



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2A)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input checked="" type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Form S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Form S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

Major Amendment to add additional property to Site Plan - DRB for development of a parking lot.

APPLICATION INFORMATION		
Applicant: Legacy Development & Management, LLC		Phone:
Address: 5051 Journal Center Blvd, Suite 500		Email: fkassam@legacydm.net
City: Albuquerque	State: NM	Zip: 87109
Professional/Agent (if any): Consensus Planning, Inc.		Phone: (505) 764-9801
Address: 302 8th Street NW		Email: fishman@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Owner	List <u>all</u> owners: Legacy MUP LLC; KLG 18 LLC; KLG 29 LLC	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: A-2-A-1-A and A-2-A-2-A; A-2 and 2A	Block: F	Unit:
Subdivision/Addition: Park Square; Beverly-Wood Addition	MRGCD Map No.:	UPC Code: See attached
Zone Atlas Page(s): J-18-Z	Existing Zoning: MX-H	Proposed Zoning: No Change
# of Existing Lots: 4	# of Proposed Lots: 2	Total Area of Site (Acres): 5 acres
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 6500 Americas Parkway 6400 Indian School Road	Between: Indian School Road	and: Louisiana Boulevard NE
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
PR-2018-001284		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 11/19/21
Printed Name: Jacqueline Fishman, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:	Date:			Project #	

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

SITE PLAN – DRB

MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB

Interpreter Needed for Hearing? No if yes, indicate language: _____

PDF of application as described above

Zone Atlas map with the entire site clearly outlined and labeled

Letter of authorization from the property owner if application is submitted by an agent

Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)

Signed Traffic Impact Study (TIS) Form

Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)

Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)(3)

Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.

Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (not required for Extension)

Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)(not required for extension)

Office of Neighborhood Coordination neighborhood meeting inquiry response

Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

Completed neighborhood meeting request form(s)

If a meeting was requested or held, copy of sign-in sheet and meeting notes

Sign Posting Agreement

Required notices with content per IDO Section 14-16-6-4(K)(1) (not required for extension)

Office of Neighborhood Coordination notice inquiry response

Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

Proof of emailed notice to affected Neighborhood Association representatives

Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

Completed Site Plan Checklist

Site Plan and related drawings

Copy of the original approved Site Plan or Master Development Plan (for amendments and extensions)

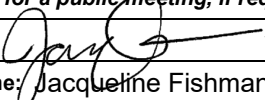

Site Plan and related drawings

Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)

Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units

Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2).(d.) if site is within a designated landfill buffer zone

Infrastructure List, if required


<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i>	
Signature: 	Date: 11/19/21
Printed Name: Jacqueline Fishman, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

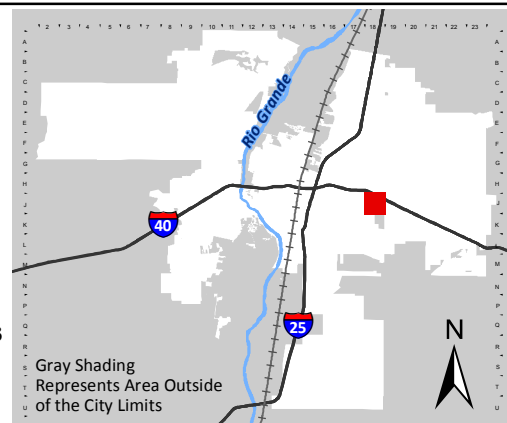
IDO Zone Atlas









May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-18-Z



-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

November 10, 2021

Ms. Jolene Wolfley, Chair
Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Ms. Wolfley,

The purpose of this letter is to authorize Consensus Planning, Inc. to act as agent on behalf of Legacy Development & Management, Kassam Land Acquisition 10, LLC, KLG 18, LLC, and KLG 29, LLC for a Major Amendment to a Site Plan – DRB for a multi-family development in the Uptown Urban Center.

The property is legally described as Tracts A-2-A-2 and A-2-A-1, Park Square subdivision, and Tracts 2A and A2, Block F, Beverly Wood Addition located at 6500 Americas Parkway NE and 6400 Indian School Road NE at the southwest corner of Indian School Road and Americas Parkway NE.

Sincerely,



Faizel Kassam
Managing Member
Legacy Development & Management
Kassam Land Acquisition 10, LLC
KLG 18, LLC
KLG 29, LLC

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Kassam Land Acquisition 10, LLC DATE OF REQUEST: 1/22/20 ZONE ATLAS PAGE(S): J-18-Z

CURRENT:

ZONING MX=H
PARCEL SIZE (AC/SQ. FT.) 2.3 acres

LEGAL DESCRIPTION:

LOT OR TRACT # A-2-A-2 BLOCK # _____
SUBDIVISION NAME Park Square

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT [] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

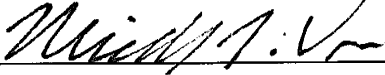
PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION []
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 243
BUILDING SIZE: _____ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE  DATE 1/22/2020

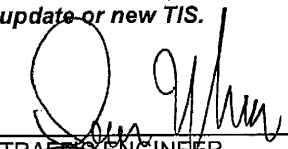
(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE []

THRESHOLDS MET? YES [] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**


TRAFFIC ENGINEER

1-22-20
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / / TRAFFIC ENGINEER _____ DATE _____
-FINALIZED / /



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Project Title: Legacy RGT Parking Lot **Building Permit #:** _____ **Hydrology File #:** J18-D001G
Zone Atlas Page: J-18 **DRB#:** _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract A-2, Beverly-Wood Addition
City Address: 6400 Indian School Road, Albuquerque NM 87110

Applicant: KLG 29, LLC **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Development Information

Build out/Implementation Year: 2021 **Current/Proposed Zoning:** MX-H

Project Type: New: Change of Use: Same Use/Unchanged: Same Use/Increased Activity:

Proposed Use (mark all that apply): Residential: Office: Retail: Mixed-Use:

Describe development and Uses:
Parking lot to serve surrounding businesses and future apartment complex

Days and Hours of Operation (if known): 7 days, 24 hours

Facility

Building Size (sq. ft.): N/A

Number of Residential Units: N/A

Number of Commercial Units: N/A

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* _____

Driveway(s) Located on: Street Name America's Parkway

Adjacent Roadway(s) Posted Speed: Street Name America's Parkway Posted Speed 25 mph

Street Name Indian School Road Posted Speed 35 mph

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: America's Parkway - Major Collector
(arterial, collector, local, main street) Indian School - Minor Arterial

Comprehensive Plan Center Designation: Uptown Urban Center
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: _____ Volume-to-Capacity Ratio: _____
(if applicable)

Adjacent Transit Service(s): along Indian School frontage Nearest Transit Stop(s): _____

Is site within 660 feet of Premium Transit?: yes

Current/Proposed Bicycle Infrastructure: Indian School has bike lane along frontage, America's Parkway does not
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Existing sidewalk along both frontages

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No Borderline []

Thresholds Met? Yes [] No

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes:

M. P. E.

6/29/2021

TRAFFIC ENGINEER

DATE



Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov . Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Legacy Uptown Apartments

AGIS MAP # J-18-Z

LEGAL DESCRIPTIONS: Tract A-2-A-2-A, Park Square

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 9/05/18 (date).

[Signature]
Applicant/Agent

9/5/18
Date

[Signature]
Hydrology Division Representative

9/5/2018
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on 7/06/18 (date). AVA 180703

[Signature]
Applicant/Agent

9/5/18
Date

[Signature]
ABCWUA Representative

09/05/18
Date

PROJECT # _____

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Legacy Markana Uptown Multi-Family

AGIS MAP # J-18

LEGAL DESCRIPTIONS: Tracts A-2-A-1 and A-2-A-2,
Park Square

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on Approved 10/8/18 (date).

Michael J. Van
Applicant/Agent

1/30/20
Date

Renee C. Brissett
Hydrology Division Representative

1/30/20
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

WATER AND SEWER AVAILABILITY STATEMENT

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: http://www.abcwua.org/Availability_Statements.aspx) on _____ (date).

Applicant/Agent

Date

ABCWUA Representative

Date

PROJECT # PR-2018-001284

March 26, 2020

Chair

Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Vice Chair

Debbie O'Malley
County of Bernalillo
Commissioner, District 1

Pat Davis

City of Albuquerque
Councilor, District 6

Trudy E. Jones

City of Albuquerque
Councilor, District 8

Timothy M. Keller

City of Albuquerque
Mayor

Charlene Pyskoty

County of Bernalillo
Commissioner, District 5

Steven Michael Quezada

County of Bernalillo
Commissioner, District 2

Ex-Officio Member

Pablo R. Rael
Village of Los Ranchos
Board Trustee

Executive Director

Mark S. Sanchez

Website

www.abcwua.org

Jeremy Shell
RESPEC
5971 Jefferson Ave. NW Suite 101
Albuquerque, New Mexico 87109

**RE: Water and Sanitary Sewer Availability Statement #200119
Legacy Uptown Apartments
6500 AMERICAS PKWY NE**

Dear Mr. Shell:

Project Description: The subject site is located west of Americas Parkway and south of Indian School Rd. within the City of Albuquerque. The proposed development consists of approximately 2.3 acres and the property is currently zoned MX-H for mixed use. The property lies within the Pressure Zone 3E in the Freeway trunk. The request for availability indicates plans to develop a parking garage at grade, a level of parking above, and four levels of apartments including 243 units for a total of six levels. The property is currently a parking lot. The property will also be getting replatted so the development will be within a single lot.

Existing Conditions: Water infrastructure in the area consists of the following:

- 12 inch AC distribution main (project #20-098-28) along Americas Parkway.
- Six inch cast iron distribution main (project #03-35-71) located near the subject property's west property line, within the exiting property to the west.
- 42 inch concrete cylinder transmission main (project #09-012-66) along Interstate 40 Freeway and South of Indian School.
- 30 inch concrete cylinder distribution main (project #09-108-52) along Indian School Rd. north of the proposed property.

Sanitary sewer infrastructure in the area consists of the following:

- Eight inch ductile iron pipe collector line (project #26-2321-85) along Americas Parkway.
- Eight inch concrete pipe collector line (project #07-053-61) along Interstate 40 Freeway and South of Indian School.

Water Service: New metered water service to the property can be provided via routine connection to the existing 12 inch distribution main along Americas Parkway. Existing metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted and collar removed. Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

Sanitary Sewer Service: Sanitary sewer service can be provided via routine connection to the existing eight inch collector line along Americas Parkway. All food service

establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer lines.

Fire Protection: From the request for availability the instantaneous fire flow requirements for the project are 3000 gallons-per-minute (GPM) and three required hydrants (one (1) new and two (2) existing). As modeled using InfoWater™ computer software, the fire flow can be met.

Analysis was performed by simulating the desired fire flow from the proposed southeastern most hydrant. Prior Availability Statement 180703 had performed several analyses for a 4,000 GPM fire flow. In each analysis the fire flow could be met.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service. Please note that the engineer designing the fire line is responsible for determining pressure losses and sizing of the private water line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority and installed at each domestic service connection at a location accessible to the Water Authority. All new fire line services to fire protection systems shall be equipped with a reduced pressure principle backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction at each service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the fire protection system contains ANSI/NSF Standard 60 or 61 water piping throughout the entire fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections, connections from auxiliary water supplies, antifreeze nor other additives. The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at 289-3454 for more information.

Easements: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the Water Authority Mini Work Order process. Construction must be performed by a licensed and bonded public utility contractor.

of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the Water Authority Mini Work Order process. Construction must be performed by a licensed and bonded public utility contractor.

Costs and Fees: In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Water Use: Where available, outdoor water usage shall utilize reclaimed water. All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps (2)
f/ Availability Statement 200119

200119 - Water



Legend

-  Valve
-  Analysis Point
-  Hydrant

Pipe

SUBTYPE

-  Distribution Line
-  Hydrant Leg
-  In Zone Transmission
-  Well Collector Line
-  Project Location



200119 - Sanitary Sewer



Legend

 Sewer Manhole

Sewer Pipe

SUBTYPE

 COLLECTOR

 Project Location

0 245 490 Feet



CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 11, 2021

Jeremy Shell, P.E.
Respec
5971 Jefferson St. NE
Albuquerque, NM 8710

**RE: Legacy RGT Parking Lot
6400 Indian School Road NE
Grading and Drainage Plan
Engineer's Stamp Date: 02/18/21
Hydrology File: J18D001G**

Dear Mr. Shell:

PO Box 1293

Based upon the information provided in your submittal received 02/24/2021, the Grading & Drainage Plan is approved for Grading Permit, Paving Permit, and SO-19 Permit. Once the grading and paving of the project is complete, an engineering certification will be required.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

Also, please provide the Drainage Covenant for the proposed stormwater quality pond per Article 6-15(C) of the DPM as soon as possible. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to clabadie@cabq.gov or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC
Attn: Charlotte LaBadie
600 2nd St. NW, Ste. 400
ABQ, NM, 87102

If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 1, 2019

Hugh Floyd, P.E.
Respec
5971 Jefferson St. NE
Albuquerque, NM, 8710

**RE: Kassam Legacy Uptown Apartments
Grading and Drainage Plan
Engineer's Stamp Date: 10/29/19
Hydrology File: J18D033**

Dear Mr. Floyd:

PO Box 1293

Based upon the information provided in your resubmittal received 10/30/2019, the Grading & Drainage Plan and Drainage Report are approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

Also as a reminder, please provide a Drainage Covenant for the proposed stormwater quality ponds drain per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



November 19, 2021

Ms. Jolene Wolfley, Chair.
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Re: Major Amendment to Site Plan - DRB – Markana Uptown Multi-family

Dear Madam Chair:

The purpose of this letter and submittal is to request approval of a Major Amendment to a Site Plan - DRB for the property located on America’s Parkway NE, between Indian School Road NE and I-40, on behalf of Legacy Development & Management. The property is legally described as Tracts A-2-A-1 and A-2-A-2, Park Square and Tracts A-2 and 2A, Block F, Beverly-Wood Addition. The zoning on the approximately 5-acre property is MX-H. The current site plan was originally approved on October 17, 2018, and a Major Amendment to add an additional story of building height with 51 more dwelling units was approved on March 4, 2020. A building permit was issued for construction of the new multi-family residential development on May 4, 2021.

The current request is for another Major Amendment, which adds Tracts A-2 and 2A, Block F, Beverly-Wood Addition to the project site with additional parking and associated landscaping. This property is located to the north of the proposed multi-family residential building and parking structure on the southwest corner of Americas Parkway and Indian School Road NE (additional area identified in green on the image below).



Subject Property Location and Context

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



Project Description

The Markana Uptown project includes 243 dwelling units within a seven-story building with a 2-story parking structure and 5 stories of units on top. The leasing office is located on the ground level at the southeast corner of the building. The first residential level (podium level) has two open courtyards connected by a covered breezeway. The first level courtyards comprise of 22,057 square feet. Additional usable open space is provided by private balconies (14,487 square feet) and at-grade open space and landscaped areas (10,418). This is nearly double the requirement for the project due to its location in an Urban Center, which allows for a 50% reduction, and is shown on the site plan.

Parking has been a critical consideration for development of this project and site due to the variety of uses and private agreements tied to the existing surface parking lot. Once the multi-family development is completed, the grade level parking at the south end of the property and within the parking garage will provide parking for residential guests, Hilton Garden Inn, Buca di Beppo restaurant, and Park Square (per a private parking agreement) to the east. As part of a parking agreement with Park Square, a certain amount of parking must be provided continually throughout construction. The previous approvals for this site plan included temporary off-site parking at the southwest corner of the site to accommodate these spaces. However, since the last approval, the Applicant purchased the additional property (the former Rio Grande Title) to provide the necessary temporary parking spaces in a more accessible location. The Applicant has already demolished the former Rio Grande Title building and obtained approval from the Environmental Planning Commission (EPC) to abandon the very old site development plan for that property so it could instead be included within the proposed plan and used for a temporary parking lot.

In addition to the ground level parking, the second level of the parking garage provides parking for residents of the proposed multifamily development. The parking for the project, excluding the temporary parking lot, meets the IDO requirements for the hotel and multi-family uses, parking for the restaurant that was separately approved and unchanged with this request, and the minimum required by the private agreement with One Park Square. It is noted on the plan that the site is in proximity to the Uptown Transit Center, which would afford it additional parking reductions, but the Applicant has chosen not to utilize those reductions in their entirety.

This application for an Amended Site Plan meets all the criteria under part **14-16-6-6(I)(3)**, as provided below:

6-6(I)(3)(a) *The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

Except for one variance to the setback regulations that was previously approved by the Zoning Hearing Examiner for the multi-family residential development, the Site Plan complies with the applicable provisions of the IDO, the DPM, City regulations, and there are not any other prior approvals affecting the property. The EPC approved abandonment of the former Rio Grande Title Site Development Plan so the northern lot can be combined into this development project. The density, building massing, height, and parking comply with the IDO MX-H zone dimensional standards. The proposed temporary parking lot is accessory to the existing and proposed development of the subject property and a plat will be processed along



with this Major Amendment to combine the properties together into a single tract. A grading and drainage plan has been approved for the additional temporary parking, and an updated landscaping plan has been prepared to provide the required street trees and other landscaping requirements for the expansion of the site plan.

6-6(G)(3)(b) *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.*

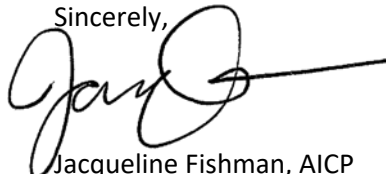
The City's existing infrastructure have adequate capacity to serve the proposed development. An infrastructure list was previously approved for this property and grading and drainage plans were approved for the primary development of the multi-family residential and the new temporary parking lot. Water Availability and utility plans were approved and issued for the multi-family portion of the development and the parking lot does not require any additional services.

6-6(G)(3)(c) *If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.*

The subject site is not located within a Master Development Plan, so this criterion does not apply.

This request for a Major Amendment to a Site Plan – DRB facilitates the development and construction of the multi-family residential development that was originally proposed in 2018, amended in 2020, and a building permit issued in 2021. Completion of this project provides needed housing diversity and market rate rentals within one of Albuquerque's only two Urban Centers. It will allow for less drive times, another housing choice in the area, and be complementary to adjacent uses and properties.

We respectfully request that the Development Review Board approve the request for this Site Plan. Thank you for your consideration.

Sincerely,

Jacqueline Fishman, AICP
Principal

PRE-APPLICATION REVIEW TEAM (PRT) MEETING REQUEST

Pre-application Review Team (PRT) Meetings are available to help applicants identify and understand the allowable uses, development standards, and processes that pertain to their request. ***PRT Meetings are for informational purposes only; they are non-binding and do not constitute any type of approval.*** Any statements regarding zoning at a PRT Meeting are not certificates of zoning. The interpretation of specific uses allowed in any zone district is the responsibility of the Zoning Enforcement Officer (ZEO).

When you submit PRT notes to meet a Pre-application Meeting requirement in Table 6-1-1, you will be charged a \$50 PRT fee.

<i>Official Use only</i>		
PA#: 20-272	Received By: Diego Ewell	Date: 1/5/2020
APPOINTMENT DATE & TIME: N/A		

Applicant Name: RESPEC, Jeremy Shell Phone#: 505.918.1053 Email: jeremy.shell@respec.com

PROJECT INFORMATION:

For the most accurate and comprehensive responses, please complete this request as fully as possible and submit any relevant information, including site plans, sketches, and previous approvals.

Size of Site: 0.912 acres Existing Zoning: MX-H Proposed Zoning: MX-H

Previous case number(s) for this site: N/A

Applicable Overlays or Mapped Areas: Uptown Urban Center, Uptown Area

Residential – Type and No. of Units: N/A

Non-residential – Estimated building square footage: N/A No. of Employees: N/A

Mixed-use – Project specifics: Parking Lot

LOCATION OF REQUEST:

Physical Address: 6400 Indian School Rd NE Zone Atlas Page (Please identify subject site on the map and attach) J18

BRIEFLY DESCRIBE YOUR REQUEST (What do you plan to develop on this site?)

The project will be for a new parking lot on Tract A-2, Plat of Tract A-2 Beverly-Wood Addition. The existing building, parking lot, and other existing site features will be removed.

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

My intention is for the project to stand alone and go through the TCL and G&D processes with transportation and hydrology in order to obtain approvals for construction. This parking lot will serve the new apartments project on the adjacent property to the south as well as other businesses in the area. I am looking primarily for feedback on the applicable sections in the IDO that will apply to this project as well as initial comments on the site plan for items that will need to be added to meet all requirements that it does not currently meet. Thanks!

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-272 Date: 1/22/21 Time: N/A (sent via email to Jeremy.Shell@respec.com)

Address: 6400 Indian School RD NE

AGENCY REPRESENTATIVES

Planning: Linda Rumpf (lrumpf@cabq.gov)

Zoning/Code Enforcement: Carl Garcia (cagarcia@cabq.gov)

Fire Marshal: Bob Nevárez (rnevarez@cabq.gov) or call 505-924-3611 (if needed)

Transportation: Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Hydrology: Ernest Armijo, P.E. (earmijo@cabq.gov)

Solid Waste: Herman Gallegos (hgallegos@cabq.gov)

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

REQUEST:

The project will be for a new parking lot on Tract A-2, Plat of Tract A-2 Beverly-Wood Addition. The existing building, parking lot, and other existing site features will be removed.

SITE INFORMATION:

Zone: MX-H

Size: 0.912 acres

Use: Office

Overlay zone: x

Comp Plan Area of: Change

Comp Plan Corridor: (PT) Premium Transit Station Areas 660ft-Uptown Station; (MT) Major Transit Corridors 660ft-Americas Pkwy

Comp Plan Center: Uptown/Existing

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-2: Mixed-use Zone District Dimensional Standards

*Neighborhood Organization/s: District 7 Coalition of NAs

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods.resources.*

PROCESS:

Type of Action: 5-5(G) Site Plan Administrative

Review and Approval Body: staff Is this a PRT requirement? No

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-272 Date: 1/22/21 Time: N/A (sent via email)

Address: 6400 Indian School RD NE

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

My intention is for the project to stand alone and go through the TCL and G&D processes with transportation and hydrology in order to obtain approvals for construction. This parking lot will serve the new apartments project on the adjacent property to the south as well as other businesses in the area. I am looking primarily for feedback on the applicable sections in the IDO that will apply to this project as well as initial comments on the site plan for items that will need to be added to meet all requirements that it does not currently meet. Thanks!

NOTES:

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

New Public Notice Forms

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings. Please complete these forms for public notice:

- [Neighborhood Meeting](#) or <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>
- [Public Notice](#) or <http://www.cabq.gov/planning/urban-design-development/public-notice>

Records requests

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

Requests to Inspect Public Records

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, lrumpf@cabq.gov

File Submittal

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to PLNDRS@cabq.gov. For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at jrodenbeck@cabq.gov and/or to Maggie Gould at mgould@cabq.gov.

For other questions, please contact the Planning representative at the top of the PRT Notes.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-272 Date: 1/22/21 Time: N/A (sent via email)

Address: 6400 Indian School RD NE

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:
<https://www.cabq.gov/planning/building-safety-permits>

Zoning Comments

- Address: 6400 Indian School Rd NE
- Lot: A2 Block: F
- Subdivision: Beverly-Wood Addn
- Deeded Assessed Acres: .912
- Calculated GIS Acres: .8845
- Legacy Project Number/s:
 - 1008660
- Type: Change
- Transit Corridors: Premium Transit (PT), Major Transit (MT)
- Comprehensive Plan Center: Urban Center (UC)
- IDO Zoning: MX-H

PROCESS

- 5-5(G) Site Plan Administrative

Transportation Development Comments

List of Project-Specific Comments

- A six inch to eight inch curb height shall be used for the landscape islands to separate traffic from parking spaces.
- Refer to the IDO for maximum allowance for compact parking spaces and to the DPM for required length of parking spaces. Any compact spaces (16-foot long) shall be marked at the back of the pavement space.

List of General Guidelines for Transportation Development

For additional information contact Jeanne Wolfenbarger (924-3991)

Verify handicapped parking space requirements. Curb Cuts

- Follow DPM guidelines for residential and commercial curb cuts.
- Residential curb cut requirements – (12 feet to 22 feet wide for residential, 30 feet only if there is a 3-car garage or parking for RV)
- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-272 Date: 1/22/21 Time: N/A (sent via email)

Address: 6400 Indian School RD NE

Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.
- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

Traffic Studies and Traffic Signals

1. See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.
2. A proposed new traffic signal needs to A) follow guidelines for traffic signal spacing, B) meet the requirements for a traffic signal warrant study to be in operation and C) be approved by both Planning and by Traffic Operations.

Platting and Public Infrastructure Requirements for Roadways

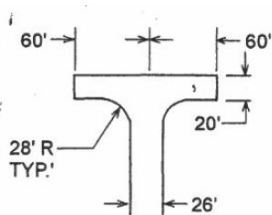
1. When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

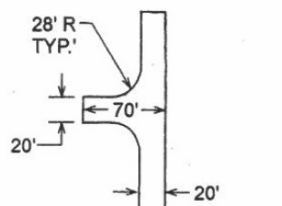
PA# 20-272 Date: 1/22/21 Time: N/A (sent via email)

Address: 6400 Indian School RD NE

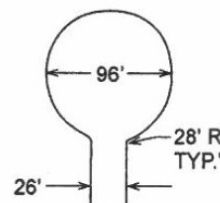
- All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
- Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.
- There is a Bikeway Master Plan that is prepared MRCOG which lays out proposed bicycle facilities including bicycle trails, bike lanes, and bike routes. The site would be required to provide such facilities along the site frontage if they have not been constructed yet. Right-of-way dedication would likely be required.
- Depending on site's use of an adjacent alleyway and on type of use for proposed site, alleyway improvements are required. This would include paving and/or proper right-of-way dedication to meet current width standards.
- Follow DPM and MRCOG's Long Range Master Plan for roadway width requirements. Provide roadway cross-section. (New roadway requirements and roadway widening is also coordinated with Department of Municipal Development, depending on what plans or projects they may have on a specific roadway.)
- If private road is over 150' long, the turnaround shall be per fire code dimensions. Fire Marshall Approval and Solid Waste Approval is required on all site layouts. For dead-ends, see options below for space dedicated to turn-arounds:



120' HAMMERHEAD



ACCEPTABLE ALTERNATIVE
TO 120' HAMMERHEAD



96' DIAMETER
CUL-DE-SAC

- For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
- Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-272 Date: 1/22/21 Time: N/A (sent via email)

Address: 6400 Indian School RD NE

10. Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

If you would have additional questions or would like to schedule a follow-up conference call meeting please contact Linda Rumpf at lrumpf@cabq.gov

PRE-APPLICATION REVIEW TEAM (PRT) MEETING REQUEST

Pre-application Review Team (PRT) Meetings are available to help applicants identify and understand the allowable uses, development standards, and processes that pertain to their request. ***PRT Meetings are for informational purposes only; they are non-binding and do not constitute any type of approval.*** Any statements regarding zoning at a PRT Meeting are not certificates of zoning. The interpretation of specific uses allowed in any zone district is the responsibility of the Zoning Enforcement Officer (ZEO).

When you submit PRT notes to meet a Pre-application Meeting requirement in Table 6-1-1, you will be charged a \$50 PRT fee.

<i>Official Use only</i>		
PA#: 21-032	Received By: Diego Ewell	Date: 3/22/2021
APPOINTMENT DATE & TIME: N/A		

Applicant Name: RESPEC, Jeremy Shell Phone#: 505.918.1053 Email: jeremy.shell@respec.com

PROJECT INFORMATION:

For the most accurate and comprehensive responses, please complete this request as fully as possible and submit any relevant information, including site plans, sketches, and previous approvals.

Size of Site: 0.912 acres Existing Zoning: MX-H Proposed Zoning: MX-H

Previous case number(s) for this site: N/A

Applicable Overlays or Mapped Areas: Uptown Urban Center, Uptown Area

Residential – Type and No. of Units: N/A

Non-residential – Estimated building square footage: N/A No. of Employees: N/A

Mixed-use – Project specifics: Overflow parking lot

LOCATION OF REQUEST:

Physical Address: 6400 Indian School Rd NE Zone Atlas Page (Please identify subject site on the map and attach) J18

BRIEFLY DESCRIBE YOUR REQUEST (What do you plan to develop on this site?)

The project will be for a new parking lot on Tract A-2, Plat of Tract A-2 Beverly-Wood Addition. The existing building, parking lot, and other existing site features will be removed.

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

This project submitted a PRT on December 21, 2020 and received feedback on January 22, 2021. We submitted a Site Plan Administrative application following receipt of PRT feedback, which was predicated on the fact that no existing site plan for the property could be found. In the review of that application, it was discovered that there is indeed an existing EPC site plan for the property. This would require that we go to EPC to either abolish the existing site plan and create a new one or amend the existing one. I am requesting guidance on what EPC process we will need to submit for. We have Hydrology approval and I anticipate receiving TCL approval from Transportation any day now. That said, since we have been through PRT once already on this project, anything that can be done to expedite receiving feedback would be appreciated. See site plan attached for more information. Thanks!

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-032 Date: 4/7/21 Time: N/A (sent via email to Jeremy.shell@respec.com)

Address: 6400 Indian School Rd NE

AGENCY REPRESENTATIVES

Planning: Linda Rumpf (lrumpf@cabq.gov)

Zoning/Code Enforcement: Carl Garcia (cagarcia@cabq.gov)

Fire Marshal: Antonio Chinchilla (achinchilla@cabq.gov) or call 505-924-3611 (if needed)

Transportation: Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Hydrology: Ernest Armijo, P.E. (earmijo@cabq.gov)

Solid Waste: Herman Gallegos (hgallegos@cabq.gov)

Water Authority: David Gutierrez - dggutierrez@abcwua.org or call 505.289.3307; 505.241.9630

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

REQUEST:

The project will be for a new parking lot on Tract A-2, Plat of Tract A-2 Beverly-Wood Addition. The existing building, parking lot, and other existing site features will be removed.

SITE INFORMATION:

Zone: MX-H

Size: 0.912 acres

Use: Office

Overlay zone: x

Comp Plan Area of: Change

Comp Plan Corridor: (MT) Major Transit Corridors
660ft-Americas Pkwy; (PT) Premium Transit Station
Areas 660ft-Uptown Station

Comp Plan Center: Uptown / Urban / Existing

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-2: Mixed-use Zone District Dimensional Standards

*Neighborhood Organization/s: District 7 Coalition of NAs

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods.resources.*

PROCESS:

Type of Action: 6-6(J) Site Plan - EPC

Review and Approval Body: EPC Is this a PRT requirement? Yes

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-032 Date: 4/7/21 Time: N/A (sent via email)

Address: 6400 Indian School RD NE

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

This project submitted a PRT on December 21, 2020 and received feedback on January 22, 2021. We submitted a Site Plan Administrative application following receipt of PRT feedback, which was predicated on the fact that no existing site plan for the property could be found. In the review of that application, it was discovered that there is indeed an existing EPC site plan for the property. This would require that we go to EPC to either abolish the existing site plan and create a new one or amend the existing one. I am requesting guidance on what EPC process we will need to submit for. We have Hydrology approval and I anticipate receiving TCL approval from Transportation any day now. That said, since we have been through PRT once already on this project, anything that can be done to expedite receiving feedback would be appreciated. See site plan attached for more information. Thanks!

NOTES:

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

Download Forms & Applications

<https://www.cabq.gov/planning/online-forms>

New Public Notice Forms

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings.

Please complete these forms for public notice:

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- Public Notice - <http://www.cabq.gov/planning/urban-design-development/public-notice>

Records requests

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<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

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This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, lrumpf@cabq.gov

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-032 Date: 4/7/21 Time: N/A (sent via email)

Address: 6400 Indian School RD NE

File Submittal

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to PLNDRS@cabq.gov. For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at jrodenbeck@cabq.gov and/or to Maggie Gould at mgould@cabq.gov.

For other questions, please contact the Planning representative at the top of the PRT Notes.

For Building Safety Plan Review, contact Building Safety at 924-3963. Website: <https://www.cabq.gov/planning/building-safety-permits>

Zoning Comments

PROPERTY INFORMATION

- Address: 6400 INDIAN SCHOOL RD NE
- Lot: A2 Block: F
- Subdivision: BEVERLY-WOOD ADDN
- Zone Grid: J18
- Case Number
 - 1008660 EPC
- (MT) Major Transit Corridors 660ft
- Urban Center - 1,320 foot Buffer
- (PT) Premium Transit Station Areas 660ft
- Premium Transit Station Area - 1,320 foot Buffer
- Type: Change
- Calculated GIS Acres: 0.8845
- IDO Zoning: MX-H
- Old Zoning Designation: SU-3
- Old Zoning Description: MU-UPT
- Old Zoning Category: COMMERCIAL

PROCESS

6-4(Z) AMENDMENTS OF PRE-IDO APPROVALS

- 6-4(Z)(1)(a) Minor Amendments
- 6-4(Z)(1)(b) Major Amendments
- Original Approved Plan # Z-73-84
- Other case numbers to research, DRB-97-330, Z-97-130 & DRB-93-331

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-032 Date: 4/7/21 Time: N/A (sent via email)

Address: 6400 Indian School RD NE

As always, if you have specific questions pertaining to zoning and/or development standards you are encouraged to reach out to the zoning counter at (505) 924-3857 option 1.

Transportation Development Comments

For additional information contact Jeanne Wolfenbarger (924-3991)

The following are comments if applicable to development site, CONTACT JEANNE WOLFENBARGER FOR ANY ISSUES ON THESE CONCERNS:

Curb Cuts

- Follow DPM guidelines commercial curb cuts.
- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.
- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-032 Date: 4/7/21 Time: N/A (sent via email)

Address: 6400 Indian School RD NE

Traffic Studies and Traffic Signals

1. See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.

Platting and Public Infrastructure Requirements for Roadways

1. All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
2. Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.
3. There is a Bikeway Master Plan that is prepared MRCOG which lays out proposed bicycle facilities including bicycle trails, bike lanes, and bike routes. The site would be required to provide such facilities along the site frontage if they have not been constructed yet. Right-of-way dedication would likely be required.
4. Follow DPM and MRCOG's Long Range Master Plan for roadway width requirements. Provide roadway cross-section. (New roadway requirements and roadway widening is also coordinated with Department of Municipal Development, depending on what plans or projects they may have on a specific roadway.)
5. For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
6. Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
7. Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

If you would have additional questions or would like to schedule a follow-up Zoom meeting please contact Linda Rumpf at lrumpf@cabq.gov

From: [Carmona, Dalaina L.](#)
To: [Michael Vos](#)
Subject: 6500 Americas Parkway NE Neighborhood Meeting Inquiry
Date: Thursday, October 14, 2021 2:06:25 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image006.png](#)
[IDQZoneAtlasPage_1-18-Z.PDF](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	Address Line 2	City	State	Zip	Mobile Phone	Phone
District 7 Coalition of Neighborhood Associations	Tyler	Richter	tyler.richter@gmail.com	801 Madison NE		Albuquerque	NM	87110	5052392903	
District 7 Coalition of Neighborhood Associations	Darcy	Bushnell	dmc793@gmail.com	2017 Alvarado Drive NE		Albuquerque	NM	87110	5053795335	
ABQ Park NA	Shirley	Lockyer	shirleylockyer@gmail.com	7501 Sky Court Circle NE		Albuquerque	NM	87110		5057107314
ABQ Park NA	Steve	Randall	srandall52@comcast.net	7424 Arvada NE		Albuquerque	NM	87110		5052648973
Alvarado Park NA	Darcy	Bushnell	dmc793@gmail.com	2017 Alvarado Drive NE		Albuquerque	NM	87110	5053795335	
Alvarado Park NA	Robert	Habiger	apna87110@gmail.com	2101 Valencia NE		Albuquerque	NM	87110	5055547965	
Classic Uptown NA	Bert	Davenport	brt25@pm.me	2921 San Pablo Street NE		Albuquerque	NM	87110	7736206636	
Classic Uptown NA	John	Whalen	johnwhalen78@gmail.com	2904 Las Cruces NE		Albuquerque	NM	87110		5052651278
Inez NA	Donna	Yetter	donna.yetter3@gmail.com	2111 Hoffman Drive NE		Albuquerque	NM	87110	5055504715	
Inez NA	Maya	Sutton	yemaya@swcp.com	7718 Cutler Avenue NE		Albuquerque	NM	87110		5052478070
Jerry Cline Park NA	Ron	Goldsmith	rongoldsmith@yahoo.com	1216 Alcazar Street NE		Albuquerque	NM	87110		5056630246
Jerry Cline Park NA	Eric	Shirley	ericshirley@comcast.net	900 Grove Street NE		Albuquerque	NM	87110	5052682595	
Mark Twain NA	Barbara	Lohbeck	bardean12@comcast.net	1402 California Street NE		Albuquerque	NM	87110	5052591932	5052540285
Mark Twain NA	Joel	Wooldridge	joel.c.wooldridge@gmail.com	1500 Indiana Street NE		Albuquerque	NM	87110		5053897840
Quigley Park NA	Eric	Olivas	eoman505@gmail.com	2708 Valencia Drive NE		Albuquerque	NM	87110		5059344540
Snow Heights NA	Julie	Nielsen	bjdniels@msn.com	8020 Bellamah Avenue NE		Albuquerque	NM	87110	5053622313	5052923989
Snow Heights NA	Laura	Garcia	laurasmigi@aol.com	1404 Katie Street NE		Albuquerque	NM	87110	5052355858	
Winrock South NA	Virginia	Kinney		7110 Constitution Avenue NE		Albuquerque	NM	87110		5053215432
Winrock South NA	John	Kinney		7110 Constitution Avenue NE		Albuquerque	NM	87110		5053215432
Winrock Villas Condo Association	Main Office		wvcondos@comcast.net	1601 Pennsylvania Street NE		Albuquerque	NM	87110		5058848280
Winrock Villas Condo Association	Julie	Marr	wvcjulie@gmail.com	1601 Pennsylvania Street NE	K-01	Albuquerque	NM	87110	3254514046	

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant

Office of Neighborhood Coordination

Council Services Department

1 Civic Plaza NW, Suite 9087, 9th Floor

Albuquerque, NM 87102

505-768-3334

dcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Thursday, October 14, 2021 9:59 AM

To: Office of Neighborhood Coordination <vos@consensusplanning.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Michael Vos

Telephone Number

5057649801

Email Address

vos@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th Street NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TRACTS A-2-A-1-A & A-2-A-2-A, PARK SQUARE; Tracts A-2 and 2-A, Block F, Beverly Wood Addition

Physical address of subject site:

6500 Americas Parkway NE

Subject site cross streets:

Americas Parkway and Indian School Road

Other subject site identifiers:

Southwest corner of the referenced intersection

This site is located on the following zone atlas page:

J-18

From: [Jackie Fishman](#)
To: [tyler.richter@gmail.com](#); [dmc793@gmail.com](#); [shirleylockyer@gmail.com](#); [srandall52@comcast.net](#); [apna87110@gmail.com](#); [brt25@pm.me](#); [johnwhalen78@gmail.com](#); [donna.yetter3@gmail.com](#); [yemaya@swcp.com](#); [rongoldsmith@yahoo.com](#); [ericshirley@comcast.net](#); [bardean12@comcast.net](#); [joel.c.wooldridge@gmail.com](#); [eoman505@gmail.com](#); [bjdniels@msn.com](#); [laurasmigi@aol.com](#); [wvcondos@comcast.net](#); [wvcjulie@gmail.com](#)
Cc: [Michael Vos](#)
Subject: Pre-application notification - Markana Uptown
Date: Tuesday, October 26, 2021 6:21:11 PM
Attachments: [Neighborhood Meeting Information Packet.pdf](#)

Dear Neighbors,

This email is notification that Consensus Planning is preparing an application for a Major Amendment to a Site Plan – DRB for the properties located at 6500 Americas Parkway and 6400 Indian School Road NE. Per the City’s Integrated Development Ordinance (IDO), this amendment will need to be reviewed and approved by the Development Review Board (DRB).

This site plan was approved by the DRB in 2018 and previously amended in 2020 for a multi-family residential development located at 6500 Americas Parkway. The proposed amendment adds the property located at 6400 Indian School (formerly the Rio Grande Title building, since demolished) to be used as accessory parking for the proposed development. Please see the attached City forms containing the details of the property and this request. A copy of the proposed site plan, including the new parking lot is included in these forms.

As part of the City process and in accordance with IDO Subsection 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are sending this email to allow an opportunity to schedule a meeting concerning the project if desired. Should you desire to request a meeting, please do not hesitate to email me at fishman@consensusplanning.com or contact me by phone at (505) 764-9801. Per the IDO, you have 15 days or until November 10, 2021, to request a meeting.

Sincerely,

Jacqueline Fishman, AICP
Principal
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102
P: 505.764.9801

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: October 26, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: See attached

Name of NA Representative*: See attached

Email Address* or Mailing Address* of NA Representative¹: See attached

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: fishman@consensusplanning.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6500 Americas Parkway and 6400 Indian School Road NE
Location Description Southwest corner of Indian School and Americas Parkway
2. Property Owner* Kassam Land Acquisition 10, LLC / KLG29, LLC
3. Agent/Applicant* [if applicable] Consensus Planning, Inc. / Legacy Development & Management
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Major amendment to Site Plan - DRB to add former Rio Grande Title property to site plan as accessory parking for new multi-family residential development.

5. This type of application will be decided by^{*}: City Staff
 OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council

6. Where more information about the project can be found^{4*}:
Please contact Jackie Fishman with Consensus Planning at fishman@consensusplanning.com or call (505) 764-9801 for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{5*} J-18-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 Deviation(s) Variance(s) Waiver(s)

Explanation:

No deviations, variances, or waivers are anticipated at this time.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] approximately 5 acres total
 - b. IDO Zone District MX-H
 - c. Overlay Zone(s) [if applicable] N/A
 - d. Center or Corridor Area [if applicable] Uptown Urban Center and Premium Transit Station Area
2. Current Land Use(s) [vacant, if none] Hotel and parking lot
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

From: [Carmona, Dalaina L.](#)
To: [Michael Vos](#)
Subject: 6500 Americas Parkway NE Neighborhood Meeting Inquiry
Date: Thursday, October 14, 2021 2:06:25 PM
Attachments: [image001.png](#)
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[image003.png](#)
[image004.png](#)
[image006.png](#)
[ID02ZoneAtlasPage_1-18-Z.PDF](#)

Dear Applicant:

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ABQ Park NA	Steve	Randall	srandall52@comcast.net	7424 Arvada NE		Albuquerque	NM	87110		5052648973
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Classic Uptown NA	John	Whalen	johnwhalen78@gmail.com	2904 Las Cruces NE		Albuquerque	NM	87110		5052651278
Inez NA	Donna	Yetter	donna.yetter3@gmail.com	2111 Hoffman Drive NE		Albuquerque	NM	87110	5055504715	
Inez NA	Maya	Sutton	yemaya@swcp.com	7718 Cutler Avenue NE		Albuquerque	NM	87110		5052478070
Jerry Cline Park NA	Ron	Goldsmith	rongoldsmith@yahoo.com	1216 Alcazar Street NE		Albuquerque	NM	87110		5056630246
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Mark Twain NA	Barbara	Lohbeck	bardean12@comcast.net	1402 California Street NE		Albuquerque	NM	87110	5052591932	5052540285
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Snow Heights NA	Laura	Garcia	laurasmigi@aol.com	1404 Katie Street NE		Albuquerque	NM	87110	5052355858	
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Winrock South NA	John	Kinney		7110 Constitution Avenue NE		Albuquerque	NM	87110		5053215432
Winrock Villas Condo Association	Main Office		wvcondos@comcast.net	1601 Pennsylvania Street NE		Albuquerque	NM	87110		5058848280
Winrock Villas Condo Association	Julie	Marr	wvcjulie@gmail.com	1601 Pennsylvania Street NE	K-01	Albuquerque	NM	87110	3254514046	

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant

Office of Neighborhood Coordination

Council Services Department

1 Civic Plaza NW, Suite 9087, 9th Floor

Albuquerque, NM 87102

505-768-3334

dcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Thursday, October 14, 2021 9:59 AM

To: Office of Neighborhood Coordination <vos@consensusplanning.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Michael Vos

Telephone Number

5057649801

Email Address

vos@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th Street NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TRACTS A-2-A-1-A & A-2-A-2-A, PARK SQUARE; Tracts A-2 and 2-A, Block F, Beverly Wood Addition

Physical address of subject site:

6500 Americas Parkway NE

Subject site cross streets:

Americas Parkway and Indian School Road

Other subject site identifiers:

Southwest corner of the referenced intersection

This site is located on the following zone atlas page:

J-18

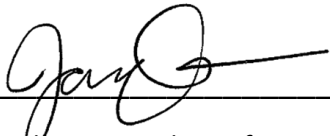


**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type: Major Amendment to Site Plan - DRB	
Decision-making Body: Development Review Board (DRB)	
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 6500 Americas Parkway NE and 6400 Indian School Road NE	
Name of property owner: Kassam Land Acquisition 10, LLC/KLG 29, LLC	
Name of applicant: Legacy Development & Management, LLC (Agent: Consensus Planning, Inc.)	
Date, time, and place of public meeting or hearing, if applicable: TBD	
Address, phone number, or website for additional information:	
Please contact Jackie Fishman with Consensus Planning at fishman@consensusplanning.com or call (505) 764-9801 for more information.	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.


 _____ (Applicant signature) October 26, 2021 _____ (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-18-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet

Easement Notes

- EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
- EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126) & (6/29/1984, C24-89)
- EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- INTENTIONALLY OMITTED
- EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (8/7/1998, BK. 98-13, PG. 8016)
- INTENTIONALLY OMITTED
- INTENTIONALLY OMITTED
- EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DOC. NO. 2007144250)
- EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, PRIVATE CROSS LOT UTILITY EASEMENT AND RECIPROCAL PRIVATE CROSS PARKING EASEMENT BENEFITING AND MAINTAINED BY TRACT A-2-B AND TRACTS A-2-A & A-2-B (7/2/2001, 2001C-186) (4/19/2011, 2011C-35)
- PRIVATE CROSS LOT DRAINAGE EASEMENT ACROSS TRACTS A-2-A-2 AND A-2-A-1 BENEFITING AND MAINTAINED BY TRACT A-2-B (8/13/1998, 98C-241)
- PRIVATE PARKING, VEHICULAR ACCESS, AND PEDESTRIAN EASEMENT BENEFITING AND MAINTAINED BY TRACTS 1-B-1, A-2-A-1 AND A-2-A-2, PARK SQUARE (7/15/1998, BK. 9812, PG. 6785)(7/31/2002, BK. A39, PG. 6377) (1/14/2005, BK. A90, PG. 7567)(5/19/2007, BK. A136, PG. 8823)
- PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- PRIVATE CROSS LOT DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1 AND A-2-A-2, PARK SQUARE (4/19/2011, 11C-35)
- EXISTING 33' COA WATER & SEWER EASEMENT (6/29/1984, C24-89)
- 10' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAT

DEVELOPMENT DATA

NET SITE AREA:

TRACT A-2-A-2-A	2.4244 ACRES (105,609 S.F.)
TRACT A-2	0.9123 ACRES (39,741 S.F.)
TRACT A-2-A-1-A	1.6520 ACRES (71,959 S.F.)

SETBACKS REQUIRED:

FRONT(E)	0	SIDE(N)	0	SIDE(S)	0	REAR(W)	15'
PROVIDED	10'	3'	2'	7'			

ZONING AND LAND USE:

CURRENT:	MX-H (UC-MS-PT)	BUILDING NET AREA	252,480 S.F.
LAND USE:	RESTAURANT / HOTEL	F.A.R. PROVIDED	252,480 / 105,609 = 2.39
	MULTI-FAMILY RESIDENTIAL		

FLOOR AREA RATIO:

BUILDING HEIGHT:

ALLOWED:	99 FEET
PROPOSED:	97 FEET

DENSITY:

PROPOSED:	100.2 DU/ACRE
-----------	---------------

BUILDING AREAS:

LEVEL	S-2 GARAGE	R-2 RES.	A-3 ASSEMBLY REC.	FITNESS/POOL/HOUSE	TOTAL	B LEASING	TOTAL
P1	73,471	1,874			75,345	2,134	77,479
P2	71,920	1,414			73,334		73,334
L1		45,307	1,864	1,344	48,455		48,455
L2		45,186	855	662	46,703		46,703
L3		50,416			50,416		50,416
L4		50,416			50,416		50,416
L5		50,416			50,416		50,416
TOTAL	145,391	244,969	2,719	2,006	652	5,377	2,134

LEGEND

- DENOTES PROPERTY LINE
- NO. OF PARKING SPACES
- NO. OF COMPACT PARKING SPACES
- DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- MS MONUMENT SIGNAGE
- DS DIRECTIONAL SIGNAGE - GROUND MOUNTED
- AW ACCESSIBLE WALKWAY SIGNAGE - BUILDING OR GROUND MOUNTED
- BM BUILDING MOUNTED SIGNAGE - SEE A3.4 & A3.4 FOR LOCATIONS

USABLE OPEN SPACE:

REQUIRED:	
STUDIO 200 SF x 60	= 12,000 S.F.
1 BR 200 SF x 107	= 21,400 S.F.
2 BR 250 SF x 76	= 19,000 S.F.
TOTAL REQUIRED	= 52,400 S.F.
50% REDUCTION FOR PROPERTY BEING UC/MS/PT	= 26,200 S.F.
TOTAL REQUIRED	= 26,200 S.F.

PROVIDED:

LEVEL L1 COURTYARDS	22,057 S.F.
PRIVATE BALCONIES	14,487 S.F.
AT GRADE ON SITE	10,418 S.F.
TOTAL PROVIDED	46,962 S.F.

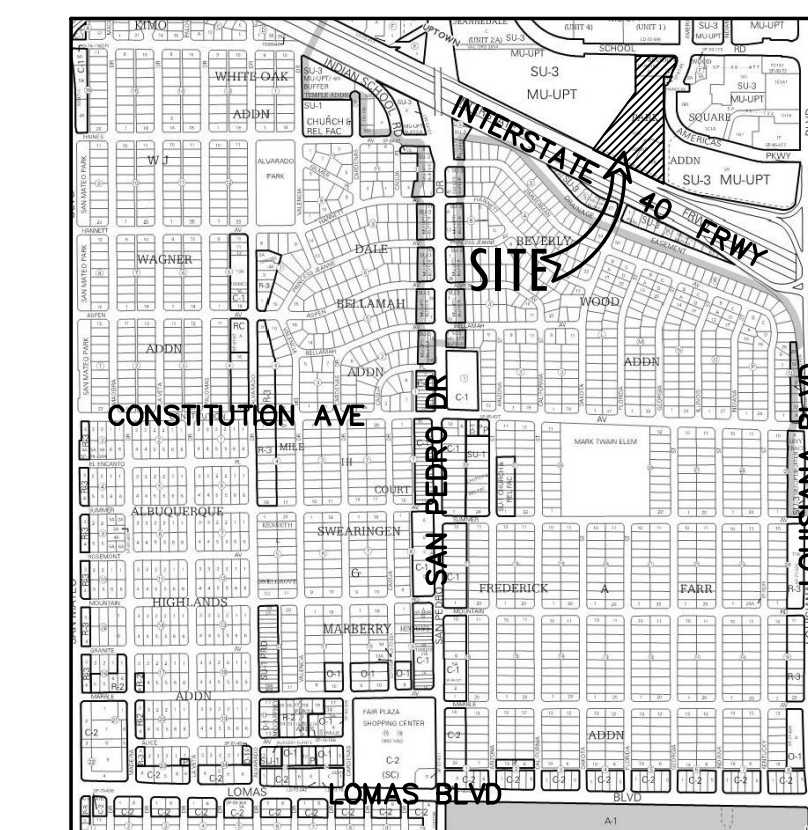
THE FIRST RESIDENTIAL LEVEL (PODIUM LEVEL L1) HAS TWO OPEN COURTYARDS, CONNECTED BY A COVERED BREEZEWAY. THE SOUTH COURTYARD IS THE POOL AREA WITH AMENITIES LIKE CABANAS, RAMADA, SEATING AREA. THE FITNESS CENTER, RECREATIONAL SPACE AND POOL HOUSE ARE PART OF THE BUILDING ORIENTED TOWARDS THE POOL COURTYARD. THE NORTH COURTYARD IS ANOTHER OPEN SPACE WITH RAMADAS, BARBECUES, GAME LAWN, AND SEATING AREAS.

UNIT MIX:

UNIT	LIVABLE	BALCONY	L1	L2	L3	L4	L5	TOTAL
S1	589 SF	44 SF	10	11	13	13	51	
S1m1	618 SF	44 SF	1	1	2	2	8	
S2H	754 SF	63 SF						1
A1	878 SF	46 SF	3					3
A2	634 SF	52 SF	12	12	12	12	60	
A2m1	733 SF	67 SF	1	1	1	1	5	
A3	754 SF	63 SF	7	6	6	6	31	
A3H	754 SF	63 SF						3
A3m1	733 SF	63 SF	1	1	1	1	5	
B1	928 SF	51 SF	5	8	10	10	43	
B2	1,022 SF	106 SF	6	5	6	6	29	
B2H	1,022 SF	106 SF						1
B3	1,226 SF	135 SF						3
TOTAL			45	45	51	51	243	

PARKING SPACE REQUIREMENTS	PARKING RATIO	PARKING REQUIRED
HOTEL (149 ROOMS)	2 PS / 3 ROOMS ⁽¹⁾	99
MULTI-FAMILY (243 DWELLING UNITS)	1 PS / DU ⁽¹⁾	243
SUBTOTAL FOR REDUCTION		342
TRANSIT REDUCTION ⁽²⁾		34
SUBTOTAL AFTER TRANSIT REDUCTION		308
RESTAURANT (270 SEATS)	1 PS / 3 SEATS ⁽³⁾	90
OPS OFFICE (PER PARKING AGREEMENT)	N/A	191
TOTAL PARKING SPACES REQUIRED		589
OPEN PARKING SPACES PROVIDED		255
GARAGE P1 LEVEL PARKING SPACES PROVIDED		220
GARAGE P2 LEVEL PARKING SPACES PROVIDED		210
TOTAL PARKING SPACES PROVIDED		695
COMPACT PARKING SPACES ALLOWED		200
OPEN COMPACT PARKING SPACES PROVIDED		255
GARAGE P1 LEVEL COMPACT PARKING SPACES PROVIDED		63
GARAGE P2 LEVEL COMPACT PARKING SPACES PROVIDED		65
TOTAL COMPACT PARKING SPACES PROVIDED		128
ACCESSIBLE PARKING SPACES REQUIRED		13
OPEN ACCESSIBLE PARKING SPACES PROVIDED		5
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		8
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		4
TOTAL ACCESSIBLE PARKING SPACES PROVIDED		17
ELECTRIC VEHICLE CHARGING SPACES REQUIRED		11
GARAGE P1 LEVEL REGULAR PARKING SPACES PROVIDED		9
GARAGE P2 LEVEL REGULAR PARKING SPACES PROVIDED		3
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		1
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		1
TOTAL ELECTRIC VEHICLE CHARGING SPACES PROVIDED		14
MOTORCYCLE PARKING SPACES REQUIRED		4
HOTEL AND RESTAURANT		4
TOTAL MOTORCYCLE PARKING SPACES PROVIDED		4
BICYCLE PARKING SPACES REQUIRED		40
10% OF REQUIRED VEHICULAR PARKING REQUIRED (400 PARKING SPACES EXCLUDING OFFICE)		8
OPEN ON SITE RACKS PARKING SPACES PROVIDED		32
IN BIKE ROOM PARKING SPACES PROVIDED		40
TOTAL ACCESSIBLE PARKING SPACES PROVIDED		40

- NOTES:
- SITE IS LOCATED IN THE UPTOWN URBAN CENTER.
 - TRANSIT ROUTE 157 IS ALONG AMERICAS PARKWAY AND TRANSIT ROUTES 34, 6, AND 766 ARE ALONG INDIAN SCHOOL ROAD. BUS STOPS ARE LOCATED TO THE EAST ALONG AMERICAS PARKWAY IN FRONT OF THE MARRIOTT AND PARK SQUARE. THE SITE IS LOCATED WITHIN 1,320 FEET OF THE UPTOWN TRANSIT CENTER. SO PARKING MAY BE REDUCED UP TO 30% PER IDO SECTION 14-16-5-5(C)(5)(I). THE DEVELOPER HAS VOLUNTARILY CHOSEN TO TAKE AN APPROXIMATE 30% REDUCTION.
 - PER ORIGINAL APPROVAL.



