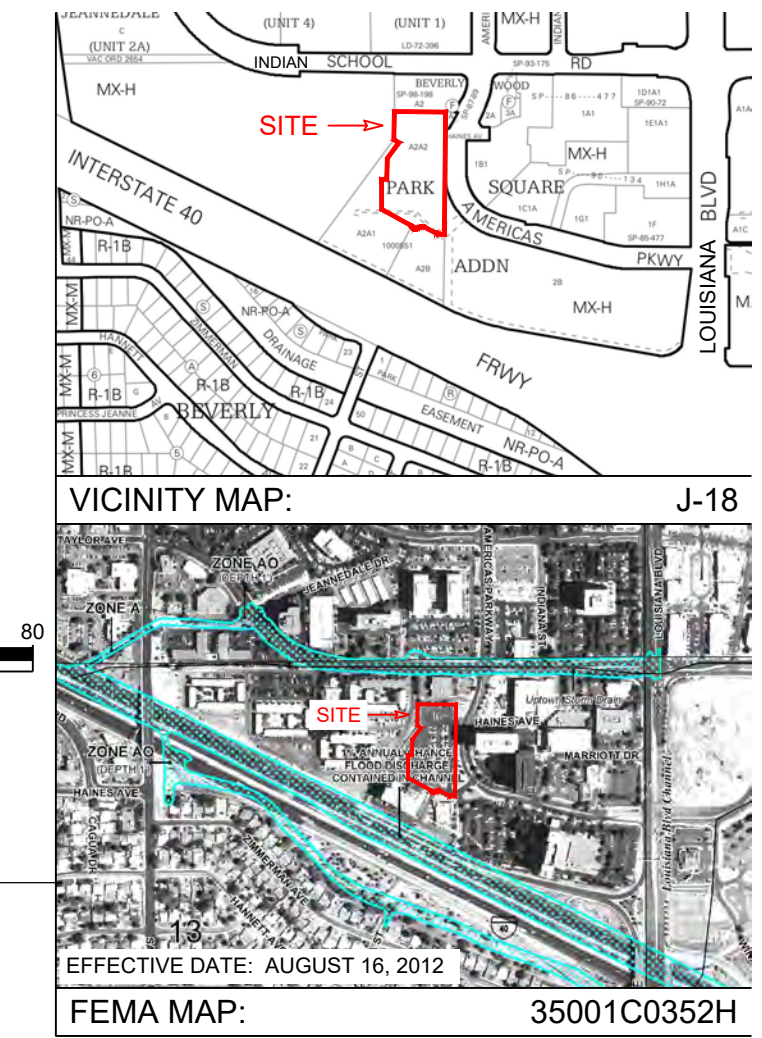
## REVISIONS


## CD SET

DATE: October 30, 2019 ORB # 16-221

# C-101

DRAINAGE PLAN



**LEGEND**  
 --- EXISTING PROPERTY BOUNDARY  
 - - - PROPOSED PROPERTY BOUNDARY  
 - - - - SUBBASIN BOUNDARY

### BACKGROUND

TRACT A-2-A-2-A, PARK SQUARE IS APPROXIMATELY 2.4 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED JUST WEST OF AMERICAS PARKWAY BETWEEN INDIAN SCHOOL ROAD AND INTERSTATE 40. THE SITE CURRENTLY IS A PARKING LOT. THE PROPOSED PROJECT IS AN APARTMENT BUILDING. THIS PROPERTY RECEIVES NO OFFSITE FLOWS. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE SITE. A GRADING PLAN WAS DONE FOR THE PARKING LOT BY AFRA CONSTRUCTION & DESIGN FOR TRACT A-2-A-2-A (J18-D33). THIS FILE CAN BE REFERENCED FOR GENERAL BACKGROUND RELATED TO THE PROPERTY.

### METHODOLOGY

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 22.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES IN ORDER TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.34". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

### EXISTING CONDITIONS

THE PROPOSED PROJECT AREA, IN GENERAL, SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 3% - 4%. STORM WATER RUNOFF GENERATED BY TRACT A-2-A-2-A SHEET DRAINS INTO TRACT A-2-A-1-A, THE ADJACENT PROPERTY TO THE SOUTH, AND IS CONCENTRATED INTO A CONCRETE RUNDOWN AT THE SOUTHWEST CORNER OF TRACT A-2-A-1-A. THE CONCRETE RUNDOWN DIRECTS WATER INTO A DROP INLET, WHICH THEN FLOWS IN A RCP UNDER THE WEST BOUND LANES OF INTERSTATE 40 AND DISCHARGES INTO THE I-40 CHANNEL.

### PROPOSED CONDITIONS

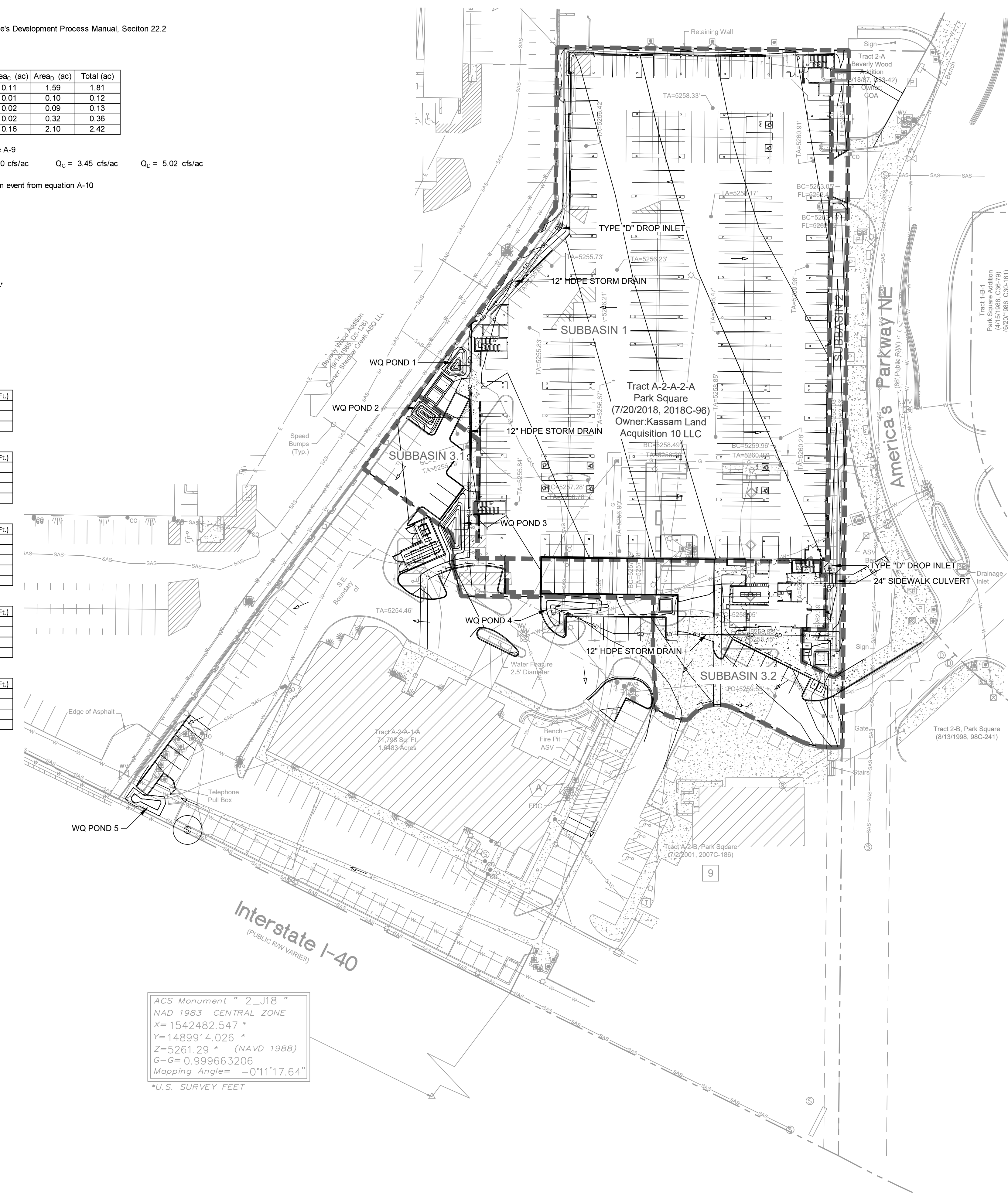
THE PROPOSED PROJECT WILL CONSIST OF A PARKING GARAGE AT GRADE, ANOTHER LEVEL OF PARKING GARAGE ABOVE, AND FOUR FLOORS OF APARTMENT UNITS ABOVE THE PARKING GARAGE LEVELS. THE PROPERTY HAS BEEN SPLIT INTO 3 SUBBASINS.

