



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Gina Kelly w/ SGA Design Group		Phone: (918)587-8602, ext 299
Address: 1437 S Boulder Ave - Ste. 550		Email: ginak@sgadesigngroup.com
City: Tulsa	State: OK	Zip: 74119
Professional/Agent (if any): Travis Hager w/ SGA Design Group		Phone: (918)587-8600
Address: 1437 S Boulder Ave - Ste. 550		Email: travish@sgadesigngroup.com
City: Tulsa	State: OK	Zip: 74119
Proprietary Interest in Site: Architect	List all owners: Walmart	

BRIEF DESCRIPTION OF REQUEST

Reducing the Square footage of Signage from 749.57 Total Square Footage to 459.97 Total Square Footage. Updates to paint to relocate the current Pickup w/ Spark sign and match Branding. No Site Updates to accrue on this project.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: B1A1A	Block: 0000	Unit:
Subdivision/Addition: TOWNE PARK PLAZA	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): K21	Existing Zoning: MX-L	Proposed Zoning: MX-L
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 17.9414

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 400 Eubank Blvd NE	Between: Eubank Blvd NE	and: Copper Ave NE
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1000317 & 1000508

Signature:	Date: 04/29/22
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:				Fee Total:	
Staff Signature:		Date:		Project #	

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled


ALTERNATIVE SIGNAGE PLAN


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 04/29/2022
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	



SGA Design Group

April 28, 2022

Jay Rodenbeck, Planning Manager
City of Albuquerque Planning Department
Land Development Coordination
600 Second Street NW
Albuquerque, NM 87109

Re. Walmart #835.275 located at: 400 Eubank Blvd NE

The scope of work for this Administrative Amendment review is the for the updates to the Building Wall Signage only and updates to the paint on the exterior as a maintenance item.

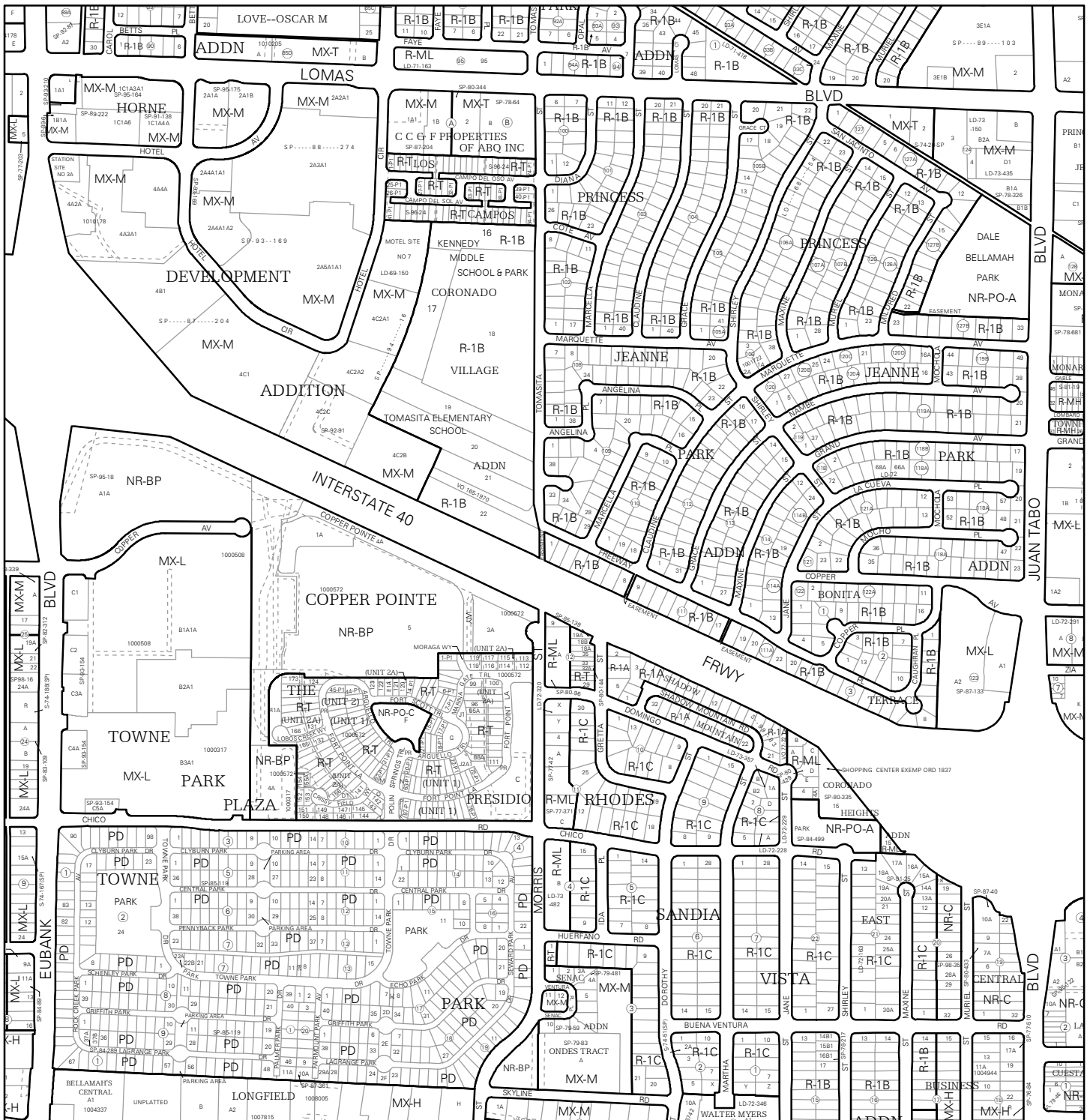
The impact to the site will be minimal and we ask for approval so that we will be able to move forward with permitting with the City's Building Department.

If you have any questions, please do not hesitate to contact me.

Thank you,

A handwritten signature in blue ink that reads "Gina Kelly".

Gina Kelly
SGA Design Group
1437 S Boulder Ave-Ste. 550
Tulsa, OK 74119
ginak@sgadesigngroup.com



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
K-21-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

LETTER OF AUTHORIZATION

January 21, 2021

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

To Whom It May Concern:

I hereby authorize: Gina Kelly
SGA Design Group
1437 South Boulder, Suite 550
Tulsa, OK 74119
(918) 587-8600

To act as the agent on your behalf before the City of Albuquerque, NM for all the Walmart Stores that assigned to SGA Design Group within the jurisdiction of Albuquerque, NM.

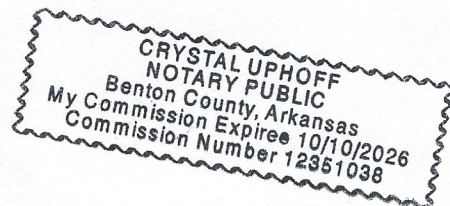
Dren Bailess
Signature

Dren Bailess 1/21/2021
Print Name Date

State of: Arkansas
County of: Benton

Subscribed and sworn to before me this 21 day of January, 2021.

Notary Public *Crystal Uphoff*
My Commission Expires 10-10-2026



DEMOLITION NOTES

1. REMOVE EXTERIOR TENANT SIGNS. COORDINATE REMOVAL WITH WALMART CM AND TENANT PRIOR TO BEGINNING WORK. DELIVER REMOVED TENANT SIGNS TO TENANT.
2. REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.

COLOR LEGEND

PK	COLOR NAME
P5E	SAFETY YELLOW
P33E	CREAM
P49E	DARK GRAY
P76U	WALMART BLUE
P134E	LIGHT GRAY
P135E	MEDIUM GRAY
P182E	BLACK GRAY
P200	DURANODIC BRONZE SW#7248

SHEET NOTES

1. PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS. TO MATCH ADJACENT AS REQUIRED. REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
2. RESURFACE EXISTING EIFS WHERE SHOWN (HATCHED AREA).
3. PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT (ID LOGO SIGNS), COORDINATE SCOPE OF WORK WITH WALMART CM.
4. IF PAINTING ADJACENT WALLS PAINT HOLLOW METAL STEEL DOORS, FRAMES, AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL TO MATCH ADJACENT BUILDING COLOR (ING).
5. PAINT ANY ROOFTOP GAS PIPING (P5E) WHERE EXTERIOR WALL IS BEING PAINTED. GAS PIPE ALONG SIDE WALL TO GRADE SHOULD MATCH ADJACENT BUILDING. DO NOT PAINT METER OR VALVES.
6. IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL.
7. WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK (P33E) DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED.
8. PAINT ALL EXTERIOR ENTRY BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE.
9. PAINT SECURITY WALL PACK HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LENSES.
10. DO NOT PAINT LED WALL PACK HOUSINGS.
11. DO NOT PAINT QUIK BRIK, STONE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS.
13. AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, REMOVE AND PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR. REF SPEC 09900.

SGA Design Group, P.C.
 1437 South Boulder, Suite 550
 Tulsa, Oklahoma 74106
 T. 918.587.8600
 F. 918.587.8601
 www.sga-designgroup.com

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CONSULTANTS

Walmart
 ALBUQUERQUE, NM
 400 EUBANK BLVD NE
 STORE NO: B35-275
 JOB NUMBER: 21040016 | PHOTO: 182

2022 MAJOR PROJECT

ISSUE BLOCK

NO.	DESCRIPTION	DATE

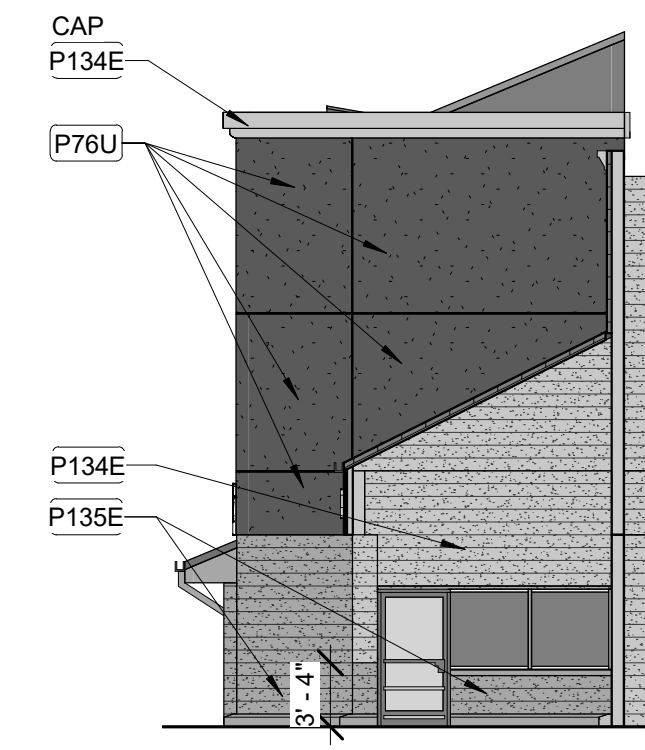
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 DRAWN BY: KFB
 PROTO CYCLE: 02/25/22
 DOCUMENT DATE: 04/27/22

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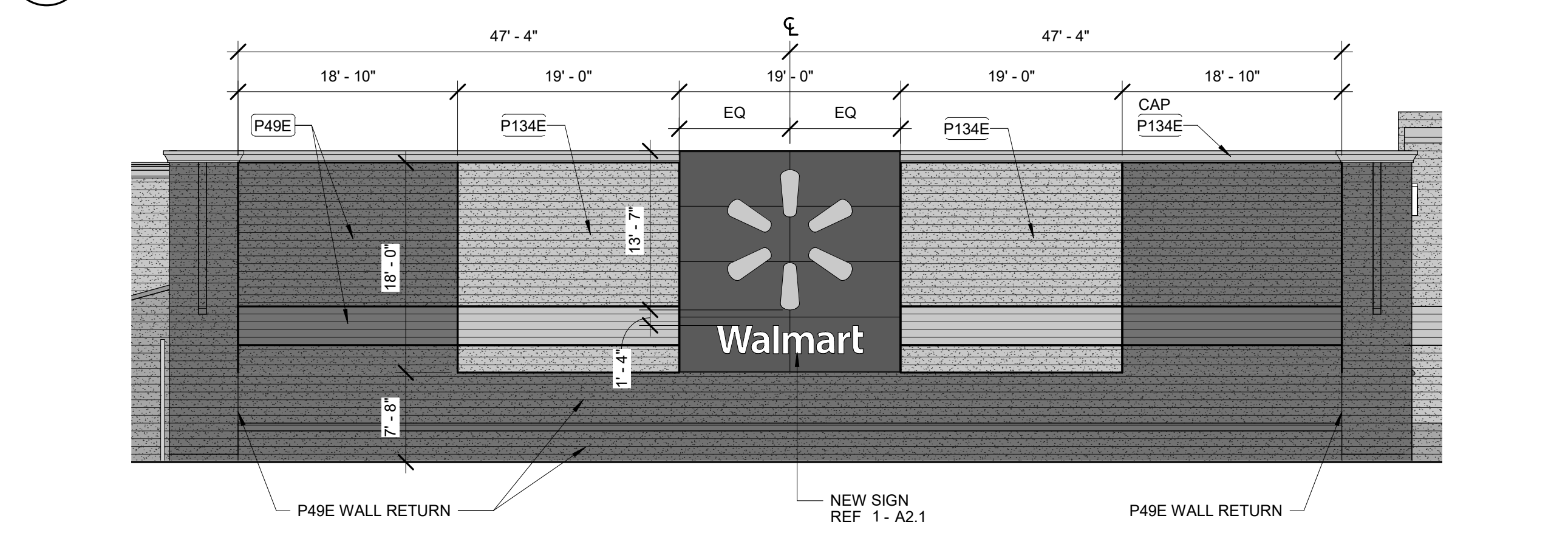
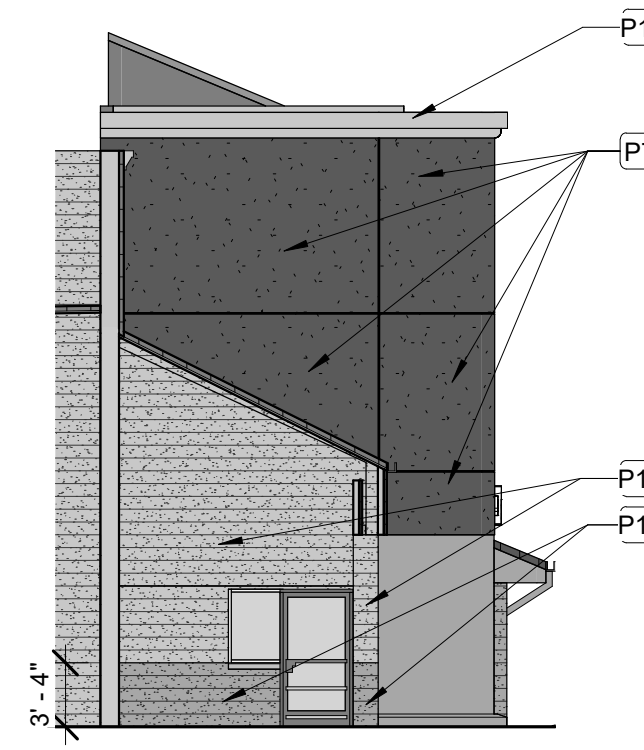
STATE OF NEW MEXICO
 TRAVIS R. HAGER
 No. 6148
 REGISTERED ARCHITECT
 04/27/2022