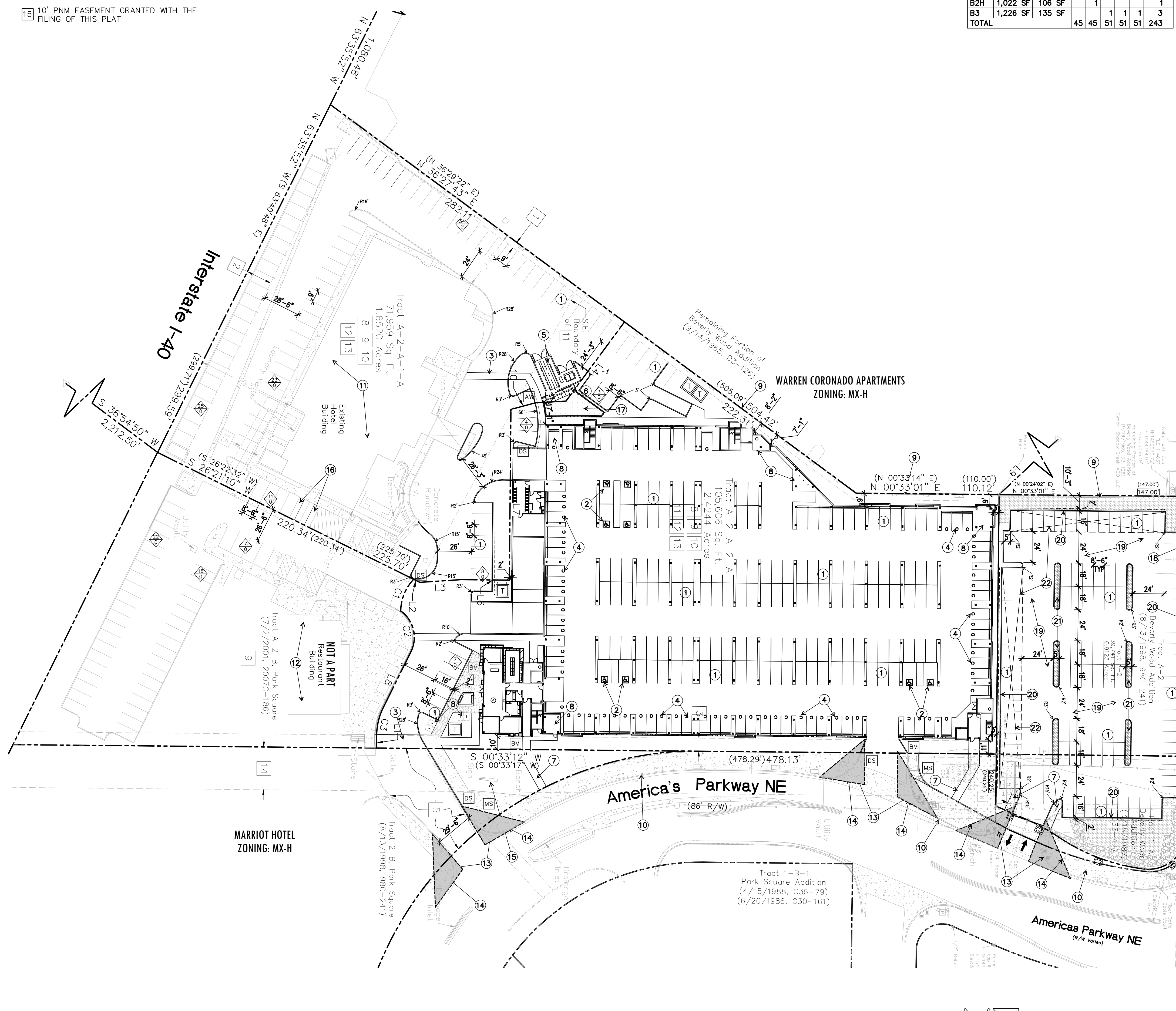
VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- THE MATERIALS USED FOR CROSSWALKS WILL COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- SITE WILL COMPLY WITH THE LIGHTING STANDARDS IN THE MX-H ZONE AND IDO SECTION 14-16-5-7.
- REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING MONUMENT/DIRECTIONAL/BRANDING SIGNAGE WILL BE A DELEGATED DESIGN. LOCATIONS ARE PROVIDED ON THIS PLAN FOR COORDINATION PURPOSES.

KEYNOTES

- 8'-6"x18" PARKING SPACE, TYPICAL. SEE DETAIL 01/A1.20
- 11'x18" ACCESSIBLE PARKING SPACE, SEE DETAIL 05/A1.20
- ACCESSIBLE DRIVEWAY CROSSING MARKING TO COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- 8'x15' COMPACT PARKING SPACE.
- TRASH YARD ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 10/A1.20. TRASH YARD TO BE SHARED WITH HOTEL TO THE SOUTH.
- 10'x30' LOADING PARKING SPACE.
- 6' SIDEWALK CONNECTING TO PUBLIC WAYS.
- BICYCLE PARKING LOCATION, SEE DETAIL 04/08/A1.20.
- EXISTING PERIMETER WALL.
- EXISTING STREET CURB WITH 13'-6" MIN. SIDEWALK AT AMERICA'S PARKWAY.
- EXISTING HOTEL BUILDING.
- EXISTING RESTAURANT BUILDING (NOT A PART).
- EXISTING DRIVEWAY ENTRY.
- SIGHT VISIBILITY, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING HOTEL SIGN TO REMAIN.
- MOTORCYCLE PARKING.
- DOG PARK, REFER TO HARDSCAPE PLANS. SHEET SERIES 000-400.
- REMOVE EXISTING DRIVEWAY AND REPLACE WITH SIDEWALK/CURB PER COA STD DETAIL 2415-A.
- ASPHALT PAVEMENT IN PARKING LOT.
- ASPHALT CURB.
- STRIPED ISLANDS.
- PARKING CARPORT COVER.



SITE PLAN

SCALE: 1" = 40'-0"

MARKANA UPTOWN
6500 Americas Parkway NE
Albuquerque, NM 87110

Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBArch.com

STATE OF NEW MEXICO
RICH BARBER
NO. 2295
07/12/21
REGISTERED ARCHITECT

LEGACY HOSPITALITY

PROJECT NUMBER:
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

- Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
- DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**
- | | |
|--|------|
| Traffic Engineering, Transportation Division | Date |
| ABCWUA | Date |
| Parks and Recreation Department | Date |
| City Engineer | Date |
| Solid Waste Management | Date |
| Code Enforcement | Date |
| DRB Chairperson, Planning Department | Date |

Contractor must verify all dimensions at project before proceeding with this work.

Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are made in executed or not. These drawings and specifications shall not be used by anyone on any other project, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.

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REVISIONS

△	
△	
△	
△	
△	

RE-PLAT

DATE: SEPTEMBER 28, 2021 ORB # 16-221

A1.10

SITE PLAN

MARKANA UPTOWN

6500 Americas Parkway NE
Albuquerque, NM 87110



WorldHQ@ORBArch.com



LEGACY HOSPITALITY



EAST ELEVATION

10' | 8' | 16' | 32'
SCALE: 1/16" = 1'-0"



WEST ELEVATION

10' | 8' | 16' | 32'
SCALE: 1/16" = 1'-0"

MATERIAL KEY NOTES:

- (A) STUCCO FINISH DUNN EDWARDS DE6365 "COLD MORNING" LRV 73
- (B) STUCCO FINISH DUNN EDWARDS DE6367 "COVERED IN PLATINUM" LRV 46
- (C) STUCCO FINISH DUNN EDWARDS DE6369 "LEGENDARY GRAY" LRV 18
- (D) STUCCO FINISH DUNN EDWARDS DE6378 "JET" LRV 9
- (E) STUCCO FINISH DUNN EDWARDS DE6371 "BLACK JACK" LRV 8
- (F) BALCONY METAL RAILING, CANOPIES PAINTED DUNN EDWARDS DE6378 "JET" LRV 9
- (G) BRICK VENEER MCNEAR THIN BRICK COLOR "TANGIERS"

DRB SUBMITTAL

DATE: JANUARY 22, 2020 ORB # 16-221

A3.14

BUILDING EXTERIOR ELEVATIONS



Indian School

Parking being added by amendment

Project Site

Americas Parkway

Louisiana

Buca di Beppo Italian

Marriott Albuquerque

Interstate 40

7020 1810 0002 2787 6836

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Albuquerque, NM 87107

OFFICIAL USE

Certified Mail Fee	\$3.75
\$	
Extra Services & Fees (check box, add fee as appropriate)	\$7.05
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
\$	
Total Postage and Fees	\$7.58
\$	



10/26/2021

Sent To John and Virginia Kinney
 Street and Apt. No., or PO Box No. 7110 Constitution Ave NE
 City, State, ZIP+4® Albuquerque, NM 87110

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

(Applicant or Agent)

11/19/21
(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: PR-2018-001284

From: [Office of Neighborhood Coordination](#)
 To: [Michael Vos](#)
 Subject: 6500 Americas Parkway NE, Public Notice Inquiry
 Date: Friday, November 19, 2021 8:22:42 AM
 Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	Association Website	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
ABQ Park NA			Shirley	Lockyer	shirleylockyer@gmail.com	7501 Sky Court Circle NE	Albuquerque	NM	87110		5057107314
ABQ Park NA			Steve	Randall	srandall52@comcast.net	7424 Arvada NE	Albuquerque	NM	87110		5052648973
Alvarado Park NA	apna87110@gmail.com		Darcy	Bushnell	dmc793@gmail.com	2017 Alvarado Drive NE	Albuquerque	NM	87110	5053795335	
Alvarado Park NA	apna87110@gmail.com		Robert	Habiger	apna87110@gmail.com	2101 Valencia NE	Albuquerque	NM	87110	5055547965	
Classic Uptown NA	btr25@pm.me		Bert	Davenport	btr25@pm.me	2921 San Pablo Street NE	Albuquerque	NM	87110	7736206636	
Classic Uptown NA	btr25@pm.me		John	Whalen	johnwhalen78@gmail.com	2904 Las Cruces NE	Albuquerque	NM	87110		5052651278
Inez NA	inezneighsn@yahoo.com		Dionna	Yetter	dionna.yetter3@gmail.com	2111 Hoffman Drive NE	Albuquerque	NM	87110	5055504715	
Inez NA	inezneighsn@yahoo.com		Maya	Sutton	ymaya@wcp.com	7718 Cutler Avenue NE	Albuquerque	NM	87110		5052478070
Jerry Cline Park NA			Ron	Goldsmith	rongoldsmith@yahoo.com	1216 Alcazar Street NE	Albuquerque	NM	87110		5056630246
Jerry Cline Park NA			Eric	Shirley	ericshirley@comcast.net	900 Grove Street NE	Albuquerque	NM	87110	5052682595	
Mark Twain NA			Barbara	Lohbeck	bardean12@comcast.net	1402 California Street NE	Albuquerque	NM	87110	5052591932	5052540285
Mark Twain NA			Joel	Woodridge	joel.cwooldridge@gmail.com	1500 Indiana Street NE	Albuquerque	NM	87110		5053897840
Quigley Park NA	quigley.park@gmail.com		Eric	Olivas	eoman505@gmail.com	2708 Valencia Drive NE	Albuquerque	NM	87110		5059344540
Snow Heights NA			Julie	Nielsen	bjdniels@msn.com	8020 Bellamah Avenue NE	Albuquerque	NM	87110	5053622313	5052923989
Snow Heights NA			Laura	Garcia	laurasmig@aol.com	1404 Katie Street NE	Albuquerque	NM	87110	5052355858	
Winrock South NA			Virginia	Kinney		7110 Constitution Avenue NE	Albuquerque	NM	87110		5053215432
Winrock South NA			John	Kinney		7110 Constitution Avenue NE	Albuquerque	NM	87110		5053215432
Winrock Villas Condo Association	wvcondos@comcast.net	https://winrockvillas@hoospace.com/	Main Office		wvcondos@comcast.net	1601 Pennsylvania Street NE	Albuquerque	NM	87110		5058848280
Winrock Villas Condo Association	wvcondos@comcast.net	https://winrockvillas@hoospace.com/	Julie	Marr	wvjulie@gmail.com	1601 Pennsylvania Street NE	Albuquerque	NM	87110	3254514046	
District 7 Coalition of Neighborhood Associations	Darcy	Bushnell	dmc793@gmail.com	2017 Alvarado Drive NE	Albuquerque	NM	87110	####			
District 7 Coalition of Neighborhood Associations	Tyler	Richter	tyler.richter@gmail.com	801 Madison NE	Albuquerque	NM	87110	####			

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: publicnotice@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedure%20Summary%20Table>

Thank you.



Vanessa Baca
 Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
 (505) 768-3331 Office

E-mail: vanessabaca@cabq.gov

Website: www.cabq.gov/neighborhoods



From: webmaster-cabq.gov@mailgun.org [mailto:webmaster-cabq.gov@mailgun.org] On Behalf Of webmaster@cabq.gov

Sent: Thursday, November 18, 2021 6:11 PM

To: Office of Neighborhood Coordination <os@consensusplanning.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:
 Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Michael Vos

Telephone Number

5057649801

Email Address

vos@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th Street NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

Tracts A-2-A-1 and A-2-A-2, Park Square and Tracts A-2 and 2A, Block F, Beverly-Wood Addition

Physical address of subject site:

6500 Americas Parkway NE

Subject site cross streets:

Americas Parkway and Indian School Road

Other subject site identifiers:

Southwest corner of the referenced intersection

This site is located on the following zone atlas page:

J-18

From: [Jackie Fishman](#)
To: shirleylockyer@gmail.com; srandall52@comcast.net; dmc793@gmail.com; apna87110@gmail.com; brt25@pm.me; johnwhalen78@gmail.com; donna.yetter3@gmail.com; yemaya@swcp.com; inezneighassn@yahoo.com; rongoaldsmith@yahoo.com; ericshirley@comcast.net; bardean12@comcast.net; joel.c.wooldridge@gmail.com; eoman505@gmail.com; bjdniels@msn.com; quigley.park@gmail.com; laurasmigi@aol.com; wvcondos@comcast.net; wvcjulie@gmail.com; tyler.richter@gmail.com
Cc: [Michael Vos](#)
Subject: Application Notification - Markana Uptown Multi-Family
Date: Friday, November 19, 2021 11:37:44 AM
Attachments: [Markana Uptown Notice Packet.pdf](#)

Dear Neighbors,

This email is notification that Consensus Planning has applied for a Major Amendment to a Site Plan – DRB for the properties located at 6500 Americas Parkway and 6400 Indian School Road NE on behalf of Legacy Development & Management.

This site plan was approved by the DRB in 2018 and previously amended in 2020 for a multi-family residential development located at 6500 Americas Parkway. The proposed amendment adds the property located at 6400 Indian School (formerly the Rio Grande Title building, since demolished) to be used as accessory parking for the proposed development. Please see the attached City forms containing the details of the property and this request. A copy of the proposed site plan, including the new parking lot is included in these forms.

The DRB meeting for this request is scheduled for December 15, 2021, at 9:00 AM via Zoom. Please use the following Zoom information to join and participate:

Join Zoom Meeting: <https://cabq.zoom.us/j/81197751847>
Meeting ID: 811 9775 1847
Dial by your location: +1 669 900 6833 US
Find your local number: <https://cabq.zoom.us/j/81197751847>

A copy of the existing approved and proposed plan sets can be downloaded here:
<https://www.dropbox.com/t/SxtSyg3Ei1ohYTmq>

If you have any questions, please do not hesitate to contact me at fishman@consensusplanning.com or by calling our office at (505) 764-9801.

Sincerely,

Jacqueline Fishman, AICP
Principal
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102
P: 505.764.9801

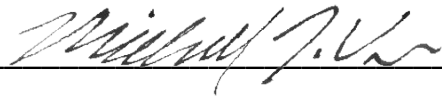


**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type: Major Amendment to Site Plan - DRB	
Decision-making Body: Development Review Board (DRB)	
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 6500 Americas Parkway and 6400 Indian School Road	
Name of property owner: Legacy MUP LLC; KLG 18 LLC; KLG 29 LLC	
Name of applicant: Legacy Development & Management, LLC (Agent: Consensus Planning, Inc.)	
Date, time, and place of public meeting or hearing, if applicable:	
Wednesday, December 15, 2021 at 9:00 AM via Zoom. See next page for Zoom information.	
Address, phone number, or website for additional information:	
Please contact Jackie Fishman with Consensus Planning at fishman@consensusplanning.com or call (505) 764-9801 for more information.	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request. Dropbox link to drawing set on next page.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable. N/A. Meeting was not requested.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) 11/19/21 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
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CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

December 15, 2021 Zoom Information:

Join Zoom Meeting: <https://cabq.zoom.us/j/81197751847>

Meeting ID: 811 9775 1847

Dial by your location: +1 669 900 6833 US

Find your local number: <https://cabq.zoom.us/u/kdP6wtGHlj>

Download current and proposed site plan sets here: <https://www.dropbox.com/t/SxtSyg3Ei1ohYTmq>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: See attached

Name of NA Representative*: See attached

Email Address* or Mailing Address* of NA Representative¹: See attached

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6500 Americas Parkway and 6400 Indian School Road
Location Description Southwest corner of Indian School and Americas Parkway
2. Property Owner* Legacy MUP LLC; KLG 18 LLC; and KLG 29 LLC
3. Agent/Applicant* *[if applicable]* Consensus Planning, Inc. / Legacy Development & Management
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Major Amendment to add additional property to Site Plan - DRB and develop a parking lot associated with the Markana Uptown multi-family residential development.

Existing approved plan is for 243 dwelling units in a 7-story building, including parking garage.

Download the current and proposed site plan drawings here: <https://www.dropbox.com/t/SxtSyg3Ei1ohYTmq>

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - ✓ a. Location of proposed buildings and landscape areas.*
 - ✓ b. Access and circulation for vehicles and pedestrians.*
 - ✓ c. Maximum height of any proposed structures, with building elevations.*
 - ✓ d. **For residential development***: Maximum number of proposed dwelling units.
 - ✓ e. **For non-residential development***:
 - ✓ Total gross floor area of proposed project.
 - ✓ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] Approximately 5 total acres
 - 2. IDO Zone District MX-H
 - 3. Overlay Zone(s) [if applicable] N/A
 - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] Hotel and parking lot

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

From: [Office of Neighborhood Coordination](#)
 To: [Michael Vos](#)
 Subject: 6500 Americas Parkway NE, Public Notice Inquiry
 Date: Friday, November 19, 2021 8:22:42 AM
 Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	Association Website	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
ABQ Park NA			Shirley	Lockyer	shirleylockyer@gmail.com	7501 Sky Court Circle NE	Albuquerque	NM	87110		5057107314
ABQ Park NA			Steve	Randall	srandall52@comcast.net	7424 Arvada NE	Albuquerque	NM	87110		5052648973
Alvarado Park NA	apna87110@gmail.com		Darcy	Bushnell	dmc793@gmail.com	2017 Alvarado Drive NE	Albuquerque	NM	87110	5053795335	
Alvarado Park NA	apna87110@gmail.com		Robert	Habiger	apna87110@gmail.com	2101 Valencia NE	Albuquerque	NM	87110	5055547965	
Classic Uptown NA	btr25@pm.me		Bert	Davenport	btr25@pm.me	2921 San Pablo Street NE	Albuquerque	NM	87110	7736206636	
Classic Uptown NA	btr25@pm.me		John	Whalen	johnwhalen78@gmail.com	2904 Las Cruces NE	Albuquerque	NM	87110		5052651278
Inez NA	inezneighsn@yahoo.com		Dionna	Yetter	dionna.yetter3@gmail.com	2111 Hoffman Drive NE	Albuquerque	NM	87110	5055504715	
Inez NA	inezneighsn@yahoo.com		Maya	Sutton	ymaya@wcp.com	7718 Cutler Avenue NE	Albuquerque	NM	87110		5052478070
Jerry Cline Park NA			Ron	Goldsmith	rongoldsmith@yahoo.com	1216 Alcazar Street NE	Albuquerque	NM	87110		5056630246
Jerry Cline Park NA			Eric	Shirley	ericshirley@comcast.net	900 Grove Street NE	Albuquerque	NM	87110	5052682595	
Mark Twain NA			Barbara	Lohbeck	bardean12@comcast.net	1402 California Street NE	Albuquerque	NM	87110	5052591932	5052540285
Mark Twain NA			Joel	Woodridge	joel.cwooldridge@gmail.com	1500 Indiana Street NE	Albuquerque	NM	87110		5053897840
Quigley Park NA	quigley.park@gmail.com		Eric	Olivas	eoman505@gmail.com	2708 Valencia Drive NE	Albuquerque	NM	87110		5059344540
Snow Heights NA			Julie	Nielsen	bjdniels@msn.com	8020 Bellamah Avenue NE	Albuquerque	NM	87110	5053622313	5052923989
Snow Heights NA			Laura	Garcia	laurasmig@aol.com	1404 Katie Street NE	Albuquerque	NM	87110	5052355858	
Winrock South NA			Virginia	Kinney		7110 Constitution Avenue NE	Albuquerque	NM	87110		5053215432
Winrock South NA			John	Kinney		7110 Constitution Avenue NE	Albuquerque	NM	87110		5053215432
Winrock Villas Condo Association	wvcondos@comcast.net	https://winrockvillas@hoospace.com/	Main Office		wvcondos@comcast.net	1601 Pennsylvania Street NE	Albuquerque	NM	87110		5058848280
Winrock Villas Condo Association	wvcondos@comcast.net	https://winrockvillas@hoospace.com/	Julie	Marr	wvjulie@gmail.com	1601 Pennsylvania Street NE	Albuquerque	NM	87110	3254514046	
District 7 Coalition of Neighborhood Associations	Darcy	Bushnell	dmc793@gmail.com	2017 Alvarado Drive NE	Albuquerque	NM	87110	####			
District 7 Coalition of Neighborhood Associations	Tyler	Richter	tyler.richter@gmail.com	801 Madison NE	Albuquerque	NM	87110	####			

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: publicnotice@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedure%20Summary%20Table>

Thank you.



Vanessa Baca
 Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
 (505) 768-3331 Office
 E-mail: vanessabaca@cabq.gov
 Website: www.cabq.gov/neighborhoods

From: webmaster-cabq.gov@mailgun.org [mailto:webmaster-cabq.gov@mailgun.org] On Behalf Of webmaster@cabq.gov
 Sent: Thursday, November 18, 2021 6:11 PM
 To: Office of Neighborhood Coordination <os@consensusplanning.com>
 Cc: Office of Neighborhood Coordination <onc@cabq.gov>
 Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:
 Development Review Board
 If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:
 Contact Name
 Michael Vos
 Telephone Number
 5057649801
 Email Address
vos@consensusplanning.com
 Company Name
 Consensus Planning, Inc.
 Company Address
 302 8th Street NW
 City
 Albuquerque
 State
 NM
 ZIP
 87102
 Legal description of the subject site for this project:
 Tracts A-2-A-1 and A-2-A-2, Park Square and Tracts A-2 and 2A, Block F, Beverly-Wood Addition
 Physical address of subject site:
 6500 Americas Parkway NE
 Subject site cross streets:
 Americas Parkway and Indian School Road
 Other subject site identifiers:
 Southwest corner of the referenced intersection
 This site is located on the following zone atlas page:
 J-18



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-18-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet



Indian School

Parking being added by amendment

Project Site

Americas Parkway

Louisiana

Interstate 40

Buca di Beppo Italian

Marriott Albuquerque

Easement Notes

- EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
- EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126) & (6/29/1984, C24-89)
- EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- INTENTIONALLY OMITTED
- EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (8/7/1998, BK. 98-13, PG. 8016)
- INTENTIONALLY OMITTED
- INTENTIONALLY OMITTED
- EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DOC. NO. 2007144250)
- EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, PRIVATE CROSS LOT UTILITY EASEMENT AND RECIPROCAL PRIVATE CROSS PARKING EASEMENT BENEFITING AND MAINTAINED BY TRACT A-2-B AND TRACTS A-2-A & A-2-B (7/2/2001, 2001C-186) (4/19/2011, 2011C-35)
- PRIVATE CROSS LOT DRAINAGE EASEMENT ACROSS TRACTS A-2-A-2 AND A-2-A-1 BENEFITING AND MAINTAINED BY TRACT A-2-B (8/13/1998, 98C-241)
- PRIVATE PARKING, VEHICULAR ACCESS, AND PEDESTRIAN EASEMENT BENEFITING AND MAINTAINED BY TRACTS 1-B-1, A-2-A-1 AND A-2-A-2, PARK SQUARE (7/15/1998, BK. 9812, PG. 6785)(7/31/2002, BK. A39, PG. 6377) (1/14/2005, BK. A90, PG. 7567)(5/19/2007, BK. A136, PG. 8823)
- PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- PRIVATE CROSS LOT DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1 AND A-2-A-2, PARK SQUARE (4/19/2011, 11C-35)
- EXISTING 33' COA WATER & SEWER EASEMENT (6/29/1984, C24-89)
- 10' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAT

DEVELOPMENT DATA

NET SITE AREA:

TRACT A-2-A-2-A	2.4244 ACRES (105,609 S.F.)
TRACT A-2	0.9123 ACRES (39,741 S.F.)
TRACT A-2-A-1-A	1.6520 ACRES (71,959 S.F.)

SETBACKS REQUIRED:

FRONT(E)	0	SIDE(N)	0	SIDE(S)	0	REAR(W)	15'
PROVIDED	10'	3'	2'	7'			

ZONING AND LAND USE:

CURRENT:	MX-H (UC-MS-PT)	BUILDING NET AREA	252,480 S.F.
LAND USE:	RESTAURANT / HOTEL	F.A.R. PROVIDED	252,480 / 105,609 = 2.39
	MULTI-FAMILY RESIDENTIAL		

FLOOR AREA RATIO:

BUILDING HEIGHT:

ALLOWED:	99 FEET
PROPOSED:	97 FEET

DENSITY:

PROPOSED:	100.2 DU/ACRE
-----------	---------------

BUILDING AREAS:

LEVEL	S-2 GARAGE	R-2 RES.	A-3 ASSEMBLY REC.	FITNESS	POOL	HOUSE	TOTAL	B LEASING	TOTAL
P1	73,471	1,874					75,345	2,134	77,479
P2	71,920	1,414					73,334		73,334
L1		45,307	1,864	1,344		652	49,167		49,167
L2		45,186	855	662			46,703		46,703
L3		50,416					50,416		50,416
L4		50,416					50,416		50,416
L5		50,416					50,416		50,416
TOTAL	145,391	244,969	2,719	2,006		652	5,377	2,134	397,871

LEGEND

- DENOTES PROPERTY LINE
- NO. OF PARKING SPACES
- NO. OF COMPACT PARKING SPACES
- DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- MS MONUMENT SIGNAGE
- DS DIRECTIONAL SIGNAGE - GROUND MOUNTED
- AW ACCESSIBLE WALKWAY SIGNAGE - BUILDING OR GROUND MOUNTED
- BM BUILDING MOUNTED SIGNAGE - SEE A3.4 & A3.4 FOR LOCATIONS

USABLE OPEN SPACE:

REQUIRED:	
STUDIO 200 SF x 60	= 12,000 S.F.
1 BR 200 SF x 107	= 21,400 S.F.
2 BR 250 SF x 76	= 19,000 S.F.
TOTAL REQUIRED	= 52,400 S.F.
50% REDUCTION FOR PROPERTY BEING UC/MS/PT	= 26,200 S.F.
TOTAL REQUIRED	= 26,200 S.F.

PROVIDED:

LEVEL L1 COURTYARDS	22,057 S.F.
PRIVATE BALCONIES	14,487 S.F.
AT GRADE ON SITE	10,418 S.F.
TOTAL PROVIDED	46,962 S.F.

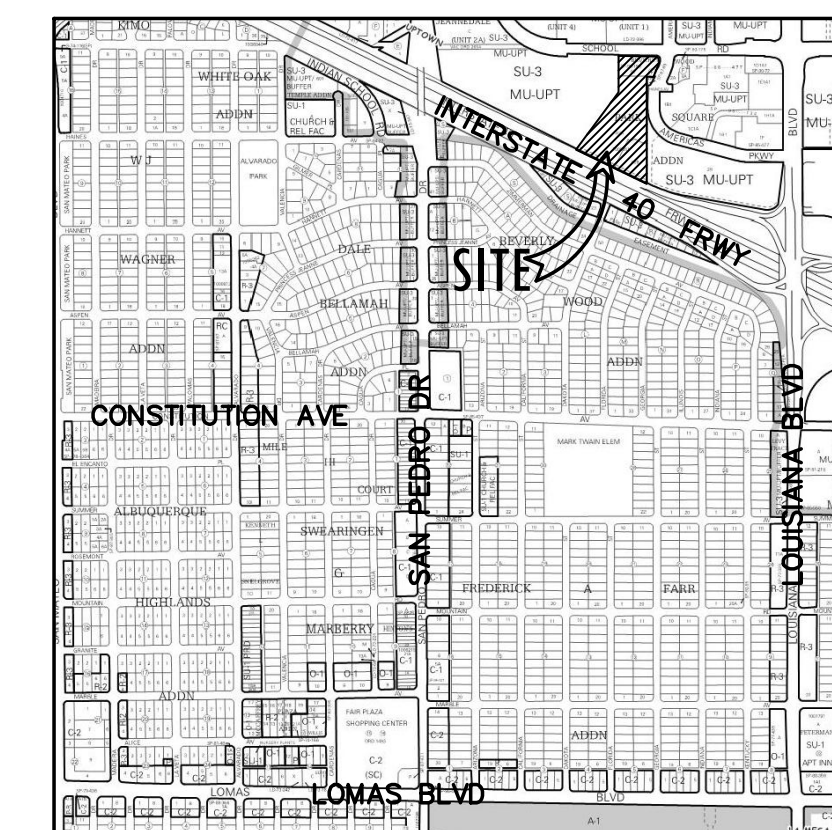
THE FIRST RESIDENTIAL LEVEL (PODIUM LEVEL L1) HAS TWO OPEN COURTYARDS, CONNECTED BY A COVERED BREEZEWAY. THE SOUTH COURTYARD IS THE POOL AREA WITH AMENITIES LIKE CABANAS, RAMADA, SEATING AREA. THE FITNESS CENTER, RECREATIONAL SPACE AND POOL HOUSE ARE PART OF THE BUILDING ORIENTED TOWARDS THE POOL COURTYARD. THE NORTH COURTYARD IS ANOTHER OPEN SPACE WITH RAMADAS, BARBECUES, GAME LAWN, AND SEATING AREAS.

UNIT MIX:

UNIT	LIVABLE	BALCONY	L1	L2	L3	L4	L5	TOTAL
S1	589 SF	44 SF	10	11	13	13	51	
S1m1	618 SF	44 SF	1	1	2	2	8	
S2H	754 SF	63 SF						1
A1	878 SF	46 SF	3					3
A2	634 SF	52 SF	12	12	12	12	60	
A2m1	733 SF	67 SF	1	1	1	1	5	
A3	754 SF	63 SF	7	6	6	6	31	
A3H	754 SF	63 SF						3
A3m1	733 SF	63 SF	1	1	1	1	5	
B1	928 SF	51 SF	5	8	10	10	43	
B2	1,022 SF	106 SF	6	5	6	6	29	
B2H	1,022 SF	106 SF						1
B3	1,226 SF	135 SF						3
TOTAL			45	45	51	51	243	

PARKING SPACE REQUIREMENTS	PARKING RATIO	PARKING REQUIRED
HOTEL (149 ROOMS)	2 PS / 3 ROOMS ⁽¹⁾	99
MULTI-FAMILY (243 DWELLING UNITS)	1 PS / DU ⁽¹⁾	243
SUBTOTAL FOR REDUCTION		342
TRANSIT REDUCTION ⁽²⁾		34
SUBTOTAL AFTER TRANSIT REDUCTION		308
RESTAURANT (270 SEATS)	1 PS / 3 SEATS ⁽³⁾	90
OPS OFFICE (PER PARKING AGREEMENT)	N/A	191
TOTAL PARKING SPACES REQUIRED		589
OPEN PARKING SPACES PROVIDED		255
GARAGE P1 LEVEL PARKING SPACES PROVIDED		220
GARAGE P2 LEVEL PARKING SPACES PROVIDED		210
TOTAL PARKING SPACES PROVIDED		695
COMPACT PARKING SPACES ALLOWED		200
OPEN COMPACT PARKING SPACES PROVIDED		255
GARAGE P1 LEVEL COMPACT PARKING SPACES PROVIDED		63
GARAGE P2 LEVEL COMPACT PARKING SPACES PROVIDED		65
TOTAL COMPACT PARKING SPACES PROVIDED		128
ACCESSIBLE PARKING SPACES REQUIRED		13
OPEN ACCESSIBLE PARKING SPACES PROVIDED		5
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		8
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		4
TOTAL ACCESSIBLE PARKING SPACES PROVIDED		17
ELECTRIC VEHICLE CHARGING SPACES REQUIRED		11
GARAGE P1 LEVEL REGULAR PARKING SPACES PROVIDED		9
GARAGE P2 LEVEL REGULAR PARKING SPACES PROVIDED		3
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		1
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		1
TOTAL ELECTRIC VEHICLE CHARGING SPACES PROVIDED		14
MOTORCYCLE PARKING SPACES REQUIRED		4
HOTEL AND RESTAURANT		4
TOTAL MOTORCYCLE PARKING SPACES PROVIDED		4
BICYCLE PARKING SPACES REQUIRED		40
10% OF REQUIRED VEHICULAR PARKING REQUIRED (400 PARKING SPACES EXCLUDING OFFICE)		8
OPEN ON SITE RACKS PARKING SPACES PROVIDED		32
IN BIKE ROOM PARKING SPACES PROVIDED		40
TOTAL ACCESSIBLE PARKING SPACES PROVIDED		40

- NOTES:
- SITE IS LOCATED IN THE UPTOWN URBAN CENTER.
 - TRANSIT ROUTE 157 IS ALONG AMERICAS PARKWAY AND TRANSIT ROUTES 34, 6, AND 766 ARE ALONG INDIAN SCHOOL ROAD. BUS STOPS ARE LOCATED TO THE EAST ALONG AMERICAS PARKWAY IN FRONT OF THE MARRIOTT AND PARK SQUARE. THE SITE IS LOCATED WITHIN 1,320 FEET OF THE UPTOWN TRANSIT CENTER. SO PARKING MAY BE REDUCED UP TO 30% PER IDO SECTION 14-16-5-5(C)(5)(I). THE DEVELOPER HAS VOLUNTARILY CHOSEN TO TAKE AN APPROXIMATE 30% REDUCTION.
 - PER ORIGINAL APPROVAL.



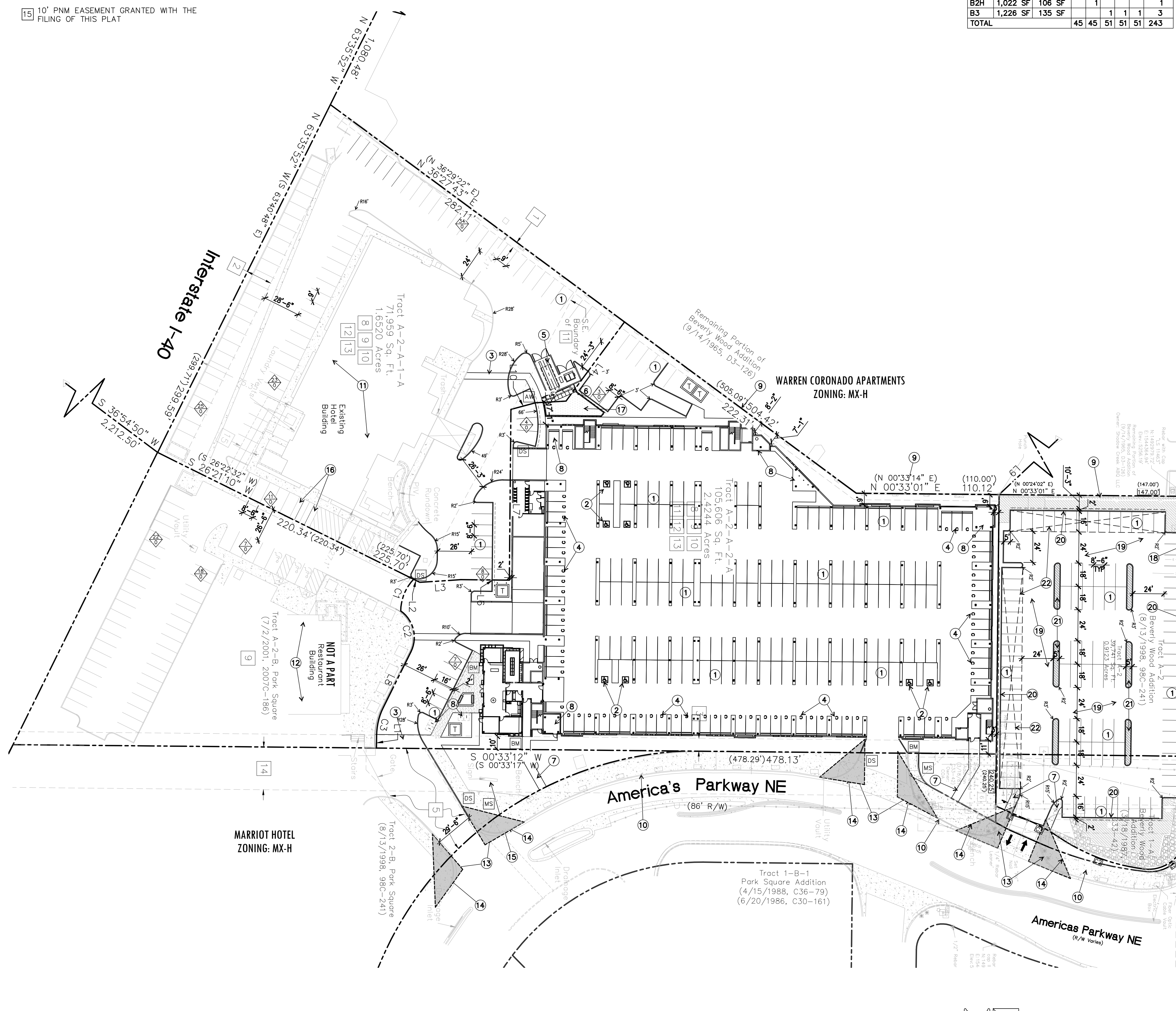
VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- THE MATERIALS USED FOR CROSSWALKS WILL COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- SITE WILL COMPLY WITH THE LIGHTING STANDARDS IN THE MX-H ZONE AND IDO SECTION 14-16-5-7.
- REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING MONUMENT/DIRECTIONAL/BRANDING SIGNAGE WILL BE A DELEGATED DESIGN. LOCATIONS ARE PROVIDED ON THIS PLAN FOR COORDINATION PURPOSES.

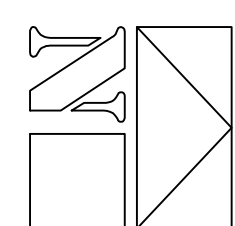
KEYNOTES

- 8'-6"x18" PARKING SPACE, TYPICAL. SEE DETAIL 01/A1.20
- 11'x18" ACCESSIBLE PARKING SPACE, SEE DETAIL 05/A1.20
- ACCESSIBLE DRIVEWAY CROSSING MARKING TO COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- 8'x15' COMPACT PARKING SPACE.
- TRASH YARD ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 10/A1.20. TRASH YARD TO BE SHARED WITH HOTEL TO THE SOUTH.
- 10'x30' LOADING PARKING SPACE.
- 6' SIDEWALK CONNECTING TO PUBLIC WAYS.
- BICYCLE PARKING LOCATION, SEE DETAIL 04/08/A1.20.
- EXISTING PERIMETER WALL.
- EXISTING STREET CURB WITH 13'-6" MIN. SIDEWALK AT AMERICA'S PARKWAY.
- EXISTING HOTEL BUILDING.
- EXISTING RESTAURANT BUILDING (NOT A PART).
- EXISTING DRIVEWAY ENTRY.
- SIGHT VISIBILITY, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING HOTEL SIGN TO REMAIN.
- MOTORCYCLE PARKING.
- DOG PARK, REFER TO HARDSCAPE PLANS. SHEET SERIES 000-400.
- REMOVE EXISTING DRIVEWAY AND REPLACE WITH SIDEWALK/CURB PER COA STD DETAIL 2415-A.
- ASPHALT PAVEMENT IN PARKING LOT.
- ASPHALT CURB.
- STRIPED ISLANDS.
- PARKING CARPORT COVER.



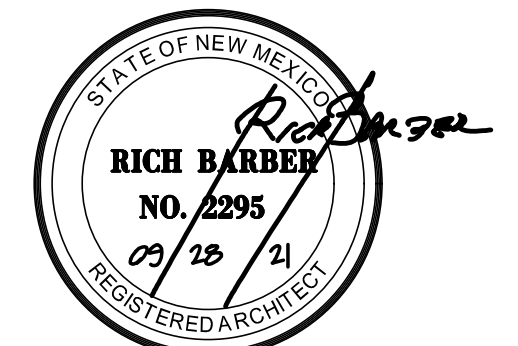
SITE PLAN

SCALE: 1" = 40'-0"



MARKANA UPTOWN
6500 Americas Parkway NE
Albuquerque, NM 87110

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



LEGACY HOSPITALITY

PROJECT NUMBER:
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the architect. The drawings and specifications are made in executed or not. These drawings and specifications shall not be used by anyone on any other project, for addition to this project, or for completion of this project by others except by the expressed written permission of the Architect.

REVISIONS

RE-PLAT

DATE: SEPTEMBER 28, 2021 ORB # 16-221

A1.10

SITE PLAN

MARKANA UPTOWN

6500 Americas Parkway NE
Albuquerque, NM 87110



WorldHQ@ORBArch.com



LEGACY HOSPITALITY



EAST ELEVATION

10' | 8' | 16' | 32'
SCALE: 1/16" = 1'-0"



WEST ELEVATION

10' | 8' | 16' | 32'
SCALE: 1/16" = 1'-0"

MATERIAL KEY NOTES:

- (A) STUCCO FINISH DUNN EDWARDS, DE6365 "COLD MORNING" LRV 73
- (B) STUCCO FINISH DUNN EDWARDS, DE6367 "COVERED IN PLATINUM" LRV 46
- (C) STUCCO FINISH DUNN EDWARDS, DE6369 "LEGENDARY GRAY" LRV 18
- (D) STUCCO FINISH DUNN EDWARDS, DE6378 "JET" LRV 9
- (E) STUCCO FINISH DUNN EDWARDS, DE6371 "BLACK JACK" LRV 8
- (F) BALCONY METAL RAILING, CANOPIES PAINTED DUNN EDWARDS DE6378 "JET" LRV 9
- (G) BRICK VENEER MCNEAR THIN BRICK COLOR "TANGIERS"

DRB SUBMITTAL

DATE: JANUARY 22, 2020 ORB # 16-221

A3.14

BUILDING
EXTERIOR ELEVATIONS



100-foot Buffer Map 2021 Amendment

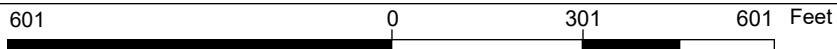


Legend

- Bernalillo County Parcels
- Primary Streets**
 - Freeway
 - Principal Arterial
 - Minor Arterial
 - Local Streets
- BN and SF Railroad
- Other Streets
- Municipal Limits**
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map

Notes

Prepared by Consensus Planning
11/19/21



WGS_1984_Web_Mercator_Auxiliary_Sphere
11/19/2021 © City of Albuquerque

1: 3,607

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

UPC	Owner	Owner Address	Owner Address 2	SITUS Address	SITUSADD2	Legal Description	Acres
101805845050911608	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	PO BOX 1293	ALBUQUERQUE NM 87103-1293	AMERICAS PARKWAY	ALBUQUERQUE NM 87110	TR 3-A BLK F PLAT OF TRS 2-A 2-B & 3-A BLK F BEVERLY WOOD ADDN CONT 0.1338 AC M/L C	0.1339
101805941503340404	BOARD OF EDUCATION	PO BOX 25704	ALBUQUERQUE NM 87125-0704	6401 INDIAN SCHOOL RD NE	ALBUQUERQUE NM 87110	TRACT G ALSO KNOWN AS TRACT Z UNIT 4 DALE J BELLAMAH'S JEANNEDALE ADDITION	5.684
101805843839510947	CITY OF ALBUQUERQUE	PO BOX 1293	ALBUQUERQUE NM 87103-2248	INTERSTATE 40	ALBUQUERQUE NM 87110	* 001 R BEVERLY WOOD ADDN LOTS 1 THRU 15	1.4
101805847343211519	COLUMBIA PROPERTIES ALBUQUERQUE LLC	740 CENTRE VIEW BLVD	COVINGTON KY 41017-5434	2101 LOUISIANA NE	ALBUQUERQUE NM 87110	TR 2B PLAT OF TR 2A & 2B PARK SQUAREADDN CONT 7.410 AC	7.41
101805937802540403	HICAP LANDMARK LLC.ATTN: JOSEPH BAUM & BEN SANDEL	3777 INDEPENDENCE AVE APT 3F	BRONX NY 10463-1412	6303 INDIAN SCHOOL RD NE	ALBUQUERQUE NM 87110	TR F DALE J BELLAMAHS JEANNEDALE ADD UNIT #4 REPL POR SE SEC 12 T10N R3E &	3.256
101805841750611525	KLG 18 LLC	5051 JOURNAL CENTER BLVD NE SUITE #500	ALBUQUERQUE NM 87109-5915	AMERICAS PARKWAY	ALBUQUERQUE NM 87110	TR 2A REDIVISION OF TRS A-1-A & A-2-A BLK F TOGETHER WITH APORT OF GEORGIA AVE (N	0.05
101805841851711523	KLG 29 LLC	5051 JOURNAL CENTER BLVD NE SUITE 500	ALBUQUERQUE NM 87109-5915	6400 INDIAN SCHOOL RD NE	ALBUQUERQUE NM 87110	TRACT A-2 PLAT OF TRACT A-2 BEVERLY-WOOD ADDITIONCONT .912 AC	0.912
101805841048511521	LEGACY MUP LLC	5051 JOURNAL CENTER BLVD NE SUITE 500	ALBUQUERQUE NM 87109-5915	6500 AMERICAS PKWY NE	ALBUQUERQUE NM 87110	TR A-2-A-2-A PLAT FOR TRACTS A-2-A-1-A & A-2-A-2-A, PARKSQUARE (BEING COMPRISED OF	2.4244
101805841545011520	LEVINE INVESTMENTS LIMITED PARTNERSHIP C/O RYAN LLC BANK OF AMERICA CENTER	15 W 6TH ST SUITE 2400	TULSA OK 74119-5417	6520 AMERICAS PKWY NE	ALBUQUERQUE NM 87110	TRACT A-2-B PLAT FOR PARK SQUARE TRACTS A-2-A & A-2-BCONT 1.0616 AC	1.0616
101805844551511609	NEW MEXICO EDUCATORS FEDERAL CREDIT UNION	PO BOX 8530	ALBUQUERQUE NM 87198-8530	6520 INDIAN SCHOOL RD NE	ALBUQUERQUE NM 87110	TR 2-A BLK F PLAT OF TRS 2-A 2-B & 3-A BLK F BEVERLY WOOD ADDN CONT 0.3958 AC M/L C	0.3959
101805839546511518	NEW OMNI HOSPITALITY LLC C/O LEGACY HOSPITALITY LLC	5051 JOURNAL CENTER BLVD NE SUITE 500	ALBUQUERQUE NM 87109-5915	6500 AMERICAS PKWY NE	ALBUQUERQUE NM 87110	TR A-2-A-1-A PLAT FOR TRACTS A-2-A-1-A & A-2-A-2-A, PARKSQUARE (BEING COMPRISED OF	1.652
101805845149911620	OPS OFFICE INVESTMENT LLC	201 THIRD ST NW SUITE 1150	ALBUQUERQUE NM 87102-4493	6588 INDIAN SCHOOL RD NE	ALBUQUERQUE NM 87110	TR 1-B-1 REPL OF TRS 1-A-1, 1-B-1, 1-C-1, 1-D-1A, 1-E-1A, 1-F, 1-G & 1-H-1 PARK SQUARE AD	1.9459
10180584250011515	SHADOW CREEK ABQ,LLC	7278 GLENVIEW DR	N RICHLAND HILLS TX 76180-8610	6230 INDIAN SCHOOL RD NE	ALBUQUERQUE NM 87110	TRACT IN N1/2 NW1/4 NE1/4 SEC 13 T10N R3E WITHIN BEVERLY WOOD ADDN CONT 13	13.582
101805847048511619	TWO PARK SQUARE LLC	201 THIRD ST NW SUITE 1150	ALBUQUERQUE NM 87102-4493	6565 AMERICAS PKWY NE	ALBUQUERQUE NM 87110	TRACT 1-C-1A PARK SQUARE ADDN PLAT OF TRS 1-C-1A, 1-E-1A-1, 1-G-1 & 1-H-1A PARK SQU	1.8514

ALBUQUERQUE BERNALILLO COUNTY
WATER UTILITY AUTHORITY
PO BOX 1293
ALBUQUERQUE NM 87103-1293

BOARD OF EDUCATION
PO BOX 25704
ALBUQUERQUE NM 87125-0704

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103-2248

COLUMBIA PROPERTIES ALBUQUERQUE LLC
740 CENTRE VIEW BLVD
COVINGTON KY 41017-5434

HICAP LANDMARK LLC ATTN: JOSEPH
BAUM & BEN SANDEL
3777 INDEPENDENCE AVE APT 3F
BRONX NY 10463-1412

John and Virginia Kinney
7110 Constitution Avenue NE
Albuquerque, NM 87110

KLG 18 LLC
5051 JOURNAL CENTER BLVD NE SUITE
#500
ALBUQUERQUE NM 87109-5915

KLG 29 LLC
5051 JOURNAL CENTER BLVD NE SUITE
500
ALBUQUERQUE NM 87109-5915

LEGACY MUP LLC
5051 JOURNAL CENTER BLVD NE SUITE
500
ALBUQUERQUE NM 87109-5915

LEVINE INVESTMENTS LIMITED
PARTNERSHIP C/O RYAN LLC BANK OF
AMERICA CENTER
15 W 6TH ST SUITE 2400
TULSA OK 74119-5417

NEW MEXICO EDUCATORS FEDERAL
CREDIT UNION
PO BOX 8530
ALBUQUERQUE NM 87198-8530

NEW OMNI HOSPITALITY LLC C/O LEGACY
HOSPITALITY LLC
5051 JOURNAL CENTER BLVD NE SUITE 500
ALBUQUERQUE NM 87109-5915

OPS OFFICE INVESTMENT LLC
201 THIRD ST NW SUITE 1150
ALBUQUERQUE NM 87102-4493

SHADOW CREEK ABQ LLC
7278 GLENVIEW DR
N RICHLAND HILLS TX 76180-8610

TWO PARK SQUARE LLC
201 THIRD ST NW SUITE 1150
ALBUQUERQUE NM 87102-4493

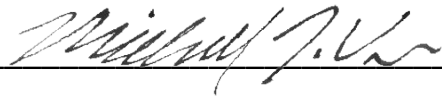


**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS		
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type: Major Amendment to Site Plan - DRB		
Decision-making Body: Development Review Board (DRB)		
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Note: if yes, see second page
PART II – DETAILS OF REQUEST		
Address of property listed in application: 6500 Americas Parkway and 6400 Indian School Road		
Name of property owner: Legacy MUP LLC; KLG 18 LLC; KLG 29 LLC		
Name of applicant: Legacy Development & Management, LLC (Agent: Consensus Planning, Inc.)		
Date, time, and place of public meeting or hearing, if applicable:		
Wednesday, December 15, 2021 at 9:00 AM via Zoom. See next page for Zoom information.		
Address, phone number, or website for additional information:		
Please contact Jackie Fishman with Consensus Planning at fishman@consensusplanning.com or call (505) 764-9801 for more information.		
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request. Dropbox link to drawing set on next page.		
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable. N/A. Meeting was not requested.		
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) 11/19/21 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

December 15, 2021 Zoom Information:

Join Zoom Meeting: <https://cabq.zoom.us/j/81197751847>

Meeting ID: 811 9775 1847

Dial by your location: +1 669 900 6833 US

Find your local number: <https://cabq.zoom.us/u/kdP6wtGHlj>

Download current and proposed site plan sets here: <https://www.dropbox.com/t/SxtSyg3Ei1ohYTmq>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: _____

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6500 Americas Parkway and 6400 Indian School Road
Location Description Southwest corner of Indian School and Americas Parkway
2. Property Owner* Legacy MUP LLC; KLG 18 LLC; and KLG 29 LLC
3. Agent/Applicant* *[if applicable]* Consensus Planning, Inc. / Legacy Development & Management
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

Major Amendment to add additional property to Site Plan - DRB to develop a parking

lot associated with the previously approved 243-unit multi-family residential development.

Download the current and proposed site plan drawings here: <https://www.dropbox.com/t/SxtSyg3Ei1ohYTmq>

5. This application will be decided at a public meeting or hearing by*:

- | | |
|--|--|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input checked="" type="checkbox"/> Development Review Board (DRB) |
| <input type="checkbox"/> Landmarks Commission (LC) | <input type="checkbox"/> Environmental Planning Commission (EPC) |

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 15, 2021 at 9:00 AM via Zoom

Location*²: Join Zoom Meeting: <https://cabq.zoom.us/j/81197751847> Meeting ID: 811 9775 1847

By Phone: +1 669 900 6833 or Find your local number: <https://cabq.zoom.us/u/kdP6wtGHIj>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

Please contact Jackie Fishman with Consensus Planning at fishman@consensusplanning.com or call (505) 764-9801 for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ J-18-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation*:

No new deviations, variances, or waivers are requested. A previously approved variance to the rear setback of the multi-family residential building remains in effect for the development.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A pre-submittal neighborhood meeting was not requested.