SUBBASIN 1 IS 1.81 ACRES AND GENERATES 8.7 CFS. THIS SUBBASIN CONSISTS PRIMARILY OF THE RUNOFF GENERATED BY THE ROOF OF THE BUILDING. THE ROOF WILL FLOW WEST AND FLOW INTO SCUPPERS AND DOWNSPOUTS. STORM WATER IS THEN ROUTED THROUGH A 12" STORM DRAIN THAT DISCHARGES INTO WATER QUALITY PONDS 1, 2 AND 3. THE REQUIRED WATER QUALITY VOLUME FOR THIS SUBBASIN IS 1,966 CUBIC FEET. WATER QUALITY PONDS 1, 2 AND 3 PROVIDE A COMBINED 1,410 CUBIC FEET. ONCE FULL, RUNOFF ENTERS THE PARKING LOT AND FLOWS TO THE SOUTHWEST CORNER OF THE PROPERTY ALONG THE PROPERTY LINE AS THE SITE HAS DONE HISTORICALLY.

SUBBASIN 2 IS 0.12 ACRES AND GENERATES 0.6 CFS. THIS SUBBASIN CONSISTS PRIMARILY OF THE RUNOFF GENERATED BY THE LANDSCAPING TO THE EAST OF THE BUILDING. THE LANDSCAPING AREA EAST OF THE BUILDING WILL FLOW SOUTH UNTIL ENTERING THE DROP INLET NEAR THE SOUTHEAST CORNER OF THE BUILDING. FROM THERE, A STORM DRAIN CONVEYS THE RUNOFF TO WATER QUALITY POND 4. THE REQUIRED WATER QUALITY VOLUME FOR THIS SUBBASIN IS 129 CUBIC FEET. WATER QUALITY POND 4 PROVIDES 253 CUBIC FEET. ONCE FULL, THE POND DISCHARGES INTO THE PARKING LOT AND FLOWS TO THE SOUTHWEST CORNER OF THE PROPERTY ALONG THE PROPERTY LINE AS THE SITE HAS DONE HISTORICALLY.

SUBBASIN 3 IS 0.49 ACRES AND GENERATES 2.3 CFS. THIS SUBBASIN CONSISTS OF THE PARKING LOT LOCATED ON THE SUBJECT PROPERTY. SUBBASIN 3.1 FLOWS SOUTH ALONG THE WEST BOUNDARY OF THE SITE AND SUBBASIN 3.2 FLOWS SOUTH INTO THE VALLEY GUTTER TO THE SOUTHWEST CORNER OF THE PROPERTY AS THE SITE HAS HISTORICALLY DONE. THE REQUIRED WATER QUALITY VOLUME FOR THIS SUBBASIN IS 499 CUBIC FEET. WATER QUALITY POND 5 PROVIDES 148 CUBIC FEET.

THE TOTAL REQUIRED STORMWATER QUALITY VOLUME FOR THIS DEVELOPMENT IS 2,595 CF. THE TOTAL STORMWATER QUALITY VOLUME PROVIDED IS 1,811 CF. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REMAINING VOLUME OF 784 CF. THIS PAYMENT AMOUNT = 784 CF X \$9/CF = \$6,272.00.



### Hydrology Calculations

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

#### Runoff Rate:

Treatment Type Areas	Subbasin	Area <sub>1</sub> (ac)	Area <sub>2</sub> (ac)	Area <sub>3</sub> (ac)	Area <sub>4</sub> (ac)	Area <sub>5</sub> (ac)	Total (ac)
Subbasin 1	0.00	0.11	0.11	1.59	1.81		
Subbasin 2	0.00	0.01	0.01	0.10	0.12		
Subbasin 3.1	0.00	0.02	0.02	0.09	0.13		
Subbasin 3.2	0.00	0.02	0.02	0.32	0.36		
Total	0.00	0.16	0.16	2.10	2.42		

Peak Discharge values based on Zone 3 from Table A-9  
 $Q_A = 1.87 \text{ cfs/ac}$      $Q_B = 2.60 \text{ cfs/ac}$      $Q_C = 3.45 \text{ cfs/ac}$      $Q_D = 5.02 \text{ cfs/ac}$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
Subbasin 1	8.7
Subbasin 2	0.6
Subbasin 3.1	0.6
Subbasin 3.2	1.7
Total	11.5

#### Water Quality:

Required Water Quality volume for first flush of 0.34"

Subbasin	Volume (cu. ft.)
Subbasin 1	1,966
Subbasin 2	129
Subbasin 3.1	107
Subbasin 3.2	392
Total	2,595

#### Water Quality Pond Rating Curves

**WQ Pond 1**

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,251.8	3	0	0
5,252.6	27	13	13
5,254.5	148	165	178

**WQ Pond 2**

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,251.5	3	0	0
5,253.6	79	88	88
5,254.7	150	124	212
5,255.8	244	212	425

**WQ Pond 3**

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,251.2	12	0	0
5,252.0	58	27	27
5,253.5	232	222	249
5,254.2	359	225	474
5,255.0	519	334	807

**WQ Pond 4**

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,253.80	6	0	0
5,254.00	21	3	3
5,255.00	271	146	149
5,255.30	421	104	253

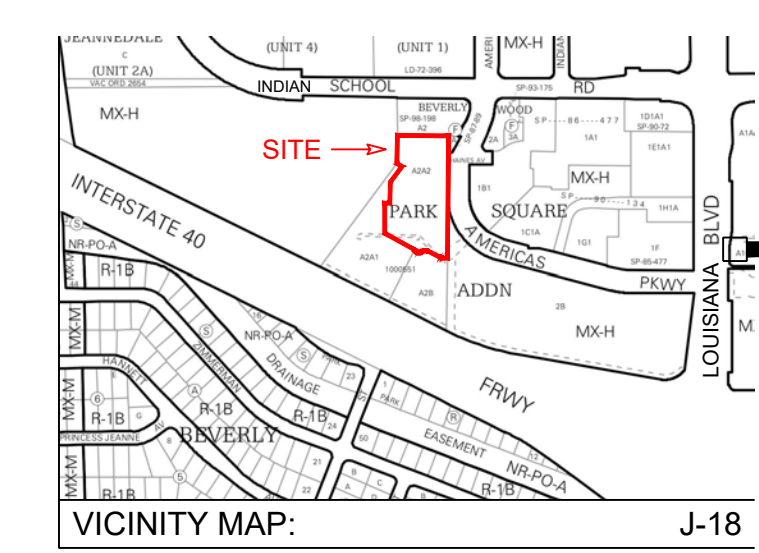
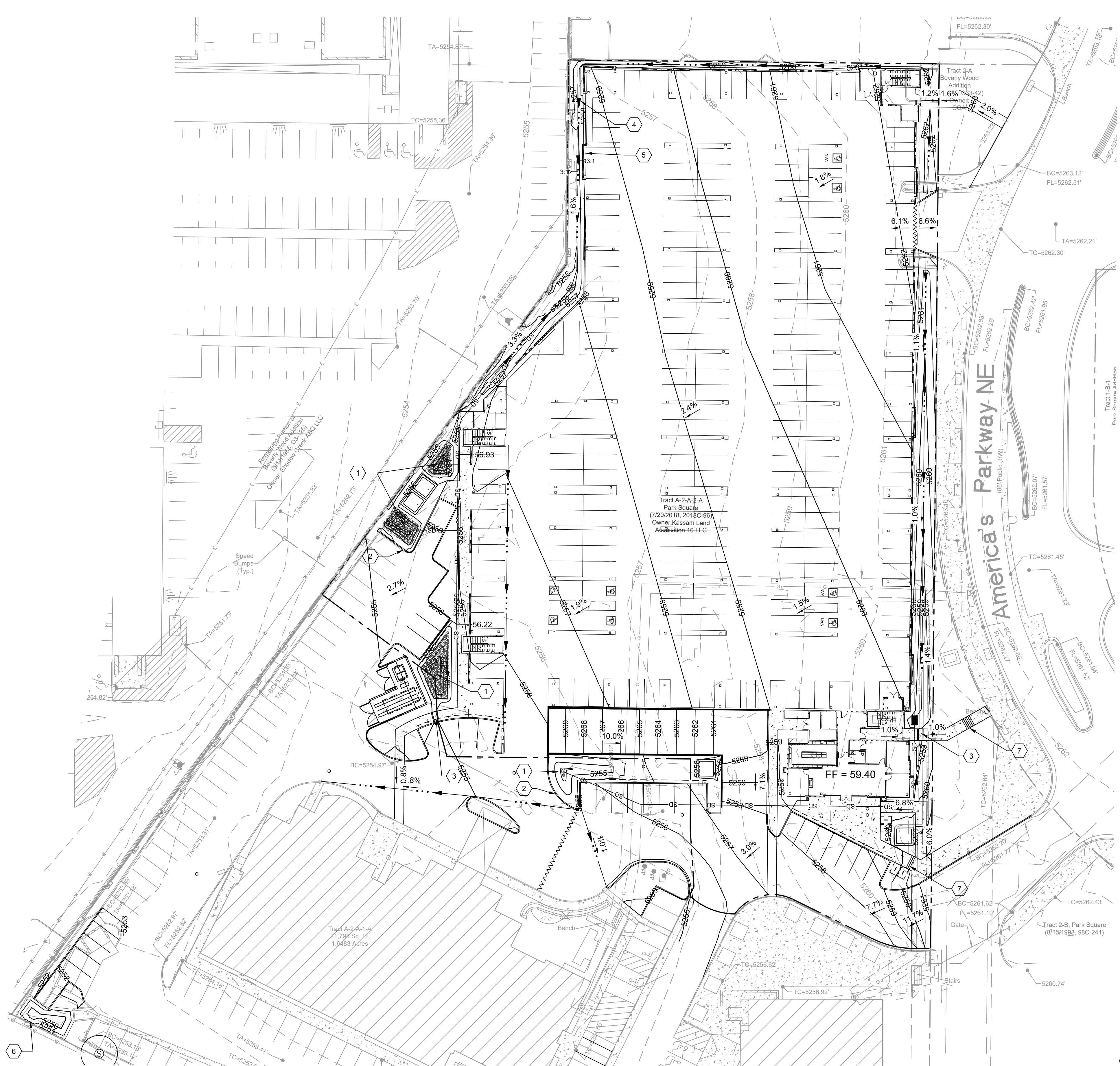
**WQ Pond 5**

