



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2018-001284  
Application No. SI-2021-01962

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 1/19/22 HEARING DATE OF DEFERRAL: 12/15/21

**SUBMITTAL**

**DESCRIPTION:** Comment response memo, revised plans, easement document and sidewalk waiver justification (also submitted separately).

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CONTACT NAME: Michael Vos, AICP \_\_\_\_\_

TELEPHONE: (505) 764-9801 EMAIL: vos@consensusplanning.com \_\_\_\_\_



# Memorandum

**To:** City of Albuquerque Development Review Board

**From:** Michael Vos, AICP, Consensus Planning, Inc. 

**Date:** January 14, 2022

**Re:** Markana Uptown Site Plan Amendment DRB Comment Responses (PR-2018-001284)

This memo outlines the responses and changes made to the site plan for the proposed addition of a 103-space temporary parking lot based on the comments received and reviewed at the December 15, 2021 DRB meeting.

## Code Enforcement

1. Development must meet all applicable standards and provisions of the Site Development Plan. Where silent project must meet standards of the IDO, the DPM, and other adopted City regulations.
  - *Understood.*
2. Clarify new temporary parking area. Is it permanent or will this area be built out at a later time?
  - *As described at the December 15<sup>th</sup> DRB meeting, the parking lot is intended to be temporary and is primarily to provide parking for adjacent properties during the construction of the Markana Uptown multi-family development. Once construction is complete the Applicant intends to proceed with design, site plan approval, and development of a hotel or additional multi-family residential on the subject property.*
3. Must meet all standards of IDO section 5-6, Landscaping, Buffering and Screening. Including, but not limited to: 5-6-C, 5-6-D, 5-6-F, 5-6-G. To also include IDO section 5-13, Operation and Maintenance.
  - *It is the intent of the amended plan to comply with these standards. The landscape plan provides the required street trees and parking lot trees around the perimeter of the new parking area. Provided parking lot trees are each identified by the notation "PLT." If there are specific IDO requirements that are identified that need to be further clarified or addressed, we can do so at the appropriate time.*
4. Walls/Fences must meet all standards with IDO section 5-6 and 5-7. Height limitations may require variance/waiver.
  - *Understood.*
5. Will signage be included in this new area and is it a part of the original approval development plan?
  - *No new signage is proposed with the addition of the parking lot. Some building-mounted signage was shown in conceptual form in the approved elevations and will require separate permit for installation.*

6. Are there additional changes that would affect the original Site Plan approval?
  - *The only changes to the site plan are the addition of the parking lot and surrounding landscape. The remaining portions of the site generally remain as last approved in 2020. Some minor clarifications to details are being made to address Transportation comments. The original project has a building permit and construction has begun.*

#### Transportation Development

##### Plat-Related, could affect site plan

1. Because this is located within a Center, 10-foot sidewalk is required on all frontages.
  - *The Applicant has requested a Waiver – DRB for this width requirement on Indian School Road that will be reviewed along with the Site Plan Amendment.*
2. The Transportation Department has no objection to the vacation of easements.
  - *Understood.*
3. Some of the utilities appear to be outside of right-of-way. Right-of-way adjustments may be needed.
  - *The Engineer and Surveyor are coordinating on this to see if additional right-of-way is necessary to be dedicated on the plat.*
4. The hotel sign is located within the right-of-way. It will either need to be located or a revocable permit will be needed.
  - *The hotel sign does not appear to be within right-of-way, but rather it appears to be located on the adjacent property to the east (Tract 2-B, Park Square Addition).*
5. Indian School is a minor arterial, and America's Parkway is a major collector. Minimum right-of-way width shall be established on both streets per DPM requirements.
  - *The existing rights-of-way meet the minimum widths established in DPM Table 7.3.34. Indian School is a Minor Arterial and has 83 feet of right-of-way (82 is the minimum). Americas Parkway is a Major Collector with ~86 feet of right-of-way (62 is the minimum).*
6. Bike lanes are proposed on America's Parkway. Provide cross-section that can incorporate future right-of-way to include a bike lane.
  - *America's Parkway includes more than adequate minimum right-of-way to incorporate all necessary elements of a Major Collector, including bike lanes. The Project Engineer has prepared a cross-section to show the modifications necessary to accomplish this, which is included with this supplemental submittal.*

##### Site Plan Comments

1. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide ramp and crosswalk details. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
  - *The Architect has added or clarified these paths on the site plan, where necessary.*
2. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of all barrier curb. (Particularly for the

parking lot islands, curbed landscaped islands should be used as opposed to striped islands in order to separate traffic flow from parked cars. Follow DPM requirements for dimensioning and radii.

- *Additional notes have been added for curbing locations. Since the parking lot is intended to be temporary in nature, the Applicant requests that the islands within this parking area are allowed to be striped.*
3. Call out all paved surfaces for each parking lot segment.
    - *Additional paving keynotes have been added to the plans.*
  4. ADA curb ramps must be called out with a keyed note on the plan; reference the details on the detail sheet according to the type of ramp needed.
    - *No new ramps are provided on site. All curb ramps within right-of-way are existing.*
  5. Provide existing sidewalk width along Indian School Road.
    - *The existing sidewalk width is approximately 6 feet according to the site survey. This has been noted and a Waiver – DRB has been requested for this to remain.*
  6. Provide existing driveway entrance width for all driveways.
    - *Dimensions have been added for all driveway widths.*
  7. Provide all parking calculations, including those for ADA parking. It seems that the number of ADA parking spaces provided is less than what is required. Please revise the site plan VS building floor plan P1 as necessary. (sheet A3. 11)
    - *The temporary parking has been added to the provided parking totals. ADA space locations throughout the site have been clarified with the current parking structure floor plans to show compliance with the requirements.*
  8. Include necessary van accessible parking spaces and mark these on the plan with a minimum 8-foot wide dimension.
    - *Van spaces have been noted on the plans. As allowed, these spaces are 11 feet wide with a 5-foot aisle for a total of 16 feet.*
  9. All compact parking spaces shall be marked as “Compact” in back. Note the maximum compact space parking requirement, and include these in the parking calculations.
    - *The compact spaces have been marked and noted with keynote 4. A typical detail is provided with dimensions.*
  10. Include motorcycle parking signage and mark “MC” in the back of the parking space.
    - *Motorcycle spaces have been marked and noted with keynote 16.*
  11. Include the required note for violators to be towed on handicapped parking sign.
    - *The required language has been added to the associated detail.*
  12. Show any electrical charge stations and include requirements for those in the parking calculations.
    - *EV charging station requirements are listed in the parking table with 11 required and 14 provided. Locations for these stations have been added to the site plan.*
  13. Include a copy of the private easement designated as Note 5 for the driveway off of America’s Parkway.
    - *A copy of this easement document is attached.*

14. For the clear sight triangles, use criteria for intersection sight distance. Incorporate onto site plan and landscaping plan.
  - *Updated clear sight triangles have been provided on the site plan and landscape plan.*
15. Bicycle parking requirements need to be included to check against number of spaces required. Provide dimensioning for overall bicycle parking areas.
  - *Bicycle parking requirements are listed in the parking table, and an associated detail shows required dimensioning.*

#### ABCWUA

1. Availability Statement #200119 has been issued and sets the criteria for service. The statement can continue to be utilized for this project as the project moves forward.
2. Generally, no objections to removing the parking area or adding a new parking area.
3. Please clarify if an offsite easement is required or in place to the south for the private sewer discharge.
  - *The Project Engineer is reviewing this sewer discharge and any affected easements.*
4. This project is within the adopted service area.
5. Pro rata is not owed for this property.
6. At time of development, provide a utility plan that indicates the location of proposed services.
7. Infrastructure List:
  - a. No public main improvements are anticipated to be required at this time. Please see comment above about changed conditions, if the structures have changed, the sufficiency of the existing infrastructure will need to be reviewed against the revised utility plan.
  - *Nothing has changed since the 2020 approval except for the addition of the parking lot at the north end of the site, so no infrastructure changes are anticipated. When future development of the parking lot area is brought forward for a permanent use (hotel or multi-family residential), the Applicant will request a Water & Sewer Availability Statement and ensure adequate provision of infrastructure at that time.*
8. Easements (Standard Comments):
  - a. Include all public water and/or sanitary sewer easements on the plat, including those that are adjacent to the subject property's boundaries. Surveyor shall field verify the location of existing public water and/or sanitary sewer infrastructure to determine if existing public water and/or sanitary sewer easements are sufficient. If the easement(s) does not exist, a new easement shall be granted. The width of the easement shall be the standard width, unless specified by the Water Authority.
  - b. Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20' is required for a single utility and 25' for water and sewer both within the same easement. Easements for standard sized water meters need to be 5'x5' and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35'x35' easement is required. Actual easement widths may vary depending on the depth of the lines to be installed.
  - c. If existing conditions consist of a shared easement with public waterline and/or sanitary sewer along with other utilities, this existing easement may remain as is without the need for an exclusive easement, as approved by the Water Authority.

- *The Surveyor and Project Engineer are coordinating on the required utility easements for the plat.*

### Planning

1. The applicant is submitting this request to add Tracts A-2 and 2A, Block F, Beverly-Wood Addition with additional parking to a multi-family residential development previously approved by the DRB via Site Plan on October 17, 2018 (PR-2018-001284/SI-2018-00131) and Site Plan Amendment on March 4, 2020 (PR-2018-001284/SI-2020-00028).
2. The request exceeds the thresholds for a Minor Amendment and therefore is being considered pursuant to Section 14-16-6-4(Z)(1)(b)1, which states that Major Amendments shall be reviewed and decided by the decision-making body that issued the approval being amended. In this case, the DRB approved the existing Site Plan and Site Plan Amendment for the subject site.
3. The request adds additional parking at the southwest corner of Indian School Road and Americas Parkway.
4. It's unclear how many additional parking spaces are being added in the request. Please confirm how many additional parking spaces are being added.
  - a. *103 additional parking spaces are being provided in the temporary parking lot. This number is included in the overall open parking count provided.*
5. Add project and application numbers to the Site Plan Amendment prior to distribution for DRB signatures.
  - a. *The project and application numbers have been added to the Site Plan.*
6. The Landscape Plan sheet states that the parking lot landscaping requirements are being met, but it's unclear to staff how those requirements are being met. Please detail which trees are included in the parking lot landscaping requirement.
  - a. *The landscape plan has been updated to identify the parking lot trees with the designation "PLT" at each symbol.*
7. Confirm if there's a dumpster in the parking lot. If there is, Solid Waste approval and their signature will be required.
  - a. *A dumpster is not proposed or being provided in the temporary parking lot. If necessary, Consensus Planning can obtain Solid Waste signature prior to Board Member signatures.*



December 28, 2021  
Jolene Wolfley, Chair  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
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Re: Sidewalk Width Waiver – DRB for the Markana Uptown Project

Dear Ms. Wolfley:

The purpose of this letter is to request review and approval of a Waiver to IDO Section 14-16-5-3(D)(2)(b) and the Development Process Manual (DPM) to allow a reduction of the sidewalk width along Indian School Road from the required 10-foot minimum to keep the existing approximately 6-foot sidewalk. This application is made on behalf of Legacy Development & Management in association with a Major Amendment to the Markana Uptown multi-family Site Plan under PR-2018-001284 and SI-2021-01962. The property is legally described as Tracts A-2-A-1 and A-2-A-2, Park Square and Tracts A-2 and 2A, Block F, Beverly-Wood Addition and located at the southwest corner of Americas Parkway and Indian School Road NE (see Figure 1).



Figure 1: Site Location at the southwest corner of Americas Parkway and Indian School Road NE.

#### PRINCIPALS

James K. Strozier, FAICP  
Christopher J. Green, PLA,  
ASLA, LEED AP  
Jacqueline Fishman, AICP

The Site Plan request adds a temporary parking lot on the north end of the project fronting Indian School Road, and an accompanying plat will consolidate the existing lots into a single lot for the development. These applications trigger the sidewalk requirements of the DPM under Section 14-16-5-3(D)(2)(b) of the IDO. The DPM requires a 10-foot sidewalk for



properties located in Urban Centers such as Uptown. However, there are existing conditions for the subject site that warrant consideration for a narrower sidewalk in this location.

As described below, this project meets the requirements for approval of the requested Waiver – DRB for a reduction in the sidewalk width along Indian School Road to a 6-foot minimum sidewalk, which currently exists.

The following responses explain how this waiver request meets IDO Section 14-16-6(P)(3):

6-6(P)(3)(a) Any of the following applies:

1. There are pre-existing obstructions that cannot be easily or economically relocated or should not be altered, such as grades, fills, water courses, natural topographic features, man-made obstructions, or utility lines.
2. The area or site has been recognized as having historical, archeological, and/or architectural significance by the City, State, or federal government, and a Waiver is needed and appropriate to maintain such historical, archeological, and/or architectural significance.
3. The established neighborhood character or landscaping on the site would be damaged to a degree that outweighs the public interest in the City's normal technical standards in that location.
4. Varying from the normal requirements and standards will encourage flexibility, economy, effective use of open space, or ingenuity in design of a subdivision, in accordance with accepted principles of site planning.

*The subject site meets Criteria #1, #3, and #4. Specifically, the project meets criteria #1 and #3 due to the surrounding development to the west, which includes utility obstructions at the west property line of this project. Farther west, the existing apartment development is built with a significant retaining wall along its property line, as well as several utility poles that prevent expansion of the sidewalk to the required 10-foot width. The existing sidewalk fronting the subject property is a minimum of 6 feet wide, which is wider than the existing sidewalk to the west. If the sidewalk west of the subject site was expanded to the maximum available space, it would be approximately as wide as the existing sidewalk fronting this property. Not only is widening the sidewalk fronting the project impractical due to this character and the related obstructions, but it would also reduce or eliminate the available planting area for trees that are proposed to meet street tree requirements and provide shade to cars parked in the parking lot. Lastly, allowing a 6-foot-wide sidewalk along Indian School Road meets criterion #4 by allowing flexibility and economy for this development. As a temporary parking lot, this frontage has not been planned or designed to its final configuration. Allowing a narrower sidewalk for these reasons will also allow the Applicant to consider the future landscaping and street frontage improvements more thoroughly with future approvals for the site once the parking lot is no longer needed and there is a desire to develop it with additional apartments, hotel, or other commercial and mixed-uses, as appropriate.*





6-6(P)(3)(b) The Waiver will not be materially contrary to the public safety, health, or welfare.

*The requested Waiver will not be materially contrary to the public safety, health, or welfare because the project still meets the intent of the IDO and DPM by maintaining a greater than 10-foot sidewalk along most of the project frontage along Americas Parkway. While 6 feet is less than the IDO requirement, it meets the minimum DPM sidewalk width and ADA standards for a pedestrian access route, is not reducing the existing sidewalk width, and is greater than the sidewalk width along the abutting property frontage to the west.*

6-6(P)(3)(c) The Waiver does not cause significant material adverse impacts on surrounding properties.

*The requested Waiver does not cause significant material adverse impacts on surrounding properties because a 6-foot-wide sidewalk is what has existed in this location for many years and is wider than the abutting property frontage to the west. If the sidewalk to the west were to be expanded, it would likely only be able to match this 6-foot width due to existing obstructions such as utility boxes, poles, and a retaining wall for the adjacent apartment community.*

6-6(P)(3)(d) The Waiver will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements.

*The proposed Waiver will not hinder future planning, public right-of-way acquisition, or the financing of public infrastructure improvements. The proposed sidewalk, whether this Waiver is granted or not, will be contained within the existing public right-of-way, which meets the minimum DPM requirements for a Minor Arterial Roadway. Approval of the Waiver will not preclude the City from widening the adjacent roadway or this sidewalk at any point in the future should the right-of-way and adjacent developments allow for it.*

6-6(P)(3)(e) The Waiver will not conflict significantly with the goals and provisions of any City, County, or AMAFCA adopted plan or policy, this IDO, or any other City code or ordinance.

*The Waiver does not conflict with any other provisions of any City code or ordinance. The requested 6-foot-wide sidewalk is consistent with the minimum sidewalk width in the DPM outside of Centers, ADA requirements, and the City's sidewalk ordinance.*

6-6(P)(3)(f) The Waiver will not allow, encourage, or make possible undesired development in the 100-year Floodplain.

*The site is not located in or near the 100-year Floodplain.*



6-6(P)(3)(g) The Waiver will not materially undermine the intent and purpose of this IDO or the applicable zone district.

*The Waiver will not materially undermine the intent and purpose of the IDO or the MX-H zone district. The proposed sidewalk widths are consistent with the purpose of IDO Section 5-3 and general DPM requirements to ensure convenient and efficient access and adequate street connectivity, among others. The existing sidewalk width is the same or wider than along abutting property frontages and will maintain more than adequate pedestrian access in this area of Albuquerque.*

6-6(P)(3)(h) The Waiver does not allow a lot or type of development that does not meet the applicable Development Standards for the zone district where the lot is located, unless a deviation to such standards is within the thresholds established by Subsection 14-16-6-4(P)(Deviations) and is granted by the DRB as part of this approval.

*The proposed lot and mixed-use development are allowed by the underlying zoning and approval of the requested Waiver does not allow for a type of development that does not meet the applicable Development Standards for the MX-H zone district.*

6-6(P)(3)(i) The Waiver approved is the minimum necessary to provide redress without being inconsistent with the provisions of this Subsection 14-16-6-6(P).

*The proposed Waiver to the sidewalk width along Jackson Street is the minimum necessary provide redress for the Applicant to provide the required street trees along Indian School Road, and not dedicate right-of-way that does not exist beyond the limits of the project site. The Waiver does not result in a sidewalk that is less than the minimum DPM or ADA standards for general commercial and mixed-use areas and allows for flexibility for the temporary parking lot use and the design of any future development of the property.*

6-6(P)(3)(j) If the request is a for a Waiver to IDO sidewalk requirements, the area is of low-intensity land use to an extent that the normal installation of sidewalks will not contribute to the public welfare, and the absence of a sidewalk will not create a gap in an existing sidewalk system extended to 1 or more sides of the subject property.

*The requested Waiver is only to the required sidewalk width and does not completely waive the installation of required sidewalks, so this criterion does not apply.*

Based upon the information provided above and supporting documents, we respectfully request the DRB's review and approval of the Waiver to the minimum sidewalk width requirement along Indian School Road.



Please do not hesitate to contact me if you have any questions or need any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "Jacqueline Fishman", with a long horizontal stroke extending to the right.

Jacqueline Fishman, AICP  
Principal

DECLARATION OF ACCESS EASEMENT

MGA REAL ESTATE ASSOCIATES, LLLP, a Colorado registered limited liability limited partnership d/b/a in New Mexico as MGA Real Estate Associates Limited Partnership, a Colorado limited partnership ("Owner"), declares:

1. Recitals. Owner owns the real property described on attached Exhibit A ("Tract 2"). Owner is subdividing Tract 2 into "Tract 2-A" and "Tract 2-B" as shown on Exhibit B and as shown on a plat to be recorded in the real estate records of Bernalillo County, New Mexico (the "Plat"). The Plat reflects a driveway on a portion of Tract 2-B, serving Tracts 2-A and 2-B (the "Easement Property"), more particularly described as the "Non-Exclusive Private Access Easement for the Benefit of Tract 2-A" on Exhibit C.

2. Easement, Covenant and Restriction. That portion of Tract 2-B designated as the Easement Property is hereby made subject to a perpetual easement, covenant and restriction (the "Access Easement") which Access Easement will be kept available for use as a non-exclusive access drive for the benefit of Tract 2-A.

3. Maintenance. The paving and curbs within the Easement Property will be maintained by the owner of Tract 2-B, unless the owners of Tracts 2-A and 2-B mutually agree to amend this Declaration in accordance herewith. So long as the Easement Property is used solely as an access drive for Tract 2-A, the owner of Tract 2-A will promptly reimburse the owner of Tract 2-B for

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100% of such maintenance costs; provided, however, that the owner of Tract 2-A has approved such costs in advance of their being incurred, or that such costs are within a maintenance budget approved in advance by the owner of Tract 2-A. At such time, if ever, that the Easement Property is used as a joint access drive for both Tract 2-A and Tract 2-B, then the owner of Tract 2-A will promptly reimburse the owner of Tract 2-B for 50% of such maintenance costs. In the event that the owner of Tract 2-B fails to maintain the Easement Property in accordance with the provisions of this Declaration, the owner of Tract 2-A may elect to undertake such maintenance obligation upon notice to the owner of Tract 2-B, and if the Easement is being used for joint access, as set forth above, then the owner of Tract 2-A may assess the owner of Tract 2-B with one-half of the allocable cost of such maintenance, if any.

The maintenance costs payable as set forth in this Agreement will be a charge and lien upon Tract 2-A or 2-B, as applicable, together with interest from the date such maintenance costs are incurred at the rate of ten percent (10%) per annum, and together with costs and reasonable attorneys' fees. Such charge together with costs, interest and attorneys' fees, will be the personal obligation of the person or entity who is the owner of Tract 2-A or Tract 2-B, as applicable, at the time when such costs were addressed. Such charge and lien may be foreclosed in accordance



with New Mexico law. Any foreclosure sale is to be conducted in accordance with the customary practice of the court of the State of New Mexico, applicable to the foreclosure of mortgages, or in any other manner permitted or provided by law.

Notices provided to the owners of Tracts 2-A and 2-B pursuant to this Agreement will be provided in writing, certified mail, return receipt requested, to such owners at their addresses as shown on the Bernalillo County Tax Assessor's records, or at such other addresses as the owners may provide to each other in writing.

4. Limitations on Easements and Enforcement. The Access Easement and the enforcement of this Declaration are subject to the following limitations:

A. The Access Easement and use of the Access Easement will comply with all applicable laws, ordinances, regulations, orders or rulings of any federal, state, county or municipal government, court or public authority having jurisdiction over Tract 2.

B. The use of the Access Easement is subject to any reasonable limitations or restrictions as may be imposed from time to time by the owner of Tract 2-B for the regulation and safety of the users of the Access Easement.

C. This Declaration does not limit and will not be construed as limiting the rights of an owner of Tract 2-B from



granting further non-exclusive easements to third parties encumbering the Easement Property.

D. This Declaration does not grant and will not be construed as granting any right to the owner of Tract 2-A in or to any condemnation or insurance proceeds attributable to an eminent domain proceeding or casualty affecting Tract 2-B.

E. The right to enforce any rights or remedies in connection with or resulting from this Declaration or the Access Easement granted in this Declaration is limited to the owners of all or any part of Tract 2-A or Tract 2-B, as applicable, and neither this Declaration nor the Access Easement granted in this Declaration are intended to confer rights directly, indirectly, or as third party beneficiaries on any tenants of the properties or on any employees, customers, patrons, invitees, and licensees of the owners and tenants of Tract 2-A or Tract 2-B.

5. Binding Effect; Amendment. The Access Easement runs with and binds Tracts 2-A and 2-B and benefits the owners and mortgagees of Tracts 2-A and 2-B, and their successors and assigns. This Declaration may be amended only by written agreement of the owners of Tracts 2-A and 2-B, such amendment to be recorded in the records of Bernalillo County, New Mexico.

Dated: August 6, 1998.



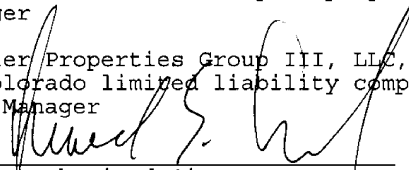
MGA REAL ESTATE ASSOCIATES, LLLP,  
a Colorado registered limited  
liability limited partnership

By: MGA Properties GP, L.P.,  
a Colorado limited partnership,  
as General Partner

By: Miller Global Properties II, LLC,  
a Colorado limited liability company,  
as General Partner

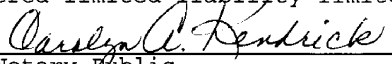
By: Miller Global Properties, LLC,  
a Colorado limited liability company,  
its Manager

By: Miller Properties Group III, LLC,  
a Colorado limited liability company,  
its Manager

By:   
Authorized Signatory

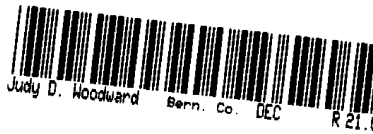
STATE OF COLORADO )  
CITY AND ) ss.  
COUNTY OF DENVER )

This instrument was acknowledged before me this 6<sup>th</sup> day of August, 1998, by Donald E. Spiegleman, as Authorized Signatory of Miller Properties Group III, LLC, a Colorado limited company, as Manager of Miller Global Properties, LLC, a Colorado limited liability company, as Manager of Miller Global Properties II, LLC, a Colorado limited liability company, as General Partner of MGA Properties GP, L.P., as General Partner of MGA Real Estate Associates, LLLP, a Colorado registered limited liability limited partnership.

  
Notary Public

My commission expires:

My Commission Expires June 28, 2000  
millprop\plattng\decofacc.eas  
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**EXHIBIT A**

**LEGAL DESCRIPTION**

A certain tract of land situate within Section 13, Township 10 North, Range 3 East, and being all of TRACT 2, PARK SQUARE ADDITION, as the same is shown and designated on the plat entitled REDIVISION OF A PORTION OF BLOCK "F", TRACT A- AND A PORTION OF THE REPLATS OF THE BEVERLY-WOOD ADDITION (now comprising Tract 1, Tract 2 and Americas Parkway N.E.), PARK SQUARE ADDITION, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on June 29, 1984, in Volume C24, Folio 89, and being more particularly described as follows:

Beginning at the northeast corner of the herein described tract, said point being on the southerly right-of-way line of Americas Parkway N.E. and also being on the westerly right-of-way line of Louisiana Boulevard N.E., whence a tie to the Albuquerque Control Station "I-40-7" bears S 04°12'38" E, 957.12 feet, THENCE continuing along said westerly right-of-way line of Louisiana Boulevard N.E. S 07°09'09" W, 304.17 feet to a point of non-tangent curvature;

THENCE 107.56 feet along the arc of a curve to the right, whose radius is 99.21 feet through a central angle of 62°06'57" and whose long chord bears S 68°53'40" W, 102.37 feet to a point of tangency, said point being on the northerly right-of-way line of Interstate 40;

THENCE N 80°02'51" W, 561.87 feet along said northerly right-of-way line of Interstate 40 to a point of curvature;

THENCE continuing along said northerly right-of-way line 286.59 feet along the arc of a curve to the right, whose radius is 1012.72 feet through a central angle of 16°12'51" and whose long chord bears N 71°56'25" W, 285.63 feet to a point of tangency;

THENCE continuing along said northerly right-of-way line N 63°50'00" W, 562.01 feet to the southwest corner of the herein described tract, said point being on the northerly right-of-way line of Interstate 40 and also being the southeast corner of Warren Coronado Apartments as the same is shown and designated on the plat PORTION OF BEVERLY WOOD ADDITION filed in the Office of the County Clerk of Bernalillo County, New Mexico, on December 30, 1950, in Volume D, Folio 108;

THENCE N 36°20'10" E, 505.09 feet along the westerly border of the herein described tract to an angle point;

THENCE N 00°24'02" E, 110.00 feet to the northwest corner of the herein described tract, said point being the southwest corner of TRACT A-1, BEVERLY WOOD ADDITION as the same is shown and designated on said plat filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April, 27, 1973, in Volume C9, folio 61;

THENCE S 89°35'59" E, 199.99 feet to a point on the westerly property line of TRACT 2A, BEVERLY-WOOD ADDITION as the same is shown and designated on said plat filed in the Office of the County Clerk of Bernalillo County, New Mexico, on March 18, 1987, in Volume C33, Folio 42;

THENCE continuing along said westerly line S 00°24'02" W, 110.00 feet to a point on the westerly right-of-way line of Americas Parkway N.E.;

THENCE continuing along said westerly right-of-way line S 00°24'02" W, 115.22 feet to a point of curvature;

THENCE continuing along said westerly right-of-way line 354.57 feet along the arc of a curve to the left, whose radius is 268.16 feet through a central angle of 75°45'29" and whose long chord bears S 37°28'42" E, 329.30 feet to a point of tangency;

THENCE continuing along said westerly right-of-way line S 75°21'27" E, 448.98 feet to a point of curvature;

THENCE continuing along said westerly right-of-way line 89.50 feet along the arc of a curve to the left whose radius is 344.99 feet through a central angle of 14°51'48" whose long chord bears S 82°47'21" E, 89.24 feet to a point of tangency;

THENCE continuing along said southerly right-of-way line of Americas Parkway N.E. N 89°46'45" E, 241.00 feet to the POINT OF BEGINNING and containing 12.5492 acres more or less.

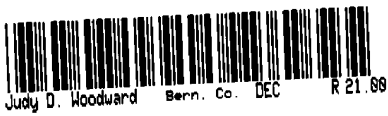
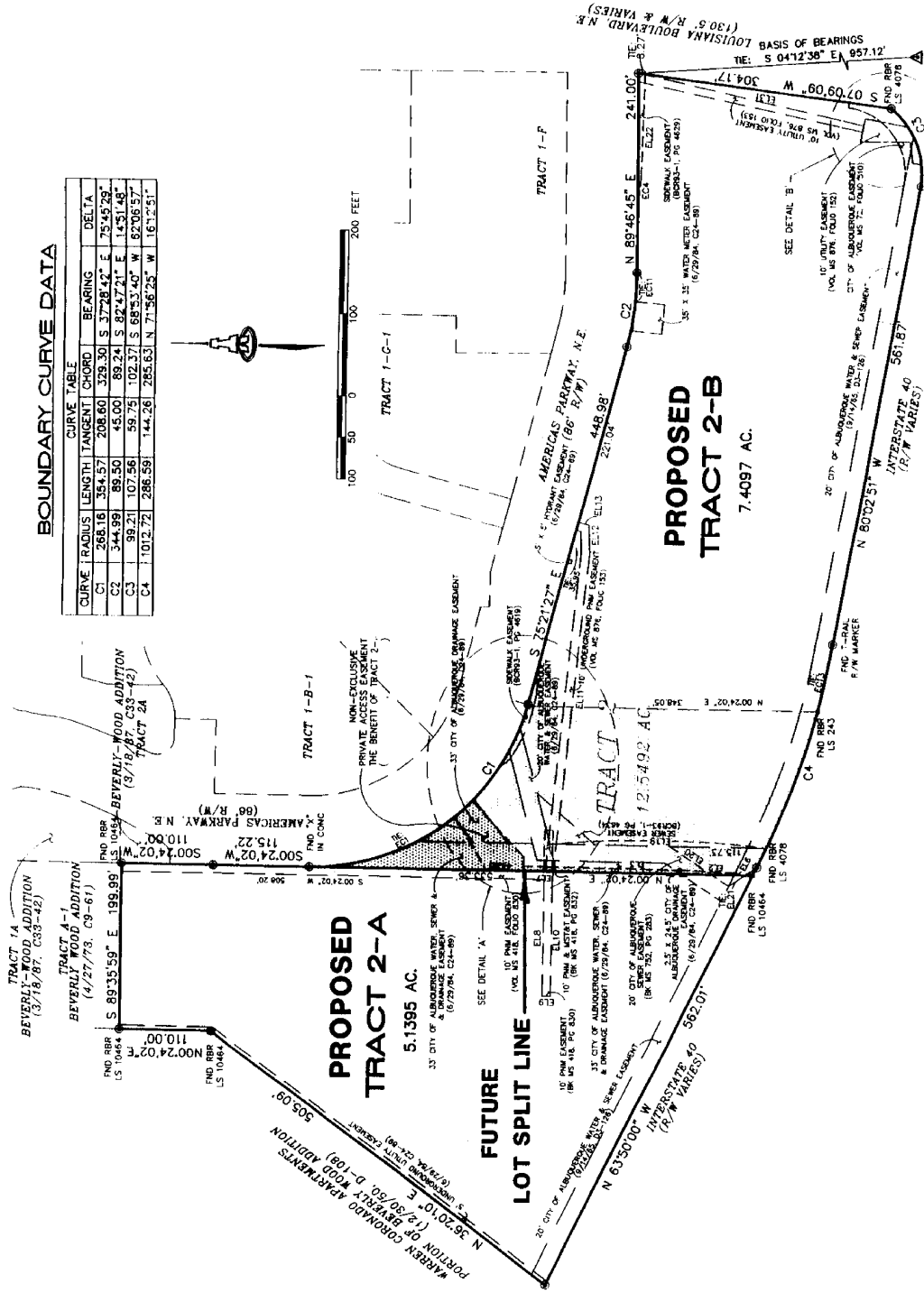
  
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Judy D. Woodward Bernalillo Co. DEC R 21.00 Bx-9813 Pg-8816

EXHIBIT B

BOUNDARY CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	206.16	354.57	208.60	329.50	S 37°28'42" E	75°45'28"
C2	344.99	89.50	45.00	89.24	S 82°17'21" E	1°43'14"
C3	99.21	107.56	59.75	102.37	S 68°53'40" W	62°06'57"
C4	102.72	286.59	144.26	285.63	N 71°56'25" W	161°2'51"



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 Page 7 of 8  
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Judy D. Woodward Bern. Co. DEC R 21.88

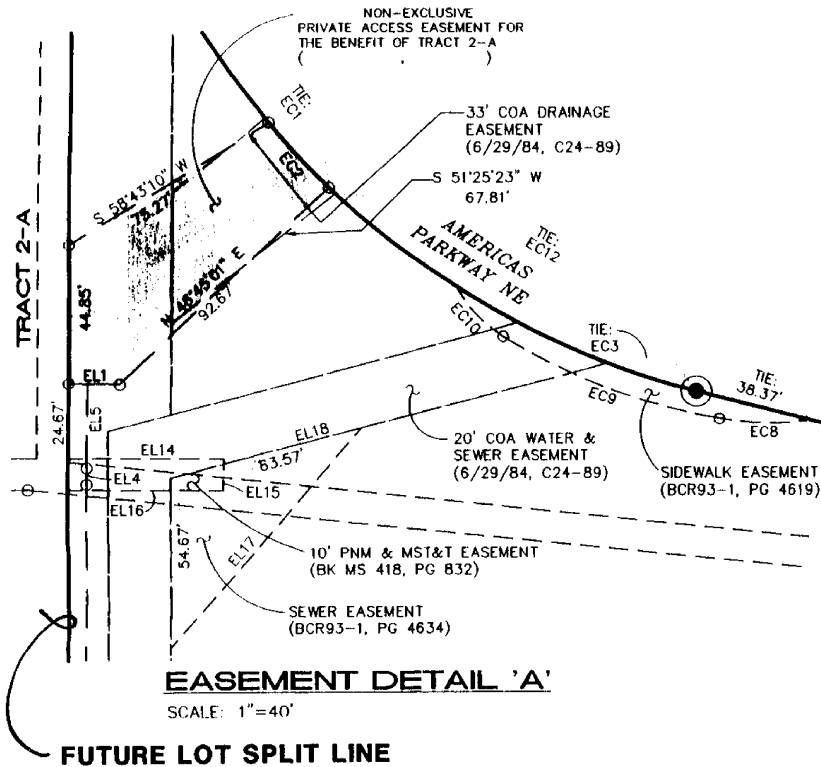
EXHIBIT C

EASEMENT LINE DATA

LINE TABLE		
LINE	LENGTH	BEARING
EL1	16.57	S 88°49'18" E
EL2	66.82	S 02°17'55" W
EL3	154.58	S 00°45'58" W
EL4	5.17	S 00°53'12" W
EL5	27.80	S 00°12'15" W
EL6	3.14	N 63°30'00" W
EL7	511.15	N 00°24'02" E
EL8	140.00	N 89°38'00" W
EL9	10.00	S 00°24'00" W
EL10	137.20	S 89°38'00" E
EL11	399.96	S 84°11'43" E
EL12	34.24	N 87°46'18" E
EL13	13.55	N 15°32'05" E
EL14	50.00	S 89°38'00" E
EL15	10.00	N 00°24'00" E
EL16	50.00	S 89°38'00" E
EL17	94.09	N 41°04'54" E
EL18	145.81	S 75°11'07" W
EL19	259.69	N 00°24'02" E
EL20	85.26	S 33°33'37" W
EL21	40.82	S 34°29'42" E
EL22	123.82	N 88°13'15" W
EL23	52.04	S 09°30'09" W
EL24	10.80	N 07°01'51" E
EL25	26.00	N 82°58'09" E
EL26	59.90	N 00°16'51" W
EL27	11.67	S 80°29'51" E
EL28	7.47	S 77°12'45" E
EL29	8.56	S 80°29'51" E
EL30	6.11	S 82°30'31" E
EL31	275.89	S 12°23'00" W