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ✓ d. **For residential development***: Maximum number of proposed dwelling units.
- ✓ e. **For non-residential development***:
 - ✓ Total gross floor area of proposed project.
 - ✓ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] Approximately 5 total acres
 2. IDO Zone District MX-H
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] Hotel and parking lot
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>


⁵ Available here: <https://tinurl.com/idozoningmap>



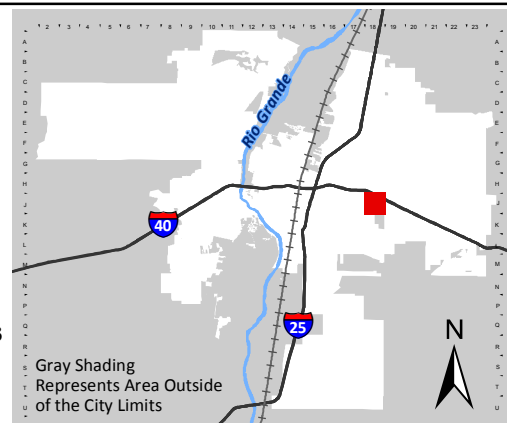
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
J-18-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet



Indian School

Parking being added by amendment

Project Site

Americas Parkway

Louisiana

Buca di Beppo Italian

Marriott Albuquerque

Interstate 40

Easement Notes

- EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
- EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126) & (6/29/1984, C24-89)
- EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- INTENTIONALLY OMITTED
- EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (8/7/1998, BK. 98-13, PG. 8016)
- INTENTIONALLY OMITTED
- INTENTIONALLY OMITTED
- EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DOC. NO. 2007144250)
- EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, PRIVATE CROSS LOT UTILITY EASEMENT AND RECIPROCAL PRIVATE CROSS PARKING EASEMENT BENEFITING AND MAINTAINED BY TRACT A-2-B AND TRACTS A-2-A & A-2-B (7/2/2001, 2001C-186) (4/19/2011, 2011C-35)
- PRIVATE CROSS LOT DRAINAGE EASEMENT ACROSS TRACTS A-2-A-2 AND A-2-A-1 BENEFITING AND MAINTAINED BY TRACT A-2-B (8/13/1998, 98C-241)
- PRIVATE PARKING, VEHICULAR ACCESS, AND PEDESTRIAN EASEMENT BENEFITING AND MAINTAINED BY TRACTS 1-B-1, A-2-A-1 AND A-2-A-2, PARK SQUARE (7/15/1998, BK. 9812, PG. 6785)(7/31/2002, BK. A39, PG. 6377) (1/14/2005, BK. A90, PG. 7567)(5/19/2007, BK. A136, PG. 8823)
- PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- PRIVATE CROSS LOT DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1 AND A-2-A-2, PARK SQUARE (4/19/2011, 11C-35)
- EXISTING 33' COA WATER & SEWER EASEMENT (6/29/1984, C24-89)
- 10' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAT

DEVELOPMENT DATA

NET SITE AREA:

TRACT A-2-A-2-A	2.4244 ACRES (105,609 S.F.)
TRACT A-2	0.9123 ACRES (39,741 S.F.)
TRACT A-2-A-1-A	1.6520 ACRES (71,959 S.F.)

SETBACKS REQUIRED:

FRONT(E)	0	SIDE(N)	0	SIDE(S)	0	REAR(W)	15'
PROVIDED	10'	3'	2'	7'			

ZONING AND LAND USE:

CURRENT:	MX-H (UC-MS-PT)	BUILDING NET AREA	252,480 S.F.
LAND USE:	RESTAURANT / HOTEL	F.A.R. PROVIDED	252,480 / 105,609 = 2.39
	MULTI-FAMILY RESIDENTIAL		

FLOOR AREA RATIO:

BUILDING HEIGHT:

ALLOWED:	99 FEET
PROPOSED:	97 FEET

DENSITY:

PROPOSED:	100.2 DU/ACRE
-----------	---------------

BUILDING AREAS:

LEVEL	S-2 GARAGE	R-2 RES.	A-3 ASSEMBLY REC.	FITNESS	POOL	HOUSE	TOTAL	B LEASING	TOTAL
P1	73,471	1,874					75,345	2,134	77,479
P2	71,920	1,414					73,334		73,334
L1		45,307	1,864	1,344		652	3,860		46,703
L2		45,186	855	662			1,517		46,703
L3		50,416					50,416		50,416
L4		50,416					50,416		50,416
L5		50,416					50,416		50,416
TOTAL	145,391	244,969	2,719	2,006		652	5,377	2,134	397,871

LEGEND

- DENOTES PROPERTY LINE
- NO. OF PARKING SPACES
- NO. OF COMPACT PARKING SPACES
- DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- MS MONUMENT SIGNAGE
- DS DIRECTIONAL SIGNAGE - GROUND MOUNTED
- AW ACCESSIBLE WALKWAY SIGNAGE - BUILDING OR GROUND MOUNTED
- BM BUILDING MOUNTED SIGNAGE - SEE A3.4 & A3.4 FOR LOCATIONS

USABLE OPEN SPACE:

REQUIRED:	STUDIO 200 SF x 60 = 12,000 S.F.
	1 BR 200 SF x 107 = 21,400 S.F.
	2 BR 250 SF x 76 = 19,000 S.F.
TOTAL REQUIRED =	52,400 S.F.
50% REDUCTION FOR PROPERTY BEING UC/MS/PT =	26,200 S.F.
TOTAL REQUIRED =	26,200 S.F.

PROVIDED:

LEVEL L1 COURTYARDS	22,057 S.F.
PRIVATE BALCONIES	14,487 S.F.
AT GRADE ON SITE	10,418 S.F.
TOTAL PROVIDED	46,962 S.F.

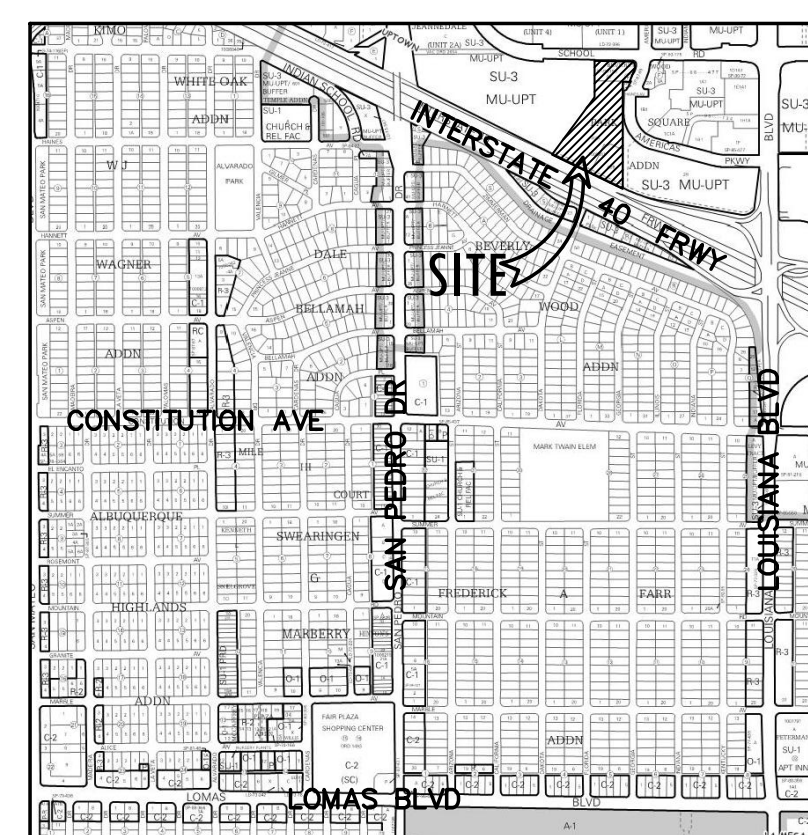
THE FIRST RESIDENTIAL LEVEL (PODIUM LEVEL L1) HAS TWO OPEN COURTYARDS, CONNECTED BY A COVERED BREEZEWAY. THE SOUTH COURTYARD IS THE POOL AREA WITH AMENITIES LIKE CABANAS, RAMADA, SEATING AREA. THE FITNESS CENTER, RECREATIONAL SPACE AND POOL HOUSE ARE PART OF THE BUILDING ORIENTED TOWARDS THE POOL COURTYARD. THE NORTH COURTYARD IS ANOTHER OPEN SPACE WITH RAMADAS, BARBECUES, GAME LAWN, AND SEATING AREAS.

UNIT MIX:

UNIT	LIVABLE	BALCONY	L1	L2	L3	L4	L5	TOTAL
S1	589 SF	44 SF	10	11	13	13	51	
S1m1	618 SF	44 SF	1	1	2	2	8	
S2H	754 SF	63 SF						1
A1	878 SF	46 SF	3					3
A2	634 SF	52 SF	12	12	12	12	60	
A2m1	733 SF	67 SF	1	1	1	1	5	
A3	754 SF	63 SF	7	6	6	6	31	
A3H	754 SF	63 SF						3
A3m1	733 SF	63 SF	1	1	1	1	5	
B1	928 SF	51 SF	5	8	10	10	43	
B2	1,022 SF	106 SF	6	5	6	6	29	
B2H	1,022 SF	106 SF						1
B3	1,226 SF	135 SF						3
TOTAL			45	45	51	51	243	

PARKING SPACE REQUIREMENTS	PARKING RATIO	PARKING REQUIRED
HOTEL (149 ROOMS)	2 PS / 3 ROOMS ⁽¹⁾	99
MULTI-FAMILY (243 DWELLING UNITS)	1 PS / DU ⁽¹⁾	243
SUBTOTAL FOR REDUCTION		342
TRANSIT REDUCTION ⁽²⁾		34
SUBTOTAL AFTER TRANSIT REDUCTION		308
RESTAURANT (270 SEATS)	1 PS / 3 SEATS ⁽³⁾	90
OPS OFFICE (PER PARKING AGREEMENT)	N/A	191
TOTAL PARKING SPACES REQUIRED		589
OPEN PARKING SPACES PROVIDED		255
GARAGE P1 LEVEL PARKING SPACES PROVIDED		220
GARAGE P2 LEVEL PARKING SPACES PROVIDED		210
TOTAL PARKING SPACES PROVIDED		695
COMPACT PARKING SPACES ALLOWED		200
OPEN COMPACT PARKING SPACES PROVIDED		255
GARAGE P1 LEVEL COMPACT PARKING SPACES PROVIDED		63
GARAGE P2 LEVEL COMPACT PARKING SPACES PROVIDED		65
TOTAL COMPACT PARKING SPACES PROVIDED		128
ACCESSIBLE PARKING SPACES REQUIRED		13
OPEN ACCESSIBLE PARKING SPACES PROVIDED		5
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		8
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		4
TOTAL ACCESSIBLE PARKING SPACES PROVIDED		17
ELECTRIC VEHICLE CHARGING SPACES REQUIRED		11
GARAGE P1 LEVEL REGULAR PARKING SPACES PROVIDED		9
GARAGE P2 LEVEL REGULAR PARKING SPACES PROVIDED		3
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		1
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		1
TOTAL ELECTRIC VEHICLE CHARGING SPACES PROVIDED		14
MOTORCYCLE PARKING SPACES REQUIRED		4
HOTEL AND RESTAURANT		4
TOTAL MOTORCYCLE PARKING SPACES PROVIDED		4
BICYCLE PARKING SPACES REQUIRED		40
10% OF REQUIRED VEHICULAR PARKING REQUIRED (400 PARKING SPACES EXCLUDING OFFICE)		8
OPEN ON SITE RACKS PARKING SPACES PROVIDED		32
IN BIKE ROOM PARKING SPACES PROVIDED		40
TOTAL ACCESSIBLE PARKING SPACES PROVIDED		40

- NOTES:
- SITE IS LOCATED IN THE UPTOWN URBAN CENTER.
 - TRANSIT ROUTE 157 IS ALONG AMERICAS PARKWAY AND TRANSIT ROUTES 34, 6, AND 766 ARE ALONG INDIAN SCHOOL ROAD. BUS STOPS ARE LOCATED TO THE EAST ALONG AMERICAS PARKWAY IN FRONT OF THE MARRIOTT AND PARK SQUARE. THE SITE IS LOCATED WITHIN 1,320 FEET OF THE UPTOWN TRANSIT CENTER. SO PARKING MAY BE REDUCED UP TO 30% PER IDO SECTION 14-16-5-5(C)(5)(I). THE DEVELOPER HAS VOLUNTARILY CHOSEN TO TAKE AN APPROXIMATE 30% REDUCTION.
 - PER ORIGINAL APPROVAL.



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

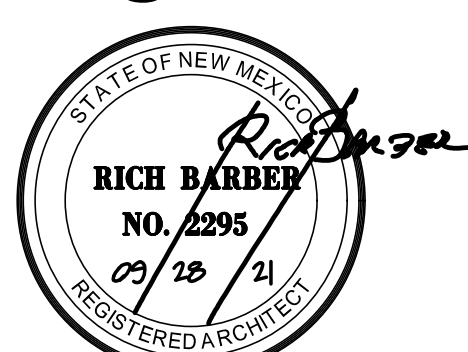
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- THE MATERIALS USED FOR CROSSWALKS WILL COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- SITE WILL COMPLY WITH THE LIGHTING STANDARDS IN THE MX-H ZONE AND IDO SECTION 14-16-5-7.
- REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING MONUMENT/DIRECTIONAL/BRANDING SIGNAGE WILL BE A DELEGATED DESIGN. LOCATIONS ARE PROVIDED ON THIS PLAN FOR COORDINATION PURPOSES.

KEYNOTES

- 8'-6"x18" PARKING SPACE, TYPICAL. SEE DETAIL 01/A1.20
- 11'x18" ACCESSIBLE PARKING SPACE, SEE DETAIL 05/A1.20
- ACCESSIBLE DRIVEWAY CROSSING MARKING TO COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- 8'x15' COMPACT PARKING SPACE.
- TRASH YARD ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 10/A1.20. TRASH YARD TO BE SHARED WITH HOTEL TO THE SOUTH.
- 10'x30' LOADING PARKING SPACE.
- 6' SIDEWALK CONNECTING TO PUBLIC WAYS.
- BICYCLE PARKING LOCATION, SEE DETAIL 04/08/A1.20.
- EXISTING PERIMETER WALL.
- EXISTING STREET CURB WITH 13'-6" MIN. SIDEWALK AT AMERICA'S PARKWAY.
- EXISTING HOTEL BUILDING.
- EXISTING RESTAURANT BUILDING (NOT A PART).
- EXISTING DRIVEWAY ENTRY.
- SIGHT VISIBILITY, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING HOTEL SIGN TO REMAIN.
- MOTORCYCLE PARKING.
- DOG PARK, REFER TO HARDSCAPE PLANS. SHEET SERIES 000-400.
- REMOVE EXISTING DRIVEWAY AND REPLACE WITH SIDEWALK/CURB PER COA STD DETAIL 2415-A.
- ASPHALT PAVEMENT IN PARKING LOT.
- ASPHALT CURB.
- STRIPED ISLANDS.
- PARKING CARPORT COVER.

MARKANA UPTOWN
6500 Americas Parkway NE
Albuquerque, NM 87110

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



LEGACY HOSPITALITY

Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the architect. The drawings and specifications are made in executed or not. These drawings and specifications shall not be used by anyone on any other project, for addition to this project, or for completion of this project by others except by the expressed written permission of the Architect.

REVISIONS

RE-PLAT

DATE: SEPTEMBER 28, 2021 ORB # 16-221

A1.10
SITE PLAN

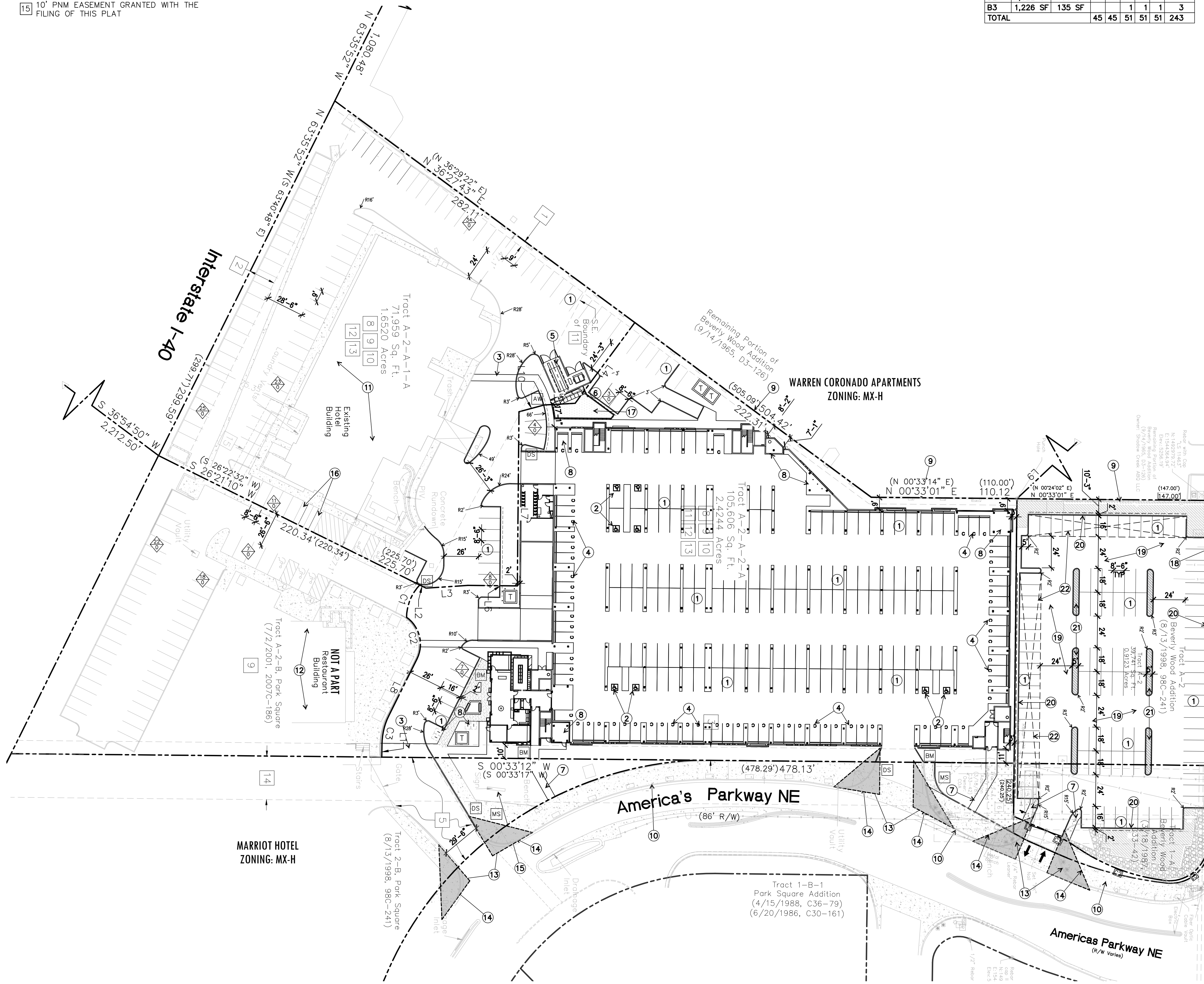
PROJECT NUMBER:
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

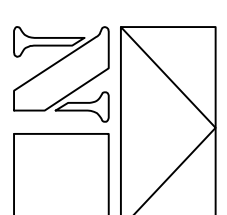
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date



SITE PLAN

SCALE: 1" = 40'-0"

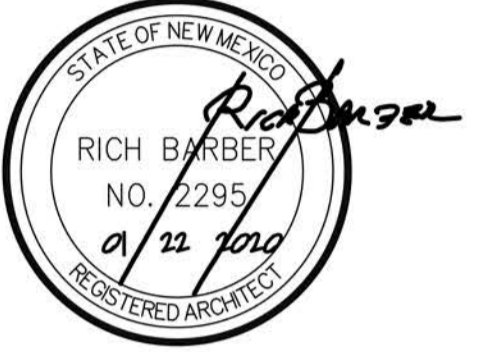


MARKANA UPTOWN

6500 Americas Parkway NE
Albuquerque, NM 87110



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LEGACY HOSPITALITY



EAST ELEVATION

10' | 8' | 16' | 32'
SCALE: 1/16" = 1'-0"



WEST ELEVATION

10' | 8' | 16' | 32'
SCALE: 1/16" = 1'-0"

MATERIAL KEY NOTES:

- (A) STUCCO FINISH DUNN EDWARDS DE6365 "COLD MORNING" LRV 73
- (B) STUCCO FINISH DUNN EDWARDS DE6367 "COVERED IN PLATINUM" LRV 46
- (C) STUCCO FINISH DUNN EDWARDS DE6369 "LEGENDARY GRAY" LRV 18
- (D) STUCCO FINISH DUNN EDWARDS DE6378 "JET" LRV 9
- (E) STUCCO FINISH DUNN EDWARDS DE6371 "BLACK JACK" LRV 8
- (F) BALCONY METAL RAILING, CANOPIES PAINTED DUNN EDWARDS DE6378 "JET" LRV 9
- (G) BRICK VENEER MCNEAR THIN BRICK COLOR "TANGIERS"

DRB SUBMITTAL

DATE: JANUARY 22, 2020 ORB # 16-221

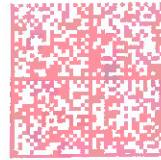
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15 W 6TH ST SUITE 2400
TULSA OK 74119-5417

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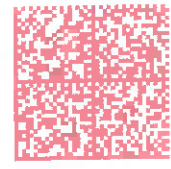


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HICAP LANDMARK LLC ATTN: JOSEPH
BAUM & BEN SANDEL
3777 INDEPENDENCE AVE APT 3F
BRONX NY 10463-1412

SITE PLAN CHECKLIST

Project #: PR-2018-001284 Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 11/19/21
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

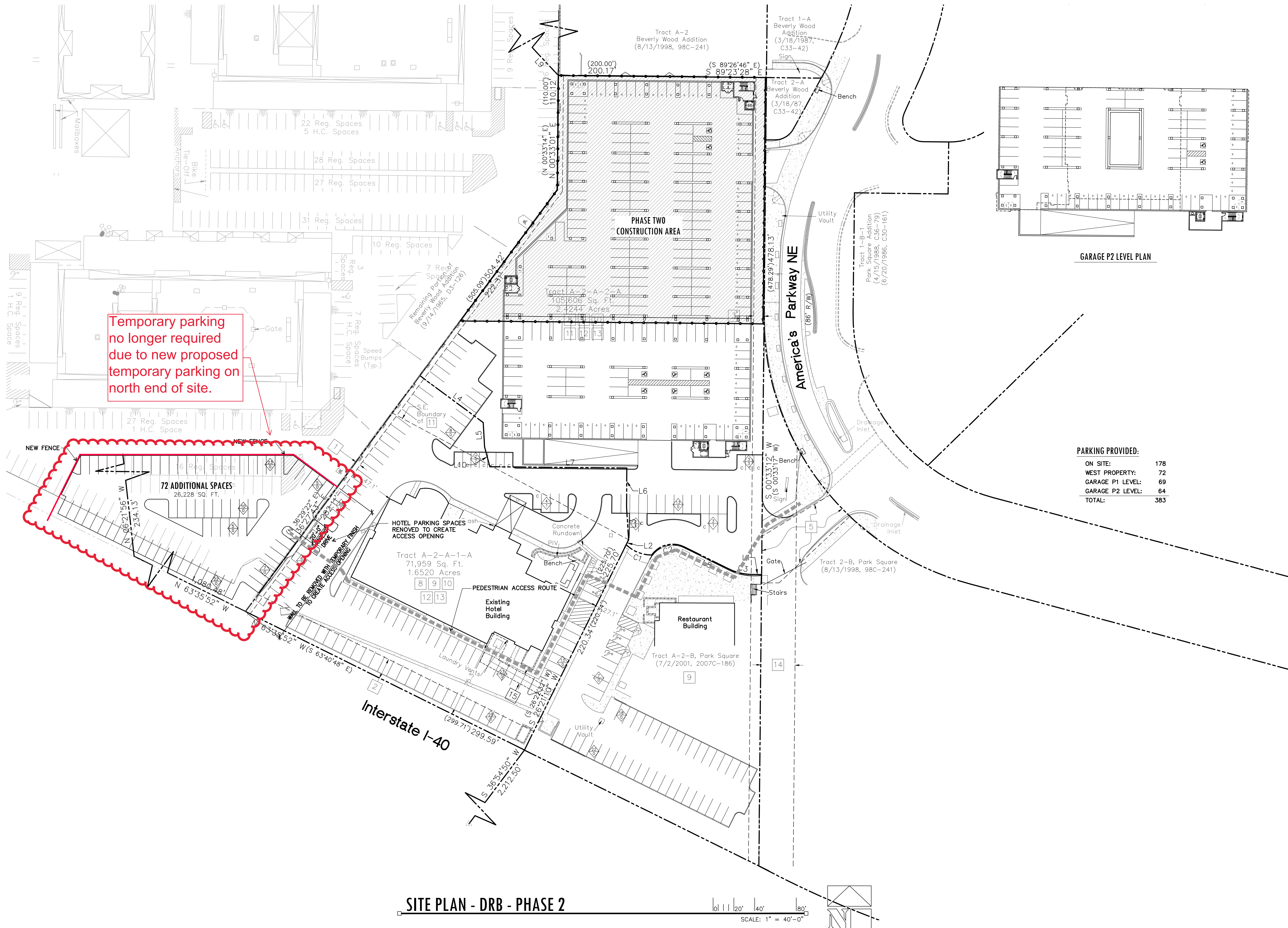
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

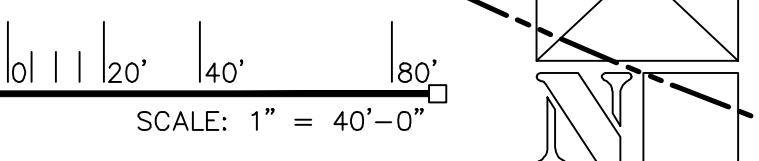


Temporary parking no longer required due to new proposed temporary parking on north end of site.

PARKING PROVIDED:

ON SITE:	178
WEST PROPERTY:	72
GARAGE P1 LEVEL:	69
GARAGE P2 LEVEL:	64
TOTAL:	383

SITE PLAN - DRB - PHASE 2

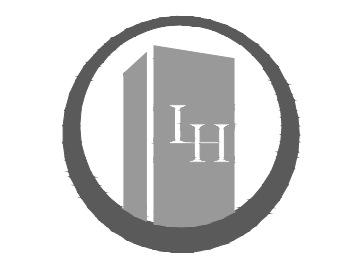


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MARKANA UPTOWN
Americas Parkway NE
Albuquerque, New Mexico



WorldHQ@ORBArch.com



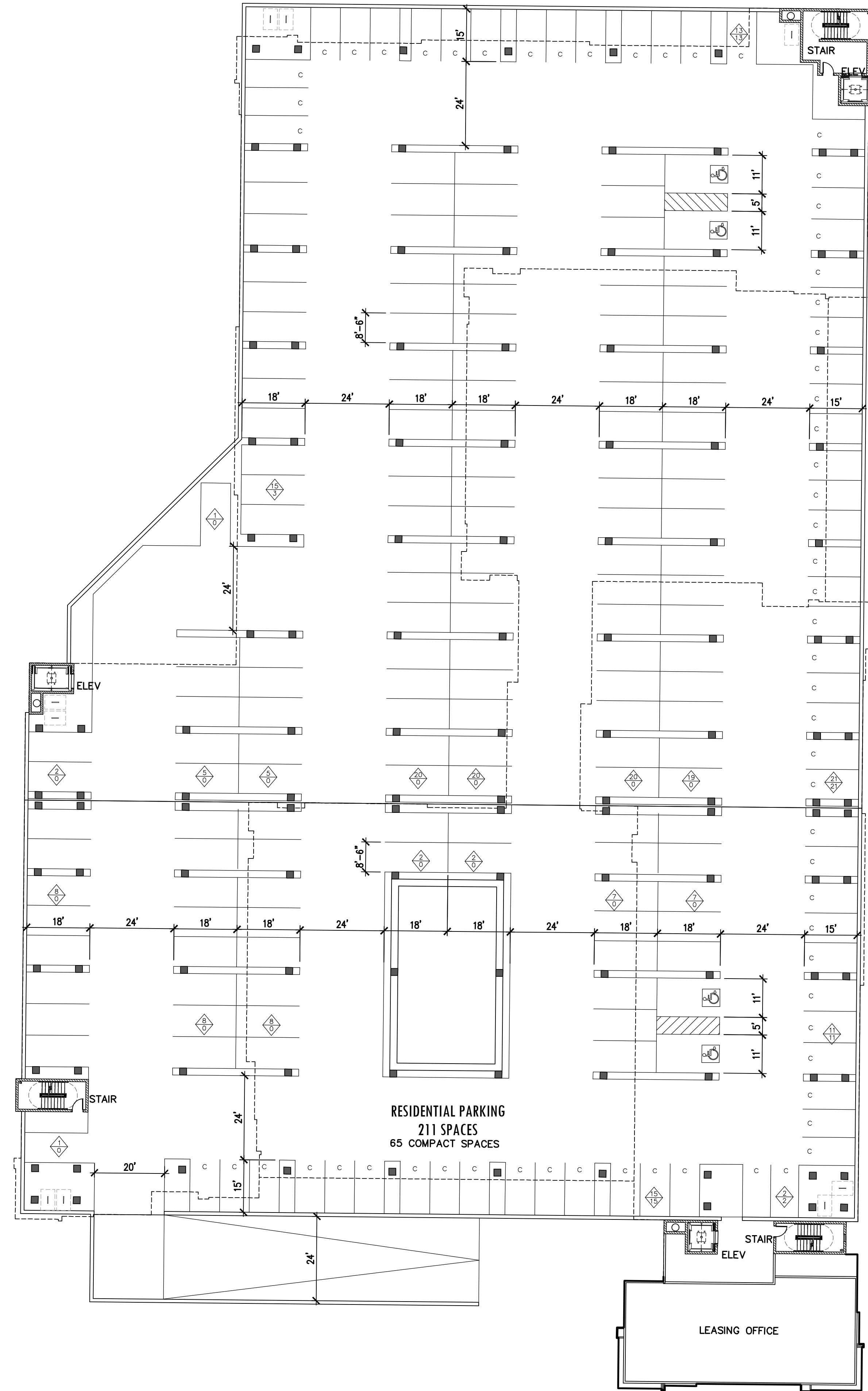
LEGACY HOSPITALITY

DATE: OCTOBER 10, 2018 ORB # 16-221

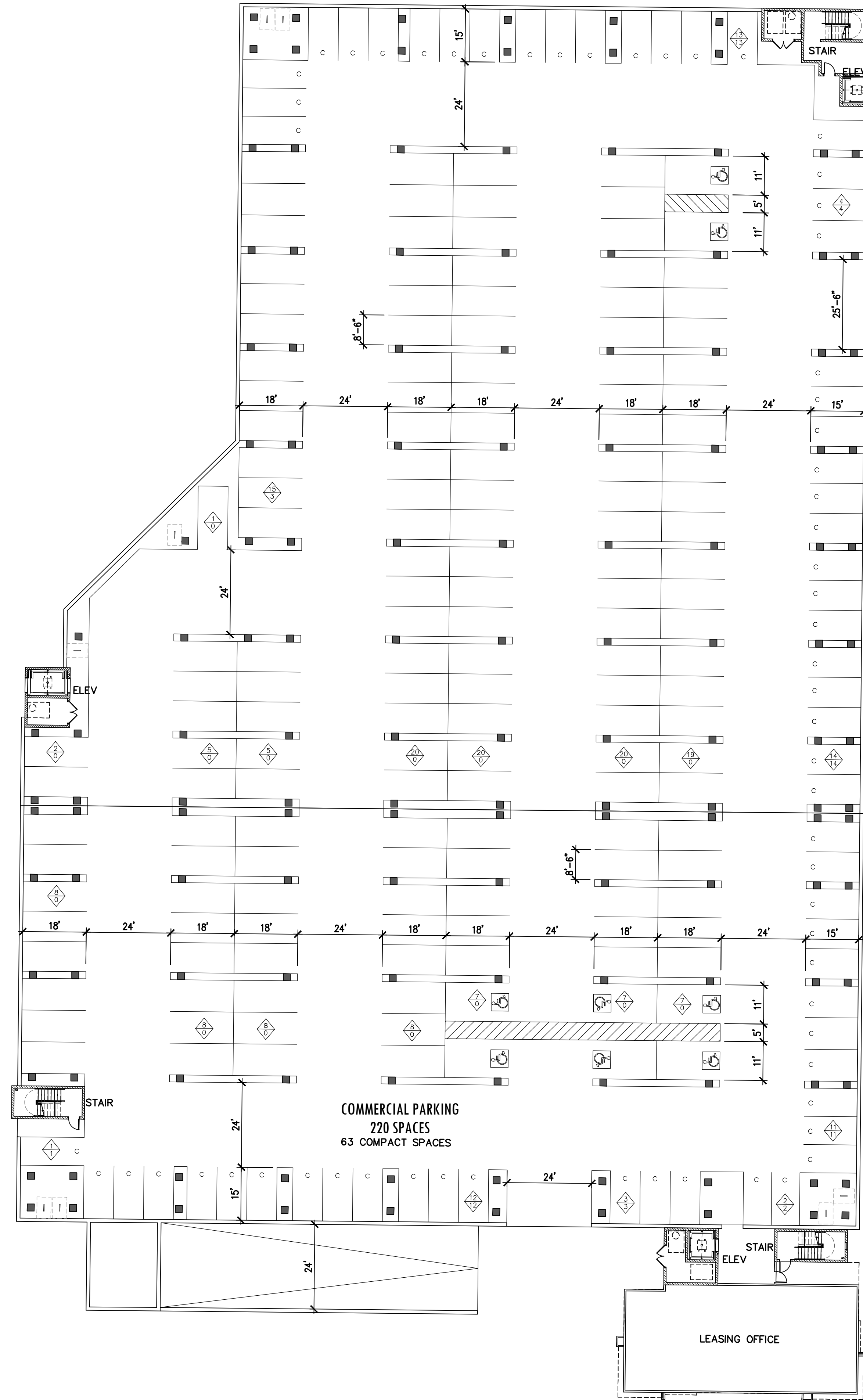
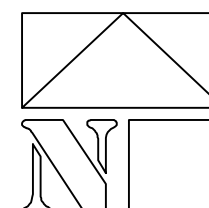
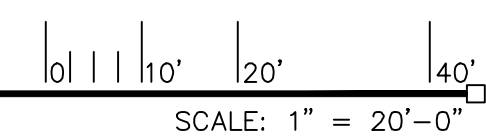
A1.12

SITE PLAN - DRB
PHASE 2

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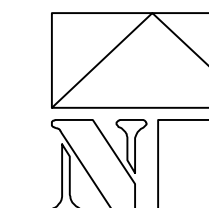
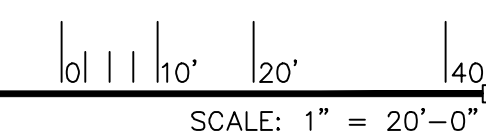


BUILDING FLOOR PLAN - LEVEL P2



BUILDING FLOOR PLAN - LEVEL P1

GRADE LEVEL

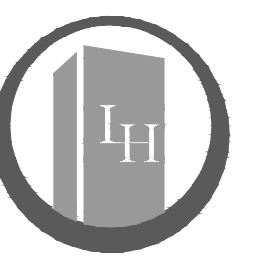


MARKANA UPTOWN

Americas Parkway NE
Albuquerque, New Mexico



WorldHQ@ORBArch.com

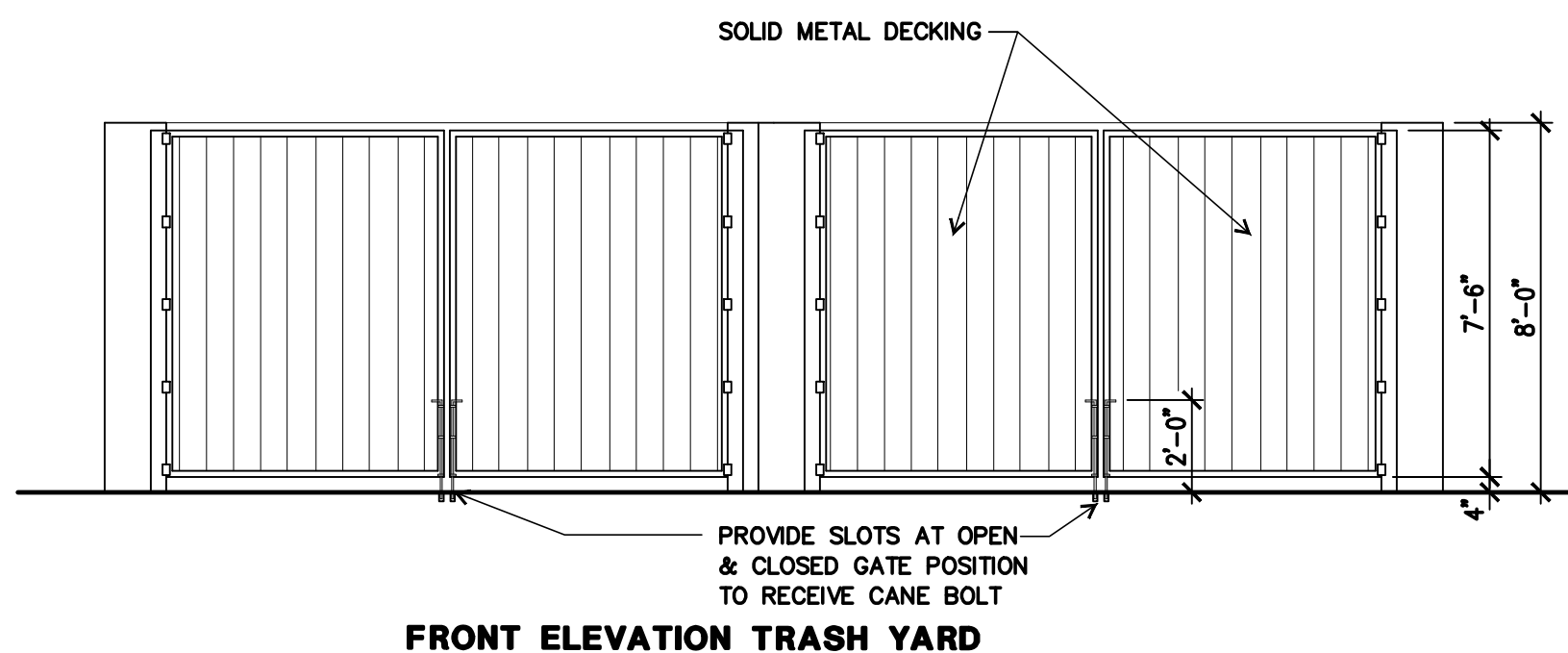


LEGACY HOSPITALITY

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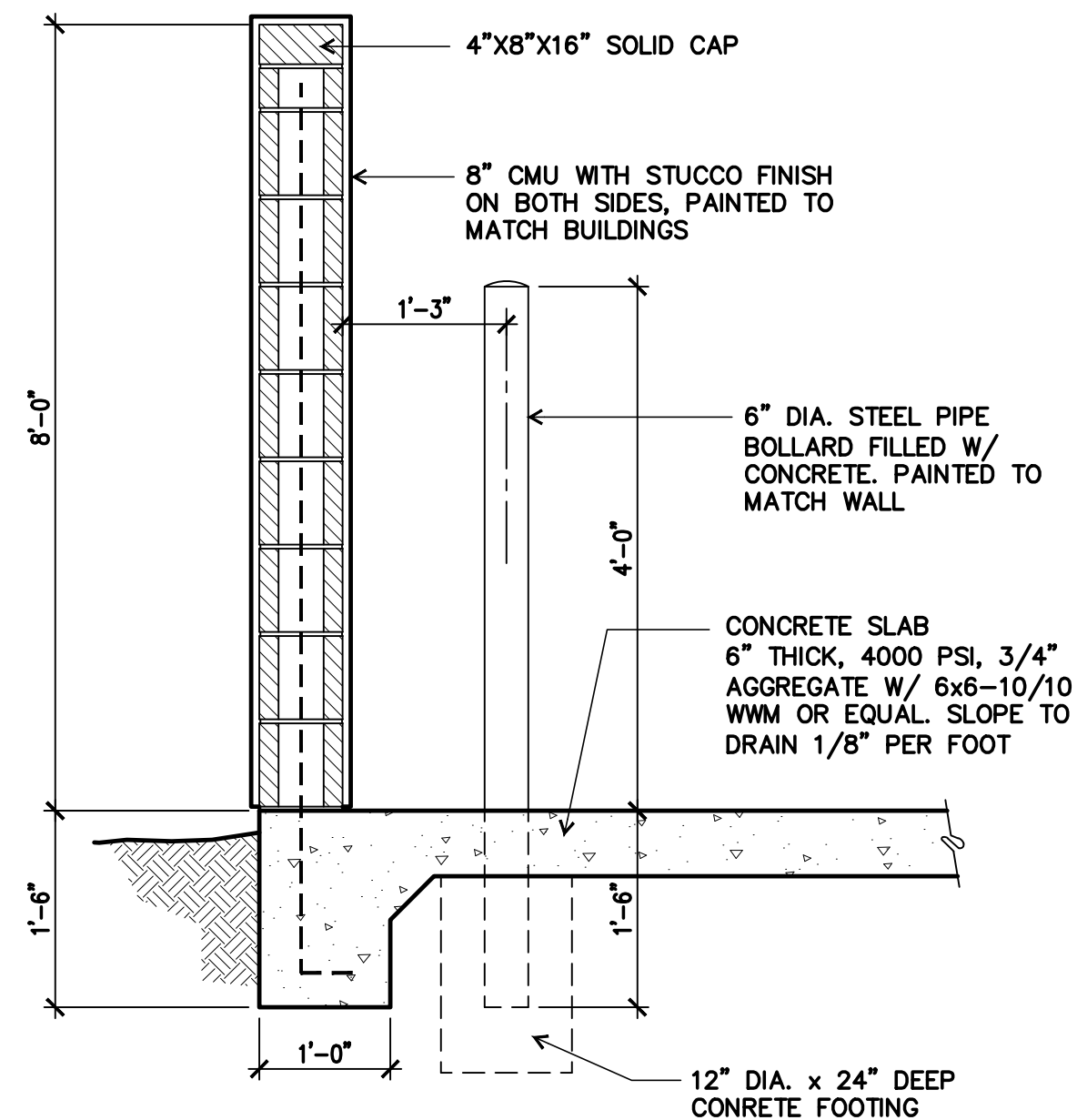
A3.11

BUILDING FLOOR PLAN
LEVELS P1 & P2



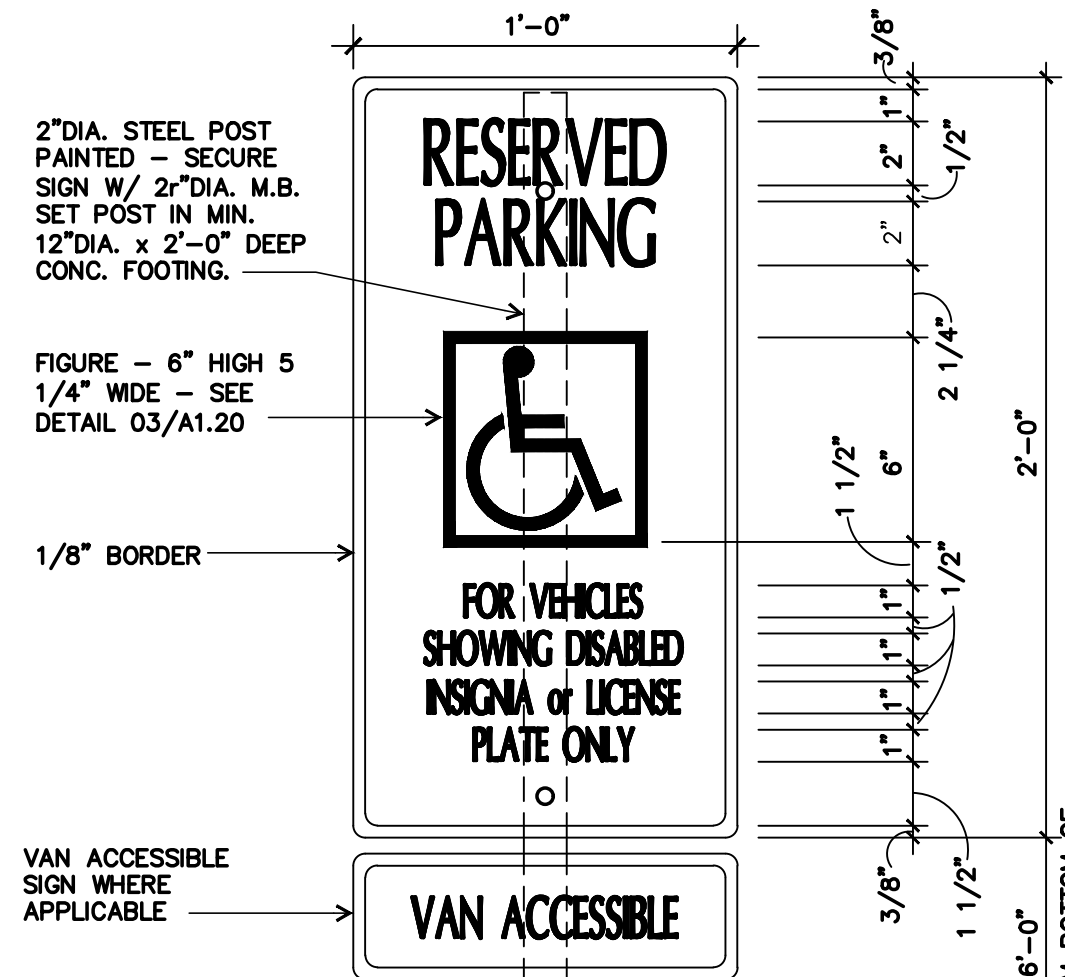
13 REFUSE ENCLOSURE ELEVATION

SCALE: 1/4" = 1'-0"



07 TRASH ENCLOSURE WALL

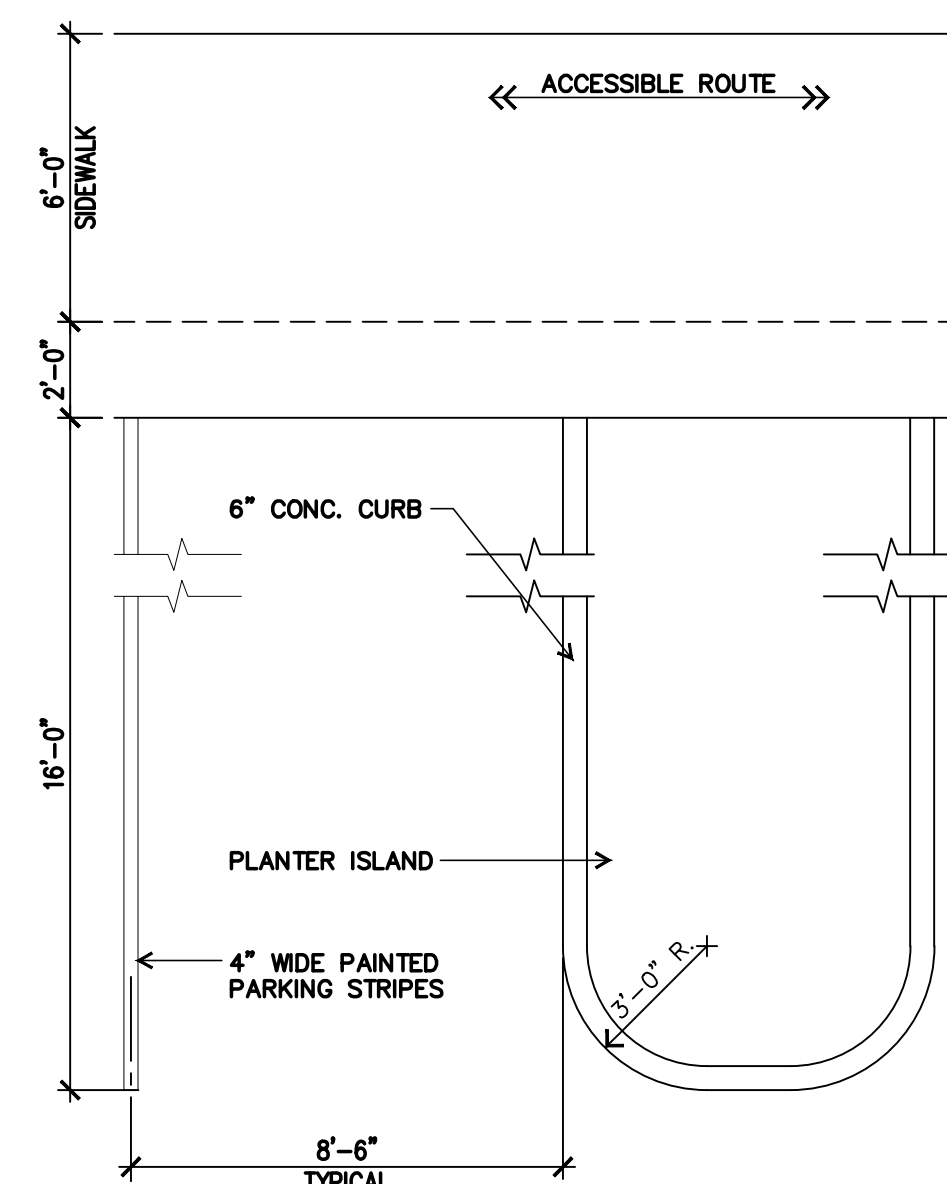
SCALE: 3/4" = 1'-0"



- LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10.
- CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND - EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED OR INCISED 1/32 IN. MIN. AND SHALL BE SANS SERIF CHARACTERS. RAISED CHARACTERS OR SYMBOLS SHALL BE AT LEAST 5/8 IN. HIGH, BUT NO HIGHER THAN 2 IN.

