

*Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.*

<b>Administrative Decisions</b>	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<b>Policy Decisions</b>
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input checked="" type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
<b>Decisions Requiring a Public Meeting or Hearing</b>	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	<b>Appeals</b>
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)
<b>APPLICATION INFORMATION</b>		
Applicant: Legacy Hospitality		Phone:
Address: 6501 Eagle Rock NE Suite B-5		Email:
City: Albuquerque	State: NM	Zip: 87113
Professional/Agent (if any): Cartesian Surveys		Phone: 505-896-3050 ext 105
Address: PO Box 44414		Email: cartesianamber@gmail.com
City: Rio Rancho	State: NM	Zip: 87174
Proprietary Interest in Site:	List <u>all</u> owners:	
<b>BRIEF DESCRIPTION OF REQUEST</b>		
Adjustment of property line between two existing tracts		
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: Tracts A-2-A-1 & A-2-A-2	Block:	Unit:
Subdivision/Addition: Park Square	MRGCD Map No.:	UPC Code: 101805839046211518(Tract A-2-A-1) 101805840848311521(Tract A-2-A-2)
Zone Atlas Page(s): J-18	Existing Zoning: MX-H	Proposed Zoning: MX-H
# of Existing Lots: 2	# of Proposed Lots: 2	Total Area of Site (acres): 4.0763 Acres
<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: 6500 America's Parkway NE	Between: Louisiana Blvd NE	and: Indian School Road NE
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>		
Signature: <i>Amber Palmer</i>		Date: 6/25/2018
Printed Name: Amber Palmer		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
<b>FOR OFFICIAL USE ONLY</b>		
Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #

**FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS**

**Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.**

**A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.**

**A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.**

**INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS**

- Interpreter Needed for Hearing?  if yes, indicate language: \_\_\_\_\_
- Zone Atlas map with the entire site clearly outlined and labeled

**SKETCH PLAT REVIEW AND COMMENT**

- Scale drawing of the proposed subdivision plat (7 copies, folded)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded)
- Letter describing, explaining, and justifying the request

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

- Proposed Final Plat (7 copies, 24" x 36" folded)
- Design elevations & cross sections of perimeter walls (3 copies)
- Copy of recorded IIA
- DXF file and hard copy of final plat data for AGIS submitted and approved
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer

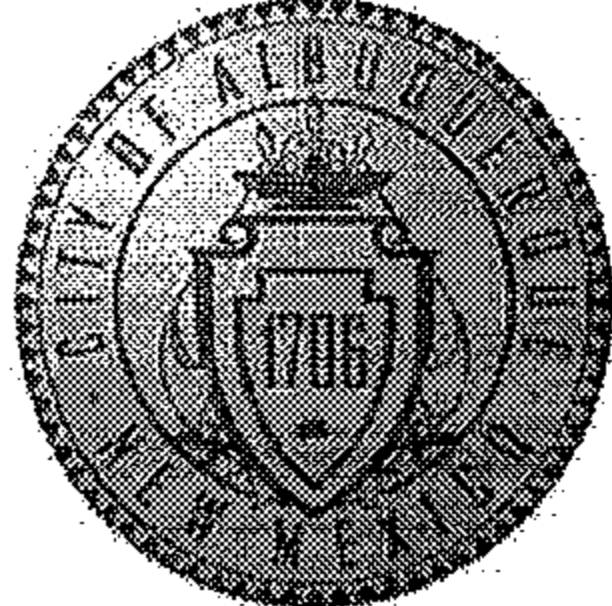
**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL**

- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal. (7 copies, folded)
- Cross sections of proposed streets (3 copies, 11" by 17" maximum)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
- Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- Proposed Infrastructure List, if applicable
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- DXF file and hard copy of final plat data for AGIS submitted and approved

**MINOR AMENDMENT TO PRELIMINARY PLAT**

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- Infrastructure List, if applicable
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)

**Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.**

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: <i>Amber Palmer</i>	Date: <i>6/26/18</i>
Printed Name: <i>Amber Palmer</i>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
<b>FOR OFFICIAL USE ONLY</b>	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	

**Cartesian Surveys Inc.**  
PO Box 44414, Rio Rancho, NM 87174  
896-3050 Fax 891-0244

June 26, 2018

Development Review Board  
City of Albuquerque

**Re: Proposed Tracts A-2-A-2-A & A-2-A-1-A, Park Square**

Members of the Board:

Cartesian Surveys is acting as an agent for the owner and requests approval of a plat adjusting the property line between the existing two tracts.