EASEMENT CURVE DATA

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHD. DIR.	CHORD
EC1	217.70	266.16	48°30'53"	115.25	S22°51'25"E	211.77
EC2	28.45	266.16	06°04'42"	14.24	S43°04'30"E	28.44
EC3	29.89	266.16	06°23'07"	14.96	S72°09'53"E	29.87
EC4	30.06	156.62	10°51'58"	15.09	S82°47'18"E	30.04
EC5	48.13	99.21	26°22'29"	25.08	N69°10'57"E	48.63
EC6	29.71	99.21	17°09'31"	14.97	N46°24'58"E	29.60
EC7	126.29	79.21	92°48'00"	83.18	N53°33'09"E	114.72
EC8	29.88	93.50	18°18'28"	15.07	S68°50'13"E	29.75
EC9	74.99	198.20	21°40'47"	37.95	S68°50'35"E	74.55
EC10	22.37	43.38	29°32'35"	11.44	S43°13'54"E	22.12
EC11	34.59	344.99	05°44'43"	17.31	S87°20'54"E	34.58
EC12	134.00	266.16	26°37'51"	66.43	S61°02'32"E	132.61
EC13	83.72	1012.72	04°44'11"	41.88	S77°40'45"E	83.69



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Judy D. Woodward Bern. Co. DEC R 21.00

**Easement Notes**

- 1 EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
- 2 EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126) & (6/29/1984, C24-89)
- 3 EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- 4 INTENTIONALLY OMITTED
- 5 EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (8/7/1998, BK. 98-13, PG. 8016)
- 6 INTENTIONALLY OMITTED
- 7 INTENTIONALLY OMITTED
- 8 EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DOC. NO. 2007144250)
- 9 EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, PRIVATE CROSS LOT UTILITY EASEMENT AND RECIPROCAL PRIVATE CROSS PARKING EASEMENT BENEFITING AND MAINTAINED BY TRACT A-2-A AND TRACTS A-2-A & A-2-B (7/2/2001, 2001C-186) (4/19/2011, 2011C-35)
- 10 PRIVATE CROSS LOT DRAINAGE EASEMENT ACROSS TRACTS A-2-A-2 AND A-2-A-1 BENEFITING AND MAINTAINED BY TRACT A-2-B (8/13/1998, 98C-241)
- 11 PRIVATE PARKING, VEHICULAR ACCESS, AND PEDESTRIAN EASEMENT BENEFITING AND MAINTAINED BY TRACTS 1-B-1, A-2-A-1 AND A-2-A-2, PARK SQUARE (7/15/1998, BK. 9812, PG. 6785) (7/31/2002, BK. A39, PG. 6377) (1/14/2005, BK. A90, PG. 7567) (5/19/2007, BK. A136, PG. 8823)
- 12 PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- 13 PRIVATE CROSS LOT DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1 AND A-2-A-2, PARK SQUARE (4/19/2011, 11C-35)
- 14 EXISTING 33' COA WATER & SEWER EASEMENT (6/29/1984, C24-89)
- 15 10' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAT

**DEVELOPMENT DATA**

**NET SITE AREA:**  
 TRACT A-2-A-2-A 2.4244 ACRES (105,609 S.F.)  
 TRACT A-2 0.9123 ACRES (39,741 S.F.)  
 TRACT A-2-A-1-A 1.6520 ACRES (71,959 S.F.)  
**SETBACKS REQUIRED:**  
 FRONT(E) 0'  
 SIDE(N) 0'  
 SIDE(S) 0'  
 REAR(W) 15'  
 PROVIDED 10' 3' 2' 7'

**ZONING AND LAND USE:**  
 CURRENT: MX-H (UC-MS-PT)  
 LAND USE: RESTAURANT / HOTEL  
 MULTI-FAMILY RESIDENTIAL  
**FLOOR AREA RATIO:**  
 BUILDING NET AREA 252,480 S.F.  
 F.A.R. PROVIDED 252,480 / 105,609 = 2.39

**BUILDING HEIGHT:**  
 ALLOWED: 99 FEET  
 PROPOSED: 97 FEET

**DENSITY:**  
 PROPOSED: 100.2 DU/ACRE

**BUILDING AREAS:**

LEVEL	S-2 GARAGE	R-2 RES.	REC	A-3 ASSEMBLY FITNESS/POOL/HOUSE	TOTAL	B LEASING	TOTAL
P1	73,471	1,814			75,285	2,134	77,419
P2	71,920	1,414			73,334		73,334
L1		45,307	1,864	1,344	48,515		49,167
L2		45,186	855	662	46,703		46,703
L3		50,416			50,416		50,416
L4		50,416			50,416		50,416
L5		50,416			50,416		50,416
TOTAL	145,391	244,969	2,719	2,006	652	5,377	2,134

**USABLE OPEN SPACE:**  
 REQUIRED:  
 STUDIO 200 SF x 60 = 12,000 S.F.  
 1 BR 200 SF x 107 = 21,400 S.F.  
 2 BR 250 SF x 78 = 19,500 S.F.  
 TOTAL REQUIRED = 52,400 S.F.  
 50% REDUCTION FOR PROPERTY BEING UC/MS/PT = 26,200 S.F.  
 TOTAL REQUIRED = 26,200 S.F.

PROVIDED:  
 LEVEL L1 COURTYARDS 22,057 S.F.  
 PRIVATE BALCONIES 14,487 S.F.  
 AT GRADE ON SITE 10,148 S.F.  
 TOTAL PROVIDED 46,692 S.F.

THE FIRST RESIDENTIAL LEVEL (PODIUM LEVEL L1) HAS TWO OPEN COURTYARDS, CONNECTED BY A COVERED BREEZEWAY. THE SOUTH COURTYARD IS THE POOL AREA WITH AMENITIES LIKE CABANAS, RAMADA, SEATING AREA, THE FITNESS CENTER, RECREATIONAL SPACE AND POOL HOUSE ARE PART OF THE BUILDING ORIENTED TOWARDS THE POOL COURTYARD. THE NORTH COURTYARD IS ANOTHER OPEN SPACE WITH RAMADAS, BARBECUES, GAME LAWN, AND SEATING AREAS.

**LEGEND**

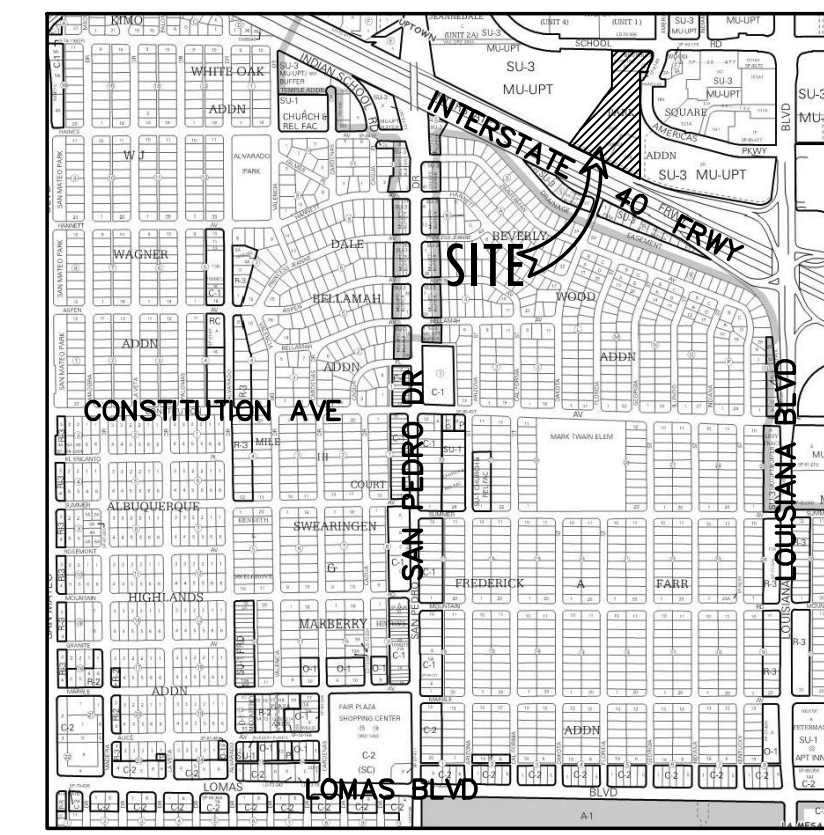
- DENOTES PROPERTY LINE
- NO. OF PARKING SPACES
- NO. OF COMPACT PARKING SPACES
- DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- MS MONUMENT SIGNAGE
- DS DIRECTIONAL SIGNAGE - GROUND MOUNTED
- AW ACCESSIBLE WALKWAY SIGNAGE - BUILDING OR GROUND MOUNTED
- BM BUILDING MOUNTED SIGNAGE - SEE A3.4 & A3.41 FOR LOCATIONS

**UNIT MIX:**

UNIT	LIVABLE	BALCONY	L1	L2	L3	L4	L5	TOTAL
S1	589 SF	44 SF	10	11	13	13	51	
S1m1	618 SF	44 SF	1	1	2	2	8	
S2H	754 SF	63 SF		1				1
A1	878 SF	46 SF	3					3
A2	634 SF	52 SF	12	12	12	12	60	
A2m1	733 SF	67 SF	1	1	1	1	5	
A3	754 SF	63 SF	7	6	6	6	31	
A3H	754 SF	63 SF		1	1	1	3	
A3m1	733 SF	63 SF	1	1	1	1	5	
B1	928 SF	51 SF	5	8	10	10	43	
B2	1,022 SF	106 SF	6	5	6	6	29	
B2H	1,022 SF	106 SF		1			1	
B3	1,226 SF	135 SF		1	1	1	3	
TOTAL			45	45	51	51	243	

PARKING SPACE REQUIREMENTS	PARKING RATIO	PARKING REQUIRED
HOTEL (149 ROOMS)	2 PS / 3 ROOMS <sup>(1)</sup>	99
MULTI-FAMILY (243 DWELLING UNITS)	1 PS / DU <sup>(2)</sup>	243
SUBTOTAL FOR REDUCTION		342
TRANSIT REDUCTION <sup>(3)</sup>		34
SUBTOTAL AFTER TRANSIT REDUCTION		308
RESTAURANT (270 SEATS)	1 PS / 3 SEATS <sup>(4)</sup>	90
OPS OFFICE (PER PARKING AGREEMENT)	N/A	191
<b>TOTAL PARKING SPACES REQUIRED</b>		<b>589</b>
<b>TOTAL PARKING SPACES PROVIDED</b>		<b>589</b>
OPEN PARKING SPACES PROVIDED		265
GARAGE P1 LEVEL PARKING SPACES PROVIDED		230
GARAGE P2 LEVEL PARKING SPACES PROVIDED		210
<b>TOTAL PARKING SPACES PROVIDED</b>		<b>695</b>
<b>COMPACT PARKING SPACES ALLOWED</b>		<b>200</b>
OPEN COMPACT PARKING SPACES PROVIDED		17
GARAGE P1 LEVEL COMPACT PARKING SPACES PROVIDED		63
GARAGE P2 LEVEL COMPACT PARKING SPACES PROVIDED		65
<b>TOTAL COMPACT PARKING SPACES PROVIDED</b>		<b>128</b>
<b>ACCESSIBLE PARKING SPACES REQUIRED</b>		<b>14</b>
OPEN ACCESSIBLE PARKING SPACES PROVIDED		5
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		8
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		4
<b>TOTAL ACCESSIBLE PARKING SPACES PROVIDED</b>		<b>17</b>
<b>ELECTRIC VEHICLE CHARGING SPACES REQUIRED</b>		<b>11</b>
HOTEL AND RESTAURANT		9
GARAGE P1 LEVEL REGULAR PARKING SPACES PROVIDED		3
GARAGE P2 LEVEL REGULAR PARKING SPACES PROVIDED		1
GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		1
GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED		1
<b>TOTAL ELECTRIC VEHICLE CHARGING SPACES PROVIDED</b>		<b>14</b>
<b>MOTORCYCLE PARKING SPACES REQUIRED</b>		<b>4</b>
HOTEL AND RESTAURANT		4
<b>TOTAL MOTORCYCLE PARKING SPACES PROVIDED</b>		<b>4</b>
<b>BICYCLE PARKING SPACES REQUIRED</b>		<b>40</b>
10% OF REQUIRED VEHICULAR PARKING REQUIRED (400 PARKING SPACES EXCLUDING OFFICE)		8
OPEN ON SITE RACKS PARKING SPACES PROVIDED IN BIKE ROOM PARKING SPACES PROVIDED		32
<b>TOTAL BICYCLE PARKING SPACES PROVIDED</b>		<b>40</b>

- NOTES:**
- SITE IS LOCATED IN THE UPTOWN URBAN CENTER.
  - TRANSIT ROUTE 157 IS ALONG AMERICAS PARKWAY AND TRANSIT ROUTES 34, 6, AND 766 ARE ALONG INDIAN SCHOOL ROAD. BUS STOPS ARE LOCATED TO THE EAST ALONG AMERICAS PARKWAY IN FRONT OF THE MARRIOTT AND PARK SQUARE. THE SITE IS LOCATED WITHIN 1,320 FEET OF THE UPTOWN TRANSIT CENTER. 50 PARKING MAY BE REDUCED UP TO 30% PER IDO SECTION 14-16-5-3(C)(5)(H). THE DEVELOPER HAS VOLUNTARILY CHOSEN TO TAKE AN APPROXIMATE 30% REDUCTION.
  - PER ORIGINAL APPROVAL.



VICINITY MAP  
NOT TO SCALE

**GENERAL NOTES**

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- THE MATERIALS USED FOR CROSSWALKS WILL COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- SITE WILL COMPLY WITH THE LIGHTING STANDARDS IN THE MX-H ZONE AND IDO SECTION 14-16-5-7.
- REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING MONUMENT/DIRECTIONAL/BRANDING SIGNAGE WILL BE A DELEGATED DESIGN. LOCATIONS ARE PROVIDED ON THIS PLAN FOR COORDINATION PURPOSES.

**KEYNOTES**

- 8'-6"x18" PARKING SPACE, TYPICAL. SEE DETAIL 01/A1.20
- 11'x18" ACCESSIBLE PARKING SPACE, SEE DETAIL 05/A1.20
- ACCESSIBLE DRIVEWAY CROSSING MARKING TO COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- 8'x15' COMPACT PARKING SPACE.
- TRASH YARD ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 10/A1.21. TRASH YARD TO BE SHARED WITH HOTEL TO THE SOUTH.
- 10'x30' LOADING PARKING SPACE.
- 6' SIDEWALK CONNECTING TO PUBLIC WAYS.
- BICYCLE PARKING LOCATION, SEE DETAIL 04/08/A1.20.
- EXISTING PERMETER WALL.
- EXISTING STREET CURB WITH 15'-6" MIN. SIDEWALK AT AMERICA'S PARKWAY.
- EXISTING HOTEL BUILDING.
- EXISTING RESTAURANT BUILDING (NOT A PART).
- EXISTING DRIVEWAY ENTRY WITH ACCESSIBLE CURB RAMPING.
- SIGHT VISIBILITY, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING HOTEL SIGN TO REMAIN.
- MOTORCYCLE PARKING.
- DOO PARK, REFER TO HARDSCAPE PLANS. SHEET SERIES 000-400.
- REMOVE EXISTING DRIVEWAY AND REPLACE WITH SIDEWALK/CURB PER COA SET DETAIL 2415-A.
- ASPHALT PAVEMENT IN PARKING LOT.
- ASPHALT CURB.
- STRIPED ISLANDS.
- PARKING CARPET COVER.
- CONCRETE CURB PER CIVIL DRAWINGS.
- BICYCLE PARKING ROOM SEE DETAIL 7/A1.20.

PROJECT NUMBER: PR-2018-001284  
 Application Number: SI-2021-01962

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

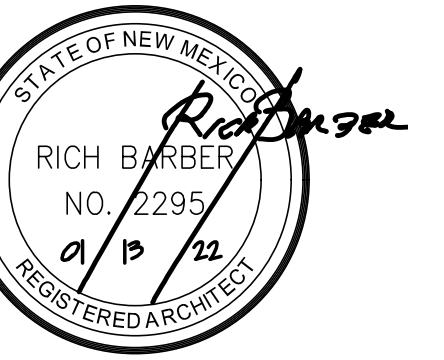
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWJA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

**MARKANA UPTOWN**

6500 Americas Parkway NE  
Albuquerque, NM 87110



**REVISIONS**


**RE-PLAT**

DATE: JANUARY 13TH, 2022 ORB # 16-221

**A1.10**

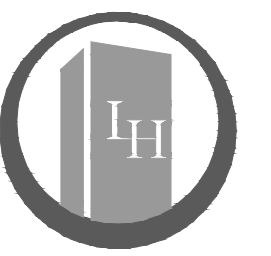
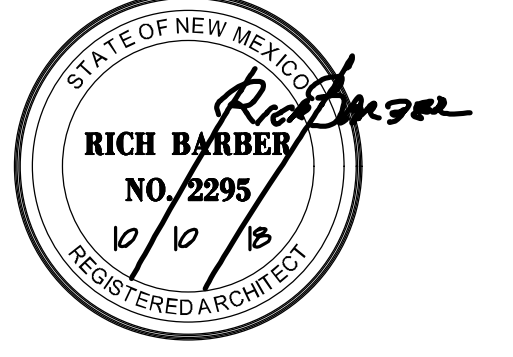
SITE PLAN

# MARKANA UPTOWN

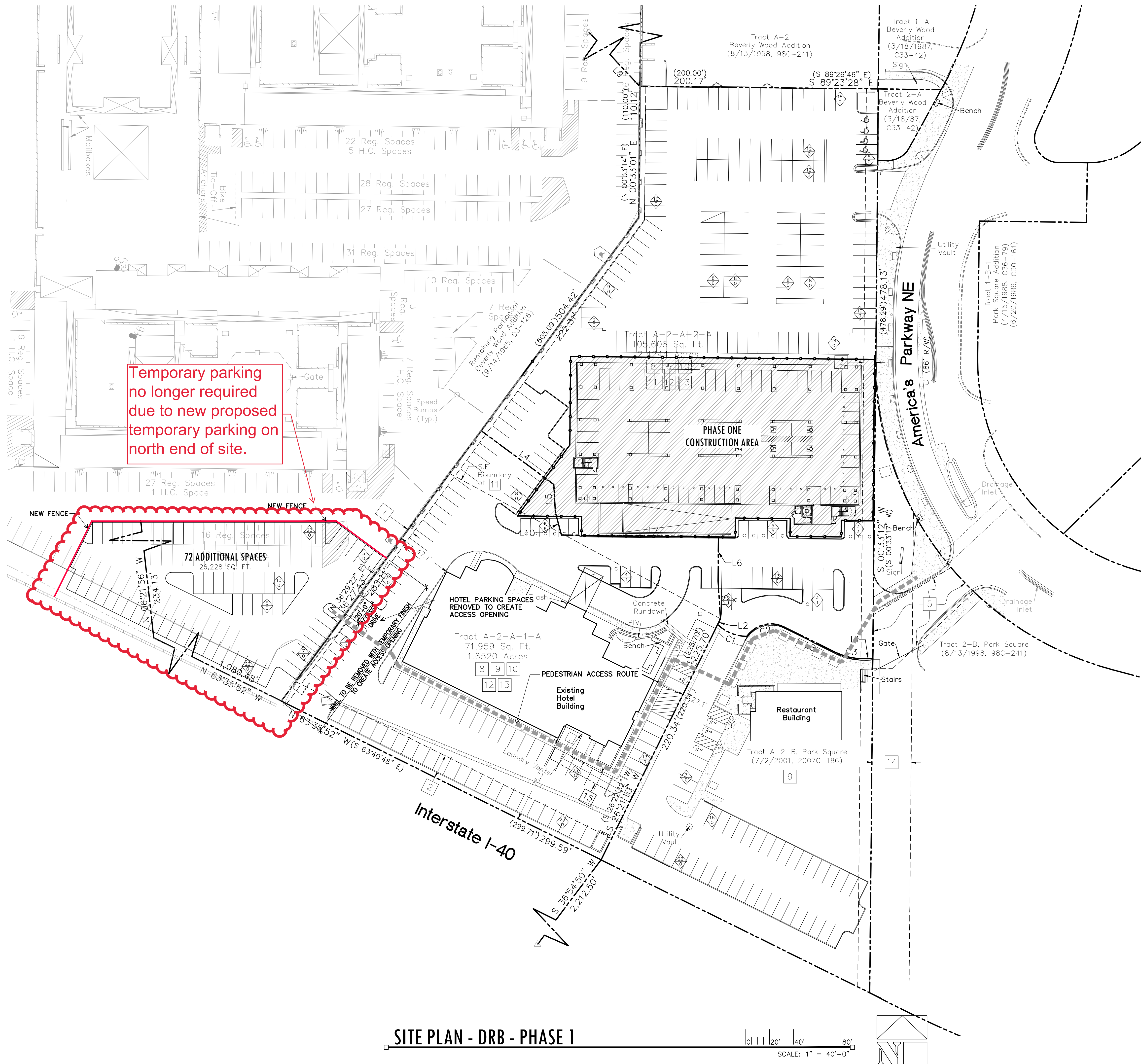
Americas Parkway NE  
Albuquerque, New Mexico



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LEGACY HOSPITALITY

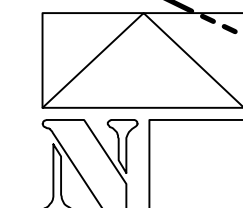
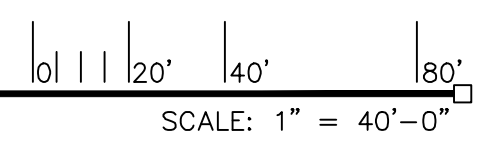


### PARKING PROVIDED:

ON SITE:	316
WEST PROPERTY:	72
GARAGE P1 LEVEL:	-
GARAGE P2 LEVEL:	-
<b>TOTAL:</b>	<b>388</b>

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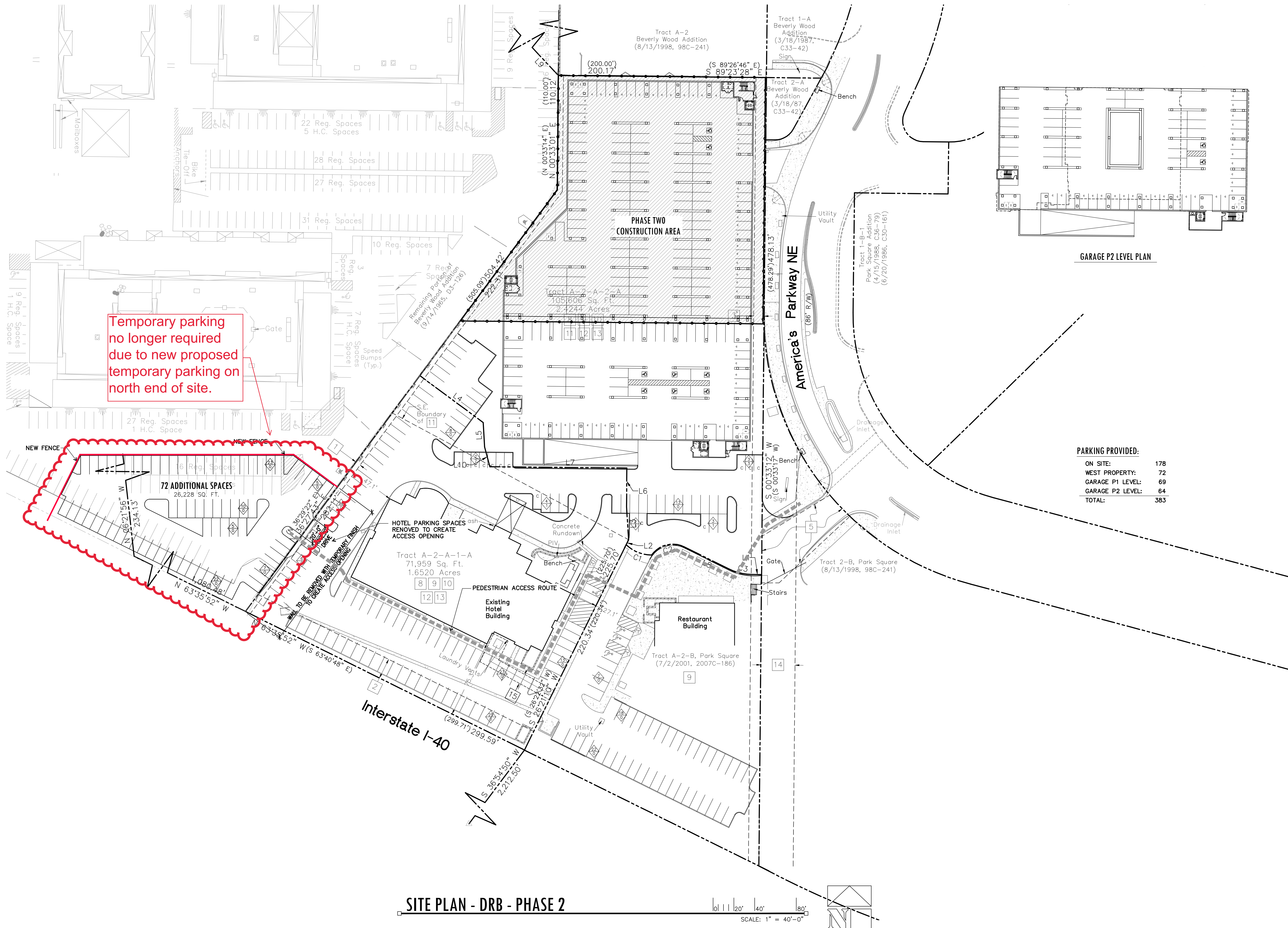
## SITE PLAN - DRB - PHASE 1



DATE: OCTOBER 10, 2018 ORB # 16-221

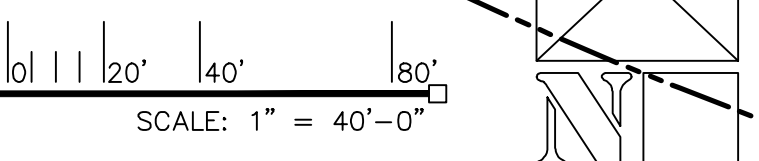
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SITE PLAN - DRB  
PHASE 1



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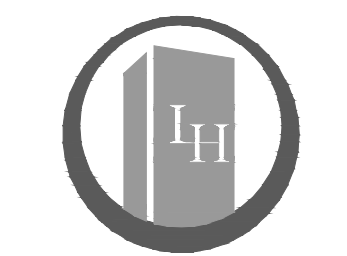
SITE PLAN - DRB - PHASE 2



**MARKANA UPTOWN**  
Americas Parkway NE  
Albuquerque, New Mexico



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LEGACY HOSPITALITY

DATE: OCTOBER 10, 2018 ORB # 16-221

**A1.12**

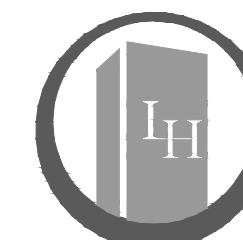
SITE PLAN - DRB  
PHASE 2

# MARKANA UPTOWN

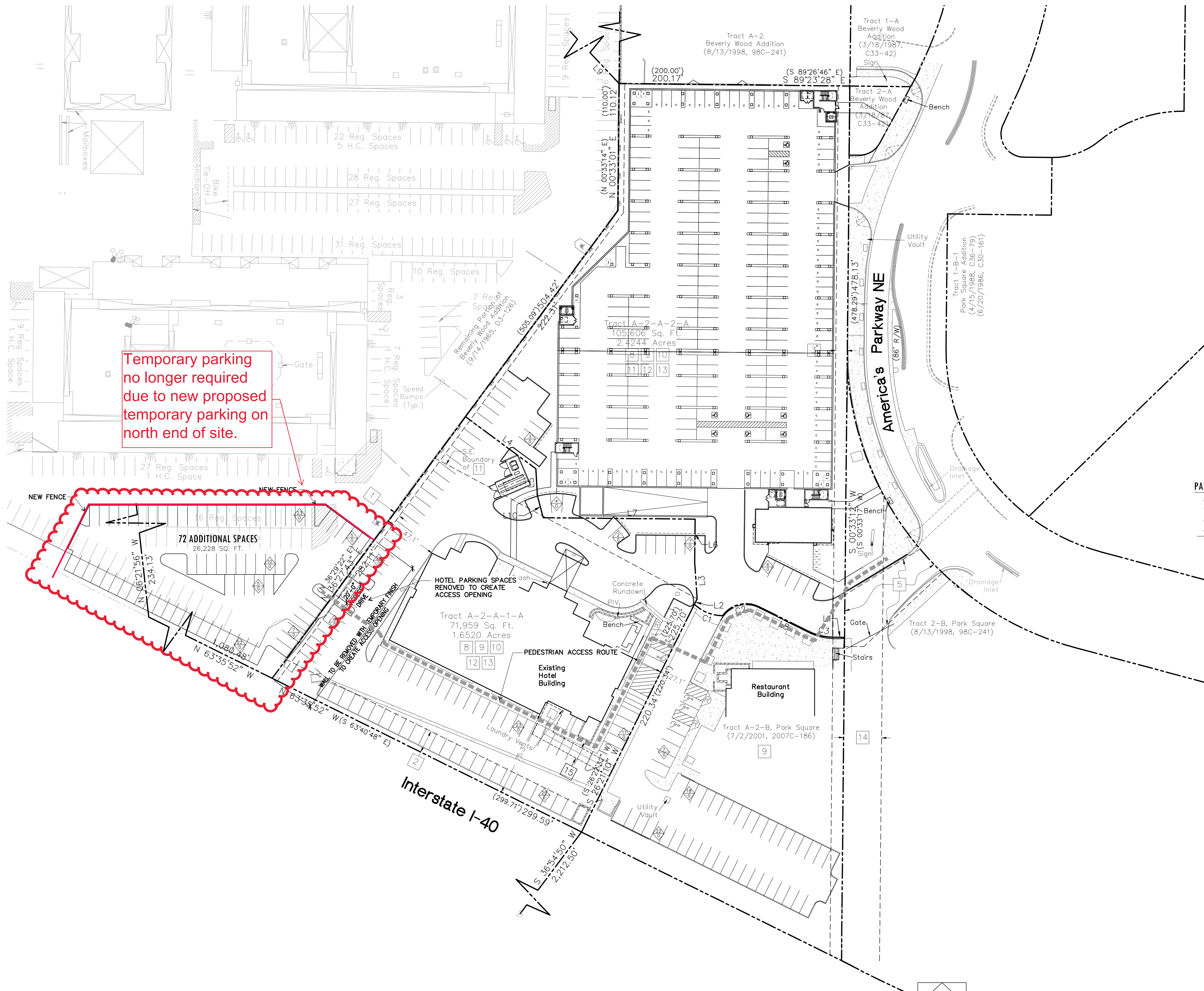
Americas Parkway NE  
Albuquerque, New Mexico



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LEGACY HOSPITALITY



Temporary parking no longer required due to new proposed temporary parking on north end of site.