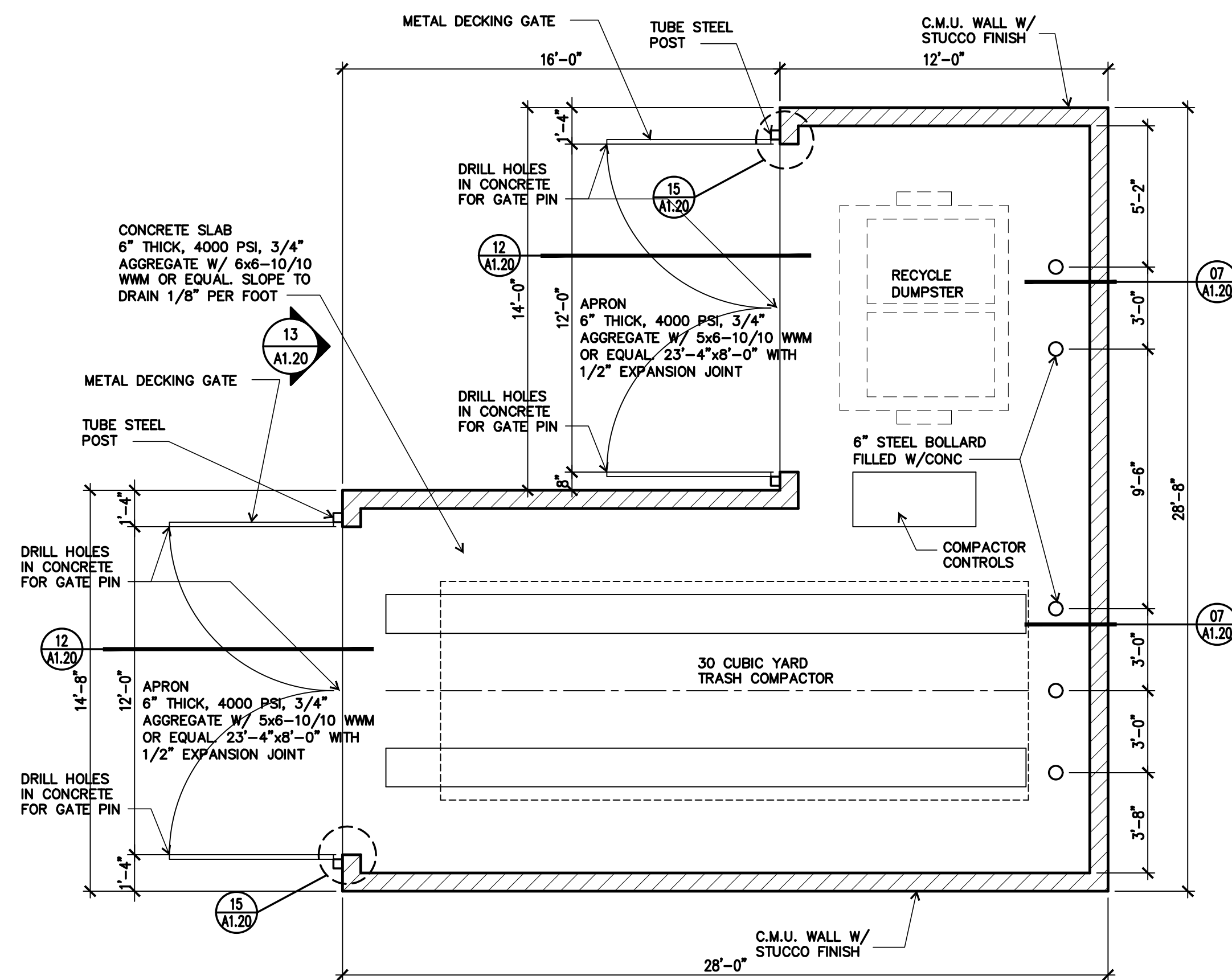
04 ACCESSIBLE PARKING SIGN

NOT TO SCALE



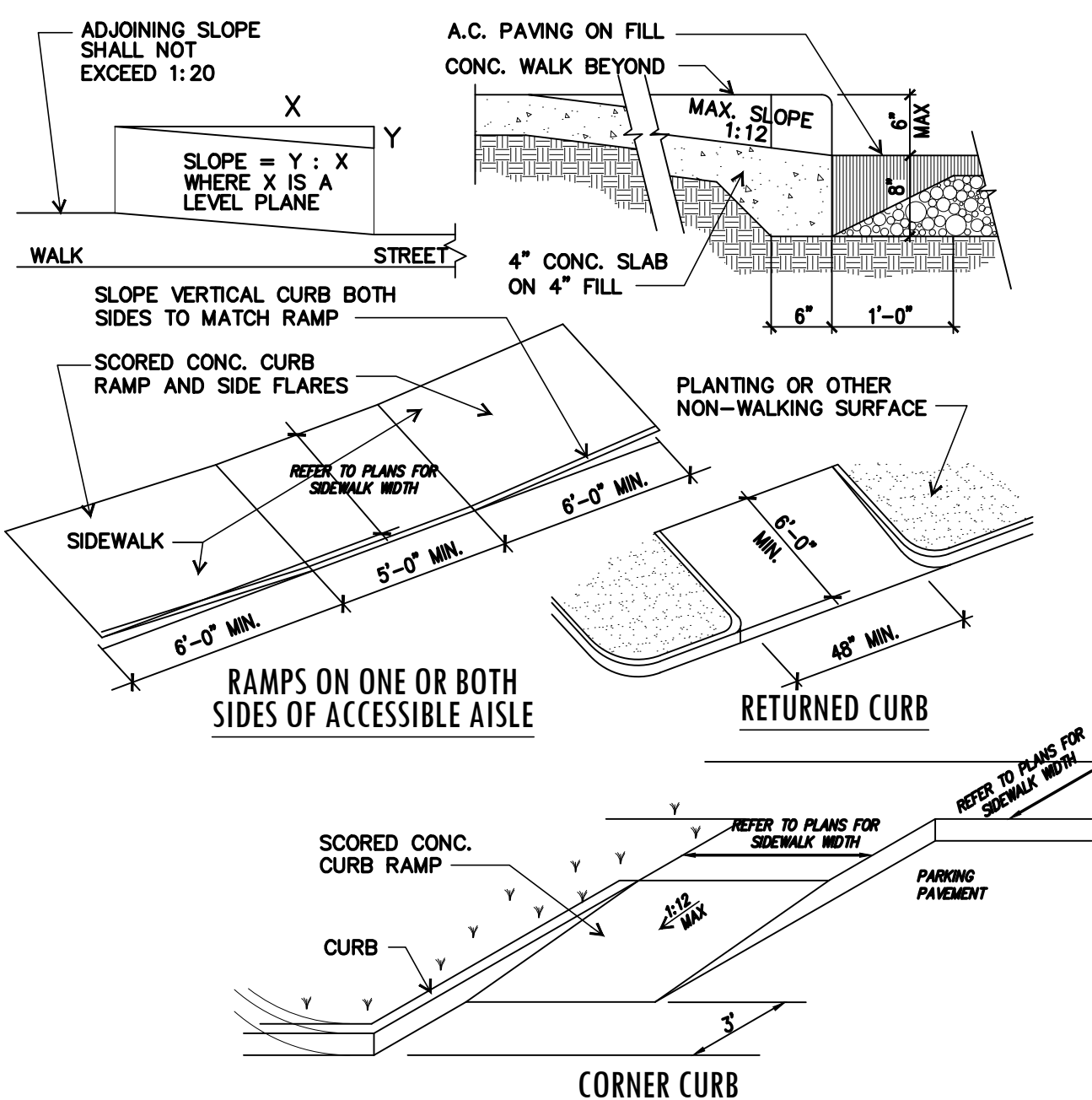
01 TYPICAL PARKING STALL WITH ISLAND

SCALE: 1/4" = 1'-0"



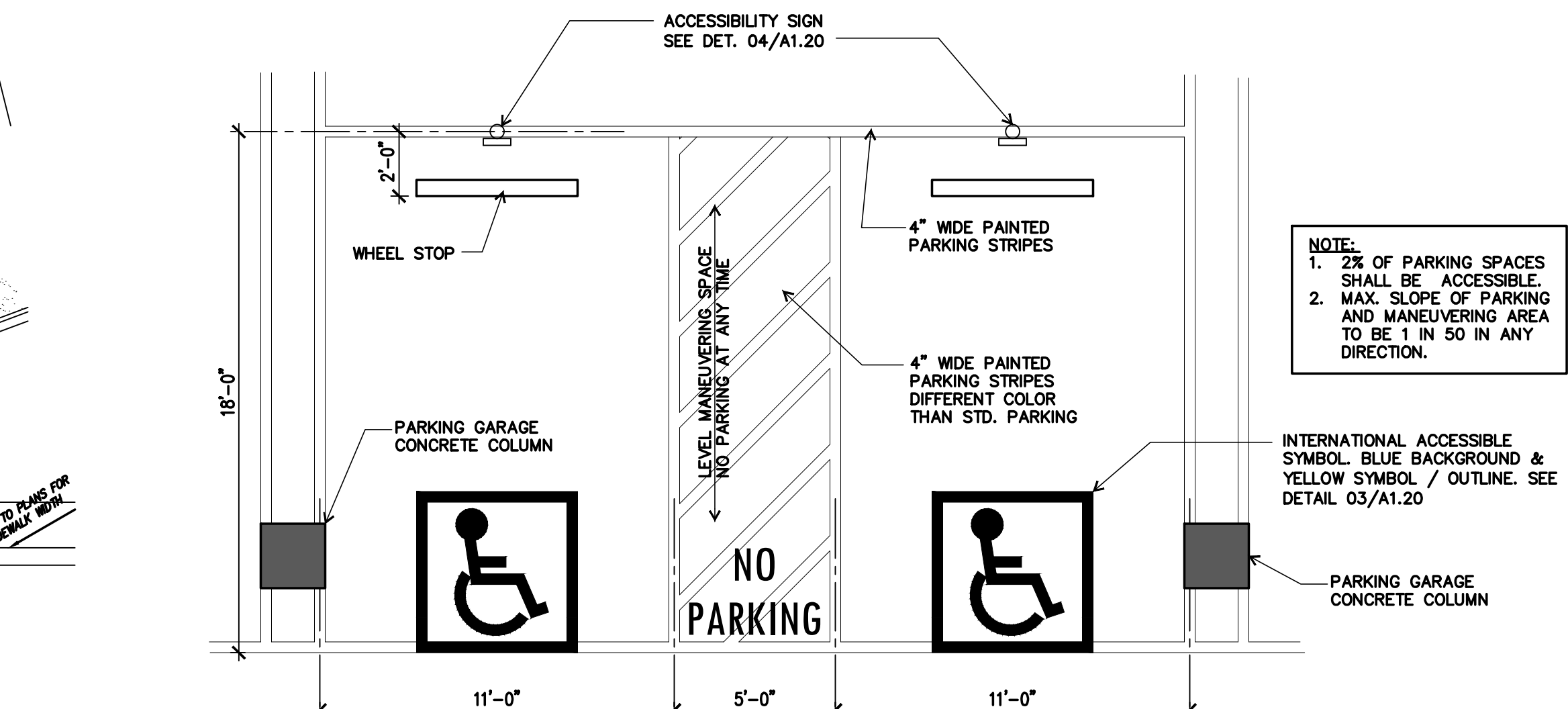
14 TRASH YARD ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"



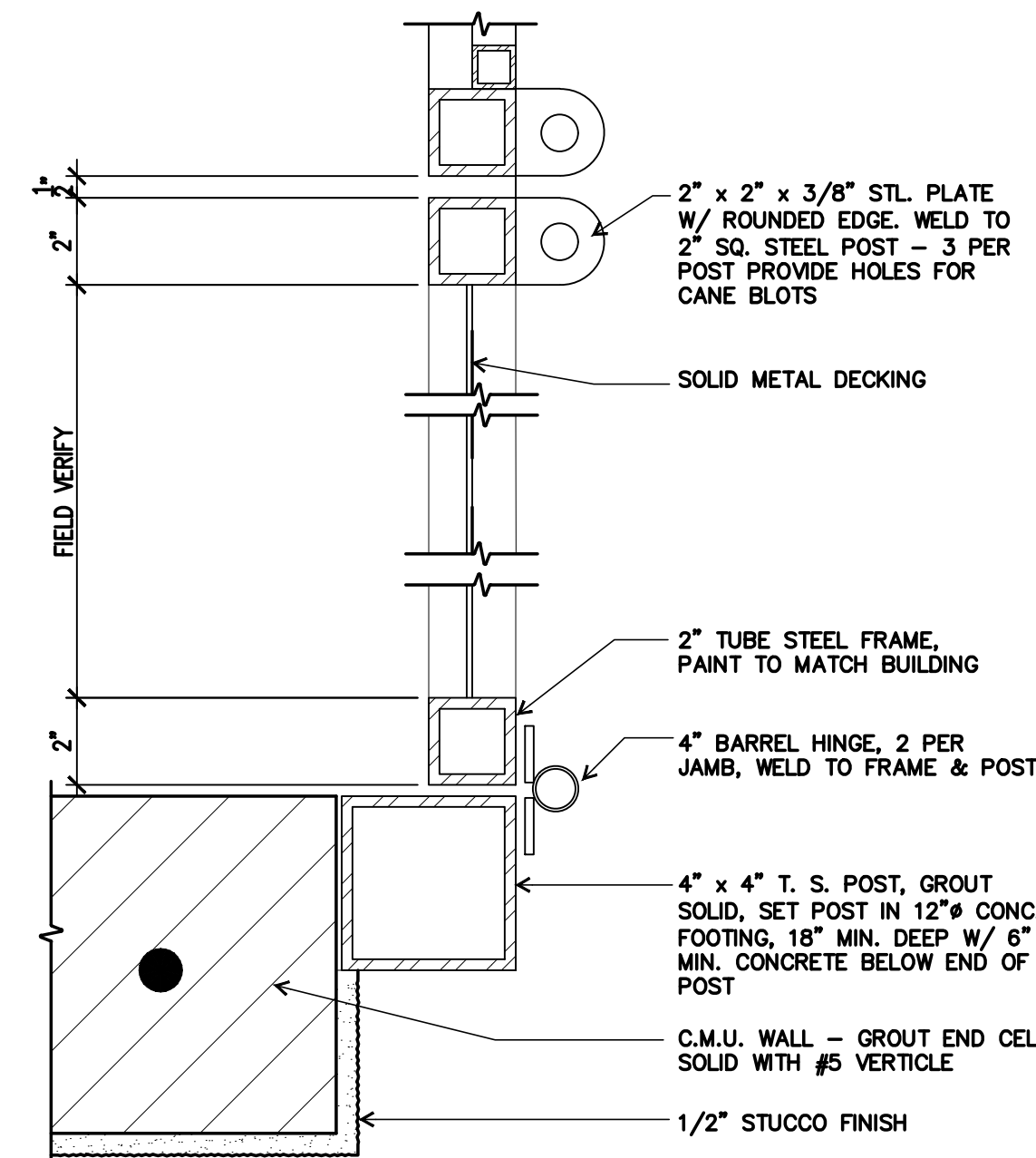
08 TYPICAL ACCESSIBLE RAMP

NOT TO SCALE



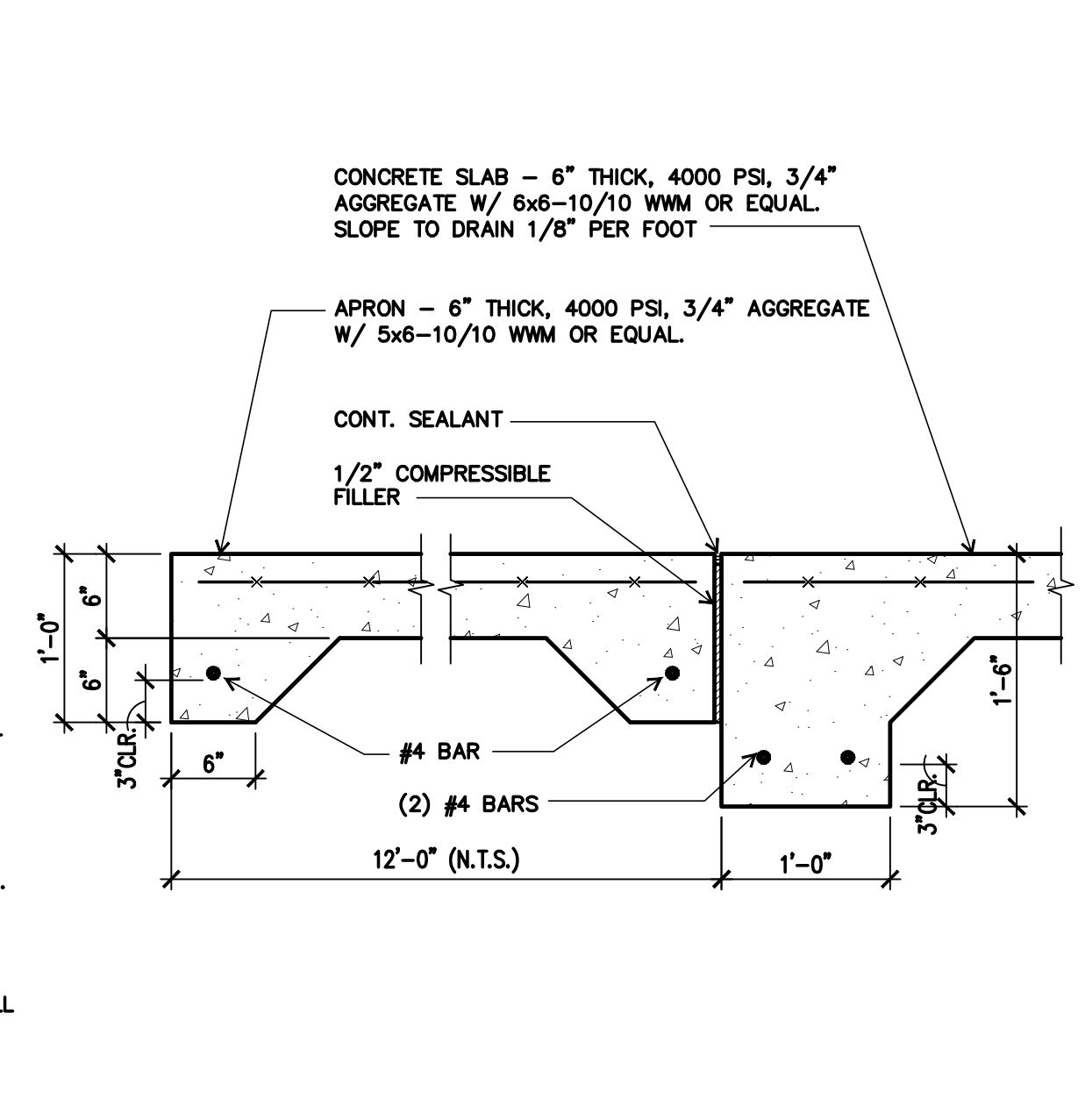
05 TYPICAL ACCESSIBLE PARKING STALL

SCALE: 1/4" = 1'-0"



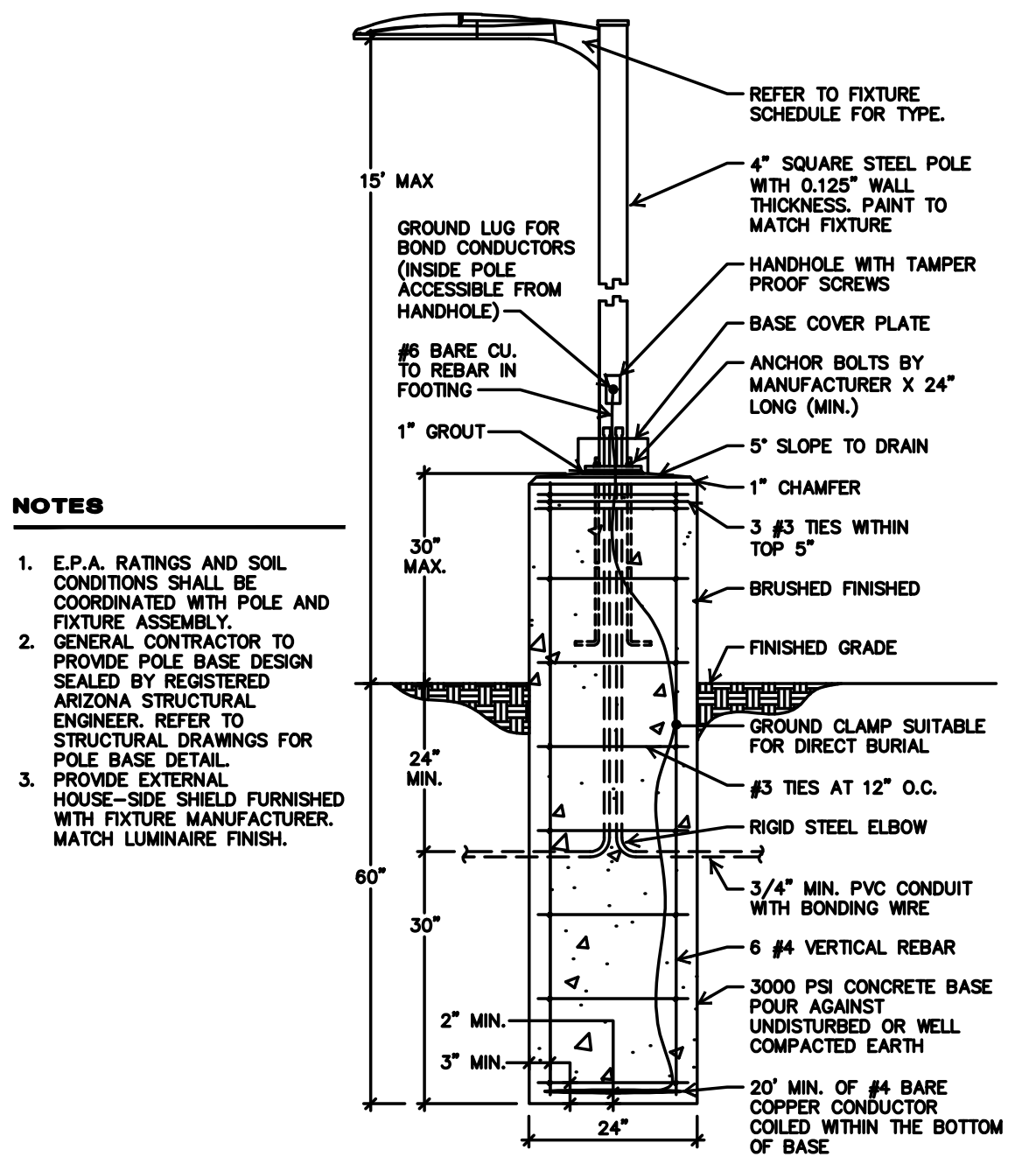
15 TRASH ENCLOSURE GATE

SCALE: 3" = 1'-0"



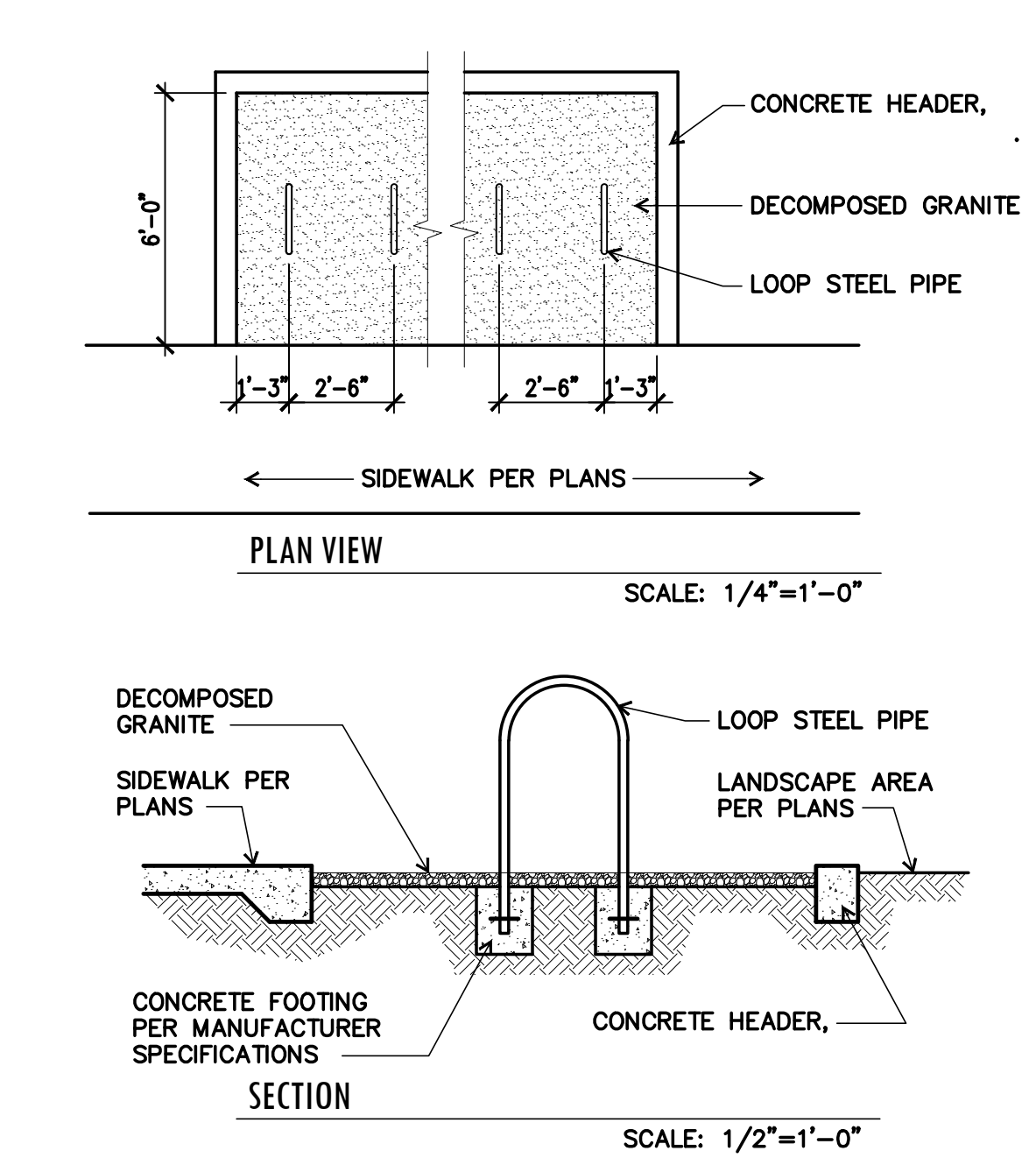
12 REFUSE ENCLOSURE SLAB JOINT

SCALE: 1" = 1'-0"



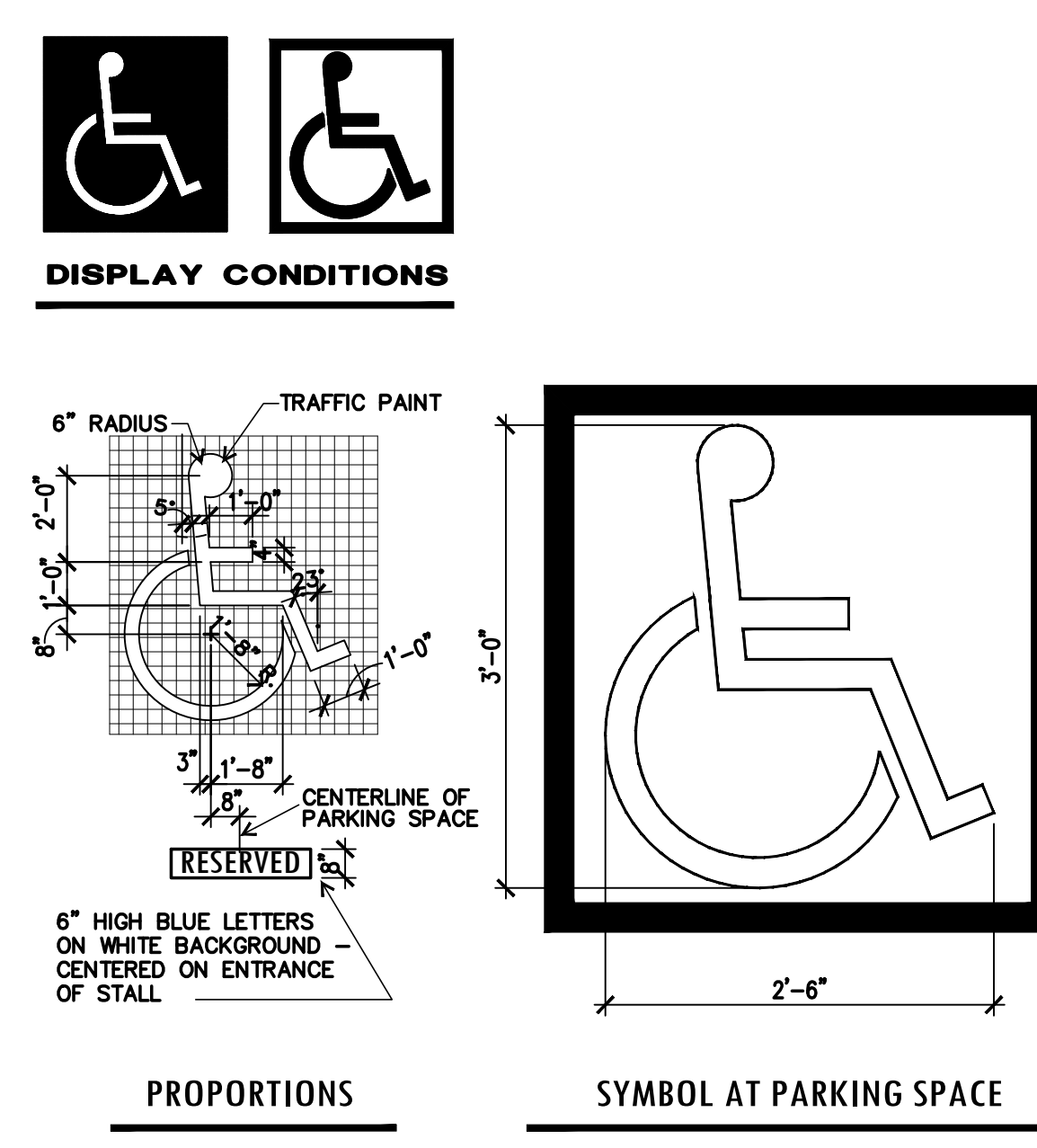
09 POLE MOUNTING DETAIL

NOT TO SCALE



06 BICYCLE PARKING

SCALE AS NOTED



03 INTERNATIONAL SYMBOL OF ACCESSIBILITY

NOT TO SCALE

- NOTES:
- REFER TO STRUCTURAL DETAILS AND PLANS FOR STRUCTURAL RELATED INFORMATION, TYPICAL. THESE DRAWINGS ARE ARCHITECTURAL ONLY.
 - SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SPECIFIC MATERIALS AND MANUFACTURERS.

Easement Notes

- 1 EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
- 2 EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126) & (6/29/1984, C24-89)
- 3 EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- 4 INTENTIONALLY OMITTED
- 5 EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (8/7/1998, BK. 98-13, PG. 8016)
- 6 INTENTIONALLY OMITTED
- 7 INTENTIONALLY OMITTED
- 8 EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DOC. NO. 2007144250)
- 9 EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, PRIVATE CROSS LOT UTILITY EASEMENT AND RECIPROCAL PRIVATE CROSS PARKING EASEMENT BENEFITING AND MAINTAINED BY TRACT A-2-B AND TRACTS A-2-A & A-2-B (7/22/2001, 2001C-186) (4/19/2011, 2011C-35)
- 10 PRIVATE CROSS LOT DRAINAGE EASEMENT ACROSS TRACTS A-2-A-2 AND A-2-A-1 BENEFITING AND MAINTAINED BY TRACT A-2-B (8/13/1998, 98C-241)
- 11 PRIVATE PARKING, VEHICULAR ACCESS, AND PEDESTRIAN EASEMENT BENEFITING AND MAINTAINED BY TRACTS 1-B-1, A-2-A-1 AND A-2-A-2, PARK SQUARE (7/15/1998, BK. 9812, PG. 6785)(7/31/2002, BK. A39, PG. 6377) (1/14/2005, BK. A90, PG. 7567)(5/19/2007, BK. A136, PG. 8823)
- 12 PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- 13 PRIVATE CROSS LOT DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1 AND A-2-A-2, PARK SQUARE (4/19/2011, 11C-35)
- 14 EXISTING 33' COA WATER & SEWER EASEMENT (6/29/1984, C24-89)
- 15 10' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAN

WARREN CORONADO APARTMENTS
ZONING: MX-H

SEE SHEET L2 FOR
LEVEL 1 PATIO
LANDSCAPE

America's Parkway NE
(88' Public R/W)

MARRIOTT HOTEL
ZONING: MX-H

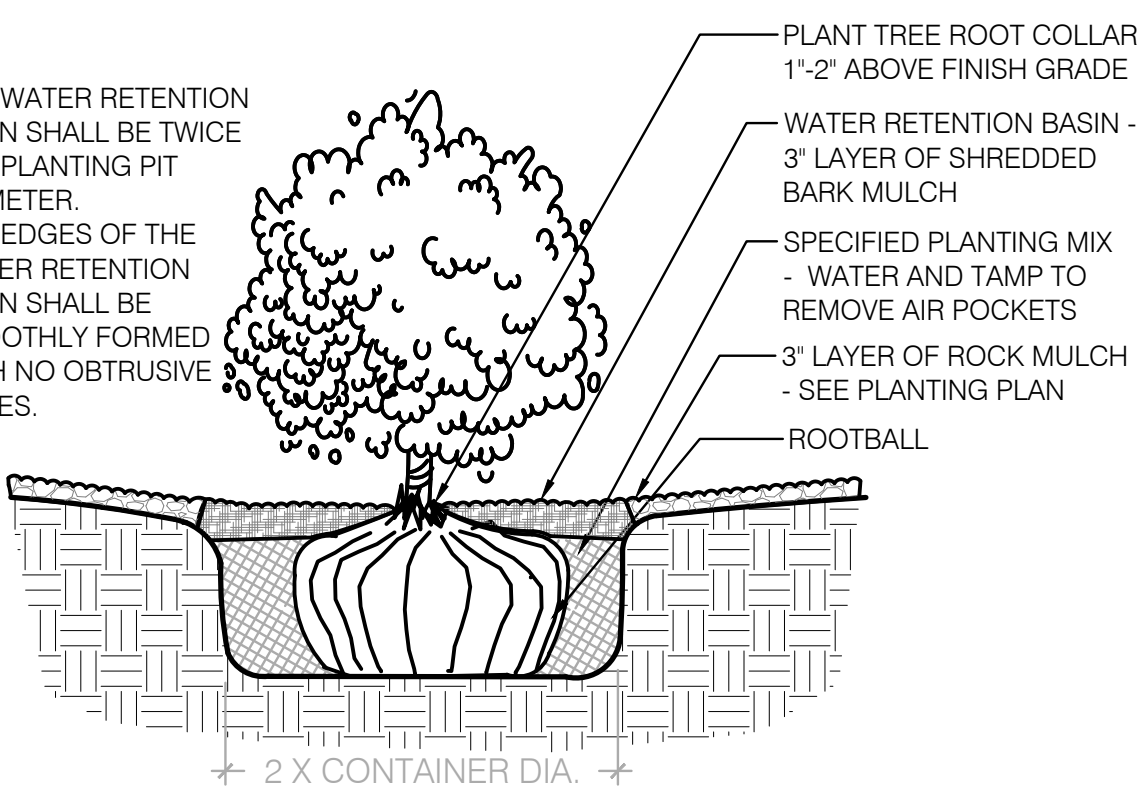
Interstate I-40
(PUBLIC R/W VARIES)

NOT A PART
Restaurant
Building
(NOT A PART)

PLANT LEGEND

PATIO SITE QTY.	SYMBOL	EXISTING	SCIENTIFIC NAME	COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE	MATURE SIZE
	○	EXISTING TREE TO REMAIN					
	○	EXISTING SHRUB TO REMAIN					
DECIDUOUS TREES							
20	○		FRAXINUS PENNSYLVANICA	URBANITE	2" B&B	10' HT. X 4" SPR.	40' HT. X 35" SPR.
5	○		JUNIPERUS SCOPULORUM	FEMALE ROCKY MOUNTAIN JUNIPER (L+)	B&B	6' HT. MIN	40' HT. X 20" SPR.
6	○		LAGERSTROEMIA INDICA	MUSKOGEE	2" MS/ 24" BOX	6' HT. MIN	25' HT. X 15" SPR.
13	○		PYRUS CALLERYANA	CHANTICLEER	2" B&B	10' HT. X 4" SPR.	30' HT. X 15" SPR.
22	○		ULMUS HYBRID	FRONTIER	2" B&B	10' HT. X 4" SPR.	30' HT. X 30" SPR.
8	○		VITEX AGNIUS-CASTUS	CHASTE TREE (M)	2" MS/ 24" BOX	6' HT. MIN	20' HT. X 20" SPR.
SHRUBS							
92	○		BUXUS JAPONICA	WINTER GEM	5-GAL.	3" O.C.	3' HT. X 3" SPR.
55	○		CARYOPTERIS CLANDONENSIS	DARK KNT	5-GAL.	6" O.C.	5' HT. X 5" SPR.
30	○		CYTISSUS SCOPARIUS	MOONLIGHT	5-GAL.	6" O.C.	4' HT. X 6" SPR.
45	○		DASYLIPTIS TEXANA	SOTOL (RW)	5-GAL.	4" O.C.	4' HT. X 5" SPR.
55	○		FALLUGIA PARADOXA	APACHE PLUME (L+)	5-GAL.	5" O.C.	5' HT. X 5" SPR.
56	○		HESPERALOE PARVIFLORA	YELLOW FLOWERING YUCCA (L+)	5-GAL.	4" O.C.	4' HT. X 4" SPR.
28	○		JUNIPERUS SCOPULORUM	SKYROCKET	5-GAL.	5" O.C.	12' HT. X 3" SPR.
41	○		PINUS MUGO	MUGO PINE (M)	5-GAL.	5" O.C.	8' HT. X 6" SPR.
51	○		RHAPHIOLEPIS INDICA	PINK LADY	5-GAL.	5" O.C.	5' HT. X 5" SPR.
63	○		RHUS TRILOBATA	AUTUMN AMBER	5-GAL.	5" O.C.	18' HT. X 6" SPR.
37	○		ROSA WOODSII	WOODS ROSE (L+)	5-GAL.	5" O.C.	5' HT. X 5" SPR.
23	○		YUCCA RUPICOLA	TWISTLEAF YUCCA (RW)	5-GAL.	5" O.C.	2' HT. X 3" SPR.
ORNAMENTAL GRASSES							
24	○		CALAMAGROSTIS A.	OVERDAM	1-GAL.	3" O.C.	3' HT. X 3" SPR.
25	○		MISCANTHUS SINENSIS	PURPURASCENS	1-GAL.	3" O.C.	4' HT. X 3" SPR.
81	○		MISCANTHUS SINENSIS	YAKU JIMA	1-GAL.	3" O.C.	4' HT. X 4" SPR.
36	○		PENNISETUM ALOP.	HAMELN	1-GAL.	3" O.C.	3' HT. X 3" SPR.
46	○		PENNISETUM ORIENTALE	KARLEY ROSE	1-GAL.	3" O.C.	3' HT. X 3" SPR.
750	○		SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED (L)	1-GAL.	3" O.C.	2' HT. X 2" SPR.
FLOWERING PLANTS							
62	○		ACHILLEA MOONSHINE	MOONSHINE YARROW (M)	1-GAL.	2" O.C.	2' HT. X 2" SPR.
20	○		CENTRANTHUS RUBER	RED VALERIAN (M)	1 GAL.	2" O.C.	18" HT. X 2" SPR.
150	○		DELOSPERMA COOPERI	NUBIGENUM	1-GAL.	16" O.C.	6' HT. X 16" SPR.
31	○		ECHINACEA PURPUREA	PURPLE CONEFLOWER (M)	1 GAL.	18" O.C.	3' HT. X 3" SPR.
150	○		NEPETA HYBRID	KIT CAT	1 GAL.	16" O.C.	16" HT. X 16" SPR.
325	○		OENOTHERA BERLANDIERI	MEXICAN EVENING PRIMROSE (L+)	1 GAL.	2" O.C.	10' HT. X 2" SPR.
BOULDERS AND MULCHES							
7	○			MOSS ROCK BOULDERS	(3'X3' MIN)		
32,978	○			LANDSCAPE AREA TO INCLUDE ROCK MULCH OVER FILTER FABRIC. MULCHES TO BE 7/16" SANTA FE BROWN GRAVEL AND 2"-4" COYOTE MIST COBBLE AT SLOPES OR PONDING AREAS			

- NOTES:**
- A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
 - B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.



A SHRUB PLANTING

SCALE: N.T.S.

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH CRUSHER FINES, 7/16" SANTA FE BROWN ROCK MULCH, 2"-4" COYOTE MIST ROCK MULCH, OR SIMILAR MATERIAL. ALL LEVEL 1 PLANTERS SHALL BE TOP DRESSED WITH A MINIMUM 2" OF SHREDDED BARK MULCH.

ORGANIC MULCH AT TREES
ORGANIC MULCH IS REQUIRED AS GROUND COVER UNDER TREES WITHIN A 5-FOOT RADIUS AROUND THE TREE TRUNK, BUT NOT DIRECTLY AGAINST THE TRUNK. IN THESE AREAS, WEED BARRIER FABRIC IS PROHIBITED.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPOED ON THE SAME VALVE.

WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, A SEPARATE VALVE(S) WILL BE PROVIDED AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. DRAIN IRRIGATION SYSTEMS AND ARTIFICIAL TURF SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 10 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

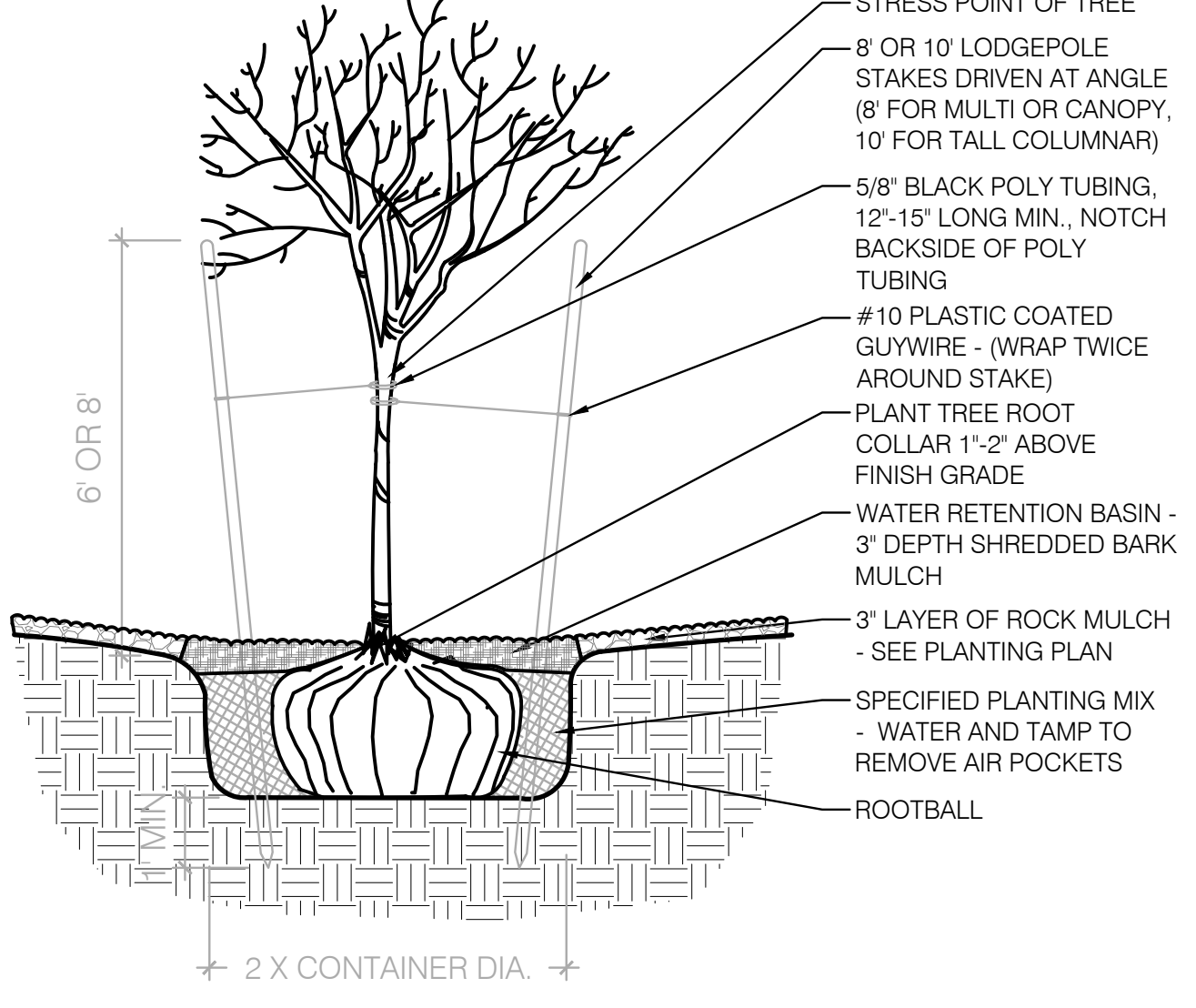
LANDSCAPE AREA COVERAGE
TRACT A-2-A-2-A & TRACT A-2 COMBINED
TOTAL SITE AREA: 145,347 SF (3.33 AC)
BUILDING AREA (BUILDING ENVELOPE): -77,419 SF
NET AREA: 67,928 SF
REQUIRED LANDSCAPE AREA (10% OF NET AREA): 6,793 SF
PROVIDED LANDSCAPE AREA: 23,922 SF (35%)
*NOTE: SITE IS LOCATED IN THE UPTOWN COMPREHENSIVE PLAN URBAN CENTER

TRACT A-2-A-1-A
TOTAL SITE AREA: 71,959 SF (1.65 AC)
BUILDING AREA (BUILDING ENVELOPE): -17,345 SF
NET AREA: 54,614 SF
REQUIRED LANDSCAPE AREA (10% OF NET AREA): 5,461 SF
PROVIDED LANDSCAPE AREA: 8,340 SF (15%)
*NOTE: SITE IS LOCATED IN THE UPTOWN COMPREHENSIVE PLAN URBAN CENTER

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

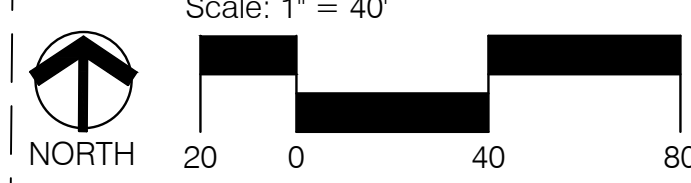
NOTES:

- A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
- B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
- C. REMOVE ROPE AND BURLAP AFTER PLANTING.



B TREE PLANTING

SCALE: N.T.S.



NOT FOR CONSTRUCTION

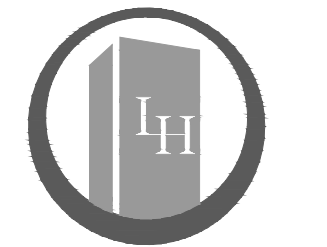
L1

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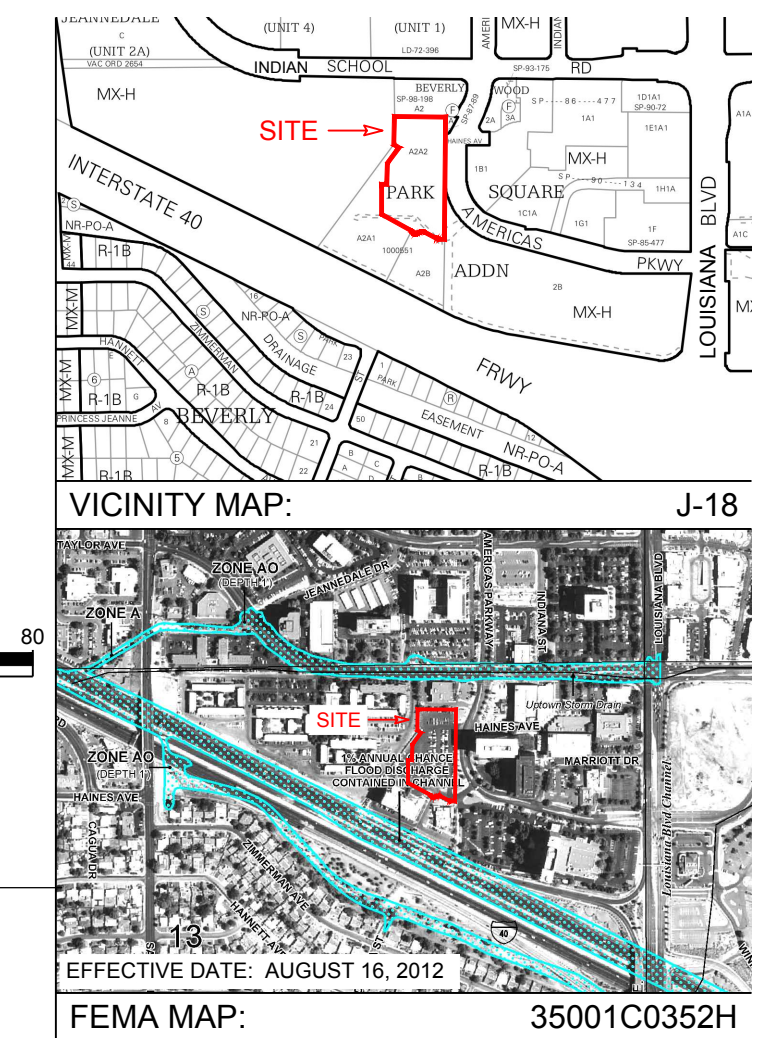
REVISIONS

CD SET

DATE: October 30, 2019 ORB # 16-221

C-101

DRAINAGE PLAN



LEGEND
 --- EXISTING PROPERTY BOUNDARY
 - - - PROPOSED PROPERTY BOUNDARY
 - - - - SUBBASIN BOUNDARY

BACKGROUND

TRACT A-2-A-2-A, PARK SQUARE IS APPROXIMATELY 2.4 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED JUST WEST OF AMERICAS PARKWAY BETWEEN INDIAN SCHOOL ROAD AND INTERSTATE 40. THE SITE CURRENTLY IS A PARKING LOT. THE PROPOSED PROJECT IS AN APARTMENT BUILDING. THIS PROPERTY RECEIVES NO OFFSITE FLOWS. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE SITE. A GRADING PLAN WAS DONE FOR THE PARKING LOT BY AFRA CONSTRUCTION & DESIGN FOR TRACT A-2-A-2-A (J18-D33). THIS FILE CAN BE REFERENCED FOR GENERAL BACKGROUND RELATED TO THE PROPERTY.

METHODOLOGY

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 22.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES IN ORDER TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.34". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

EXISTING CONDITIONS

THE PROPOSED PROJECT AREA, IN GENERAL, SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 3% - 4%. STORM WATER RUNOFF GENERATED BY TRACT A-2-A-2-A SHEET DRAINS INTO TRACT A-2-A-1-A, THE ADJACENT PROPERTY TO THE SOUTH, AND IS CONCENTRATED INTO A CONCRETE RUNDOWN AT THE SOUTHWEST CORNER OF TRACT A-2-A-1-A. THE CONCRETE RUNDOWN DIRECTS WATER INTO A DROP INLET, WHICH THEN FLOWS IN A RCP UNDER THE WEST BOUND LANES OF INTERSTATE 40 AND DISCHARGES INTO THE I-40 CHANNEL.

PROPOSED CONDITIONS

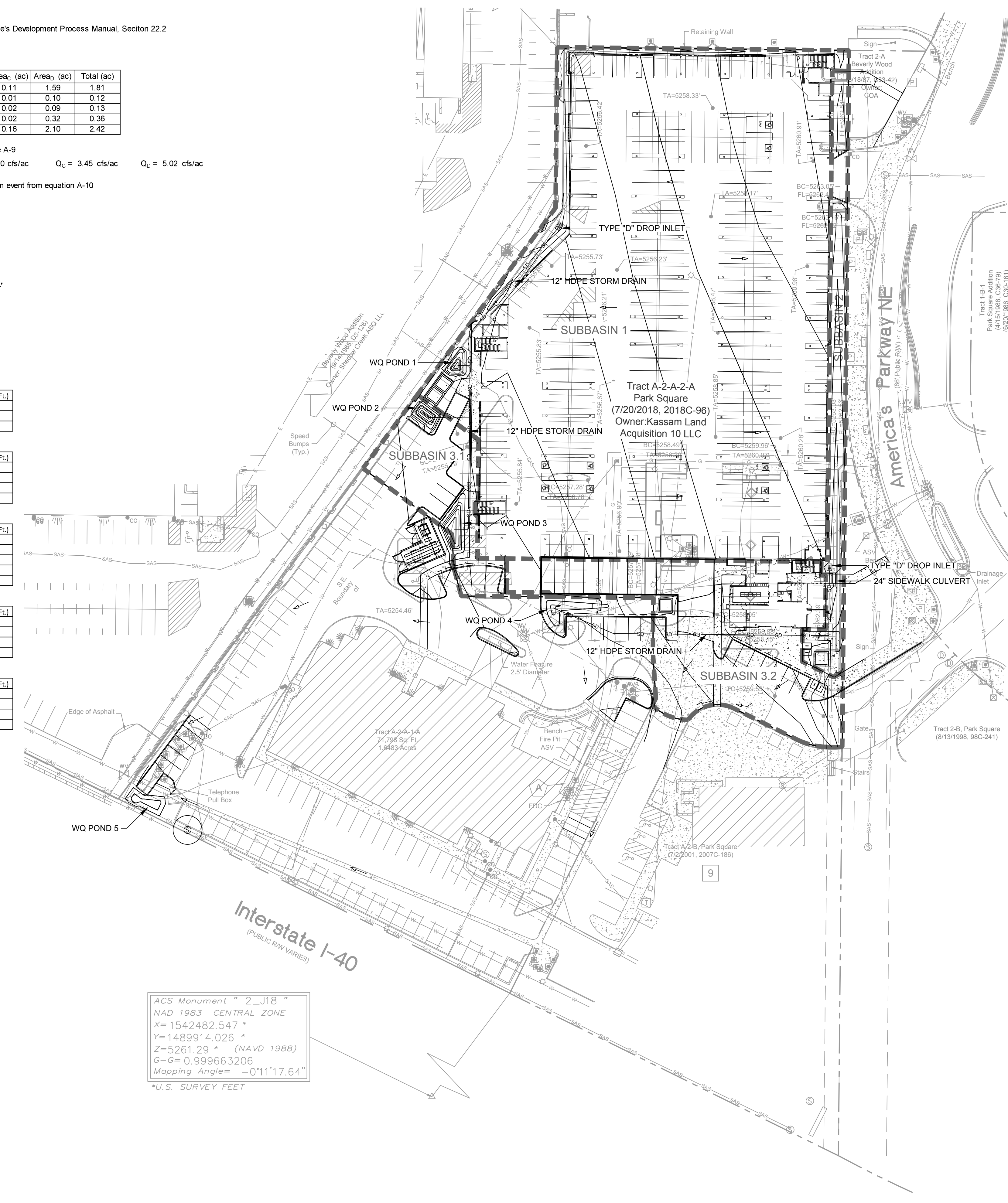
THE PROPOSED PROJECT WILL CONSIST OF A PARKING GARAGE AT GRADE, ANOTHER LEVEL OF PARKING GARAGE ABOVE, AND FOUR FLOORS OF APARTMENT UNITS ABOVE THE PARKING GARAGE LEVELS. THE PROPERTY HAS BEEN SPLIT INTO 3 SUBBASINS.

SUBBASIN 1 IS 1.81 ACRES AND GENERATES 8.7 CFS. THIS SUBBASIN CONSISTS PRIMARILY OF THE RUNOFF GENERATED BY THE ROOF OF THE BUILDING. THE ROOF WILL FLOW WEST AND FLOW INTO SCUPPERS AND DOWNSPOUTS. STORM WATER IS THEN ROUTED THROUGH A 12" STORM DRAIN THAT DISCHARGES INTO WATER QUALITY PONDS 1, 2 AND 3. THE REQUIRED WATER QUALITY VOLUME FOR THIS SUBBASIN IS 1,966 CUBIC FEET. WATER QUALITY PONDS 1, 2 AND 3 PROVIDE A COMBINED 1,410 CUBIC FEET. ONCE FULL, RUNOFF ENTERS THE PARKING LOT AND FLOWS TO THE SOUTHWEST CORNER OF THE PROPERTY ALONG THE PROPERTY LINE AS THE SITE HAS DONE HISTORICALLY.

SUBBASIN 2 IS 0.12 ACRES AND GENERATES 0.6 CFS. THIS SUBBASIN CONSISTS PRIMARILY OF THE RUNOFF GENERATED BY THE LANDSCAPING TO THE EAST OF THE BUILDING. THE LANDSCAPING AREA EAST OF THE BUILDING WILL FLOW SOUTH UNTIL ENTERING THE DROP INLET NEAR THE SOUTHEAST CORNER OF THE BUILDING. FROM THERE, A STORM DRAIN CONVEYS THE RUNOFF TO WATER QUALITY POND 4. THE REQUIRED WATER QUALITY VOLUME FOR THIS SUBBASIN IS 129 CUBIC FEET. WATER QUALITY POND 4 PROVIDES 253 CUBIC FEET. ONCE FULL, THE POND DISCHARGES INTO THE PARKING LOT AND FLOWS TO THE SOUTHWEST CORNER OF THE PROPERTY ALONG THE PROPERTY LINE AS THE SITE HAS DONE HISTORICALLY.

SUBBASIN 3 IS 0.49 ACRES AND GENERATES 2.3 CFS. THIS SUBBASIN CONSISTS OF THE PARKING LOT LOCATED ON THE SUBJECT PROPERTY. SUBBASIN 3.1 FLOWS SOUTH ALONG THE WEST BOUNDARY OF THE SITE AND SUBBASIN 3.2 FLOWS SOUTH INTO THE VALLEY GUTTER TO THE SOUTHWEST CORNER OF THE PROPERTY AS THE SITE HAS HISTORICALLY DONE. THE REQUIRED WATER QUALITY VOLUME FOR THIS SUBBASIN IS 499 CUBIC FEET. WATER QUALITY POND 5 PROVIDES 148 CUBIC FEET.

THE TOTAL REQUIRED STORMWATER QUALITY VOLUME FOR THIS DEVELOPMENT IS 2,595 CF. THE TOTAL STORMWATER QUALITY VOLUME PROVIDED IS 1,811 CF. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REMAINING VOLUME OF 784 CF. THIS PAYMENT AMOUNT = 784 CF X \$8/CF = \$6,272.00.