Thank you for your time and consideration.

Will Plotner Jr., NMLS 14271

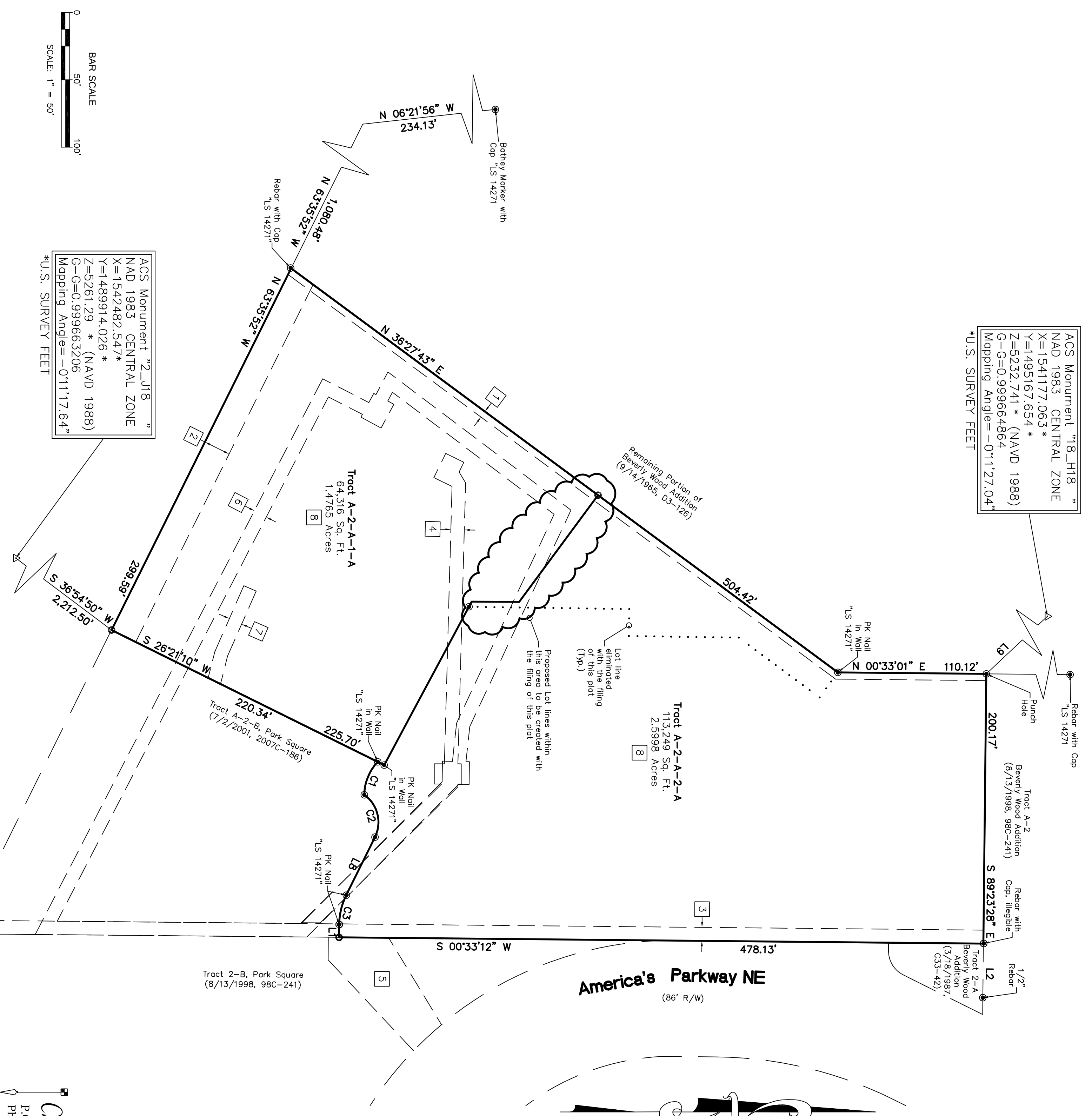
**Sketch Plat for  
Tracts A-2-A-1-A &  
A-2-A-2-A, Park Square  
Being Comprised of  
Tracts A-2-A-1 & A-2-A-2  
Park Square  
City of Albuquerque  
Bernalillo County, New Mexico  
July 2018**

**Legend**

●	FOUND MONUMENT AS INDICATED CHISELED "X" IN CONCRETE UNLESS OTHERWISE NOTED
○	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED

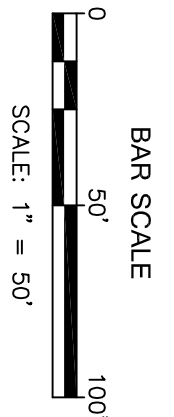
**Easement Notes**

- 1 EXISTING 5' UTILITY EASEMENT (4/19/2011, 11C-35)
- 2 EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126)
- 3 EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- 4 EXISTING 10' UNDERGROUND PNM EASEMENT (4/25/2001, BK. A18, PG. 4306)
- 5 EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (7/15/1998, BK. 98-12, PG. 6785)
- 6 EXISTING 10' UNDERGROUND PNM EASEMENT (8/6/2001, BK. A22, PG. 9039, DOC. NO. 2001890730) (8/6/2001, BK. A22, PG. 9040, DOC. NO. 2001890731)
- 7 EXISTING 10' UNDERGROUND PNM EASEMENT (8/24/2007, DOC. NO. 2007122700) (8/24/2007, DOC. NO. 2007122705)
- 8 EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DOC. NO. 2007144250)



ACS Monument "18\_H18"  
NAD 1983 CENTRAL ZONE  
X=1541177.063 \*  
Y=1495167.654 \*  
Z=5232.741 \* (NAVD 1988)  
G-G=0.999664864  
Mapping Angle=-0°11'27.04"  
\*U.S. SURVEY FEET

ACS Monument "2\_J18"  
NAD 1983 CENTRAL ZONE  
X=1542482.547 \*  
Y=1489914.026 \*  
Z=5261.29 \* (NAVD 1988)  
G-G=0.999663206  
Mapping Angle=-0°11'17.64"  
\*U.S. SURVEY FEET



**CSI-CARTESIAN SURVEYS INC.**  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244

Sheet 1 of 1  
181297

# ALTA SURVEY

## RECORD LEGAL DESCRIPTION:

Parcel 1:

Tract lettered "A-2-A-1" of the replat of Tract A-2-A, PARK SQUARE, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 19, 2011 in Plat Book 2011C, Page 35, as Document No. 2011037509.

Parcel 2:

Non-exclusive rights of easement to:

1. That certain non-exclusive private access easement for the benefit of Tract A-2-A-1 as established by that certain Declaration of Access Easement recorded August 7, 1998 in Book 9813, page 8016 as Document No. 1998099754, records of Bernalillo County, New Mexico.
2. That certain blanket Private Access Easement for the benefit of Tracts A-2-A-1, A-2-A-2 and A-2-B, granted by Plat filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 19, 2011 in Plat Book 2011C, Page 35, as Document No. 2011037509.
3. That certain Blanket Reciprocal Cross-Lot Drainage Easement reserved across the insured land, as shown on the recorded plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 19, 2011, in Plat Book 2011C, Folio 35.
4. That certain Grant of Sign Easement, Sign Usage, and Sign Maintenance Agreement, filed December 16, 1999, recorded in Book 9916, Page 3439, as Document No. 1999153920, records of Bernalillo County, New Mexico. Grant and Partial Assignment of Sign Easement filed July 31, 2002, recorded in Book A39, page 6383 as Document No. 2002096655, records of Bernalillo County, New Mexico.
5. That certain Sign Agreement and Easement filed July 31, 2002, recorded in Book A39, page 6384 as Document No. 2002096656, records of Bernalillo County, New Mexico.
6. That certain Agreement Regarding Easements filed January 14, 2005, in Book A90, page 7567, as Document No. 2005007590, records of Bernalillo County, New Mexico.

## SURVEY LEGAL DESCRIPTION:

Tract lettered "A-2-A-1" of the replat of Tract A-2-A, PARK SQUARE, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 19, 2011 in Plat Book 2011C, Page 35, as document No. 2011037509, and being more particularly described as follows:

BEGINNING at the Northwest corner of the property herein described, from whence the ACS Monument "20\_H18" (x=1,545,048.210, y=1,493,154.978, NMSP Central Zone, NAD 83) bears N 52° 15' 03" E, 1525.38 feet distant;  
THENCE S 53° 30' 38" E, 23.00 feet;  
THENCE S 36° 29' 22" W, 74.65 feet;  
THENCE S 00° 50' 23" W, 81.49 feet;  
THENCE N 89° 09' 37" W, 20.00 feet;  
THENCE S 00° 50' 23" W, 118.92 feet;  
THENCE S 61° 47' 20" E, 133.19 feet to the Northeast corner;  
THENCE S 26° 22' 32" W, 225.70 feet to the Southeast corner, being a point on the Northerly right-of-way line of Interstate Highway 40;  
THENCE, following said right-of-way line, N 63° 40' 48" W, 299.71 feet to the Southwest corner;  
THENCE, N 36° 29' 22" E, 505.09 feet to the Northwest corner and the point of beginning and containing 1.8238 acres, more or less.