EXTERIOR ELEVATIONS

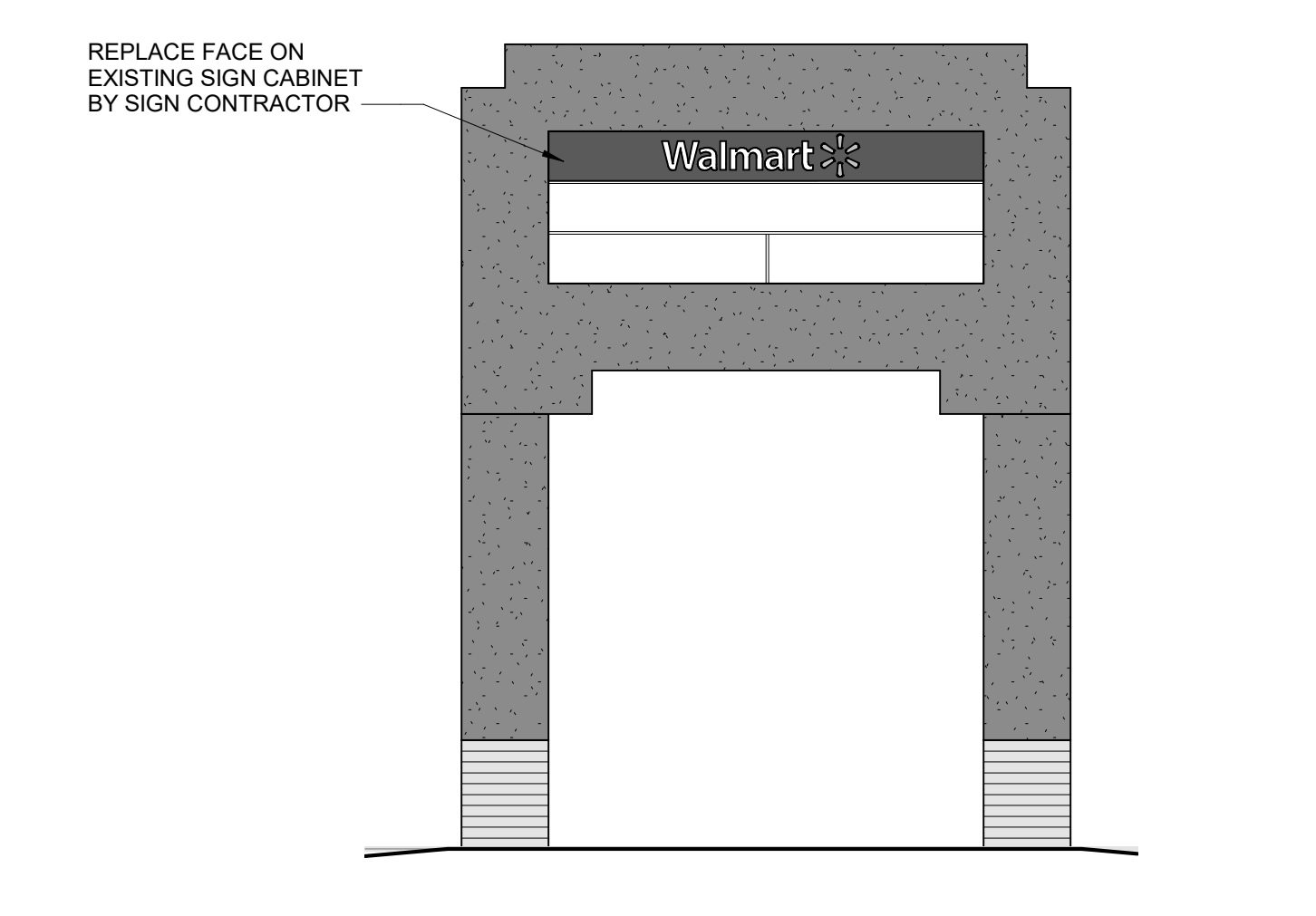
8 GM VESTIBULE SIDE ELEVATION
 1" = 10'-0"



7 GR VESTIBULE SIDE ELEVATION
 1" = 10'-0"

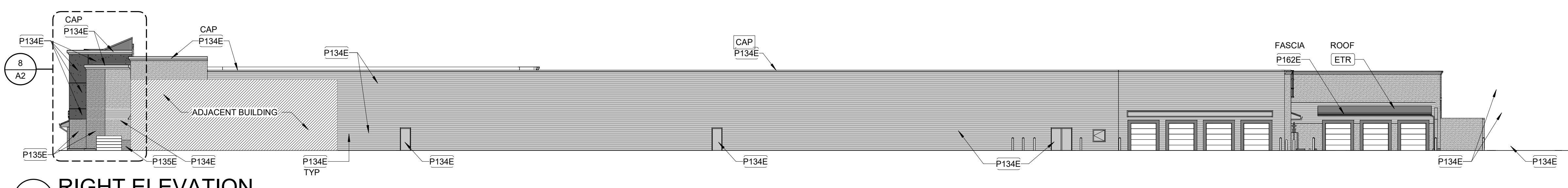


6 LEFT ELEVATION - ENLARGED SIGNAGE
 1" = 10'-0"

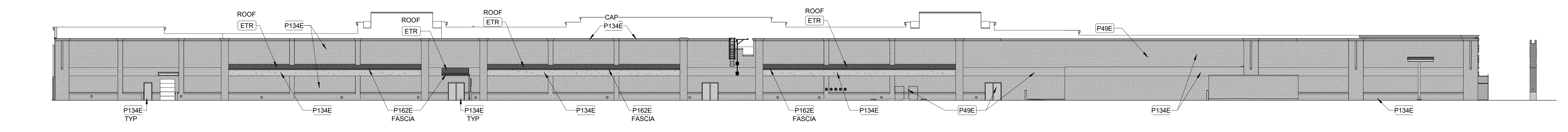


5 EXISTING FREESTANDING SIGN
 3/16" = 1'-0"

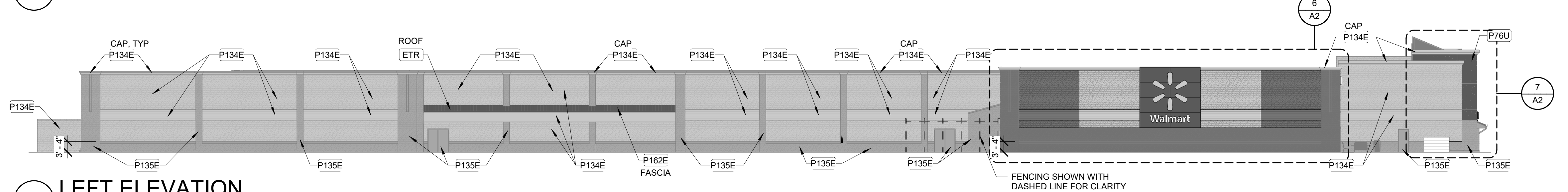
4 RIGHT ELEVATION
 1" = 20'-0"



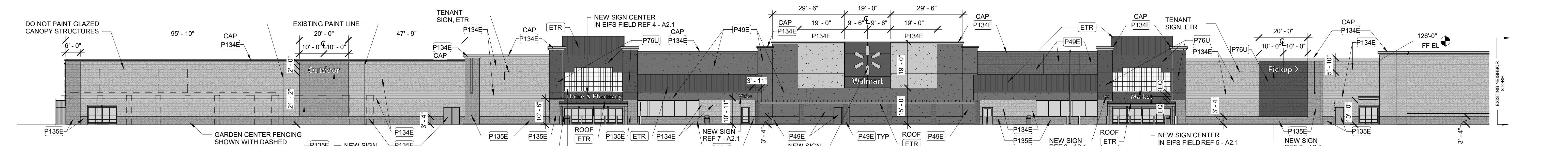
3 REAR ELEVATION
 1" = 20'-0"



2 LEFT ELEVATION
 1" = 20'-0"



1 FRONT ELEVATION
 1" = 20'-0"



04/27/22 09:57:24 C:\projects\2104000101\2104000101.dwg, 3/28/22, Arch, 2022, Project: Albuquerque, NM

NEW SIGNAGE SCHEDULE						
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart Spark	1	LED	WHITE/YELLOW	12'-0"	158.41 SF	158.41 SF
Outdoor	1	NO	WHITE	2'-6"	20.35 SF	20.35 SF
Pickup >	1	LED	WHITE	2'-6"	40.83 SF	40.83 SF
Home & Pharmacy	1	NO	WHITE	2'-0"	60.53 SF	60.53 SF
Market	1	NO	WHITE	2'-0"	17.75 SF	17.75 SF
Vision	1	NO	WHITE	1'-6"	3.69 SF	3.69 SF
FRONT SIGNAGE						301.56 SF
SIDE SIGNAGE						
Walmart Spark	1	LED	WHITE/YELLOW	12'-0"	158.41 SF	158.41 SF
SIDE SIGNAGE						158.41 SF
TOTAL BUILDING SIGNAGE						459.97 SF

- ### SIGNAGE GENERAL NOTES
- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY GC.
 - ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE GC SIGN COMPANY IS ON SITE. THE EXISTING SIGNAGE WILL THEN BE REMOVED. PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATIONS. AND SIGNAGE WILL BE INSTALLED PER PLANS.
 - A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND SIGNAGE IS INSTALLED.
 - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (6'X25').
 - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE.
 - GENERAL CONTRACTOR RESPONSIBILITIES
 - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 0125. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
 - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO SIGN DETAILS FOR LIGHTED ID LOGO SIGNS.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO "Walmart" and "spark" SIGNAGE. EXISTING (B) BOXES FROM "WALMART" SIGNAGE MAY BE REUSED.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO TENANT SIGNAGE LOCATION SHOWN. REFER TO ELECTRICAL.
 - INSTALL ACCESS DOORS AND FRAMES IN GYPSUM BOARD CEILINGS IF REQUIRED BY RELOCATION OF EXISTING TENANT SIGNAGE.
 - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
 - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
 - REMOVE ALL LIT ID LOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS, UNLESS NOTED OTHERWISE.
 - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
 - INSTALL SIGNAGE PER DETAILS.

EXISTING SIGNAGE SCHEDULE					
(FOR REFERENCE ONLY)					
SIGNAGE LOCATION	QTY	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA
FRONT SIGNAGE					
Walmart	1	WHITE	4'-0"	123.62 SF	123.62 SF
SUPERCENTER	1	YELLOW	1'-6"	23.78 SF	23.78 SF
Always	2	RED	7'-0"	89.00 SF	178.00 SF
Food Center	1	RED	2'-0"	32.17 SF	32.17 SF
Low Prices	1	RED	2'-0"	28.33 SF	28.33 SF
We Sell for Less	1	RED	2'-0"	43.67 SF	43.67 SF
Bakery	1	RED	1'-0"	4.54 SF	4.54 SF
Deli	1	RED	1'-0"	2.33 SF	2.33 SF
Meat	1	RED	1'-0"	3.00 SF	3.00 SF
Produce	1	RED	1'-0"	5.25 SF	5.25 SF
Pharmacy	1	RED	1'-0"	5.63 SF	5.63 SF
1-Hr. Photo	1	RED	1'-0"	7.33 SF	7.33 SF
Optical	1	RED	1'-0"	4.58 SF	4.58 SF
Tire & Lube	1	RED	2'-0"	30.33 SF	30.33 SF
<= Express	1	RED	2'-0"	29.09 SF	29.09 SF
Garden Center	1	RED	2'-6"	56.88 SF	56.88 SF
TOTAL FRONT SIGNAGE					578.53 SF
AUTO CENTER SIGNAGE					
WALMART	1	RED	1'-3"	11.15 SF	11.15 SF
TIRE & LUBE	1	RED	1'-9"	26.15 SF	26.15 SF
EXPRESS	1	RED	2'-6"	39.71 SF	39.71 SF
Tires	4	WHITE	6"	1.01 SF	4.04 SF
Lube Express	2	WHITE	6"	2.78 SF	5.56 SF
TOTAL AUTO CENTER SIGNAGE					86.55 SF
PHARMACY DRIVE-THRU SIGNAGE					
WALMART	1	WHITE	1'-3"	11.15 SF	11.15 SF
Pharmacy Drive-Thru	2	WHITE	1'-4"	31.00 SF	62.00 SF
Enter	2	RED	1'-0"	3.25 SF	6.50 SF
Exit	2	RED	1'-0"	2.42 SF	4.84 SF
TOTAL FRONT SIGNAGE					84.49 SF
TOTAL BUILDING SIGNAGE					749.57 SF

SGA Design Group, P.C.
 1437 South Boulder, Suite 550
 Tulsa, Oklahoma 74119
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 F: 918.587.8601
 www.sgasdesigngroup.com

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Walmart
 ALBUQUERQUE, NM
 400 EUBANK BLVD NE
 STORE NO: 835-2775
 21894016 | PHOTO