Hydrology Calculations

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

Runoff Rate:

Treatment Type	Area ₁ (ac)	Area ₂ (ac)	Area ₃ (ac)	Area ₄ (ac)	Area ₅ (ac)	Total (ac)
Subbasin 1	0.00	0.11	0.11	1.59	1.81	
Subbasin 2	0.00	0.01	0.01	0.10	0.12	
Subbasin 3.1	0.00	0.02	0.02	0.09	0.13	
Subbasin 3.2	0.00	0.02	0.02	0.32	0.36	
Total	0.00	0.16	0.16	2.10	2.42	

Peak Discharge values based on Zone 3 from Table A-9
 $Q_A = 1.87 \text{ cfs/ac}$ $Q_B = 2.60 \text{ cfs/ac}$ $Q_C = 3.45 \text{ cfs/ac}$ $Q_D = 5.02 \text{ cfs/ac}$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
Subbasin 1	8.7
Subbasin 2	0.6
Subbasin 3.1	0.6
Subbasin 3.2	1.7
Total	11.5

Water Quality:

Required Water Quality volume for first flush of 0.34"

Subbasin	Volume (cu. ft.)
Subbasin 1	1,966
Subbasin 2	129
Subbasin 3.1	107
Subbasin 3.2	392
Total	2,595

Water Quality Pond Rating Curves

WQ Pond 1

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,251.8	3	0	0
5,252.6	27	13	13
5,254.5	148	165	178

WQ Pond 2

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,251.5	3	0	0
5,253.6	79	88	88
5,254.7	150	124	212
5,255.8	244	212	425

WQ Pond 3

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,251.2	12	0	0
5,252.0	58	27	27
5,253.5	232	222	249
5,254.2	359	225	474
5,255.0	519	334	807

WQ Pond 4

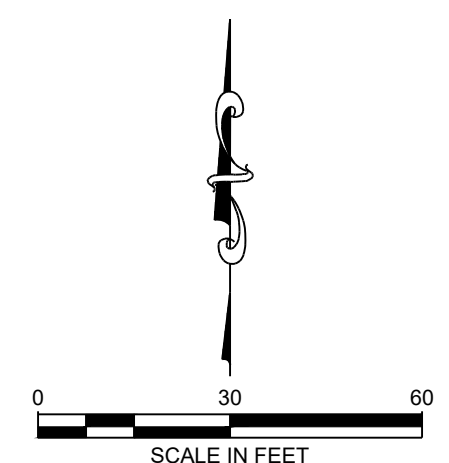
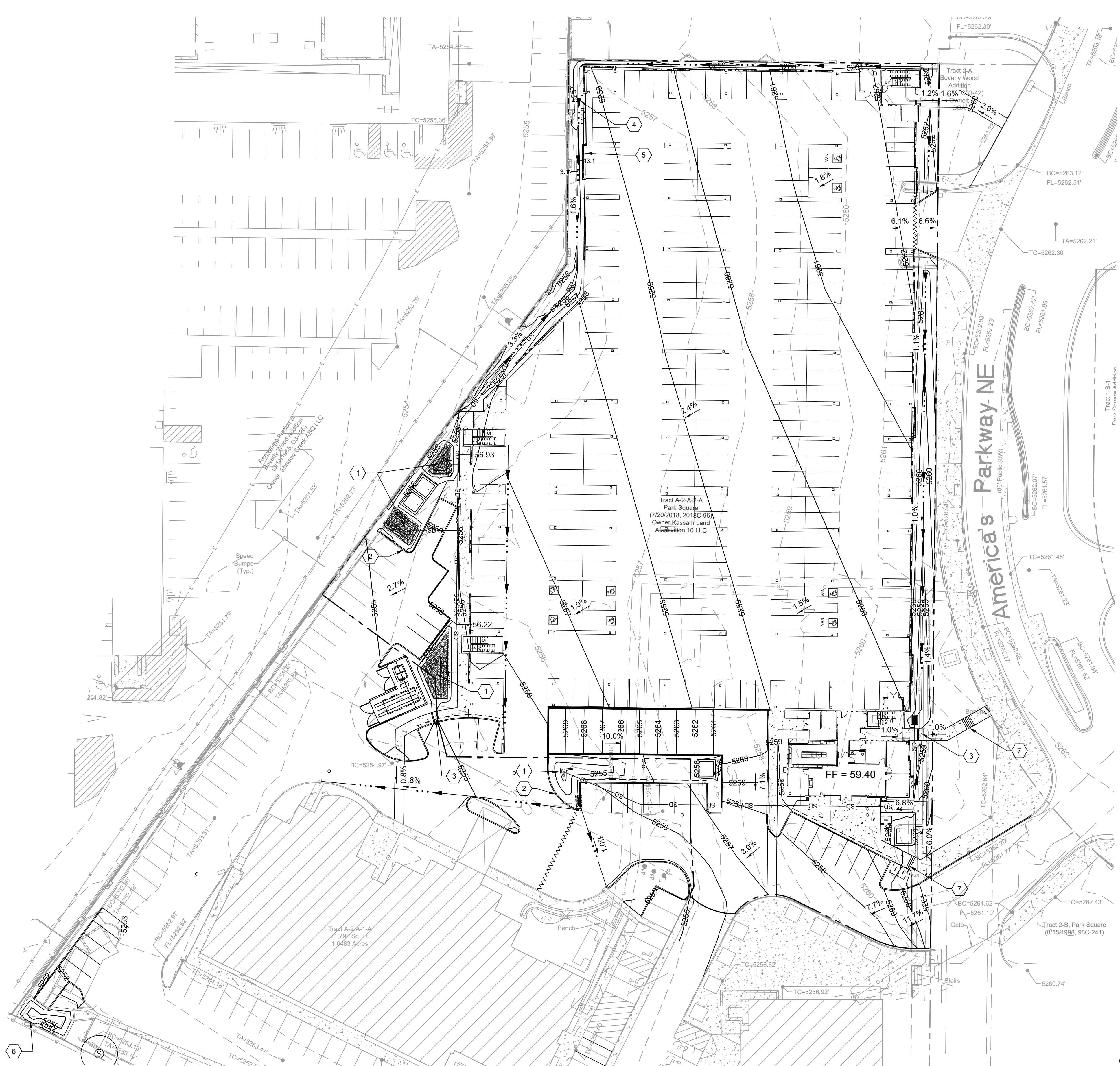
Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,253.80	6	0	0
5,254.00	21	3	3
5,255.00	271	146	149
5,255.30	421	104	253

WQ Pond 5

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,249.25	4	0	0
5,249.50	22	3	3
5,250.00	88	28	31
5,250.75	225	118	148

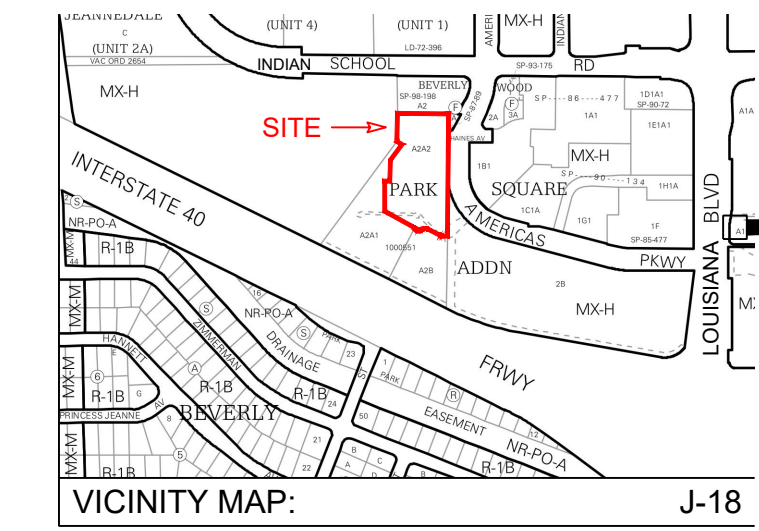
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 NAD 1983 CENTRAL ZONE
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 Y= 1489914.026 *
 Z= 5261.29 * (NAVD 1988)
 G-G= 0.999663206
 Mapping Angle= -0°11'17.64"
 *U.S. SURVEY FEET

FILE: \\Active Projects\03064-Kassam Legacy Uptown\3. DWG\Sheets\03064 Grading.dwg USER: jash.tapia DATE: Oct. 29 2019 TIME: 04:10 pm

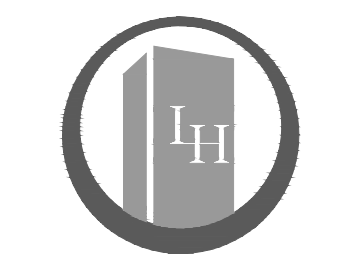


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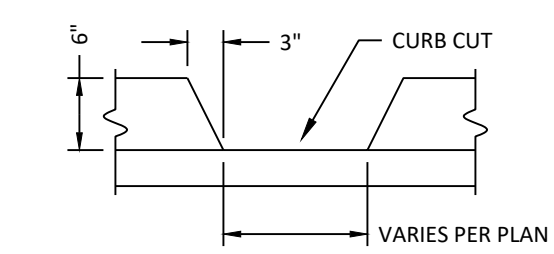
LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- PROPOSED CONTOUR
- PROPOSED WATER BLOCK
- PROPOSED FLOW LINE
- PROPOSED RIPRAP
- PROPOSED SPOT ELEV
- EXISTING SPOT ELEV

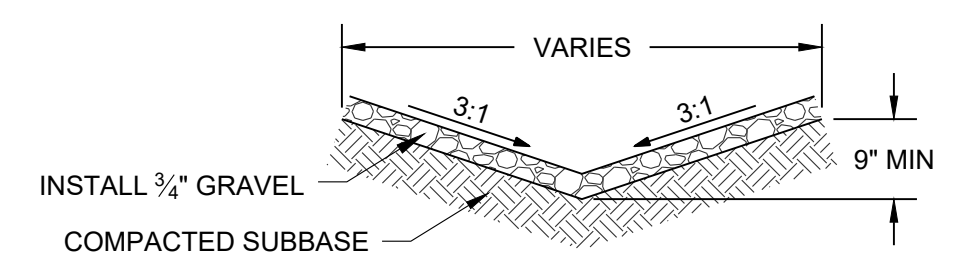
KEYED NOTES

I.D.#	DESCRIPTION
1	INSTALL RIP RAP D ₈₀ 2'-3"
2	INSTALL 4" CURB CUT, SEE DETAIL THIS SHEET
3	INSTALL 24" SIDEWALK CULVERT SEE DETAIL THIS SHEET
4	INSTALL SWALE WITH 1% MIN SLOPE PER DETAIL C-201
5	INSTALL 3/4" GRAVEL ON 3:1 SLOPES
6	EXISTING DROP INLET
7	INSTALL STAIRS: 7" RISE/11" RUN, SEE C-203 FOR ELEVATIONS.

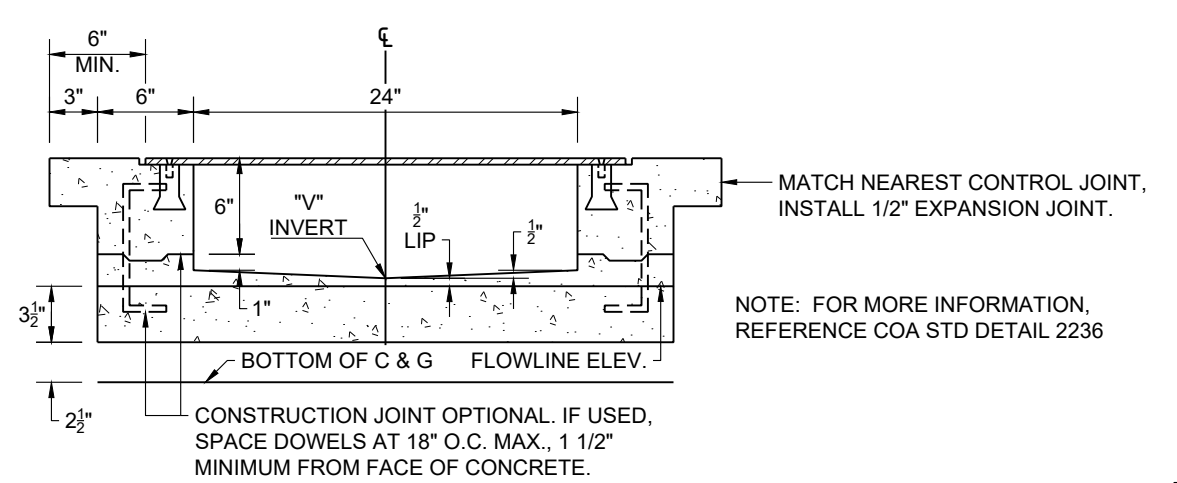
NOTE:
1. ALL PROPOSED ELEVATIONS ARE AT FLOW LINE UNLESS OTHERWISE SPECIFIED.



CURB CUT DETAIL
NTS



SWALE DETAIL
NTS



SIDEWALK CULVERT DETAIL
NTS

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REVISIONS

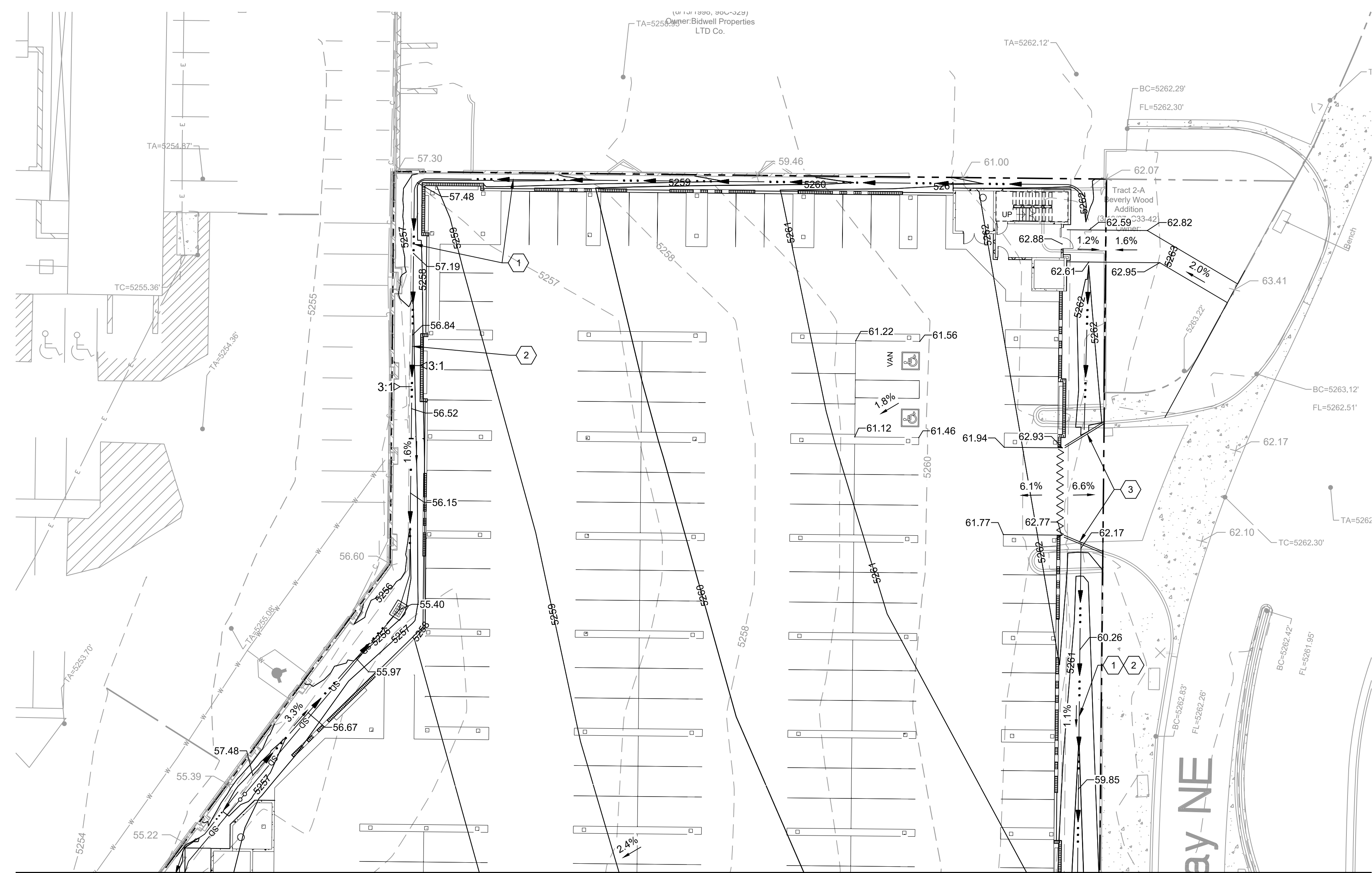
NO.	DATE	DESCRIPTION

CD SET
DATE: October 30, 2019 ORB # 16-221

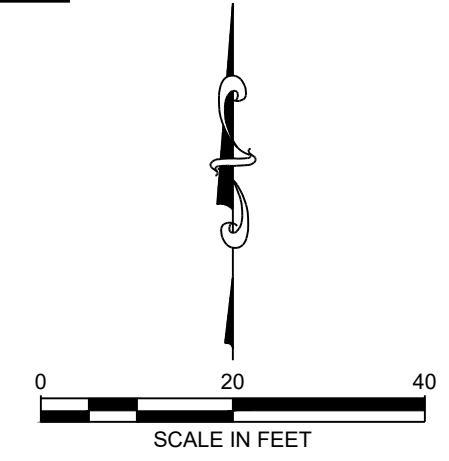
C-201

OVERALL GRADING PLAN

FILE: \\Active Projects\03064-Kassam Legacy Uptown\3. DWG\Streets\03064 Grading.dwg USER: jsh.tapia DATE: Oct. 29 2019 TIME: 04:11 pm



SEE SHEET C-203



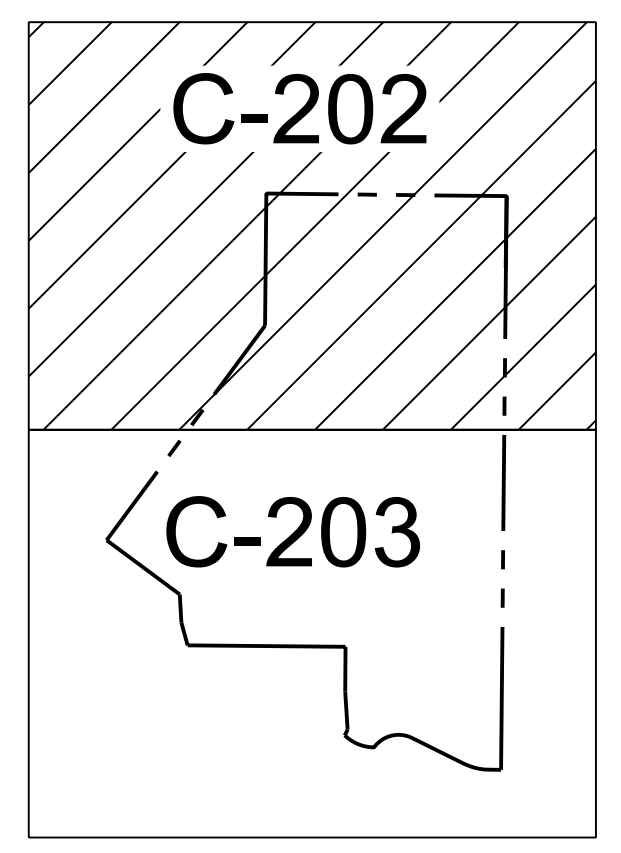
LEGEND

- EXISTING PROPERTY BOUNDARY
- - - PROPOSED PROPERTY BOUNDARY
- - - 4965 EXISTING MAJOR CONTOUR
- - - 4964 EXISTING MINOR CONTOUR
- - - 4964 PROPOSED CONTOUR
- ~~~~~ PROPOSED WATER BLOCK
- PROPOSED FLOW LINE
- ▨ PROPOSED RIPRAP
- xx.xx PROPOSED SPOT ELEV
- xx.xx EXISTING SPOT ELEV

KEYED NOTES

I.D.#	DESCRIPTION
1	INSTALL SWALE PER DETAIL C-201
2	INSTALL 3/4" GRAVEL ON 3:1 SLOPES
3	BUILD NEW STANDARD CURB AND GUTTER. SEE DETAIL THIS SHEET.

NOTE:
1. ALL PROPOSED ELEVATIONS ARE AT FLOW LINE UNLESS OTHERWISE SPECIFIED.



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CD SET

DATE: October 30, 2019 ORB # 16-221

C-202

GRADING PLAN

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SEE SHEET C-202

LEGEND

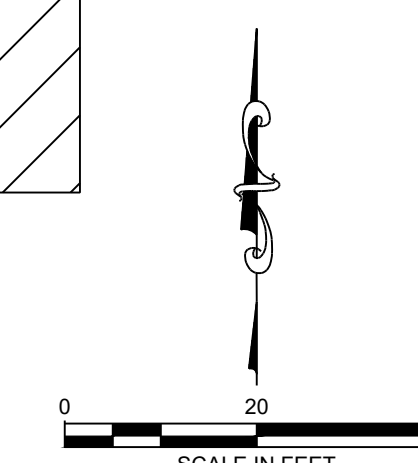
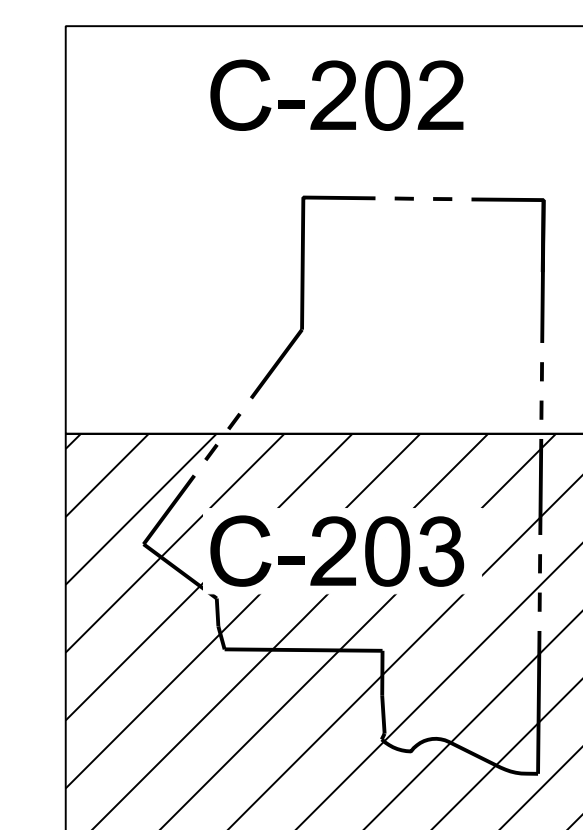
---	EXISTING PROPERTY BOUNDARY
- - - -	PROPOSED PROPERTY BOUNDARY
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED CONTOUR
~~~~~	PROPOSED WATER BLOCK
---	PROPOSED FLOW LINE
---	PROPOSED RIPRAP
xx.xx	PROPOSED SPOT ELEV
xx.xx	EXISTING SPOT ELEV

**KEYED NOTES**

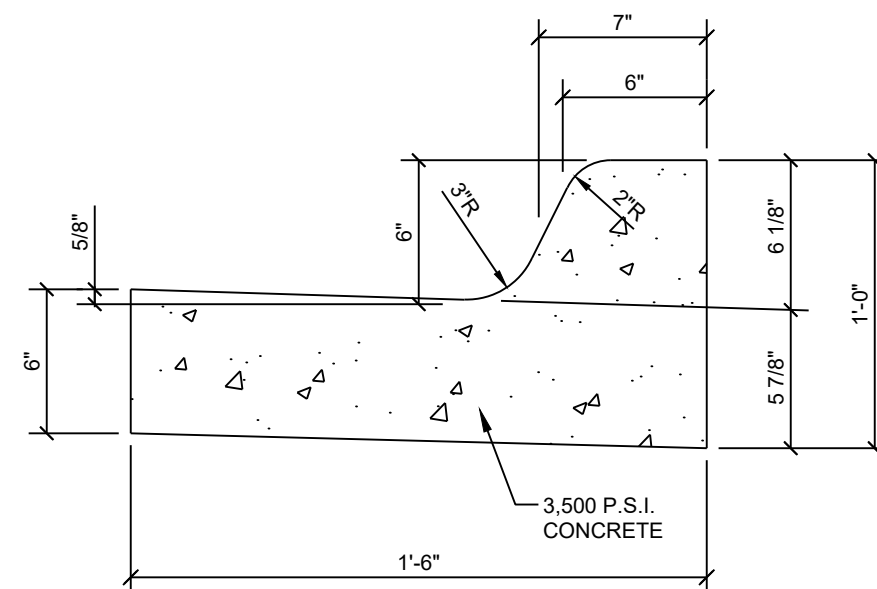
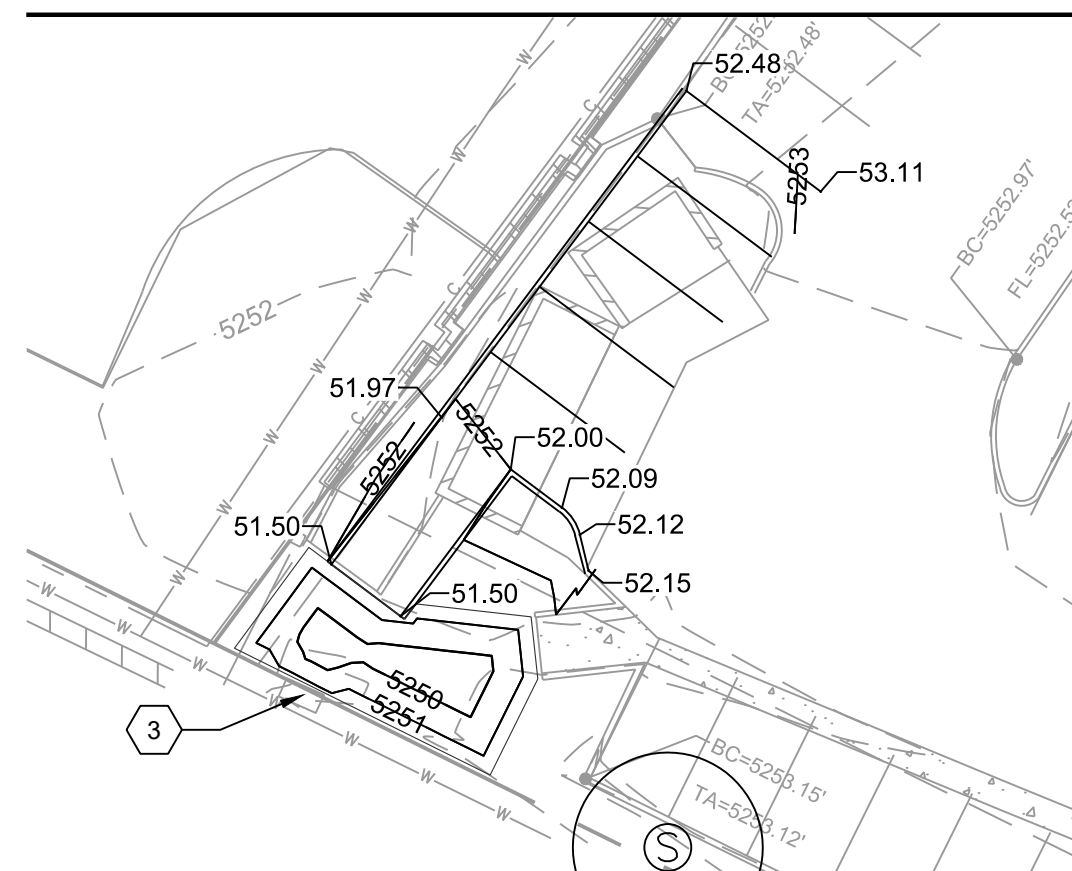
ID.#	DESCRIPTION
1	INSTALL 24" SIDEWALK CULVERT SEE DETAIL SHEET C-201
2	INSTALL 4' CURB CUT SEE DETAIL SHEET C-201
3	EXISTING DROP INLET
4	BUILD NEW STANDARD CURB AND GUTTER. SEE DETAIL THIS SHEET.
5	BUILD NEW HEADER CURB. SEE DETAIL THIS SHEET.
6	BUILD CURB TRANSITION FROM STANDARD CURB TO HEADER CURB
7	BUILD NEW RIP RAP PLUNGE POOL. SEE DETAIL THIS SHEET.

**NOTE:**

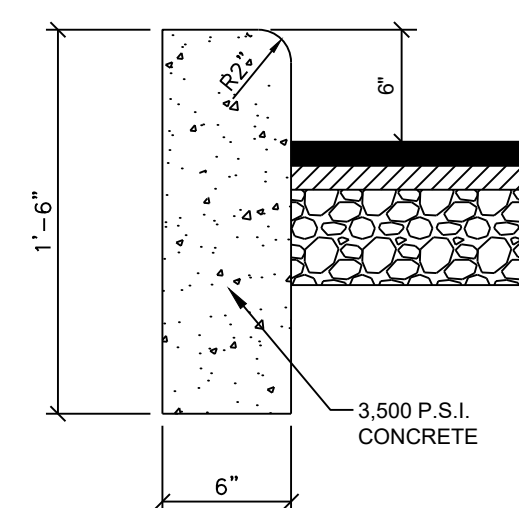
- ALL PROPOSED ELEVATIONS ARE AT FLOW LINE UNLESS OTHERWISE SPECIFIED.



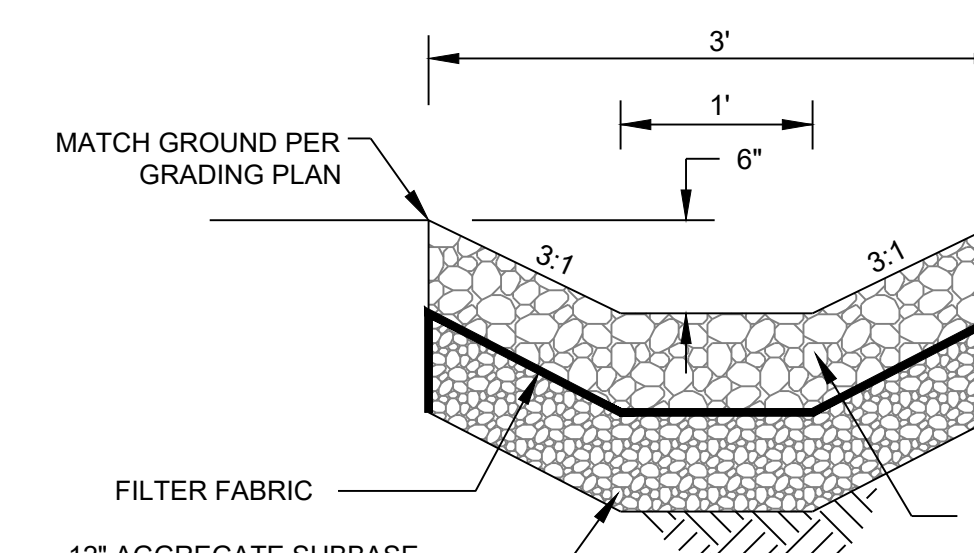
**SOUTHWEST POND LOCATION**



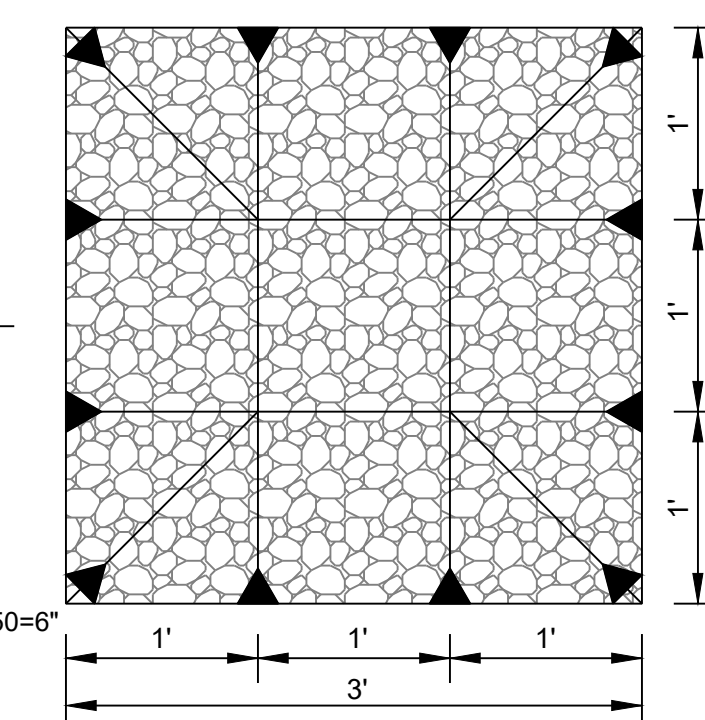
**STANDARD CURB & GUTTER**  
NO SCALE



**HEADER CURB**  
NO SCALE



**SECTION VIEW**



**PLAN VIEW**

**RIP RAP PLUNGE POOL DETAIL**  
NOT TO SCALE

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**REVISIONS**

NO.	DESCRIPTION

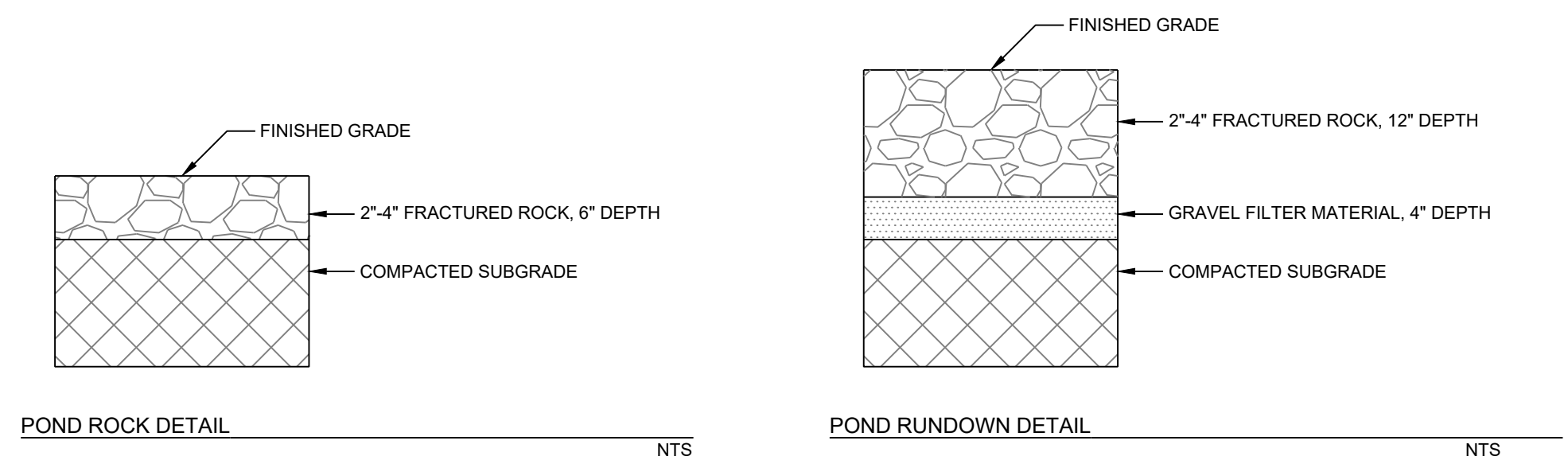
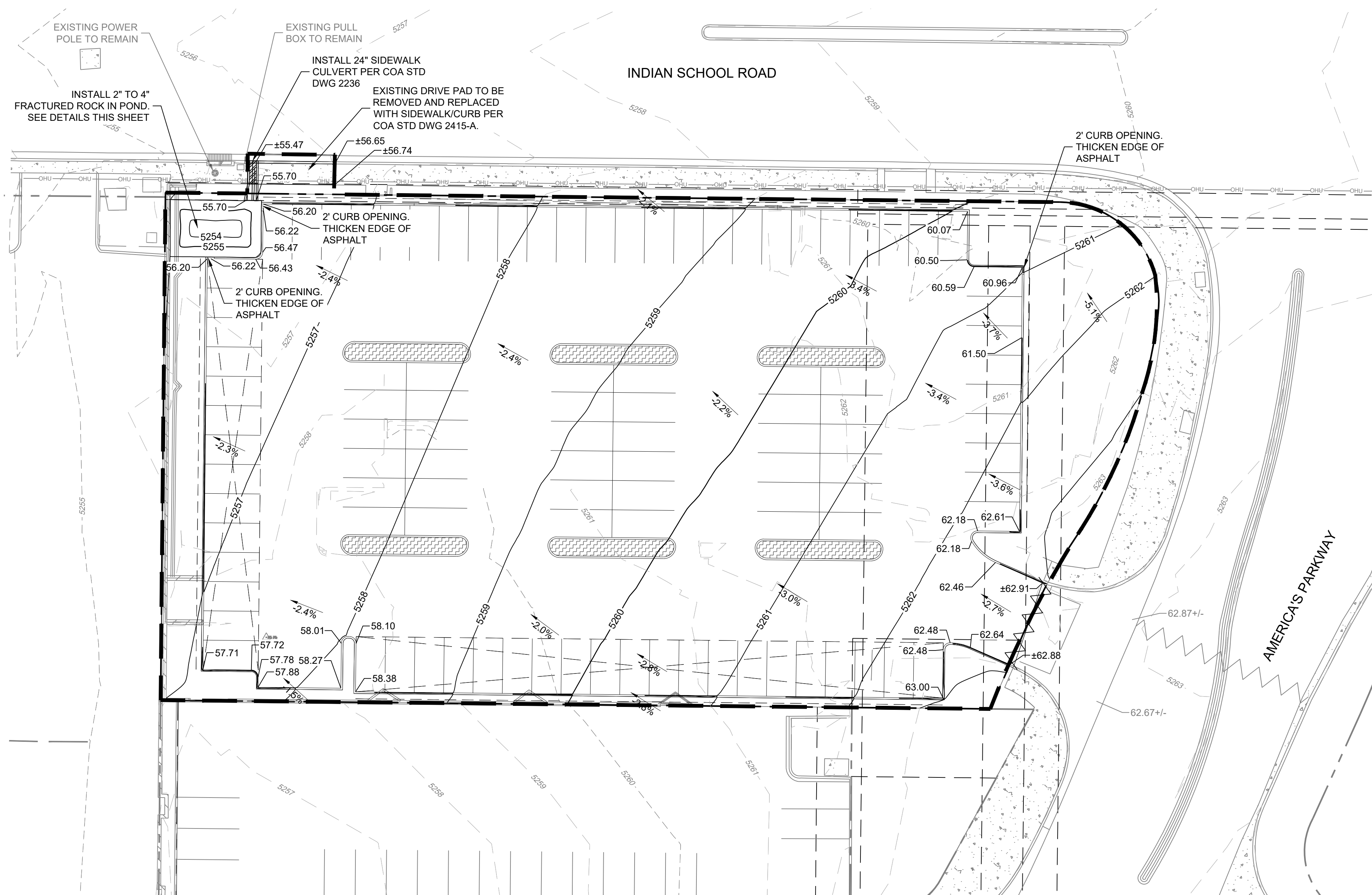
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DATE: October 30, 2019 ORB # 16-221

# C-203

GRADING PLAN

NAME: N:\Projects\04266.0003 Legacy RGT Parking_Lot3_DWG\Sheets\04266.0003 S Grading Plan.dwg PLOT DATE: Mar 09, 2021 3:41pm



**SPOT ELEVATION SYMBOLS**

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 90.25 FLOWLINE ELEVATION
  - 90.25± MATCH EXISTING GRADE ELEVATION (APPROXIMATE)
  - TS 90.25 TOP OF SIDEWALK ELEVATION
  - TC 90.25 TOP OF CURB ELEVATION

**BENCH MARKS**

- ACS MONUMENT "15_118" HAVING AN ELEVATION OF 5280.154

**GRADING NOTES**

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- ALL DISTURBED AREAS TO BE RE-SEEDED OR LANDSCAPED PER LANDSCAPE PLAN PROVIDED BY OTHERS.

**PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19-50-19)**

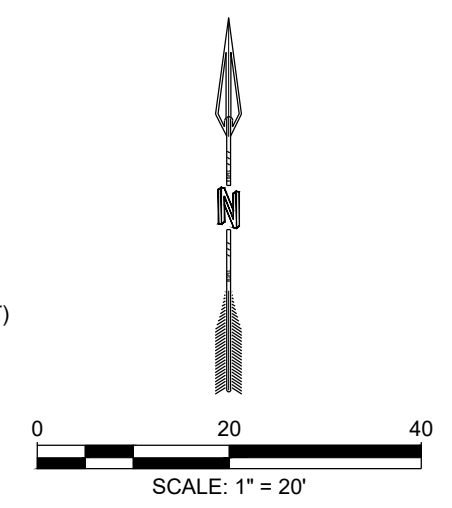
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
- CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