## ASSURANCE NOTE:

The property described hereon is the same as the property described in First American Title Insurance Company Commitment No. 1569178-AL01, with an effective date of April 14, 2011 at 8:00 am and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to have been plotted hereon or otherwise noted as to their effect on the subject property.

## SURVEYOR'S CERTIFICATION:

This survey is made for the benefit of: New Omni Hospitality, LLC, a New Mexico limited liability company, Sponsor/Guarantor (if any), Goldman Sachs Commercial Mortgage Capital, L.P., together with its successors and assigns, and First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys\* jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11(a), 11(b), 13, 14, 16, 17, 18 and 19 of Table A thereof.

Date of Plat or Map: 5/10/2011

Thomas D. Johnston  
Professional Land Surveyor No. NMPS 14269

WAYJOHN SURVEYING, INC.



## NOTES CORRESPONDING TO SCHEDULE B:

FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. 1569178-AL01  
April 28, 2011 at 8:00 AM

11. Reservations contained in Patent from United States of America recorded in Book 20, Page 521, records of Bernalillo County, New Mexico. Item is blanket in nature and is not plotted hereon.
12. Intentionally omitted.
13. Intentionally omitted.
14. Declaration of Easements filed July 15, 1998, recorded in Book 9812, page 6785 as Document No. 1998088484, records of Bernalillo County, New Mexico. Easement benefits Tract 1-B-1, Park Square Addition (identified hereon). Extent of easement is graphically plotted hereon.
15. Declaration of Access Easement filed August 7, 1998, recorded in Book 9813, page 8016 as Document No. 1998099754, records of Bernalillo County, New Mexico. Item does not affect subject property but is graphically plotted hereon for reference.
16. Utility Easement reserved across the Westerly Five (5) feet of Tract 2 as shown on the recorded plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on June 29, 1984, in Plat Book C24, Folio 89. Item is graphically plotted hereon.
17. Utility Easement reserved across the Southerly Twenty (20) feet of Tract 2 as shown on the recorded plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on June 29, 1984, in Plat Book C24, Folio 89. Item is graphically plotted hereon.
18. Easements, notes and other matters as shown on the recorded plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on August 13, 1995, in Plat Book 980, Folio 241 and filed July 2, 2001, in Plat Book 2001C, page 186, records of Bernalillo County, New Mexico. Items are graphically plotted hereon.
19. Grant of Sign Easement, Sign Usage, and Sign Maintenance Agreement, filed December 16, 1999, recorded in Book 9916, Page 3439, as Document No. 1999153920, records of Bernalillo County, New Mexico. Grant and Partial Assignment of sign Easement filed July 31, 2002, recorded in Book A39, page 6383 as Document No. 2002096655, records of Bernalillo County, New Mexico. Item is not defined and is not graphically plotted hereon.
20. Underground Easement granted to Public Service Company of New Mexico and U.S. West Communications, Inc., filed April 25, 2001, recorded in Book A18, Page 4306, as Document No. 2001045859, records of Bernalillo County, New Mexico. Item is graphically plotted hereon.
21. Underground Easement granted to Public Service Company of New Mexico and U.S. West Communications, Inc., filed April 25, 2001, recorded in Book A22, Page 9039, as Document No. 2001090730, records of Bernalillo County, New Mexico. Easement as defined is Ten (10) feet in width and is graphically plotted hereon.
22. Underground Easement granted to Public Service Company of New Mexico and U.S. West Communications, Inc., filed April 25, 2001, recorded in Book A22, Page 9040, as Document No. 2001090730, records of Bernalillo County, New Mexico. Easement as defined is Ten (10) feet in width and is graphically plotted hereon.
23. Subdivision Improvements Agreement with the City of Albuquerque, filed January 19, 2006, recorded in Book A110, Page 8196, as Document No. 2006008240, records of Bernalillo County, New Mexico. Extension Agreements filed January 16, 2007, as Document No. 20070088193 filed November 15, 2007 as Document No. 2007157714, filed March 25, 2008 as Document No. 2008033030, filed January 19, 2010 as Document No. 201004565, filed February 4, 2010 as Document No. 2010010023, and Assignment and Amendment to Agreement to Construct Subdivision Improvements filed January 30, 2009, as Document No. 2009009838, records of Bernalillo County, New Mexico. Item is blanket in nature and is not graphically plotted hereon.