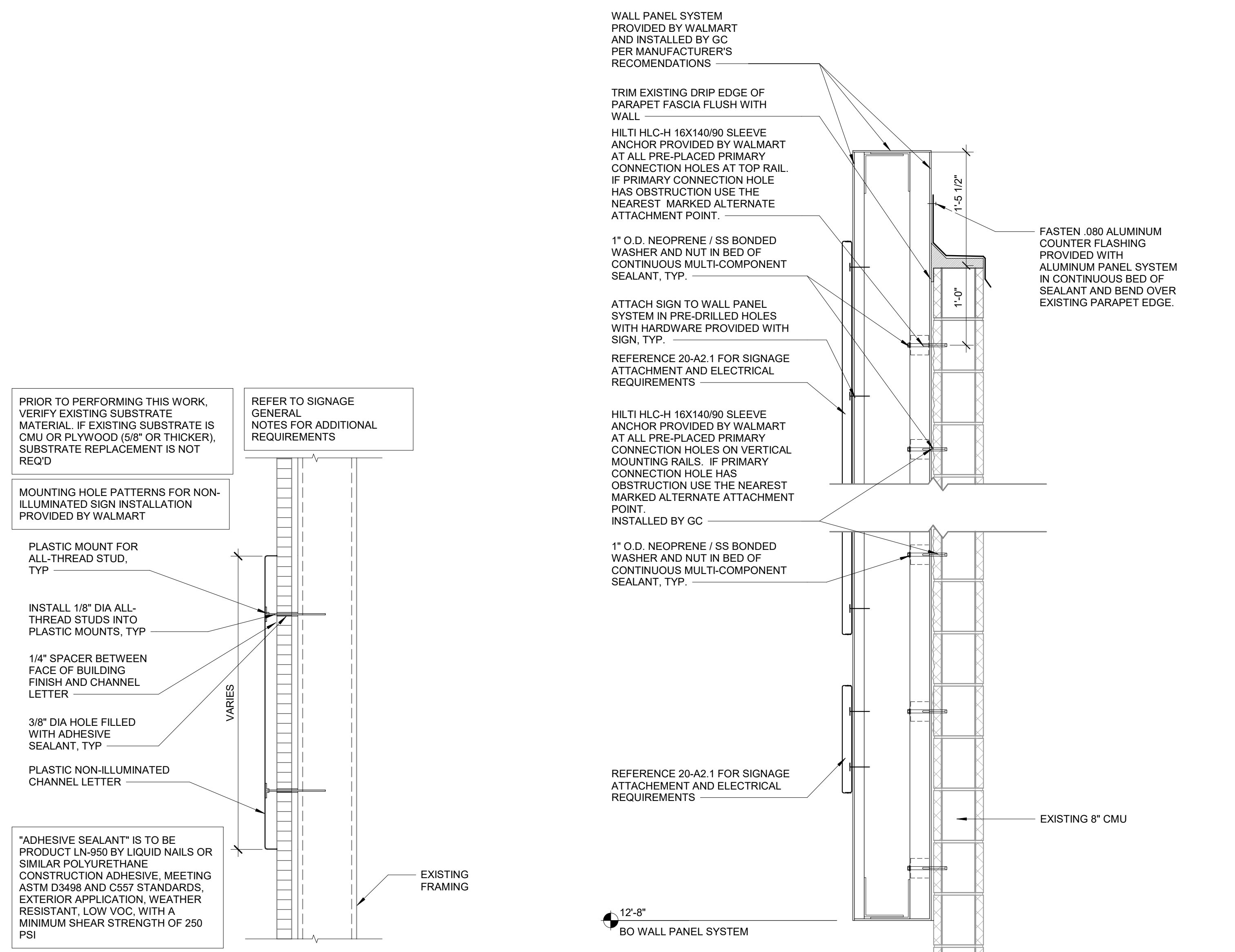
ISSUE BLOCK	

CHECKED BY: TRH Checker
 DRAWN BY: KFB
 PROTO CYCLE: 02/25/22
 DOCUMENT DATE: 04/27/22

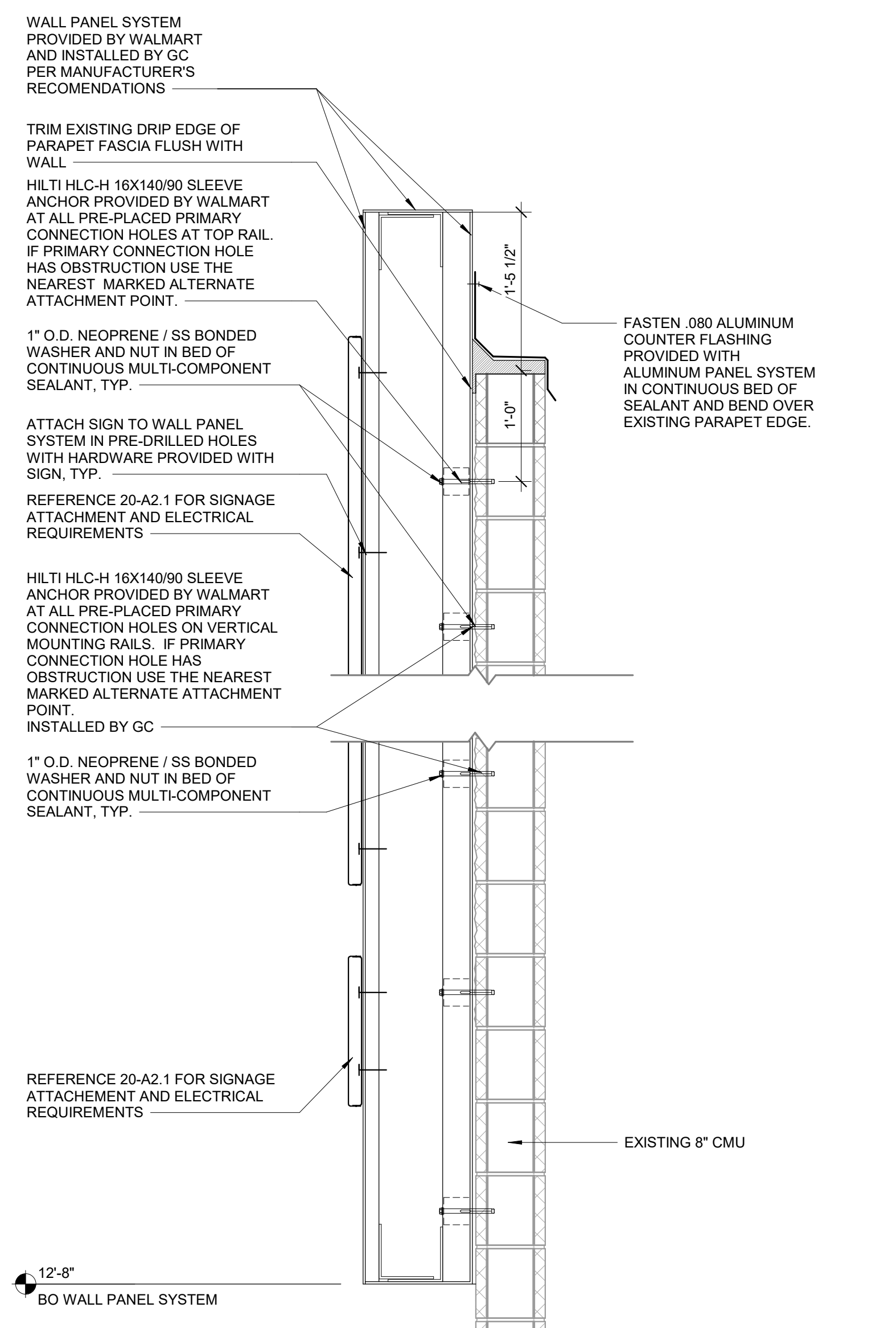
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STATE OF NEW MEXICO
 TRAVIS R. HAGER
 No. 6148
 REGISTERED ARCHITECT
 04/27/2022

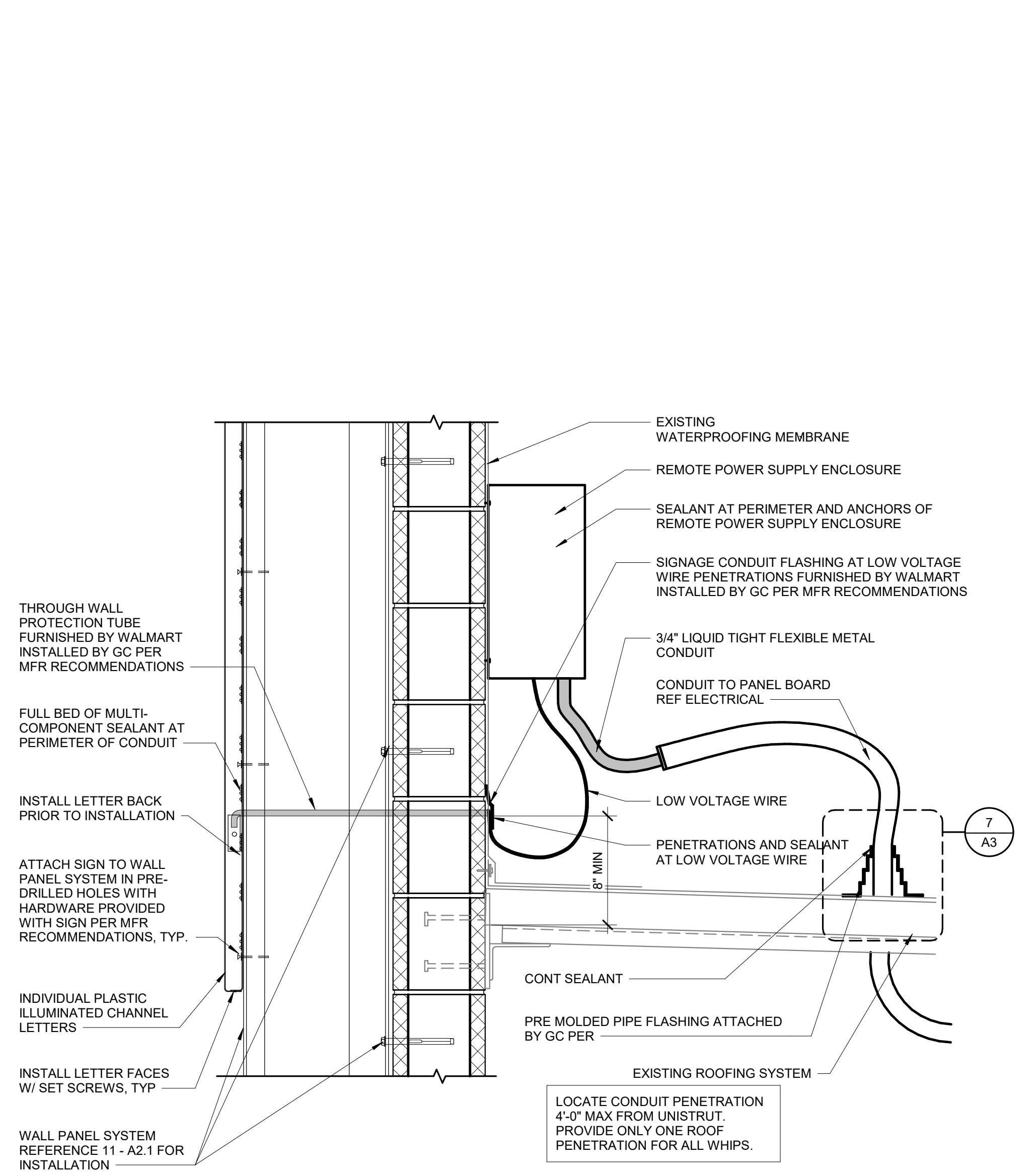
EXTERIOR SIGNAGE
 SHEET: **A2.1**



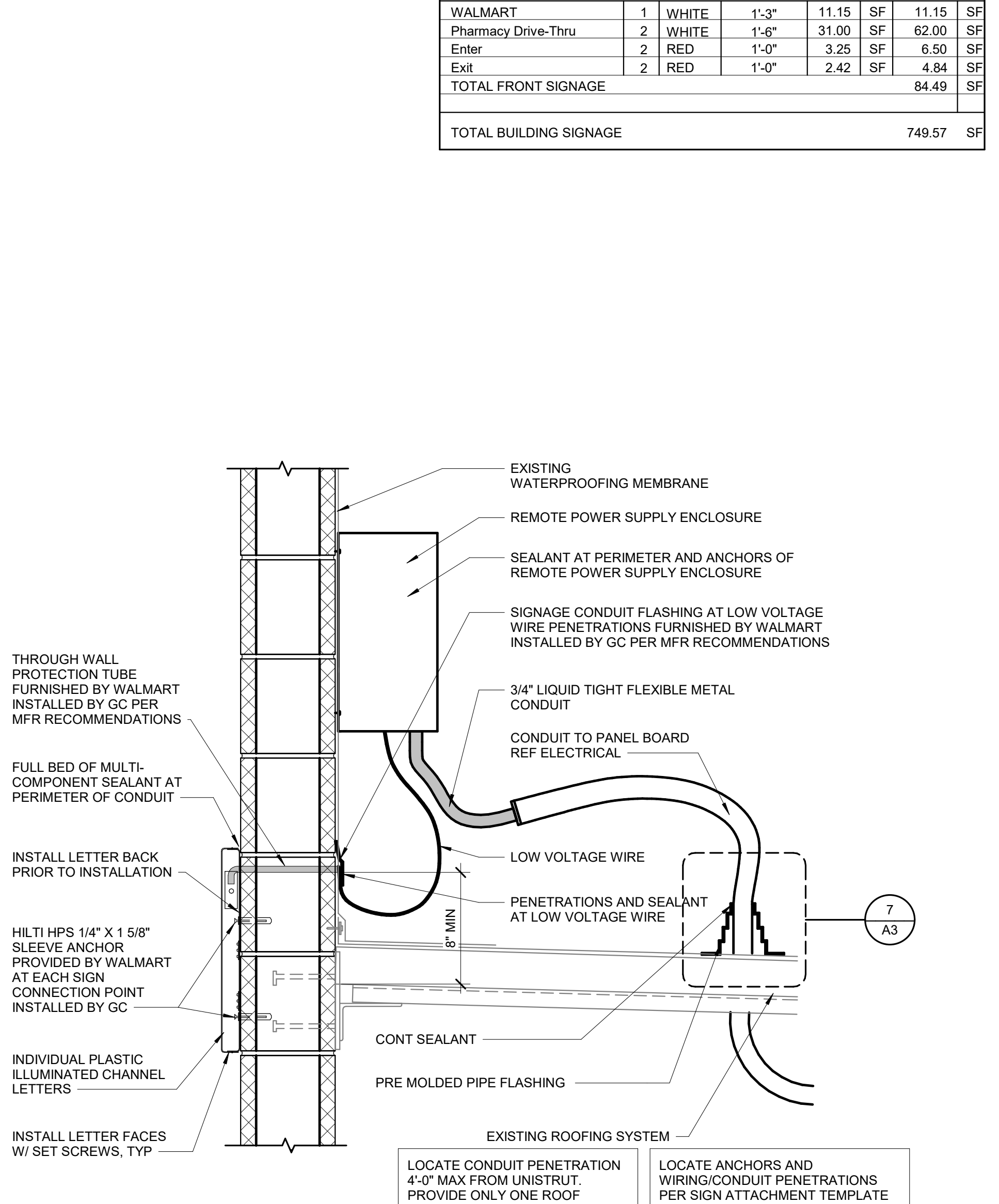
12 SIGN ATTACHMENT AT EIFS AND METAL STUD WALL
 1/12" = 1'-0"



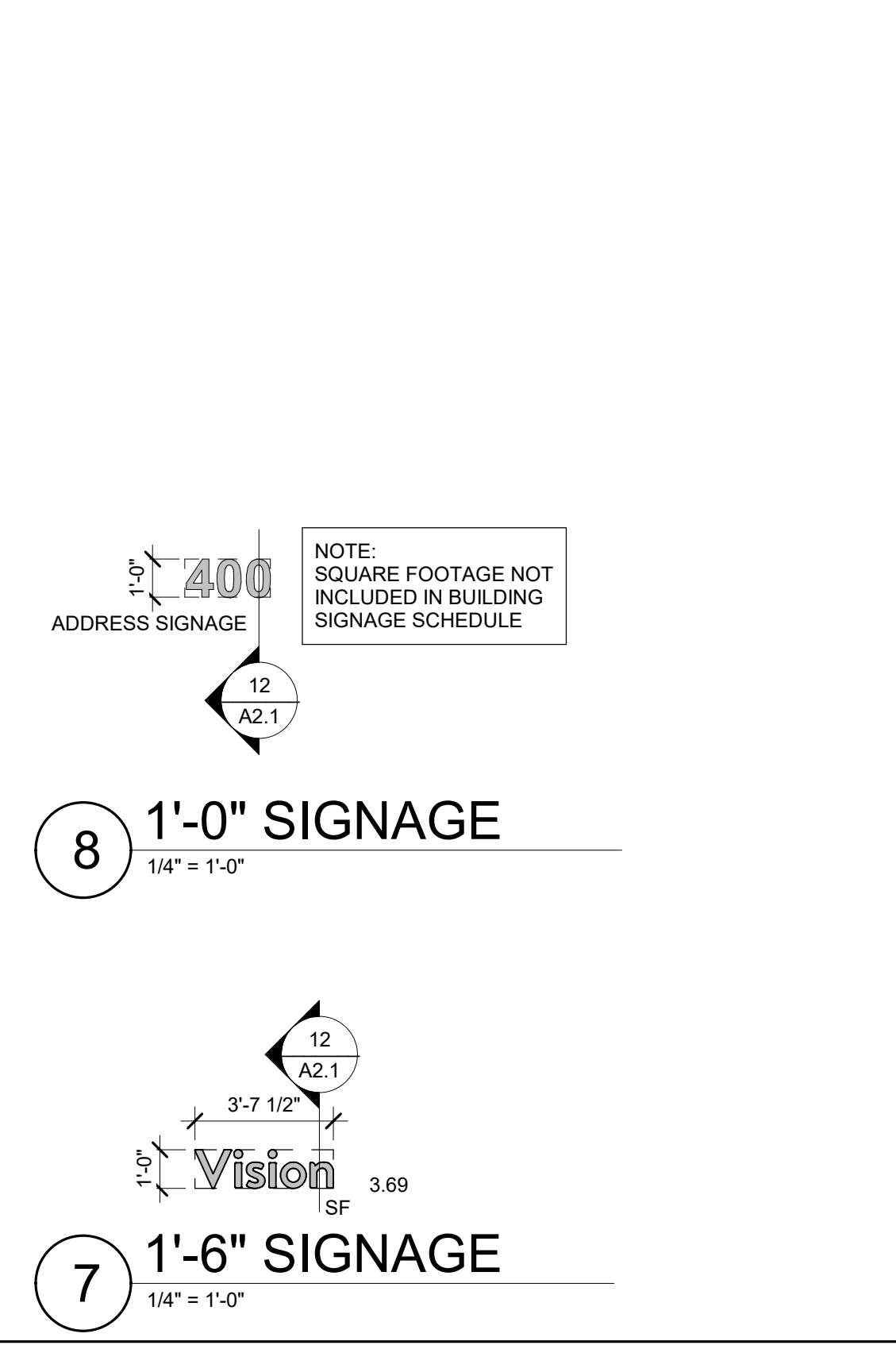
11 WALL PANEL SECTION (V1)
 1" = 1'-0"



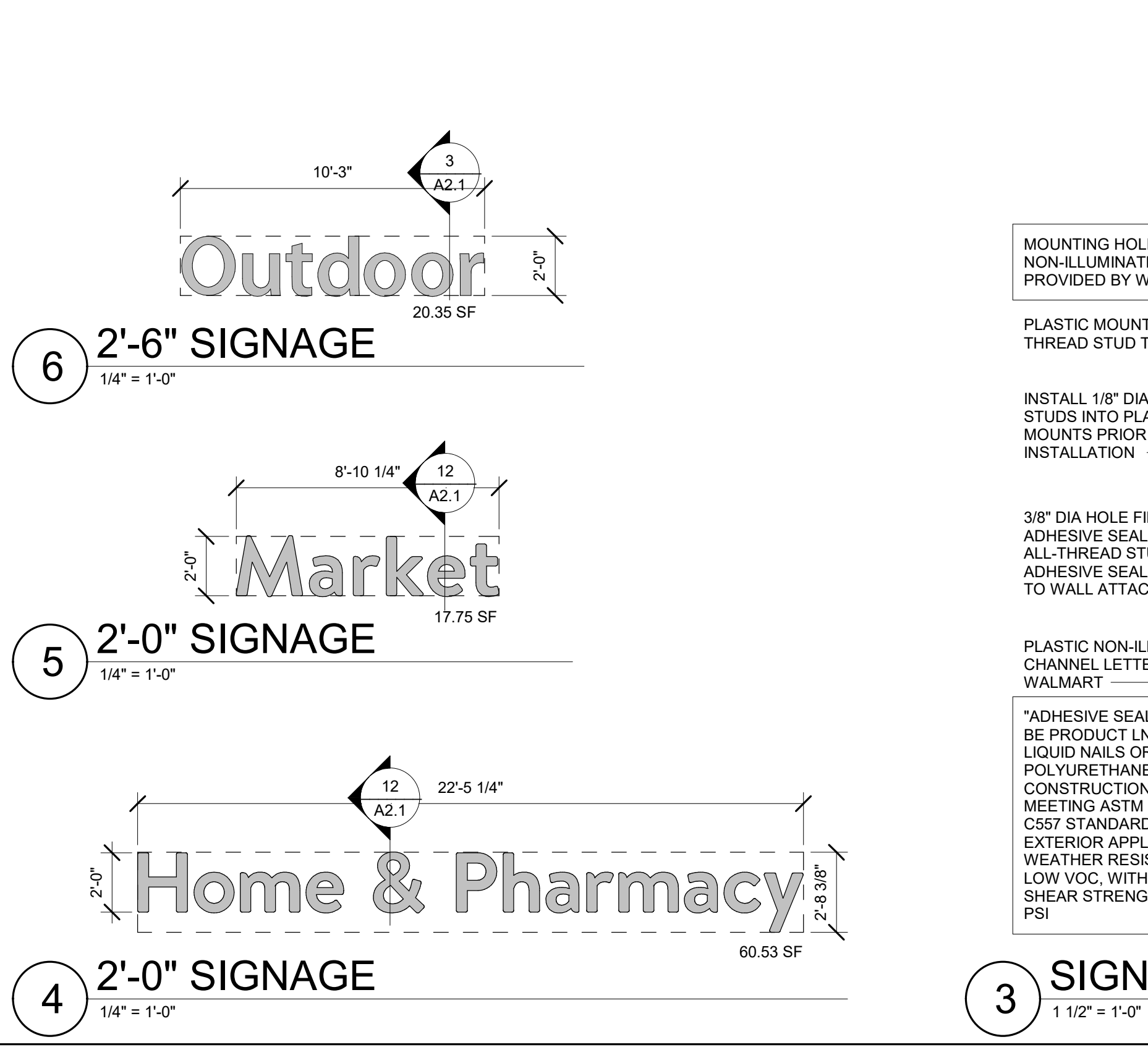
10 SIGNAGE ATTACHMENT (V1)
 1/12" = 1'-0"