REV. 01/27/21



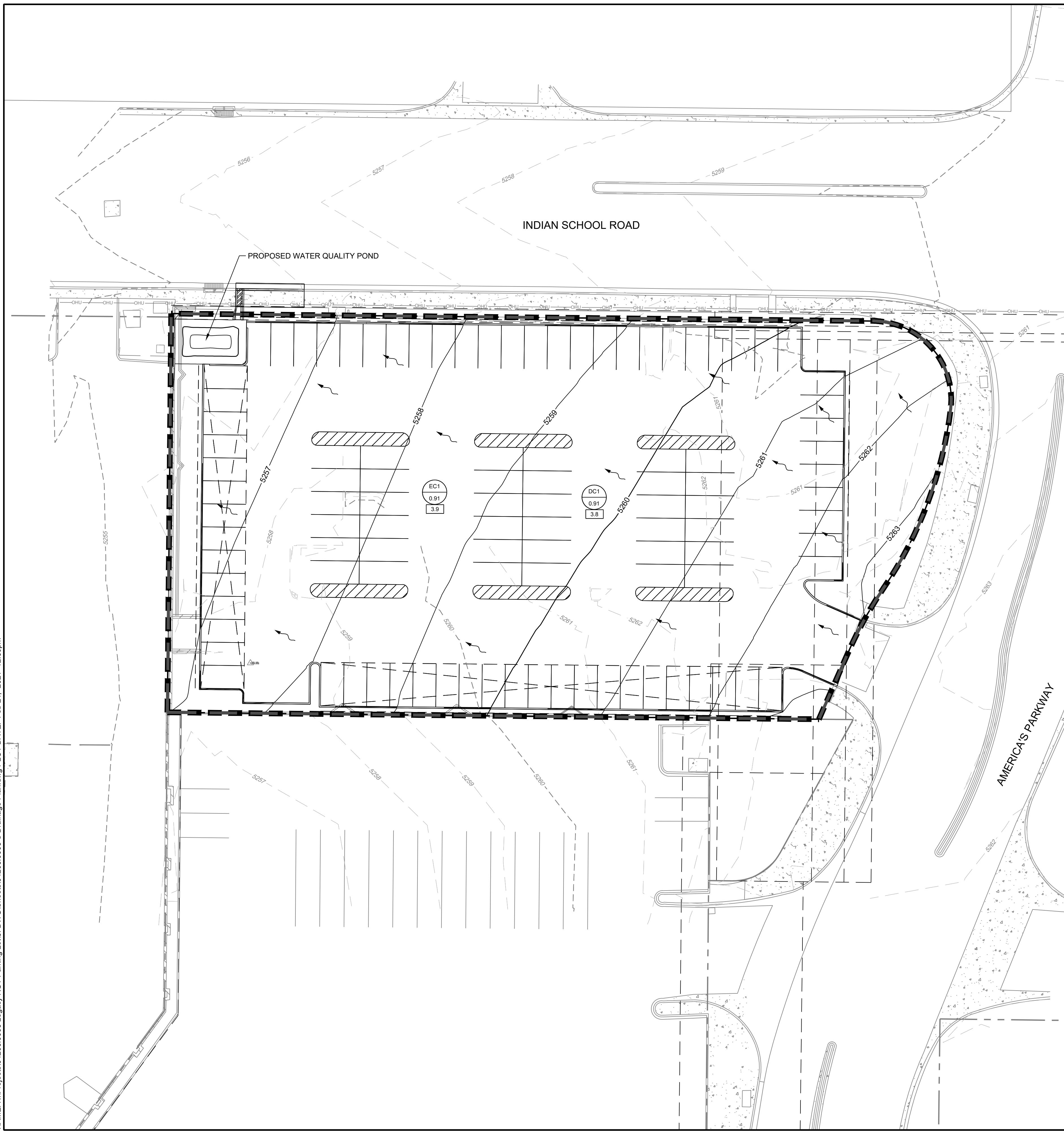
**SYMBOL LEGEND**

- 7290 — PROPOSED MAJOR CONTOUR
- 7291 — PROPOSED MINOR CONTOUR
- - - 7290 - - - EXISTING MAJOR CONTOUR
- - - 7291 - - - EXISTING MINOR CONTOUR
- 1.0% → PROPOSED SLOPE ARROW
- — — — — PROPERTY LINE
- — — — — LIMITS OF GRADING
- ~~~~~ GRADE BREAK (HIGH POINT)



DESIGNED BY: JVS DRAWN: SG/SD CHECKED: J.S. DATE: 3.09.2021	<b>RESPEC</b> COMMUNITY DESIGN SOLUTIONS 6771 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87113 WWW.RESPEC.COM PHONE (505) 253-9718	REVISION _____ _____ _____
STAMP 		
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.		
PROJECT NAME:	LEGACY RGT PARKING LOT	
SHEET TITLE:	GRADING PLAN	
SUBMITTED FOR:	CONSTRUCTION	
SHEET NUMBER:	C-101	

NAME: N:\Projects\042665.0003 Legacy RGT Parking Lot3_DWG\Sheets\042665.0003 S Drainage Plan.dwg PLOT DATE: Feb 24, 2021 12:50pm



**BACKGROUND**

6400 INDIAN SCHOOL ROAD NORTHEAST IS APPROXIMATELY 0.912 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THIS LOCATION IS NEAR THE INTERSECTION OF INDIAN SCHOOL ROAD NE AND AMERICA'S PARKWAY NE. THE INTENT FOR THIS PROPERTY IS TO BE USED AS A PARKING LOT TO SERVE THE APARTMENTS LOCATED SOUTH OF INDIAN SCHOOL ROAD AND AMERICA'S PARKWAY. THERE IS NO DESIGNATED 100-YR FLOOD ZONE SHOWN ON THE SITE.

**METHODOLOGY**

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 22.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.26". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

**EXISTING CONDITIONS**

THE SITE, IN GENERAL, SLOPES FROM SOUTHEAST TO NORTHWEST AT VARYING SLOPES FROM 1% - 5%. STORM WATER RUNOFF GENERATED BY THE EXISTING BUILDING AND PARKING AREA OF FLOW GENERALLY TO THE NORTHWEST. THE EXISTING CONDITION HAVE BEEN SPLIT INTO ONE SUB-BASINS TO INDICATE FLOWS GOING TO THE SOUTHEAST AND NORTHWEST.

SUB-BASIN EC1 IS 0.912 ACRES CONSISTING OF ALL EXISTING FLOWS. THE EXISTING FLOW IS 3.9 CFS THAT FLOWS FROM THE SOUTHEAST TO THE NORTHWEST. ALL RUNOFF DISCHARGES TO INDIAN SCHOOL RD UNDER EXISTING CONDITIONS EITHER VIA THE EXISTING DRIVEWAY OR SIDEWALK CULVERTS.

**DEVELOPED CONDITIONS**

THE DRAINAGE INTENTION OF THE DEVELOPED CONDITIONS IS TO MATCH THE EXISTING DRAINAGE PATTERN. EXISTING SITE INFRASTRUCTURE WILL BE REMOVED PRIOR TO CONSTRUCTION AND THE NEW PARKING LOT WILL BE INSTALLED. DEVELOPED FLOWS DECREASE SLIGHTLY.

SUB-BASIN DC1 IS 0.912 ACRES CONSISTING OF ALL THE PARKING AREA. THERE IS SOME LANDSCAPE ALONG THE SIDES OF THE SITE. STORM WATER RUN-OFF GENERATED BY THE PARKING AREA IS DIRECTED TO THE NORTHWEST AND INTO THE PROPOSED SURFACE POND, WHICH DISCHARGES TO INDIAN SCHOOL ROAD THROUGH A PROPOSED SIDEWALK CULVERT. THE SUB-BASIN GENERATES 3.8 CFS AND IS INTENDED TO MATCH EXISTING CONDITIONS.

THE WATER QUALITY TABLE LOCATED ON THIS SHEET UNDER "HYDROLOGY CALCULATIONS" SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED FOR DEVELOPED CONDITIONS. THERE IS ONE WATER QUALITY POND ONSITE TO ACCOMMODATE DEVELOPED FLOWS AND IS LOCATED IN THE NORTHWEST CORNER. THIS POND IS SIZED AT 341 CU-FT. FLOWS FROM DC1 FLOW INTO THIS WATER QUALITY POND. THE REQUIRED WATER QUALITY VOLUME FOR THE FIRST FLUSH FROM DC1 IS 708 CU-FT. THEREFORE, THE PAYMENT-IN-LIEU OF WATER QUALITY AMOUNT IS 367 CF X \$8/CF = \$2,936.

**Hydrology Calculations**

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

**Runoff Rate:**

Treatment Type Areas

Subbasin	Area _A (ac)	Area _B (ac)	Area _C (ac)	Area _D (ac)	Total (ac)
EC1	0.00	0.06	0.06	0.79	0.91
DC1	0.00	0.08	0.08	0.75	0.91

Peak Discharge values based on Zone 3 from Table A-9

$Q_A = 1.84 \text{ cfs/ac}$      $Q_B = 2.49 \text{ cfs/ac}$      $Q_C = 3.17 \text{ cfs/ac}$      $Q_D = 4.49 \text{ cfs/ac}$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
EC1	3.9
DC1	3.8

**Water Quality:**

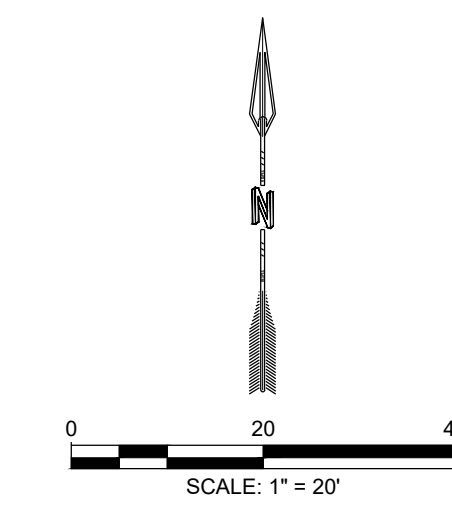
Required Water Quality volume for first flush of 0.26"

Subbasin	Volume (cu. ft.)
EC1	N/A
DC1	708



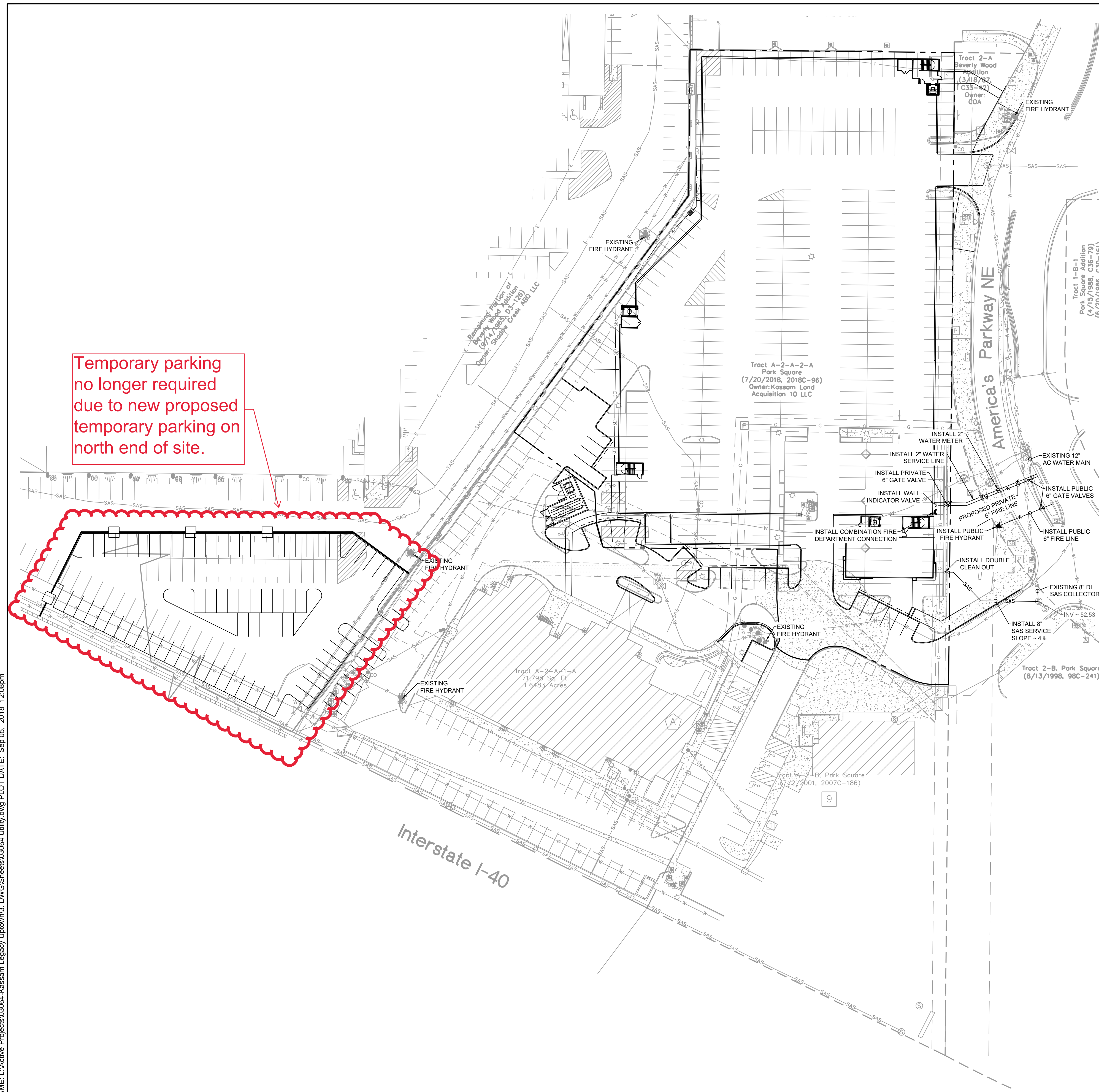
**LEGEND**

- BASIN DESIGNATION
- BASIN AREA, ACRES
- 100 YEAR STORM, CFS
- EXISTING SUB-BASIN BOUNDARY
- PROPOSED SUB-BASIN BOUNDARY
- DIRECTION OF DRAINAGE FLOW
- PROPERTY LINE

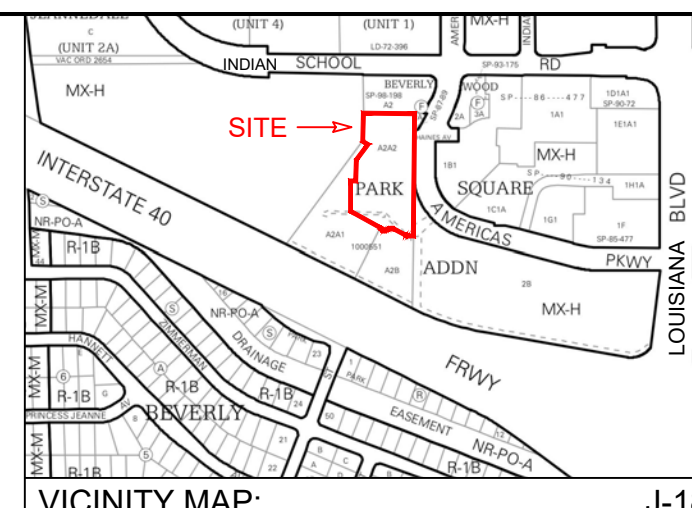
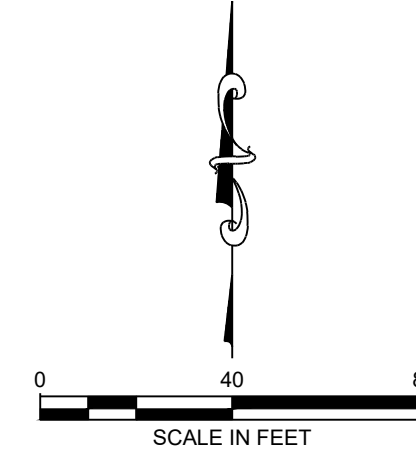


<p>DESIGNED BY DRAWN CHECKED DATE</p>	<p>SG/SID J.S. 2.24.2021</p>	<p>REVISION</p>
<p><b>RESPEC</b> COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87110 WWW.RESPEC.COM PHONE (505) 253-9718</p>		
<p>STAMP </p>		
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p>		
<p></p>		
<p>PROJECT NAME:</p>	<p>LEGACY RGT PARKING LOT</p>	
<p>SHEET TITLE:</p>	<p>DRAINAGE PLAN</p>	
<p>SUBMITTED FOR:</p>	<p>CONSTRUCTION</p>	
<p>SHEET NUMBER:</p>	<p>C-102</p>	

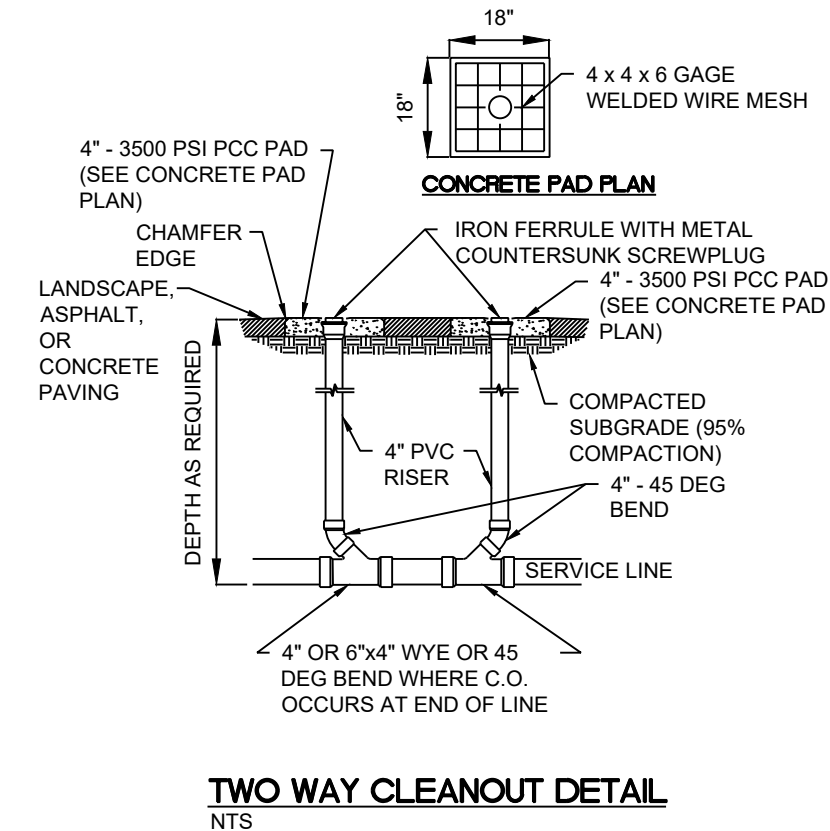
NAME: L:\Active Projects\03064-Kassam Legacy Uptown\3. DWG\Sheets\03064_UTILITY.dwg PLOT DATE: Sep 05, 2018 12:08pm



Temporary parking no longer required due to new proposed temporary parking on north end of site.



GENERAL NOTE:  
1. TYPE RBPB BACKFLOW PREVENTERS FOR THE PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO THE PROPOSED BUILDING PER COA STD DWG 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.



**LEGEND**

---	PROPOSED PROPERTY BOUNDARY
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER LINE

DESIGNED	RB	RESPEC
DRAWN	JS	5971 JEFFERSON STREET
CHECKED	HF	SUITE 101
DATE	9.05.2018	ALBUQUERQUE, NM 87109
		PHONE (505) 243-2287

REVISION

STAMP

W. FLOID  
NEW MEXICO  
19633  
PRELIMINARY  
NOT FOR CONSTRUCTION  
9/2018

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

nm811  
Know what's below.  
Call before you dig.

PROJECT NAME:  
MARKANA UPTOWN  
AMERICAS PARKWAY NE  
ALBUQUERQUE, NEW MEXICO

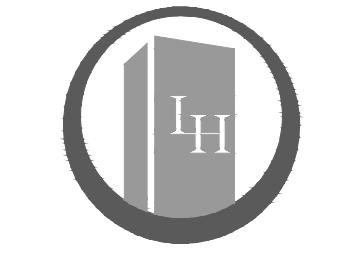
SHEET TITLE:  
CONCEPTUAL  
UTILITY PLAN

ISSUED FOR:  
SITE PLAN FOR  
BUILDING PERMIT

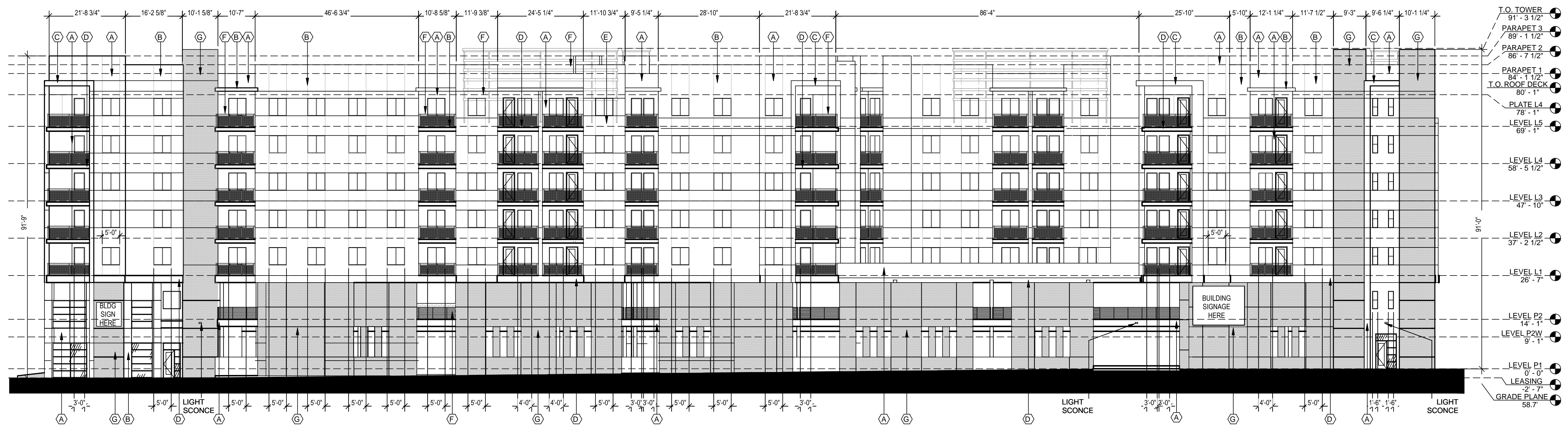
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C-3



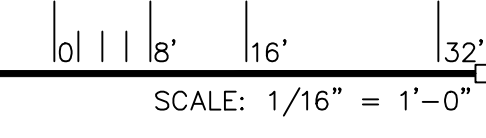
WorldHQ@ORBArch.com



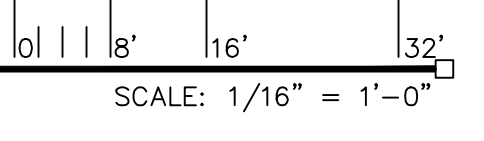
LEGACY HOSPITALITY



**EAST ELEVATION**



**WEST ELEVATION**



**MATERIAL KEY NOTES:**

- (A) STUCCO FINISH DUNN EDWARDS DE6365 "COLD MORNING" LRV 73
- (B) STUCCO FINISH DUNN EDWARDS DE6367 "COVERED IN PLATINUM" LRV 46
- (C) STUCCO FINISH DUNN EDWARDS DE6369 "LEGENDARY GRAY" LRV 18
- (D) STUCCO FINISH DUNN EDWARDS DE6378 "JET" LRV 9
- (E) STUCCO FINISH DUNN EDWARDS DE6371 "BLACK JACK" LRV 8
- (F) BALCONY METAL RAILING, CANOPIES PAINTED DUNN EDWARDS DE6378 "JET" LRV 9
- (G) BRICK VENEER MCNEAR THIN BRICK COLOR "TANGIERS"

**DRB SUBMITTAL**

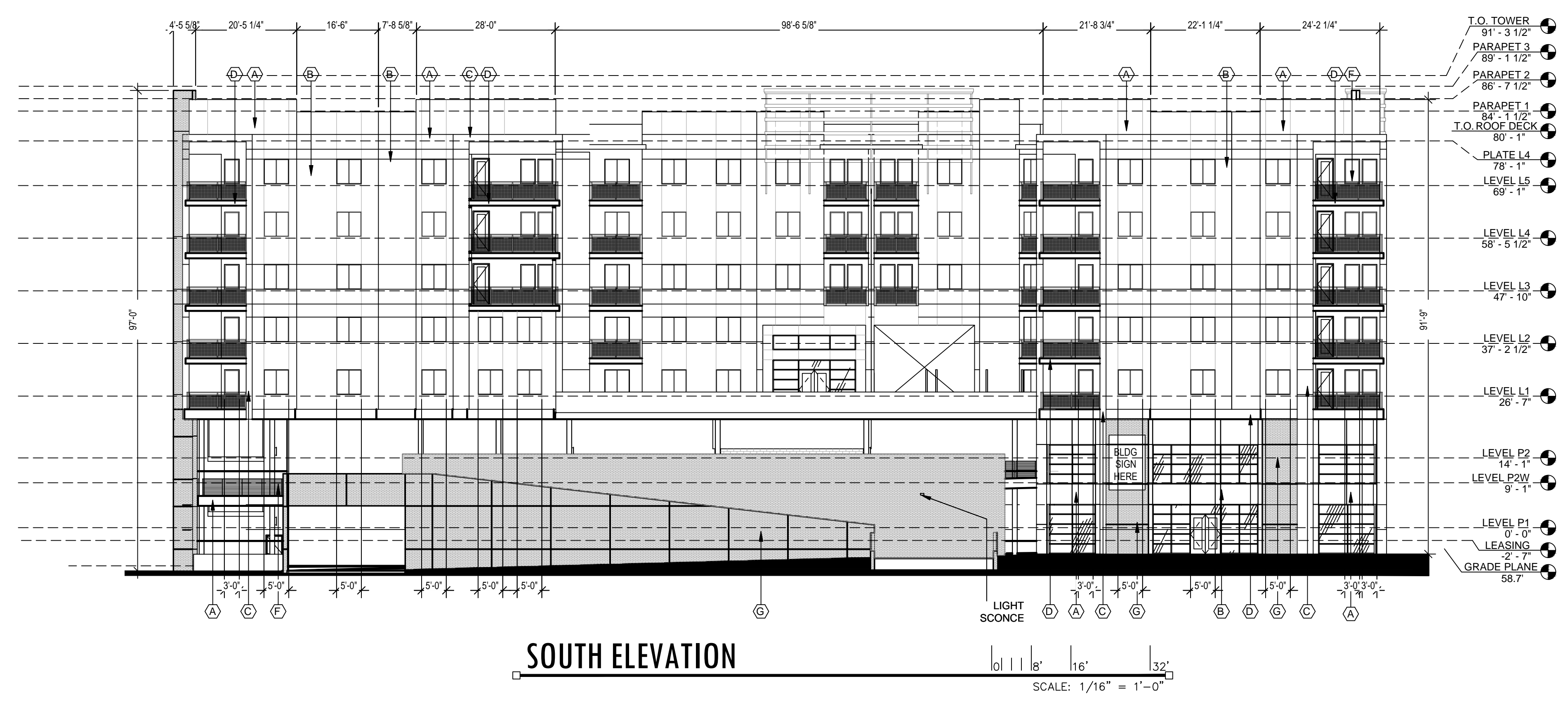
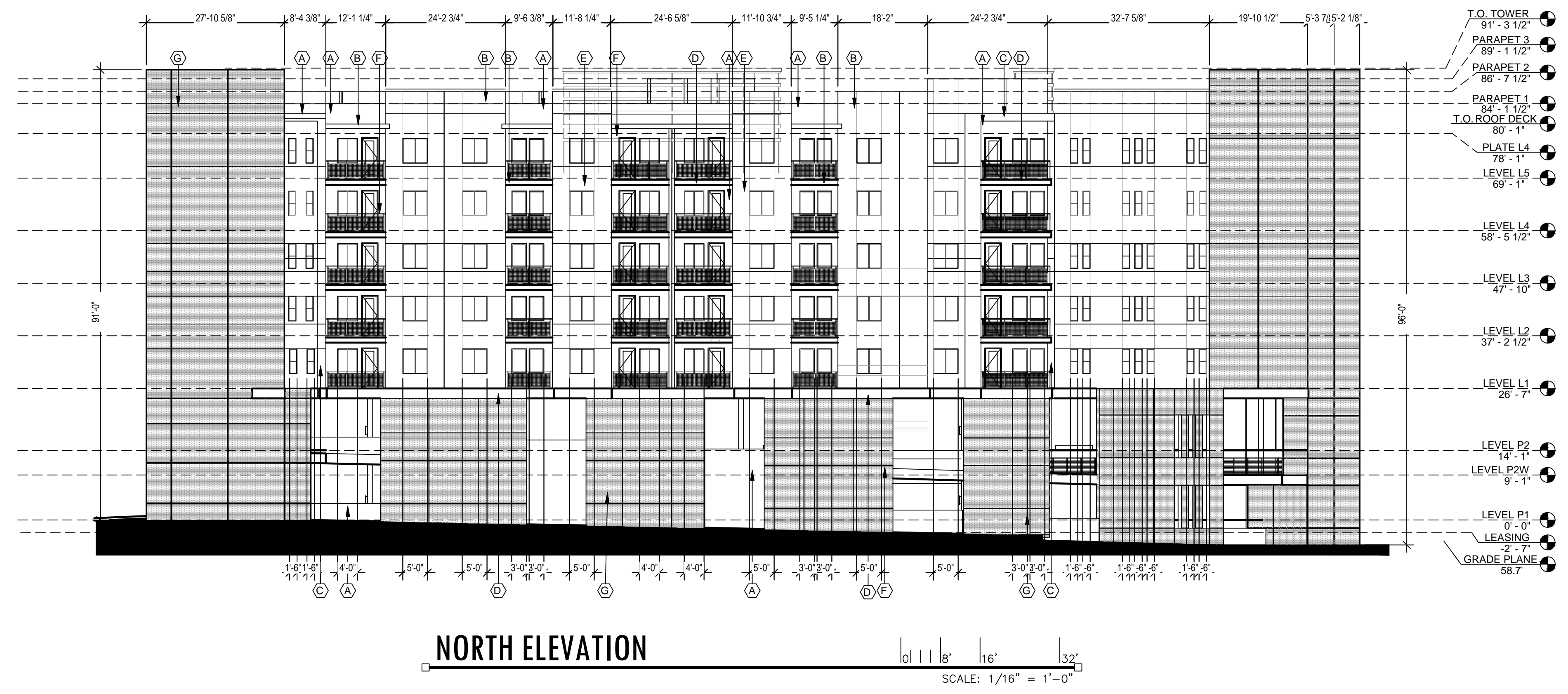
DATE: JANUARY 22, 2020 ORB # 16-221

**A3.14**

BUILDING  
EXTERIOR ELEVATIONS

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FILE: \\cf-server\cf_008 Files\008 Drive T\ORB\ORB Job Files\16-221_LH_Uptown\CAD Files\Construction Documents\Adding floor\16-221-Elevations for color.dwg USER:Usaurio DATE:Jan, 22, 2020 TIME: 12:09 pm

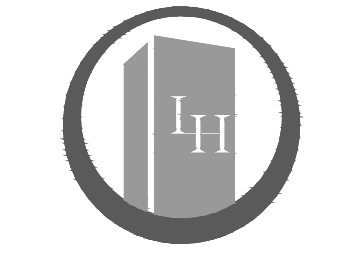


# MARKANA UPTOWN

6500 Americas Parkway NE  
Albuquerque, NM 87110



WorldHQ@ORBArch.com



LEGACY HOSPITALITY

### MATERIAL KEY NOTES:

- (A) STUCCO FINISH DUNN EDWARDS DE6365 "COLD MORNING" LRV 73
- (B) STUCCO FINISH DUNN EDWARDS DE6367 "COVERED IN PLATINUM" LRV 46
- (C) STUCCO FINISH DUNN EDWARDS DE6369 "LEGENDARY GRAY" LRV 18
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- (G) BRICK VENEER MCNEAR THIN BRICK COLOR "TANGIERS"

### DRB SUBMITTAL

DATE: JANUARY 22, 2020 ORB # 16-221

# A3.15

BUILDING EXTERIOR ELEVATIONS

**Easement Notes**

- EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
- EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126) & (6/29/1984, C24-89)
- EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- INTENTIONALLY OMITTED
- EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (8/7/1998, BK. 98-13, PG. 8016)
- INTENTIONALLY OMITTED
- INTENTIONALLY OMITTED
- EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DOC. NO. 2007144250)
- EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, PRIVATE CROSS LOT UTILITY EASEMENT AND RECIPROCAL PRIVATE CROSS PARKING EASEMENT BENEFITING AND MAINTAINED BY TRACT A-2-B AND TRACTS A-2-A & A-2-B (7/2/2001, 2001C-186) (4/19/2011, 2011C-35)
- PRIVATE CROSS LOT DRAINAGE EASEMENT ACROSS TRACTS A-2-A-2 AND A-2-A-1 BENEFITING AND MAINTAINED BY TRACT A-2-B (8/13/1998, 98C-241)
- PRIVATE PARKING, VEHICULAR ACCESS, AND PEDESTRIAN EASEMENT BENEFITING AND MAINTAINED BY TRACTS 1-B-1, A-2-A-1 AND A-2-A-2, PARK SQUARE (7/15/1998, BK. 9812, PG. 6785)(7/31/2002, BK. A39, PG. 6377) (1/14/2005, BK. A90, PG. 7567)(5/19/2007, BK. A136, PG. 8823)
- PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- PRIVATE CROSS LOT DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- EXISTING 33' COA WATER & SEWER EASEMENT (6/29/1984, C24-89)
- 10' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAT

**DEVELOPMENT DATA**

**NET SITE AREA:**  
 TRACT A-2-A-2-A 2.4244 ACRES (105,609 S.F.)  
 TRACT A-2-A-1-A 1.6520 ACRES (71,959 S.F.)

**SETBACKS REQUIRED:**  
 ALLOWED 0' FRONT(E) 0' SIDE(N) 0' SIDE(S) 15' REAR(W)  
 PROVIDED 10' 3' 2' 7'

**ZONING AND LAND USE:**  
 CURRENT: MX-H (UC-MS-PT)  
 LAND USE: RESTAURANT / HOTEL  
 MULTI-FAMILY RESIDENTIAL

**FLOOR AREA RATIO:**  
 BUILDING NET AREA 246,813 S.F.  
 F.A.R. PROVIDED 246,813 / 105,609 = 2.34

**BUILDING HEIGHT:**  
 ALLOWED: 99 FEET  
 PROPOSED: 97 FEET

**DENSITY:**  
 PROPOSED: 100.2 DU/ACRE

**BUILDING AREAS:**

LEVEL	S-2 GARAGE	R-2 RES.	A-3 ASSEMBLY			B LEASING	TOTAL	
			REC	FITNESS	POOL/HOUSE			
P1	73,768	598				1,960	76,326	
P2	73,888	192					74,080	
L1		45,006	1,864	1,344	652	3,860	48,866	
L2		50,415	855	662		1,517	46,702	
L3		50,415					50,415	
L4		50,415					50,415	
L5		50,415					50,415	
TOTAL	147,656	242,226	2,719	2,006	652	5,377	1,960	397,219

**LEGEND**

- DENOTES PROPERTY LINE
- ⬡ NO. OF PARKING SPACES
- ⬢ NO. OF COMPACT PARKING SPACES
- ⬤ DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- MS MONUMENT SIGNAGE
- DS DIRECTIONAL SIGNAGE - GROUND MOUNTED
- AW ACCESSIBLE WALKWAY SIGNAGE - BUILDING OR GROUND MOUNTED
- BM BUILDING MOUNTED SIGNAGE - SEE A3.4 & A3.41 FOR LOCATIONS

**USABLE OPEN SPACE:**

**REQUIRED:**  
 STUDIO 200 SF x 60 = 12,000 S.F.  
 1 BR 200 SF x 107 = 21,400 S.F.  
 2 BR 250 SF x 76 = 19,000 S.F.  
 TOTAL REQUIRED = 52,400 S.F.

**50% REDUCTION FOR PROPERTY BEING UC/MS/PT = 26,200 S.F.**

**PROVIDED:**  
 LEVEL L1 COURTYARDS 22,057 S.F.  
 PRIVATE BALCONIES 14,487 S.F.  
 AT GRADE ON SITE 10,418 S.F.  
 TOTAL PROVIDED 46,962 S.F.

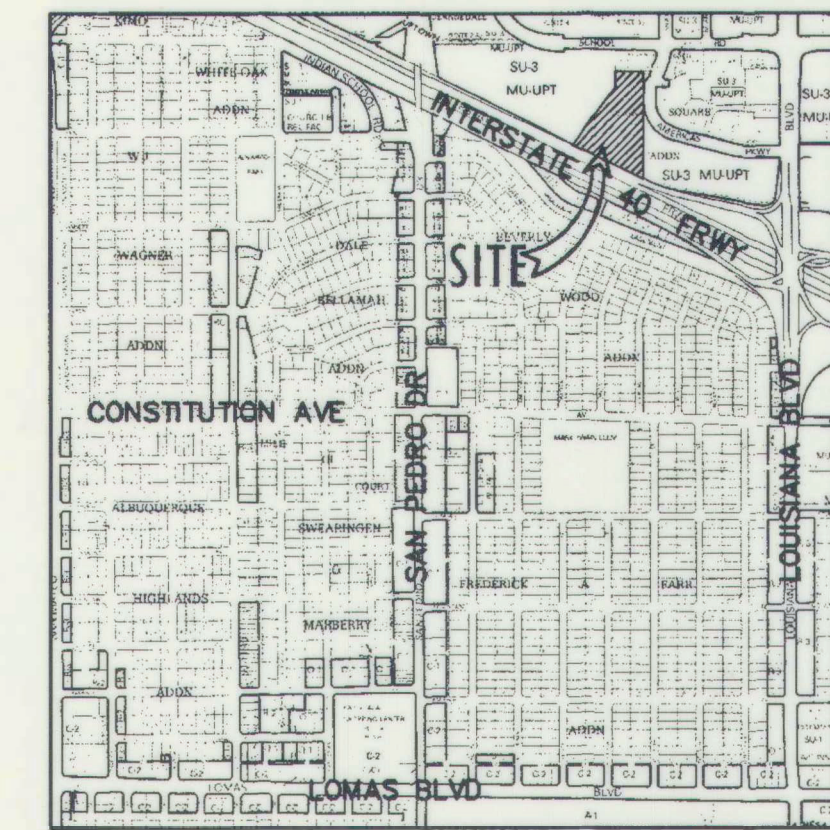
THE FIRST RESIDENTIAL LEVEL (PODIUM LEVEL L1) HAS TWO OPEN COURTYARDS, CONNECTED BY A COVERED BREEZEWAY. THE SOUTH COURTYARD IS THE POOL AREA WITH AMENITIES LIKE CABANAS, RAMADA, SEATING AREA. THE FITNESS CENTER, RECREATIONAL SPACE AND POOL HOUSE ARE PART OF THE BUILDING ORIENTED TOWARDS THE POOL COURTYARD. THE NORTH COURTYARD IS ANOTHER OPEN SPACE WITH RAMADAS, BARBECUES, GAME LAWN, AND SEATING AREAS.

**UNIT MIX:**

UNIT	LIVABLE	BALCONY	L1	L2	L3	L4	L5	TOTAL
S1	589 SF	44 SF	10	11	13	13		51
Sim1	618 SF	44 SF	1	1	2	2		8
S2H	754 SF	63 SF						1
A1	678 SF	46 SF	3					3
A2	634 SF	52 SF	12	12	12	12		60
A2m1	733 SF	67 SF	1	1	1	1		5
A3	754 SF	63 SF	7	6	6	6		31
A3H	754 SF	63 SF					1	1
B1	928 SF	51 SF	5	8	10	10		43
B2	1,022 SF	106 SF	6	5	6	6		29
B2H	1,022 SF	106 SF					1	1
B3	1,226 SF	135 SF					1	1
TOTAL			45	45	51	51	51	243

PARKING SPACE REQUIREMENTS	PARKING RATIO	PARKING REQUIRED
HOTEL (149 ROOMS)	2 PS / 3 ROOMS (1)	99
MULTI-FAMILY (243 DWELLING UNITS)	1 PS / DU (1)	243
SUBTOTAL FOR REDUCTION		342
TRANSIT REDUCTION (2)		34
SUBTOTAL AFTER TRANSIT REDUCTION		308
RESTAURANT (270 SEATS)	1 PS / 3 SEATS (3)	90
OPS OFFICE (PER PARKING AGREEMENT)	N/A	191
<b>TOTAL PARKING SPACES REQUIRED</b>		<b>589</b>
OPEN PARKING SPACES PROVIDED		162
GARAGE P1 LEVEL COMPACT PARKING SPACES PROVIDED		220
GARAGE P2 LEVEL COMPACT PARKING SPACES PROVIDED		210
<b>TOTAL PARKING SPACES PROVIDED</b>		<b>592</b>
COMPACT PARKING SPACES ALLOWED		200
OPEN COMPACT PARKING SPACES PROVIDED		-
GARAGE P1 LEVEL COMPACT PARKING SPACES PROVIDED		63
GARAGE P2 LEVEL COMPACT PARKING SPACES PROVIDED		65
<b>TOTAL COMPACT PARKING SPACES PROVIDED</b>		<b>128</b>
ACCESSIBLE PARKING SPACES REQUIRED		13
OPEN ACCESSIBLE PARKING SPACES PROVIDED		5
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		8
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		4
<b>TOTAL ACCESSIBLE PARKING SPACES PROVIDED</b>		<b>17</b>
MOTORCYCLE PARKING SPACES REQUIRED		4
HOTEL AND RESTAURANT		4
<b>TOTAL MOTORCYCLE PARKING SPACES PROVIDED</b>		<b>4</b>
BICYCLE PARKING SPACES REQUIRED		40
10% OF REQUIRED VEHICULAR PARKING REQUIRED (1400 PARKING SPACES EXCLUDING OFFICE)		8
OPEN ON SITE RACKS PARKING SPACES PROVIDED		32
IN BIKE ROOM PARKING SPACES PROVIDED		40
<b>TOTAL ACCESSIBLE PARKING SPACES PROVIDED</b>		<b>40</b>

- NOTES:**
- SITE IS LOCATED IN THE UPTOWN URBAN CENTER.
  - TRANSIT ROUTE 157 IS ALONG AMERICAS PARKWAY AND TRANSIT ROUTES 34, 6, AND 766 ARE ALONG INDIAN SCHOOL ROAD. BUS STOPS ARE LOCATED TO THE EAST ALONG AMERICAS PARKWAY IN FRONT OF THE MARRIOTT AND PARK SQUARE. THE SITE IS LOCATED WITHIN 1,320 FEET OF THE UPTOWN TRANSIT CENTER, SO PARKING MAY BE REDUCED UP TO 30% PER IDO SECTION 14-16-5-(5)(C)(5)(C). THE DEVELOPER HAS VOLUNTARILY CHOSEN TO TAKE AN APPROXIMATE 10% REDUCTION.
  - PER ORIGINAL APPROVAL.



**VICINITY MAP**  
NOT TO SCALE

**KEYNOTES**

- 8'-6"x18" PARKING SPACE, TYPICAL, SEE DETAIL 01/A1.20
- 11'x18" ACCESSIBLE PARKING SPACE, SEE DETAIL 05/A1.20.
- ACCESSIBLE DRIVEWAY CROSSING MARKING TO COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- 8'x15' COMPACT PARKING SPACE.
- TRASH YARD ENCLOSURE WITH COMPACTOR SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 14/A1.20. TRASH YARD TO BE SHARED WITH HOTEL TO THE SOUTH.
- 10'x30' LOADING PARKING SPACE.
- 6' SIDEWALK CONNECTING TO PUBLIC WAYS.
- BICYCLE PARKING LOCATION, SEE DETAIL 08/A1.20.
- EXISTING PERIMETER WALL.
- EXISTING STREET CURB WITH 15'-6" MIN. SIDEWALK AT AMERICA'S PARKWAY.
- EXISTING HOTEL BUILDING.
- EXISTING RESTAURANT BUILDING (NOT A PART).
- EXISTING DRIVEWAY ENTRY.
- SIGHT VISIBILITY. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING HOTEL SIGN TO REMAIN.
- MOTORCYCLE PARKING.

**GENERAL NOTES**

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- THE MATERIALS USED FOR CROSSWALKS WILL COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- SITE WILL COMPLY WITH THE LIGHTING STANDARDS IN THE MX-H ZONE AND IDO SECTION 14-16-5-7.
- REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING MONUMENT/DIRECTIONAL/BRANDING SIGNAGE WILL BE A DELEGATED DESIGN. LOCATIONS ARE PROVIDED ON THIS PLAN FOR COORDINATION PURPOSES.

PROJECT NUMBER: PR-2018-001284  
 Application Number: SI-2020-00028

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

*[Signature]* 03-09-20  
 Traffic Engineering, Transportation Division Date

*[Signature]* Digitally signed by Kristopher Cadena  
 ABCWUA Date: 2020.03.30 17:11:08 -0600

*[Signature]* 03-04-20  
 Parks and Recreation Department Date

*[Signature]* 3-4-2020  
 City Engineer Date

*[Signature]* 3-4-20  
 Solid Waste Management Date

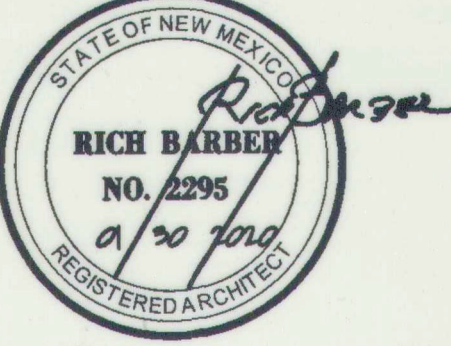
*[Signature]* 3/4/2020  
 Code Enforcement Date

*[Signature]* Digitally signed by Jolene Wolfley  
 Date: 2020.03.31 09:40:35 -0600

DRB Chairperson, Planning Department Date

**MARKANA UPTOWN**  
 6500 Americas Parkway NE  
 Albuquerque, NM 87110

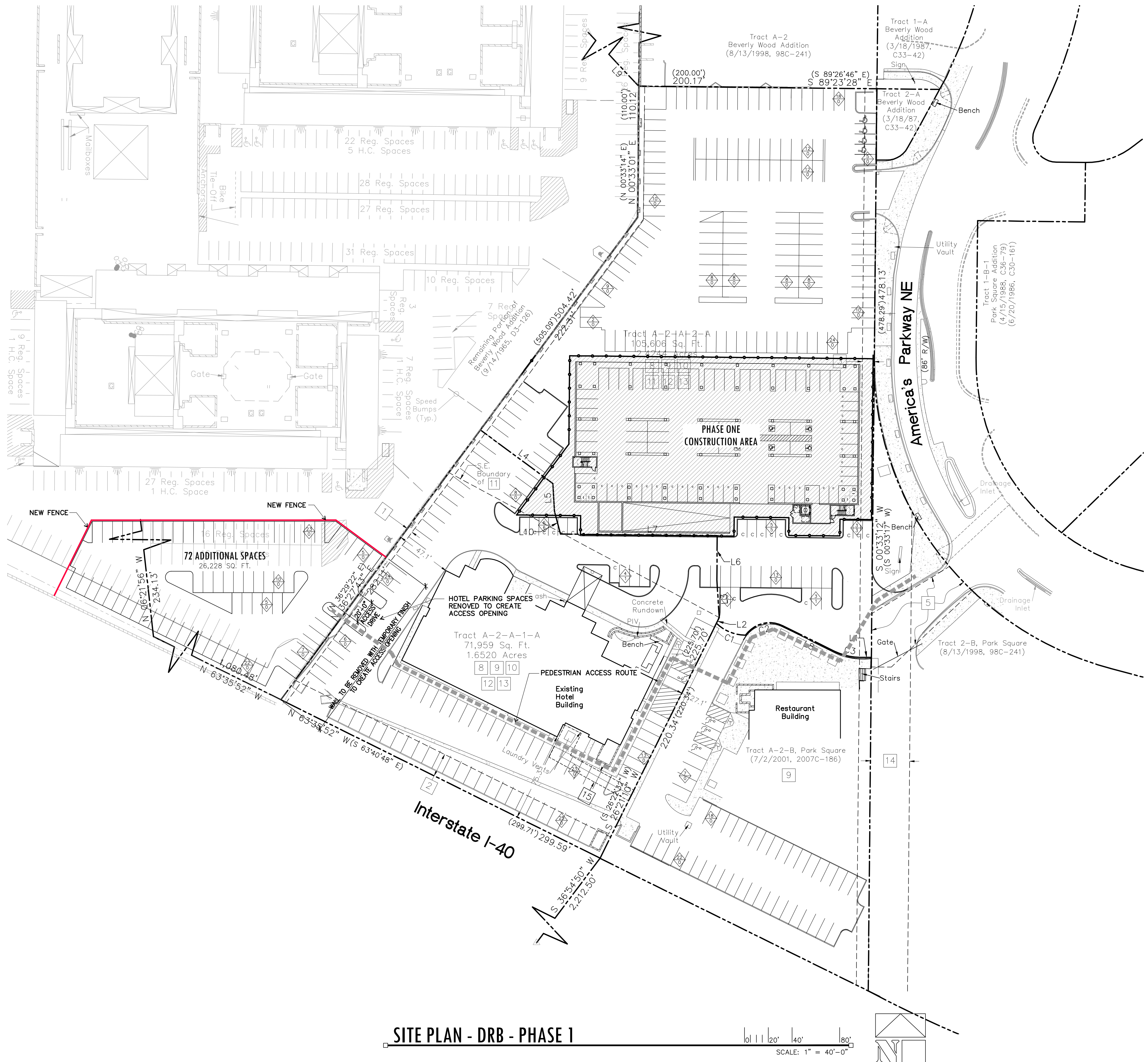
Office of Rich Barber  
**ORB**  
 Architecture, Inc.  
 WorldHQ@ORBArch.com



LEGACY HOSPITALITY

DRB SUBMITTAL  
 DATE: JANUARY 30, 2020 DRB # 16-221

**A1.10**  
 SITE PLAN

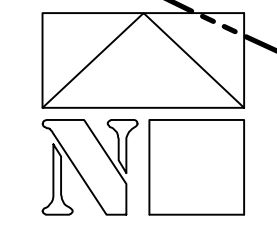


**PARKING PROVIDED:**

ON SITE:	316
WEST PROPERTY:	72
GARAGE P1 LEVEL:	-
GARAGE P2 LEVEL:	-
<b>TOTAL:</b>	<b>388</b>

**SITE PLAN - DRB - PHASE 1**

0' 20' 40' 80'  
SCALE: 1" = 40'-0"



FILE: F:\04\ORB Job Files\16-221_LH_Uptown\CAD Files\ORB 3 Phases\16221 A111 Site Phase1.dwg USER: jca DATE: Oct, 10 2018 TIME: 04:15 pm

# MARKANA UPTOWN

Americas Parkway NE  
Albuquerque, New Mexico



WorldHQ@ORBArch.com



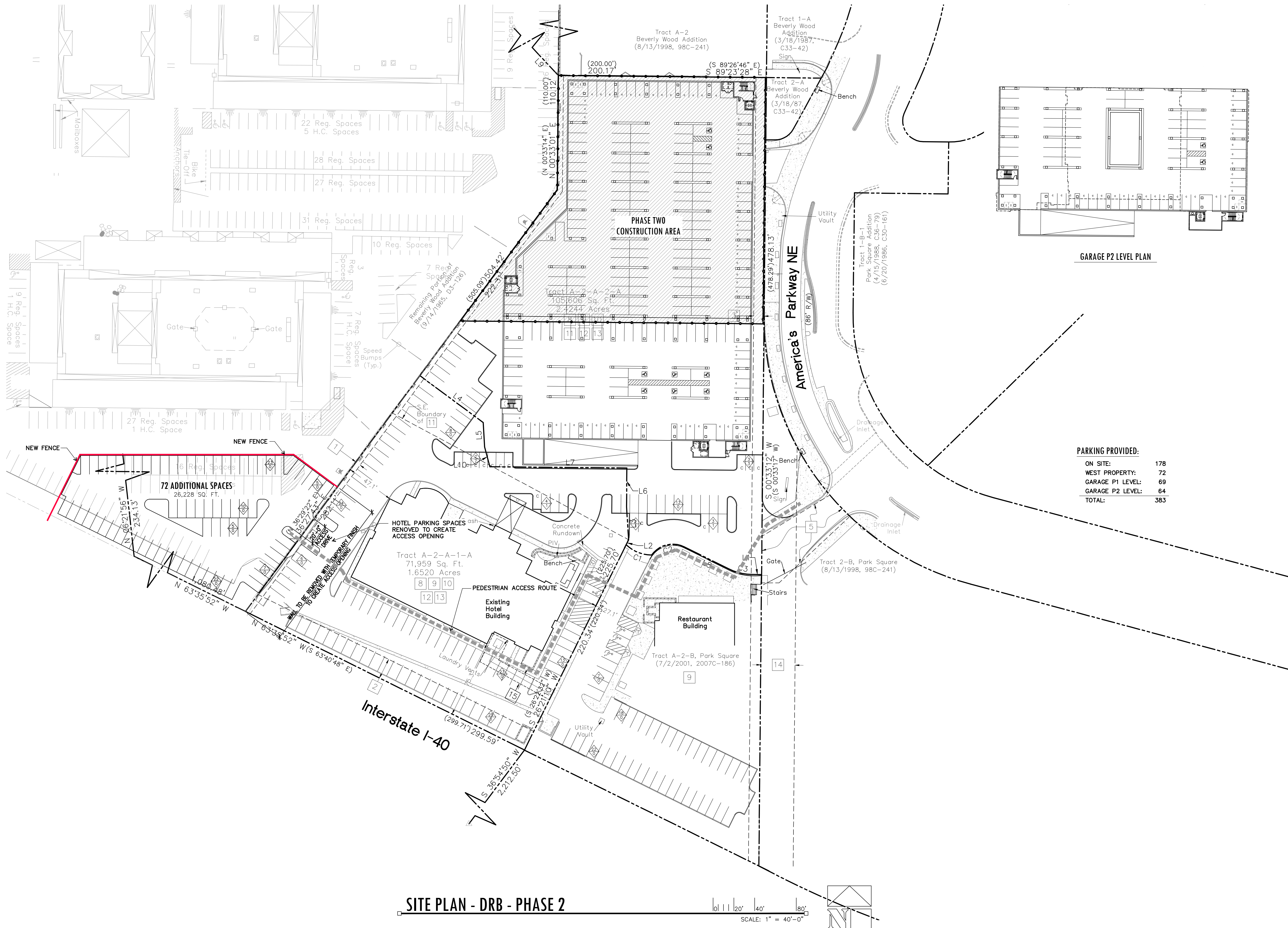
LEGACY HOSPITALITY

DATE: OCTOBER 10, 2018 ORB # 16-221

# A1.11

SITE PLAN - DRB  
PHASE 1



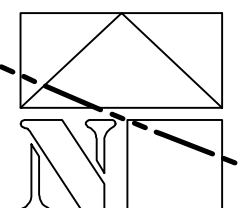


**PARKING PROVIDED:**

ON SITE:	178
WEST PROPERTY:	72
GARAGE P1 LEVEL:	69
GARAGE P2 LEVEL:	64
<b>TOTAL:</b>	<b>383</b>

**SITE PLAN - DRB - PHASE 2**

0' 20' 40' 80'  
SCALE: 1" = 40'-0"

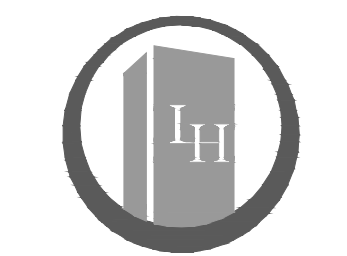


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**MARKANA UPTOWN**  
Americas Parkway NE  
Albuquerque, New Mexico



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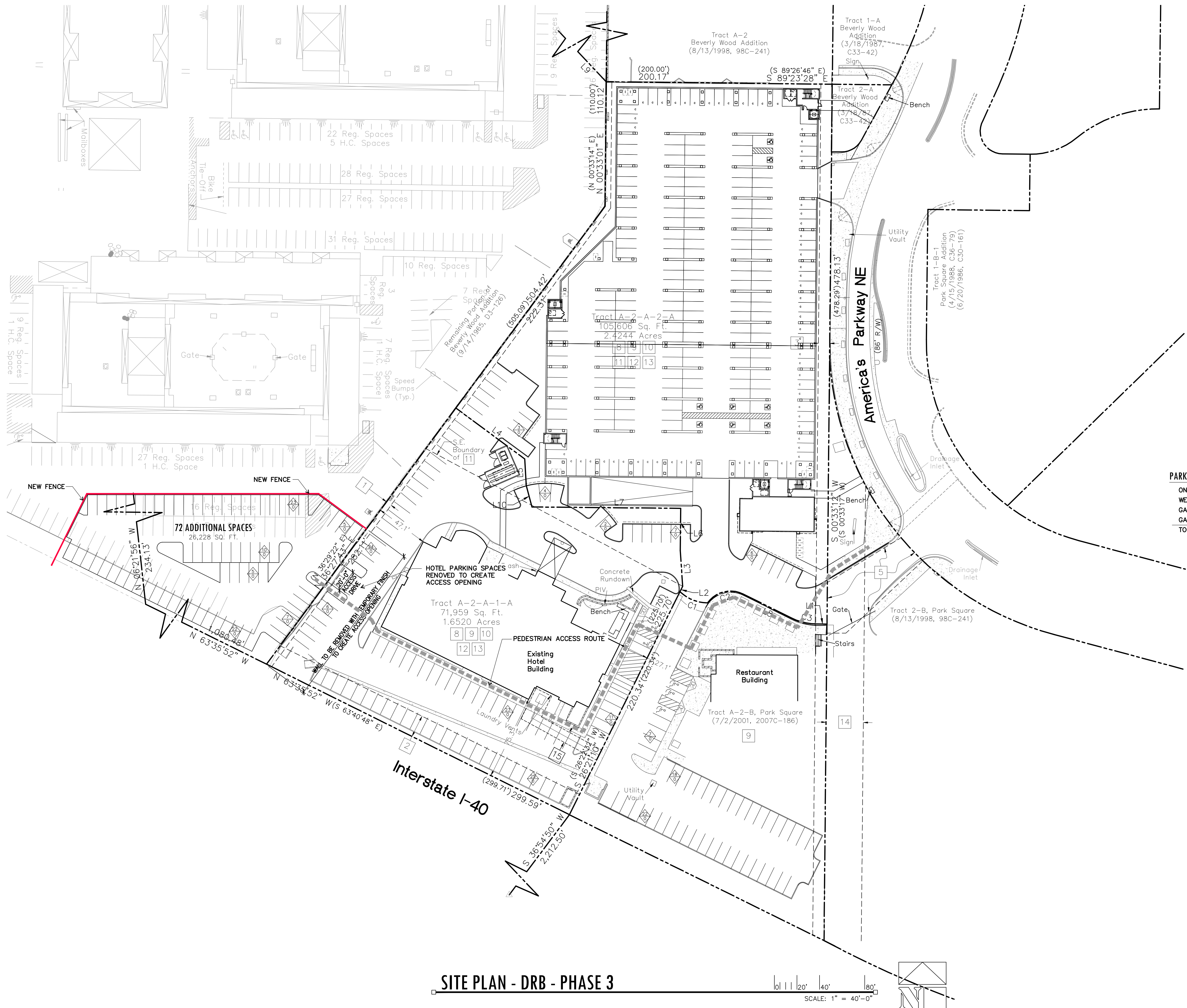


LEGACY HOSPITALITY

DATE: OCTOBER 10, 2018 ORB # 16-221

**A1.12**

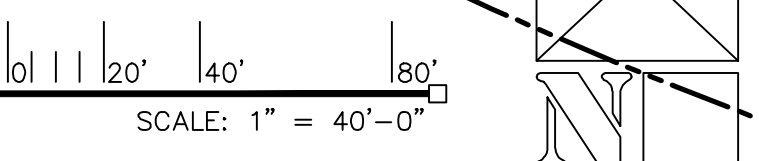
SITE PLAN - DRB  
PHASE 2



**PARKING PROVIDED:**

ON SITE:	158
WEST PROPERTY:	72
GARAGE P1 LEVEL:	220
GARAGE P2 LEVEL:	-
<b>TOTAL:</b>	<b>450</b>

**SITE PLAN - DRB - PHASE 3**

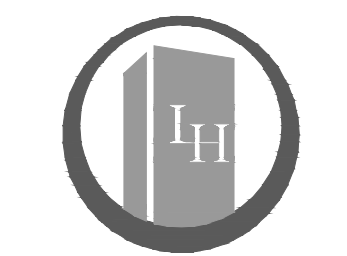
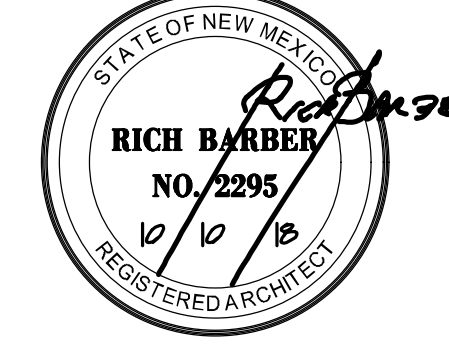