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,249.25	4	0	0
5,249.50	22	3	3
5,250.00	88	28	31
5,250.75	225	118	148

ACS Monument " 2\_J18 "  
 NAD 1983 CENTRAL ZONE  
 X= 1542482.547 \*  
 Y= 1489914.026 \*  
 Z= 5261.29 \* (NAVD 1988)  
 G-G= 0.999663206  
 Mapping Angle= -0°11'17.64"  
 \*U.S. SURVEY FEET



FILE: \\Active Projects\03064-Kassam Legacy Uptown\3. DWG\Sheets\03064 Grading.dwg USER: jash.tapia DATE: Oct. 29 2019 TIME: 04:10 pm



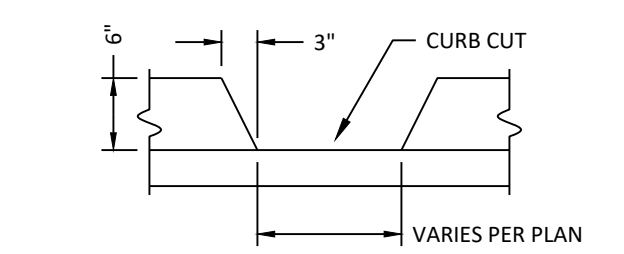
**LEGEND**

- EXISTING PROPERTY BOUNDARY
- - - PROPOSED PROPERTY BOUNDARY
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- - - PROPOSED CONTOUR
- ~~~~~ PROPOSED WATER BLOCK
- PROPOSED FLOW LINE
- PROPOSED RIPRAP
- xx.xx PROPOSED SPOT ELEV
- xx.xx EXISTING SPOT ELEV

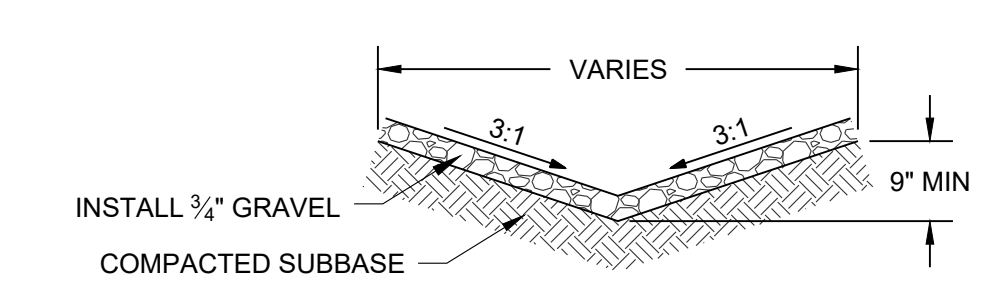
**KEYED NOTES**

I.D.#	DESCRIPTION
1	INSTALL RIP RAP D <sub>80</sub> 2'-3"
2	INSTALL 4' CURB CUT, SEE DETAIL THIS SHEET
3	INSTALL 24" SIDEWALK CULVERT SEE DETAIL THIS SHEET
4	INSTALL SWALE WITH 1% MIN SLOPE PER DETAIL C-201
5	INSTALL 3/4" GRAVEL ON 3:1 SLOPES
6	EXISTING DROP INLET
7	INSTALL STAIRS: 7" RISE/11" RUN, SEE C-203 FOR ELEVATIONS.

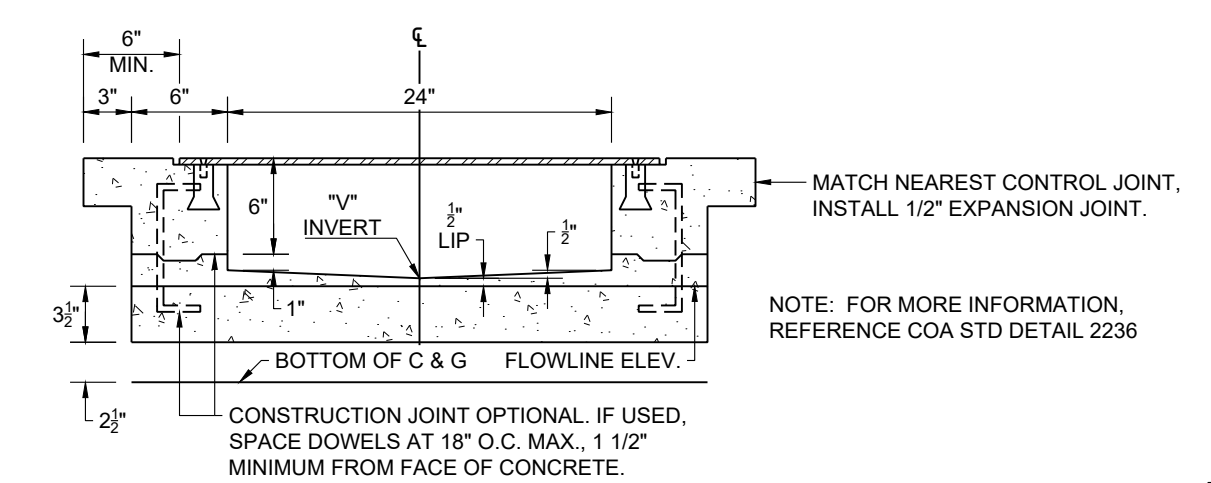
**NOTE:**  
 1. ALL PROPOSED ELEVATIONS ARE AT FLOW LINE UNLESS OTHERWISE SPECIFIED.



**CURB CUT DETAIL**  
 NTS



**SWALE DETAIL**  
 NTS

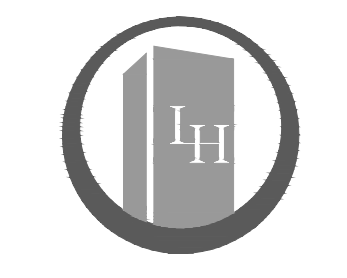


**SIDEWALK CULVERT DETAIL**  
 NTS

# MARKANA UPTOWN

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**REVISIONS**

NO.	DESCRIPTION

DATE: October 30, 2019 ORB # 16-221

# C-201

OVERALL GRADING PLAN







# MARKANA UPTOWN

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SEE SHEET C-202



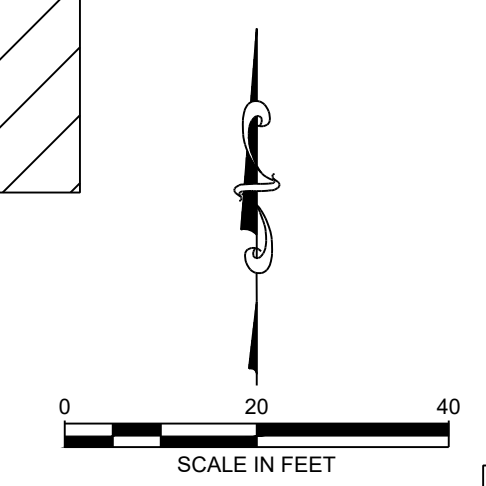
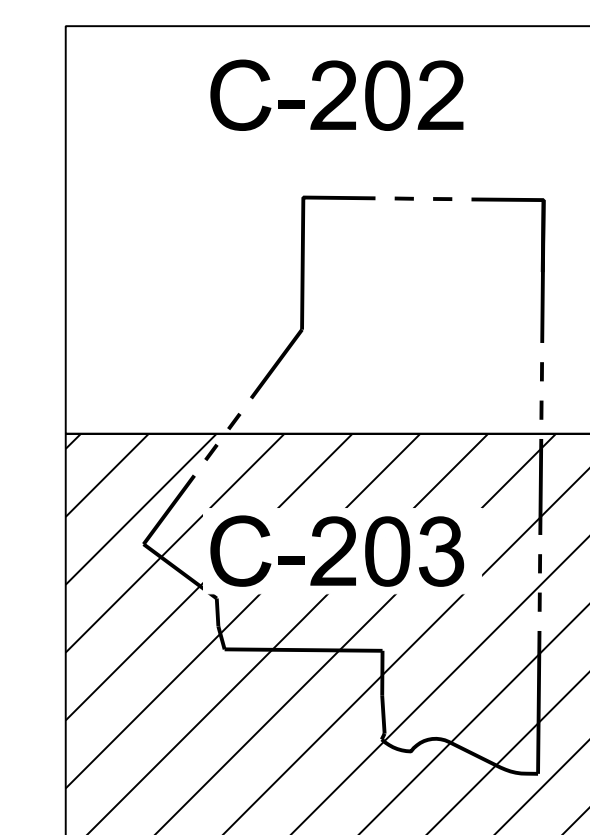
**LEGEND**

- EXISTING PROPERTY BOUNDARY
- - - PROPOSED PROPERTY BOUNDARY
- - - 4965 EXISTING MAJOR CONTOUR
- - - 4964 EXISTING MINOR CONTOUR
- - - 4964 PROPOSED CONTOUR
- ~~~~~ PROPOSED WATER BLOCK
- PROPOSED FLOW LINE
- PROPOSED RIPRAP
- xx.xx PROPOSED SPOT ELEV
- xx.xx EXISTING SPOT ELEV