24. Declaration of Easements filed July 31, 2002, recorded in Book A39, page 6377 as Document No. 2002096649, records of Bernalillo County, New Mexico. Easements are perpetual and non-exclusive and cover vehicular parking, vehicular and pedestrian ingress and egress, construction and maintenance. Item is blanket in nature and is not graphically plotted hereon.
25. Sign Agreement and Easement filed July 31, 2002, recorded in Book A39, page 6384 as Document No. 2002096656, records of Bernalillo County, New Mexico. Item is blanket in nature and is not graphically plotted hereon.
26. Agreement regarding Easements filed January 14, 2005, recorded in Book A90, page 7567 as Document No. 2005007590, records of Bernalillo County, New Mexico. Item is blanket in nature and is not graphically plotted hereon.
28. Underground Easement (Electric) granted the Public Service Company of New Mexico, filed August 24, 2007, recorded as Document No. 2007122700, records of Bernalillo County, New Mexico. Easement is Ten (10) feet in width and is not otherwise specifically described by survey in recorded document. Item is graphically plotted hereon. Location is approximate.
29. Intentionally omitted.
30. Underground Easement (Electric) granted the Public Service Company of New Mexico, filed August 24, 2007, recorded as Document No. 2007122705, records of Bernalillo County, New Mexico. Easement is Ten (10) feet in width and is not otherwise specifically described by survey in recorded document. Item is graphically plotted hereon. Location is approximate.
31. Intentionally omitted.
32. Grant of Easement by and between Comcast of New Mexico, Inc., its successors and assigns, and Omni Hospitality, Inc. filed October 12, 2007, recorded as Document No. 2007144250, records of Bernalillo County, New Mexico. Item is blanket in nature and is not graphically plotted hereon.
33. Second Amended and Restated Agreement regarding Easements by and between Pacific Ground Leases I, LLC, a Delaware Limited Liability Company, Buca Restaurants, Inc., a Minnesota Corporation, and New Gibson Investments, Inc., a New Mexico Corporation filed May 9, 2007, recorded in Book A136, page 8823 as Document No. 2007068962, records of Bernalillo County, New Mexico. Item is blanket in nature and is not graphically plotted hereon.
34. Covenants, conditions, restrictions, terms, assessments, liens, levies, provisions and easements as noted on the recorded plat, filed April 19, 2011, recorded in Book 2011C, Folio 35, records of Bernalillo County, New Mexico. Items are graphically plotted hereon.
35. Blanket Private Access Easement reserved across the insured land, as noted on the recorded plat, filed April 19, 2011, recorded in Book 2011C, Folio 35, records of Bernalillo County, New Mexico. Item is not graphically plotted hereon. Item is blanket in nature.
36. Blanket Reciprocal Cross-Lot Drainage Easement reserved across the insured land, as noted on the recorded plat, filed April 19, 2011, recorded in Book 2011C, Folio 35, records of Bernalillo County, New Mexico. Item is not graphically plotted hereon. Item is blanket in nature.

## SURVEYOR'S NOTES:

1. THE PROPERTY HAS INDIRECT ACCESS TO AMERICAS PARKWAY, NE, WHICH IS A DEDICATED AND ACCEPTED RIGHT-OF-WAY MAINTAINED BY THE CITY OF ALBUQUERQUE, BY WAY OF ACCESS EASEMENTS RECORDED IN BOOK 9813, PAGE 6785 AND BY THE PLAT RECORDED IN PLAT BOOK 2011C, FOLIO 35.
2. THE TITLE LINES AND ACTUAL POSSESSION LINES ARE THE SAME.
3. THE SUBJECT PROPERTY IS SERVED BY AND IS SUBJECT TO NON-EXCLUSIVE EASEMENTS FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS WITH ADJOINING PROPERTIES.
4. MONUMENTATION RECOVERED, ACCEPTED OR SET IS AS NOTED HEREON.
5. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF NEW MEXICO.
6. THERE ARE NO SETBACK REQUIREMENTS OF RECORD OR SET FORTH IN THE ZONING FOR THE SUBJECT PARCEL.
7. PARKING:  
119 STANDARD SPACES ON SUBJECT PARCEL  
7 HANDICAPPED SPACES ON SUBJECT PARCEL  
SUBJECT PARCEL IS SUBJECT TO A PARKING AGREEMENT (SEE EXCEPTION NOTE 24). THE PARKING SPACES ON THE ADJOINING PARCELS SUBJECT TO THIS AGREEMENT ARE AS FOLLOWS:  
119 STANDARD SPACES ON AGREEMENT PARCELS  
7 HANDICAPPED SPACES ON AGREEMENT PARCELS.