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**MARKANA UPTOWN**  
Americas Parkway NE  
Albuquerque, New Mexico



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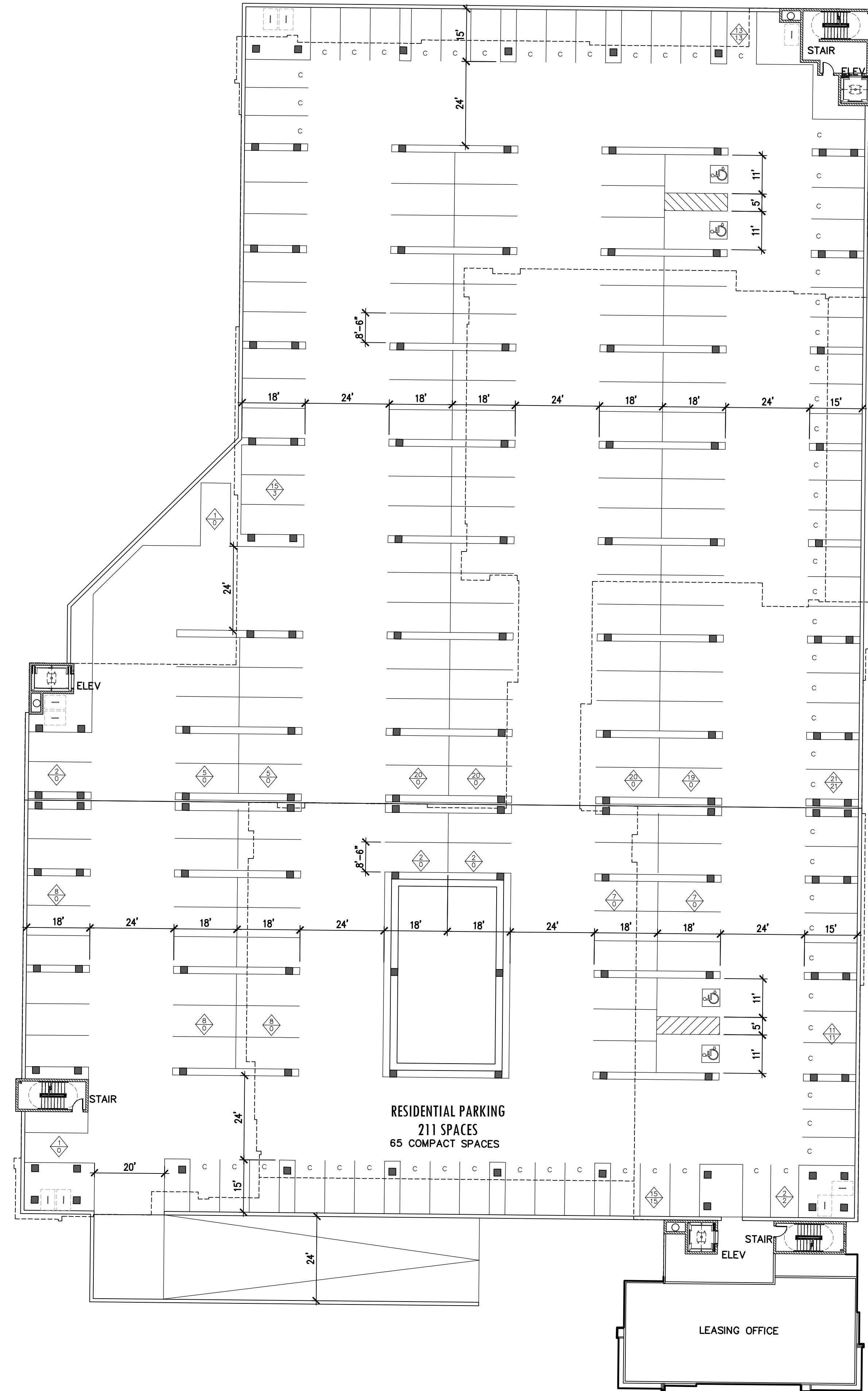
LEGACY HOSPITALITY

DATE: OCTOBER 10, 2018 ORB # 16-221

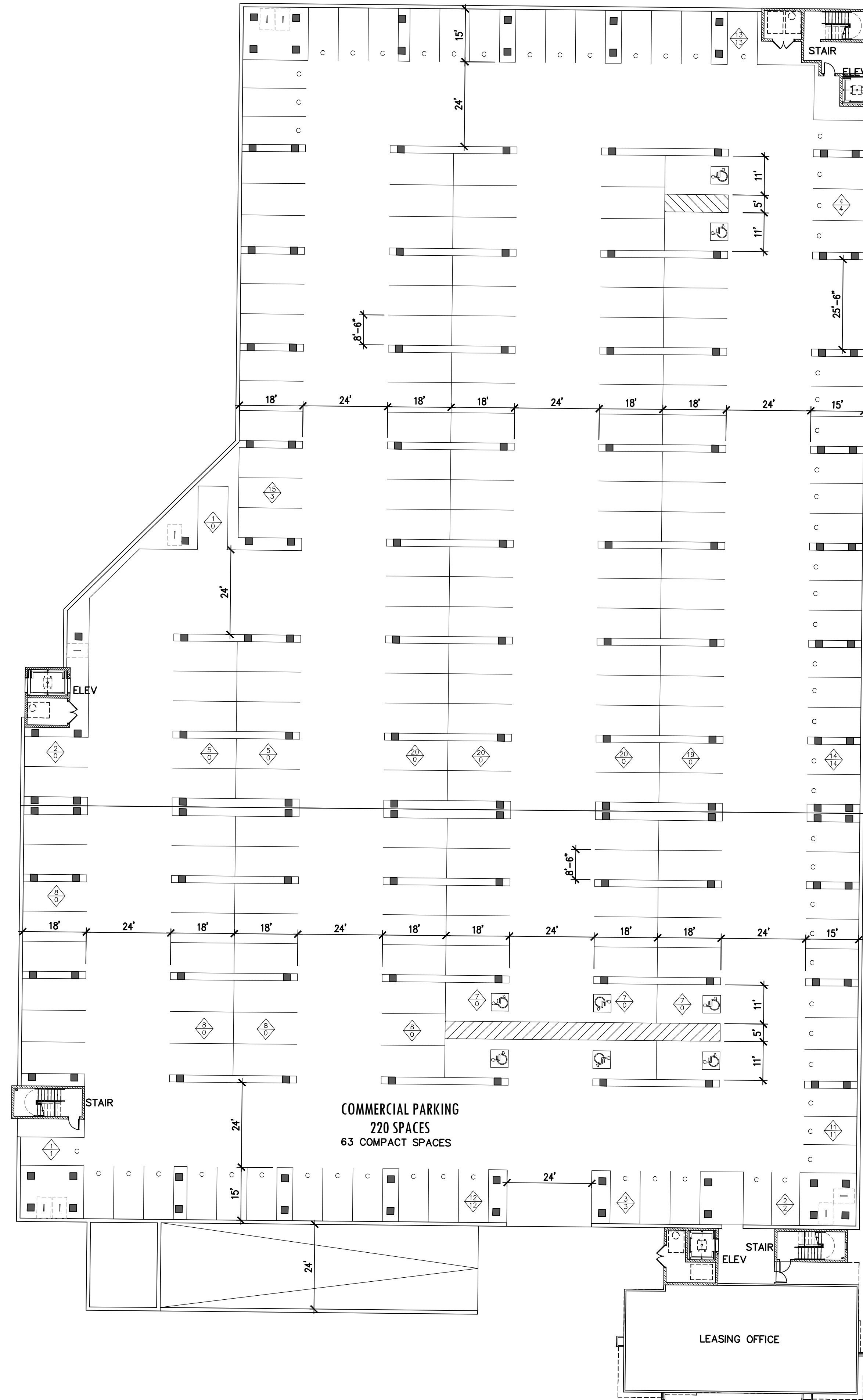
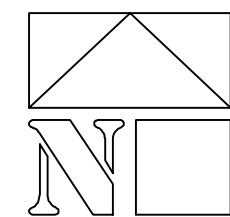
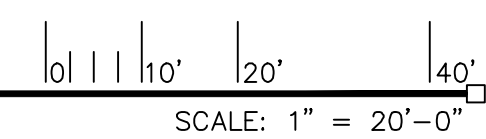
**A1.13**

SITE PLAN - DRB  
PHASE 3

FILE: F:\04\ORB Job Files\16-221_Uptown\CAD Files\ORB 3 Phases\16221_A311_Bldg P1-P2.dwg USER: jca DATE: Oct 10 2018 TIME: 04:15 pm

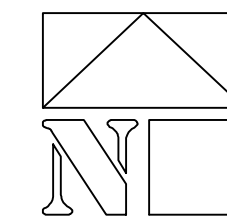
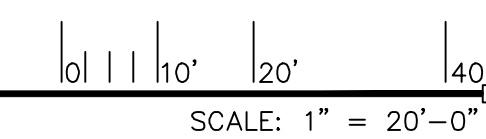


**BUILDING FLOOR PLAN - LEVEL P2**



**BUILDING FLOOR PLAN - LEVEL P1**

GRADE LEVEL

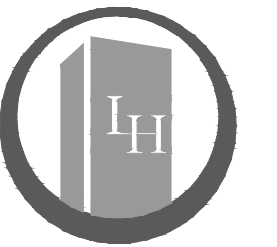
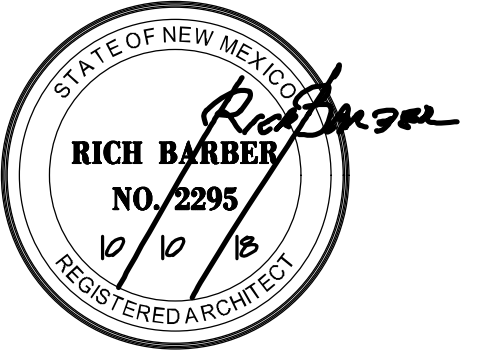


# MARKANA UPTOWN

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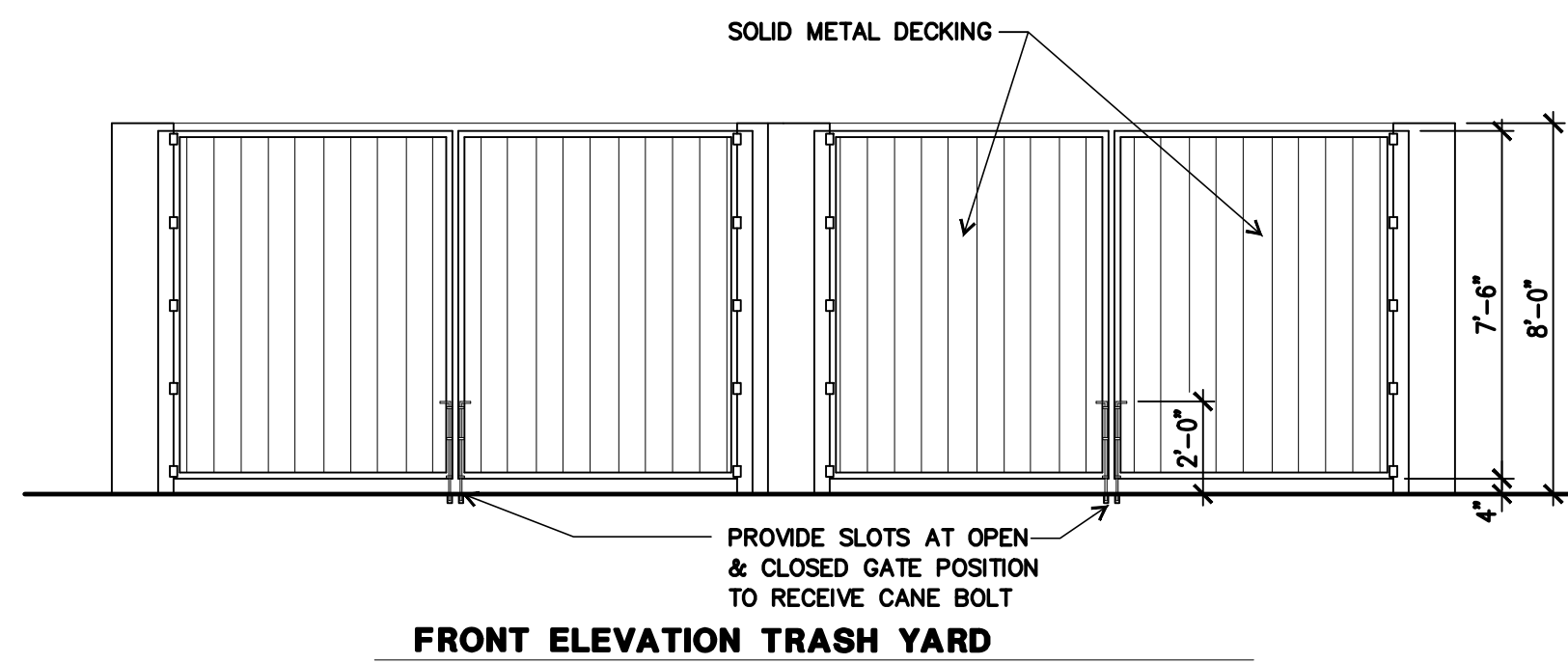


LEGACY HOSPITALITY

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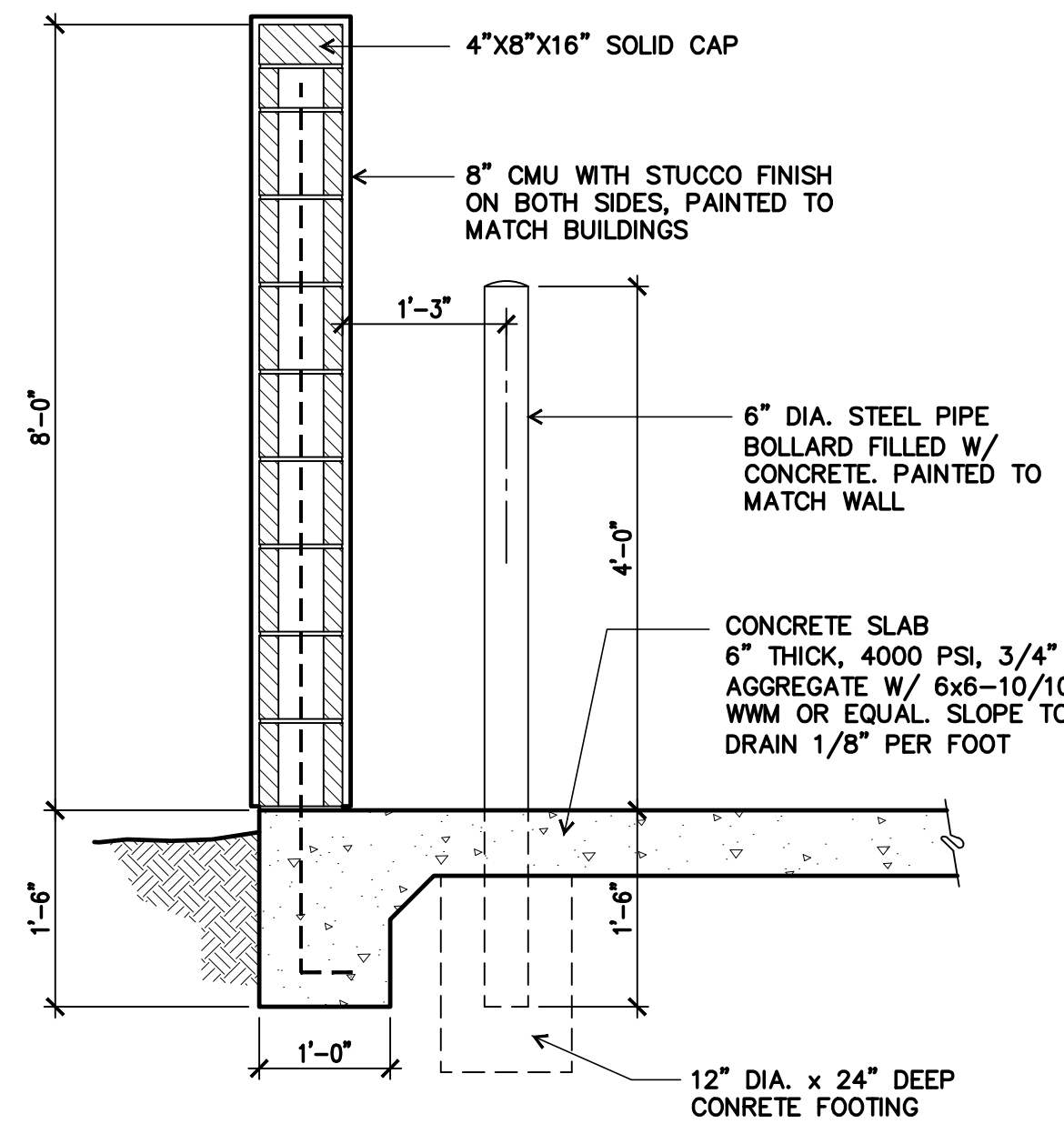
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BUILDING FLOOR PLAN  
LEVELS P1 & P2



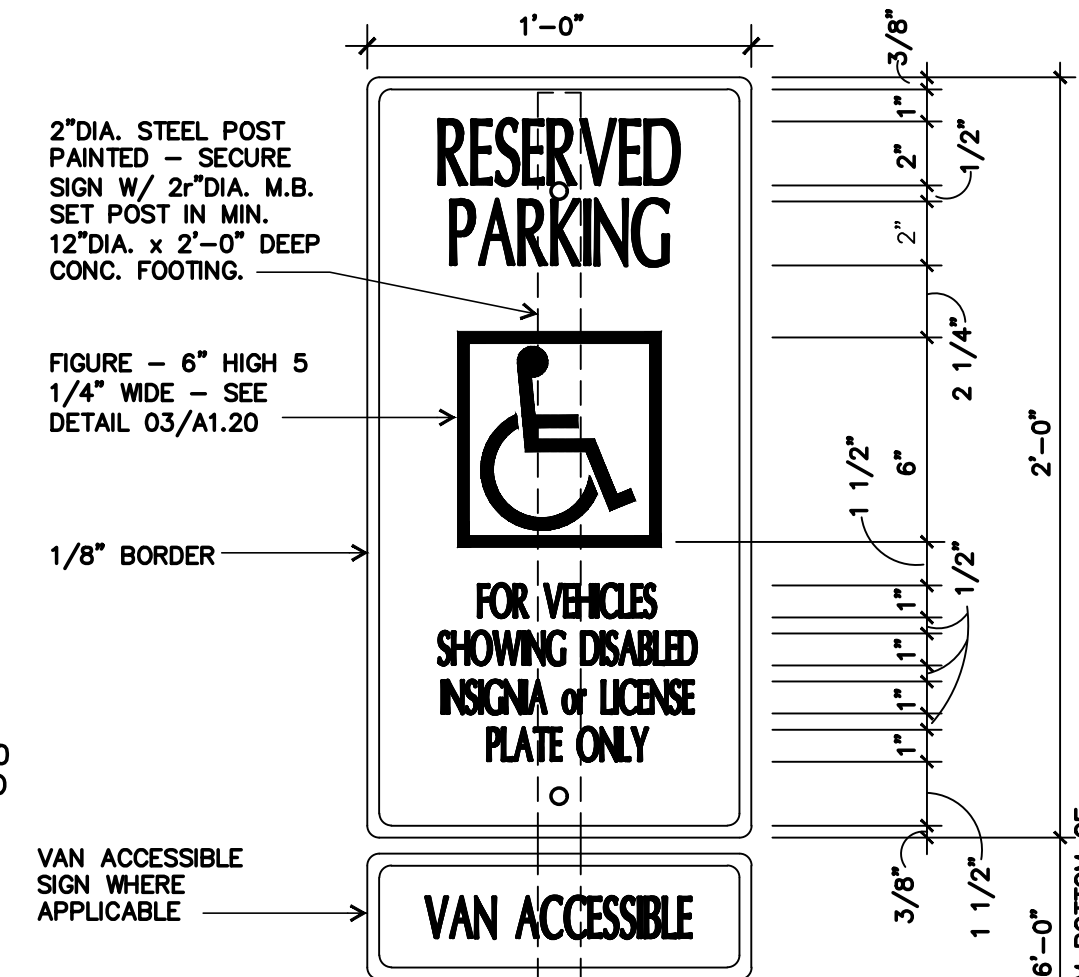
13 REFUSE ENCLOSURE ELEVATION

SCALE: 1/4" = 1'-0"



07 TRASH ENCLOSURE WALL

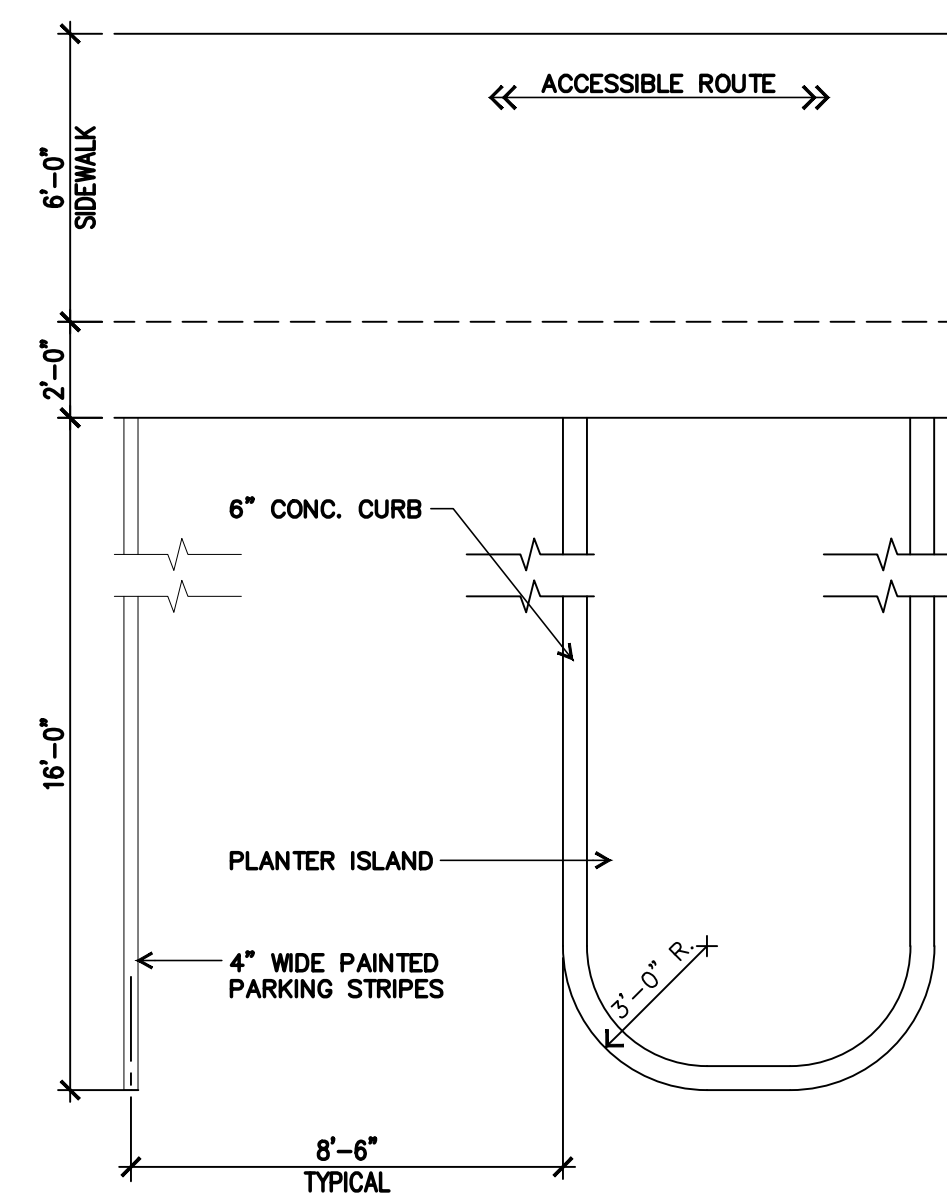
SCALE: 3/4" = 1'-0"



- LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10.
- CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND - EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED OR INCISED 1/32 IN. MIN. AND SHALL BE SANS SERIF CHARACTERS. RAISED CHARACTERS OR SYMBOLS SHALL BE AT LEAST 5/8 IN. HIGH, BUT NO HIGHER THAN 2 IN.

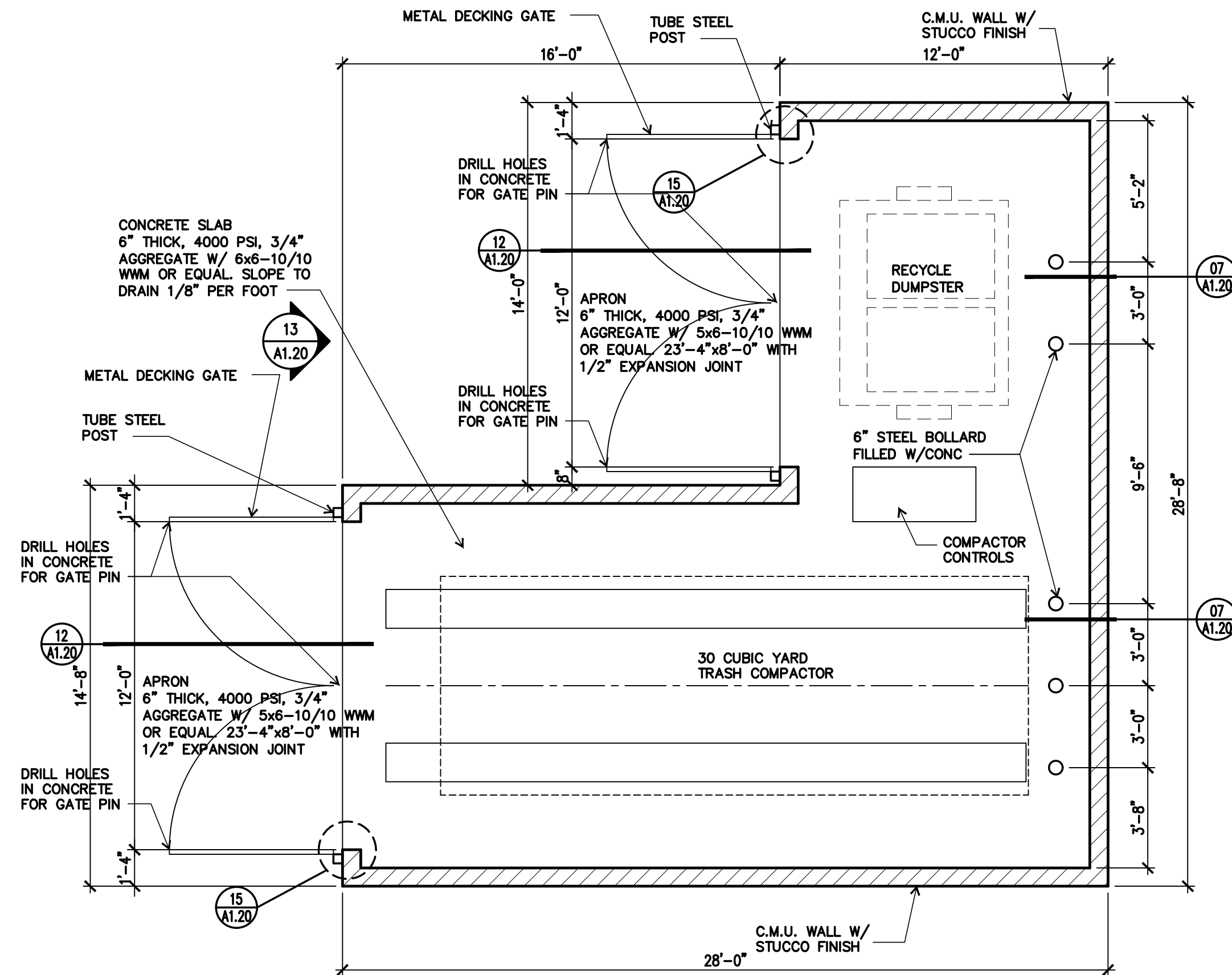
04 ACCESSIBLE PARKING SIGN

NOT TO SCALE



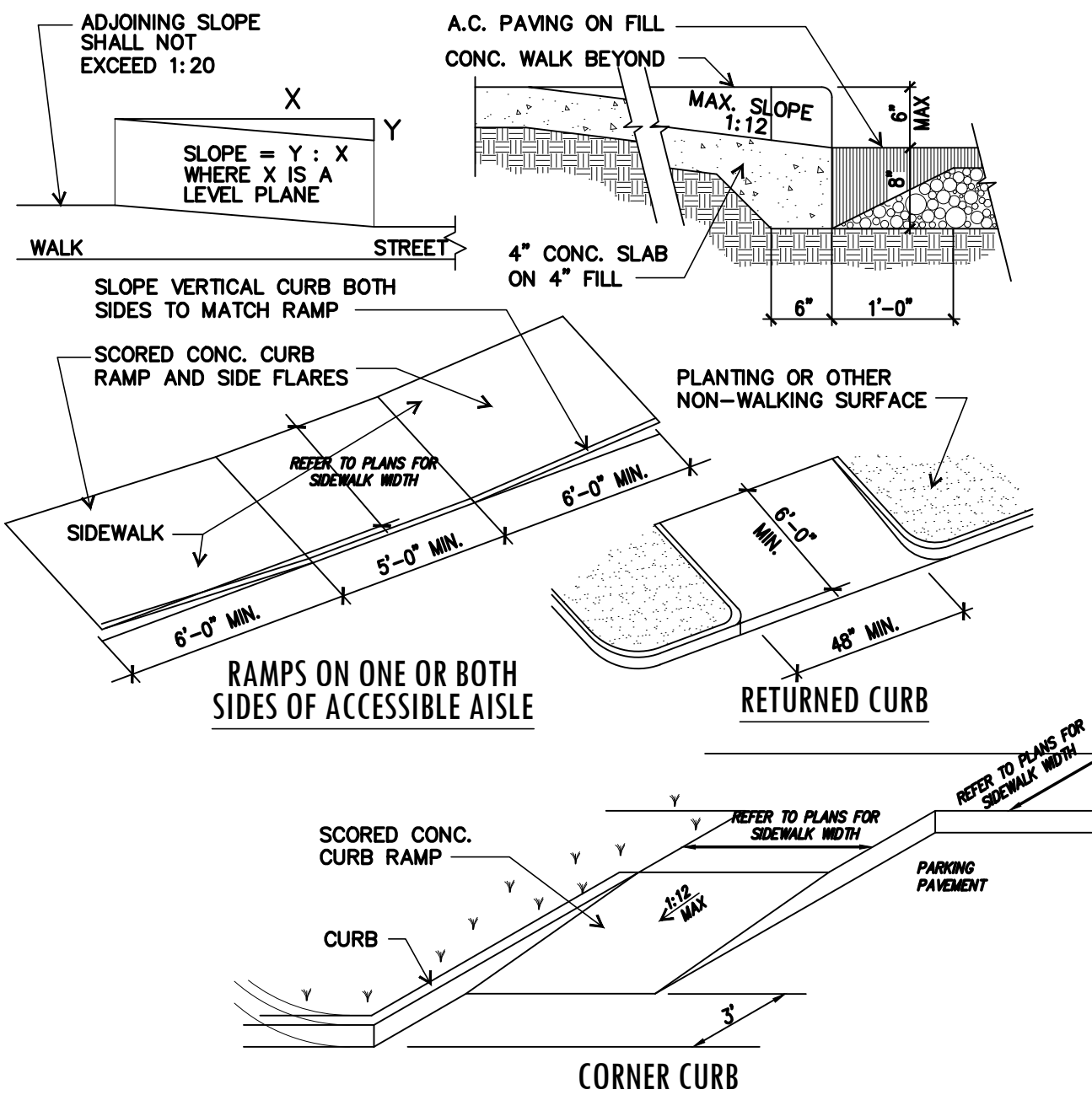
01 TYPICAL PARKING STALL WITH ISLAND

SCALE: 1/4" = 1'-0"



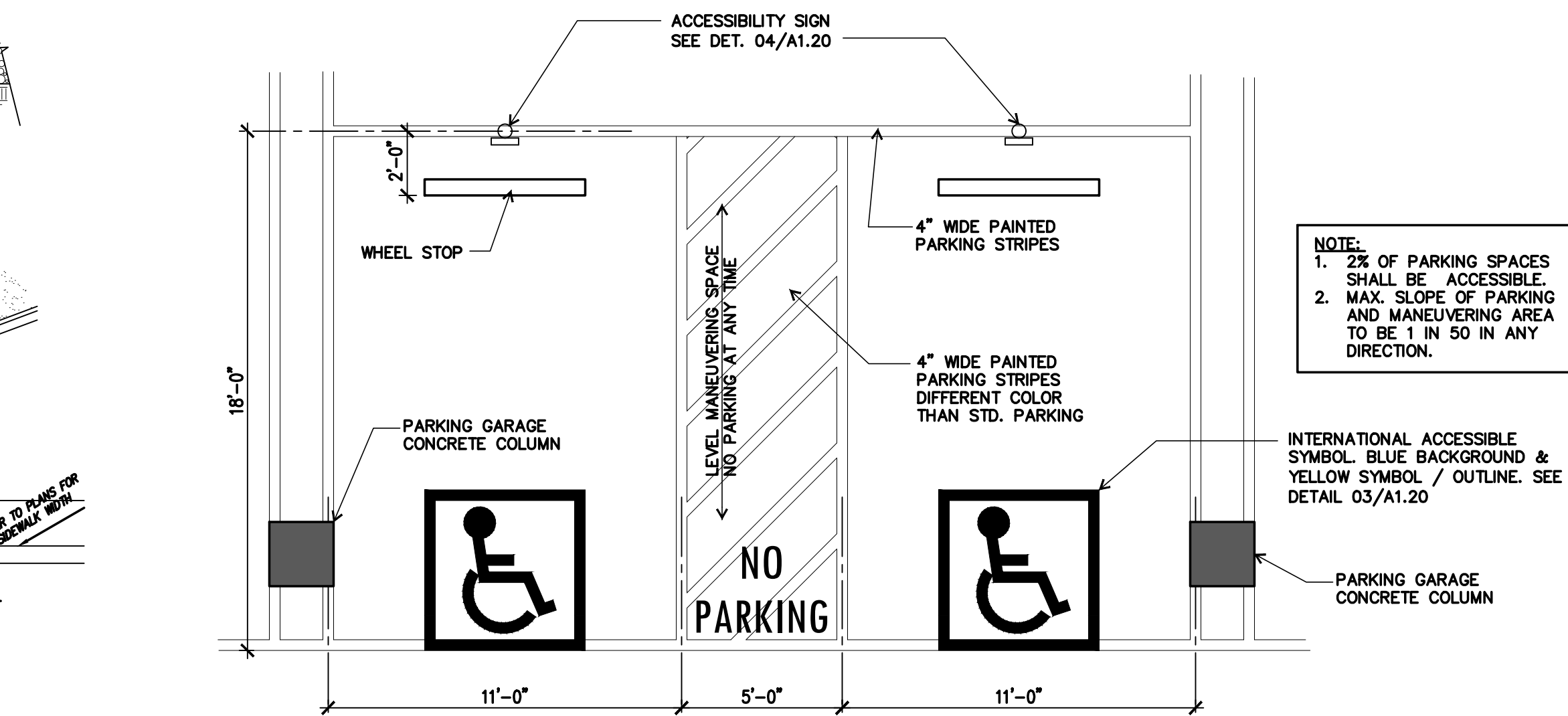
14 TRASH YARD ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"



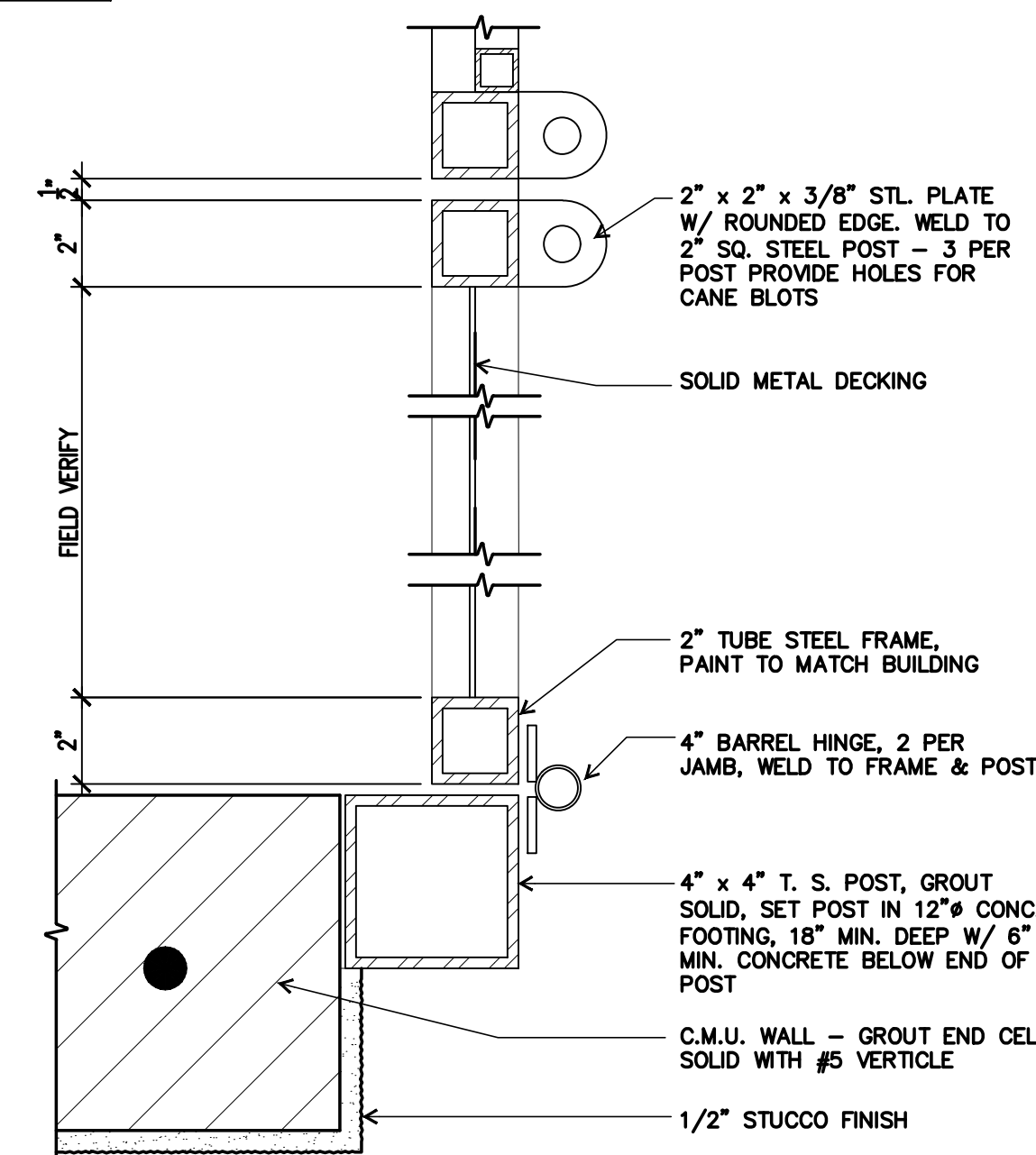
08 TYPICAL ACCESSIBLE RAMP

NOT TO SCALE



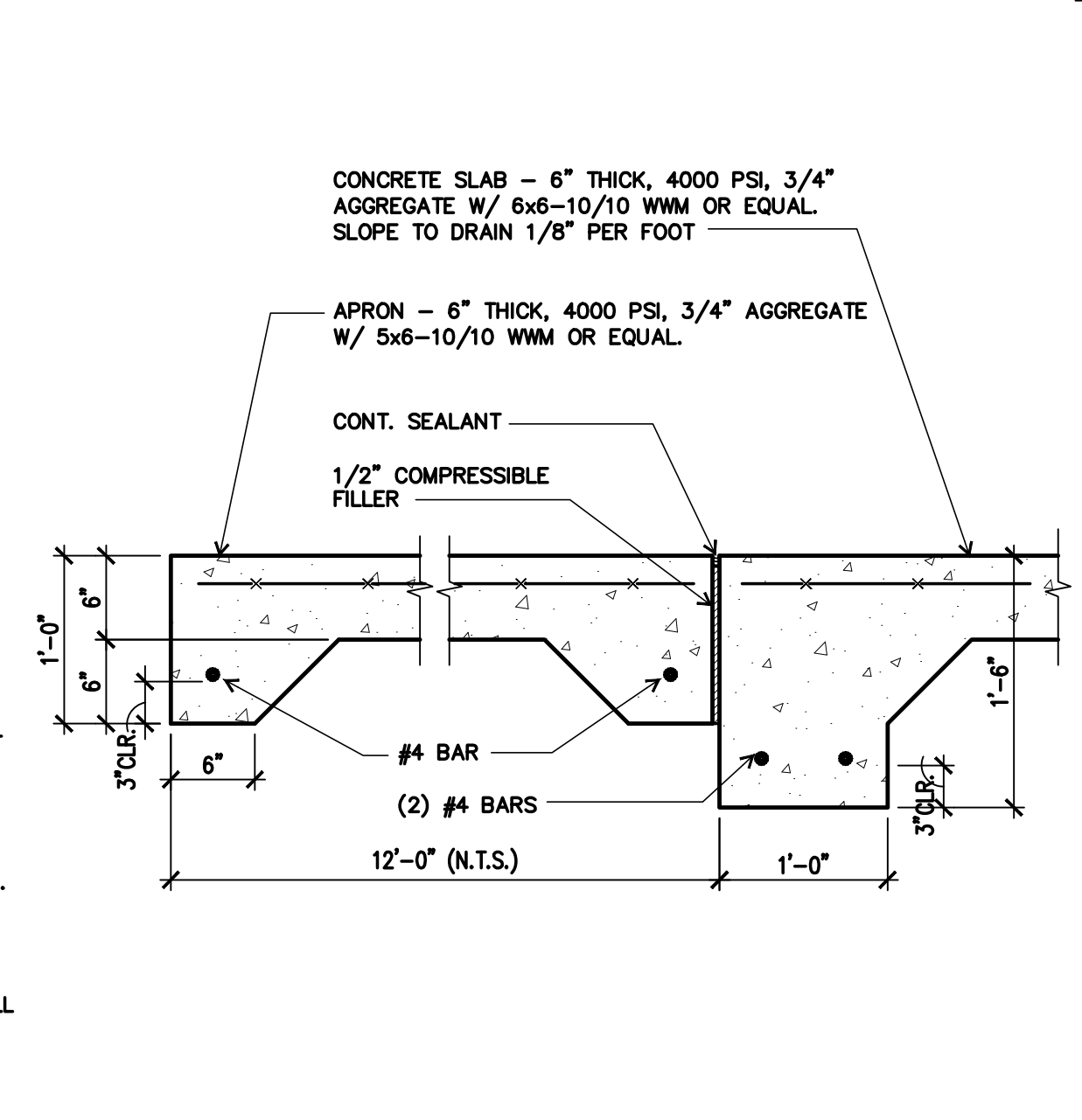
05 TYPICAL ACCESSIBLE PARKING STALL

SCALE: 1/4" = 1'-0"



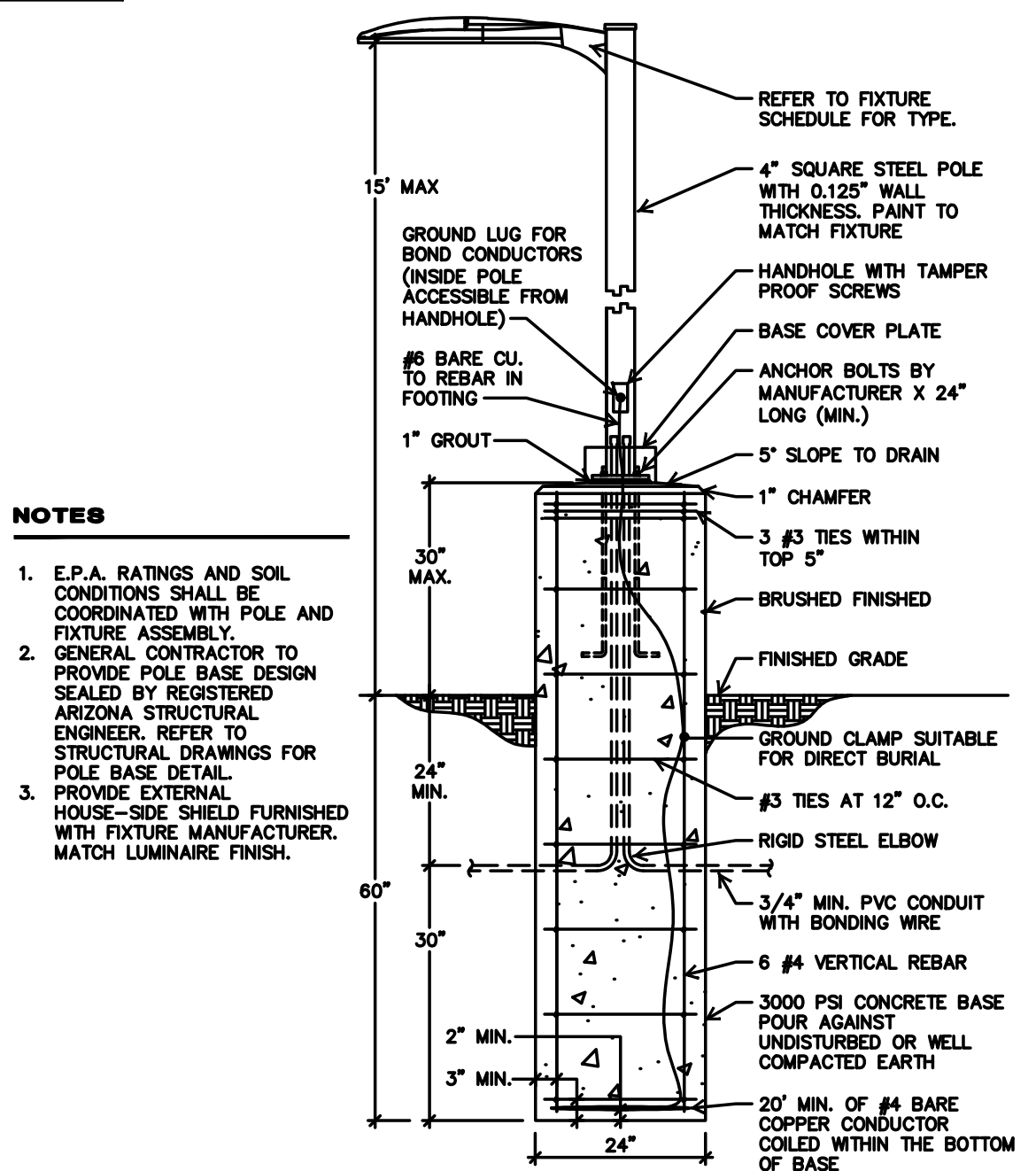
15 TRASH ENCLOSURE GATE

SCALE: 3" = 1'-0"



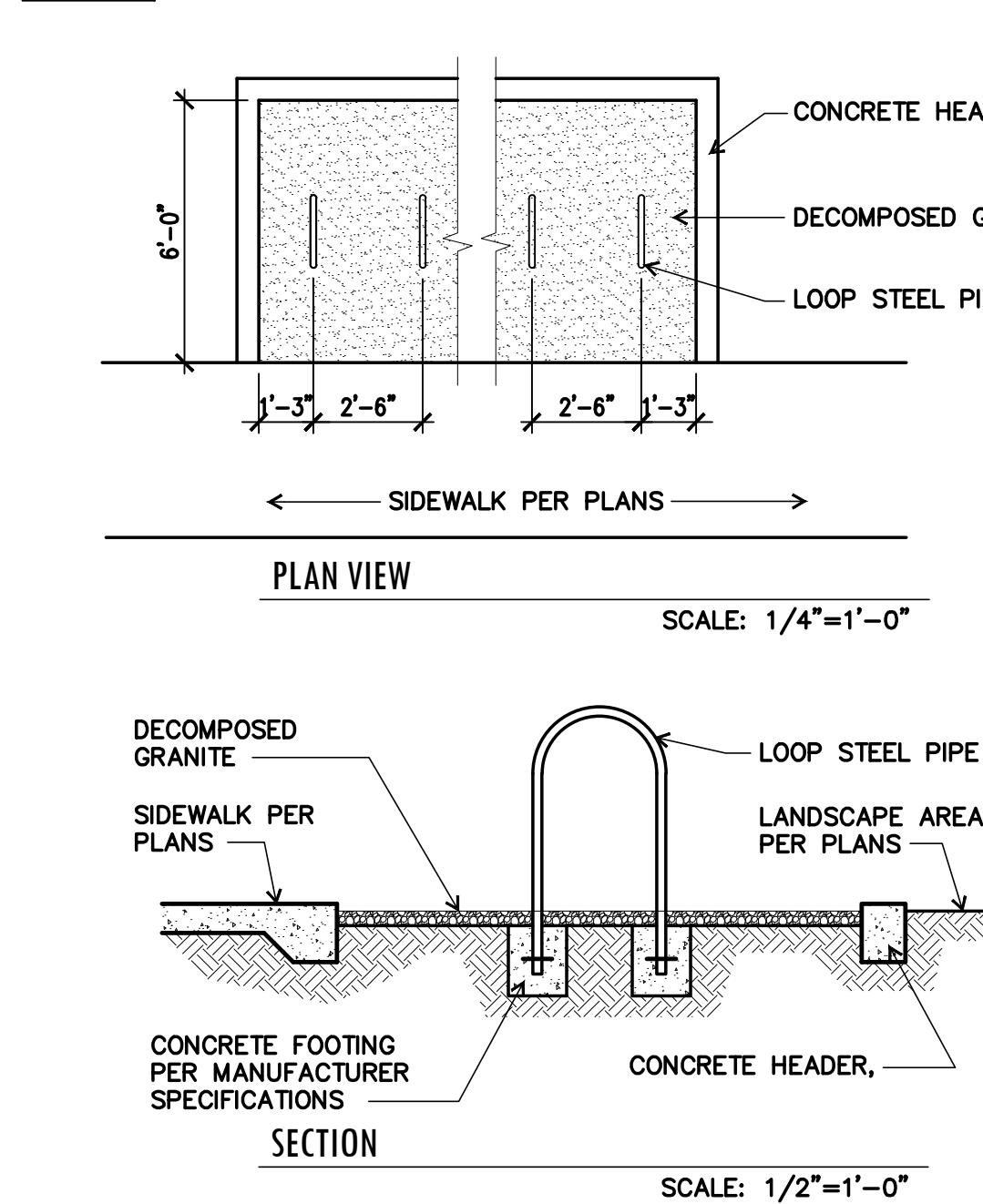
12 REFUSE ENCLOSURE SLAB JOINT

SCALE: 1" = 1'-0"



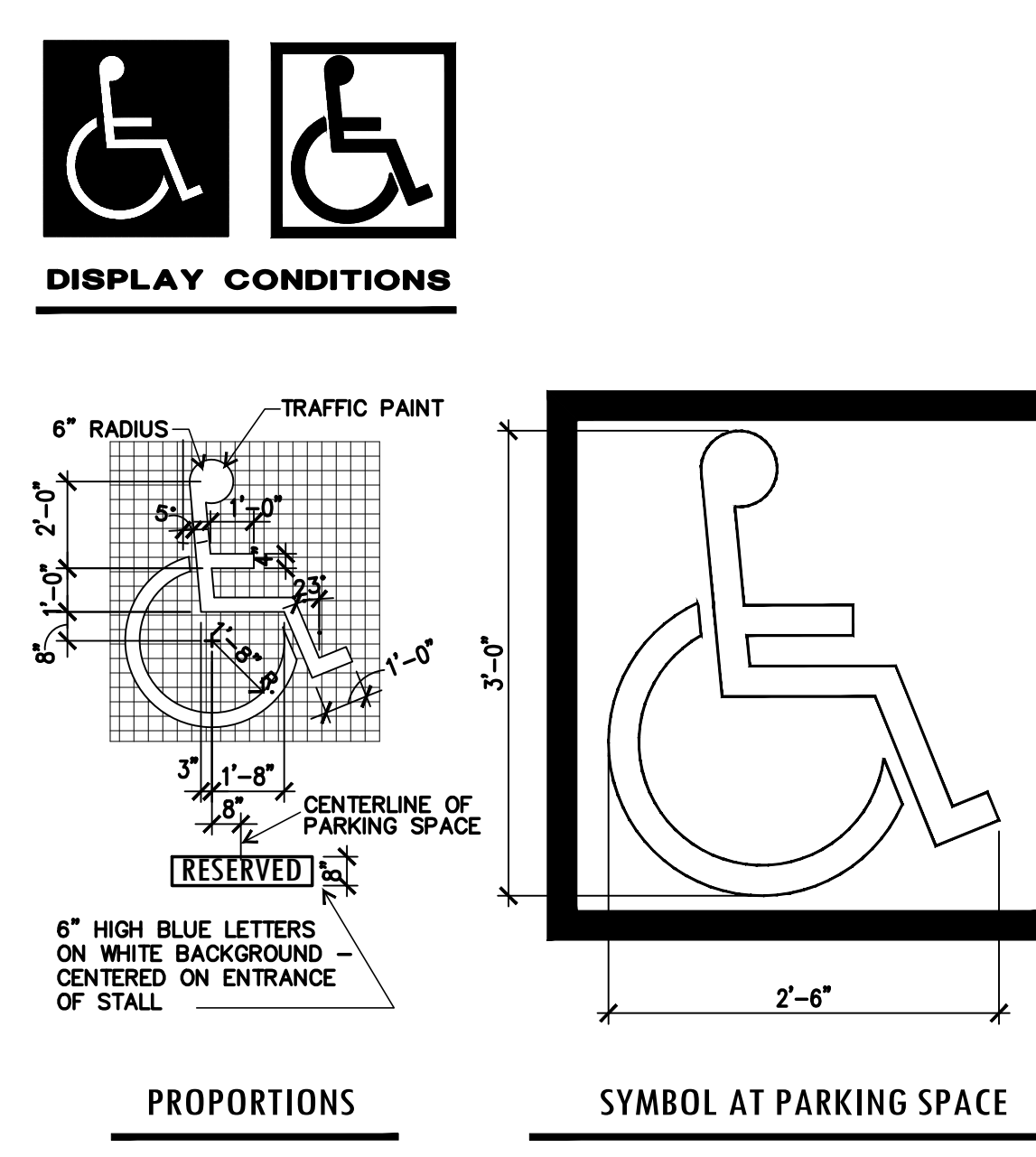
09 POLE MOUNTING DETAIL

NOT TO SCALE



06 BICYCLE PARKING

SCALE AS NOTED



03 INTERNATIONAL SYMBOL OF ACCESSIBILITY

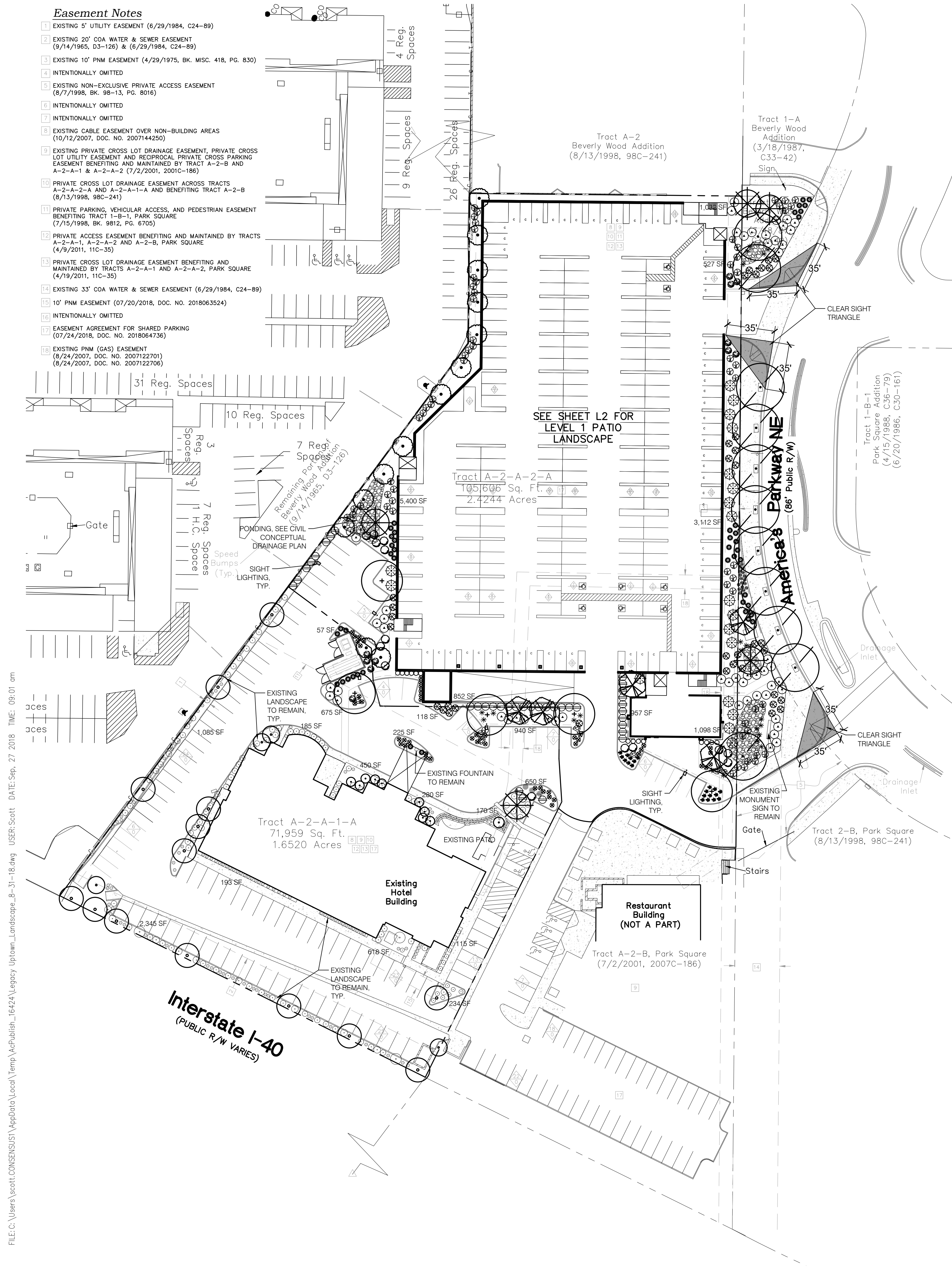
NOT TO SCALE

- NOTES:
- REFER TO STRUCTURAL DETAILS AND PLANS FOR INFORMATION, TYPICAL. THESE DRAWINGS ARE ARCHITECTURAL ONLY.
  - SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SPECIFIC MATERIALS AND MANUFACTURERS.



**Easement Notes**

- 1 EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
- 2 EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126) & (6/29/1984, C24-89)
- 3 EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- 4 INTENTIONALLY OMITTED
- 5 EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (8/7/1998, BK. 98-13, PG. 8016)
- 6 INTENTIONALLY OMITTED
- 7 INTENTIONALLY OMITTED
- 8 EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DOC. NO. 2007144250)
- 9 EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, PRIVATE CROSS LOT UTILITY EASEMENT AND RECIPROCAL PRIVATE CROSS PARKING EASEMENT BENEFITING AND MAINTAINED BY TRACT A-2-B AND A-2-A-1 & A-2-A-2 (7/2/2001, 2001C-186)
- 10 PRIVATE CROSS LOT DRAINAGE EASEMENT ACROSS TRACTS A-2-A-2-A AND A-2-A-1-A AND BENEFITING TRACT A-2-B (8/13/1998, 98C-241)
- 11 PRIVATE PARKING, VEHICULAR ACCESS, AND PEDESTRIAN EASEMENT BENEFITING TRACT 1-B-1, PARK SQUARE (7/15/1998, BK. 9812, PG. 6705)
- 12 PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/9/2011, 11C-35)
- 13 PRIVATE CROSS LOT DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1 AND A-2-A-2, PARK SQUARE (4/19/2011, 11C-35)
- 14 EXISTING 33' COA WATER & SEWER EASEMENT (6/29/1984, C24-89)
- 15 10' PNM EASEMENT (07/20/2018, DOC. NO. 2018063524)
- 16 INTENTIONALLY OMITTED
- 17 EASEMENT AGREEMENT FOR SHARED PARKING (07/24/2018, DOC. NO. 2018064756)
- 18 EXISTING PNM (GAS) EASEMENT (8/24/2007, DOC. NO. 2007122701) (8/24/2007, DOC. NO. 2007122706)

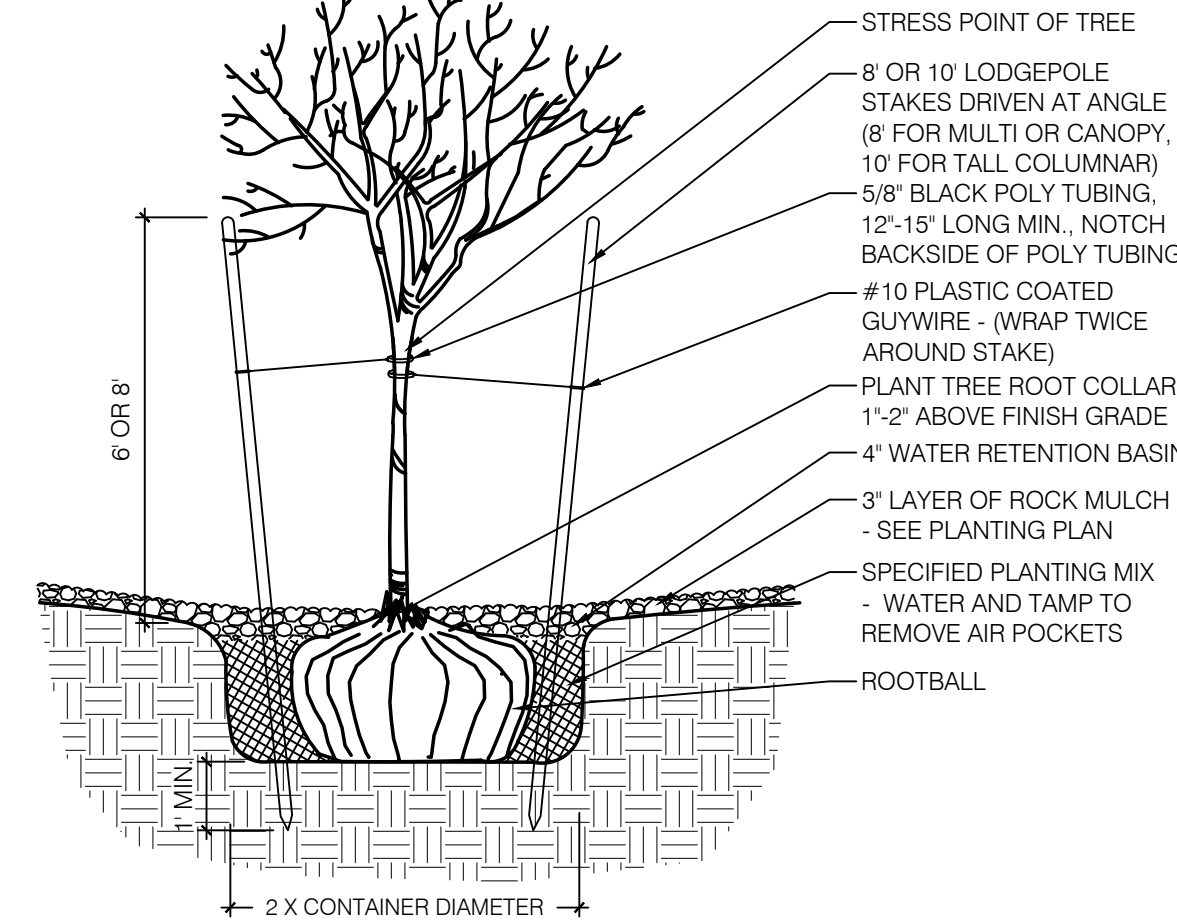


**PLANT LEGEND**

PATIO SITE QTY.	SYMBOL	SCIENTIFIC NAME	COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE	MATURE SIZE
	EXISTING					
	○		EXISTING TREE TO REMAIN			
	○		EXISTING SHRUB TO REMAIN			
<b>DECIDUOUS TREES</b>						
11	○	FRAXINUS PENNSYLVANICA	URBANITE	2" B&B	10 HT. X 4 SPR.	40 HT. X 35 SPR.
5	○	JUNIPERUS SCOPULORUM	FEMALE ROCKY MOUNTAIN JUNIPER (L+)	B&B	6 HT. MIN	40 HT. X 20 SPR.
6	○	LAGERSTROEMIA INDICA	MUSKOGEE MUSKOGEE CRAPE MYRTLE (H)	2" MS/ 24" BOX	6 HT. MIN	25 HT. X 15 SPR.
13	○	PYRUS CALLERYANA	CHANTICLEER CHANTICLEER FLOWERING PEAR (M)	2" B&B	10 HT. X 4 SPR.	30 HT. X 15 SPR.
5	○	ULMUS HYBRID	FRONTIER FRONTIER ELM (M)	2" B&B	10 HT. X 4 SPR.	30 HT. X 30 SPR.
8	○	VITEX AGNUS-CASTUS	CHASTE TREE (M)	2" MS/ 24" BOX	6 HT. MIN	20 HT. X 20 SPR.
<b>SHRUBS</b>						
92	○	BUXUS JAPONICA	WINTER GEM WINTER GEM BOXWOOD (M)	5-GAL.	3" O.C.	3 HT. X 3 SPR.
35	○	CARYOPTERIS CLANDONENSIS	DARK KNT BLUE MIST DARK KNIGHT SPIREA	5-GAL.	6 O.C.	5 HT. X 5 SPR.
14	○	CYTISUS SCOPARIUS	MOONLIGHT MOONLIGHT SCOTCH BROOM (M)	5-GAL.	6 O.C.	4 HT. X 6 SPR.
22	○	DASYLIRION TEXANA	SOTOL (RW)	5-GAL.	4 O.C.	4 HT. X 4 SPR.
63	○	FALLUGIA PARADOXA	APACHE PLUME (L+)	5-GAL.	5 O.C.	5 HT. X 5 SPR.
44	○	HESPERALOE PARVIFLORA	YELLOW FLOWERING YUCCA (L+)	5-GAL.	4 O.C.	4 HT. X 4 SPR.
28	○	JUNIPERUS SCOPULORUM	SKYROCKET SKYROCKET JUNIPER (L+)	5-GAL.	5 O.C.	12 HT. X 3 SPR.
19	○	PINUS MUGO	MUGO PINE (M)	5-GAL.	5 O.C.	8 HT. X 6 SPR.
36	○	RHAPHIOLEPIS INDICA	PINK LADY PINK LADY INDIAN HAWTHORN (M)	5-GAL.	5 O.C.	5 HT. X 5 SPR.
54	○	RHUS TRILOBATA	AUTUMN AMBER CREEPING THREE-LEAF SUMAC (L+)	5-GAL.	5 O.C.	18 HT. X 6 SPR.
11	○	ROSA WOODSII	WOODS ROSE (L+)	5-GAL.	5 O.C.	5 HT. X 5 SPR.
20	○	YUCCA RUPICOLA	TWISTLEAF YUCCA (RW)	5-GAL.	5 O.C.	2 HT. X 3 SPR.
<b>ORNAMENTAL GRASSES</b>						
24	○	CALAMAGROSTIS A. OVERDAM	VARIEGATED REED GRASS (M)	1-GAL.	3 O.C.	3 HT. X 3 SPR.
25	○	MISCANTHUS SINENSIS	PURPURASCENS FLAME GRASS (M)	1-GAL.	3 O.C.	4 HT. X 3 SPR.
81	○	MISCANTHUS SINENSIS	YAKU JIMA DWARF MAIDEN GRASS (M)	1-GAL.	3 O.C.	4 HT. X 4 SPR.
36	○	PENNISETUM ALOP.	HAMEL DWARF FOUNTAIN GRASS (M)	1-GAL.	3 O.C.	3 HT. X 3 SPR.
46	○	PENNISETUM ORIENTALE	KARLEY ROSE ORIENTAL FOUNTAIN GRASS (M)	1-GAL.	3 O.C.	3 HT. X 3 SPR.
750	○	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED (L)	1-GAL.	3 O.C.	2 HT. X 2 SPR.
<b>FLOWERING PLANTS</b>						
62	○	ACHILLEA MOONSHINE	MOONSHINE YARROW (M)	1-GAL.	2" O.C.	2 HT. X 2 SPR.
20	○	CENTRANTHUS RUBER	RED RED VALERIAN (M)	1 GAL.	2 O.C.	18 HT. X 2 SPR.
150	○	DELOSPERMA COOPERI	NUBIGENUM PURPLE/YELLOW ICEPLANT (L+)	1-GAL.	16" O.C.	6 HT. X 16 SPR.
31	○	ECHINACEA PURPUREA	PURPLE CONEFLOWER (M)	1 GAL.	18" O.C.	3 HT. X 3 SPR.
150	○	NEPETA HYBRID	KIT CAT KIT CAT MINT (L+)	1 GAL.	16" O.C.	16 HT. X 16 SPR.
325	○	OENOTHERA BERLANDIERI	MEXICAN EVENING PRIMROSE (L+)	1 GAL.	2" O.C.	10 HT. X 2 SPR.
<b>BOULDERS AND MULCHES</b>						
7	○		MOSS ROCK BOULDERS (3X3 MIN)			
18,960	○		7/16" SANTA FE BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC)			
1,990	○		2-4" COYOTE MIST ROCK MULCH (6" DEPTH OVER FILTER FABRIC)			

**NOTES:**

- A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
- B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
- C. REMOVE ROPE AND BURLAP AFTER PLANTING.



TREE PLANTING DETAIL SCALE: N.T.S.

**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN**  
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH CRUSHER FINES, 7/16" SANTA FE BROWN ROCK MULCH, 2-4" COYOTE MIST ROCK MULCH, OR SIMILAR MATERIAL. ALL LEVEL 1 PLANTERS SHALL BE TOP DRESSED WITH A MINIMUM 2" OF SHREDDED BARK MULCH.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, A SEPARATE VALVE(S) WILL BE PROVIDED AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. DRIP IRRIGATION SYSTEMS AND ARTIFICIAL TURF SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 10 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION**  
COORDINATION WITH PNMS NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE:**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL, (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**LANDSCAPE AREA COVERAGE**

TRACT A-2-A-2-A	TOTAL SITE AREA:	105,606 SF (2.42 AC)
	BUILDING AREA (BUILDING ENVELOPE):	- 78,932 SF
	NET AREA:	26,674 SF
	REQUIRED LANDSCAPE AREA (15% OF NET AREA):	4,001 SF
	PROVIDED LANDSCAPE AREA:	13,023 SF (48%)
TRACT A-2-A-1-A	TOTAL SITE AREA:	71,959 SF (1.65 AC)
	BUILDING AREA (BUILDING ENVELOPE):	- 17,345 SF
	NET AREA:	54,614 SF
	REQUIRED LANDSCAPE AREA (15% OF NET AREA):	8,192 SF
	PROVIDED LANDSCAPE AREA:	8,340 SF (15%)

**LANDSCAPE LIVE VEGETATIVE COVERAGE**

LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

TRACT A-2-A-2-A	PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE:	9,977 SF (77% OF LANDSCAPE AREA)
	PROVIDED GROUND-LEVEL PLANT COVERAGE:	4,502 SF (45% OF LIVE VEGETATIVE COVERAGE)
TRACT A-2-A-1-A	PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE:	16,500 SF (98% OF LANDSCAPE AREA)
	PROVIDED GROUND-LEVEL PLANT COVERAGE:	5,980 SF (36% OF LIVE VEGETATIVE COVERAGE)

**LANDSCAPE TURF**  
NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS. NO TURF GRASS IS USED.

**PARKING LOT AREA**  
AT LEAST 10% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES, AND AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

TRACT A-2-A-2-A IS PROVIDING 19 PARKING SPACES, EXCLUDING GARAGE PARKING.	TOTAL PARKING LOT AREA:	14,355 SF
	LANDSCAPE AREA:	3,870 SF (26% OF PARKING LOT AREA)
TRACT A-2-A-1-A IS PROVIDING 98 PARKING SPACES.	TOTAL PARKING LOT AREA:	43,130 SF
	LANDSCAPE AREA:	6,750 SF (15% OF PARKING LOT AREA)

**PARKING LOT TREES**  
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

TRACT A-2-A-2-A IS PROVIDING 19 PARKING SPACES, EXCLUDING GARAGE PARKING.  
PARKING LOT TREES REQUIRED: 2  
PARKING LOT TREES PROVIDED: 3

TRACT A-2-A-1-A IS PROVIDING 98 PARKING SPACES.  
PARKING LOT TREES REQUIRED: 10  
PARKING LOT TREES PROVIDED: 14

**STREET TREES**  
AMERICAS PARKWAY IS A MAJOR COLLECTOR AND THEREFORE REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 35' O.C.

AMERICAS PARKWAY FRONTAGE IS 168'.  
STREET TREES REQUIRED: 4  
STREET TREES PROVIDED: 4

**MARKANA UPTOWN**  
Americas Parkway NE  
Albuquerque, New Mexico

Office of Rich Barber  
**ORB**  
Architecture, LLC  
WorldHQ@ORBArch.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION

LEGACY HOSPITALITY

CONSENSUS PLANNING, INC.  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-8801 Fax 842-5495  
e-mail: cp@consensusplanning.com

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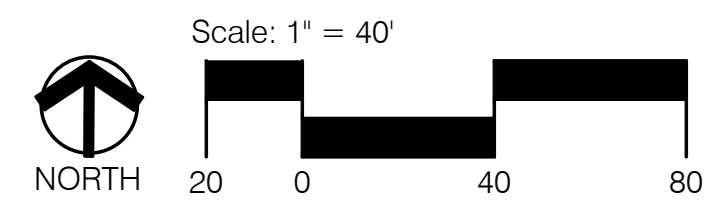
**REVISIONS**


**PROGRESS SET**

DATE: SEPTEMBER 27, 2018 ORB # 16-221

**L1**  
LANDSCAPE PLAN

FILE: C:\Users\scott\CONSENSUS\16424\Legacy\Uptown_Landscape_8-31-18.dwg USER: Scott DATE: Sep, 27 2018 TIME: 09:01 am





**Hydrology Calculations**

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

**Runoff Rate:**

Treatment Type Areas

Subbasin	Area ₁ (ac)	Area ₂ (ac)	Area ₃ (ac)	Area ₄ (ac)	Total (ac)
Subbasin 1	0.00	0.06	0.05	1.69	1.81
Subbasin 2	0.00	0.05	0.05	0.00	0.10
Subbasin 3.1	0.00	0.02	0.02	0.09	0.13
Subbasin 3.2	0.00	0.02	0.02	0.32	0.36
Total	0.00	0.15	0.28	2.09	2.40

Peak Discharge values based on Zone 3 from Table A-9

$Q_A = 1.87 \text{ cfs/ac}$     $Q_B = 2.60 \text{ cfs/ac}$     $Q_C = 3.45 \text{ cfs/ac}$     $Q_D = 5.02 \text{ cfs/ac}$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
Subbasin 1	8.8
Subbasin 2	0.3
Subbasin 3.1	0.6
Subbasin 3.2	1.7
Total	11.4

**Water Quality:**

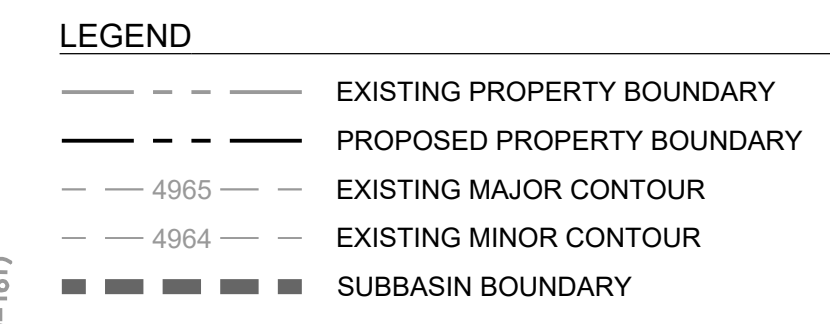
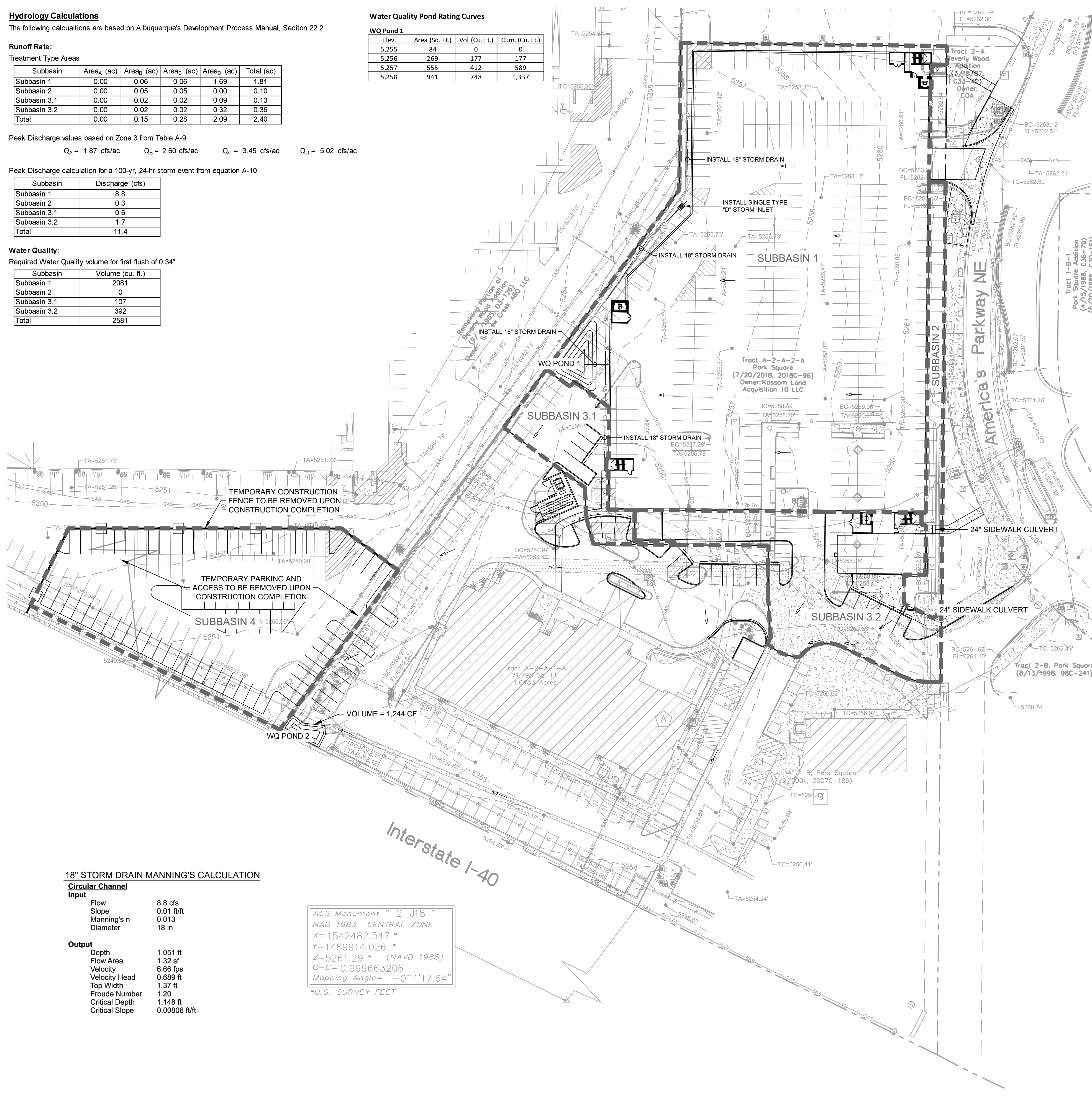
Required Water Quality volume for first flush of 0.34"

Subbasin	Volume (cu. ft.)
Subbasin 1	2081
Subbasin 2	0
Subbasin 3.1	107
Subbasin 3.2	392
Total	2581

**Water Quality Pond Rating Curves**

WQ Pond 1

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,255	84	0	0
5,256	269	177	177
5,257	555	412	589
5,258	941	748	1,337



**BACKGROUND**

TRACT A-2-A-2-A, PARK SQUARE IS APPROXIMATELY 2.4 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED JUST WEST OF AMERICAS PARKWAY BETWEEN INDIAN SCHOOL ROAD AND INTERSTATE 40. THE SITE CURRENTLY IS A PARKING LOT. THE PROPOSED PROJECT IS AN APARTMENT BUILDING. THIS PROPERTY RECEIVES NO OFFSITE FLOWS. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE SITE. A GRADING PLAN WAS DONE FOR THE PARKING LOT BY AFRA CONSTRUCTION & DESIGN FOR TRACT A-2-A-2-A (J18-D33). THIS FILE CAN BE REFERENCED FOR GENERAL BACKGROUND RELATED TO THE PROPERTY.

**METHODOLOGY**

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 22.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES IN ORDER TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.34". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

**EXISTING CONDITIONS**

THE AREA, IN GENERAL, SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 3% - 4%. STORM WATER RUNOFF GENERATED BY TRACT A-2-A-2-A SHEET DRAINS INTO TRACT A-2-A-1-A, THE ADJACENT PROPERTY TO THE SOUTH, AND IS CONCENTRATED INTO A CONCRETE RUNDOWN AT THE SOUTHWEST CORNER OF TRACT A-2-A-1-A. THE CONCRETE RUNDOWN DIRECTS WATER INTO A DROP INLET, WHICH THEN FLOWS IN A RCP UNDER THE WEST BOUND LANES OF INTERSTATE 40 AND DISCHARGES INTO THE I-40 CHANNEL.

**PROPOSED CONDITIONS**

THE APARTMENT BUILDING WILL CONSIST OF A PARKING GARAGE AT GRADE, ANOTHER LEVEL OF PARKING GARAGE ABOVE, AND FOUR FLOORS OF APARTMENT UNITS ABOVE THE PARKING GARAGE LEVELS. THE BASIN HAS BEEN SPLIT INTO 3 SUBBASINS.

SUBBASIN 1 IS 1.81 ACRES AND GENERATES 8.8 CFS. THIS SUBBASIN CONSISTS PRIMARILY OF THE RUNOFF GENERATED BY THE ROOF OF THE BUILDING. THE ROOF WILL FLOW WEST AND FLOW INTO SCUPPERS. STORM WATER IS THEN ROUTED THROUGH A 18" STORM DRAIN THAT DISCHARGES INTO WATER QUALITY POND 1. THE MANNING'S CALCULATION FOR THE 18" STORM DRAIN IS INCLUDED ON THIS SHEET. THE REQUIRED WATER QUALITY VOLUME FOR THIS SUBBASIN IS 2,081 CUBIC FEET. WATER QUALITY POND 1 PROVIDES 1,337 CUBIC FEET. ONCE FULL, RUNOFF ENTERS THE PARKING LOT AND FLOWS TO THE SOUTHWEST CORNER OF THE PROPERTY ALONG THE PROPERTY LINE AS THE SITE HAS DONE HISTORICALLY.

SUBBASIN 2 IS 0.10 ACRES AND GENERATES 0.3 CFS. THIS SUBBASIN CONSISTS OF THE LANDSCAPING AREA EAST OF THE BUILDING. THIS LANDSCAPING AREA WILL FLOW SOUTH AND DISCHARGE INTO THE PARKING LOT THROUGH A 24" SIDEWALK CULVERT. IT THEN RUNS THROUGH SUBBASIN 3.2 TO THE EXISTING VALLEY GUTTER IN THE PARKING LOT EAST OF THE EXISTING HOTEL. THIS VALLEY GUTTER ROUTES WATER TO THE SOUTHWEST CORNER OF THE PROPERTY AS THE SITE HAS DONE HISTORICALLY. NO WATER QUALITY VOLUME IS REQUIRED FOR SUBBASIN 2 SINCE IT CONTAINS ONLY LANDSCAPING AREA AND NO IMPERVIOUS SURFACES.

SUBBASIN 3 IS 0.49 ACRES AND GENERATES 2.3 CFS. THIS SUBBASIN CONSISTS OF THE PARKING LOT LOCATED ON THE SUBJECT PROPERTY. SUBBASIN 3.1 FLOWS SOUTH ALONG THE WEST BOUNDARY OF THE SITE AND SUBBASIN 3.2 FLOWS SOUTH INTO THE VALLEY GUTTER TO THE SOUTHWEST CORNER OF THE PROPERTY AS THE SITE HAS HISTORICALLY DONE. THE REQUIRED WATER QUALITY VOLUME FOR THIS SUBBASIN IS 499 CUBIC FEET. WATER QUALITY POND 3 PROVIDES 1,244 CUBIC FEET. THIS AMOUNT ACCOUNTS FOR THE ENTIRETY OF SUBBASIN 3 AND ALSO MAKES UP FOR THE REMAINING VOLUME REQUIRED FOR SUBBASIN 1.

SUBBASIN 4 WILL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS. SUBBASIN 4 DISCHARGES WEST INTO THE EXISTING PARKING LOT AND DOES NOT CONTRIBUTE TO THE DROP INLET LOCATED ON TRACT A-2-A-1-A.

**18" STORM DRAIN MANNING'S CALCULATION**

**Circular Channel**

Input	
Flow	8.8 cfs
Slope	0.01 ft/ft
Manning's n	0.013
Diameter	18 in
Output	
Depth	1.051 ft
Flow Area	1.32 sf
Velocity	6.66 fps
Velocity Head	0.889 ft
Top Width	1.37 ft
Froude Number	1.20
Critical Depth	1.148 ft
Critical Slope	0.00806 ft/ft

ACS Monument " 2_J18 "  
 NAD 1983 CENTRAL ZONE  
 X= 1542482.547 *  
 Y= 1489914.026 *  
 Z= 5261.29 * (NAVD 1988)  
 G-G= 0.999663206  
 Mapping Angle= -0°11'17.64"  
 *U.S. SURVEY FEET

REVISION

DESIGNED	RESPEC
DRAWN	JS
CHECKED	HF
DATE	10.02.2018

PROJECT NAME: MARKANA UPTOWN AMERICAS PARKWAY NE ALBUQUERQUE, NEW MEXICO

SHEET TITLE: CONCEPTUAL DRAINAGE PLAN

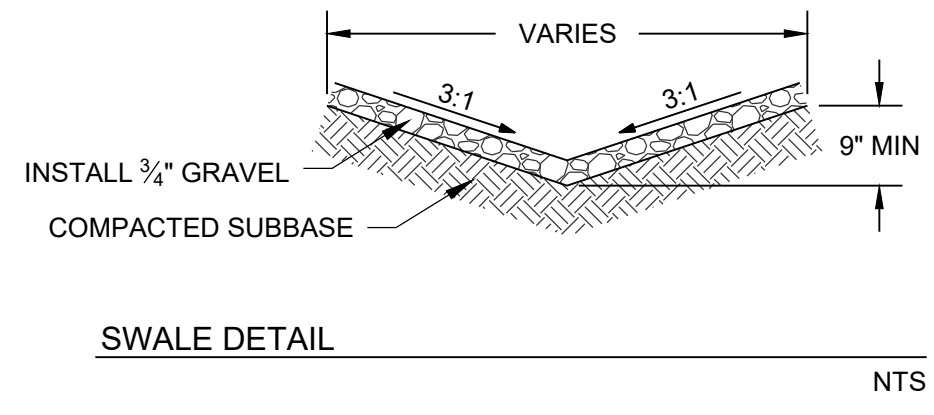
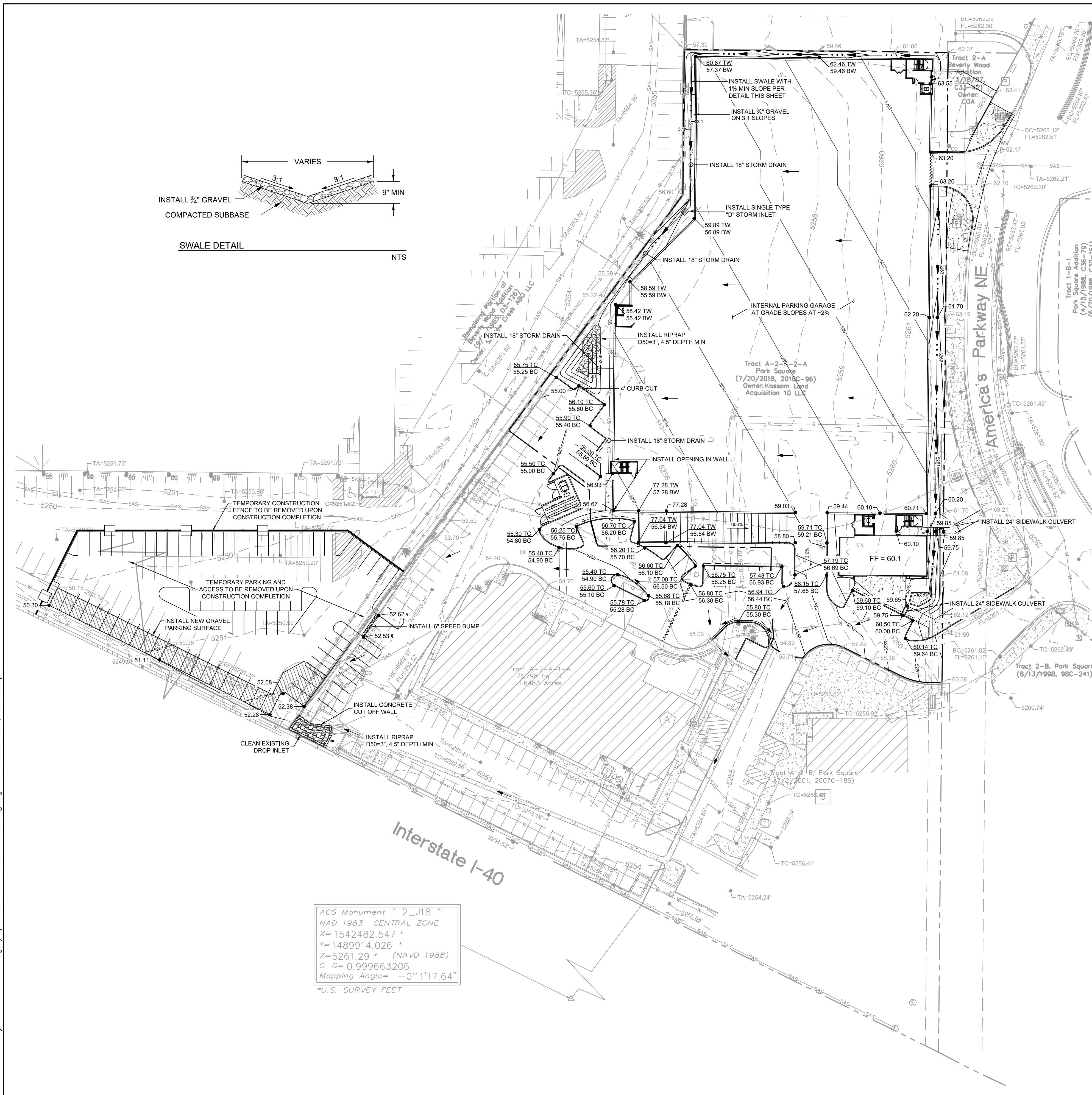
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SHEET NUMBER: C-1

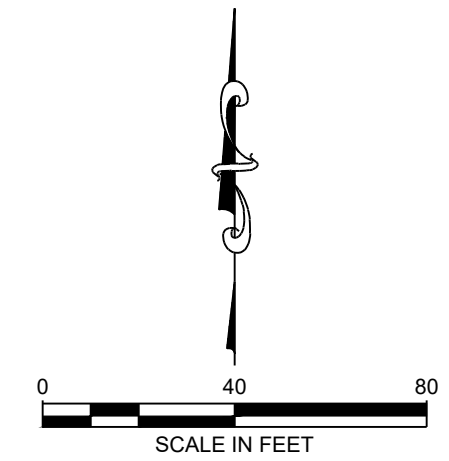
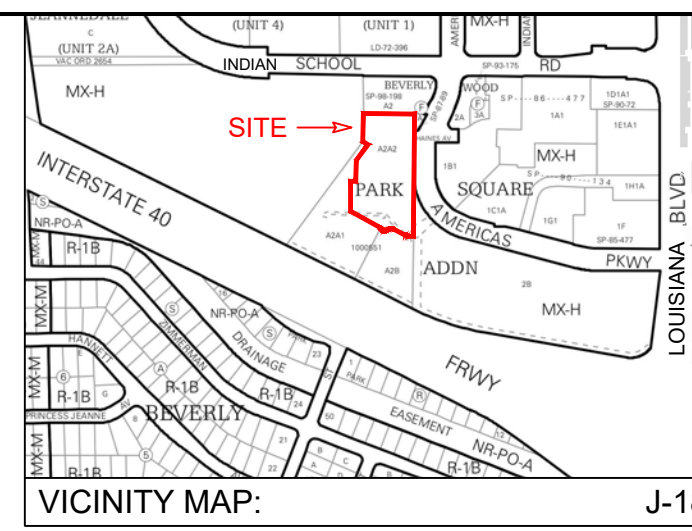
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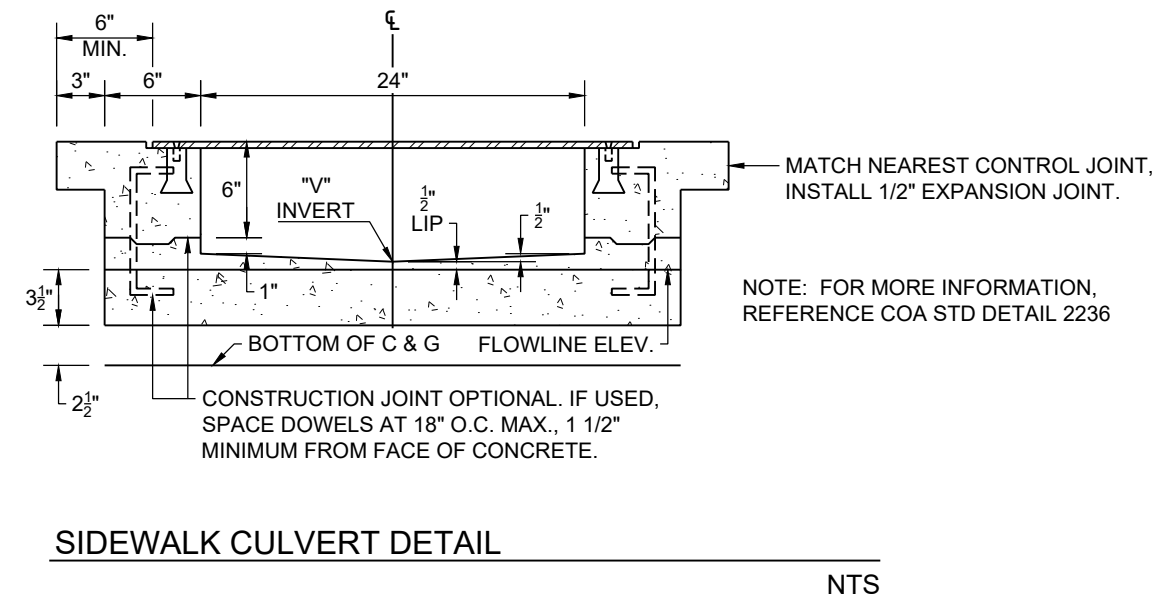
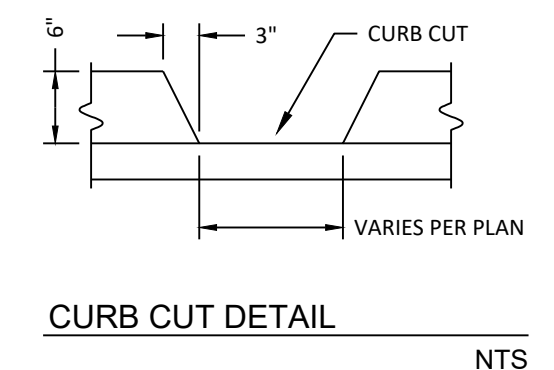
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**GENERAL NOTE:**  
 1. ALL EXISTING UNDERGROUND UTILITY INFRASTRUCTURE THAT INTERFERES WITH THE NEW CONSTRUCTION WILL BE RELOCATED.



- LEGEND**
- EXISTING PROPERTY BOUNDARY
  - PROPOSED PROPERTY BOUNDARY
  - - - 4965 EXISTING MAJOR CONTOUR
  - - - 4964 EXISTING MINOR CONTOUR
  - - - 4966 PROPOSED CONTOUR
  - ~~~~~ PROPOSED WATER BLOCK
  - PROPOSED FLOW LINE
  - ▨ PROPOSED RIPRAP
  - ▨ PROPOSED GRAVEL PARKING SURFACE
  - xx.xx PROPOSED SPOT ELEV
  - xx.xx EXISTING SPOT ELEV