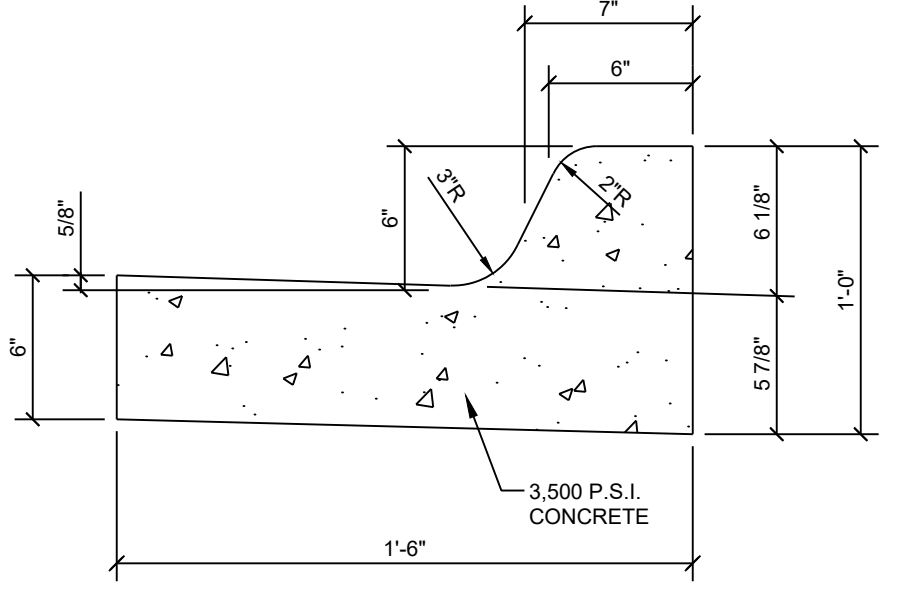
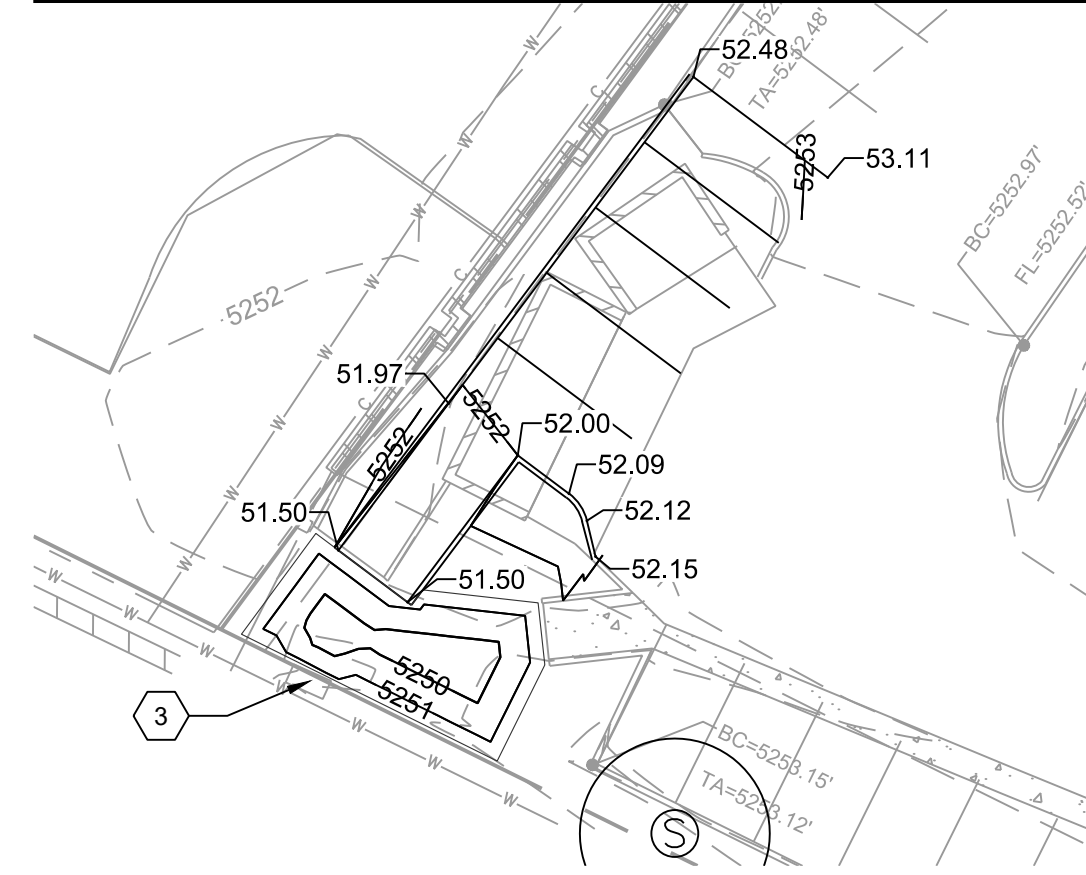
**KEYED NOTES**

ID.#	DESCRIPTION
1	INSTALL 24" SIDEWALK CULVERT SEE DETAIL SHEET C-201
2	INSTALL 4' CURB CUT SEE DETAIL SHEET C-201
3	EXISTING DROP INLET
4	BUILD NEW STANDARD CURB AND GUTTER. SEE DETAIL THIS SHEET.
5	BUILD NEW HEADER CURB. SEE DETAIL THIS SHEET.
6	BUILD CURB TRANSITION FROM STANDARD CURB TO HEADER CURB
7	BUILD NEW RIP RAP PLUNGE POOL. SEE DETAIL THIS SHEET.

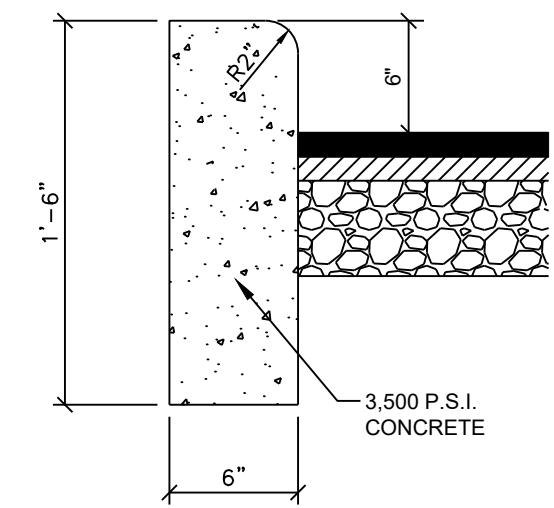
**NOTE:**  
1. ALL PROPOSED ELEVATIONS ARE AT FLOW LINE UNLESS OTHERWISE SPECIFIED.