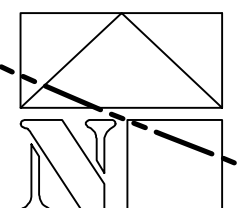
**PARKING PROVIDED:**

ON SITE:	158
WEST PROPERTY:	72
GARAGE P1 LEVEL:	220
GARAGE P2 LEVEL:	-
<b>TOTAL:</b>	<b>450</b>

FILE: F:\04\ORB Job Files\16-221\_Uptown\CAD Files\DRB 3 Phases\16221\_A13\_Site Phases3.dwg USER: jca DATE: Oct, 10 2018 TIME: 04:15 pm

**SITE PLAN - DRB - PHASE 3**

0' 20' 40' 80'  
SCALE: 1" = 40'-0"

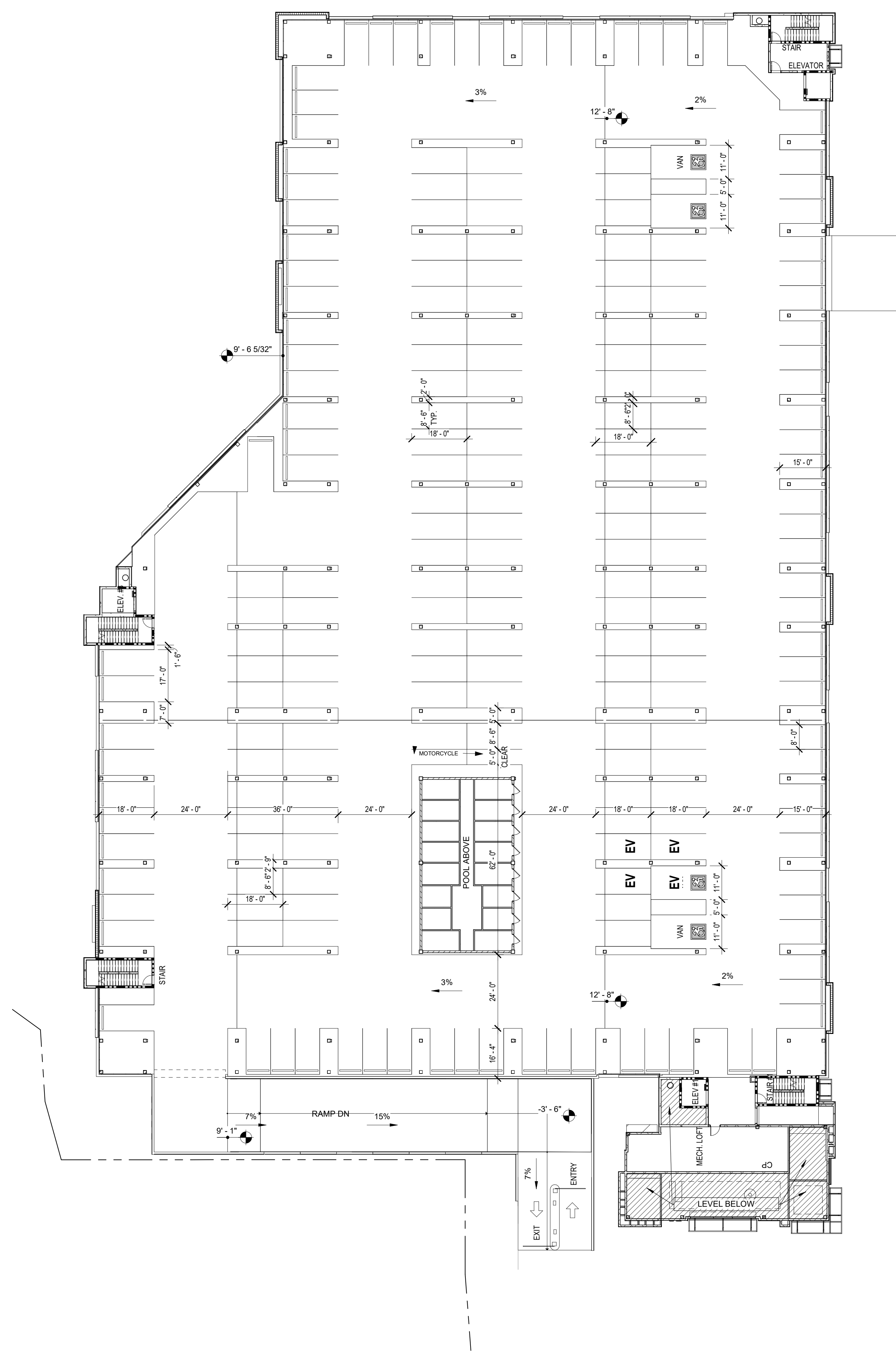


DATE: OCTOBER 10, 2018 ORB # 16-221

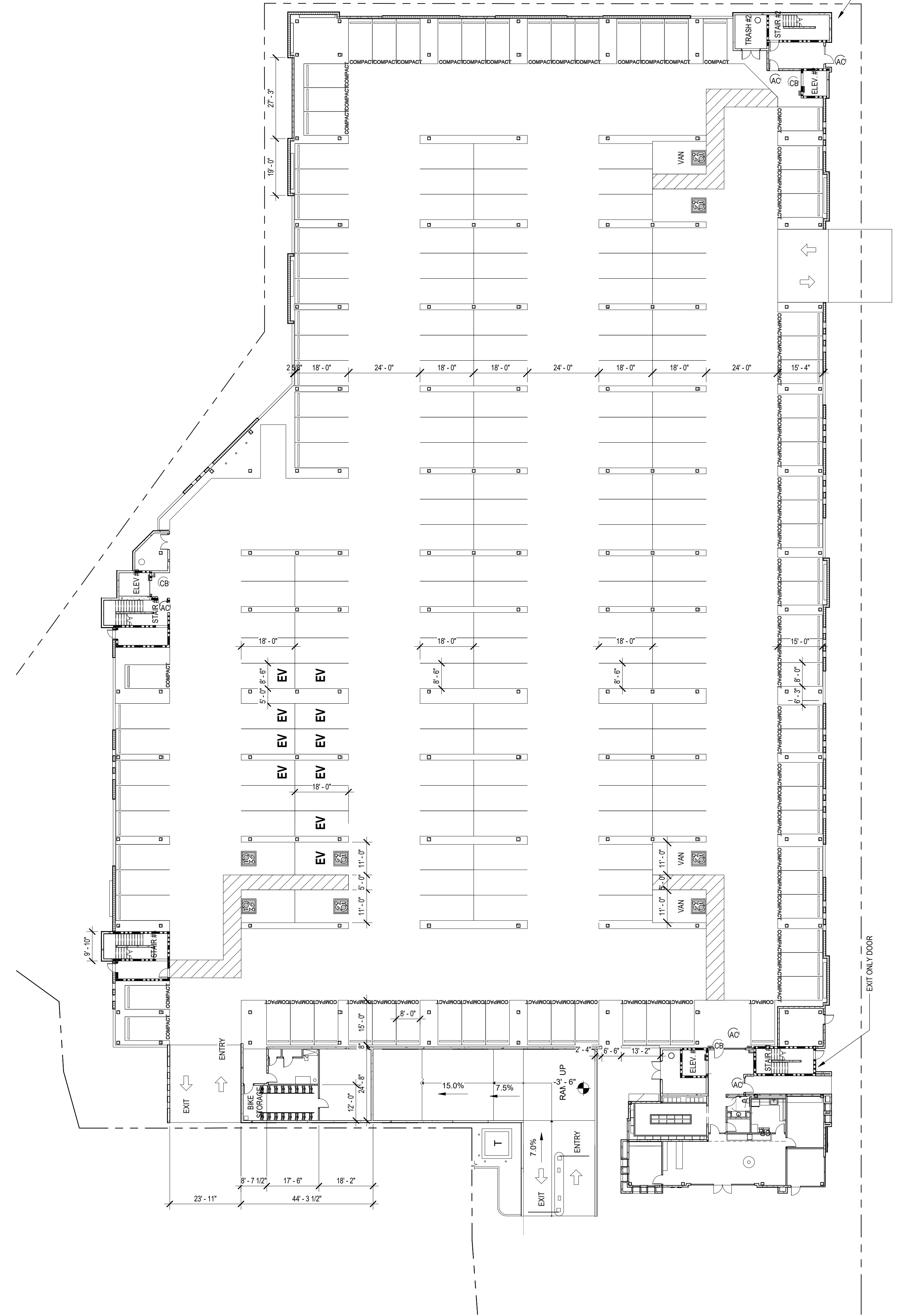
# A1.13

SITE PLAN - DRB  
PHASE 3

B:\M\_365\_//16-221\_Markana Uptown/A16221\_Markana Uptown.rvt



2 BUILDING FLOOR PLAN - LEVEL P2  
SCALE: 1" = 20'-0"



1 BUILDING FLOOR PLAN - LEVEL P1  
SCALE: 1" = 20'-0"

**MARKANA UPTOWN**  
6500 Americas Parkway NE  
Albuquerque, NM 87110



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**REVISIONS/SUBMITTALS**

DATE	DESCRIPTION
08.21.19	1ST BLD. SUB.
1 10.30.19	DESIGN TEAM COORDINATION
3 04.01.20	2ND CITY COMMENTS
4 04.01.20	DESIGN TEAM COORDINATION
5 04.27.20	3RD CITY COMMENTS
9 06.21.21	OWNER / I.D. CHANGES

DATE: JANUARY 13TH, 2022 ORB #: 16-221

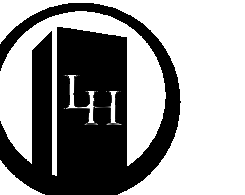
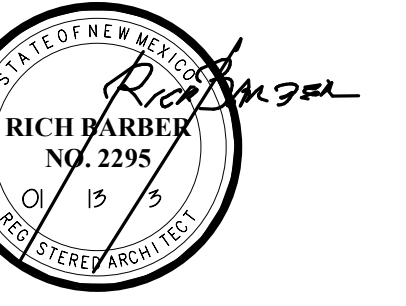
**A3.11.**  
BUILDING FLOOR PLAN  
LEVELS P1 & P2



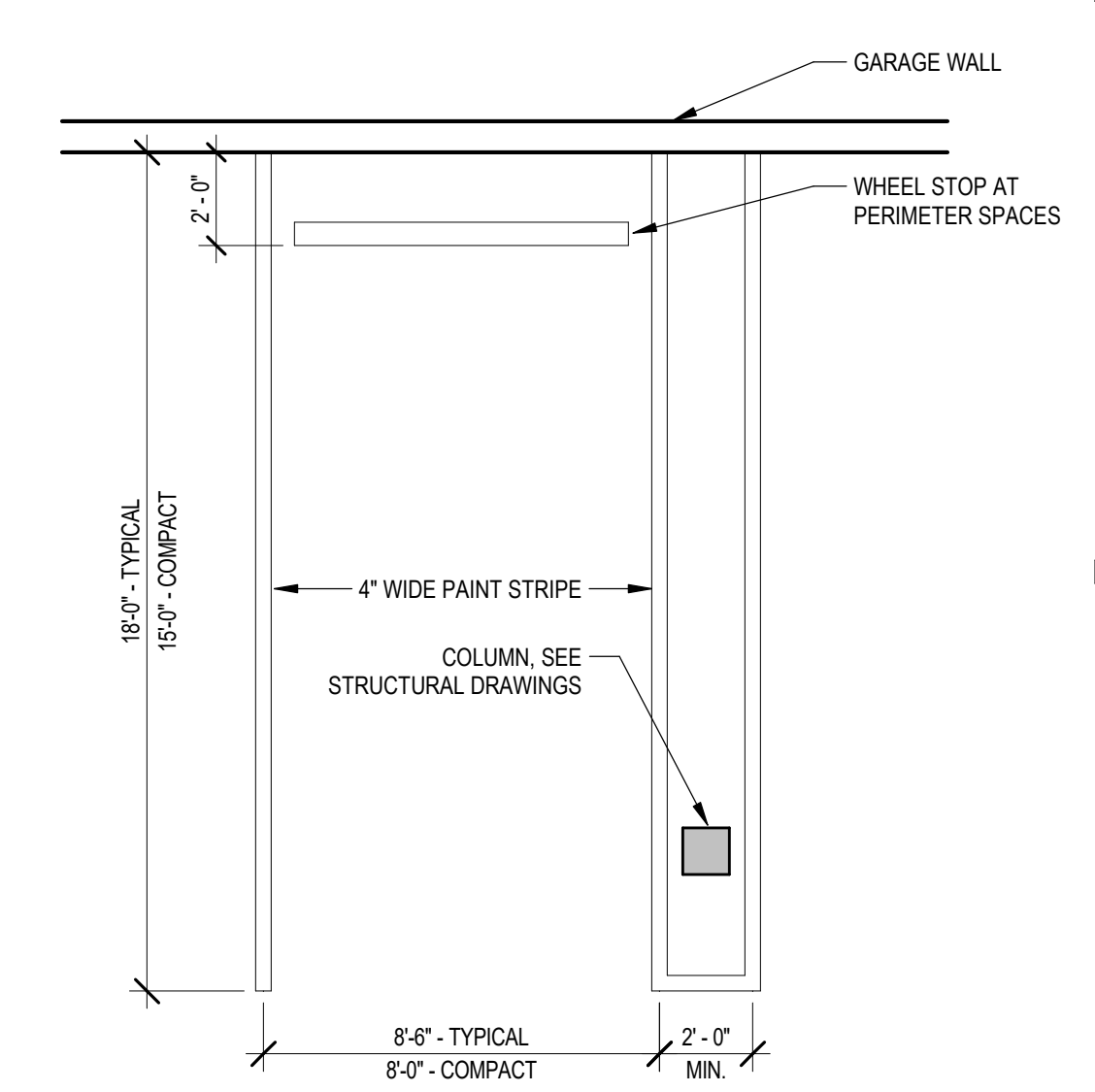
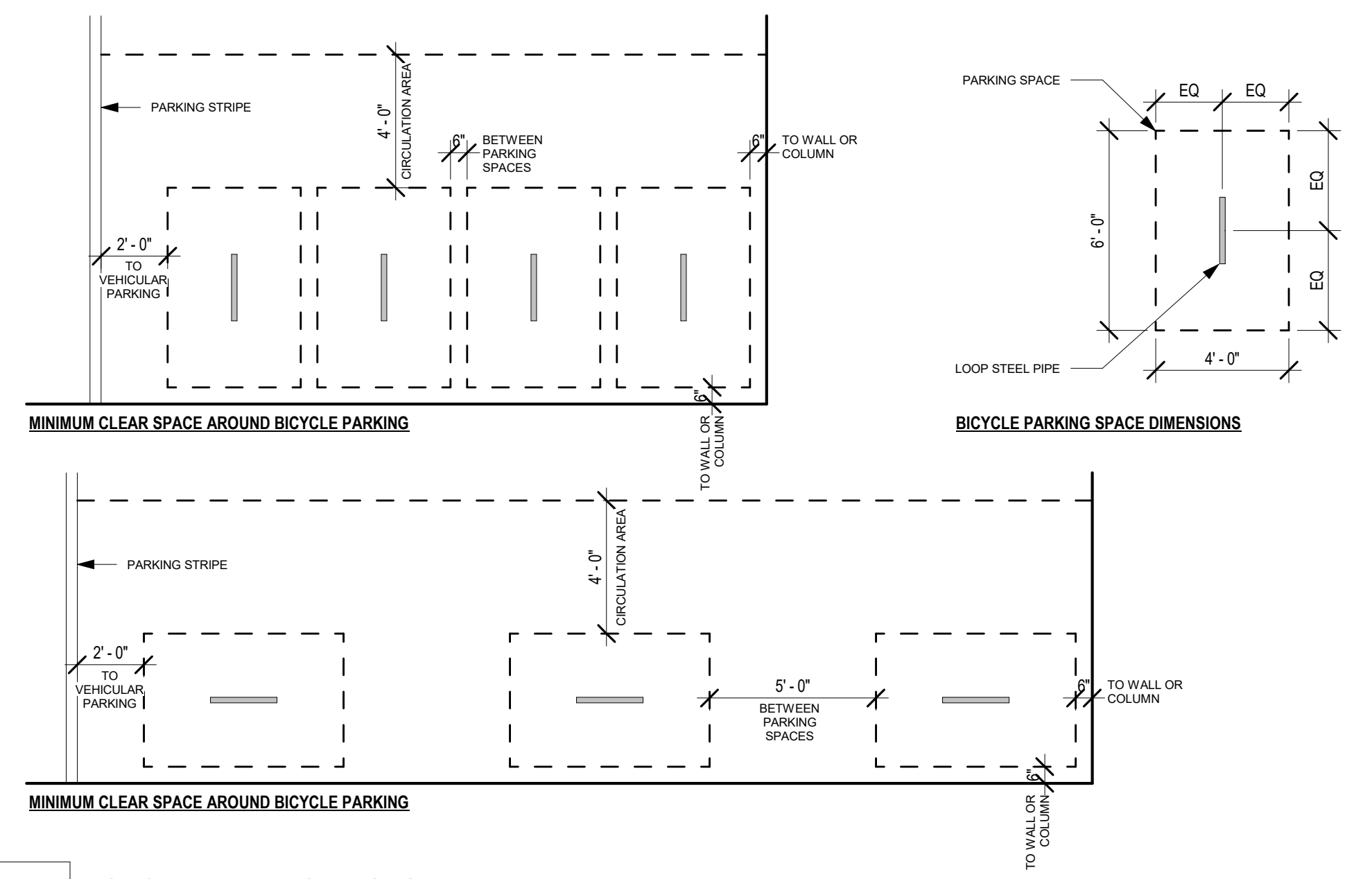
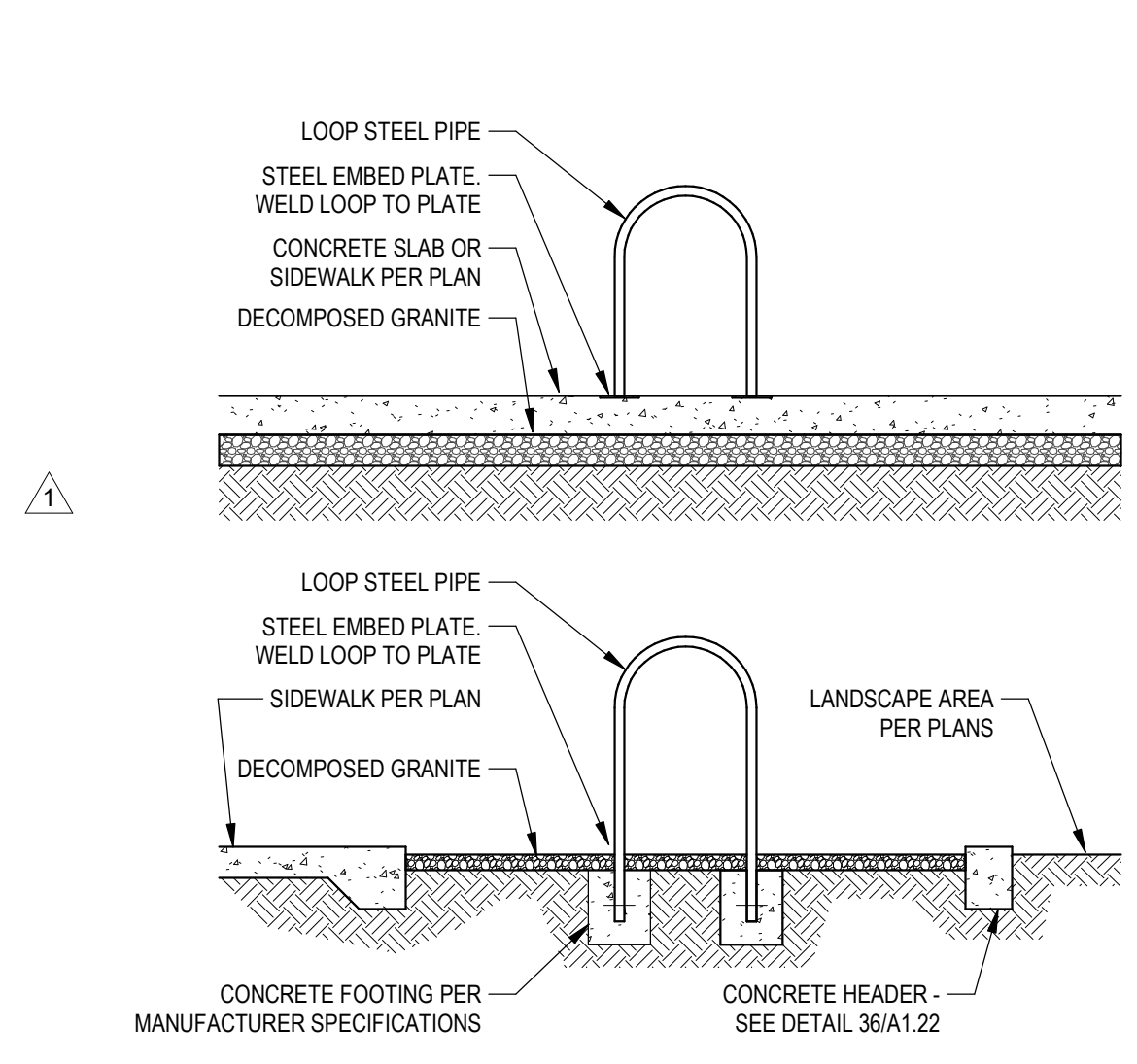
# MARKANA UPTOWN

6500 Americas Parkway NE  
Albuquerque, NM 87110

Office of Rich Barber  
**ORB**  
Architecture, LLC  
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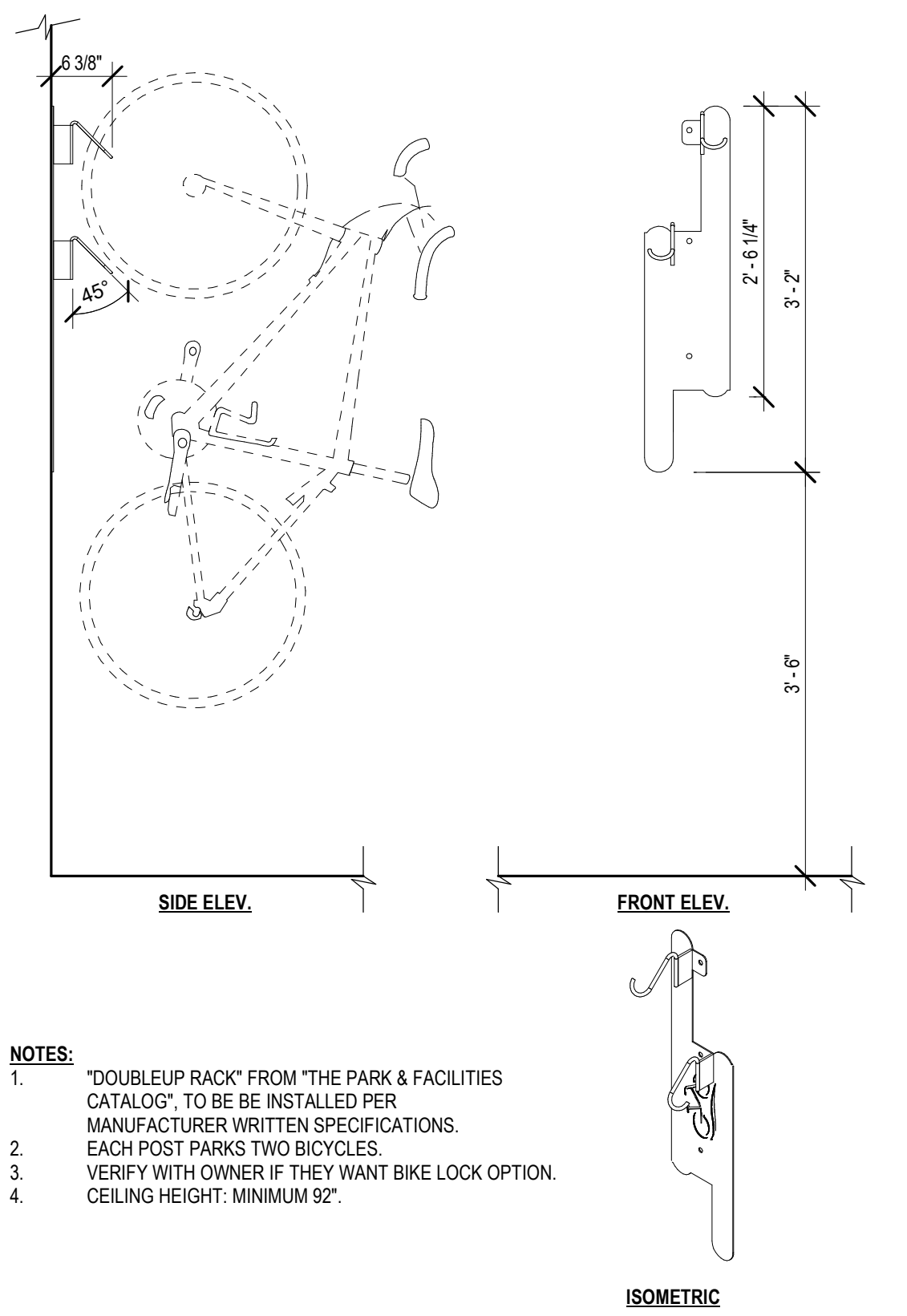
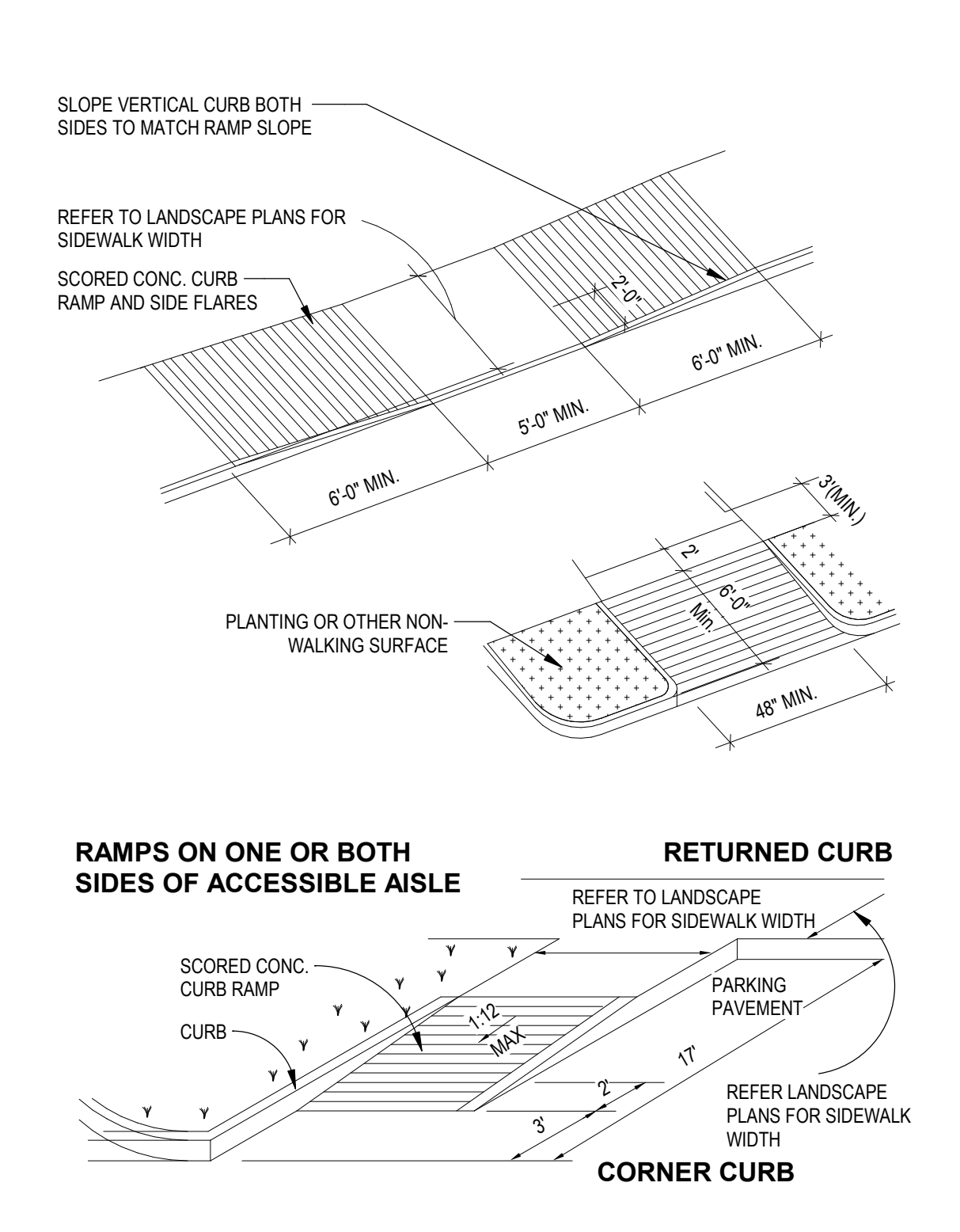
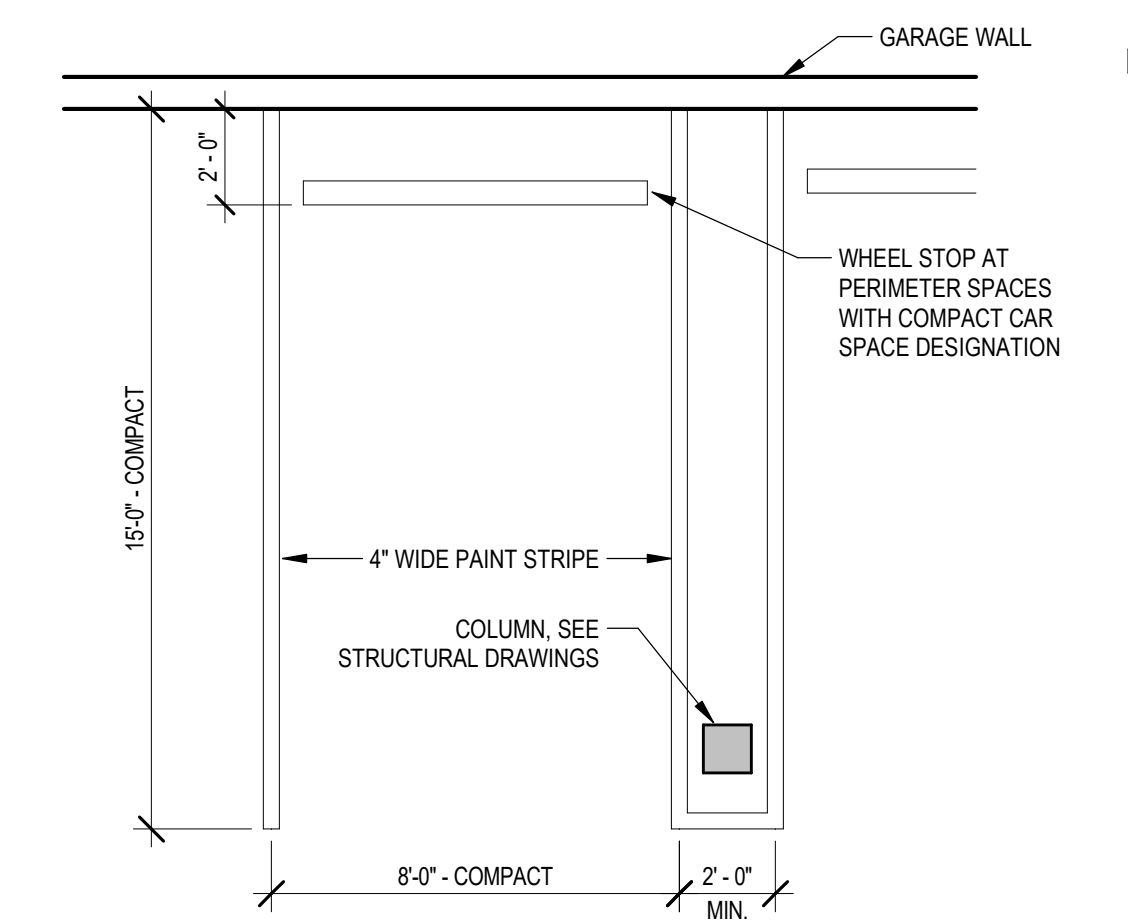
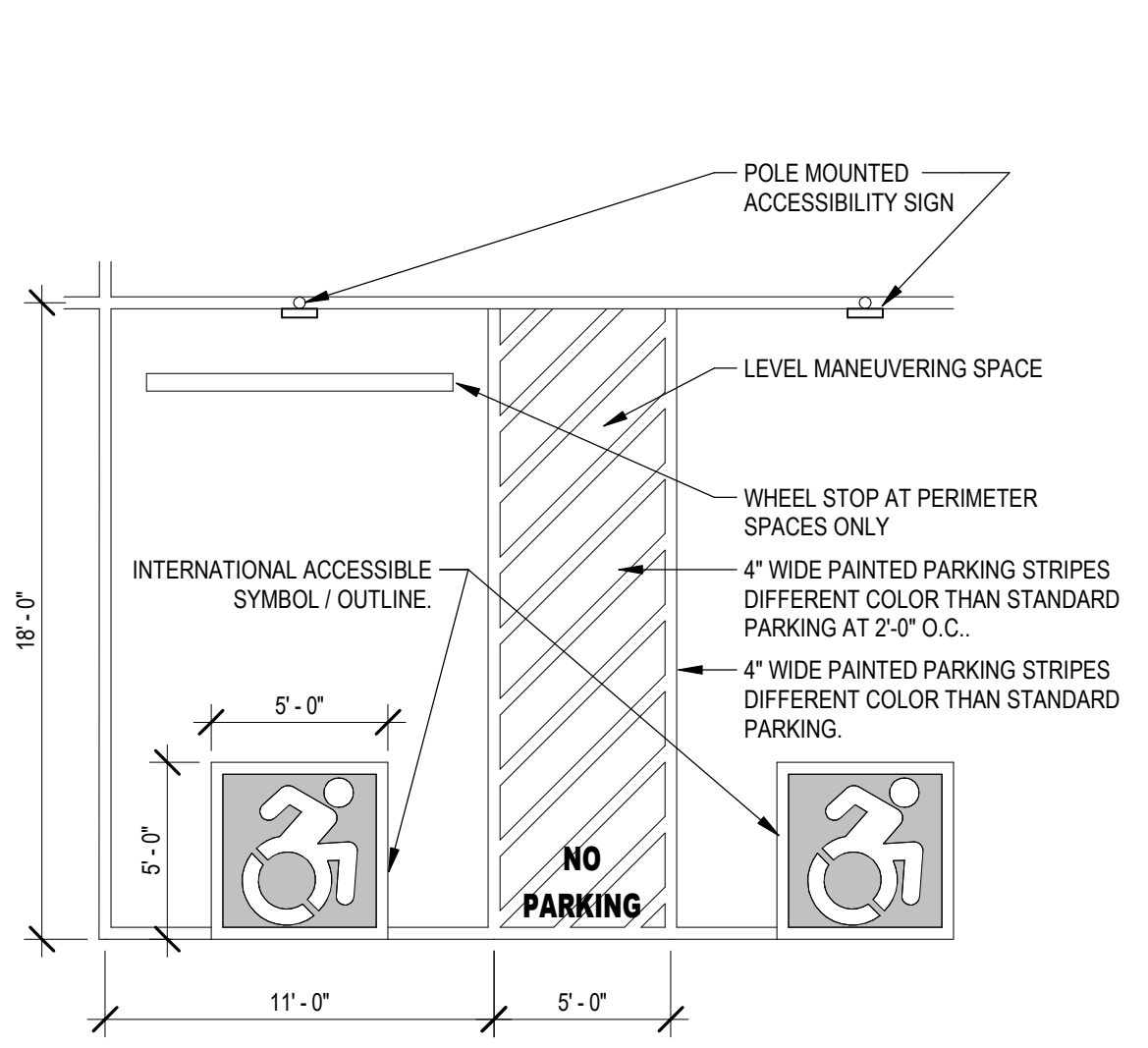
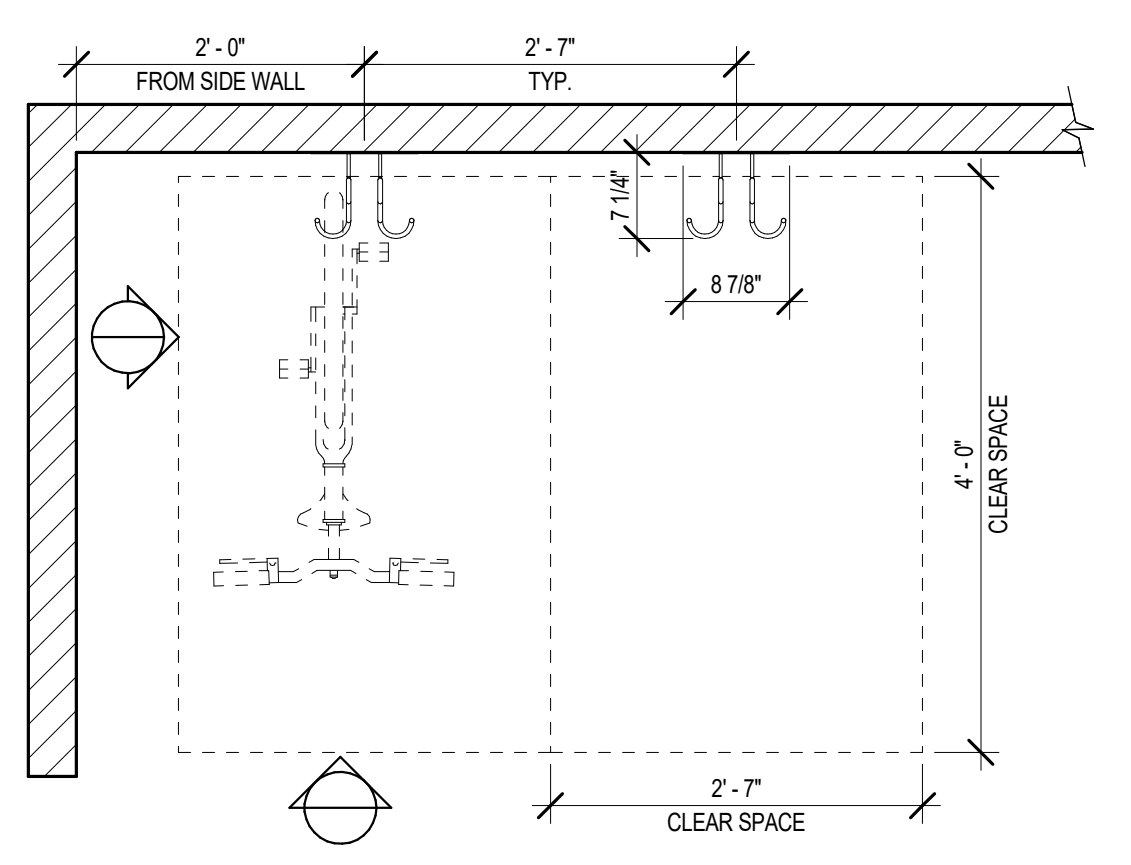
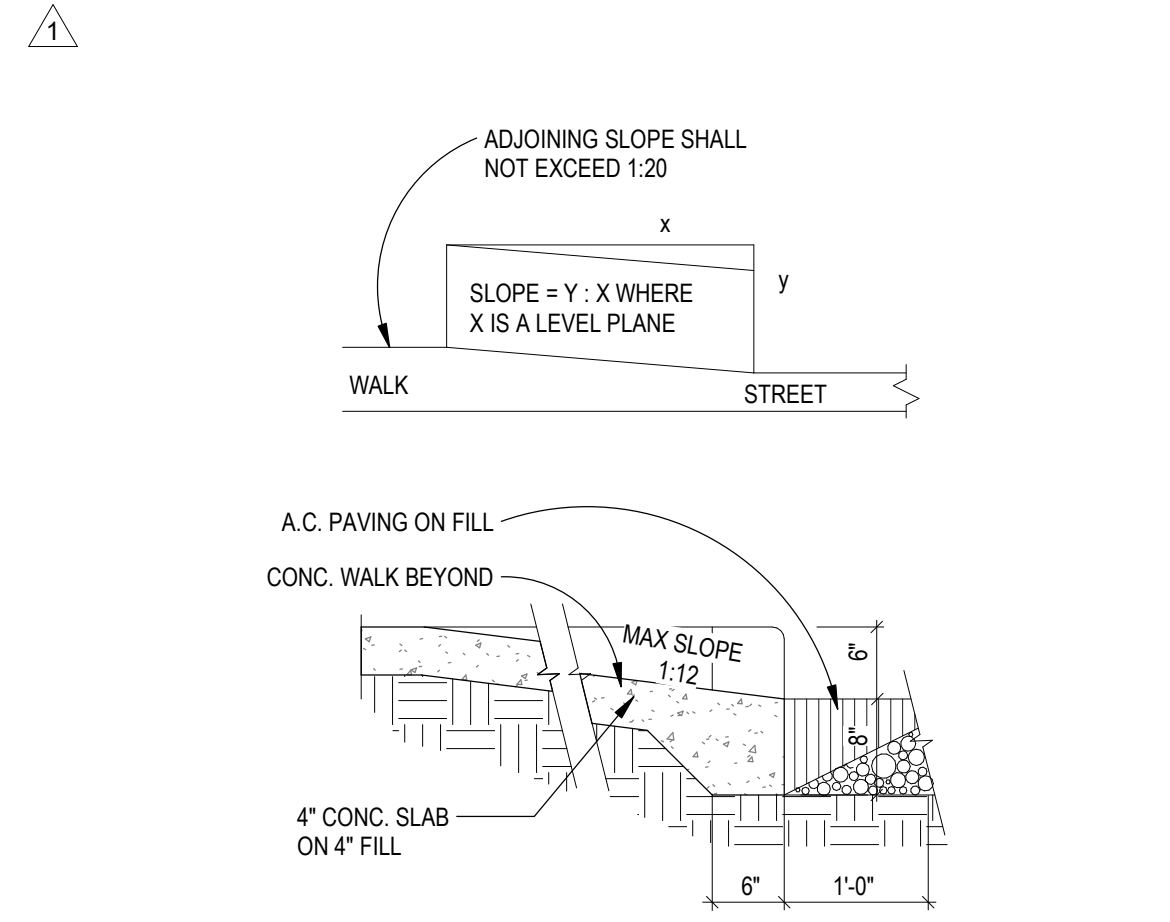
LEGACY HOSPITALITY