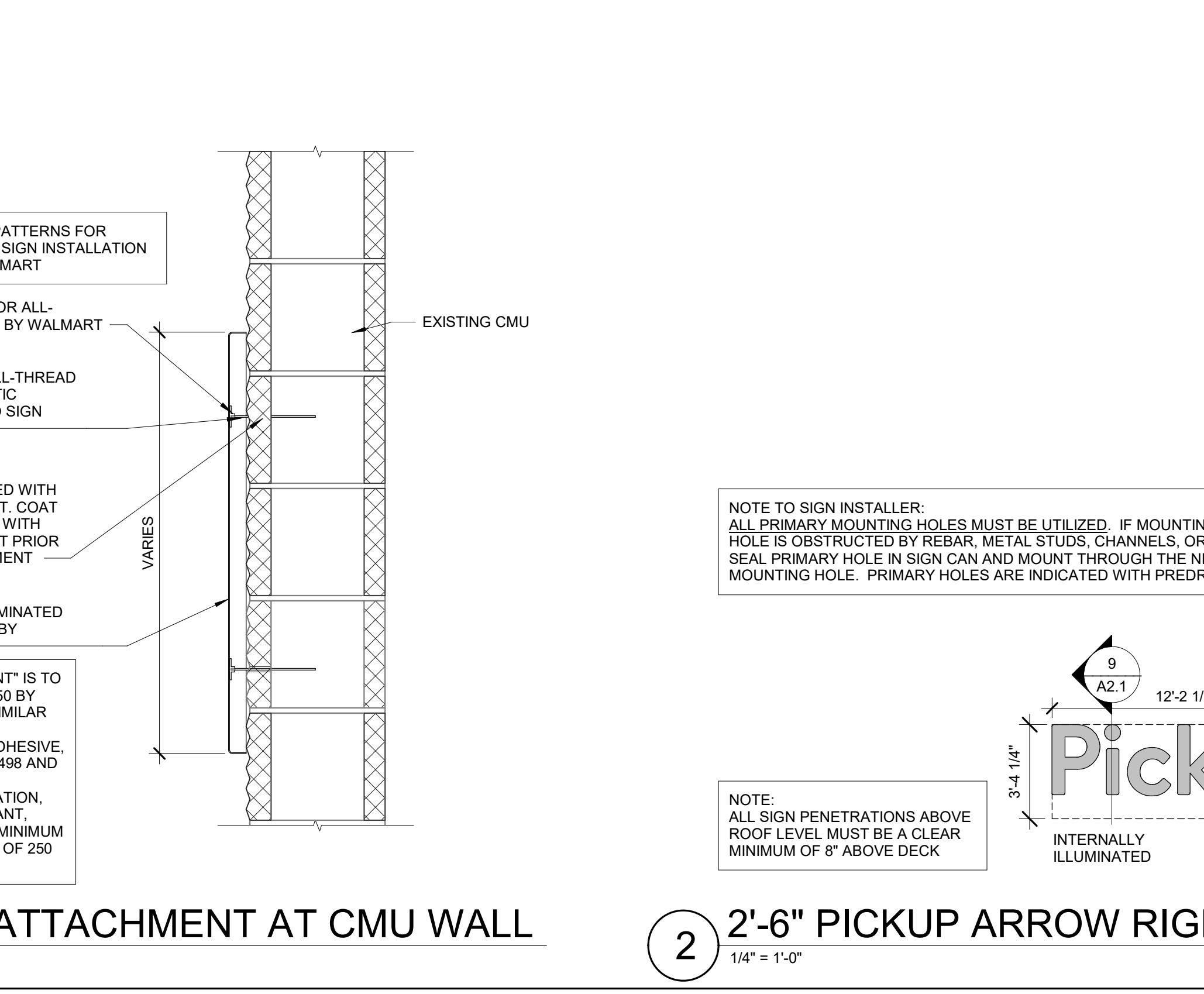
9 SIGNAGE ATTACHMENT
 1/12" = 1'-0"



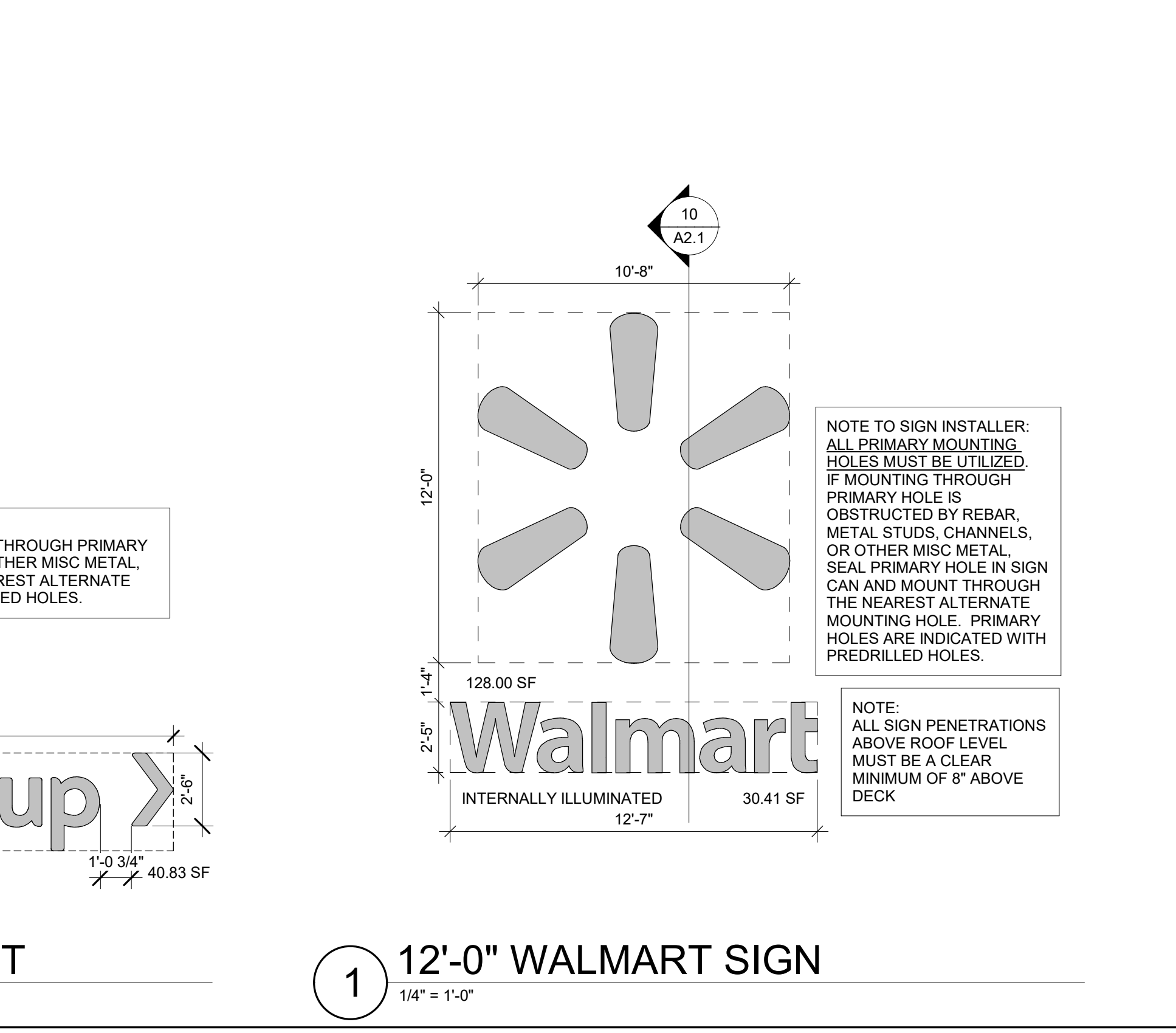
8 1'-0" SIGNAGE
 1/4" = 1'-0"



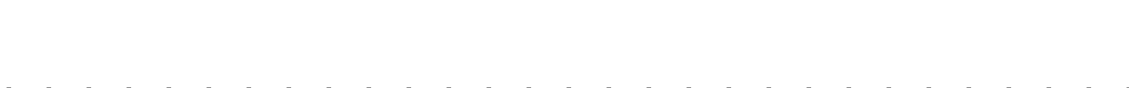
6 2'-6" SIGNAGE
 1/4" = 1'-0"



5 2'-0" SIGNAGE
 1/4" = 1'-0"



4 2'-0" SIGNAGE
 1/4" = 1'-0"



3 SIGN ATTACHMENT AT CMU WALL
 1 1/2" = 1'-0"



2 2'-6" PICKUP ARROW RIGHT
 1/4" = 1'-0"



1 12'-0" WALMART SIGN
 1/4" = 1'-0"

04/27/2022 10:02 AM
 C:\Users\trh\Documents\SGA Design Group\Projects\835-2775\835-2775.dwg

Site Data for Building Purposes

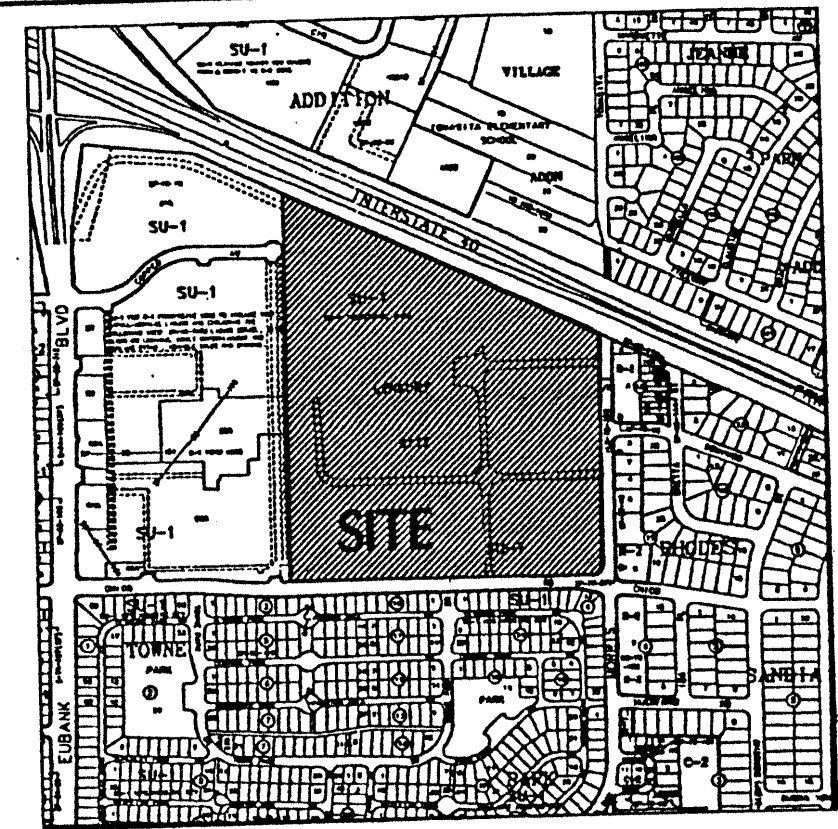
TOTAL LOT AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
HARD SURFACE AREA:	708,995 SF	75%
LANDSCAPED AREA:	138,389 SF	15%

LANDSCAPE AREA REQUIREMENTS		
NET LOT AREA:	(943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)	
LANDSCAPE REQUIREMENT (15%):	127,108 SF	
LANDSCAPE PROVIDED:	138,389 SF	

PROPOSED USE:	AMUSEMENT, MOVIE THEATRE
BUILDING AREAS:	55,600 SF
SEATING AREAS:	17,200 SF
SUPPORT AREAS:	18,700 SF
CIRCULATION SPACE:	
TOTAL NET AREA:	91,500 SF
TOTAL GROSS AREA:	96,000 SF

PARKING SPACES		
PARKING REQUIRED:	1 PER 4.0 SEATS (4850 SEATS) = 1213 SPACES	
PARKING PROVIDED:	1 PER 3.0 SEATS (4850 SEATS) = 1617 SPACES	
PARKING PROVIDED:	1 PER 3.3 SEATS (4850 SEATS) = 1461 SPACES	
H.C. PARKING REQUIRED:	25 SPACES	
H.C. PARKING PROVIDED:	27 SPACES	

BICYCLE PARKING		
PARKING REQUIRED:	1:20 REQUIRED FOR AUTOS = 75 SPACES	
PARKING PROVIDED:	84 SPACES	



Vicinity Map

K-21-Z
Keyed Notes for Building Purposes

- ASPHALT PAVING.
- 6" CURB TREE PLANTER, TYP.
- 6" WIDE CONCRETE SIDEWALK.
- CONCRETE PAVING.
- ENTRY.
- CUSTOMER REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7.
- LIGHT POLE, TYP, REFER TO ELEVATION 2, SHEET 7.
- NOT USED.
- 5' CLEAR SIGHT TRIANGLE, TYP.
- PEDESTRIAN CROSSING, SMOKE COLORED CONCRETE.
- H.C. ACCESSIBLE RAMP, TYP.
- LANDSCAPE AREA.
- BIKE RACK PARKING FOR 42 EACH SIDE, REFER TO ELEVATION 3, SHEET 7.
- 5'X20' TYPICAL STRIPED PARKING SPACE.
- BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
- PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
- SERVICE DELIVERY AREA.
- SPEED TABLES, TYP.
- BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
- 12" WIDE TREATED PEDESTRIAN WALK WITH PARKING AREA.
- CONCRETE PARKING STOPS, TYPICAL.
- WAY FINDING SIGNAGE VIA COPPER AVENUE.