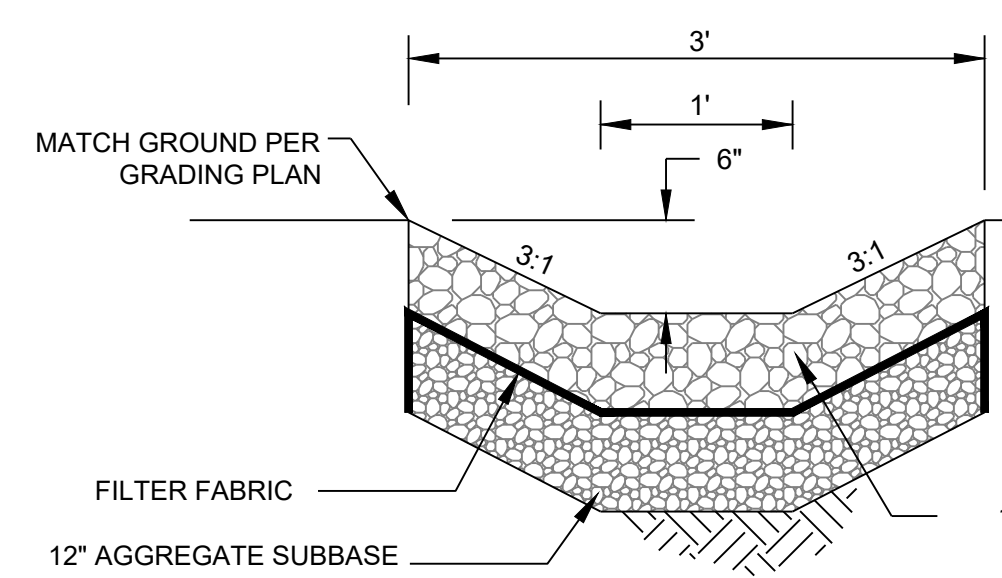
**SOUTHWEST POND LOCATION**



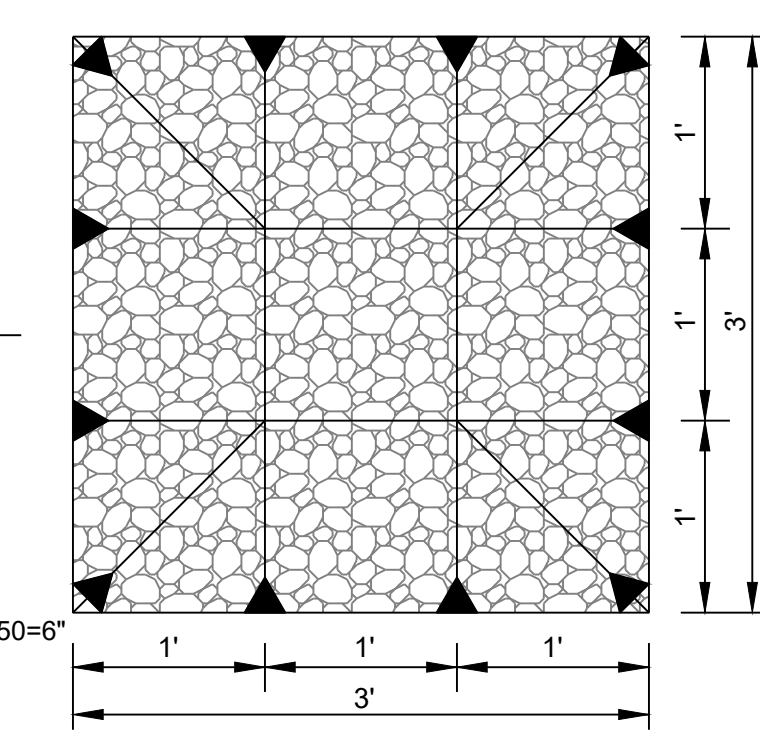
**STANDARD CURB & GUTTER**  
NO SCALE



**HEADER CURB**  
NO SCALE



**SECTION VIEW**



**PLAN VIEW**

**RIP RAP PLUNGE POOL DETAIL**  
NOT TO SCALE

Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project or for completion of this project by others except by the expressed written permission of the Architect.  
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**REVISIONS**

NO.	DESCRIPTION

**CD SET**

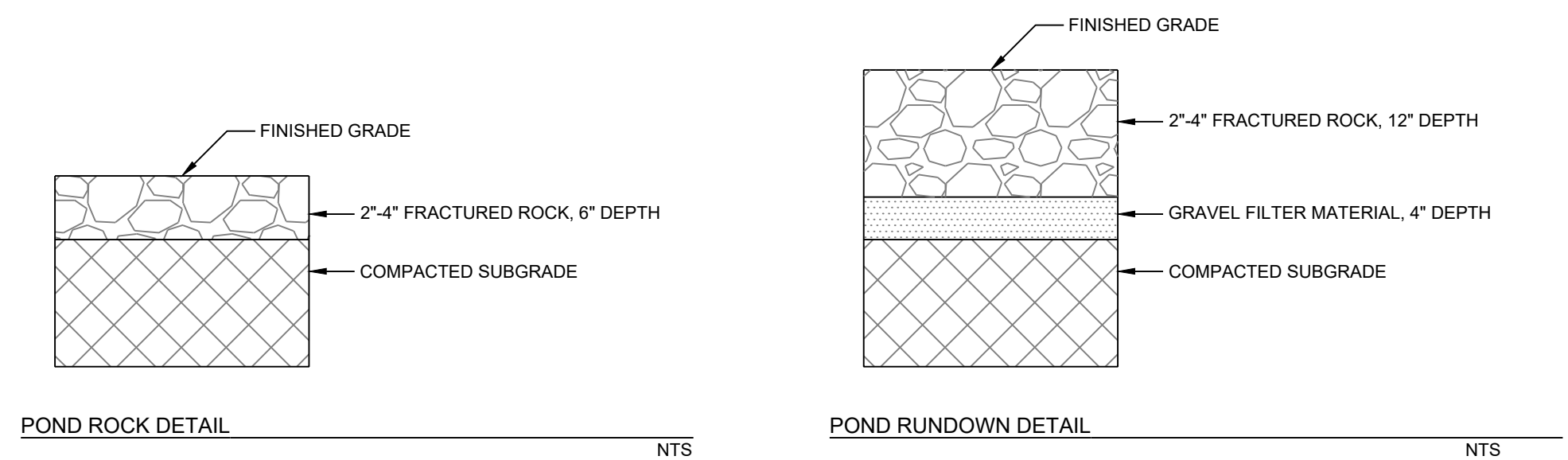
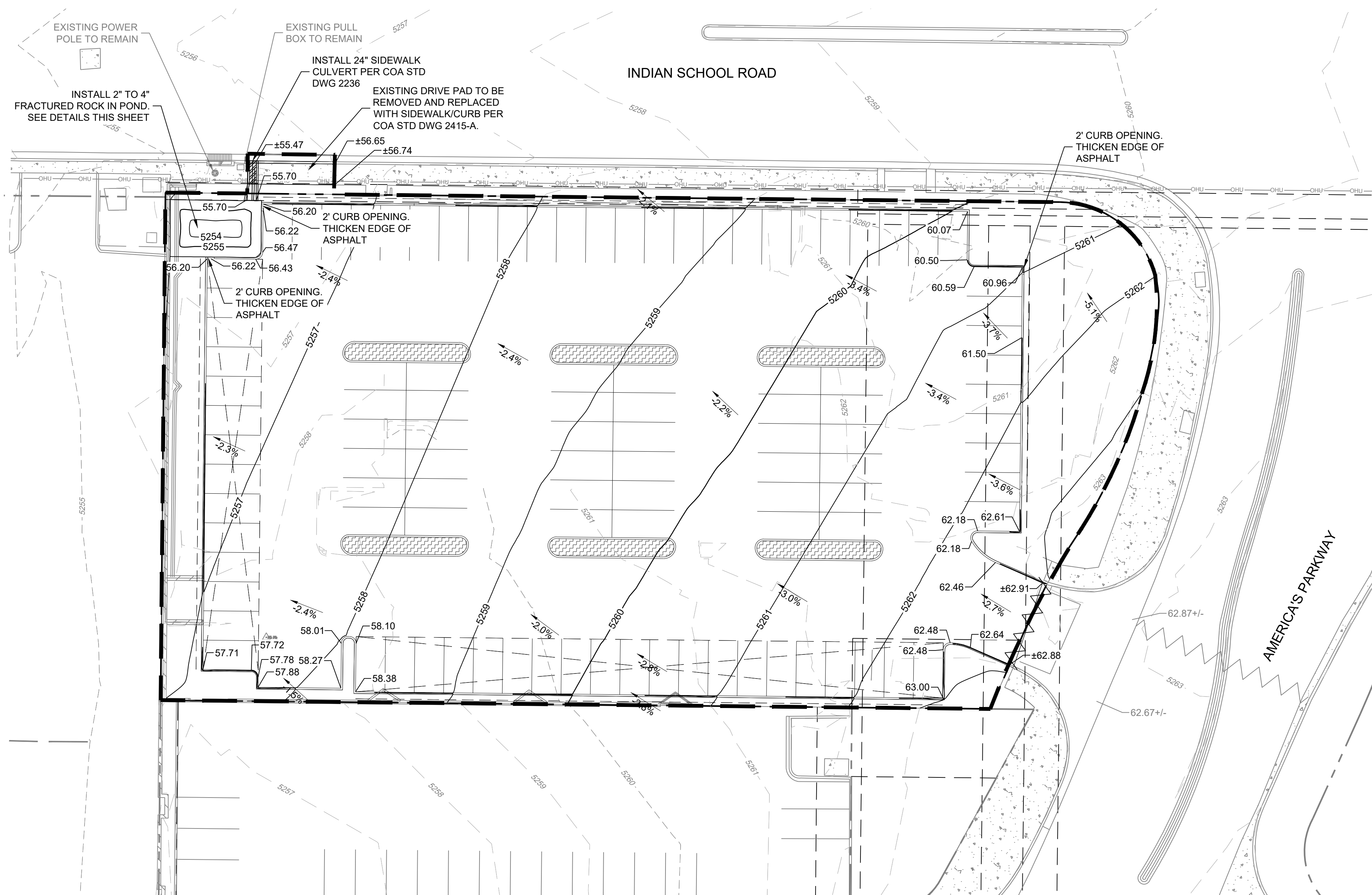
DATE: October 30, 2019 ORB # 16-221

# C-203

GRADING PLAN



NAME: N:\Projects\04266.0003 Legacy RGT Parking\_Lot3\_DWG\Sheets\04266.0003 S Grading Plan.dwg PLOT DATE: Mar 09, 2021 3:41pm



**SPOT ELEVATION SYMBOLS**

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 90.25 FLOWLINE ELEVATION
  - 90.25± MATCH EXISTING GRADE ELEVATION (APPROXIMATE)
  - TS 90.25 TOP OF SIDEWALK ELEVATION
  - TC 90.25 TOP OF CURB ELEVATION

**BENCH MARKS**

- ACS MONUMENT "15\_118" HAVING AN ELEVATION OF 5280.154

**GRADING NOTES**

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- ALL DISTURBED AREAS TO BE RE-SEEDED OR LANDSCAPED PER LANDSCAPE PLAN PROVIDED BY OTHERS.

**PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19-50-197)**

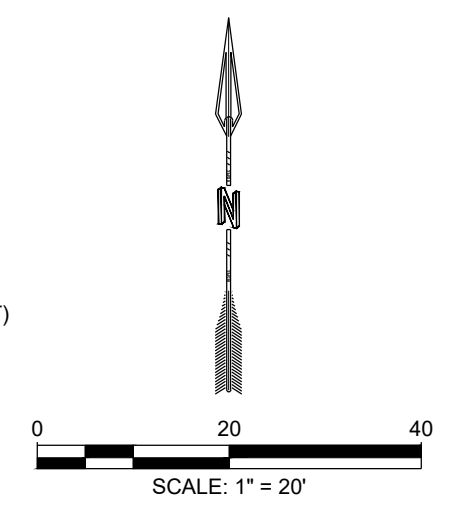
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
- CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

REV. 01/27/21



**SYMBOL LEGEND**

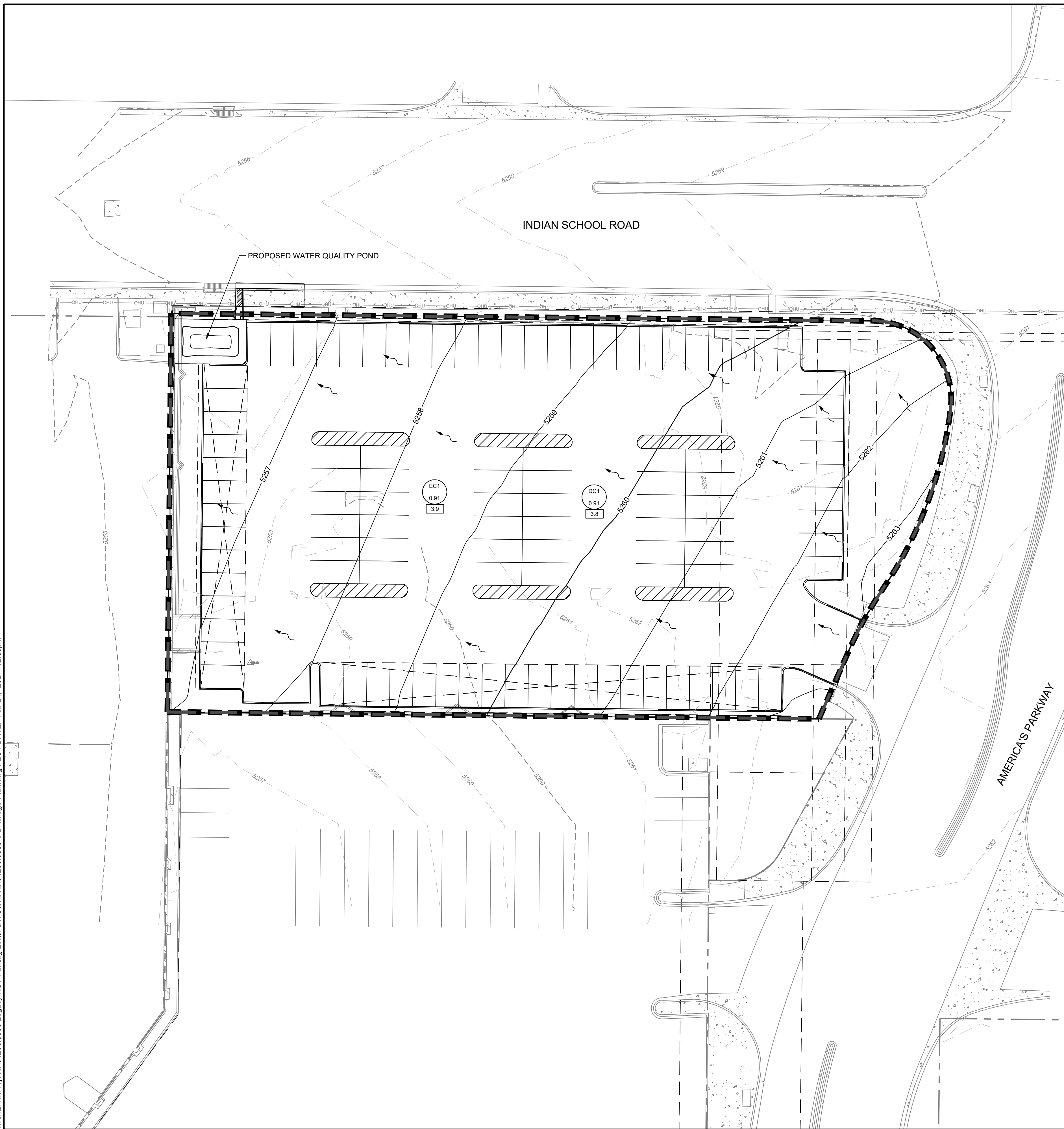
- 7290 — PROPOSED MAJOR CONTOUR
- 7291 — PROPOSED MINOR CONTOUR
- - - 7290 - - - EXISTING MAJOR CONTOUR
- - - 7291 - - - EXISTING MINOR CONTOUR
- 1.0% PROPOSED SLOPE ARROW
- - - - - PROPERTY LINE
- — — — — LIMITS OF GRADING
- ~~~~~ GRADE BREAK (HIGH POINT)



DESIGNED BY DRAWN CHECKED DATE	SG/SD J.S. 3.09.2021	REVISION
<p>RESPEC COMMUNITY DESIGN SOLUTIONS 6971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87113 WWW.RESPEC.COM PHONE (505) 253-9718</p>		
<p>JEREMY W. SHELL NEW MEXICO 26347 02/18/21 PROFESSIONAL ENGINEER</p>		
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p> <p>Know what's below. Call before you dig.</p>		
PROJECT NAME:	LEGACY RGT PARKING LOT	
SHEET TITLE:	GRADING PLAN	
SUBMITTED FOR:	CONSTRUCTION	
SHEET NUMBER:	C-101	



NAME: N:\Projects\042665.0003 Legacy RGT Parking\_Lot3\_DWG\Sheets\042665.0003 S Drainage Plan.dwg PLOT DATE: Feb 24, 2021 12:50pm



**BACKGROUND**

6400 INDIAN SCHOOL ROAD NORTHEAST IS APPROXIMATELY 0.912 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THIS LOCATION IS NEAR THE INTERSECTION OF INDIAN SCHOOL ROAD NE AND AMERICA'S PARKWAY NE. THE INTENT FOR THIS PROPERTY IS TO BE USED AS A PARKING LOT TO SERVE THE APARTMENTS LOCATED SOUTH OF INDIAN SCHOOL ROAD AND AMERICA'S PARKWAY. THERE IS NO DESIGNATED 100-YR FLOOD ZONE SHOWN ON THE SITE.

**METHODOLOGY**

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 22.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.26". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

**EXISTING CONDITIONS**

THE SITE, IN GENERAL, SLOPES FROM SOUTHEAST TO NORTHWEST AT VARYING SLOPES FROM 1% - 5%. STORM WATER RUNOFF GENERATED BY THE EXISTING BUILDING AND PARKING AREA OF FLOW GENERALLY TO THE NORTHWEST. THE EXISTING CONDITION HAVE BEEN SPLIT INTO ONE SUB-BASINS TO INDICATE FLOWS GOING TO THE SOUTHEAST AND NORTHWEST.

SUB-BASIN EC1 IS 0.912 ACRES CONSISTING OF ALL EXISTING FLOWS. THE EXISTING FLOW IS 3.9 CFS THAT FLOWS FROM THE SOUTHEAST TO THE NORTHWEST. ALL RUNOFF DISCHARGES TO INDIAN SCHOOL RD UNDER EXISTING CONDITIONS EITHER VIA THE EXISTING DRIVEWAY OR SIDEWALK CULVERTS.

**DEVELOPED CONDITIONS**

THE DRAINAGE INTENTION OF THE DEVELOPED CONDITIONS IS TO MATCH THE EXISTING DRAINAGE PATTERN. EXISTING SITE INFRASTRUCTURE WILL BE REMOVED PRIOR TO CONSTRUCTION AND THE NEW PARKING LOT WILL BE INSTALLED. DEVELOPED FLOWS DECREASE SLIGHTLY.