8 BICYCLE PARKING SCALE: 1/2" = 1'-0"

4 BICYCLE PARKING RACKS SCALE: 1/2" = 1'-0"

1 TYPICAL PARKING AT GARAGE SCALE: 1/4" = 1'-0"



5 TYPICAL ACCESSIBLE PARKING STALL SCALE: 3/16" = 1'-0"

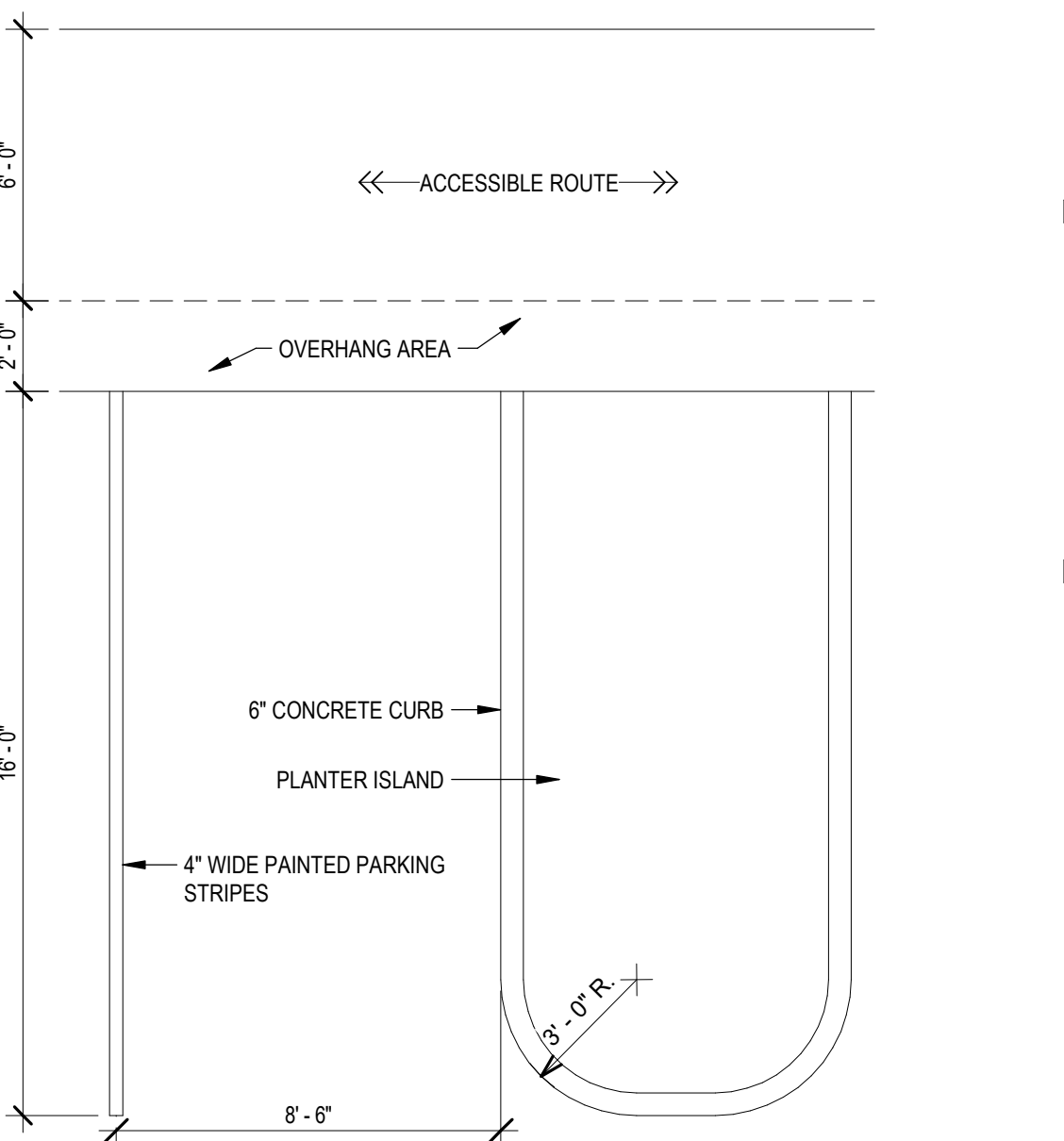
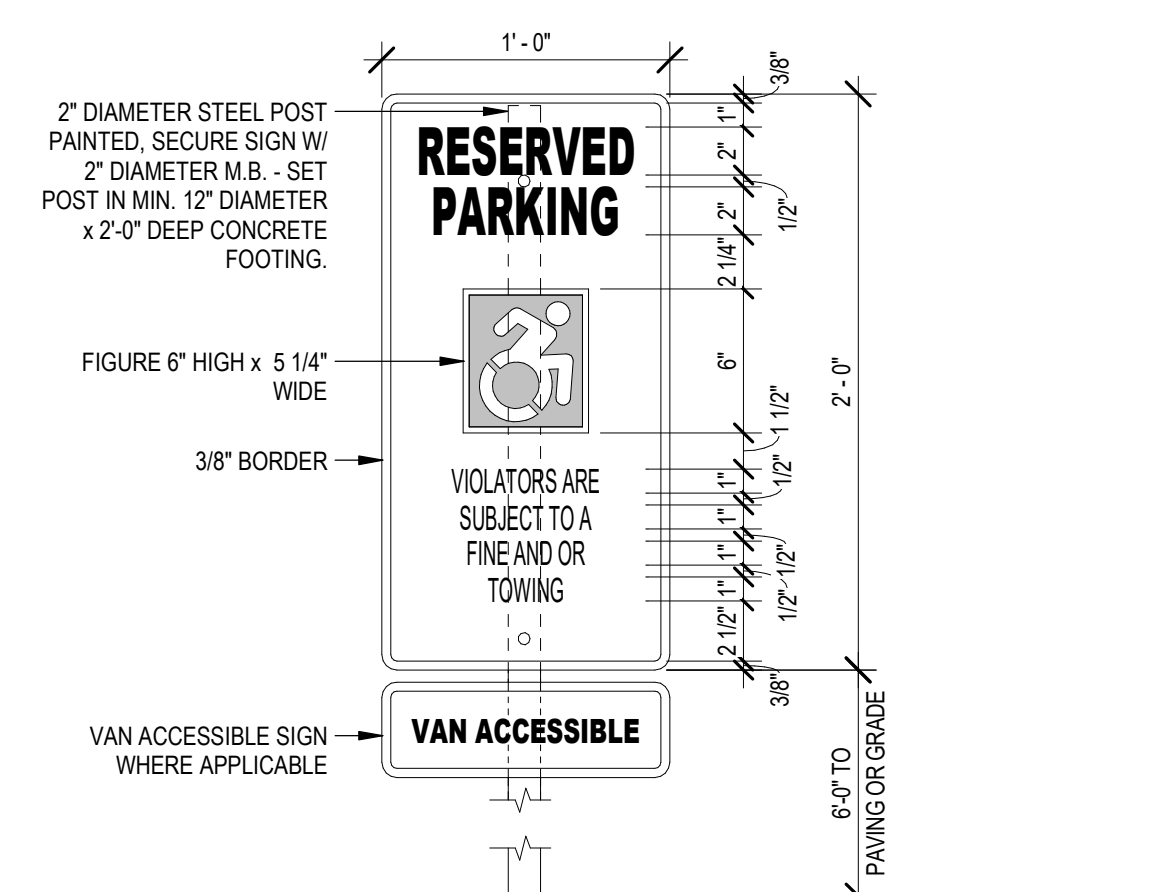
2 TYPICAL COMPACT PARKING AT GARAGE SCALE: 1/4" = 1'-0"

9 TYPICAL ACCESSIBLE RAMP SCALE: 1/4" = 1'-0"

7 BICYCLE STORAGE NOT TO SCALE

6 ACCESSIBLE PARKING SIGN NOT TO SCALE

3 TYPICAL PARKING STALL WITH ISLAND SCALE: 1/4" = 1'-0"



- NOTES:
- "DOUBLEUP RACK" FROM "THE PARK & FACILITIES CATALOG" TO BE INSTALLED PER MANUFACTURER WRITTEN SPECIFICATIONS. EACH POST PARKS TWO BICYCLES.
  - VERIFY WITH OWNER IF THEY WANT BIKE LOCK OPTION.
  - CEILING HEIGHT: MINIMUM 92".

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REVISIONS/SUBMITTALS	
DATE	DESCRIPTION
08.21.19	1ST BLD. SUB.
10.30.19	DESIGN TEAM COORDINATION

ASI-0001

DATE: JANUARY 13TH, 2022 ORB #: 16-221

# A1.20

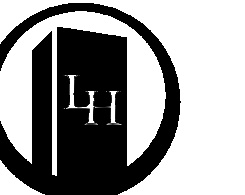
SITE DETAILS 1-9

# MARKANA UPTOWN

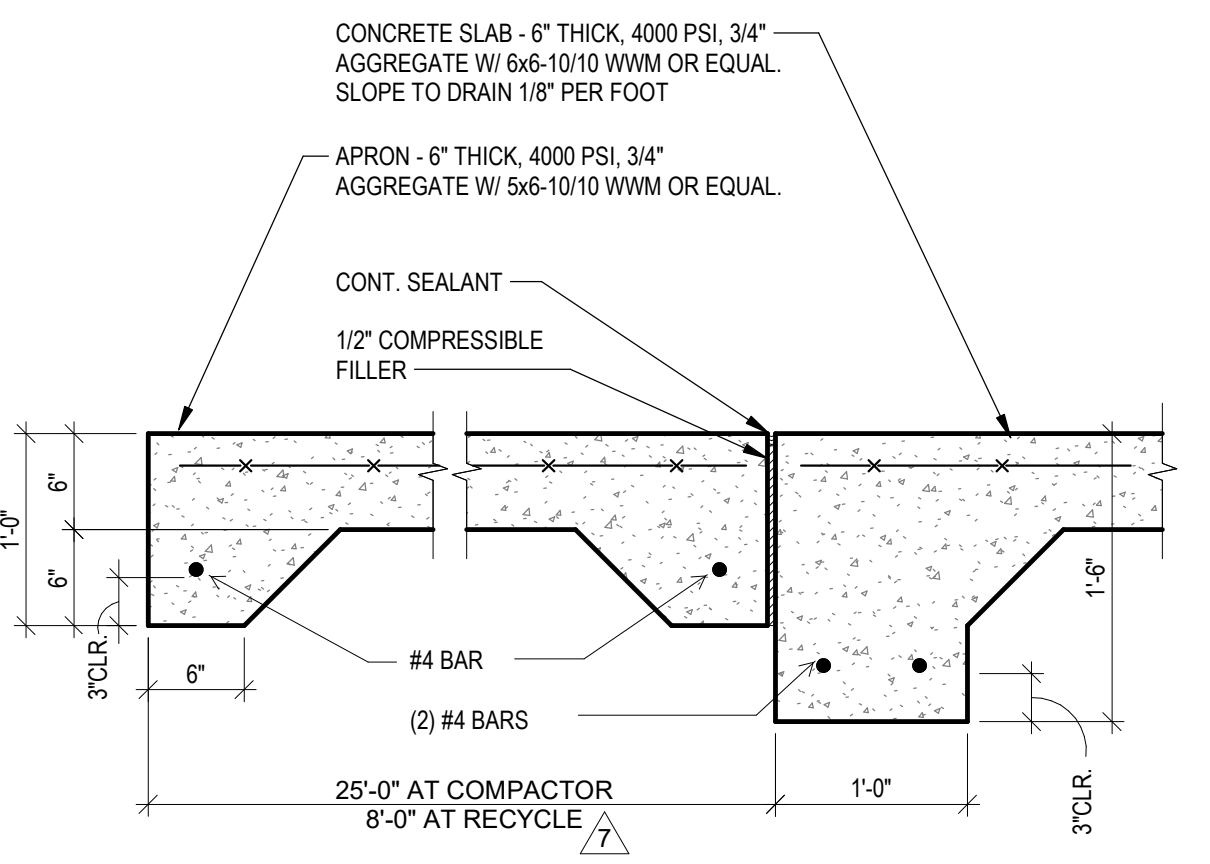
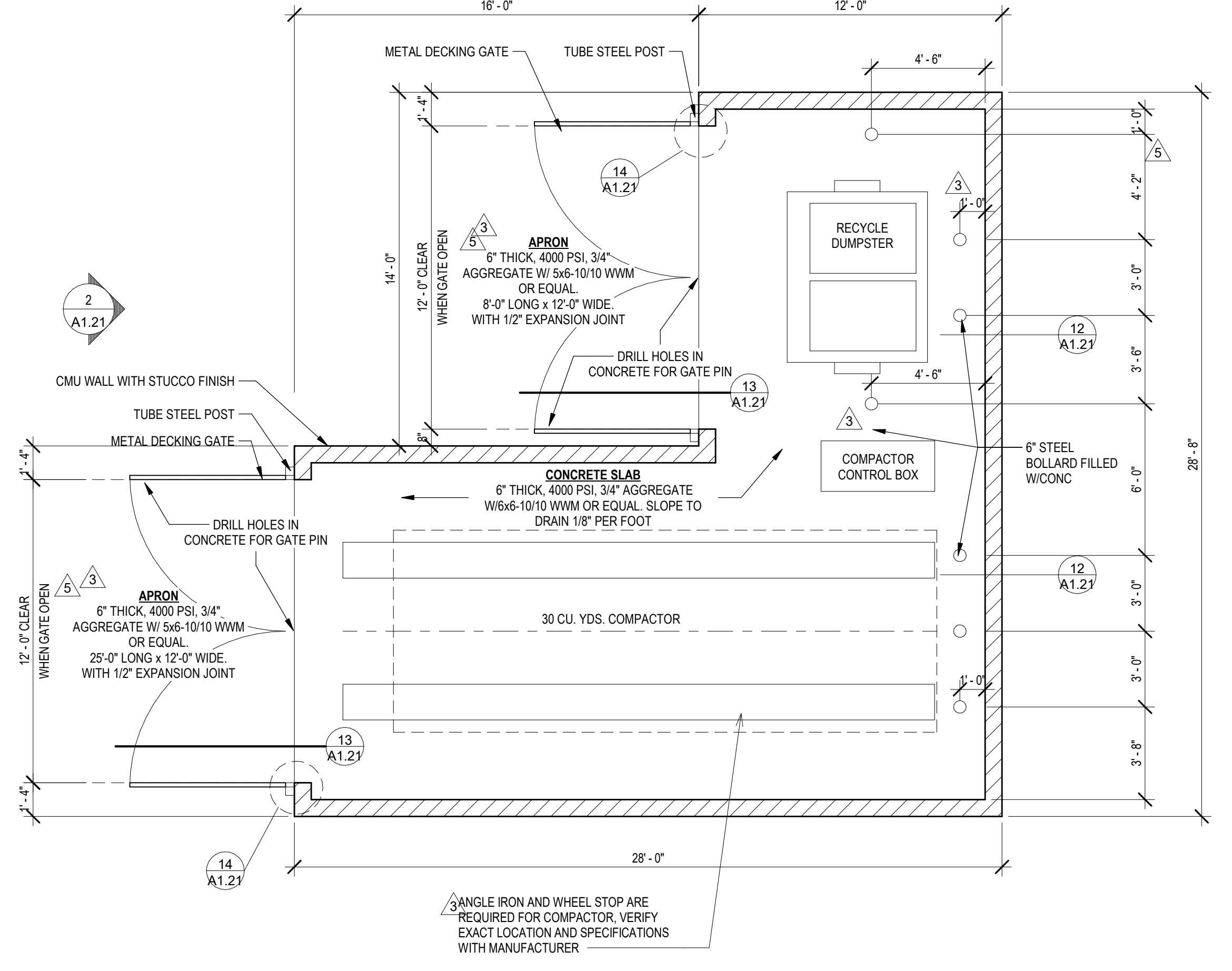
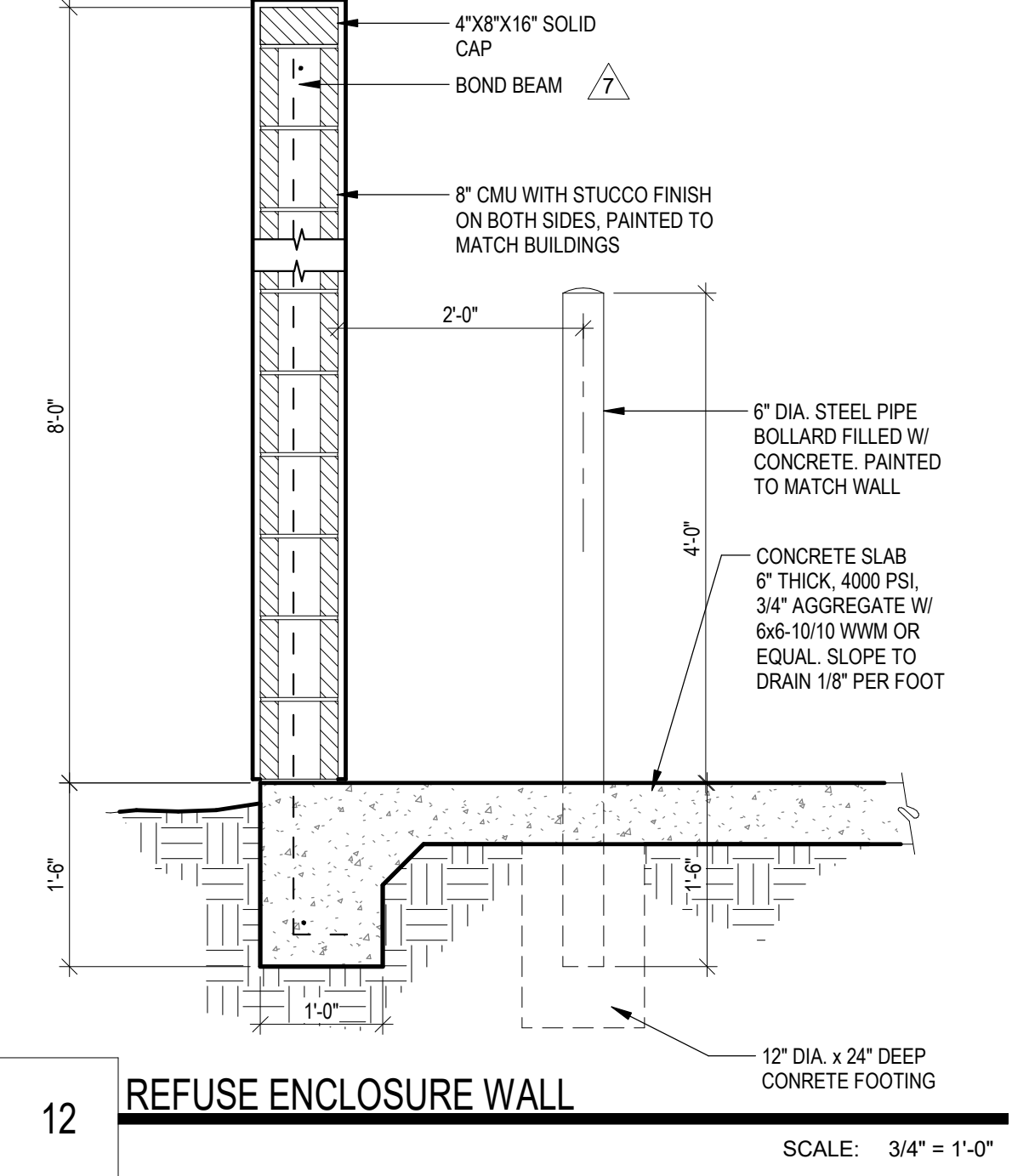
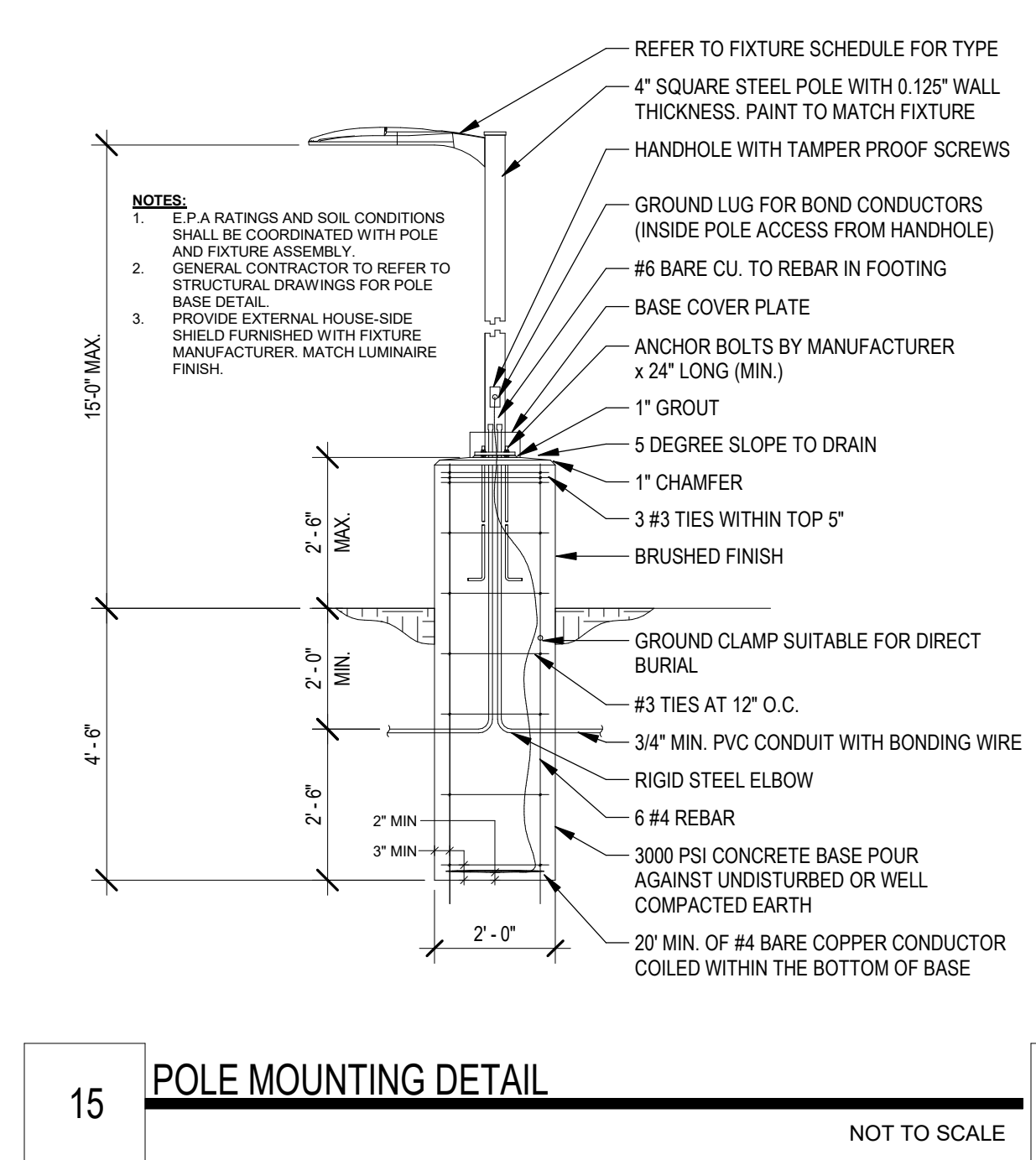
6500 Americas Parkway NE  
Albuquerque, NM 87110



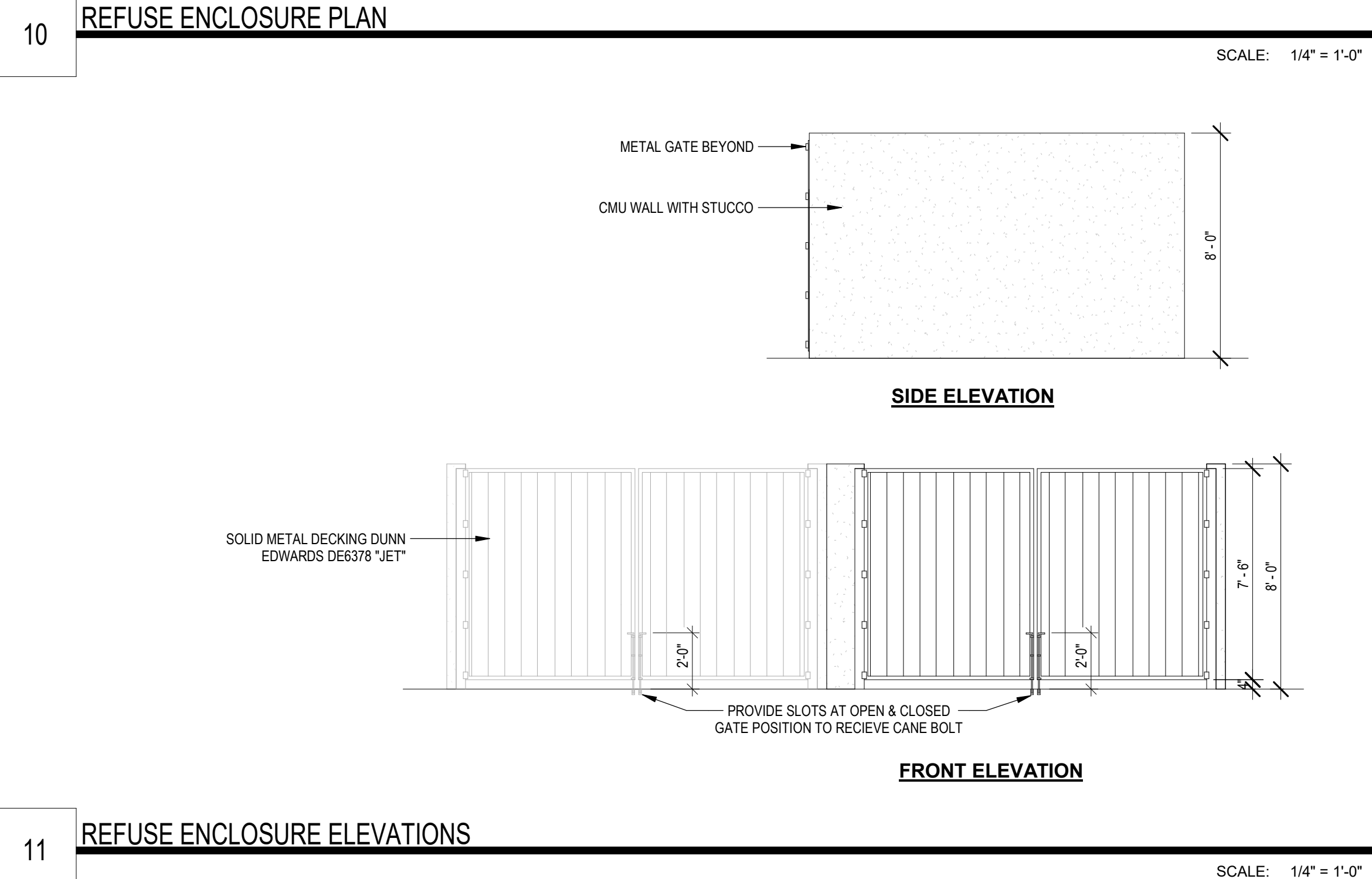
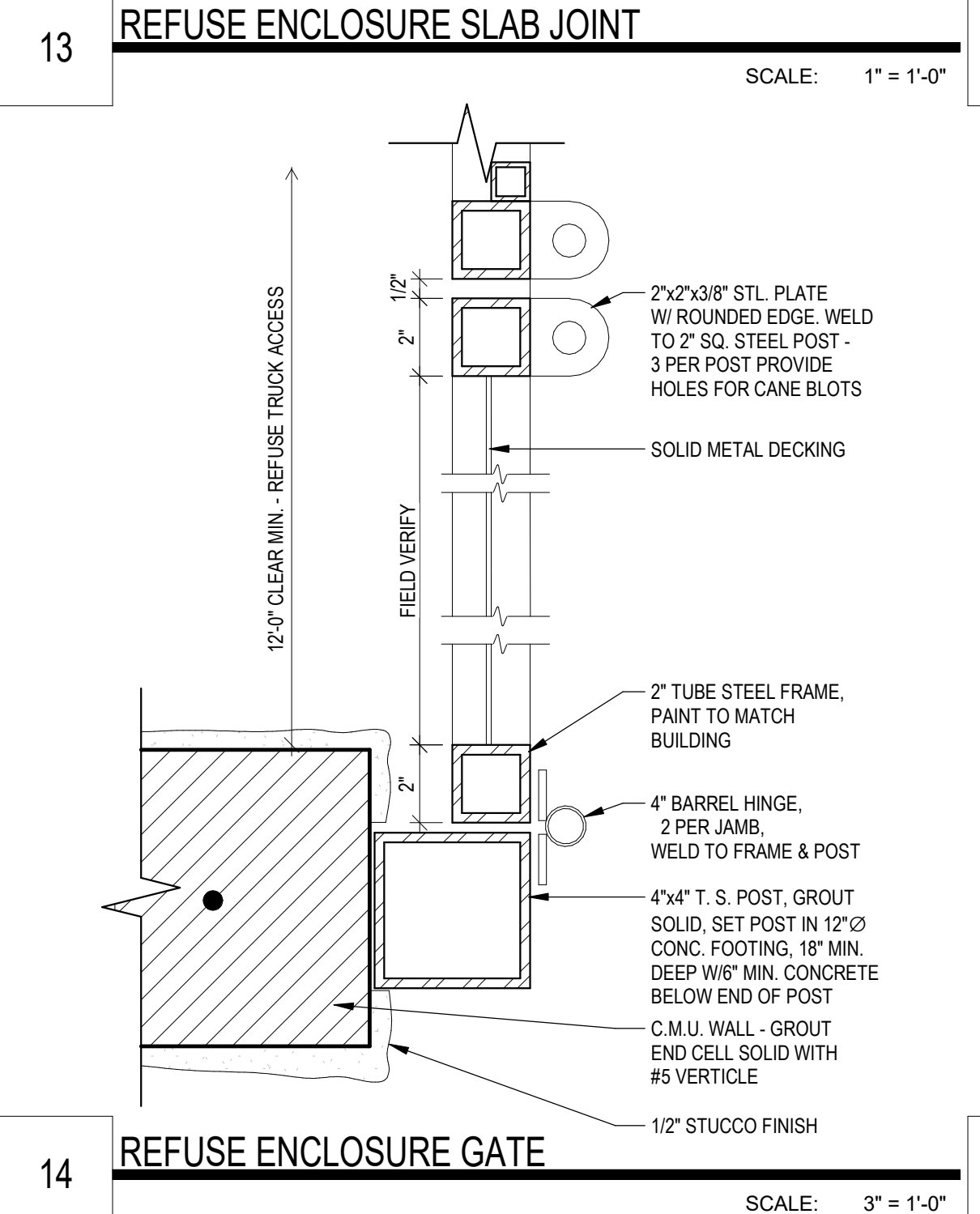
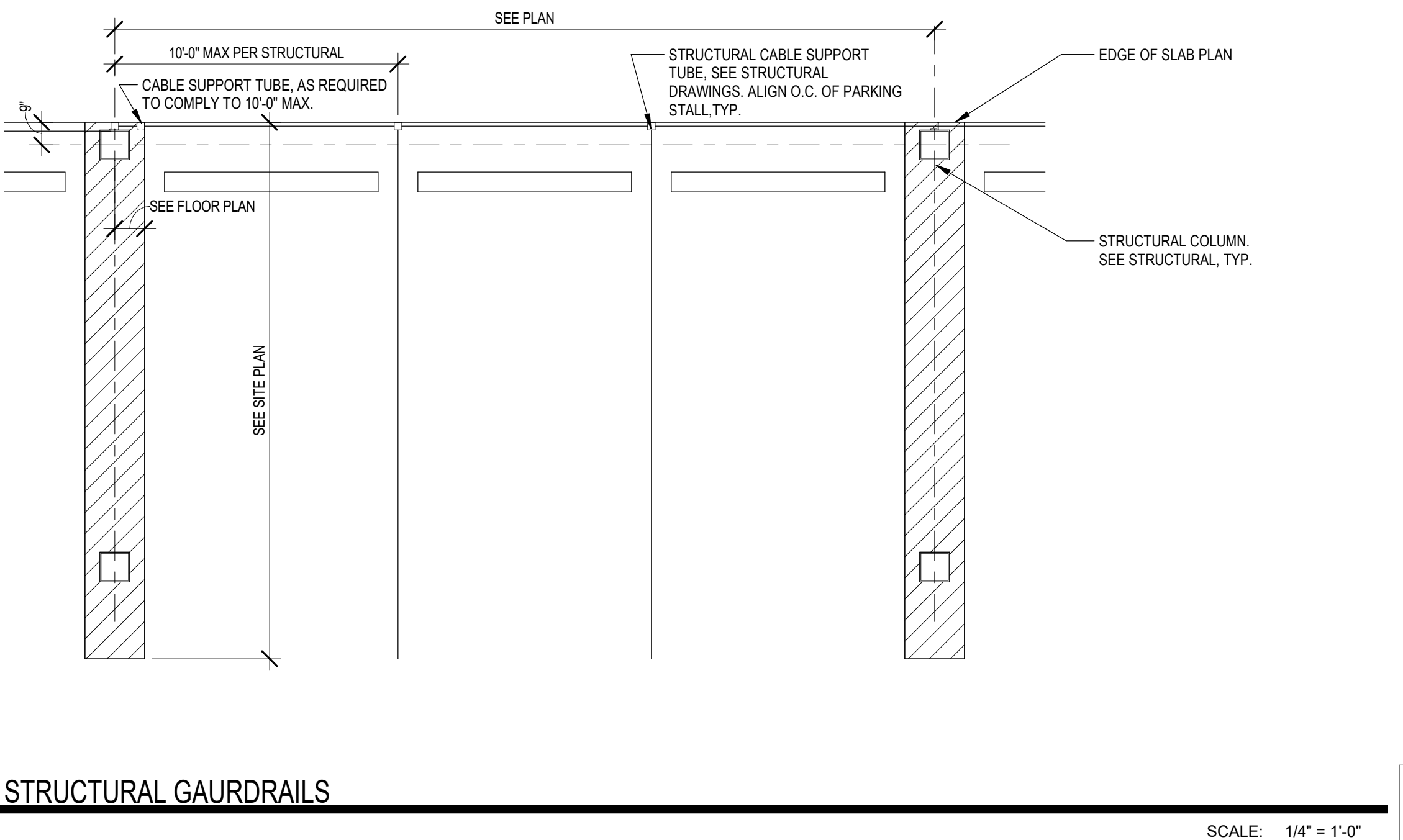
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**NOTE:** RECYCLE DUMPSTER AND TRASH COMPACTOR PER OWNER. COORDINATE WITH OWNERS VENDOR.