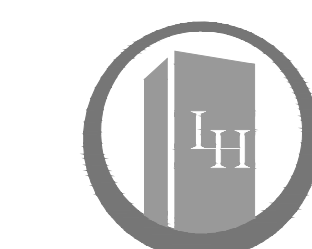
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 Z= 5261.29 * (NAVD 1988)  
 G-C= 0.999663206  
 Mapping Angle= -0°11'17.64"  
 *U.S. SURVEY FEET

DESIGNED RESPEC	DRAWN JS	CHECKED HF	DATE 10.02.2018
<p>PROJECT NAME: MARKANA UPTOWN AMERICAS PARKWAY NE ALBUQUERQUE, NEW MEXICO</p>			
<p>SHEET TITLE: CONCEPTUAL GRADING PLAN</p>			
<p>ISSUED FOR: SITE PLAN FOR BUILDING PERMIT</p>			
<p>SHEET NUMBER: C-2</p>			

# MARKANA UPTOWN

Americas Parkway NE  
Albuquerque, New Mexico

Office of Rich Barber  
**ORB** Architecture, LLC  
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**R** RESPEC  
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SUITE 101  
ALBUQUERQUE, NM 87109  
PHONE (505) 243-2287

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## REVISIONS

- ▲ UPSIZED FIRE AND SEWER LINES.
- ▲
- ▲
- ▲
- ▲

CD SET

DATE: March 30, 2020 ORB # 16-221

# C-301

UTILITY PLAN

- LEGEND**
- PROPOSED PROPERTY BOUNDARY
  - W — W — EXISTING WATER LINE
  - - - - - PROPOSED WATER LINE
  - SAS - SAS - EXISTING SANITARY SEWER LINE
  - SAS - SAS - PROPOSED SANITARY SEWER LINE

**GENERAL NOTE:**

1. TYPE RBPA BACKFLOW PREVENTERS FOR THE PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO THE PROPOSED BUILDING PER COA STD DWG 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.
2. ALL PUBLIC INFRASTRUCTURE WILL BE BUILT WITH A MINI WORK ORDER.
3. SEE MEP PLAN FOR UTILITY CONTINUATION.
4. CONTRACTOR TO FILED VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF EXISTING UTILITIES. IF A CONFLICT EXISTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

Tract 1-B-1  
Park Square Addition  
(02/01/1988, CSD# 217)  
Owner: OPFS Office

Tract 2-A  
Beverly Wood Addition  
(01/18/87, CSD# 142)  
Owner: COA

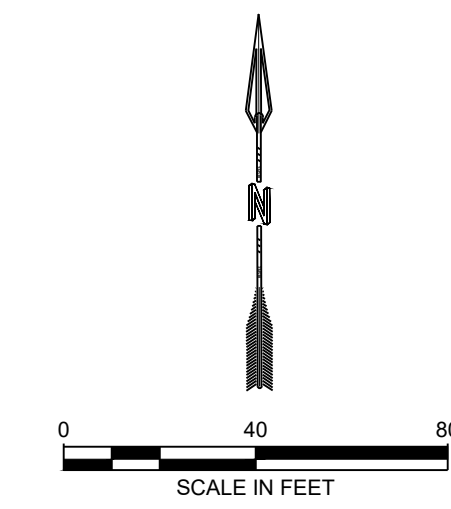
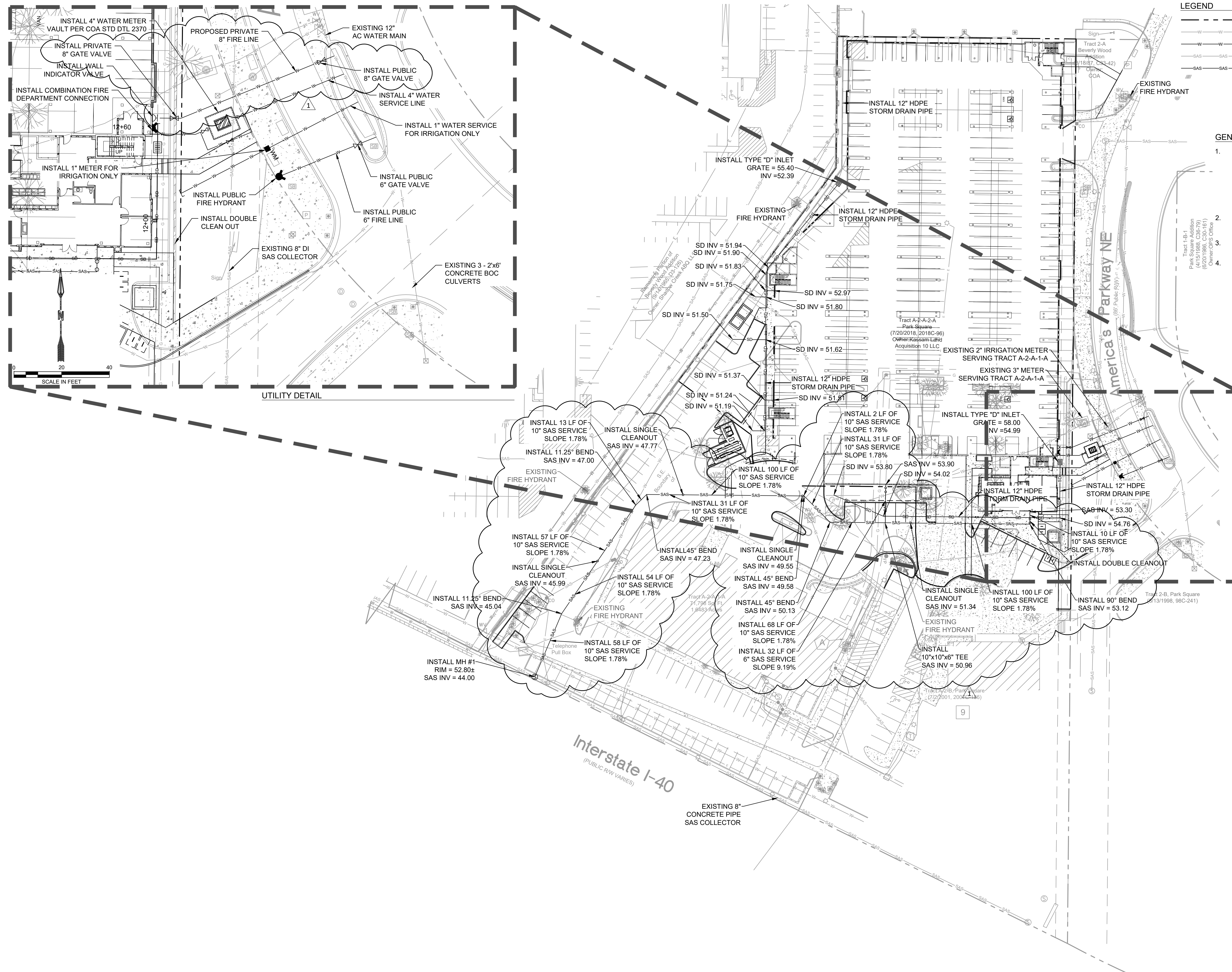
Tract A-2-A-2-A  
Park Square  
(7/20/2018, 2018C-96)  
Owner: Kassam-LRHC  
Acquisition 10 LLC

Tract 2-B  
Park Square  
(12/20/01, 2002-3-6)

Tract 2-B  
Park Square  
(12/20/01, 2002-3-6)

Tract 2-B  
Park Square  
(12/20/01, 2002-3-6)

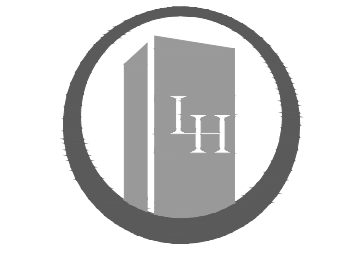
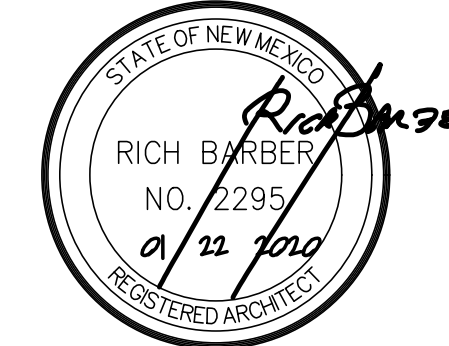
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Park Square  
(12/20/01, 2002-3-6)



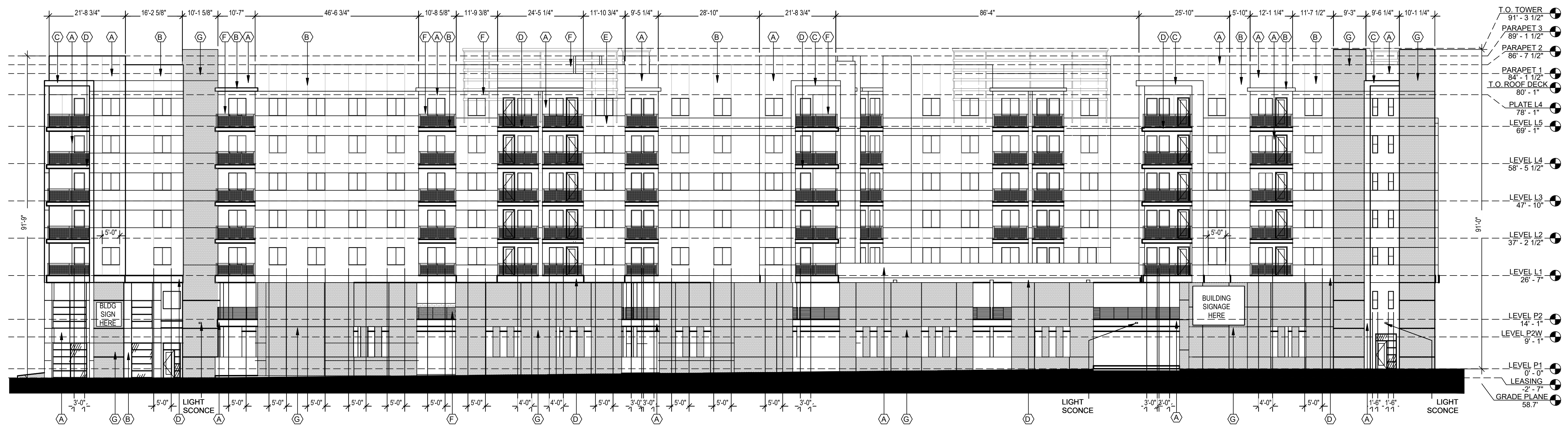
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**EAST ELEVATION**

Scale: 1/16" = 1'-0"



**WEST ELEVATION**

Scale: 1/16" = 1'-0"

**MATERIAL KEY NOTES:**

- (A) STUCCO FINISH DUNN EDWARDS DE6365 "COLD MORNING" LRV 73
- (B) STUCCO FINISH DUNN EDWARDS DE6367 "COVERED IN PLATINUM" LRV 46
- (C) STUCCO FINISH DUNN EDWARDS DE6369 "LEGENDARY GRAY" LRV 18
- (D) STUCCO FINISH DUNN EDWARDS DE6378 "JET" LRV 9
- (E) STUCCO FINISH DUNN EDWARDS DE6371 "BLACK JACK" LRV 8
- (F) BALCONY METAL RAILING, CANOPIES PAINTED DUNN EDWARDS DE6378 "JET" LRV 9
- (G) BRICK VENEER MCNEAR THIN BRICK COLOR "TANGIERS"

**DRB SUBMITTAL**

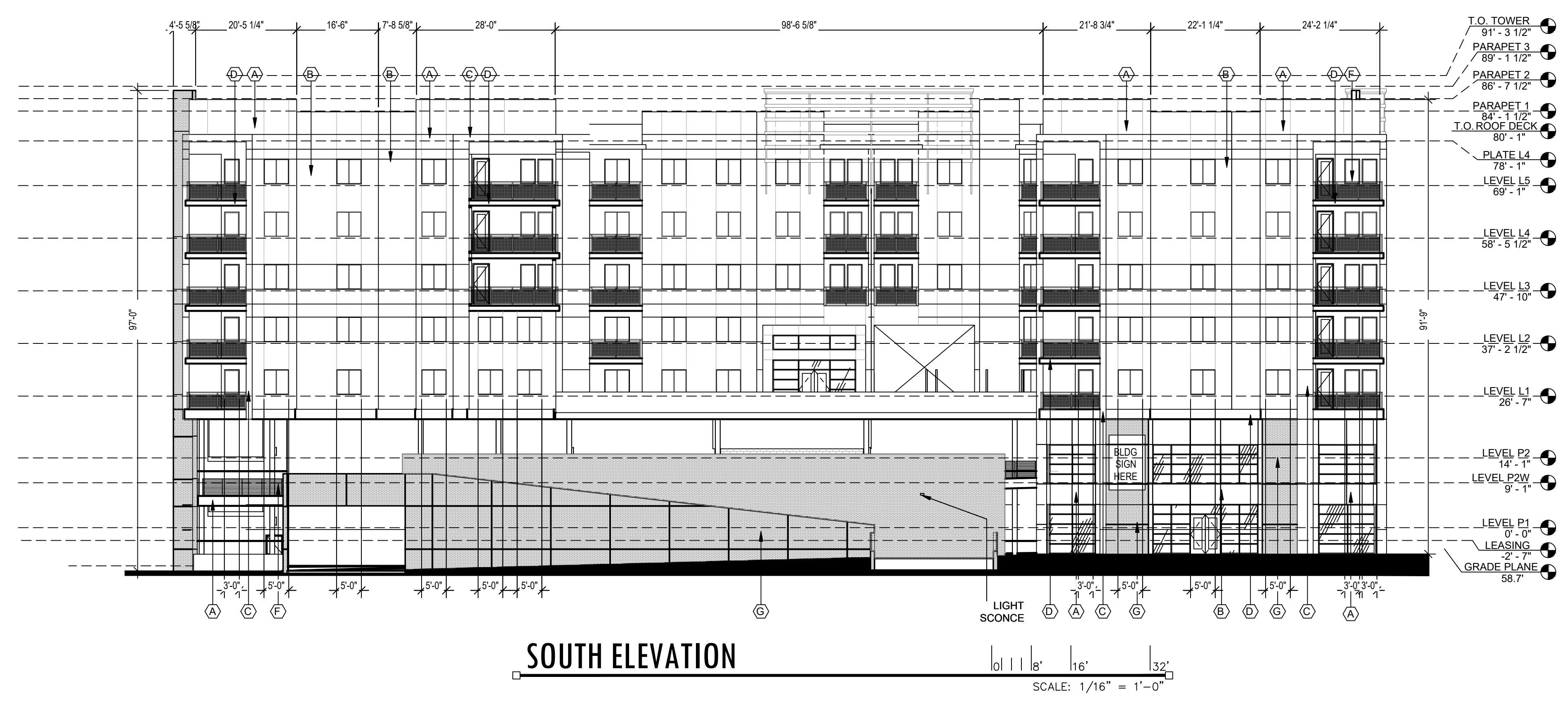
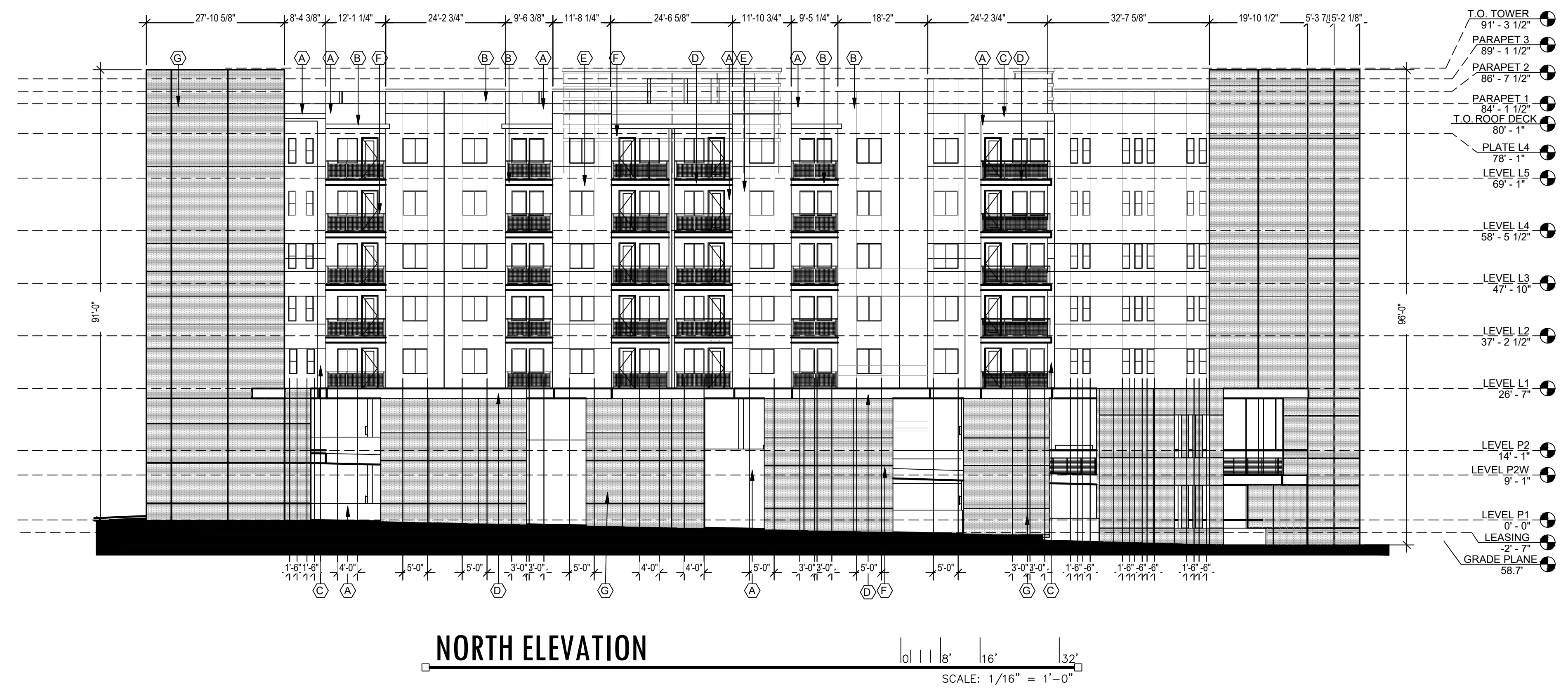
DATE: JANUARY 22, 2020 ORB # 16-221

**A3.14**

BUILDING  
EXTERIOR ELEVATIONS

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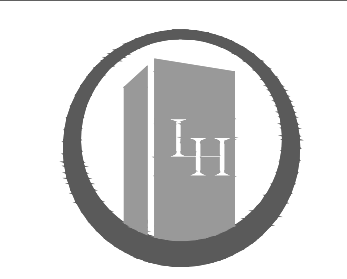
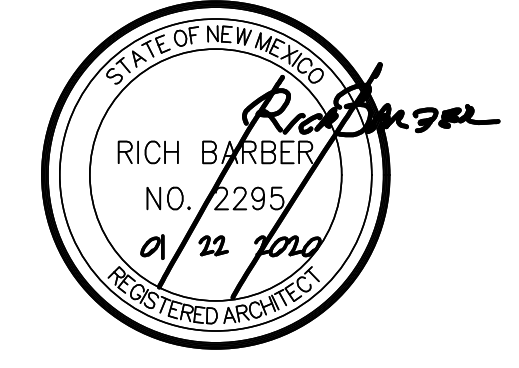


# MARKANA UPTOWN

6500 Americas Parkway NE  
Albuquerque, NM 87110



WorldHQ@ORBArch.com



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### MATERIAL KEY NOTES:

- (A) STUCCO FINISH DUNN EDWARDS DE6365 "COLD MORNING" LRV 73
- (B) STUCCO FINISH DUNN EDWARDS DE6367 "COVERED IN PLATINUM" LRV 46
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- (F) BALCONY METAL RAILING, CANOPIES PAINTED DUNN EDWARDS DE6378 "JET" LRV 9
- (G) BRICK VENEER MCNEAR THIN BRICK COLOR "TANGIERS"

### DRB SUBMITTAL

DATE: JANUARY 22, 2020 ORB # 16-221

# A3.15

BUILDING EXTERIOR ELEVATIONS

PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## OFFICIAL NOTIFICATION OF DECISION

October 21, 2021

KLG 29 LLC  
5971 Jefferson St. NE  
Suite 101  
Albuquerque, NM 87109

**Project #2021-005846 SI-2021-01228**  
Site Plan- Major Amendment

### **LEGAL DESCRIPTION:**

Respec, c/o Jeremy Shell, agent for KLG 29 LLC, requests the above action for all or a portion of Tract A-2 plat of Tract A-2, Block F, Beverly-Wood Addition, zoned MX-H, located at 6400 Indian School Rd. NE, between Americas Parkway NE and San Pedro Dr. NE, approximately 1 acre. (J-18) Staff Planner: Leroy Duarte

On October 21, 2021, the Environmental Planning Commission (EPC) voted to APPROVE Project #2021-005846 SI-2021-01228 Site Plan- Major Amendment, based on the following Findings:

1. The request is for a Major Amendment for a property legally described as Tract A-2 plat of Tract A-2, Block F, Beverly-Wood Addition, Zoned MX-H located at 6400 Indian School Rd. NE, located between Americas Parkway NE and San Pedro Dr NE approx. 1 acre (the “subject site”)
2. The applicant requests that the EPC relinquish its controlling authority as the governing body for the existing site development plan and abandon the site development plan.
3. The EPC is hearing this case pursuant to IDO section 14-16-6-4(Z) Amendments of Pre-IDO Approvals. Major amendments shall be reviewed by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement). The amendment exceeds the thresholds found in IDO table 6-4-4: Allowable Minor Amendments, therefore it is classified as a Major Amendment pursuant to IDO section 14-16-6-4(Z)(1)(b).
4. The subject site is located in the Uptown Urban Center an Area of Change at the intersection of a Major Transit Corridor-Indian School NE and Americas Parkway NE.
5. The subject site is zoned MX-H (Mixed Use – High Intensity). The purpose of the MX-H zone district is to provide for large-scale destination retails and high-intensity commercial, residential, light industrial, and institutional uses, as well as high density residential uses particularly along the Transit Corridors and in Urban Centers. The MX-H zone district is intended to allow higher-density infill development in appropriate locations.

6. Pursuant to IDO Table 4-2-1: Allowable Uses, the proposed parking lot is only allowed in the MX-H zone as an accessory use to a primary use. In order to develop a parking lot in this zone is in conjunction with another primary use.
7. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 4: Community Identity:

Goal 4.1 – Character: Enhance, protect, and preserve distinct communities.

The request would eventually enhance the Uptown Urban Center with the future development that is planned for the site and act as support to current development occurring.

9. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 5: Land Use:

Goal 5.1 – Centers and Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors

The request would facilitate growth as a community of strong Centers connected by a multi-modal network of corridors because the subject site sits along two designated Corridors.

10. The request furthers the following, additional polices regarding Centers and Corridors from Comprehensive Plan Chapter 5: Land Use.

Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop and play together.

The request would facilitate development of the subject site and serve as an accessory use, which would provide additional parking spaces for the residents to the south of the site to live, work, and shop in the area.

11. The request furthers the following, additional polices regarding Centers and Corridors from Comprehensive Plan Chapter 5: Land Use.

A. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The subject site is already served by existing infrastructure and public facilities, so the redevelopment made possible by the request would generally promote efficient development patterns and use of land.

B. Goal 5.6 City Development areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change, where growth is expected and desired the request would encourage, enable, and direct growth to it.

- C. Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request would direct growth in the Uptown Urban Center with intentions on developing on the site in the future.

12. The request is consistent with the following Comprehensive Plan Goal from Chapter 8: Economic Development

Goal 8.1 –Placemaking: Create places where business and talent will stay and thrive.

The request will create accessory parking but which will serve residents of the future development and also provide parking for surrounding businesses.

13. The request is consistent with the following Comprehensive Plan Goal from Chapter 9: Housing

Goal 9.1 –Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing.

The request will support current and future development for existing and proposed housing developments.

14. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(J)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.

- B. 14-16-6-6(J)(3)(b) The site plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

The subject site is zoned MX-H; therefore, this criterion does not apply.

- C. 14-16-6-6(J)(3)(c) The site plan complies with all applicable provisions of this IDO, the DPM, other adopted City Regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO. The request will need to be reviewed by the Development Review Board (DRB) to ensure compliance with applicable provisions of the Development Process Manual (DPM). As per the IDO, the EPC will determine whether any deviations from typical Mixed-Use development are acceptable in this proposed major amendment.

- D. 14-16-6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

The request will be reviewed by the Development Review Board (DRB), which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems has sufficient capacity to serve a proposed development.

- E. 14-16-6-6(J)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

Any future proposed development shall be subject to applicable provisions and standards of the IDO.

- F. 14-16-6-6(J)(3)(f) If the subject site is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is not within an approved Master Development Plan; therefore, this criterion does not apply.

- G. 14-16-6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the impacts.

The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required, therefore this criterion does not apply.

15. The affected, registered neighborhood organizations District 7 Coalition of Neighborhood Associations, ABQ Park, Alvarado Park, Classic Uptown, Inez, Jerry Cline Park, Mark Twain, Quigley Park, Snow Heights, Winrock South and Winrock Villas Condo Neighborhood Associations were notified as required. Property owners within 100 feet of the subject site were also notified as required.

16. As of this writing, Staff has not been contacted and is unaware of any opposition.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **November 5, 2021**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of



approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,

for Alan M. Varela,  
Planning Director

AV/LD

cc: RESPEC, c/o Jeremy Shell, [Jeremy.shell@respec.com](mailto:Jeremy.shell@respec.com)  
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