SUB-BASIN DC1 IS 0.912 ACRES CONSISTING OF ALL THE PARKING AREA. THERE IS SOME LANDSCAPE ALONG THE SIDES OF THE SITE. STORM WATER RUN-OFF GENERATED BY THE PARKING AREA IS DIRECTED TO THE NORTHWEST AND INTO THE PROPOSED SURFACE POND, WHICH DISCHARGES TO INDIAN SCHOOL ROAD THROUGH A PROPOSED SIDEWALK CULVERT. THE SUB-BASIN GENERATES 3.8 CFS AND IS INTENDED TO MATCH EXISTING CONDITIONS.

THE WATER QUALITY TABLE LOCATED ON THIS SHEET UNDER "HYDROLOGY CALCULATIONS" SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED FOR DEVELOPED CONDITIONS. THERE IS ONE WATER QUALITY POND ONSITE TO ACCOMMODATE DEVELOPED FLOWS AND IS LOCATED IN THE NORTHWEST CORNER. THIS POND IS SIZED AT 341 CU-FT. FLOWS FROM DC1 FLOW INTO THIS WATER QUALITY POND. THE REQUIRED WATER QUALITY VOLUME FOR THE FIRST FLUSH FROM DC1 IS 708 CU-FT. THEREFORE, THE PAYMENT-IN-LIEU OF WATER QUALITY AMOUNT IS 367 CF X \$8/CF = \$2,936.

**Hydrology Calculations**

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

**Runoff Rate:**

Treatment Type Areas

Subbasin	Area <sub>A</sub> (ac)	Area <sub>B</sub> (ac)	Area <sub>C</sub> (ac)	Area <sub>D</sub> (ac)	Total (ac)
EC1	0.00	0.06	0.06	0.79	0.91
DC1	0.00	0.08	0.08	0.75	0.91

Peak Discharge values based on Zone 3 from Table A-9

$Q_A = 1.84 \text{ cfs/ac}$      $Q_B = 2.49 \text{ cfs/ac}$      $Q_C = 3.17 \text{ cfs/ac}$      $Q_D = 4.49 \text{ cfs/ac}$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
EC1	3.9
DC1	3.8

**Water Quality:**

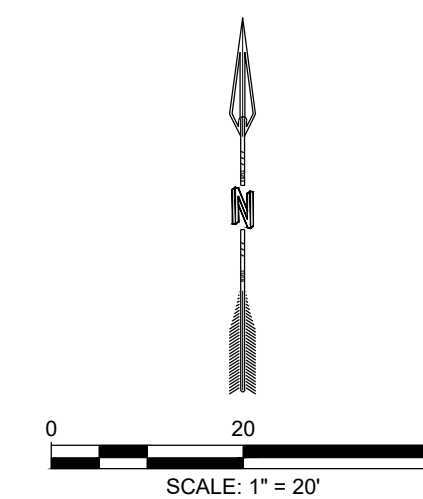
Required Water Quality volume for first flush of 0.26"

Subbasin	Volume (cu. ft.)
EC1	N/A
DC1	708



**LEGEND**

- BASIN DESIGNATION
- BASIN AREA, ACRES
- 100 YEAR STORM, CFS
- EXISTING SUB-BASIN BOUNDARY
- PROPOSED SUB-BASIN BOUNDARY
- DIRECTION OF DRAINAGE FLOW
- PROPERTY LINE



<p>DESIGNED BY: JVS DRAWN: SG/SJD CHECKED: J.S. DATE: 2.24.2021</p> <p>RESPEC COMMUNITY DESIGN SOLUTIONS 6971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87113 WWW.RESPEC.COM PHONE: (505) 253-9718</p>	<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">DESCRIPTION</th> <th style="width: 10%;">DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION	DATE				<p>STAMP</p> <p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p>	<p>PROJECT NAME: LEGACY RGT PARKING LOT</p> <p>SHEET TITLE: DRAINAGE PLAN</p> <p>SUBMITTED FOR: CONSTRUCTION</p> <p>SHEET NUMBER: C-102</p>
NO.	DESCRIPTION	DATE							



# MARKANA UPTOWN

Americas Parkway NE  
Albuquerque, New Mexico



WorldHQ@ORBArch.com



LEGACY HOSPITALITY

RESPEC  
7770 JEFFERSON STREET NE  
SUITE 200  
ALBUQUERQUE, NM 87109  
PHONE (505) 253-9718

- LEGEND**
- PROPOSED PROPERTY BOUNDARY
  - W — W — EXISTING WATER LINE
  - - - - - PROPOSED WATER LINE