General Notes for Building Purposes

- AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
- AREA LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1.000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

Legend

- 1" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- BUILDING MOUNTED SITE LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HSP FIXTURE @ 18" ABOVE GRADE.
- 12" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER:
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 16, 1998, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS AND RECREATION	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLN2 (10700) 4/98	

Facility Re-utilization:
501 Morris
Albuquerque, New Mexico
7/28/98

REVISOR: 10/7/98
REVISOR: 9/22/98
REVISOR: 9/16/98
REVISOR: 9/16/98
REVISOR: 1/25/99
REVISOR: 9/2/98
REVISOR: 12/29/98
REVISOR: 8/31/98

Site Plan

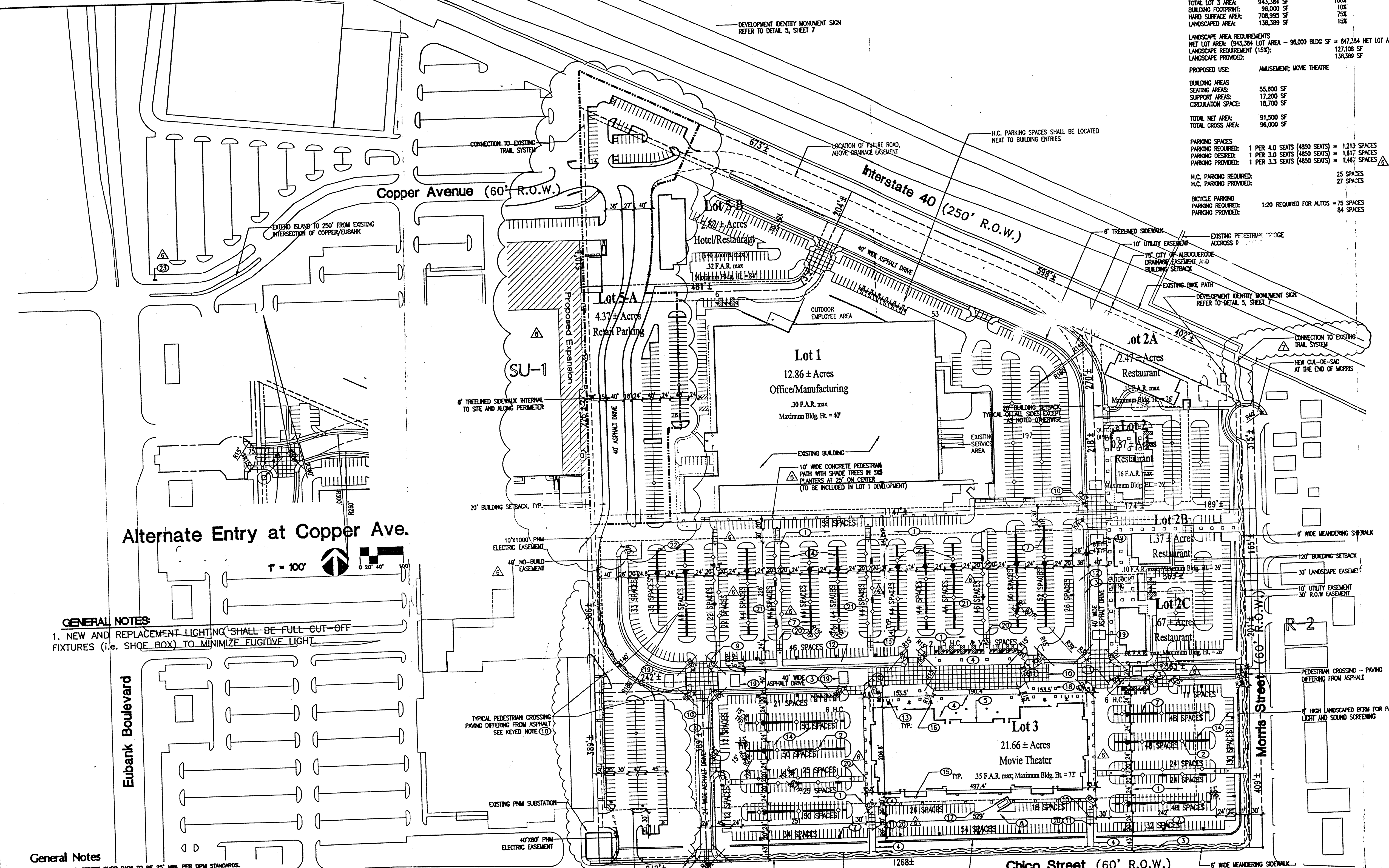
ENGINEER'S SEAL: RONALD R. BOHANNAN

501 MORRIS
ADMINISTRATIVE AMENDMENT

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY: JON
DATE: 09-19-00
AMENDMENT: DWG
SHEET #: 13
JOB #: 990029W

FOR REFERENCE ONLY



- GENERAL NOTES:**
- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT

- General Notes**
- ALL INTERNAL STREET CURBS SHALL BE 25" MIN. PER DPM STANDARDS.
 - DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
 - LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
 - ALL H.C. RAMPERS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
 - SHADDED 6" WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
 - RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
 - NO GENERAL BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
 - LANDSCAPE TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOWBOX FEATURE.
 - THERE SHALL BE 30' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
 - PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
 - LANDSCAPING SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
 - LANDSCAPING SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
 - AN 8' HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
 - NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
 - ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 3B, AND 3C SHALL HAVE LETTERS OF 3" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4" HIGH, MAX. BUILDING MOUNTED SIGNAGE OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
 - NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
 - BUILDING MOUNTED SIGNAGE SHALL NOT BE ALLOWED. (CONDITION 2)
 - OFF-ROAD LIGHTING OF MONUMENT SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
 - POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. (CONDITION 4)
 - CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 9)
 - BREEZING AREAS SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL, AT 400 SQUARE FEET (WITHIN EACH ESTABLISHMENT). (CONDITION 10)
 - MAXIMUM LETTER SIZE ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: PADS LESS THAN 10,000 SF 3" MAX; PADS GREATER THAN 10,000 SF 4" MAX.
 - WALL MOUNTED SIGNAGE SHALL BE LIMITED AS FOLLOWS: (CONDITION 8)
 - STREET TREES ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MAXIMUM S THE MAXIMUM PER THE DESIGNATED USE. (CONDITION 13)
 - THE PARKING ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MAXIMUM PER THE DESIGNATED USE. (CONDITION 14)
 - STREET TREES ALONG CHICO AND MORRIS SHALL BE SYCAMORES, 3 1/2" CALIPER, MIN. (CONDITION 14)
 - ALL H.V. LINES SHALL BE SCHEDULED WITH THE ENCLOSURE AT AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 15)
 - ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PADS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE AND DESIGN FEATURES. (CONDITION 15)
 - RESERVED THE DISPOSITION OF LOTS 3. (CONDITION 15)
 - LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
 - CONNECTION TO THE EXISTING BIKE TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

Legal Description
BEING A PART WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWNE PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REPLAT OF OF TOWNE PARK PLAZA ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40 ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning
TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept
THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

Land Utilization
LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE OR CONDITIONAL USES UNDER THE IP ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A FAR OF 0.19.

Lot Summary

Lot No.	Acres	Use	Building SF	F.A.R.	Bldg. Ht.	Min. Building Setbacks
North South East West						
1	12.86	OFFICE/MANUFACTURING	200,000	.36	40'	75' 20' 20' 20'
2	0.87	RESTAURANT	6,000	.16	26'	20' 20' 20' 20'
2A	2.47	RESTAURANT	12,000	.11	26'	75' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	.10	26'	20' 20' 120' 20'
2C	1.67	RESTAURANT	6,000	.08	26'	20' 20' 120' 20'
3	21.66	AMUSEMENT	36,000	.32	72'	20' 100' 20' 20'
3A	4.37	RETAIL PARKING	NONE	N/A	N/A	75' 20' 20' 20'
3B	2.82	HOTEL/RESTAURANT	39,000	.32	84'	75' 20' 20' 20'
TOTAL	48.09		365,000	.17		

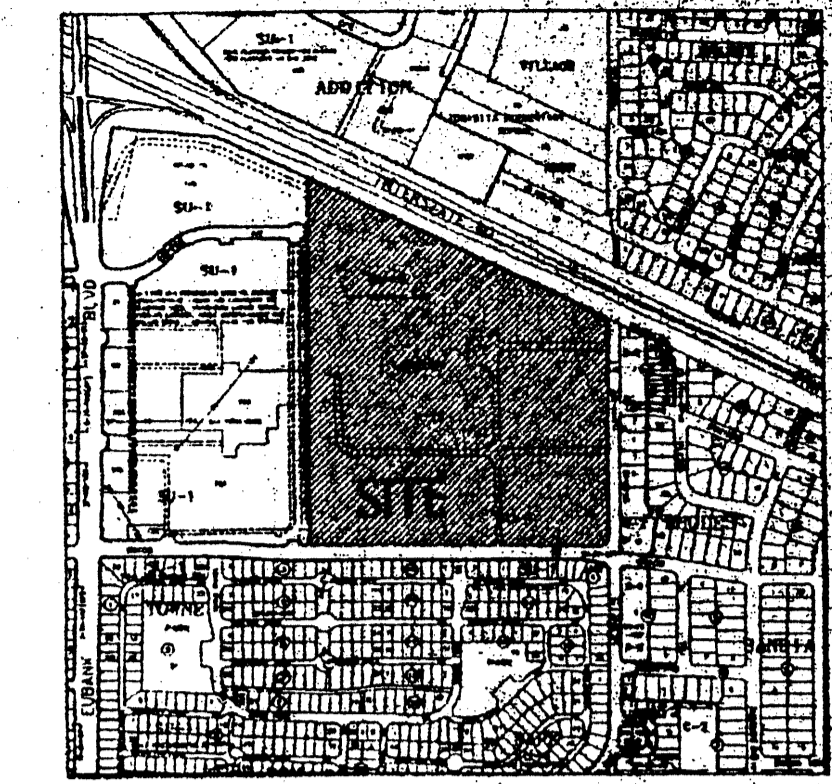
ISAACSON & ARPMAN, P.A.
Consulting Engineering Associates
Albuquerque, New Mexico

DRB Submittal for Case Z-98-114:
IP Master Plan/Site Plan for Subdivision

Copy for Applicant

Site Data for Building Purposes

TOTAL LOT AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	98,000 SF	10%
HARD SURFACE AREA:	708,990 SF	75%
LANDSCAPED AREA:	138,389 SF	15%
LANDSCAPE AREA REQUIREMENTS		
NET LOT AREA (943,384 LOT AREA - 98,000 BLDG SF = 845,384 NET LOT AREA)		
LANDSCAPE REQUIREMENT (15%):	127,108 SF	
LANDSCAPE PROVIDED:	138,389 SF	
PROPOSED USE: AMUSEMENT, MOVIE THEATRE		
BUILDING AREAS: 55,600 SF		
SEATING AREAS: 17,200 SF		
SUPPORT AREAS: 16,700 SF		
CIRCULATION SPACE: 91,500 SF		
TOTAL NET AREA: 91,500 SF		
TOTAL GROSS AREA: 98,000 SF		
PARKING SPACES:		
PARKING REQUIRED:	1 PER 4.0 SEATS (4550 SEATS) = 1,137 SPACES	
PARKING DESIRED:	1 PER 3.0 SEATS (4550 SEATS) = 1,517 SPACES	
PARKING PROVIDED:	1 PER 3.3 SEATS (4550 SEATS) = 1,467 SPACES	
H.C. PARKING REQUIRED: 26 SPACES		
H.C. PARKING PROVIDED: 27 SPACES		
BICYCLE PARKING:		
PARKING REQUIRED:	1:20 REQUIRED FOR AUTOS = 75 SPACES	
PARKING PROVIDED:	84 SPACES	



Vicinity Map
K-21-Z

Keyed Notes for Building Purposes

- ASPHALT PAVING
- 6" CURB TREE PLANTER, TYP.
- 6" WIDE CONCRETE SIDEWALK
- CONCRETE PAVING
- ENTRY
- EXTERIOR REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7
- LIGHT POLE, TYP., REFER TO ELEVATION 2, SHEET 7
- NOT USED
- 35' CLEAR SIGHT TRIANGLE, TYP.
- PEDESTRIAN CROSSING, SOBBET COLORED CONCRETE
- H.C. ACCESSIBLE RAMP, TYP.
- LANDSCAPE AREA
- BIKE BACK PARKING FOR #2 EACH SIDE, REFER TO ELEVATION 3, SHEET 7
- 8"x20" TYPICAL STRIPED PARKING SPACE
- BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET
- PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET
- SERVICE/DELIVERY AREA
- TREE GRATES
- SPEED TABLES, TYP.
- BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
- 12" WIDE TREE-LINED PEDESTRIANWAY WITH PARKING AREA
- CONCRETE PARKING STOPS, TYPICAL
- WAY FINDING SIGNAGE VIA COPPER AVENUE

General Notes for Building Purposes

- AREA LIGHTING INCLUDING PARKING AREA LIGHTING SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
- AREA LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINAIRE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINAIRE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN SHEET 4 FOR ALL PERFORMED UTILITY INFORMATION.

Legend

- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 2, SHEET 7
- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 1, SHEET 7
- BUILDING MOUNTED SITE LIGHTING, 15" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 1, SHEET 7
- 18" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 14" CUT OFF, FORWARD THROW 150W FUTURE, REFER TO ELEVATION 1, SHEET 7

CASE NUMBER: Z-98-114
THIS PLAN IS CONSIDERED TO BE THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE PROVISIONS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
DESIGN AND DEVELOPMENT, CIVIL	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMARC	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	DATE
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLAN# (1/17/98) 4/98	

FOR REFERENCE ONLY

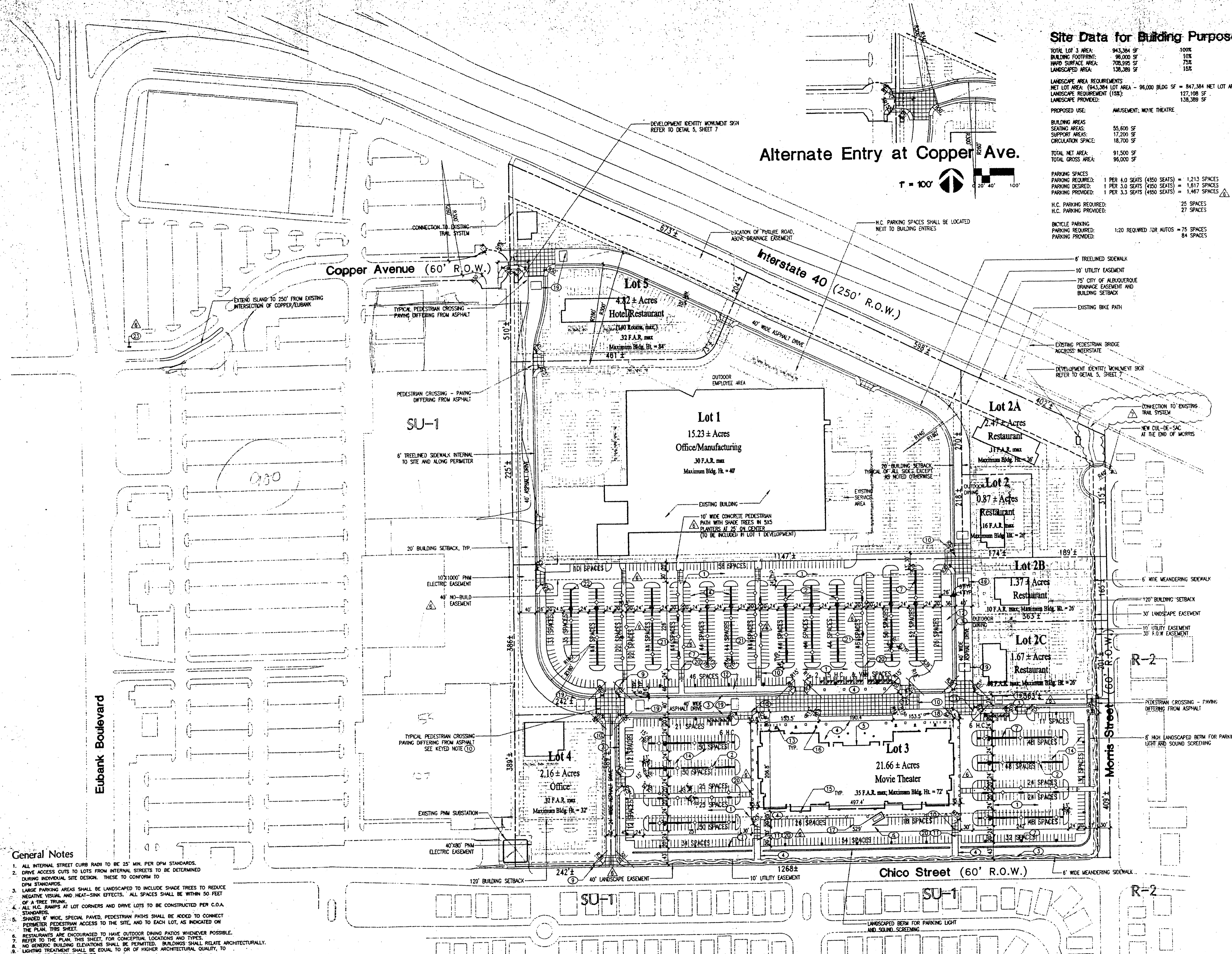
Facility Re-utilization
501 Morris
Albuquerque, New Mexico

7/28/98
Site Plan
 REVISED 10/7/98
 REVISED 9/22/98
 REVISED 9/16/98
 REVISED 11/25/99
 REVISED 12/29/99
 REVISED 8/31/98

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Avenue Street, N.E.
 Albuquerque, New Mexico

Dekker/Perich/Sabatini
 architecture • interiors • planning • engineering
 6801 Jefferson NE, Suite 100
 Albuquerque, NM 87109
 505 761-9700
 fax 761-4122

Alternate Entry at Copper Ave.