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5 04.27.20	3RD CITY COMMENTS
7 05.13.20	4TH CITY COMMENTS

ASI-0001  
DATE: JANUARY 13TH, 2022 ORB #: 16-221

**SLIM18Y/D10** RAB Outdoor



12, 18 and 26 Watt SLIM wallpacks are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight or uplight. Color Bronze Weight: 4.5 lbs

Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: Constant Current	Watts: 18W
120V: 0.18A	Color Temp: 3000K (Warm)
208V: 0.09A	Color Accuracy: 70 CRI
240V: 0.08A	L70 Lifetime: 50,000
277V: 0.08A	Lumens: 2513
Input Voltage: 21W	Efficiency: 120 LPW
Efficiency: 95%	

**Technical Specifications**

**UL Listing:** Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

**DLC Listing:** This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. DLC Product Code: PAZV16EU.

**ADA Compliant:** SLIM18 is ADA Compliant. SLIM18 is ADA Compliant. IESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

**Construction:** RAB LED luminaires are constructed with a heavy-duty, single-piece die-cast aluminum housing. The die-cast aluminum housing provides excellent protection and provides an architectural appearance. Cooling thermally conductive LED heat to optimize performance and long life. Powder paint finish provides durability in outdoor environments.

**Recommended Mounting Height:** Up to 14 ft

**Color Stability:** LED color temperature is warranted to shift no more than 20K in CCT over a 5-year period.

**Color Uniformity:** RAB's range of CCT (Correlated Color Temperature) options (including the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.37-2017).

**Electrical:** Consistent Current, Class 2, 100-277V, 50/60 Hz, 4KV surge protection, 120V-0, 19A, 208V-0, 11A, 240V-0, 10A, 277V-0, 0.08A.

**Dimming Driver:** Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dim-as-low-as-10%.

**Patents:** The design of the SLIM18 is protected by patents in U.S., EU, Canada, U.K., and various patents in Canada, China, Taiwan and Mexico.

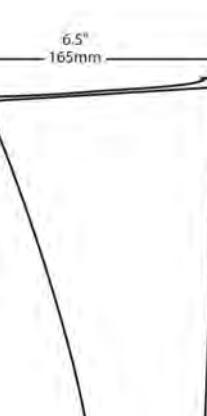
**HID Replacement Range:** Replaces 100W Metal Halide.

**Buy American Act Compliance:** RAB values U.S.A. manufacturing. Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

**Optical:** Full cutoff, fully shielded LED wallpack. Can be used as a downlight or uplight. Contractor friendly features for easy installation. 100,000-hour LED Life. 5-Year, No-Compromise Warranty.

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**SLIM18Y/D10** RAB Outdoor



Full cutoff, fully shielded LED wallpack. Can be used as a downlight or uplight. Contractor friendly features for easy installation. 100,000-hour LED Life. 5-Year, No-Compromise Warranty.

Family	Wattage	Color Temp	Finish	Driver	Options
SLIM	18	Y	A	/D10	A
	12 = 12W 18 = 18W 26 = 26W	Blank = 3000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Bronze W = White	Blank = Standard (120-277V) D10 = Dimmable IC2 = 277V Button ILC = Lightcloud Controller	Blank = No Option IC2 = 120V Button IC2 = 277V Button ILC = Lightcloud Controller

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**LNC2 SERIES** HUBBELL Outdoor Lighting

Job: S3 & S4

**Specifications:** Type: S3 & S4

**Intended Use:** The compact LNC2 is designed for perimeter illumination for safety, security and identity. This compact fixture has an upright and neighbor friendly with typical mounting heights up to 15ft. Units are supplied with an acrylic diffuser accessory that can be used for lower LED brightness near building entrances or other pedestrian areas. Units have protective polyester finish for long lasting appearance.

**Construction:** Die-cast aluminum housing protects components and provides an architectural appearance. Cooling thermally conductive LED heat to optimize performance and long life. Powder paint finish provides durability in outdoor environments.

**Electrical:** 120V-277V universal voltage 50/60Hz 0-10V dimming driver. 347V and 480V dimmable driver option in 12L configuration. Electronic driver: One in 7L, 9L and 12L units. Two drivers in 18L units. Minimum operating temperature is -40°C (-40°F). Driver RAS and IP66. Drivers have greater than 30 power factor and less than 20% Total Harmonic Distortion.

**LEDs/CCT:** 3000K CCT nominal - 80 CRI, 4000K CCT nominal - 70 CRI, 5000K CCT nominal - 67 CRI. 7 LEDs, 18 input watts, deliver 1288 lumens with 90 LPW efficiency at 5000K CCT. 9 LEDs, 22 input watts, deliver 1745 lumens with 85 LPW efficiency at 5000K CCT. 12 LEDs, 28 input watts, deliver 2420 lumens with 85 LPW efficiency at 5000K CCT. 18 LEDs, 45 input watts, deliver 3211 lumens at 78 LPW efficiency at 5000K CCT.

**Options:** Battery back-up option - 12L configuration only. Provides 1hr minimum over 10' x 10' at 1' mounting height (depends on CCT requirement). 1.56" initial lumens in battery mode. Mean Life: 50,000 hours (at 50% discharge schedule). -40°C to 30°C operating temperature.

**Dimensions:** Type II, III and IV distributions with zero uplight; individual PMMA acrylic lenses for wide lateral throw, maximum uniformity and efficiency; acrylic diffuser included where reduced LED brightness is desired.

**Product Images:** LNC2-12LU, LNC2-18LU, LNC2-18LU, LNC2-18LU

**Shipping Information:**

Category	6.9kg / 15.1lb	8.9kg / 19.6lb	11.4kg / 25.1lb	14.2kg / 31.3lb	16.8kg / 37.1lb
Length (mm)	142.2	142.2	142.2	142.2	142.2
Width (mm)	76.2	76.2	76.2	76.2	76.2
Height (mm)	152.4	152.4	152.4	152.4	152.4
Net Weight (kg)	6.9	8.9	11.4	14.2	16.8
Gross Weight (kg)	8.9	11.4	14.2	16.8	19.3

**Ordering Information - Ordering Example:** LNC2-12LU-6K-S3-1

Series	Number of LEDs	Voltage	CCT	IES Distribution	Finish	Options
LNC2-LNC2	7L, 9L, 12L, 18L	120V, 208V, 240V, 277V	3000K, 4000K, 5000K	2' Type I, 3' Type II, 4' Type IV	Blank, White, Bronze	Photocontrol, Battery Back-up, Dimmable Driver, etc.

**Lumark**

**DESCRIPTION:** The Prevail LED area, site luminaire combines optical performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the Prevail luminaire delivers unparalleled uniformity resulting in greater pole spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installations. With energy savings greater than 62%, the Prevail fixture replaces 150-450W metal halide fixtures in general area lighting applications such as parking lots, walkways, roadways and building areas.

**Construction:** Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. The die-cast aluminum door is hatched to provide easy access to the driver if replacement is required. A one-piece silicone gasket seals the door to the fixture housing. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and 3G vibration rated (ANSI C136 S11) to insure strength of construction and longevity in the selected application.

**Electrical:** LED drivers are mounted to the fixture for optimal heat sinking and ease of maintenance. Thermal management incorporates both conduction and convection to transfer heat rapidly away from the LED source for optimal efficiency and light output. Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Available in 120-277V 60/50Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. 10kV/10 kA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture. Suitable for ambient temperatures from -40°C to 40°C. Optional 50°C NEMA 3-PIN twistlock photocontrol receptacle and NEMA 7-PIN twistlock photocontrol receptacles are available as options.

**Mounting:** Standard pole mount arm is bolted directly to the pole and the fixture slides onto the arm and locks in place with a bolt facilitating quick and easy installation. The versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting. Wall mount and mast arm mounting options are available. Mast arm adapter fits 2-3/8" O.D. tenon.

**Finish:** Housing and cast parts finished in five-stage super TG1 polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, black, platinum and graphite metallic.

**Warranty:** Five-year warranty.

**Dimensions:**



**Shipping Information:**

Category	6.9kg / 15.1lb	8.9kg / 19.6lb	11.4kg / 25.1lb	14.2kg / 31.3lb	16.8kg / 37.1lb
Length (mm)	142.2	142.2	142.2	142.2	142.2
Width (mm)	76.2	76.2	76.2	76.2	76.2
Height (mm)	152.4	152.4	152.4	152.4	152.4
Net Weight (kg)	6.9	8.9	11.4	14.2	16.8
Gross Weight (kg)	8.9	11.4	14.2	16.8	19.3

**Ordering Information:** LNC2-12LU-6K-S3-1

**SLIM18Y/D10** RAB Outdoor

**TYPE S3**

Full cutoff, fully shielded LED wallpack. Can be used as a downlight or uplight. Contractor friendly features for easy installation. 100,000-hour LED Life. 5-Year, No-Compromise Warranty.

Family	Wattage	Color Temp	Finish	Driver	Options
SLIM	18	Y	A	/D10	A
	12 = 12W 18 = 18W 26 = 26W	Blank = 3000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Bronze W = White	Blank = Standard (120-277V) D10 = Dimmable IC2 = 277V Button ILC = Lightcloud Controller	Blank = No Option IC2 = 120V Button IC2 = 277V Button ILC = Lightcloud Controller

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**MARKANA UPTOWN**  
Americas Parkway NE  
Albuquerque, New Mexico

**Office of Rich Barber Architecture, LLC**  
**ORB**  
WorldHQ@ORBArch.com

**LEGACY HOSPITALITY**

**ENGINEERING INC.**  
4115 N. 15TH AVE  
PHOENIX, AZ 85015  
(602) 265-1559  
PROJECT NO. 18-118

DATE: SEPTEMBER 5, 2018 ORB # 16-221

**E1.12**  
ELECTRICAL SITE LIGHTING CUTSHEETS

FILE: P:\18-1 DWG\18-118-1 MARKANA UPTOWN\ELEC\E1.12.dwg USER: jeff DATE: Sep. 26 2018 TIME: 09:25 am

Need help? Tech help line: (888) RAB-1000 Email: sales@rablighting.com Website: www.rablighting.com  
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**FACON**  
Power Source Worldwide

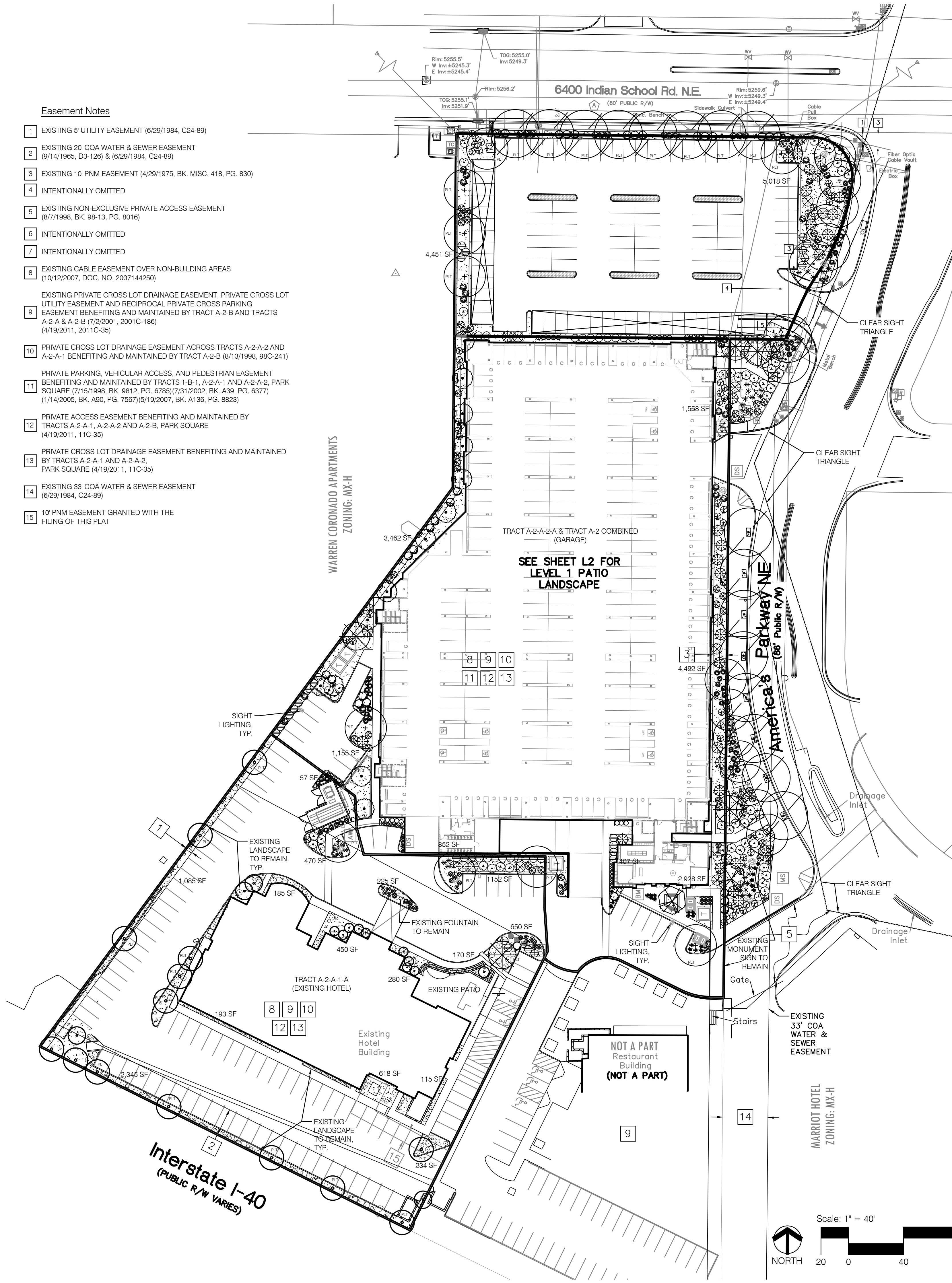
Eden  
103 Highway 76 South  
Greenville, SC 29609  
P: 770-884-4200  
www.faconlighting.com

Specifications and dimensions subject to change without notice.

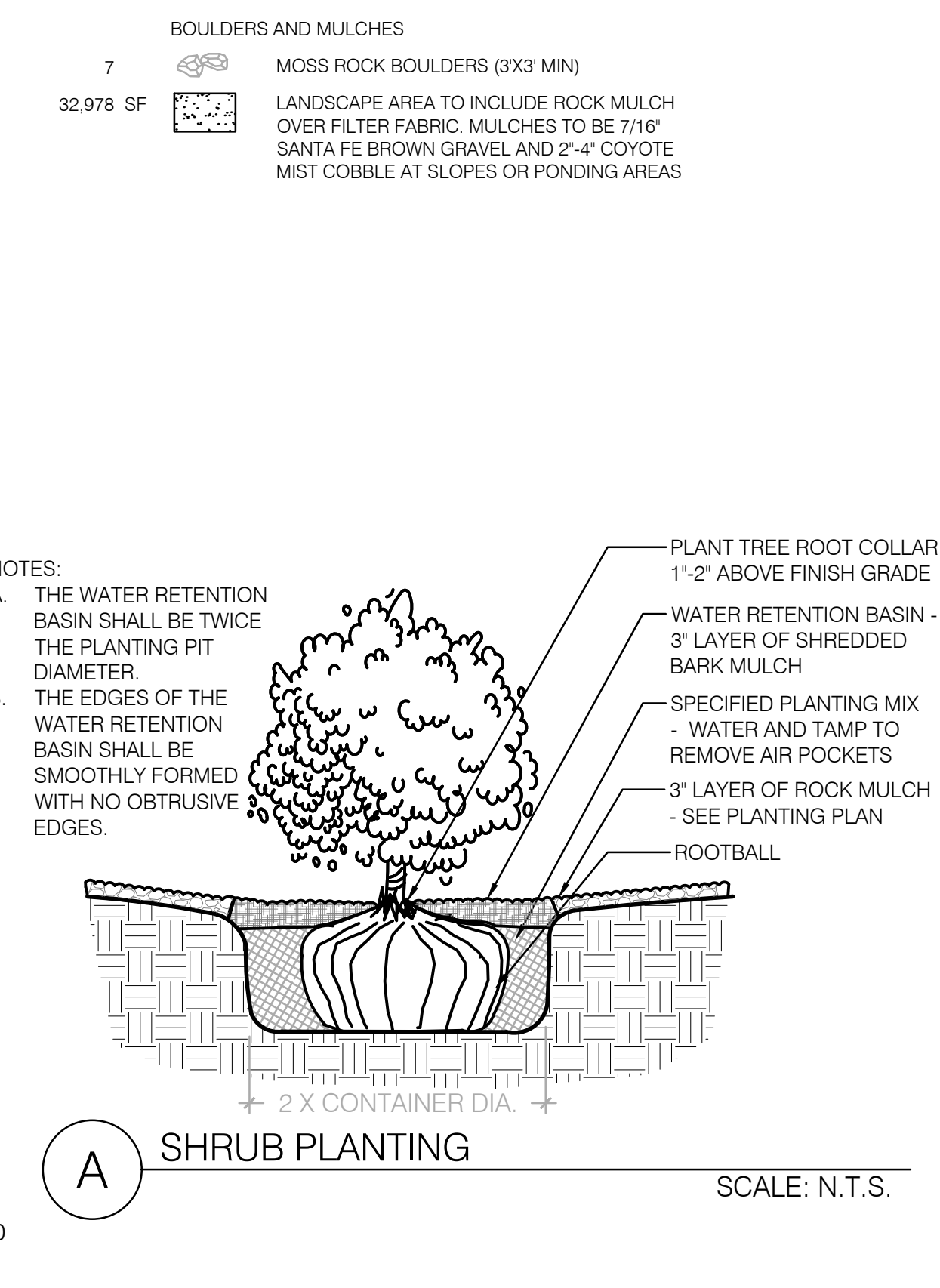
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June 19, 2018 2:34 PM

**Easement Notes**

- 1 EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
- 2 EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126) & (6/29/1984, C24-89)
- 3 EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- 4 INTENTIONALLY OMITTED
- 5 EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (8/7/1998, BK. 98-13, PG. 8016)
- 6 INTENTIONALLY OMITTED
- 7 INTENTIONALLY OMITTED
- 8 EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DOC. NO. 2007144250)
- 9 EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, PRIVATE CROSS LOT UTILITY EASEMENT AND RECIPROCAL PRIVATE CROSS PARKING EASEMENT BENEFITING AND MAINTAINED BY TRACT A-2-B AND TRACTS A-2-A & A-2-B (7/2/2001, 2001C-186) (4/19/2011, 2011C-35)
- 10 PRIVATE CROSS LOT DRAINAGE EASEMENT ACROSS TRACTS A-2-A-2 AND A-2-A-1 BENEFITING AND MAINTAINED BY TRACT A-2-B (8/13/1998, 98C-241)
- 11 PRIVATE PARKING, VEHICULAR ACCESS, AND PEDESTRIAN EASEMENT BENEFITING AND MAINTAINED BY TRACTS 1-B-1, A-2-A-1 AND A-2-A-2, PARK SQUARE (7/15/1998, BK. 9812, PG. 6785) (7/31/2002, BK. A39, PG. 6377) (1/14/2005, BK. A90, PG. 7567) (5/19/2007, BK. A136, PG. 8823)
- 12 PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- 13 PRIVATE CROSS LOT DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1 AND A-2-A-2, PARK SQUARE (4/19/2011, 11C-35)
- 14 EXISTING 33' COA WATER & SEWER EASEMENT (6/29/1984, C24-89)
- 15 10' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAN



PLANT LEGEND		SCIENTIFIC NAME	COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE	MATURE SIZE
<b>EXISTING</b>						
○	○	EXISTING TREE TO REMAIN				
○	○	EXISTING SHRUB TO REMAIN				
<b>DECIDUOUS TREES</b>						
20	○	FRAXINUS PENNSYLVANICA	URBANITE URBANITE ASH (M)	2" B&B	10' HT. X 4" SPR.	40' HT. X 35" SPR.
5	○	JUNIPERUS SCOPULORUM	FEMALE ROCKY MOUNTAIN JUNIPER (L+)	B&B	6' HT. MIN	40' HT. X 20" SPR.
6	○	LAGERSTROEMIA INDICA	MUSKOGEE MUSKOGEE CRAPPE MYRTLE (H)	2" MS/ 24" BOX	6' HT. MIN	25' HT. X 15" SPR.
13	○	PYRUS CALLERYANA	CHANTICLEER CHANTICLEER FLOWERING PEAR (M)	2" B&B	10' HT. X 4" SPR.	30' HT. X 15" SPR.
22	○	ULMUS HYBRID	FRONTIER FRONTIER ELM (M)	2" B&B	10' HT. X 4" SPR.	30' HT. X 30" SPR.
8	○	VITEX AGNIUS-CASTUS	CHASTE TREE (M)	2" MS/ 24" BOX	6' HT. MIN	20' HT. X 20" SPR.
<b>SHRUBS</b>						
92	○	BUXUS JAPONICA	WINTER GEM WINTER GEM BOXWOOD (M)	5-GAL.	3" O.C.	3' HT. X 3" SPR.
55	○	CARYOPTERIS CLANDONENSIS	DARK KNT BLUE MIST DARK KNIGHT SPIREA	5-GAL.	6" O.C.	5' HT. X 5" SPR.
30	○	CYTIUS SCOPARIUS	MOONLIGHT MOONLIGHT SCOTCH BROOM (M)	5-GAL.	6" O.C.	4' HT. X 6" SPR.
45	○	DASYLIRION TEXANA	SOTOL (RW)	5-GAL.	4" O.C.	4' HT. X 5" SPR.
55	○	FALLUGIA PARADOXA	APACHE PLUME (L+)	5-GAL.	5" O.C.	5' HT. X 5" SPR.
56	○	HESPERALOE PARVIFLORA	YELLOW FLOWERING YUCCA (L+)	5-GAL.	4" O.C.	4' HT. X 4" SPR.
28	○	JUNIPERUS SCOPULORUM	SKYROCKET SKYROCKET JUNIPER (L+)	5-GAL.	5" O.C.	12' HT. X 3" SPR.
41	○	PINUS MUGO	MUGO PINE (M)	5-GAL.	5" O.C.	8' HT. X 6" SPR.
51	○	RHAPHIOLEPIS INDICA	PINK LADY INDIAN HAWTHORN (M)	5-GAL.	5" O.C.	5' HT. X 5" SPR.
63	○	RHUS TRILOBATA	AUTUMN AMBER CREEPING THREE-LEAF SUMAC (L+)	5-GAL.	5" O.C.	18' HT. X 6" SPR.
37	○	ROSA WOODSII	WOODS ROSE (L+)	5-GAL.	5" O.C.	5' HT. X 5" SPR.
23	○	YUCCA RUPICOLA	TWISTLEAF YUCCA (RW)	5-GAL.	5" O.C.	2' HT. X 3" SPR.
<b>ORNAMENTAL GRASSES</b>						
24	○	CALAMAGROSTIS A.	'OVERDAM' VARIEGATED REED GRASS (M)	1-GAL.	3" O.C.	3' HT. X 3" SPR.
25	○	MISCANTHUS SINENSIS	'PURPURASCENS' FLAME GRASS (M)	1-GAL.	3" O.C.	4' HT. X 3" SPR.
81	○	MISCANTHUS SINENSIS	'YAKU JIMA' DWARF MAIDEN GRASS (M)	1-GAL.	3" O.C.	4' HT. X 4" SPR.
36	○	PENNISETUM ALOP.	'HAMELN' DWARF FOUNTAIN GRASS (M)	1-GAL.	3" O.C.	3' HT. X 3" SPR.
46	○	PENNISETUM ORIENTALE	'KARLEY ROSE' ORIENTAL FOUNTAIN GRASS (M)	1-GAL.	3" O.C.	3' HT. X 3" SPR.
750	○	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED (L)	1-GAL.	3" O.C.	2' HT. X 2" SPR.
<b>FLOWERING PLANTS</b>						
62	○	ACHILLEA MOONSHINE	MOONSHINE YARROW (M)	1-GAL.	2" O.C.	2' HT. X 2" SPR.
20	○	CENTRANTHUS RUBER	RED VALERIAN (M)	1 GAL.	2" O.C.	18" HT. X 2" SPR.
150	○	DELOSPERMA COOPERI	NUBIGENUM PURPLE/YELLOW ICEPLANT (L+)	1-GAL.	16" O.C.	6' HT. X 16" SPR.
31	○	ECHINACEA PURPUREA	PURPLE CONEFLOWER (M)	1 GAL.	18" O.C.	3' HT. X 3" SPR.
150	○	NEPETA HYBRID	'KIT CAT' KIT CAT CATMINT (L+)	1 GAL.	16" O.C.	16' HT. X 16" SPR.
325	○	OENOTHERA BERLANDIERI	MEXICAN EVENING PRIMROSE (L+)	1 GAL.	2" O.C.	10' HT. X 2" SPR.
<b>BOULDERS AND MULCHES</b>						
7	○	MOSS ROCK BOULDERS (3'X3' MIN)				
32,978	○	LANDSCAPE AREA TO INCLUDE ROCK MULCH OVER FILTER FABRIC. MULCHES TO BE 7/16" SANTA FE BROWN GRAVEL AND 2"-4" COYOTE MIST COBBLE AT SLOPES OR PONDING AREAS				



SCALE: N.T.S.

**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN**  
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH CRUSHER FINES, 7/16" SANTA FE BROWN ROCK MULCH, 2"-4" COYOTE MIST ROCK MULCH, OR SIMILAR MATERIAL. ALL LEVEL 1 PLANTERS SHALL BE TOP DRESSED WITH A MINIMUM 2" OF SHREDDED BARK MULCH.

**ORGANIC MULCH AT TREES**  
ORGANIC MULCH IS REQUIRED AS GROUND COVER UNDER TREES WITHIN A 5-FOOT RADIUS AROUND THE TREE TRUNK, BUT NOT DIRECTLY AGAINST THE TRUNK. IN THESE AREAS, WEED BARRIER FABRIC IS PROHIBITED.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPOED ON THE SAME VALVE.

WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, A SEPARATE VALVE(S) WILL BE PROVIDED AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. DRIP IRRIGATION SYSTEMS AND ARTIFICIAL TURF SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 10 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

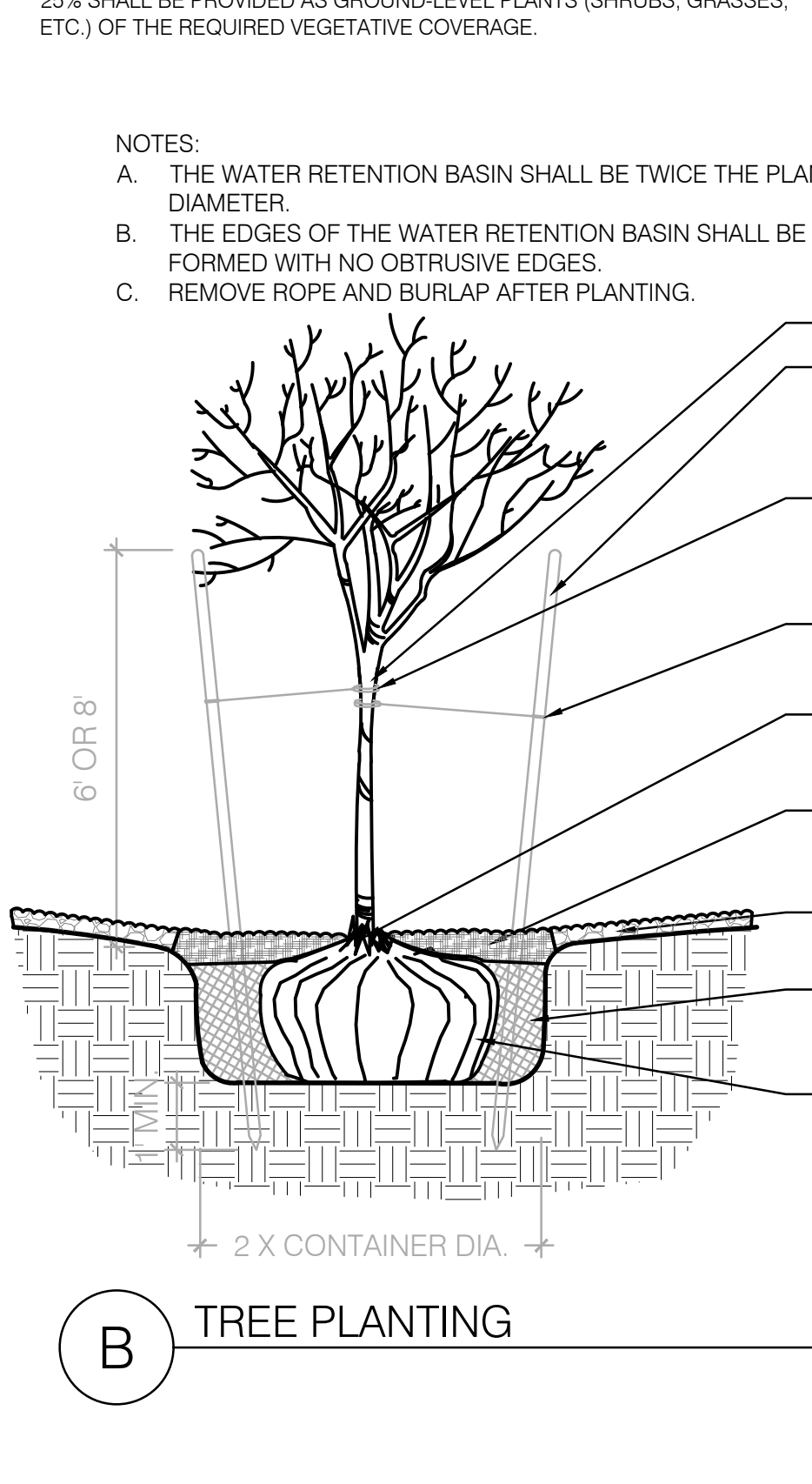
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**LANDSCAPE AREA COVERAGE**  
TRACT A-2-A-2-A & TRACT A-2 COMBINED  
TOTAL SITE AREA: 145,347 SF (3.33 AC)  
BUILDING AREA (BUILDING ENVELOPE): - 77,419 SF  
NET AREA: 67,928 SF  
REQUIRED LANDSCAPE AREA (10% OF NET AREA): 6,793 SF  
PROVIDED LANDSCAPE AREA: 23,922 SF (35%)  
\*NOTE: SITE IS LOCATED IN THE UPTOWN COMPREHENSIVE PLAN URBAN CENTER

TRACT A-2-A-1-A  
TOTAL SITE AREA: 71,959 SF (1.65 AC)  
BUILDING AREA (BUILDING ENVELOPE): - 17,345 SF  
NET AREA: 54,614 SF  
REQUIRED LANDSCAPE AREA (10% OF NET AREA): 5,461 SF  
PROVIDED LANDSCAPE AREA: 8,340 SF (15%)  
\*NOTE: SITE IS LOCATED IN THE UPTOWN COMPREHENSIVE PLAN URBAN CENTER

**LANDSCAPE LIVE VEGETATIVE COVERAGE**  
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.



SCALE: N.T.S.