  - SAS - SAS - EXISTING SANITARY SEWER LINE
  - - - - - PROPOSED SANITARY SEWER LINE

**GENERAL NOTE:**

1. TYPE RBPA BACKFLOW PREVENTERS FOR THE PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO THE PROPOSED BUILDING PER COA STD DWG 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.
2. ALL PUBLIC INFRASTRUCTURE WILL BE BUILT WITH A MINI WORK ORDER.
3. SEE MEP PLAN FOR UTILITY CONTINUATION.
4. CONTRACTOR TO FIELD VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF EXISTING UTILITIES. IF A CONFLICT EXISTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

**CONSTRUCTION NOTE:**  
CONFLICTS BETWEEN NEW SEWER SERVICE AND EXISTING SITE WATER LINES MAY EXIST. DOG LEG EXISTING WATERLINE AS NEEDED WHERE CONFLICTS OCCUR. THIS DOES NOT APPLY TO THE 42" WATER LINE ALONG THE SOUTHERN BOUNDARY OF THE HOTEL PROPERTY.

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**REVISIONS**

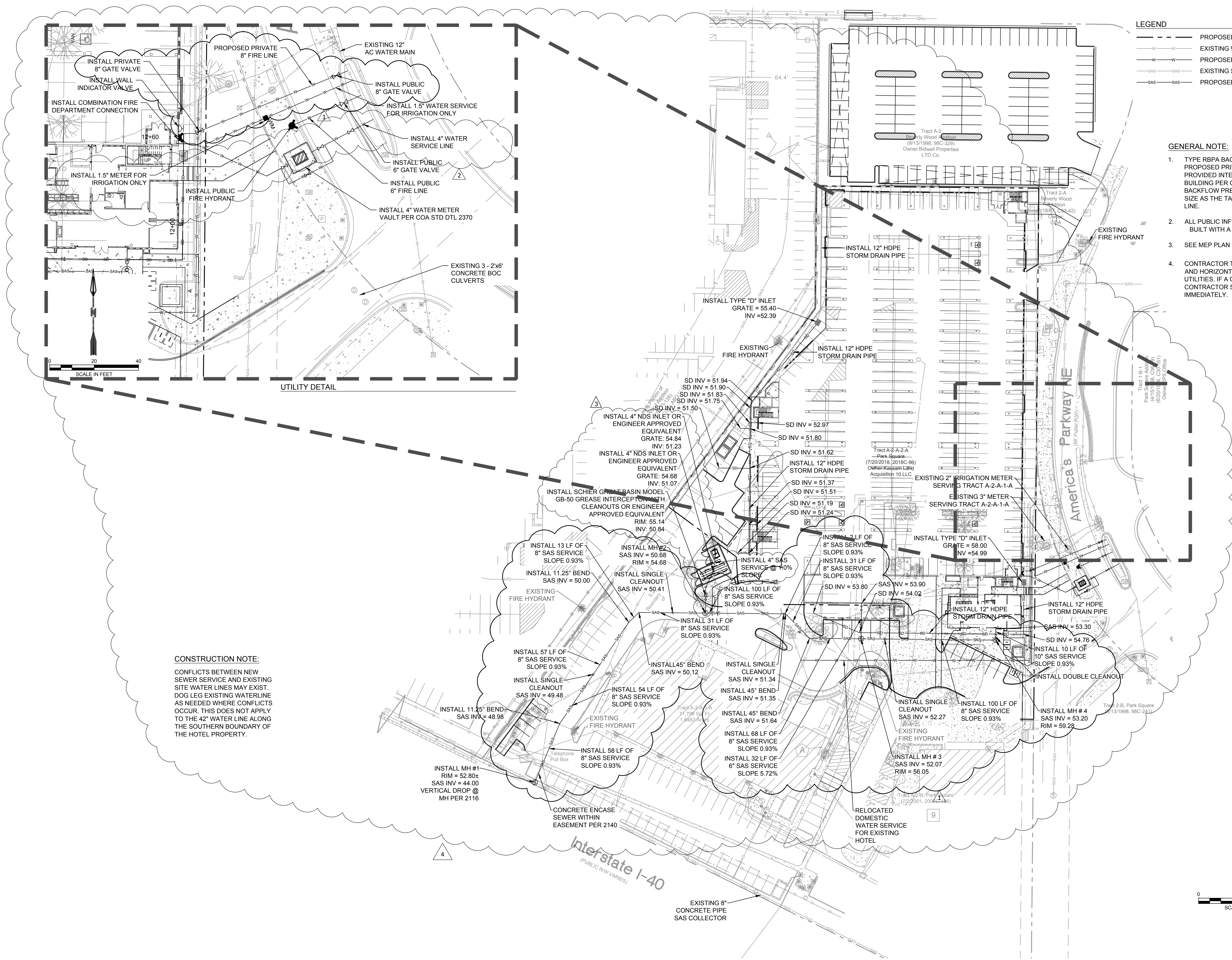
- ▲ UPSIZED FIRE AND SEWER LINES.
- ▲ UPSIZED IRRIGATION LINES.
- ▲ REFUSE AREA REVISIONS, 7/2/21
- ▲ SEWER REVISIONS, 11/16/21

**CD SET**

DATE: February 15, 2022 ORB # 16-221

# C-301

UTILITY PLAN



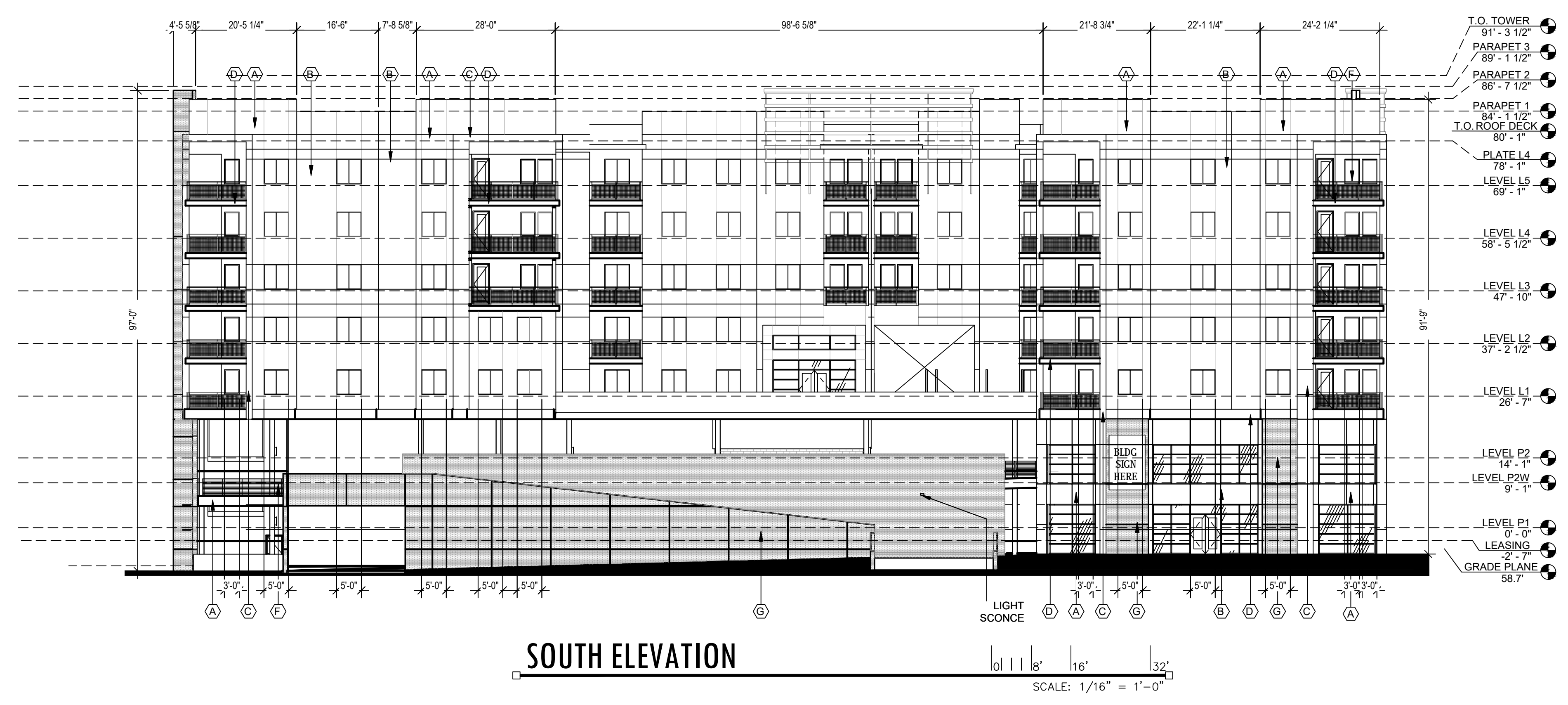
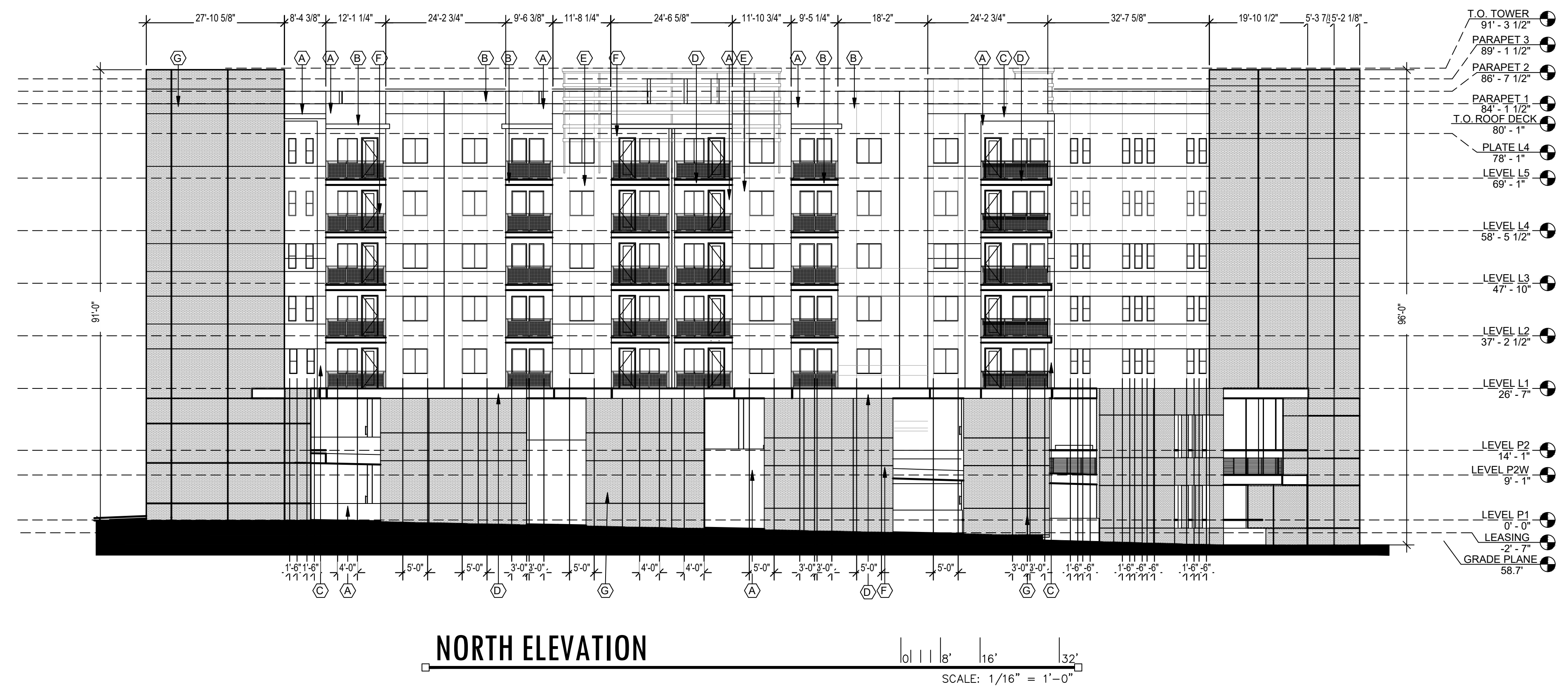
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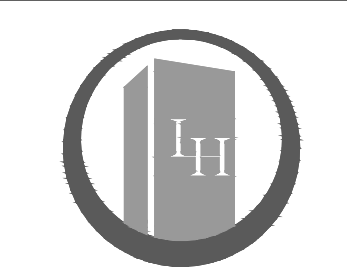
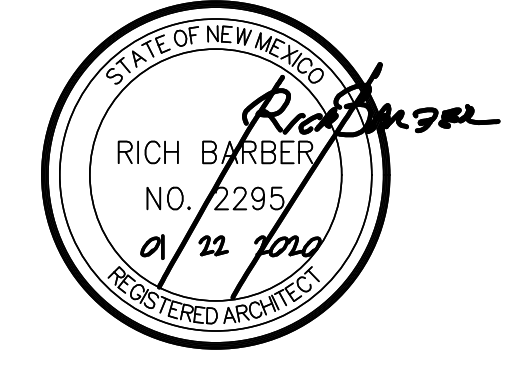


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# MARKANA UPTOWN

6500 Americas Parkway NE  
Albuquerque, NM 87110



LEGACY HOSPITALITY

- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH DUNN EDWARDS DE6365 "COLD MORNING" LRV 73
  - (B) STUCCO FINISH DUNN EDWARDS DE6367 "COVERED IN PLATINUM" LRV 46
  - (C) STUCCO FINISH DUNN EDWARDS DE6369 "LEGENDARY GRAY" LRV 18
  - (D) STUCCO FINISH DUNN EDWARDS DE6378 "JET" LRV 9
  - (E) STUCCO FINISH DUNN EDWARDS DE6371 "BLACK JACK" LRV 8
  - (F) BALCONY METAL RAILING, CANOPIES PAINTED DUNN EDWARDS DE6378 "JET" LRV 9
  - (G) BRICK VENEER MCNEAR THIN BRICK COLOR "TANGIERS"

**DRB SUBMITTAL**  
DATE: JANUARY 22, 2020 ORB # 16-221

# A3.15

BUILDING EXTERIOR ELEVATIONS













# PR-2018-001284 Markana Uptown Final Plan Set Approved 1-19-22\_Sheet\_1

Final Audit Report


2022-04-06

Created:	2022-03-18
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAH5xUj13H59KL4amSsF1Mn1Wv6vazzYfp

## "PR-2018-001284 Markana Uptown Final Plan Set Approved 1-19-22\_Sheet\_1" History


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2022-04-06 - 2:00:04 PM GMT- IP address: 143.120.133.169

 Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)  
Signature Date: 2022-04-06 - 2:00:42 PM GMT - Time Source: server- IP address: 143.120.133.169

 Agreement completed.  
2022-04-06 - 2:00:42 PM GMT