## BASIC OF BEARINGS:

Bearings shown hereon are based on the Plat of Tracts A-2-A-1 and A-2-A-2, PARK SQUARE, filed April 19, 2011 in Plat Book 2011C, page 35.

## FLOOD INFORMATION:

Said described property is located within an area having a Zone Designation of "X" by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 0352 G, with a date of identification of September 26, 2008, for Community Panel No. 350002 in Bernalillo County, State of New Mexico, which is the current Flood Insurance Rate Map for the community in which said premises is situated.

## STATEMENT OF ENCROACHMENTS:

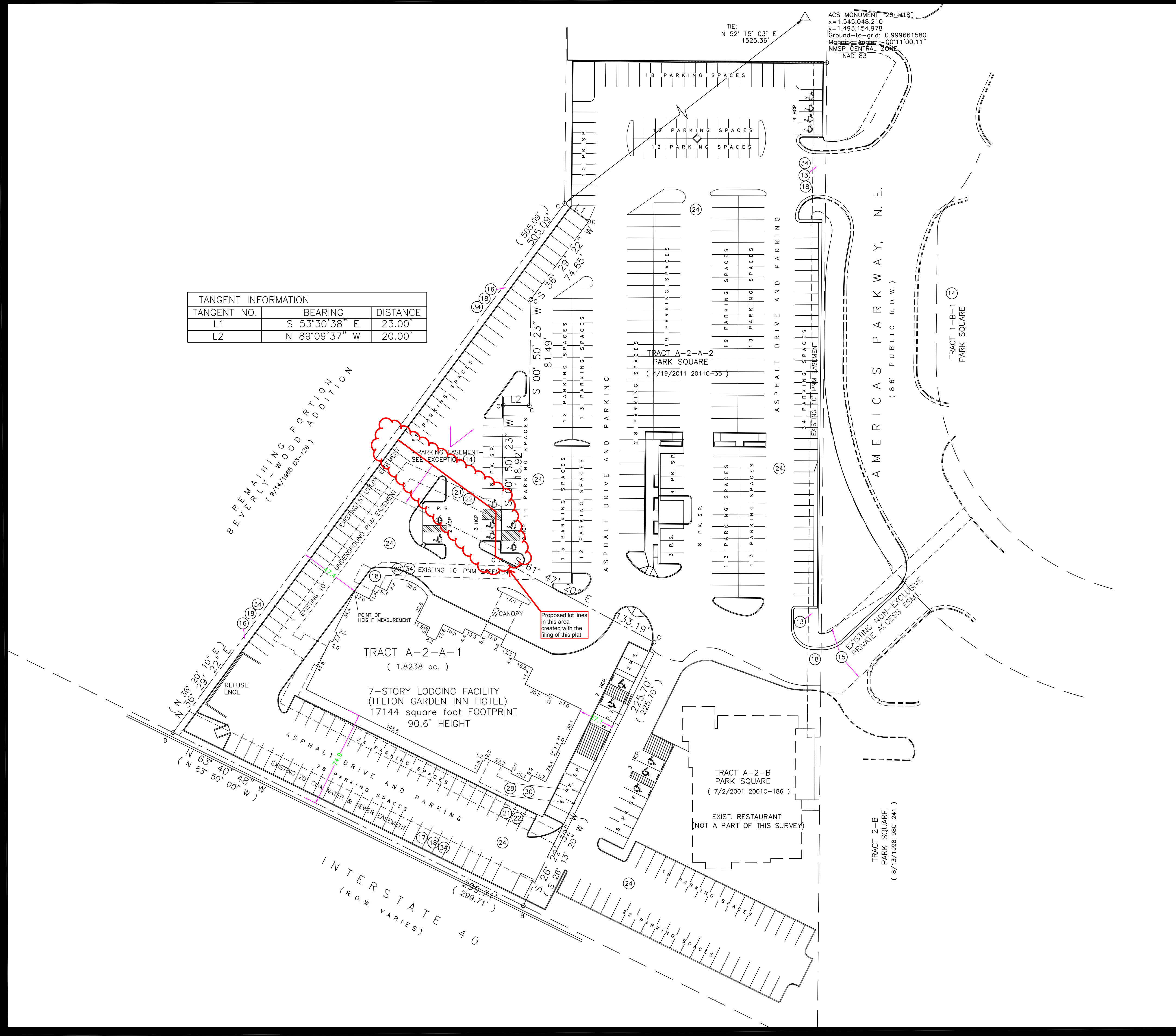
There are no edificial encroachments at the time of this survey.