TRACT A-2-A-2-A & TRACT A-2 COMBINED  
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE 46,477 SF (194% OF LANDSCAPE AREA)  
PROVIDED GROUND-LEVEL PLANT COVERAGE 9,610 SF (53% OF LIVE VEGETATIVE COVERAGE)

TRACT A-2-A-1-A  
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE 16,500 SF (198% OF LANDSCAPE AREA)  
PROVIDED GROUND-LEVEL PLANT COVERAGE 5,980 SF (36% OF LIVE VEGETATIVE COVERAGE)

**LANDSCAPE TURF**  
NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.  
NO TURF GRASS IS USED.

**PARKING LOT AREA**  
THE SITE IS LOCATED IN THE UPTOWN URBAN CENTER. AT LEAST 10 PERCENT OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES SHALL BE LANDSCAPED

TRACT A-2-A-2-A & TRACT A-2 COMBINED IS PROVIDING 122 PARKING SPACES, EXCLUDING GARAGE PARKING.  
TOTAL PARKING LOT AREA: 36,420 SF  
LANDSCAPE AREA: 10,922 SF (30% OF PARKING LOT AREA)

TRACT A-2-A-1-A IS PROVIDING 95 PARKING SPACES.  
TOTAL PARKING LOT AREA: 43,130 SF  
LANDSCAPE AREA: 6,750 SF (15% OF PARKING LOT AREA)

**PARKING LOT TREES**  
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES. PARKING LOT TREES ARE IDENTIFIED ON THE PLAN WITH A PLT TAG.

TRACT A-2-A-2-A & TRACT A-2 COMBINED IS PROVIDING 122 PARKING SPACES, EXCLUDING GARAGE PARKING.  
PARKING LOT TREES REQUIRED: 13  
PARKING LOT TREES PROVIDED: 23

TRACT A-2-A-1-A IS PROVIDING 95 PARKING SPACES.  
PARKING LOT TREES REQUIRED: 10  
PARKING LOT TREES PROVIDED: 15

**STREET TREES**  
AMERICA'S PARKWAY IS A MAJOR COLLECTOR AND THEREFORE REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C.

AMERICA'S PARKWAY FRONTAGE IS 574'.  
STREET TREES REQUIRED: 23  
STREET TREES PROVIDED: 23

INDIAN SCHOOL ROAD IS AN URBAN MINOR ARTERIAL AND THEREFORE REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C.

INDIAN SCHOOL ROAD FRONTAGE IS 300'.  
STREET TREES REQUIRED: 12  
STREET TREES PROVIDED: 12

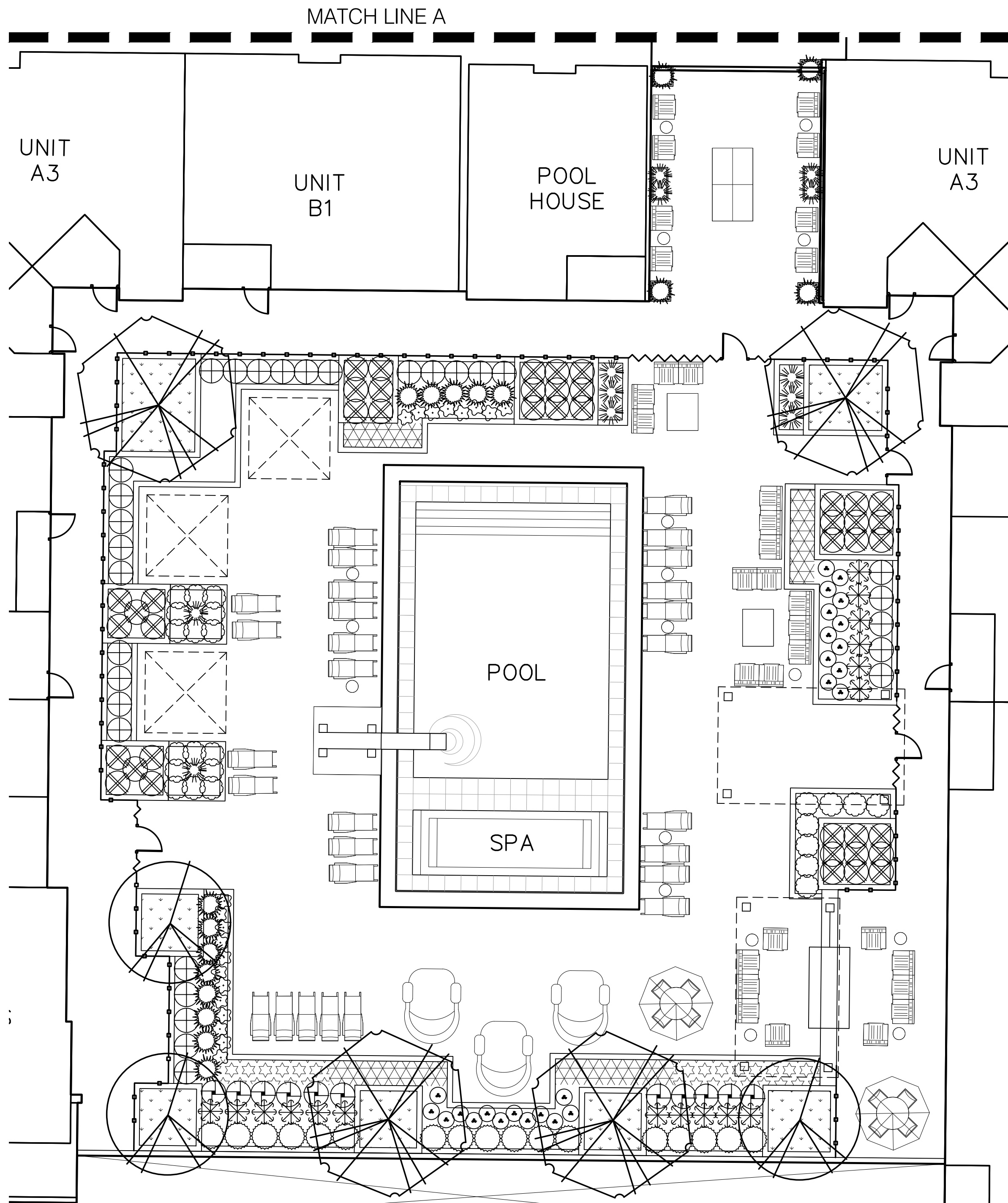
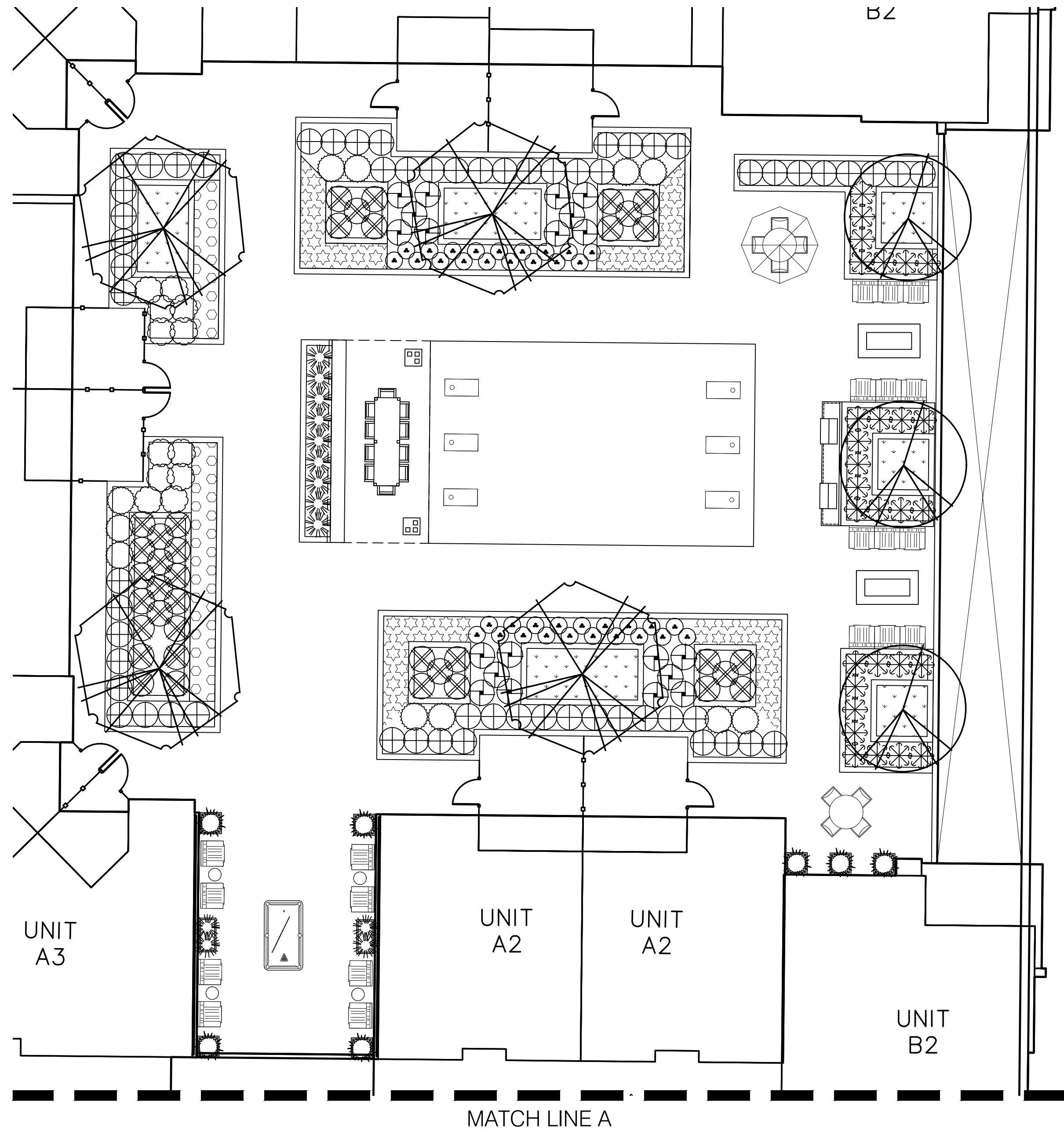
**NOTES:**

- A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
- B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
- C. REMOVE ROPE AND BURLAP AFTER PLANTING.

STATE OF NEW MEXICO  
CHRISTOPHER J. GREEN  
#234  
REGISTERED LANDSCAPE ARCHITECT  
NOT FOR CONSTRUCTION

**L1**  
**LANDSCAPE PLAN**

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PLANT LEGEND		SCIENTIFIC NAME	COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE	PATIO SITE	SCIENTIFIC NAME	COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE	
QTY.	SITE QTY.	SYMBOL			MATURE SIZE	QTY.	SYMBOL			MATURE SIZE	
EXISTING											
		○	EXISTING TREE TO REMAIN			11		ROSA WOODSII	WOODS ROSE (L+)	5-GAL.	5' O.C.
		○	EXISTING SHRUB TO REMAIN								5' HT. X 5' SPR.
DECIDUOUS TREES											
-	11	○	FRAXINUS PENNSYLVANICA URBANITE	2' B&B	10' HT. X 4' SPR.						
			URBANITE ASH (M)		40' HT. X 35' SPR.						
-	5	○	JUNIPERUS SCOPULORUM, FEMALE	B&B	6' HT. MIN	24					
			ROCKY MOUNTAIN JUNIPER (L+)		40' HT. X 20' SPR.						
6	-	○	LAGERSTROEMIA INDICA MUSKOGEE	2' MS/	6' HT. MIN	25					
			MUSKOGEE CRAPE MYRTLE (H)	24" BOX	25' HT. X 15' SPR.						
-	13	○	PYRUS CALLERYANA CHANTICLEER	2' B&B	10' HT. X 4' SPR.	81					
			CHANTICLEER FLOWERING PEAR (M)		30' HT. X 15' SPR.						
-	5	○	ULMUS HYBRID FRONTIER	2' B&B	10' HT. X 4' SPR.	36					
			FRONTIER ELM (M)		30' HT. X 30' SPR.						
8	5	○	VITEA AGNUS-CASTUS	2' MS/	6' HT. MIN	46					
			CHASTE TREE (M)	24" BOX	20' HT. X 20' SPR.						
SHRUBS											
92	-	○	BUXUS JAPONICA WINTER GEM	5-GAL.	3' O.C.	750					
			WINTER GEM BOXWOOD (M)		3' HT. X 3' SPR.						
-	35	○	CARYOPTERIS CLANDONENSIS DARK KNT	5-GAL.	6' O.C.	62					
			BLUE MIST DARK KNIGHT SPIREA		5' HT. X 5' SPR.						
-	14	○	CYTISUS SCOPARIUS MOONLIGHT	5-GAL.	6' O.C.	20					
			MOONLIGHT SCOTCH BROOM (M)		4' HT. X 6' SPR.						
-	22	○	DASYLIRON TEXANA	5-GAL.	4' O.C.	150					
			SOTOL (RW)		4' HT. X 4' SPR.						
-	63	○	FALLUGIA PARADOXA	5-GAL.	5' O.C.	31					
			APACHE PLUME (L+)		5' HT. X 5' SPR.						
-	44	○	HESPERALOE PARVIFLORA YELLOW	5-GAL.	4' O.C.	150					
			YELLOW FLOWERING YUCCA (L+)		4' HT. X 4' SPR.						
28	14	○	JUNIPERUS SCOPULORUM SKYROCKET	5-GAL.	5' O.C.	325					
			SKYROCKET JUNIPER (L+)		12' HT. X 3' SPR.						
-	19	○	PINUS MUGO MUGHUS	5-GAL.	5' O.C.	7					
			MUGO PINE (M)		8' HT. X 8' SPR.						
-	36	○	RHAPHIOLIS INDICA PINK LADY	5-GAL.	5' O.C.	18,960					
			PINK LADY INDIAN HAWTHORN (M)		5' HT. X 5' SPR.						
-	54	○	RHUS TRILOBATA AUTUMN AMBERT	5-GAL.	5' O.C.	1,990					
			CREeping THREE-LEAF SUMAC (L+)		18' HT. X 6' SPR.						
ORNAMENTAL GRASSES											
		○	CALAMAGROSTIS A. OVERDAM	1-GAL.	3' O.C.						
			VARIEGATED REED GRASS (M)		3' HT. X 3' SPR.						
		○	MISCANTHUS SINENSIS PURPURASCENS	1-GAL.	3' O.C.						
			FLAME GRASS (M)		4' HT. X 3' SPR.						
		○	MISCANTHUS SINENSIS YAKU JIMA	1-GAL.	3' O.C.						
			DWARF MAIDEN GRASS (M)		4' HT. X 4' SPR.						
		○	FENNISETUM ALOP. 'HAMELN'	1-GAL.	3' O.C.						
			DWARF FOUNTAIN GRASS (M)		3' HT. X 3' SPR.						
		○	FENNISETUM ORIENTALE KARLEY ROSE	1-GAL.	3' O.C.						
			ORIENTAL FOUNTAIN GRASS (M)		3' HT. X 3' SPR.						
		○	SPOROBOLUS HETEROLEPIS	1-GAL.	3' O.C.						
			PRAIRIE DROPS EED (L)		2' HT. X 2' SPR.						
FLOWERING PLANTS											
		○	ACHILLEA MOONSHINE	1-GAL.	2' O.C.						
			MOONSHINE YARROW (M)		2' HT. X 2' SPR.						
		○	CENTRANTHUS RUBER RED	1 GAL.	2' O.C.						
			RED VALERIAN (M)		18" HT. X 2' SPR.						
		○	DELOSPERMA COOPERI/NUBIGENUM	1-GAL.	16" O.C.						
			PURPLE/YELLOW ICEPLANT (L+)		6' HT. X 16" SPR.						
		○	ECHINACEA PURPUREA	1 GAL.	18" O.C.						
			PURPLE CONEFLOWER (M)		3' HT. X 3' SPR.						
		○	NEPETA HYBRID KIT CAT	1 GAL.	16" O.C.						
			KIT KAT CATMINT (L+)		16" HT. X 16" SPR.						
		○	OENOTHERA BERLANDIERI	1 GAL.	2' O.C.						
			MEXICAN EVENING PRIMROSE (L+)		10" HT. X 2' SPR.						
BOULDERS AND MULCHES											
		○	MOSS ROCK BOULDERS (3X3 MIN)			7					
		○	7/16" SANTA FE BROWN ROCK MULCH			18,960					
			(3' DEPTH OVER FILTER FABRIC)								
		○	2'-4" COYOTE MIST ROCK MULCH			1,990					
			(6' DEPTH OVER FILTER FABRIC)								

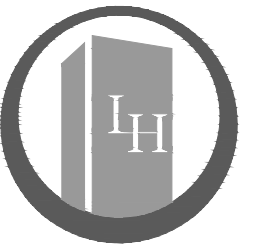
# MARKANA UPTOWN

Americas Parkway NE  
Albuquerque, New Mexico



WorldHQ@ORBArch.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION



LEGACY HOSPITALITY



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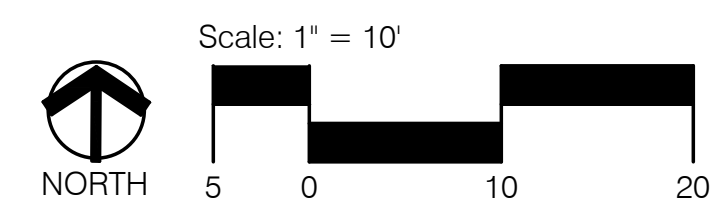
## REVISIONS


## PROGRESS SET

DATE: SEPTEMBER 6, 2018 ORB # 16-221

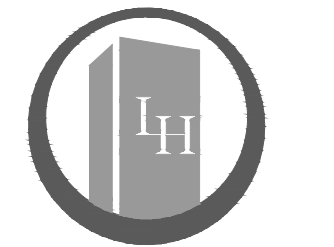
# L2

LANDSCAPE PLAN  
(LEVEL 1 PATIO)



# MARKANA UPTOWN

Americas Parkway NE  
Albuquerque, New Mexico



LEGACY HOSPITALITY

**R** RESPEC  
5971 JEFFERSON STREET  
SUITE 101  
ALBUQUERQUE, NM 87109  
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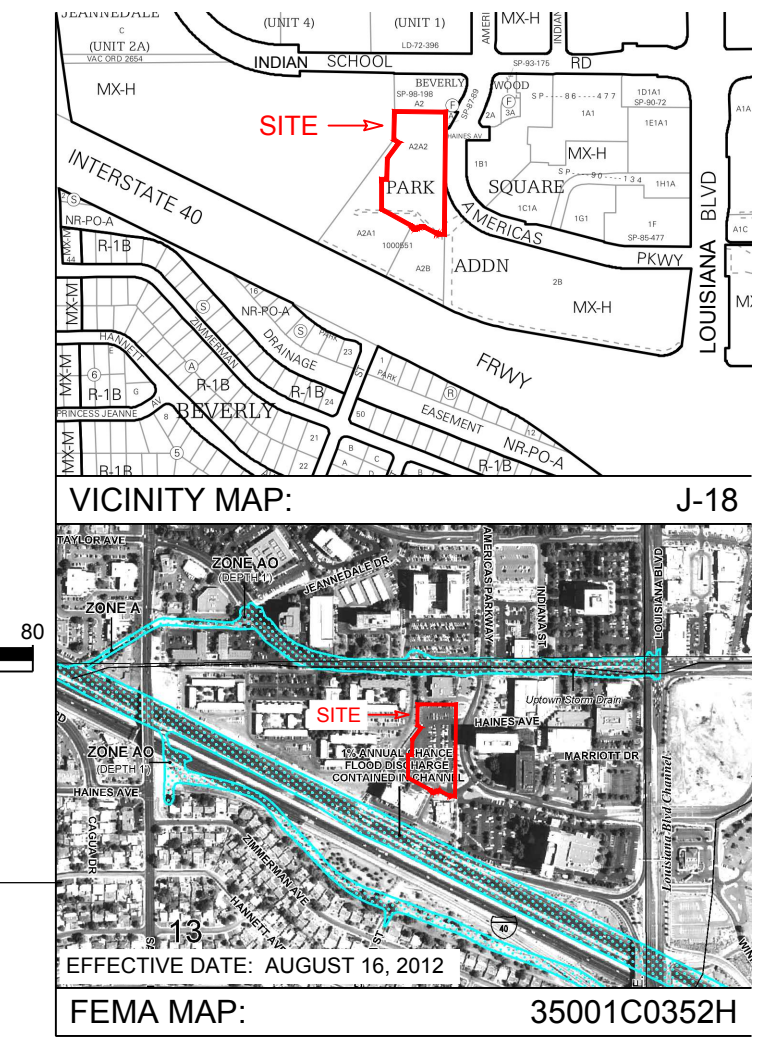
## REVISIONS


## CD SET

DATE: October 30, 2019 ORB # 16-221

# C-101

DRAINAGE PLAN



**LEGEND**

- EXISTING PROPERTY BOUNDARY
- - - - - PROPOSED PROPERTY BOUNDARY
- ▬▬▬ SUBBASIN BOUNDARY

**BACKGROUND**  
TRACT A-2-A-2-A, PARK SQUARE IS APPROXIMATELY 2.4 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED JUST WEST OF AMERICAS PARKWAY BETWEEN INDIAN SCHOOL ROAD AND INTERSTATE 40. THE SITE CURRENTLY IS A PARKING LOT. THE PROPOSED PROJECT IS AN APARTMENT BUILDING. THIS PROPERTY RECEIVES NO OFFSITE FLOWS. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE SITE. A GRADING PLAN WAS DONE FOR THE PARKING LOT BY AFRA CONSTRUCTION & DESIGN FOR TRACT A-2-A-2-A (J18-D33). THIS FILE CAN BE REFERENCED FOR GENERAL BACKGROUND RELATED TO THE PROPERTY.

**METHODOLOGY**  
HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 22.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES IN ORDER TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.34". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

**EXISTING CONDITIONS**  
THE PROPOSED PROJECT AREA, IN GENERAL, SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 3% - 4%. STORM WATER RUNOFF GENERATED BY TRACT A-2-A-2-A SHEET DRAINS INTO TRACT A-2-A-1-A, THE ADJACENT PROPERTY TO THE SOUTH, AND IS CONCENTRATED INTO A CONCRETE RUNDOWN AT THE SOUTHWEST CORNER OF TRACT A-2-A-1-A. THE CONCRETE RUNDOWN DIRECTS WATER INTO A DROP INLET, WHICH THEN FLOWS IN A RCP UNDER THE WEST BOUND LANES OF INTERSTATE 40 AND DISCHARGES INTO THE I-40 CHANNEL.

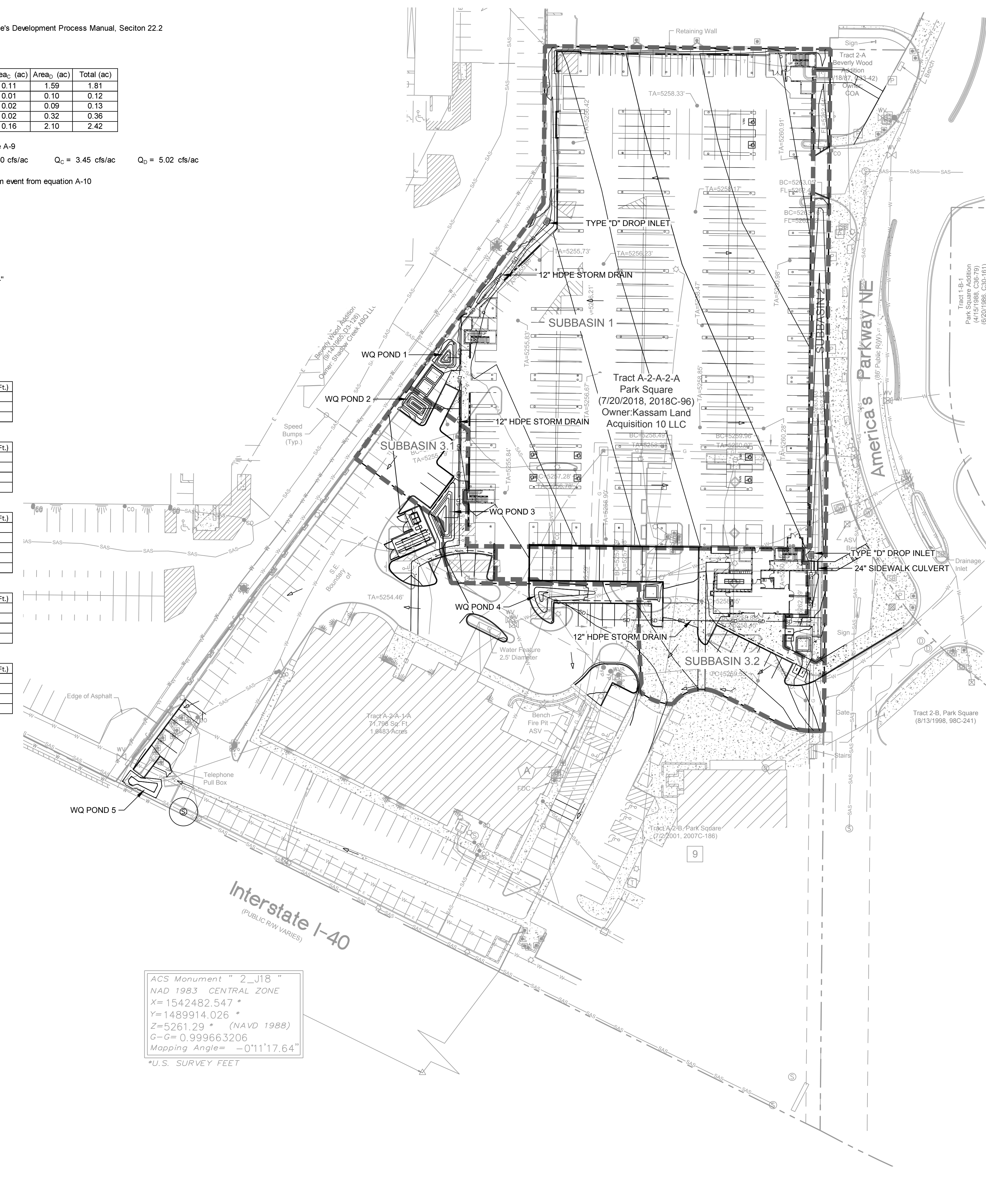
**PROPOSED CONDITIONS**  
THE PROPOSED PROJECT WILL CONSIST OF A PARKING GARAGE AT GRADE, ANOTHER LEVEL OF PARKING GARAGE ABOVE, AND FOUR FLOORS OF APARTMENT UNITS ABOVE THE PARKING GARAGE LEVELS. THE PROPERTY HAS BEEN SPLIT INTO 3 SUBBASINS.

**SUBBASIN 1** IS 1.81 ACRES AND GENERATES 8.7 CFS. THIS SUBBASIN CONSISTS PRIMARILY OF THE RUNOFF GENERATED BY THE ROOF OF THE BUILDING. THE ROOF WILL FLOW WEST AND FLOW INTO SCUPPERS AND DOWNSPOUTS. STORM WATER IS THEN ROUTED THROUGH A 12" STORM DRAIN THAT DISCHARGES INTO WATER QUALITY PONDS 1, 2 AND 3. THE REQUIRED WATER QUALITY VOLUME FOR THIS SUBBASIN IS 1,966 CUBIC FEET. WATER QUALITY PONDS 1, 2 AND 3 PROVIDE A COMBINED 1,410 CUBIC FEET. ONCE FULL, RUNOFF ENTERS THE PARKING LOT AND FLOWS TO THE SOUTHWEST CORNER OF THE PROPERTY ALONG THE PROPERTY LINE AS THE SITE HAS DONE HISTORICALLY.

**SUBBASIN 2** IS 0.12 ACRES AND GENERATES 0.6 CFS. THIS SUBBASIN CONSISTS PRIMARILY OF THE RUNOFF GENERATED BY THE LANDSCAPING TO THE EAST OF THE BUILDING. THE LANDSCAPING AREA EAST OF THE BUILDING WILL FLOW SOUTH UNTIL ENTERING THE DROP INLET NEAR THE SOUTHEAST CORNER OF THE BUILDING. FROM THERE, A STORM DRAIN CONVEYS THE RUNOFF TO WATER QUALITY POND 4. THE REQUIRED WATER QUALITY VOLUME FOR THIS SUBBASIN IS 129 CUBIC FEET. WATER QUALITY POND 4 PROVIDES 253 CUBIC FEET. ONCE FULL, THE POND DISCHARGES INTO THE PARKING LOT AND FLOWS TO THE SOUTHWEST CORNER OF THE PROPERTY ALONG THE PROPERTY LINE AS THE SITE HAS DONE HISTORICALLY.

**SUBBASIN 3** IS 0.49 ACRES AND GENERATES 2.3 CFS. THIS SUBBASIN CONSISTS OF THE PARKING LOT LOCATED ON THE SUBJECT PROPERTY. SUBBASIN 3.1 FLOWS SOUTH ALONG THE WEST BOUNDARY OF THE SITE AND SUBBASIN 3.2 FLOWS SOUTH INTO THE VALLEY GUTTER TO THE SOUTHWEST CORNER OF THE PROPERTY AS THE SITE HAS HISTORICALLY DONE. THE REQUIRED WATER QUALITY VOLUME FOR THIS SUBBASIN IS 499 CUBIC FEET. WATER QUALITY POND 5 PROVIDES 148 CUBIC FEET.

THE TOTAL REQUIRED STORMWATER QUALITY VOLUME FOR THIS DEVELOPMENT IS 2,595 CF. THE TOTAL STORMWATER QUALITY VOLUME PROVIDED IS 1,811 CF. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REMAINING VOLUME OF 784 CF. THIS PAYMENT AMOUNT = 784 CF X \$9/CF = \$6,272.00.