- General Notes**
- ALL INTERNAL STREET CURB RADIUS TO BE 25' MIN. PER OPM STANDARDS.
 - DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO OPM STANDARDS.
 - LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
 - ALL H.C. RAMPS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. SHADING 6" WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PERIMETER PEDESTRIAN ACCESS TO THE SITE AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
 - RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
 - NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
 - LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOWERBOX FIXTURE.
 - THERE SHALL BE 30' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
 - PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
 - SHOWING SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
 - NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
 - NO 8" HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
 - NO DRIVE-THRU RESTAURANTS WILL BE ALLOWED.
 - ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5B, AND 2C SHALL HAVE LETTERS OF 3" HIGH. MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 1 SHALL HAVE LETTERS OF 4" HIGH. MAX. THE MAXIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 3A, 2B, 2C, 4, AND 5.
 - NO DRIVE-THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
 - NO LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
 - NO DRIVE-THRU FACILITIES WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 13)
 - OFF-HOURS BILLBOARD SIGNS WILL NOT BE ALLOWED. (CONDITION 4)
 - ILLUMINATION (IF ANY) WILL BE INTERIOR-ORIENTED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 5)
 - ILLUMINATION SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET WITHIN EACH ESTABLISHMENT. (CONDITION 6)
 - MINIMUM LETTER SIZE OF SIGNAGE SHALL BE LIMITED AS FOLLOWS: POSIS LESS THAN 10,000 SF 3" HIGH. POSIS GREATER THAN 10,000 SF 4" HIGH.
 - BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 7)
 - THE SIGNAGE SHALL BE LIMITED TO THE MAXIMUM FROM THE DECORATED USE. (CONDITION 8)
 - STREET TREES ALONG CHICO AND MORRIS SHALL BE SPECIALLY 3 1/2" CALIPER, 10' MIN. (CONDITION 14)
 - ALL HVAC UNITS WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 15)
 - ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PAGES. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE SITE WITHIN THE DECORATED USE. (CONDITION 16)
 - LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT-OF-WAY (P.R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID PLANS.
 - CONNECTION TO THE EXISTING TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PAVING AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

Legal Description

BEMO A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWN PARK PLAZA AND BY TRACTS B-1-A, B-2-A AND B-3-A, REPLAT OF TOWN PARK PLAZA, ON THE NORTH BY THE SOUTHWEST RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40, ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Lot Summary

Lot No.	Acres	Use	Building GSF	F.A.R.*	Bldg. Ht.	Minimum Building Setbacks
						North South East West
1	15.23	OFFICE/MANUFACTURING	200,000	.30	40'	75' 20' 20' 20'
2	0.87	RESTAURANT	6,000	.16	26'	26' 20' 20' 20'
2A	2.47	RESTAURANT	12,000	.11	26'	26' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	.10	26'	26' 20' 120' 20'
2C	1.67	RESTAURANT	8,000	.08	26'	26' 20' 120' 20'
3	21.66	MANAGEMENT	96,000	.10	12'	40' 120' 120' 20'
4	2.16	OFFICE	30,000	.32	32'	20' 120' 20' 20'
5	4.82	HOTEL/RESTAURANT	98,000	.32	84'	75' 20' 20' 20'
Totals	50.28		424,000	.19		

*F.A.R. = FLOOR AREA RATIO

NOTE: BUILDING SQUARE FOOTAGES MAY BE HIGHER, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW.

Contents:

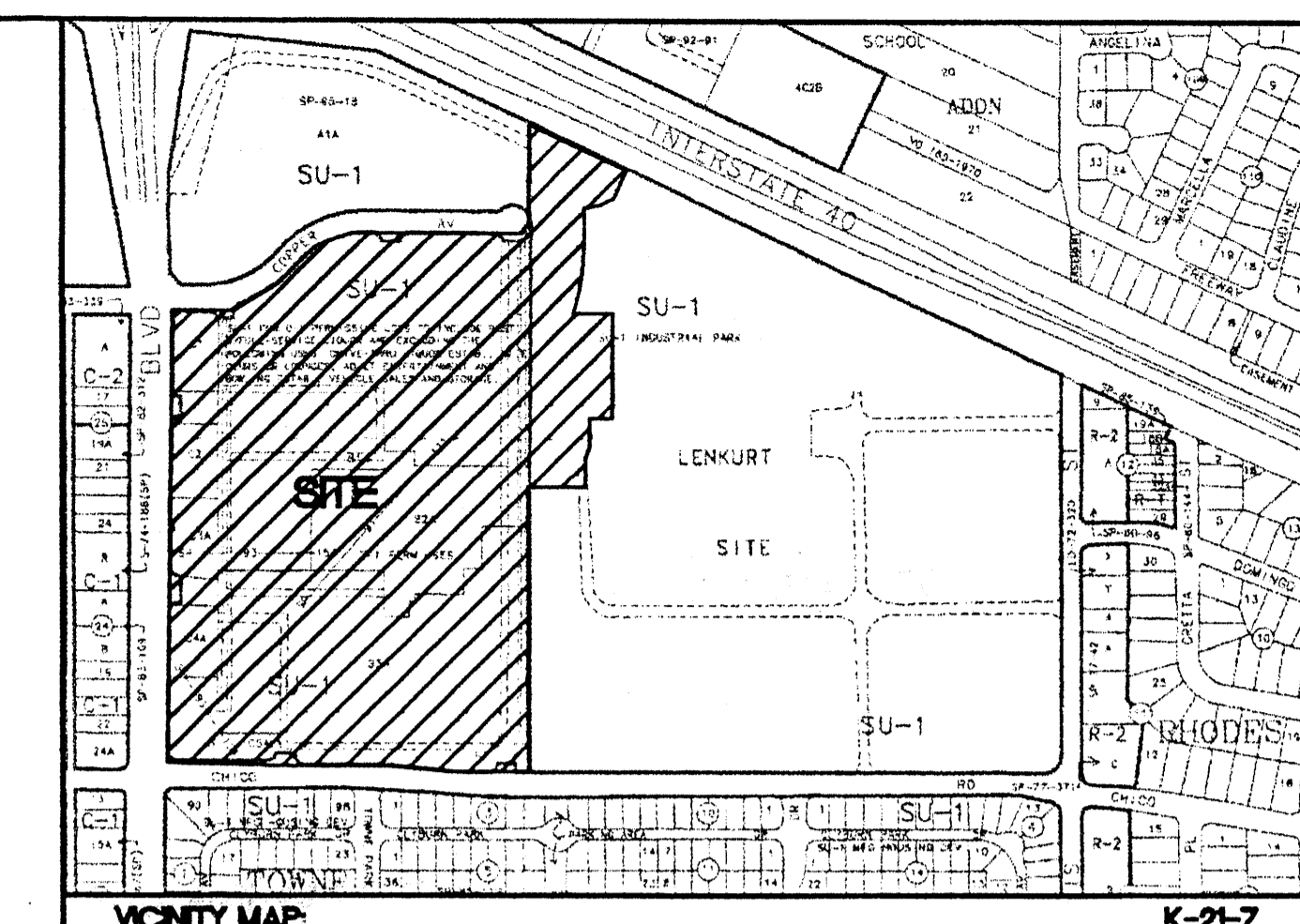
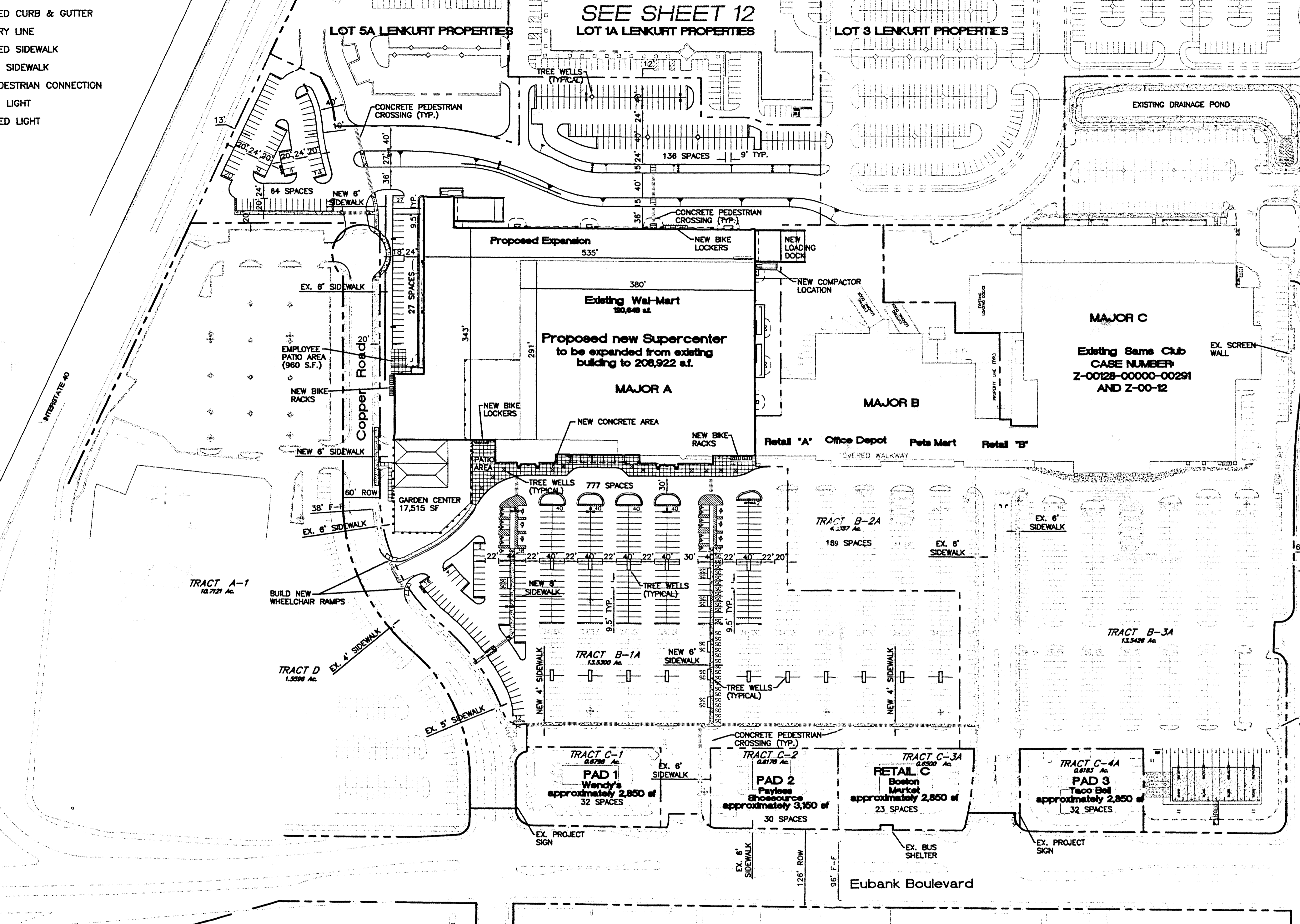
- Sheet 1 Site Development Plan for Subdivision
- Sheet 3 Landscaping Plan
- Sheet 4 Conceptual Grading and Drainage Plan
- Sheet 6 Master Utility Plan
- Sheet 8 Design Guidelines

DRB Submittal for Case Z-98-114:
IP Master Plan/Site Plan for Subdivision

LEGEND

	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	NEW PEDESTRIAN CONNECTION
	EXISTING LIGHT
	PROPOSED LIGHT

501 MORRIS SITE PLAN



- SITE PLAN NOTES**
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
 - CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF WAL-MART.
 - THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS, PORCH AND RAMP LOCATIONS.
 - GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS.
 - CONTRACTOR SHALL PROVIDE PIPE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES IN DRIVE AREA, AS WELL AS, TO PROTECT ALL ACCESSIBLE SIGNS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECS. FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE, SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS, COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF TIE-INS/ CONNECTIONS TO THEIR FACILITIES.
 - CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
 - CONTRACTOR SHALL TOUCH-UP PAINT ALL LIGHT POLE BASES, FIRE HYDRANTS, CART CORNERS, PIPE BOLLARDS, AND CURBS WHICH ARE CURRENTLY PAINTED. COST SHALL BE INCLUDED IN THE BASE BID.
 - SITING FOR THIS PROJECT SHALL MEET OR EXCEED THE "WAL-MART SITING SPECIFICATIONS".
 - CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES, AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.
 - CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
 - ALL PAINT USED FOR PARKING STRIPING SHALL BE PER WAL-MART SPECIFICATIONS.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 - DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO REFER TO LANDSCAPING AND IRRIGATION PLAN FOR RELOCATIONS, AND ADDITIONS TO SUCH.
 - EXISTING ACCESSIBLE PARKING SPACES TO BE REUSED WHEN POSSIBLE. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING SIGNS NEEDED. ALL ACCESSIBLE SIGNS SHALL BE BUILT INSIDE PIPE BOLLARD PER DETAIL LOCATED ON DETAIL SHEET.
 - EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
 - CONTRACTOR IS RESPONSIBLE FOR RELOCATING AND/OR PLACING PEDESTRIAN CROSSING SIGNS IN NEW LOCATION AS INDICATED ON PLANS. CONTRACTOR TO VERIFY EXACT NUMBER OF SIGNS REQUIRED.
 - ALL EXISTING PAINT STRIPING TO BE REMOVED FIRST. CONTRACTOR WILL THEN RESEAL THE PARKING LOT WITH AN APPROVED SEALER PER SPECIFICATION WHEN REQUIRED (COORDINATE WITH THE WAL-MART CONSTRUCTION MANAGER). THE PARKING LOT SHALL BE RESTRICTED WITH 2 FEET OF PAINT PER PLANS AND SPECIFICATIONS. THIS WORK MUST BE COORDINATED WITH THE CONSTRUCTION MANAGER. THE PARKING LOT MUST BE DONE IN SECTIONS SO THAT IT DOES NOT INTERRUPT THE STORE OPERATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
 - REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL ROUTING.
 - ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
 - NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
 - INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
 - BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE.
 - EXISTING BUS ROUTE IS ON EUBANK BOULEVARD AND NOT ON SITE.

EXISTING SITE DATA

TRACT	LOT AREA	USE	BUILDING AREA	F.A.R.	PARKING REQUIRED*	MINUS 10% BUS CREDIT	MINUS 5% BUS SHELTER	PARKING PROVIDED	MAX. BLDG. HEIGHT	MIN. BLDG. SETBACK
B-1A	13.5432 Ac.	WAL-MART	116,097 SF	0.1968	580 (16 HANDICAP)	522	493	908 (20 HANDICAP)	40.0'	15.0'
B-2A	4.0387 Ac.	RETAIL SHOPS	49,920 SF	0.2838	250 (8 HANDICAP)	225	212	250 (8 HANDICAP)	40.0'	15.0'
B-3A	13.2455 Ac.	SAM'S CLUB	136,082 SF	0.2359	681 (16 HANDICAP)	613	579	680 (16 HANDICAP)	40.0'	15.0'
C-1	0.6798 Ac.	WENDY'S	2,850 SF	0.0962	26 (2 HANDICAP)	23	22	32 (2 HANDICAP)	40.0'	15.0'
C-2	0.6178 Ac.	PAYLESS	3,150 SF	0.1171	16 (1 HANDICAP)	14	13	30 (2 HANDICAP)	40.0'	15.0'
C-3A	0.6500 Ac.	BOSTON MARKET	2,850 SF	0.1007	19 (1 HANDICAP)	17	16	23 (2 HANDICAP)	40.0'	15.0'
C-4A	0.6183 Ac.	TACO BELL	2,850 SF	0.1058	20 (1 HANDICAP)	18	17	32 (2 HANDICAP)	40.0'	15.0'
OVERALL	33.3933 Ac.	SHOPPING CENTER	313,799 SF	0.2157	1,592 (45 HANDICAP)	1,432	1,352	1,955 (52 HANDICAP)	40.0'	15.0'

SITE DATA W/ WAL-MART EXPANSION

TRACT	LOT AREA	USE	BUILDING AREA	F.A.R.	PARKING REQUIRED*	MINUS 10% BUS CREDIT	MINUS 5% BUS SHELTER	PARKING PROVIDED	MAX. BLDG. HEIGHT	MIN. BLDG. SETBACK
B-1A	17.9181 Ac.	SUPER WAL-MART	221,665 SF	0.2840	1,108 (20 HANDICAP)	997	942	1,005 (20 HANDICAP)	40.0'	15.0'
B-2A	4.0387 Ac.	RETAIL SHOPS	49,920 SF	0.2838	250 (8 HANDICAP)	225	212	250 (8 HANDICAP)	40.0'	15.0'
B-3A	13.2455 Ac.	SAM'S CLUB	136,082 SF	0.2359	681 (16 HANDICAP)	613	579	680 (16 HANDICAP)	40.0'	15.0'
C-1	0.6798 Ac.	WENDY'S	2,850 SF	0.0962	26 (2 HANDICAP)	23	22	32 (2 HANDICAP)	40.0'	15.0'
C-2	0.6178 Ac.	PAYLESS	3,150 SF	0.1171	16 (1 HANDICAP)	14	13	30 (2 HANDICAP)	40.0'	15.0'
C-3A	0.6500 Ac.	BOSTON MARKET	2,850 SF	0.1007	19 (1 HANDICAP)	17	16	23 (2 HANDICAP)	40.0'	15.0'
C-4A	0.6183 Ac.	TACO BELL	2,850 SF	0.1058	20 (1 HANDICAP)	18	17	32 (2 HANDICAP)	40.0'	15.0'
OVERALL	37.7682 Ac.	SHOPPING CENTER	419,357 SF	0.2549	2,120 (49 HANDICAP)	1,907	1,801	2,052 (52 HANDICAP)	40.0'	15.0'

* PARKING CALCULATIONS
 RETAIL STORES: 1 SPACE PER 200 SF OF LEASEABLE AREA.
 RESTAURANTS: WENDY'S: 104 SEATS / 4 PEOPLE PER CAR.
 BOSTON MARKET: 76 SEATS / 4 PEOPLE PER CAR.
 TACO BELL: 80 SEATS / 4 PEOPLE PER CAR.