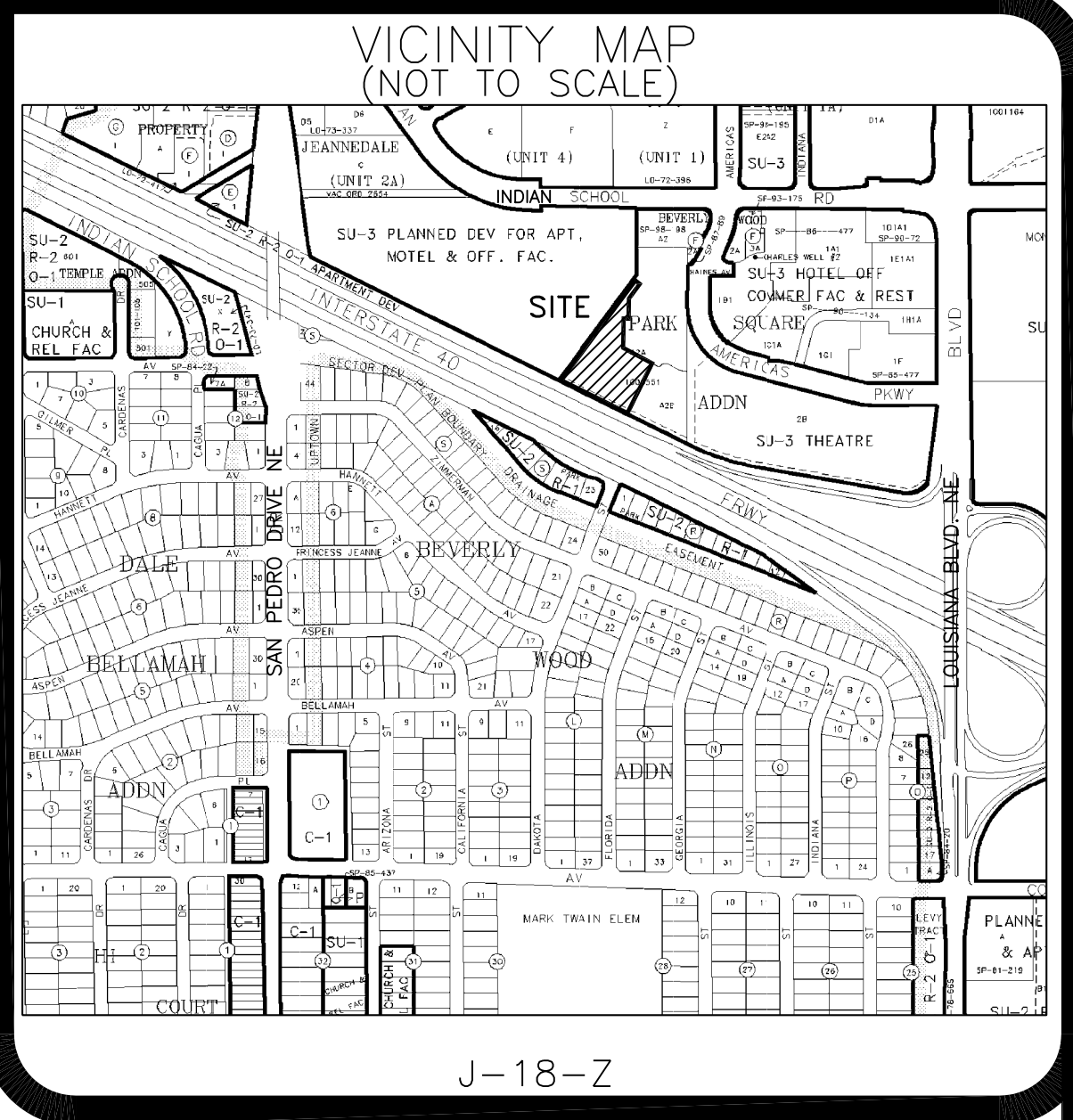
330 Louisiana Blvd, N.E. Albuquerque, NM 87108  
Phone: (505) 255-2052 Fax: (505) 255-2887