### Hydrology Calculations

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

**Runoff Rate:**

Treatment Type	Area <sub>1</sub> (ac)	Area <sub>2</sub> (ac)	Area <sub>3</sub> (ac)	Area <sub>4</sub> (ac)	Area <sub>5</sub> (ac)	Total (ac)
Subbasin 1	0.00	0.11	0.11	1.59	1.81	
Subbasin 2	0.00	0.01	0.01	0.10	0.12	
Subbasin 3.1	0.00	0.02	0.02	0.09	0.13	
Subbasin 3.2	0.00	0.02	0.02	0.32	0.36	
Total	0.00	0.16	0.16	2.10	2.42	

Peak Discharge values based on Zone 3 from Table A-9  
 $Q_A = 1.87$  cfs/ac     $Q_B = 2.60$  cfs/ac     $Q_C = 3.45$  cfs/ac     $Q_D = 5.02$  cfs/ac

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
Subbasin 1	8.7
Subbasin 2	0.6
Subbasin 3.1	0.6
Subbasin 3.2	1.7
Total	11.5

**Water Quality:**  
Required Water Quality volume for first flush of 0.34"

Subbasin	Volume (cu. ft.)
Subbasin 1	1,966
Subbasin 2	129
Subbasin 3.1	107
Subbasin 3.2	392
Total	2,595

### Water Quality Pond Rating Curves

**WQ Pond 1**

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,251.8	3	0	0
5,252.6	27	13	13
5,254.5	148	165	178

**WQ Pond 2**

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,251.5	3	0	0
5,253.6	79	88	88
5,254.7	150	124	212
5,255.8	244	212	425

**WQ Pond 3**

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,251.2	12	0	0
5,252.0	58	27	27
5,253.5	232	222	249
5,254.2	359	225	474
5,255.0	519	334	807

**WQ Pond 4**

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,253.80	6	0	0
5,254.00	21	3	3
5,255.00	271	146	149
5,255.30	421	104	253

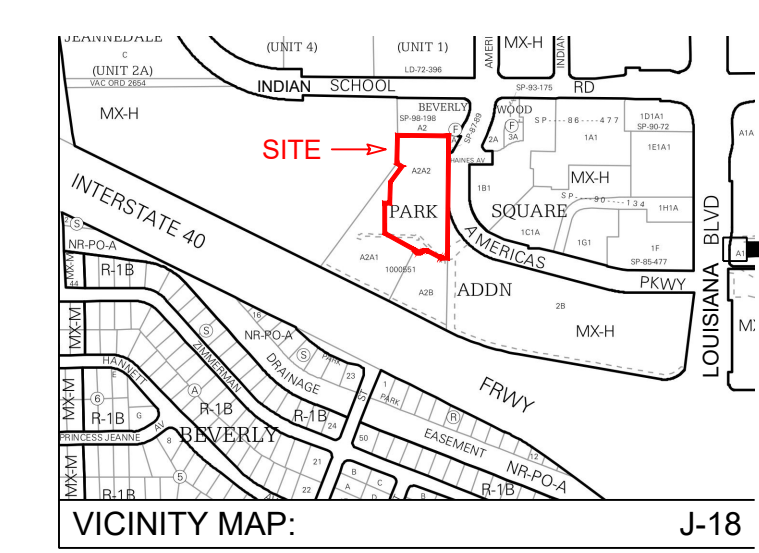
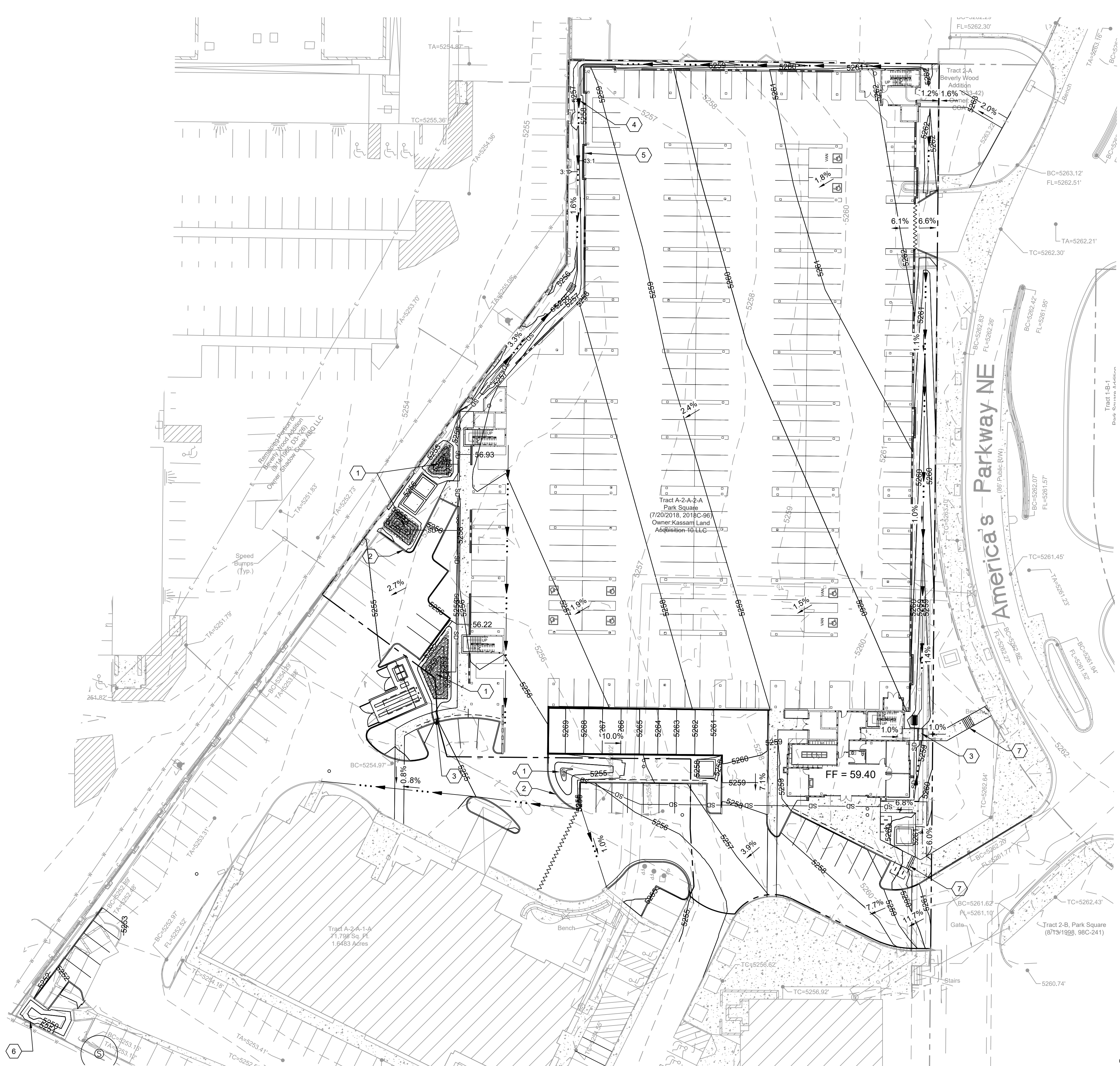
**WQ Pond 5**

Elev.	Area (Sq. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)
5,249.25	4	0	0
5,249.50	22	3	3
5,250.00	88	28	31
5,250.75	225	118	148

FILE: \\Active Projects\03064-Kassam Legacy Uptown\3. DWG\Streets\03064 Drainage.dwg USER: josh.topis DATE: Oct, 29 2019 TIME: 04:07 pm

ACS Monument " 2\_J18 "  
 NAD 1983 CENTRAL ZONE  
 X= 1542482.547 \*  
 Y= 1489914.026 \*  
 Z= 5261.29 \* (NAVD 1988)  
 G= G= 0.999663206  
 Mapping Angle= -0°11'17.64"  
 \*U.S. SURVEY FEET

FILE: \\Active Projects\03064-Kassam Legacy Uptown\3. DWG\Sheets\03064 Grading.dwg USER: jash.tapia DATE: Oct. 29 2019 TIME: 04:10 pm



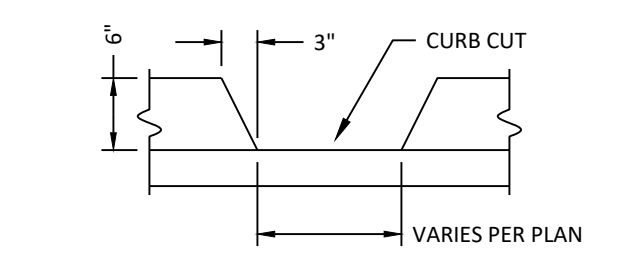
**LEGEND**

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- PROPOSED CONTOUR
- ~~~~~ PROPOSED WATER BLOCK
- PROPOSED FLOW LINE
- PROPOSED RIPRAP
- xx.xx PROPOSED SPOT ELEV
- xx.xx EXISTING SPOT ELEV

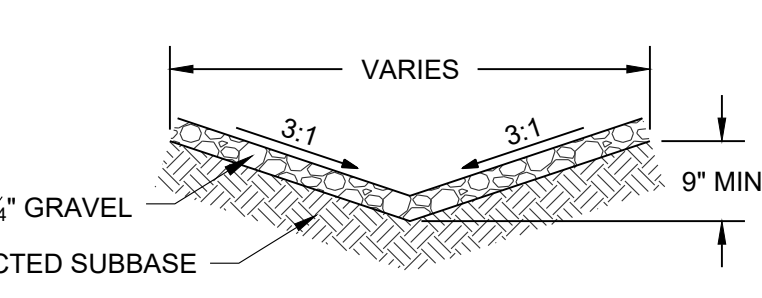
**KEYED NOTES**

I.D.#	DESCRIPTION
1	INSTALL RIP RAP D <sub>80</sub> 2'-3"
2	INSTALL 4' CURB CUT, SEE DETAIL THIS SHEET
3	INSTALL 24" SIDEWALK CULVERT SEE DETAIL THIS SHEET
4	INSTALL SWALE WITH 1% MIN SLOPE PER DETAIL C-201
5	INSTALL 3/4" GRAVEL ON 3:1 SLOPES
6	EXISTING DROP INLET
7	INSTALL STAIRS: 7" RISE/11" RUN, SEE C-203 FOR ELEVATIONS.

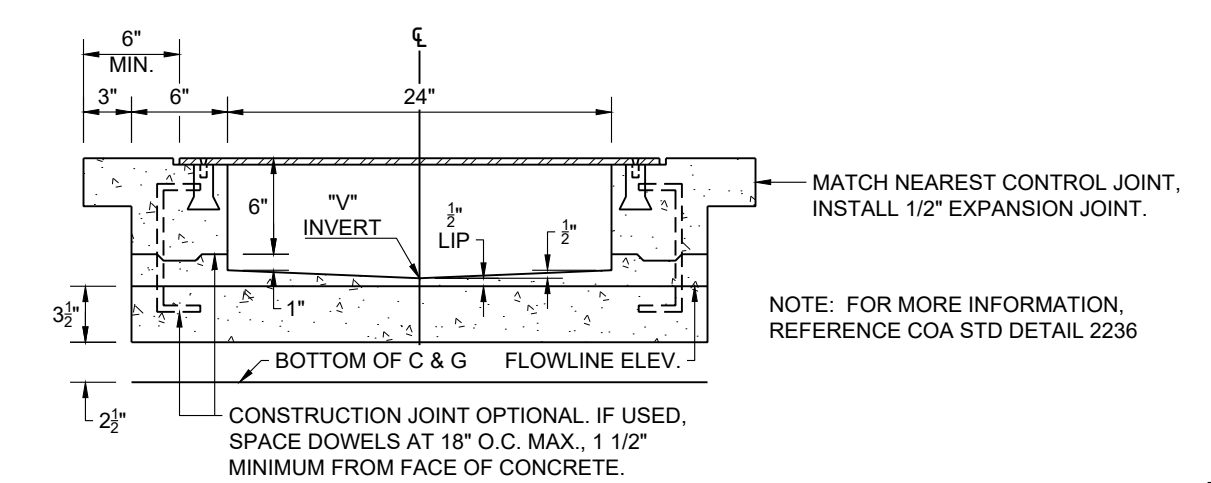
**NOTE:**  
 1. ALL PROPOSED ELEVATIONS ARE AT FLOW LINE UNLESS OTHERWISE SPECIFIED.



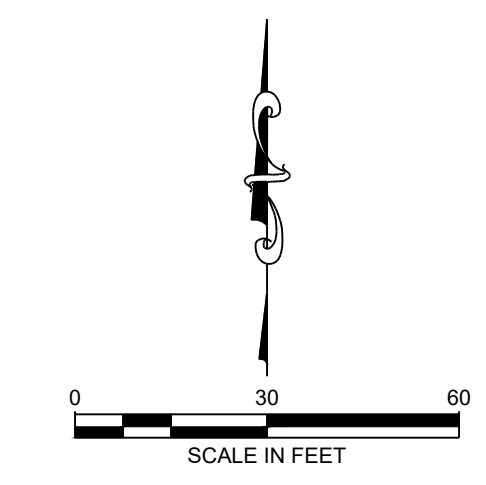
**CURB CUT DETAIL**  
NTS



**SWALE DETAIL**  
NTS



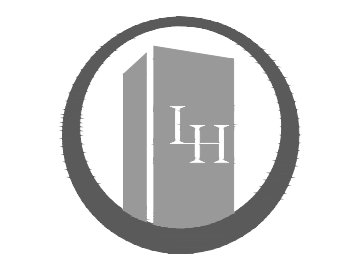
**SIDEWALK CULVERT DETAIL**  
NTS



# MARKANA UPTOWN

Americas Parkway NE  
Albuquerque, New Mexico

Office of Rich Barber  
**ORB**  
 Architecture, LLC  
 WorldHQ@ORBArch.com



**LEGACY HOSPITALITY**

**RESPEC**  
 5971 JEFFERSON STREET  
 SUITE 101  
 ALBUQUERQUE, NM 87109  
 PHONE (505) 243-2287

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**REVISIONS**

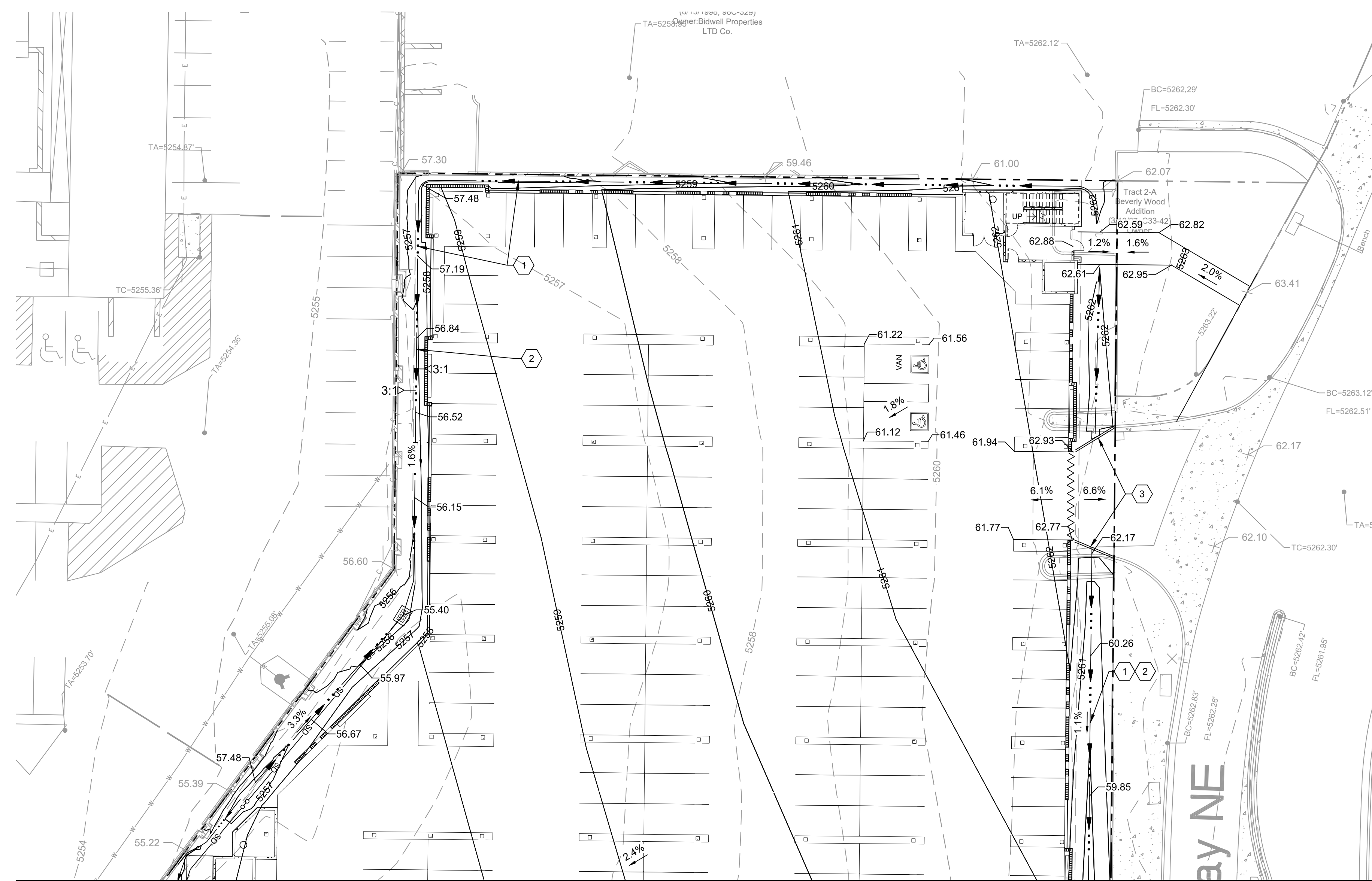
NO.	DATE	DESCRIPTION

DATE: October 30, 2019 ORB # 16-221

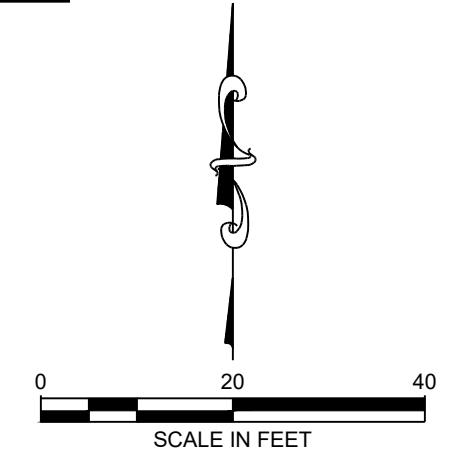
# C-201

OVERALL GRADING PLAN

FILE: \\Active Projects\03064-Kassam Legacy Uptown\3. DWG\Streets\03064 Grading.dwg USER: jsh.tapia DATE: Oct. 29 2019 TIME: 04:11 pm



SEE SHEET C-203



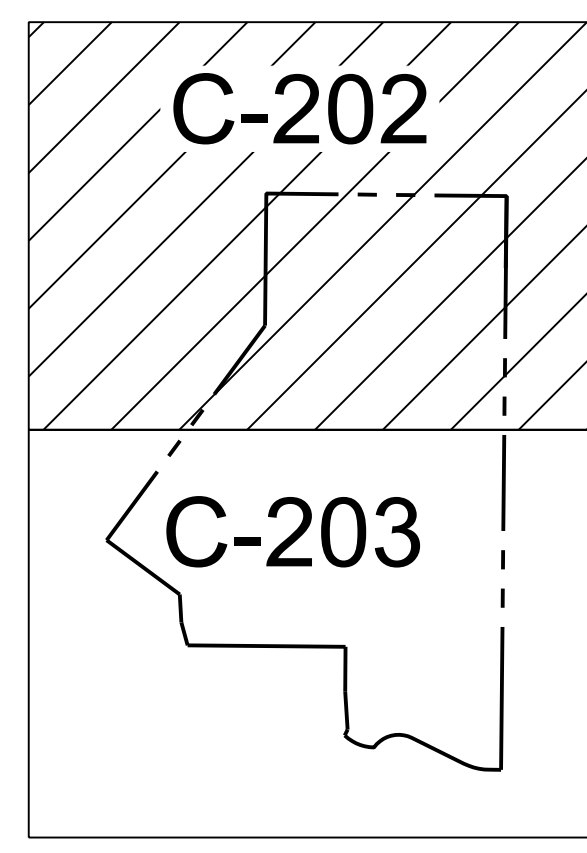
**LEGEND**

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- - - 4965 EXISTING MAJOR CONTOUR
- - - 4964 EXISTING MINOR CONTOUR
- 4964 PROPOSED CONTOUR
- ~~~~~ PROPOSED WATER BLOCK
- PROPOSED FLOW LINE
- ▨ PROPOSED RIPRAP
- xx.xx PROPOSED SPOT ELEV
- xx.xx EXISTING SPOT ELEV

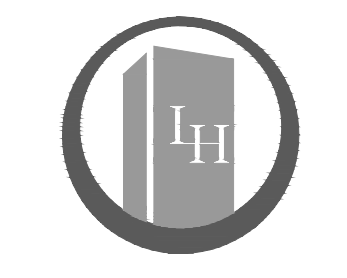
**KEYED NOTES**

I.D.#	DESCRIPTION
1	INSTALL SWALE PER DETAIL C-201
2	INSTALL 3/4" GRAVEL ON 3:1 SLOPES
3	BUILD NEW STANDARD CURB AND GUTTER. SEE DETAIL THIS SHEET.