- SHEET INDEX**
- AMENDED SITE PLAN FOR SUBMISSION FOR TOWN PARK PLAZA
 - APPROVED AMENDED SITE PLAN FOR SUBMISSION FOR TOWN PARK PLAZA (PROJECT #1000317) (FOR REFERENCE ONLY)
 - SITE PLAN FOR BUILDING PERMIT (WAL-MART EXPANSION)
 - LANDSCAPING PLAN
 - GRADING AND DRAINAGE PLAN SHEET "A"
 - GRADING AND DRAINAGE PLAN SHEET "B"
 - DETAIL SHEET
 - MASTER UTILITY PLAN SHEET "A"
 - MASTER UTILITY PLAN SHEET "B"
 - BUILDING ELEVATIONS
 - SIGNAGE ELEVATIONS
 - GARDEN CENTER ELEVATIONS
 - 501 MORRIS
 - AMENDED SITE PLAN FOR SUBMISSION FOR LENKURT PROPERTIES
 - APPROVED SITE PLAN FOR SUBMISSION FOR LENKURT PROPERTIES (Z-90-21-2) (FOR REFERENCE ONLY)

EPC 00128-00000-01182

PROJECT NUMBER: 0156-00000-01029

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 08/14/2000 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

<i>[Signature]</i>	Date
Traffic Engineer, Transportation Division	6/3/01
<i>[Signature]</i>	Date
Director, Parks & Recreation Services Department	6/13/01
<i>[Signature]</i>	Date
Public Works, Water Utilities Division	6/13/01
<i>[Signature]</i>	Date
City Engineer, Engineering Division / AMAFCA	8-28-01
<i>[Signature]</i>	Date
Solid Waste	8-16-01
<i>[Signature]</i>	Date
City Planner, Albuquerque / Demingville	9/10/01
City Planning Division	

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

PLNZ (10706) 4/96

PROJECT 1600508

DR B PROJ 1000508

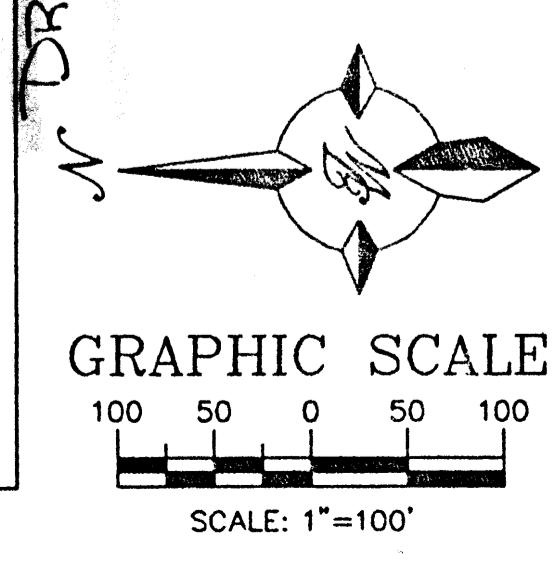
LEGAL DESCRIPTION

TRACTS A-1, B-1A, B-2A, B-3A C-1A, C-2A, C-3A, C-4A AND TRACT D OF TOWNE PARKE PLAZA

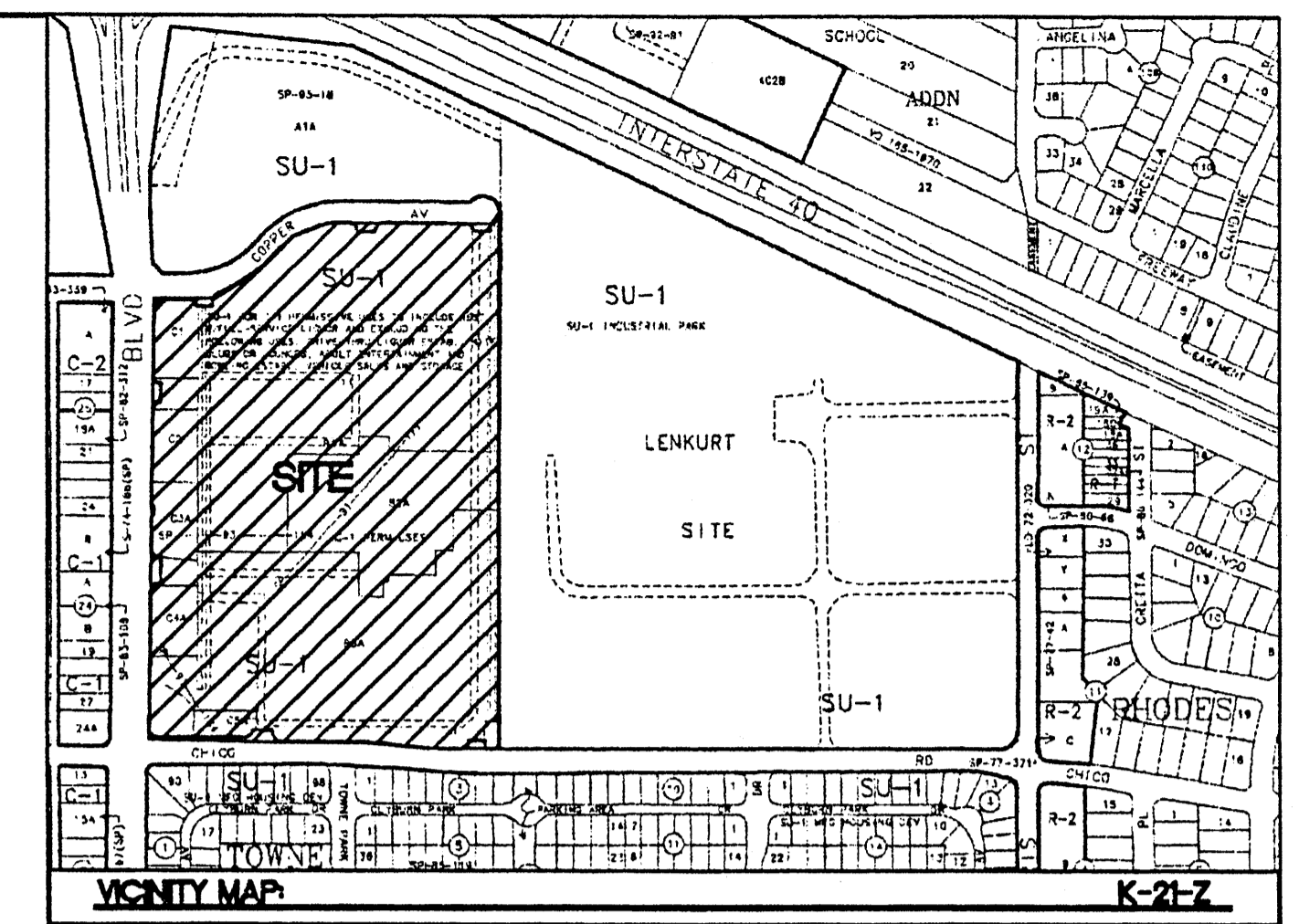
ZONING

SU-1 FOR C-1 PERMISSIVE USES TO INCLUDE RESTAURANT WITH FULL SERVICE LIQUOR AND EXCLUDING THE FOLLOWING USES: DRIVE-THRU LIQUOR ESTABLISHMENTS, NIGHT CLUBS OR LOUNGES, ADULT ENTERTAINMENT ESTABLISHMENTS, AND VEHICLE SALES AND STORAGE.

ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION	DRAWN BY JDN
	AMENDED SITE PLAN FOR SUBDIVISION	DATE 06-08-01
	TERRA WEST, LLC	9929WSPS1.DWG
	8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)958-3100	SHEET # 1
	RONALD R. BOHANNAN P.E. #7868	JOB # 990029W



FUTURE DEVELOPMENT BY OTHERS



VICINITY MAP
K-21-Z

LEGAL DESCRIPTION:
TRACT B-3A LENKURT SITE

PROPOSED SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	11.0837 ACRE
EXISTING LOT AREA:	11.0837 AC
LOT 4 EXPANSION:	2.1618 AC
TOTAL LOT AREA:	13.2455 AC
BUILDING AREA:	111,434 SF
EXISTING BUILDING:	21,758 SF
PROPOSED BUILDING EXPANSION:	136,082 SF
TOTAL BUILDING AREA:	157,840 SF
PARKING REQUIRED W/EXPANSION	680 SPACES
PARKING LOST DUE TO EXP. & GAS STATION	151 SPACES
NEW PARKING PROVIDED	154 SPACES
TOTAL PARKING PROVIDED IN BACK	121 SPACES
TOTAL PARKING PROVIDED ON SIDES	46 SPACES
TOTAL PARKING PROVIDED IN FRONT	516 SPACES
TOTAL PARKING PROVIDED	680 SPACES
HC PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	16 SPACES
	2 SPACES VAN ACCESSIBLE

SHOPPING CENTER PARKING RATIO

	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
SAM'S CLUB w/EXP. & GAS STATION	683	128,612 SF	5.31
EXISTING SAM'S CLUB	702	107,927 SF	6.50

GENERAL NOTES:
1. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.

PROJECT #1000319
CASE NUMBER: Z-00128-00000-00291 AND Z-00-12

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 7-19-00 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

<i>[Signature]</i>	7-19-00
Traffic Engineer, Transportation Division	Date
<i>[Signature]</i>	7-19-00
Parks & General Services Department	Date
<i>[Signature]</i>	7-19-00
Public Works, Water Utilities Division	Date
<i>[Signature]</i>	1/19/01
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

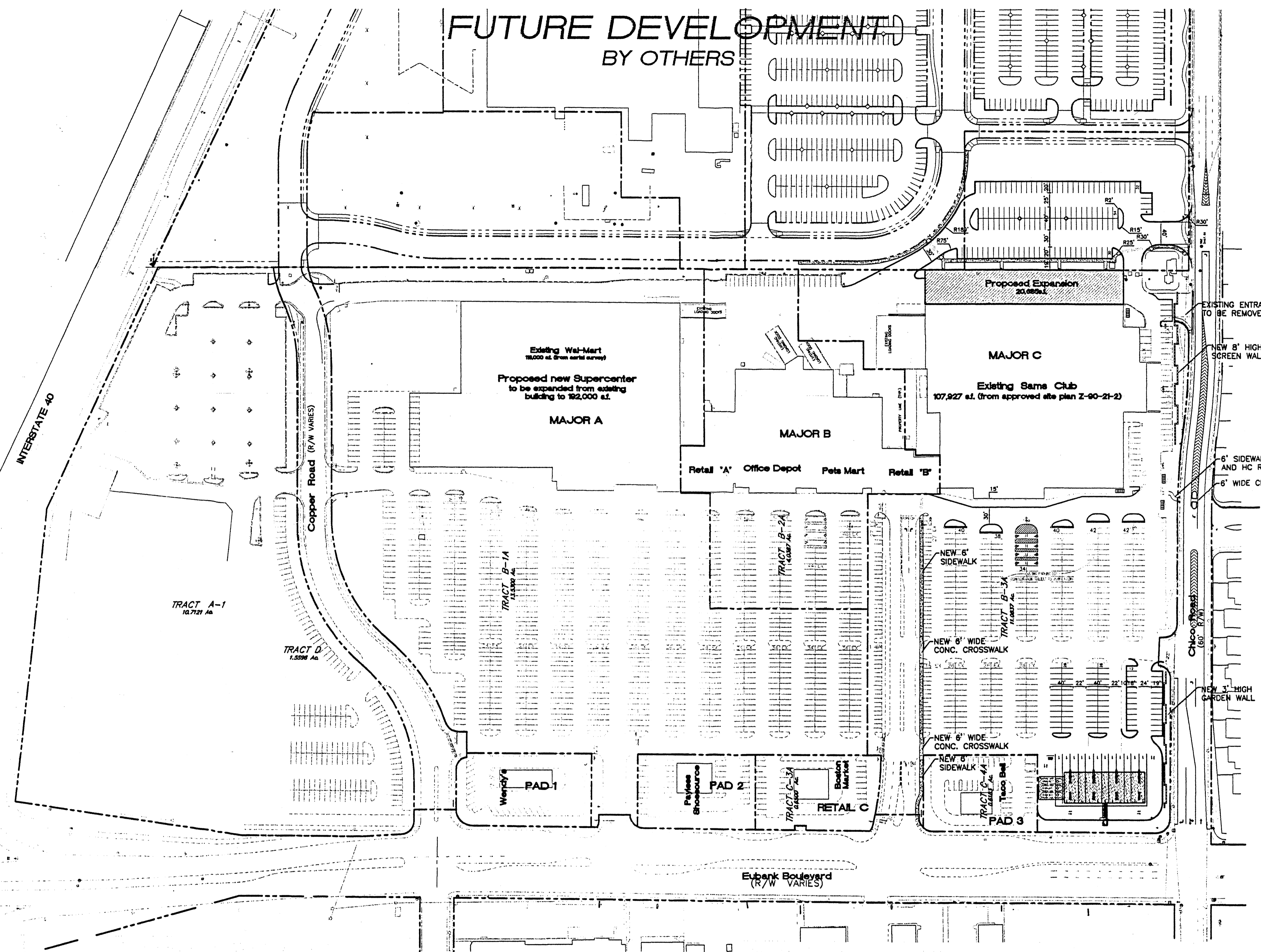
<i>[Signature]</i>	1/22/01
City Planner, Albuquerque / Bernalillo County Planning Division	Date
<i>[Signature]</i>	12-12-00
Solid Waste	Date

PLNZ (10706) 4/96

FOR REFERENCE ONLY

ENGINEER'S SEAL	ALBUQUERQUE SAM'S EXPANSION AND GAS STATION	DRAWN BY BDG
<i>[Signature]</i>		DATE
		7-07-00
		9929SPS.DWG
		SHEET #
		2
		JOB #
		990029