Date of Survey: 4/20/2011 Draftsman: E W K  
Date of Last Revision: 5/10/11 Job No.: ALTA-4-01-2011  
For: OMNI HOSPITALITY, LLC  
Company: FIRST AMERICAN TITLE CO. SHEET 1 OF 2

# ALTA SURVEY



TANGENT INFORMATION		
TANGENT NO.	BEARING	DISTANCE
L1	S 53°30'38" E	23.00'
L2	N 89°09'37" W	20.00'



**SITE RESTRICTIONS:**

**SETBACKS:**

FRONT/CORNER SIDE: (AS DEFINED BY SPECIAL USE)

SIDE: SETBACKS ARE NOT SUBJECT TO SPECIFICS IN THE ALBUQUERQUE COMPREHENSIVE ZONING CODE.

REAR: SETBACKS ARE NOT SUBJECT TO SPECIFICS IN THE ALBUQUERQUE COMPREHENSIVE ZONING CODE.

HEIGHT: SETBACKS ARE NOT SUBJECT TO SPECIFICS IN THE ALBUQUERQUE COMPREHENSIVE ZONING CODE.

LOT SIZE: SETBACKS ARE NOT SUBJECT TO SPECIFICS IN THE ALBUQUERQUE COMPREHENSIVE ZONING CODE.

LOT WIDTH: SETBACKS ARE NOT SUBJECT TO SPECIFICS IN THE ALBUQUERQUE COMPREHENSIVE ZONING CODE.

**ZONE:** SU (SPECIAL USES FOR APARTMENTS, MOTEL AND OFFICE FACILITIES)

OTHER PARTICULAR SITE RESTRICTIONS ARE DEPENDENT ON APPROVED ENVIRONMENTAL PLANNING COMMISSION SITE PLAN AND ARE AVAILABLE FROM THE CITY OF ALBUQUERQUE ZONING DEPARTMENT (505) 924-3842.

**PARKING:**

119 STANDARD PARKING SPACES ON SUBJECT PARCEL

119 STANDARD PARKING SPACES INCLUDING ADJOINING TRACTS (EXCEPTION NOTE 24)

7 HANDICAP SPACES ON SUBJECT PARCEL

14 HANDICAP SPACES INCLUDING ADJOINING TRACTS (EXCEPTION NOTE 24)

**AREA:**

264680.43 sq.ft.

1.8238 Acres

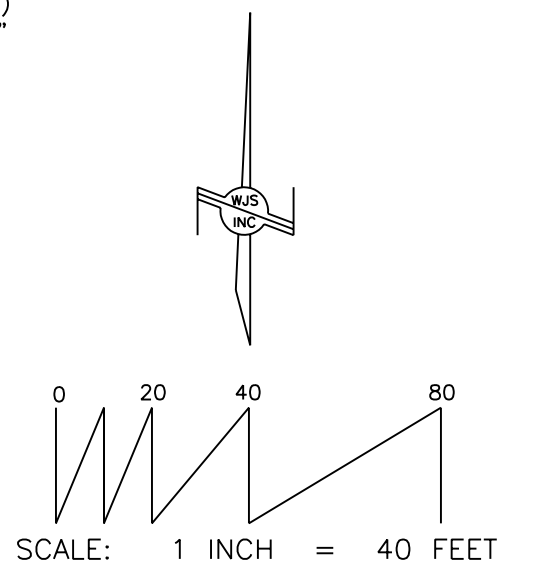
**MONUMENT LEGEND:**


A: FOUND #4 REBAR AND CAP (ILLEGIBLE)

B: FOUND #4 REBAR AND CAP "LS 8686"

C: SET PK NAIL AND DISK "PS 14269"

D: SET #4 REBAR AND CAP "PS 14269"





**WAYJOHN SURVEYING INC.**

330 Louisiana Blvd, N.E. Albuquerque, NM 87108  
 Phone: (505) 255-2052 Fax: (505) 255-2887

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Date of Survey: 4/20/2011      Draftsman: E W K  
 Date of Last Revision: 5/10/11 Job No.: ALTA-4-01-2011  
 For: OMNI HOSPITALITY, LLC  
 Company: FIRST AMERICAN TITLE CO.      SHEET 2 OF 2