**NOTE:**  
1. ALL PROPOSED ELEVATIONS ARE AT FLOW LINE UNLESS OTHERWISE SPECIFIED.



**MARKANA UPTOWN**  
Americas Parkway NE  
Albuquerque, New Mexico



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**REVISIONS**


**CD SET**

DATE: October 30, 2019 ORB # 16-221

**C-202**

**GRADING PLAN**



# MARKANA UPTOWN

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SEE SHEET C-202



### LEGEND

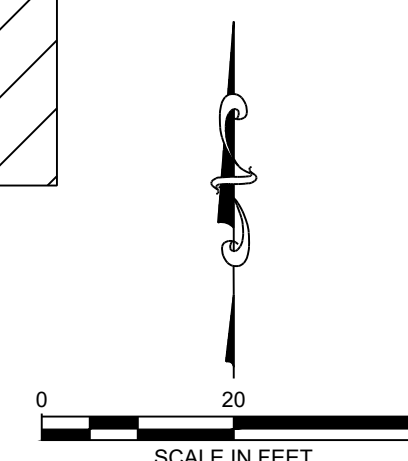
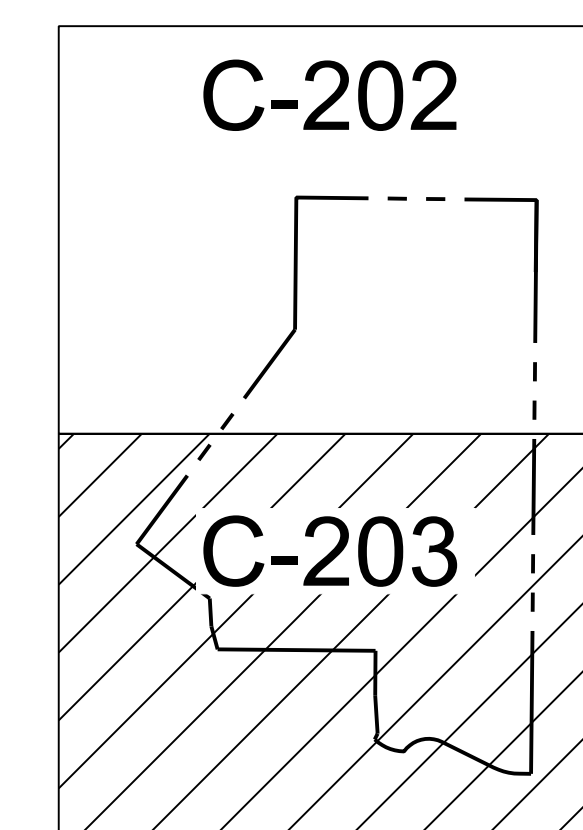
- EXISTING PROPERTY BOUNDARY
- - - PROPOSED PROPERTY BOUNDARY
- - - 4965 EXISTING MAJOR CONTOUR
- - - 4964 EXISTING MINOR CONTOUR
- - - 4964 PROPOSED CONTOUR
- ~~~~~ PROPOSED WATER BLOCK
- - - PROPOSED FLOW LINE
- ▨ PROPOSED RIPRAP
- xx.xx PROPOSED SPOT ELEV
- xx.xx EXISTING SPOT ELEV

### KEYED NOTES

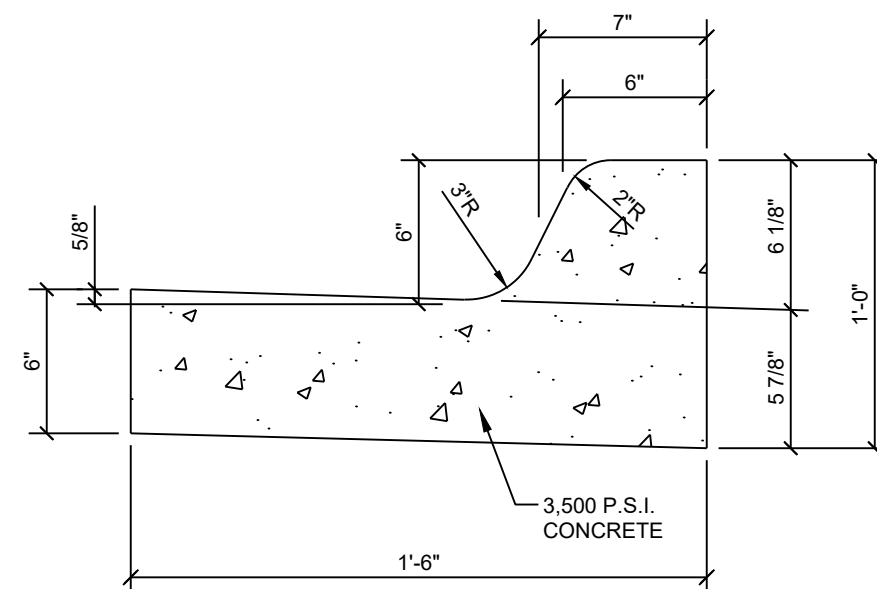
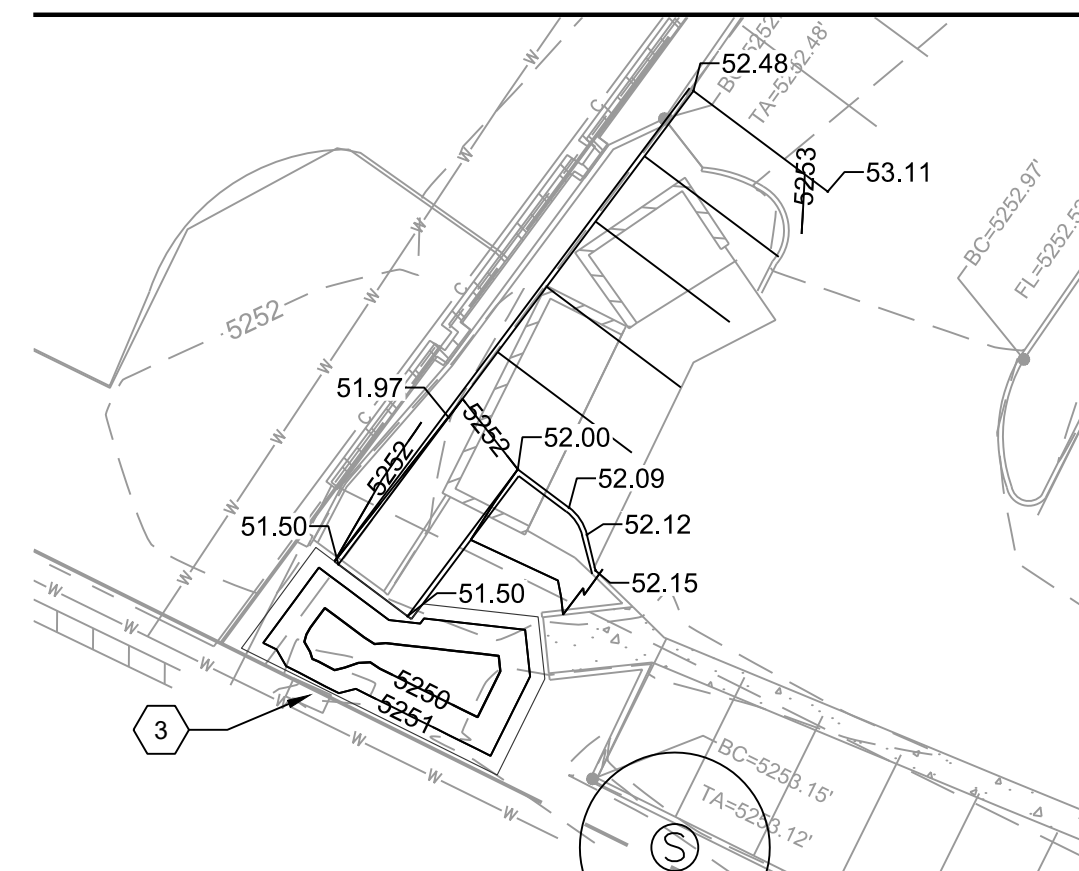
ID.#	DESCRIPTION
1	INSTALL 24" SIDEWALK CULVERT SEE DETAIL SHEET C-201
2	INSTALL 4' CURB CUT SEE DETAIL SHEET C-201
3	EXISTING DROP INLET
4	BUILD NEW STANDARD CURB AND GUTTER. SEE DETAIL THIS SHEET.
5	BUILD NEW HEADER CURB. SEE DETAIL THIS SHEET.
6	BUILD CURB TRANSITION FROM STANDARD CURB TO HEADER CURB
7	BUILD NEW RIP RAP PLUNGE POOL. SEE DETAIL THIS SHEET.

### NOTE:

- ALL PROPOSED ELEVATIONS ARE AT FLOW LINE UNLESS OTHERWISE SPECIFIED.

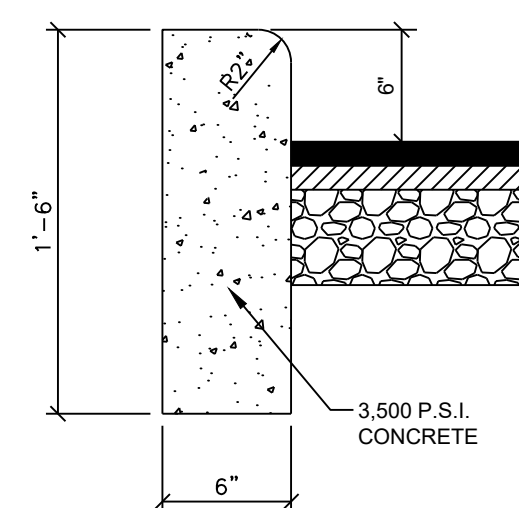


### SOUTHWEST POND LOCATION



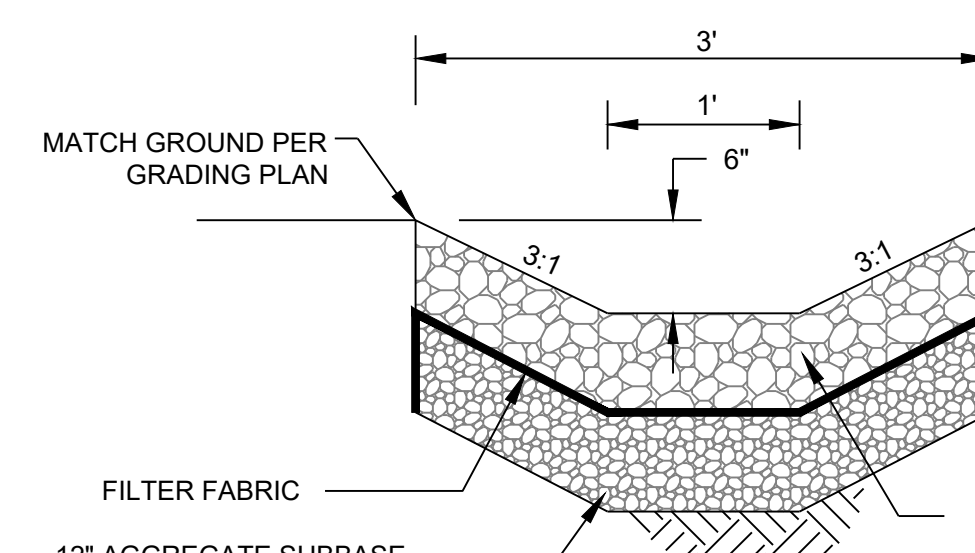
**STANDARD CURB & GUTTER**

NO SCALE



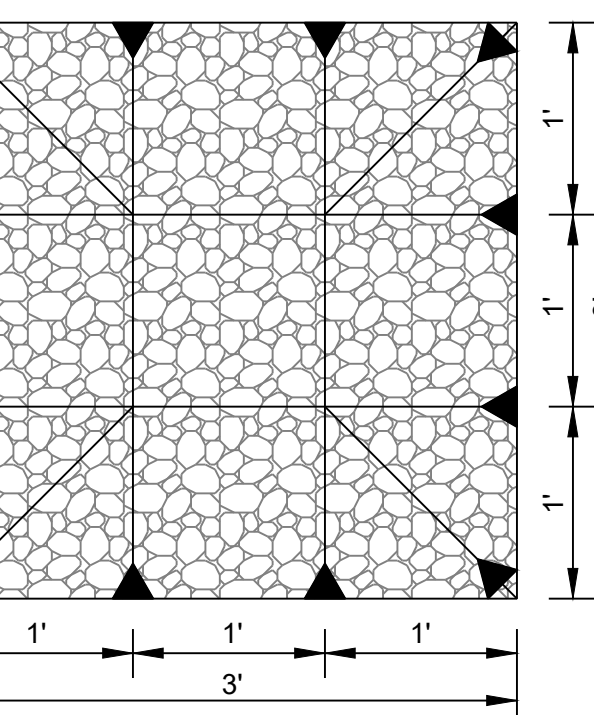
**HEADER CURB**

NO SCALE



**SECTION VIEW**

**RIP RAP PLUNGE POOL DETAIL**



**PLAN VIEW**

NOT TO SCALE

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### REVISIONS

NO.	DESCRIPTION

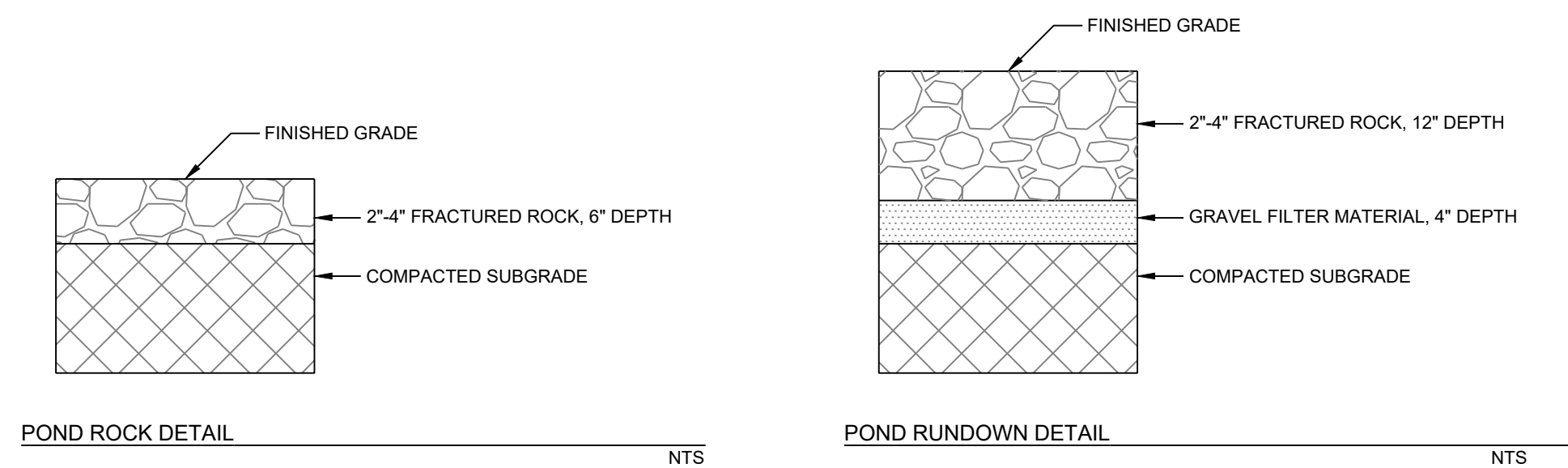
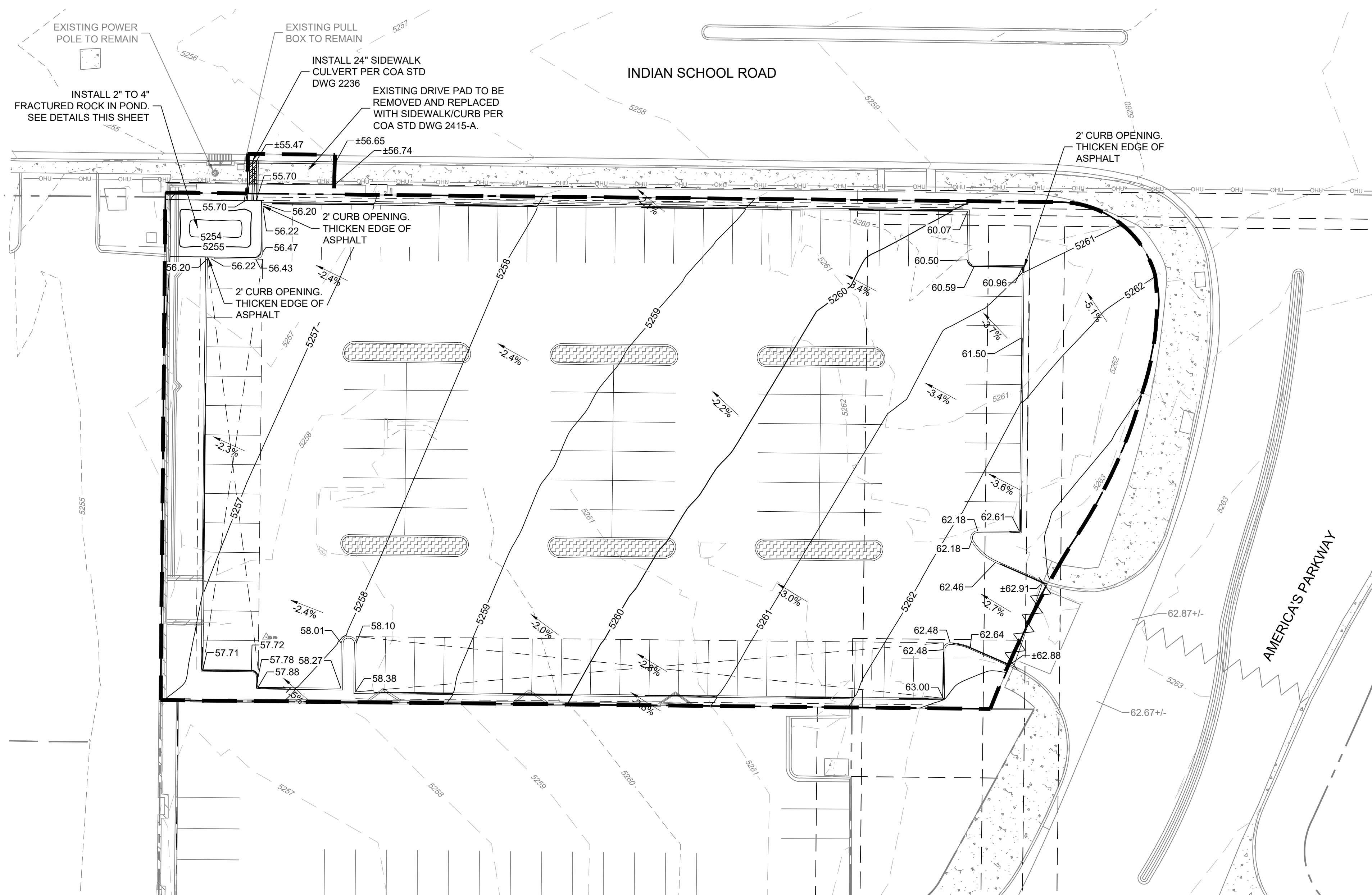
### CD SET

DATE: October 30, 2019 ORB # 16-221

# C-203

GRADING PLAN

NAME: N:\Projects\04-266-0003 Legacy RGT Parking\_Lot3\_DWG\Sheets\04-266-0003 S Grading Plan.dwg PLOT DATE: Mar 09, 2021 3:41pm



**SPOT ELEVATION SYMBOLS**

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 90.25 FLOWLINE ELEVATION
  - 90.25± MATCH EXISTING GRADE ELEVATION (APPROXIMATE)
  - TS 90.25 TOP OF SIDEWALK ELEVATION
  - TC 90.25 TOP OF CURB ELEVATION

**BENCH MARKS**

- ACS MONUMENT "15\_118" HAVING AN ELEVATION OF 5280.154

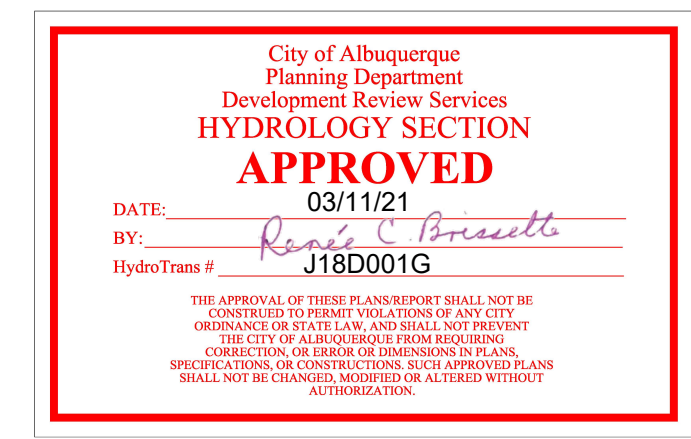
**GRADING NOTES**

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- ALL DISTURBED AREAS TO BE RE-SEEDED OR LANDSCAPED PER LANDSCAPE PLAN PROVIDED BY OTHERS.

**PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY  
NOTICE TO CONTRACTOR  
(SPECIAL ORDER 19-50-19)**

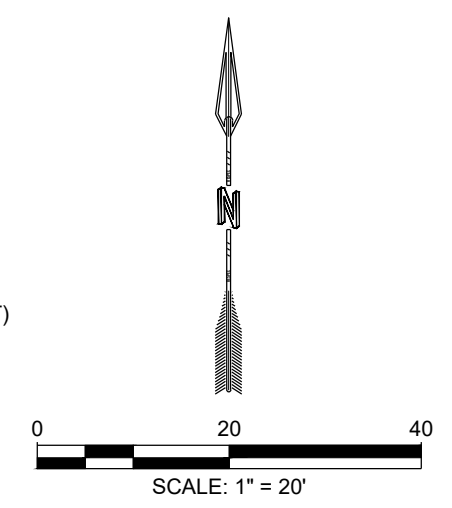
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
- CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

REV. 01/27/21



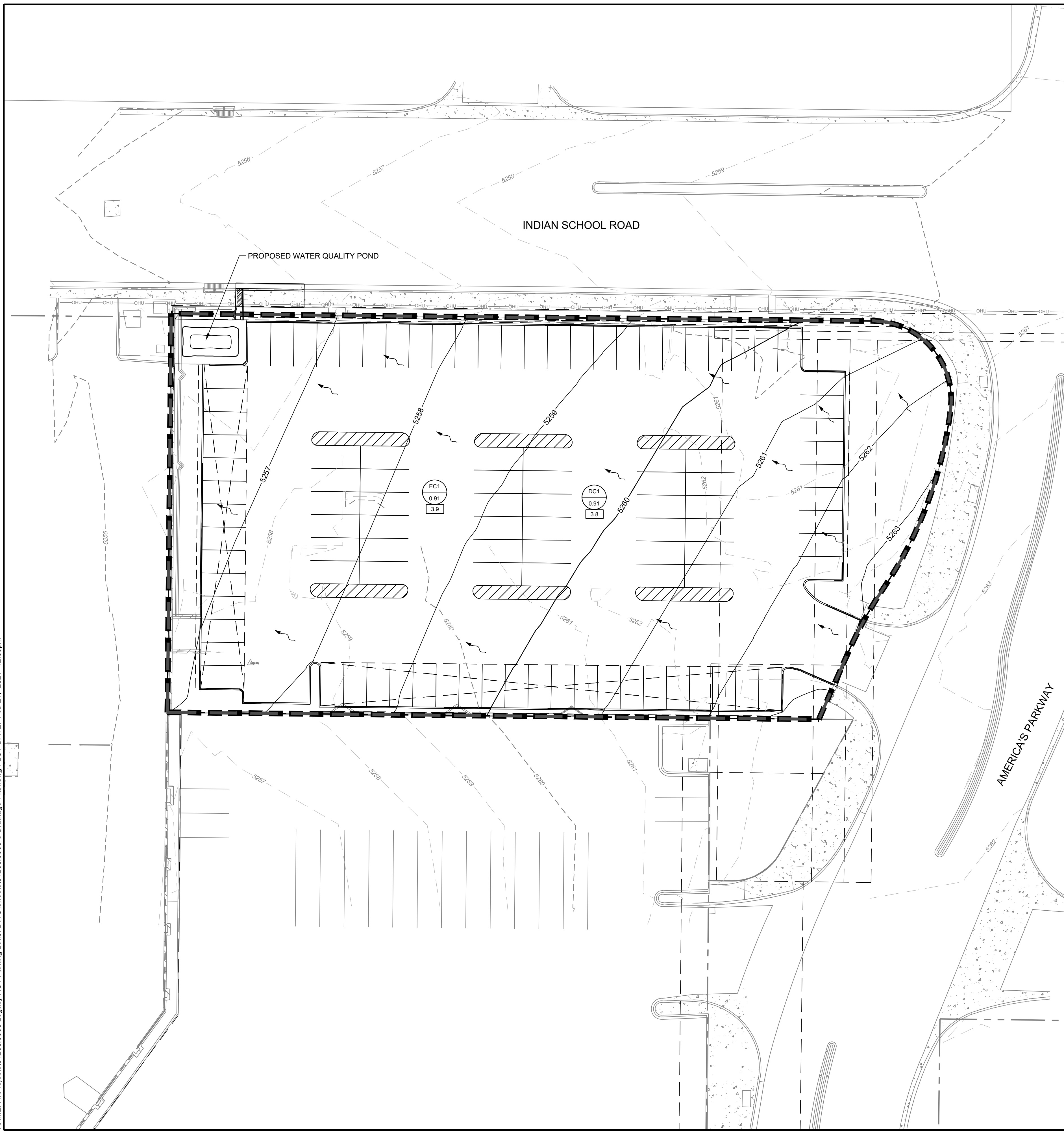
**SYMBOL LEGEND**

- 7290 — PROPOSED MAJOR CONTOUR
- 7291 — PROPOSED MINOR CONTOUR
- - - 7290 - - - EXISTING MAJOR CONTOUR
- - - 7291 - - - EXISTING MINOR CONTOUR
- 1.0% → PROPOSED SLOPE ARROW
- — — — — PROPERTY LINE
- — — — — LIMITS OF GRADING
- ∩ GRADE BREAK (HIGH POINT)



DESIGNED BY DRAWN CHECKED DATE	J.V. S.G.S/D J.S. 3.09.2021	<b>RESPEC</b> COMMUNITY DESIGN SOLUTIONS 6971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87113 WWW.RESPEC.COM PHONE (505) 253-9718	REVISION <table border="1" style="width: 100%; height: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>								
		THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.									
		PROJECT NAME: <b>LEGACY RGT PARKING LOT</b>									
SHEET TITLE: <b>GRADING PLAN</b>		SUBMITTED FOR: <b>CONSTRUCTION</b>									
SHEET NUMBER: <b>C-101</b>											

NAME: N:\Projects\042665.0003 Legacy RGT Parking Lot3\_DWG\Sheets\042665.0003 S Drainage Plan.dwg PLOT DATE: Feb 24, 2021 12:50pm



**BACKGROUND**

6400 INDIAN SCHOOL ROAD NORTHEAST IS APPROXIMATELY 0.912 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THIS LOCATION IS NEAR THE INTERSECTION OF INDIAN SCHOOL ROAD NE AND AMERICA'S PARKWAY NE. THE INTENT FOR THIS PROPERTY IS TO BE USED AS A PARKING LOT TO SERVE THE APARTMENTS LOCATED SOUTH OF INDIAN SCHOOL ROAD AND AMERICA'S PARKWAY. THERE IS NO DESIGNATED 100-YR FLOOD ZONE SHOWN ON THE SITE.

**METHODOLOGY**

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 22.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.26". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

**EXISTING CONDITIONS**

THE SITE, IN GENERAL, SLOPES FROM SOUTHEAST TO NORTHWEST AT VARYING SLOPES FROM 1% - 5%. STORM WATER RUNOFF GENERATED BY THE EXISTING BUILDING AND PARKING AREA OF FLOW GENERALLY TO THE NORTHWEST. THE EXISTING CONDITION HAVE BEEN SPLIT INTO ONE SUB-BASINS TO INDICATE FLOWS GOING TO THE SOUTHEAST AND NORTHWEST.

SUB-BASIN EC1 IS 0.912 ACRES CONSISTING OF ALL EXISTING FLOWS. THE EXISTING FLOW IS 3.9 CFS THAT FLOWS FROM THE SOUTHEAST TO THE NORTHWEST. ALL RUNOFF DISCHARGES TO INDIAN SCHOOL RD UNDER EXISTING CONDITIONS EITHER VIA THE EXISTING DRIVEWAY OR SIDEWALK CULVERTS.

**DEVELOPED CONDITIONS**

THE DRAINAGE INTENTION OF THE DEVELOPED CONDITIONS IS TO MATCH THE EXISTING DRAINAGE PATTERN. EXISTING SITE INFRASTRUCTURE WILL BE REMOVED PRIOR TO CONSTRUCTION AND THE NEW PARKING LOT WILL BE INSTALLED. DEVELOPED FLOWS DECREASE SLIGHTLY.

SUB-BASIN DC1 IS 0.912 ACRES CONSISTING OF ALL THE PARKING AREA. THERE IS SOME LANDSCAPE ALONG THE SIDES OF THE SITE. STORM WATER RUN-OFF GENERATED BY THE PARKING AREA IS DIRECTED TO THE NORTHWEST AND INTO THE PROPOSED SURFACE POND, WHICH DISCHARGES TO INDIAN SCHOOL ROAD THROUGH A PROPOSED SIDEWALK CULVERT. THE SUB-BASIN GENERATES 3.8 CFS AND IS INTENDED TO MATCH EXISTING CONDITIONS.

THE WATER QUALITY TABLE LOCATED ON THIS SHEET UNDER "HYDROLOGY CALCULATIONS" SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED FOR DEVELOPED CONDITIONS. THERE IS ONE WATER QUALITY POND ONSITE TO ACCOMMODATE DEVELOPED FLOWS AND IS LOCATED IN THE NORTHWEST CORNER. THIS POND IS SIZED AT 341 CU-FT. FLOWS FROM DC1 FLOW INTO THIS WATER QUALITY POND. THE REQUIRED WATER QUALITY VOLUME FOR THE FIRST FLUSH FROM DC1 IS 708 CU-FT. THEREFORE, THE PAYMENT-IN-LIEU OF WATER QUALITY AMOUNT IS 367 CF X \$8/CF = \$2,936.

**Hydrology Calculations**

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

**Runoff Rate:**

Treatment Type Areas

Subbasin	Area <sub>A</sub> (ac)	Area <sub>B</sub> (ac)	Area <sub>C</sub> (ac)	Area <sub>D</sub> (ac)	Total (ac)
EC1	0.00	0.06	0.06	0.79	0.91
DC1	0.00	0.08	0.08	0.75	0.91

Peak Discharge values based on Zone 3 from Table A-9

$Q_A = 1.84 \text{ cfs/ac}$      $Q_B = 2.49 \text{ cfs/ac}$      $Q_C = 3.17 \text{ cfs/ac}$      $Q_D = 4.49 \text{ cfs/ac}$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
EC1	3.9
DC1	3.8

**Water Quality:**

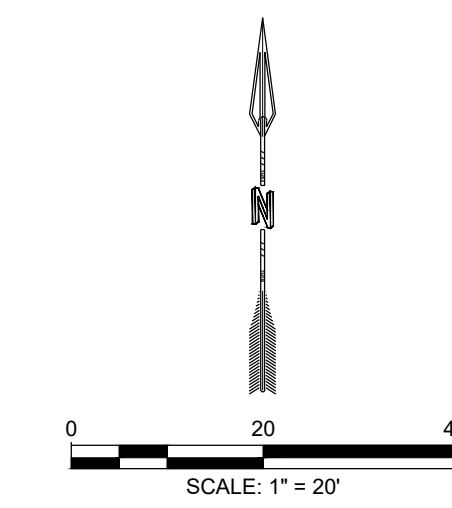
Required Water Quality volume for first flush of 0.26"

Subbasin	Volume (cu. ft.)
EC1	N/A
DC1	708



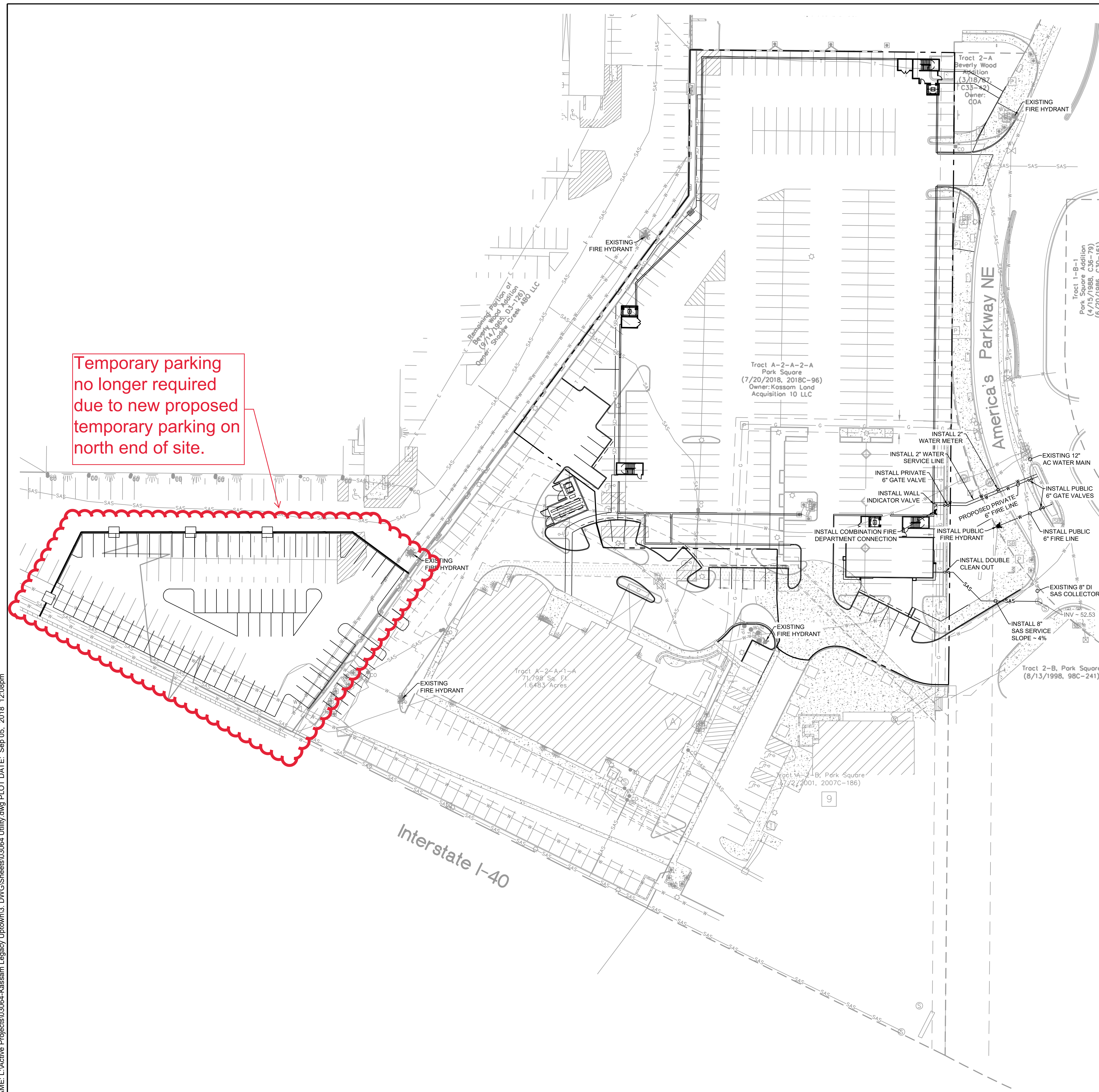
**LEGEND**

- BASIN DESIGNATION
- BASIN AREA, ACRES
- 100 YEAR STORM, CFS
- EXISTING SUB-BASIN BOUNDARY
- PROPOSED SUB-BASIN BOUNDARY
- DIRECTION OF DRAINAGE FLOW
- PROPERTY LINE

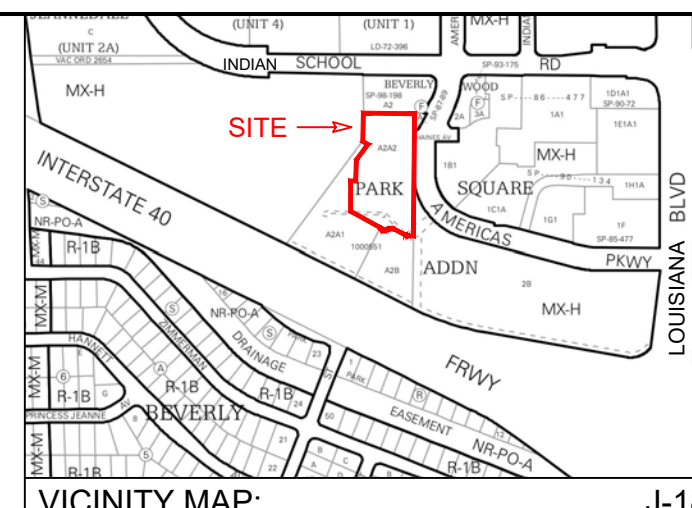
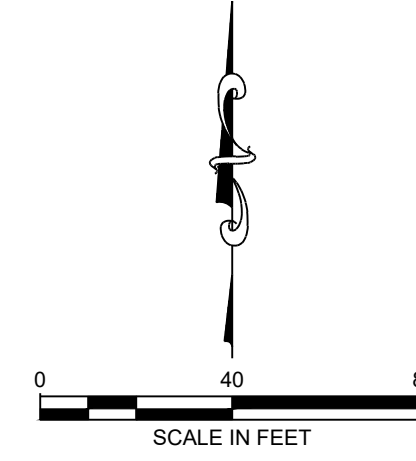


<p>DESIGNED BY: _____ DRAWN: _____ CHECKED: _____ DATE: 2.24.2021</p> <p>RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87110 WWW.RESPEC.COM PHONE: (505) 253-9718</p>	<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>								
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p>									
<p>PROJECT NAME:</p> <p>LEGACY RGT PARKING LOT</p>									
<p>SHEET TITLE:</p> <p>DRAINAGE PLAN</p>									
<p>SUBMITTED FOR:</p> <p>CONSTRUCTION</p>									
<p>SHEET NUMBER:</p> <p>C-102</p>									

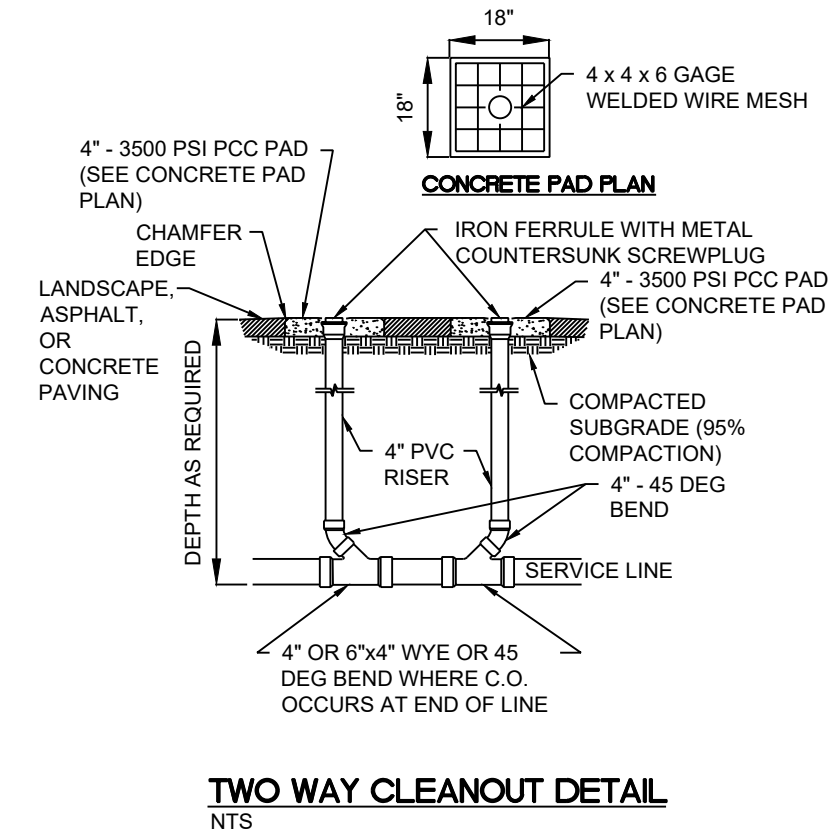
NAME: L:\Active Projects\03064-Kassam Legacy Uptown\3. DWG\Sheets\03064\_UTILITY.dwg PLOT DATE: Sep 05, 2018 12:08pm



Temporary parking no longer required due to new proposed temporary parking on north end of site.



GENERAL NOTE:  
1. TYPE RBPB BACKFLOW PREVENTERS FOR THE PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO THE PROPOSED BUILDING PER COA STD DWG 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.



LEGEND

---	PROPOSED PROPERTY BOUNDARY
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER LINE

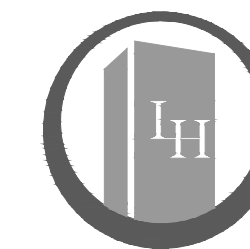
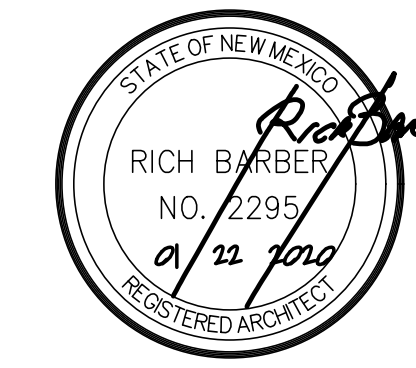
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DRAWN: JS	
CHECKED: HF	
DATE: 9.05.2018	
RESPEC 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109 PHONE (505) 243-2287	
STAMP 	
PRELIMINARY NOT FOR CONSTRUCTION 9/2018	
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.	
PROJECT NAME:	MARKANA UPTOWN AMERICAS PARKWAY NE ALBUQUERQUE, NEW MEXICO
SHEET TITLE:	CONCEPTUAL UTILITY PLAN
ISSUED FOR:	SITE PLAN FOR BUILDING PERMIT
SHEET NUMBER:	C-3

# MARKANA UPTOWN

6500 Americas Parkway NE  
Albuquerque, NM 87110



WorldHQ@ORBArch.com

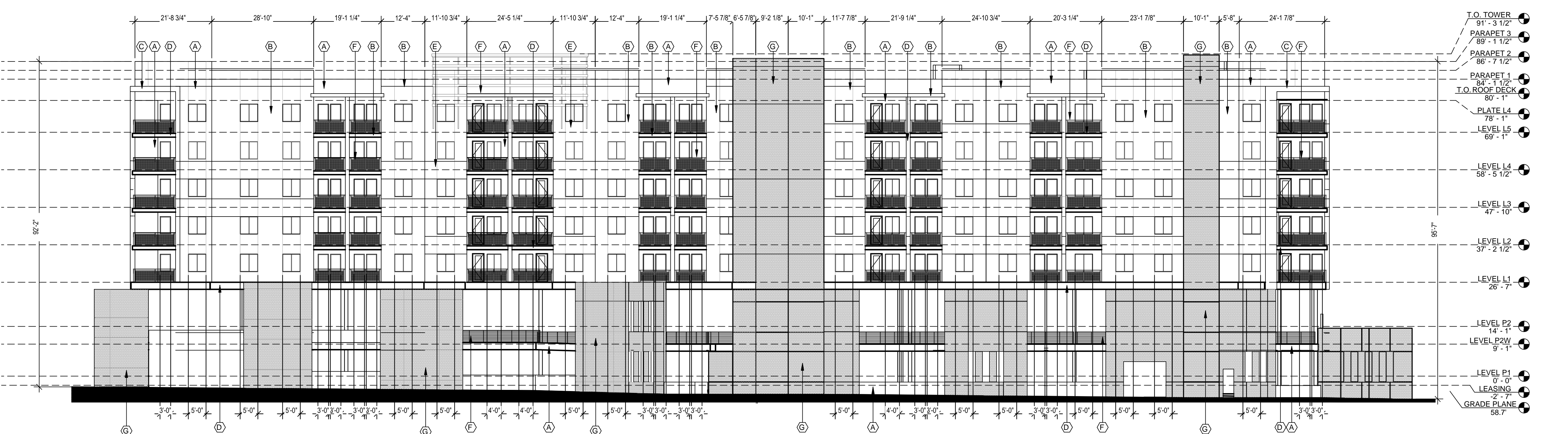


LEGACY HOSPITALITY



## EAST ELEVATION

SCALE: 1/16" = 1'-0"



## WEST ELEVATION

SCALE: 1/16" = 1'-0"

### MATERIAL KEY NOTES:

- (A) STUCCO FINISH DUNN EDWARDS DE6365 "COLD MORNING" LRV 73
- (B) STUCCO FINISH DUNN EDWARDS DE6367 "COVERED IN PLATINUM" LRV 46
- (C) STUCCO FINISH DUNN EDWARDS DE6369 "LEGENDARY GRAY" LRV 18
- (D) STUCCO FINISH DUNN EDWARDS DE6378 "JET" LRV 9
- (E) STUCCO FINISH DUNN EDWARDS DE6371 "BLACK JACK" LRV 8
- (F) BALCONY METAL RAILING, CANOPIES PAINTED DUNN EDWARDS DE6378 "JET" LRV 9
- (G) BRICK VENEER MCNEAR THIN BRICK COLOR "TANGIERS"

### DRB SUBMITTAL

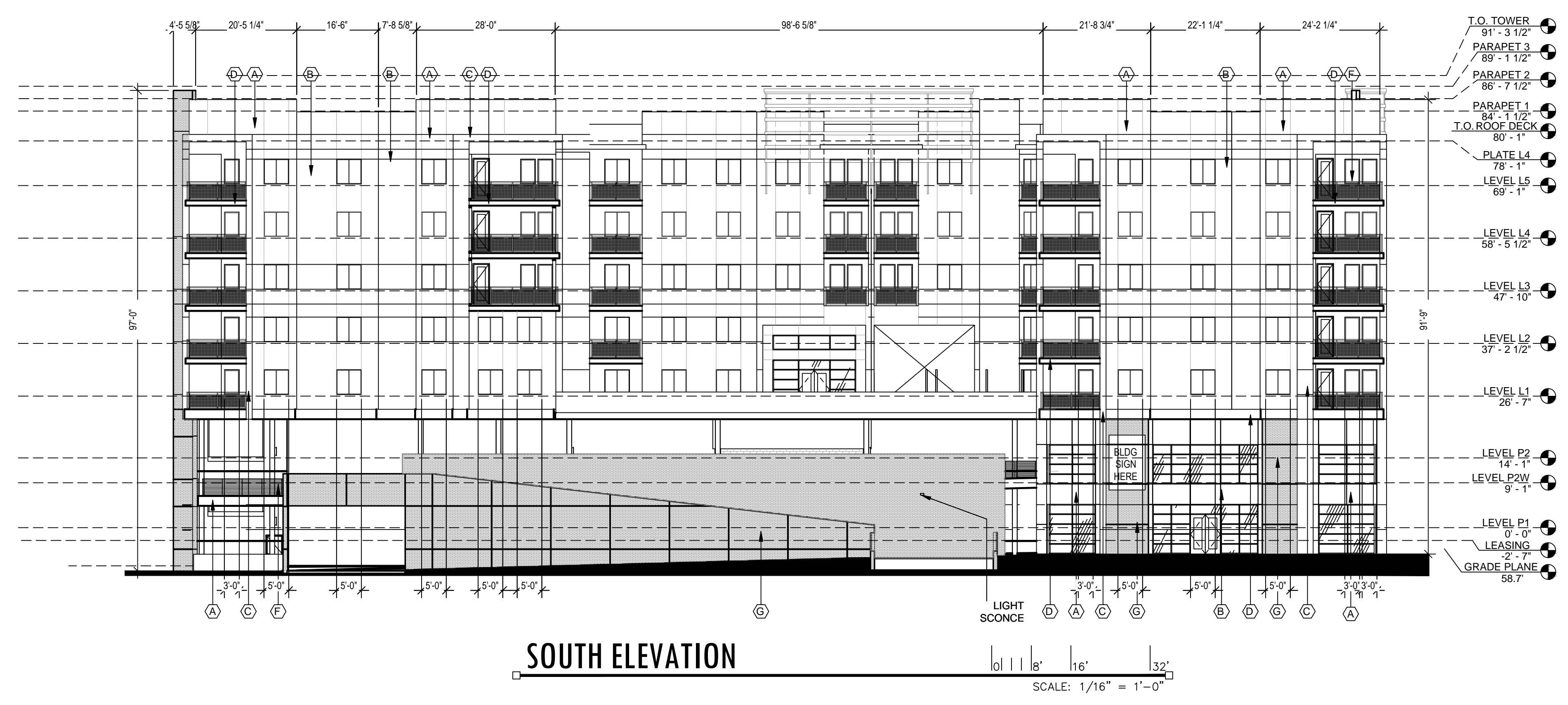
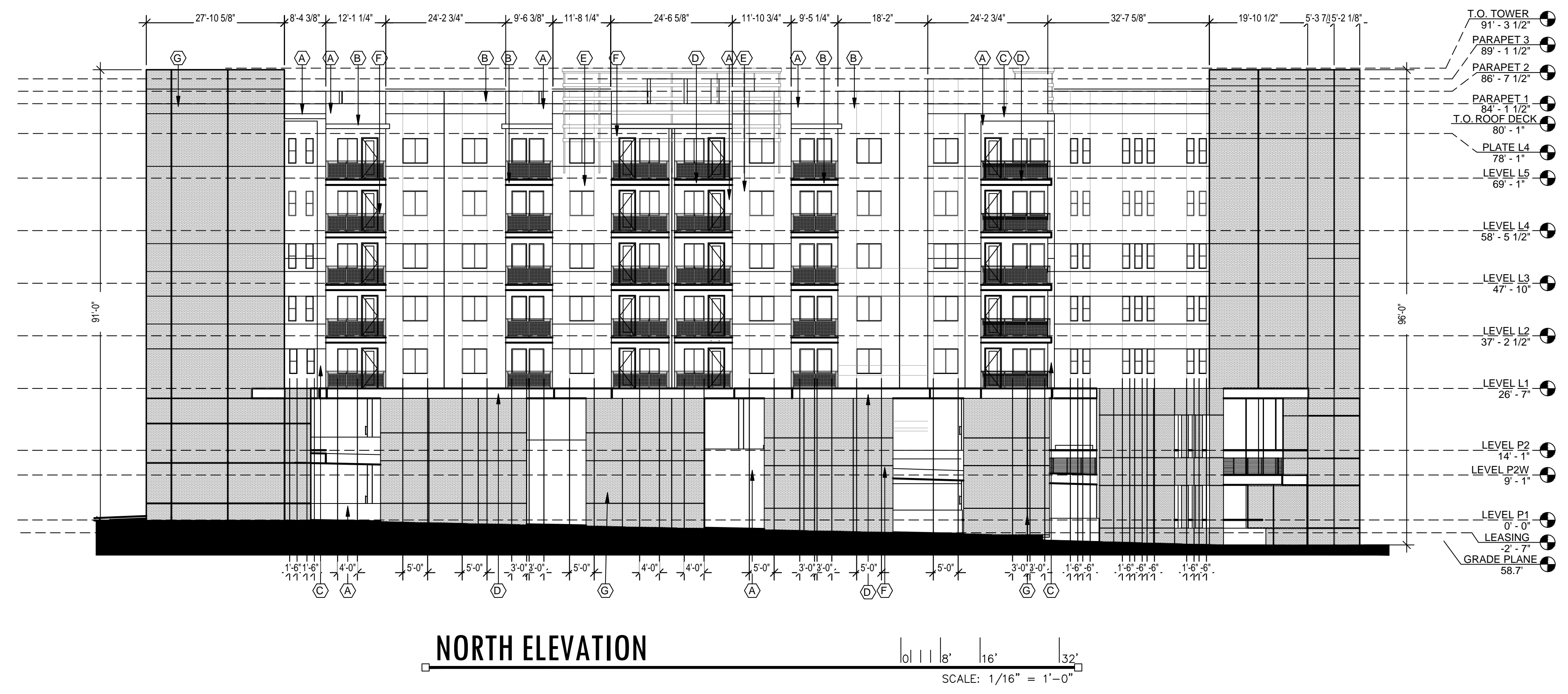
DATE: JANUARY 22, 2020 ORB # 16-221

# A3.14

BUILDING  
EXTERIOR ELEVATIONS

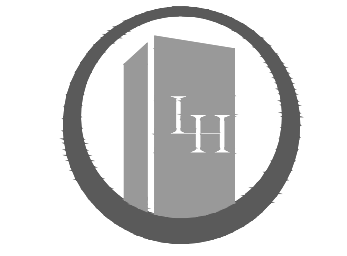
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# MARKANA UPTOWN

6500 Americas Parkway NE  
Albuquerque, NM 87110



LEGACY HOSPITALITY

- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH DUNN EDWARDS DE6365 "COLD MORNING" LRV 73
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  - (G) BRICK VENEER MCNEAR THIN BRICK COLOR "TANGIERS"

**DRB SUBMITTAL**  
DATE: JANUARY 22, 2020 ORB # 16-221

# A3.15

BUILDING EXTERIOR ELEVATIONS