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

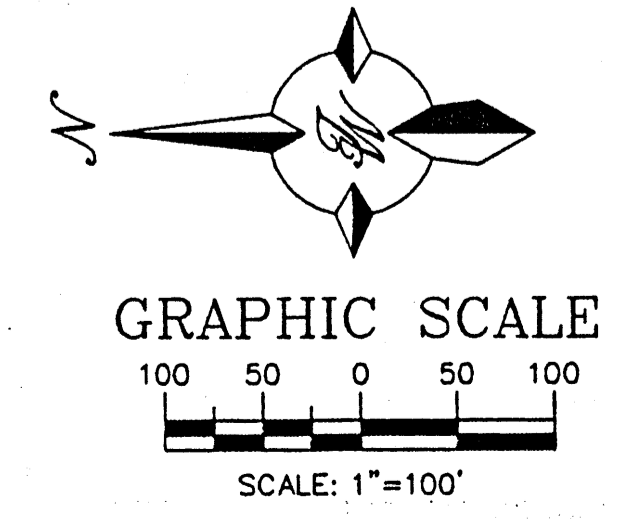


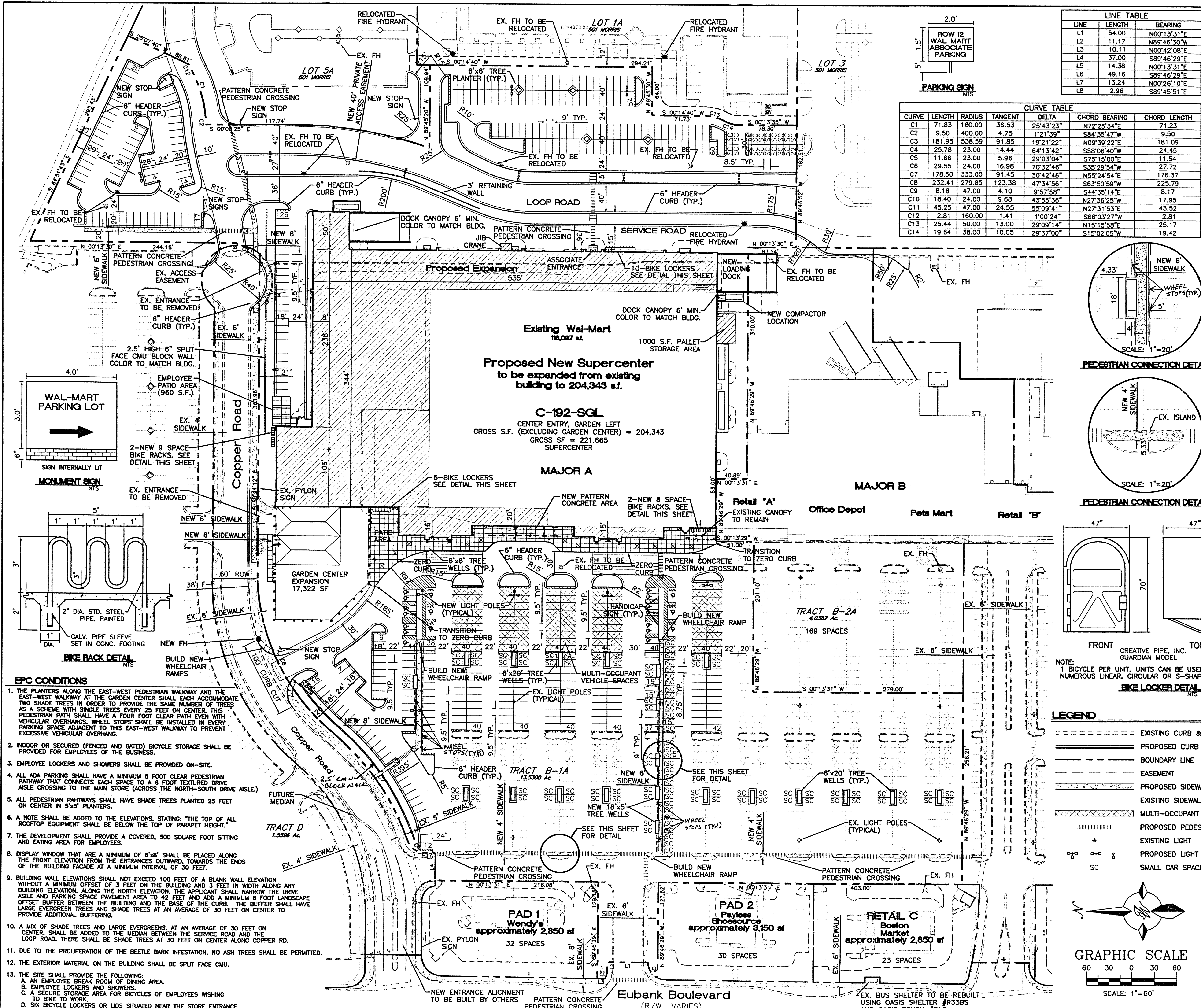
EXISTING PARKING DATA (from approved site plan Z-90-21-2)

	BUILDING SIZE	PARKING REQUIRED *	PARKING PROVIDED
MAJOR A	120,643	603	921
MAJOR B	49,920	250	203
MAJOR C	107,927	540	702
RETAIL A	6,240	32	0
RETAIL B	7,727	39	0
RETAIL C	8,000	40	130
PAD 1-4	28,500	143	
TOTAL	328,957	1645	1956
OVERALL RATIO:		5.01:1	5.951
MAJOR C EXPANSION	20,685	103	43
TOTAL	349,642	1748	1999
OVERALL RATIO W/EXPANSIONS:			5.72

* CALCULATED AT 1 PARKING SPACE PER 200 SF OF LEASEABLE SPACE.

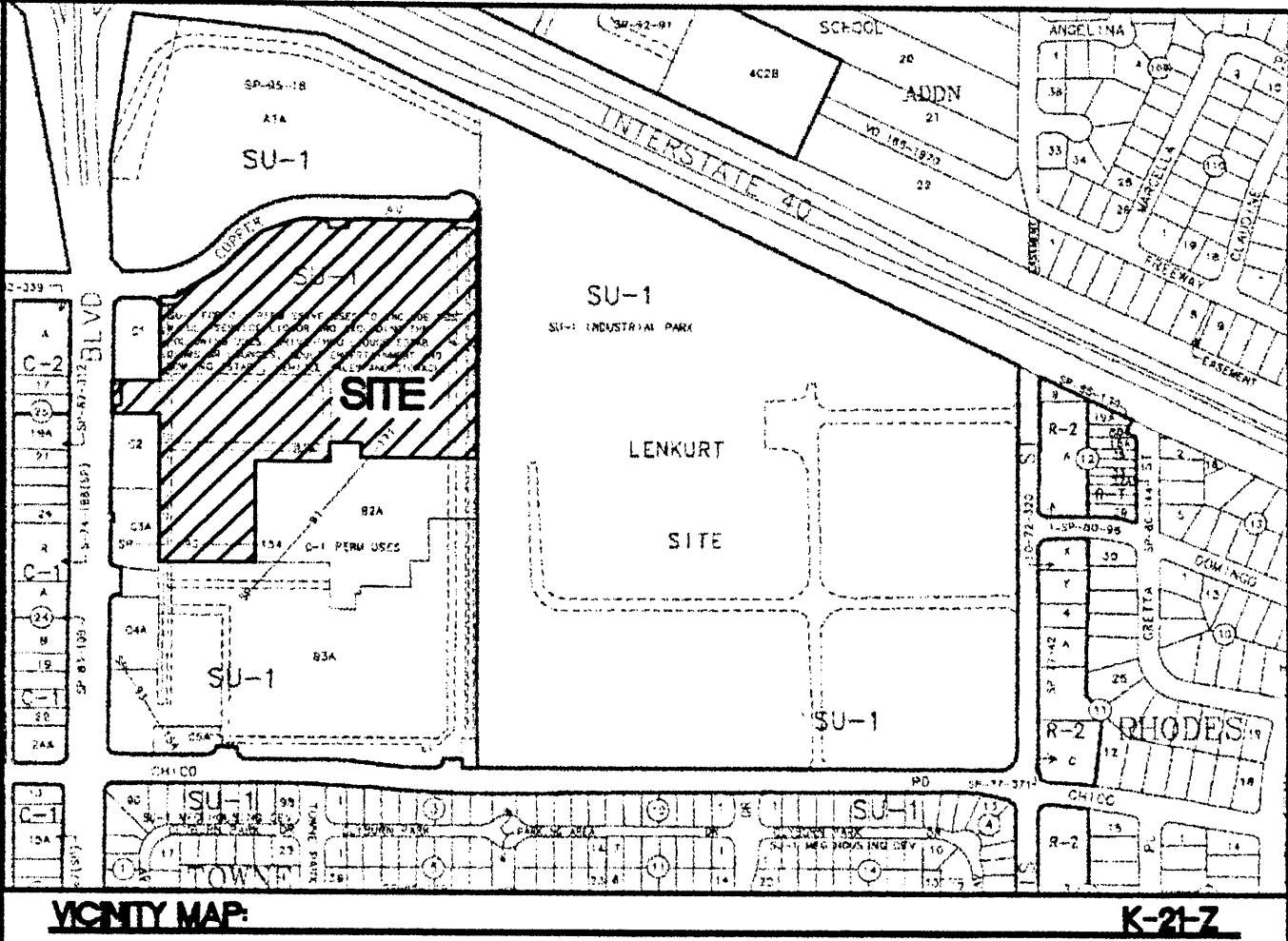
- SHEET INDEX**
- TOWN PARK PLAZA**
1. AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA
 2. APPROVED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA (Z-90-21-2) (FOR REFERENCE ONLY)
 3. SITE PLAN FOR BUILDING PERMIT (SAM'S CLUB EXPANSION)
 4. LANDSCAPING PLAN
 5. MASTER UTILITY PLAN
 6. GRADING AND DRAINAGE PLAN
 7. BUILDING ELEVATIONS
- 501 MORRIS**
8. AMENDED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS
 9. APPROVED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS (Z-90-21-2) (FOR REFERENCE ONLY)
- SERVICE STATION**
10. SITE PLAN FOR BUILDING PERMIT
 11. GRADING AND DRAINAGE PLAN
 12. ELEVATIONS





LINE	LENGTH	BEARING
L1	54.00	N00°13'31"E
L2	11.17	N89°46'30"W
L3	10.11	N00°42'08"E
L4	37.00	S89°46'29"E
L5	14.38	N00°13'31"E
L6	49.16	S89°46'29"E
L7	13.24	N00°26'10"E
L8	2.96	S89°45'51"E

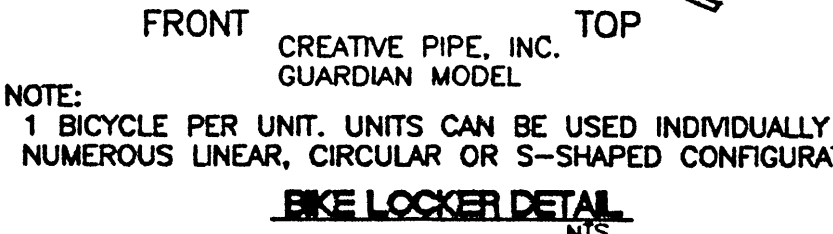
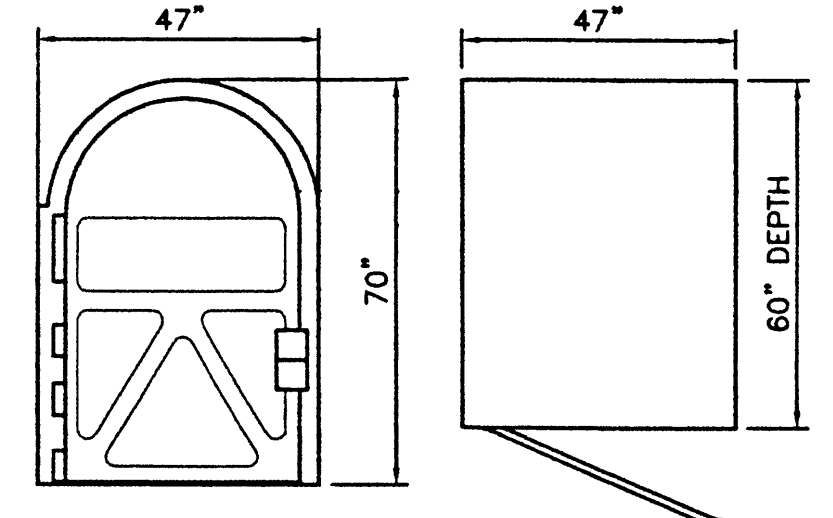
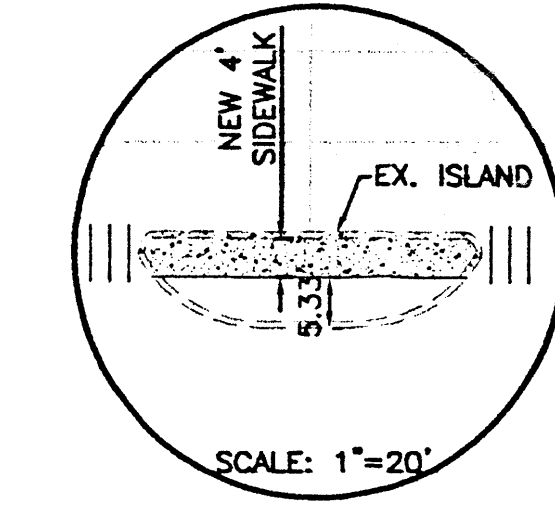
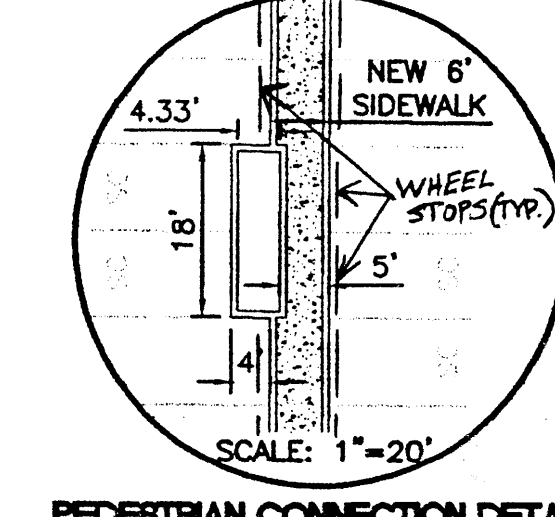
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	71.83	160.00	36.53	25°43'23"	N72°25'34"E	71.23
C2	9.50	400.00	4.75	1°21'39"	S84°35'47"W	9.50
C3	181.95	538.59	91.85	16°21'22"	N09°39'22"E	181.09
C4	25.78	23.00	14.44	64°13'42"	S75°08'40"W	24.45
C5	11.66	23.00	5.96	29°03'04"	S75°28'54"W	11.54
C6	29.55	24.00	16.98	70°32'46"	N55°24'54"E	27.72
C7	178.50	333.00	91.45	30°42'46"	S63°50'59"W	176.37
C8	232.41	279.85	123.38	47°34'56"	S44°35'14"E	225.79
C9	8.18	47.00	4.10	9°57'58"	N27°36'25"W	8.17
C10	18.40	24.00	9.68	43°55'36"	N27°31'53"E	17.95
C11	45.25	47.00	24.55	55°09'41"	S66°03'27"W	43.52
C12	2.81	160.00	1.41	1°00'24"	N15°15'58"E	2.81
C13	25.44	50.00	13.00	29°09'14"	S15°02'05"W	25.17
C14	19.64	38.00	10.05	29°37'00"		19.42



LEGAL DESCRIPTION
TRACT B-1A TOWN PARKE PLAZA

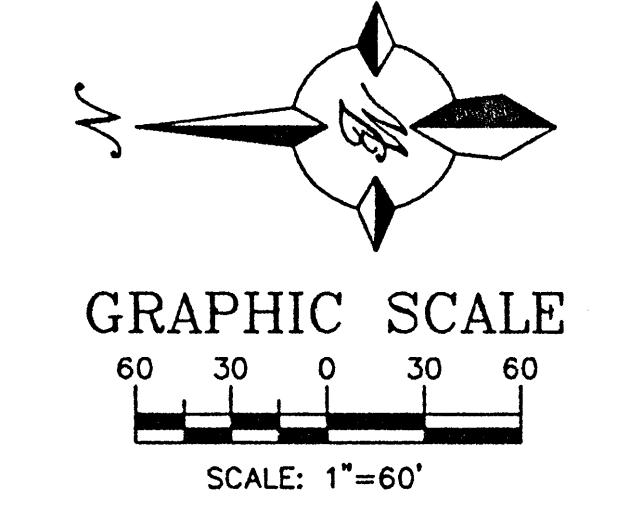
PROPOSED SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	
EXISTING LOT AREA:	13,5432 AC
LOTS 1 & 5 EXPANSION:	4,3749 AC
TOTAL LOT AREA:	17,9181 AC
BUILDING AREA:	
EXISTING BUILDING:	116,097 SF
PROPOSED BUILDING EXPANSION:	88,246 SF
PROPOSED GARDEN CENTER BUILDING:	17,322 SF
TOTAL BUILDING AREA:	221,665 SF
FLOOR AREA RATIO:	
EXISTING BUILDING:	0.20
WITH PROPOSED BUILDING EXPANSION:	0.28
PARKING CALCULATIONS:	
PARKING REQUIRED FOR EX. BUILDING:	580 SPACES
10% BUS CREDIT:	-58 SPACES
5% EXISTING BUS SHELTER:	-29 SPACES
TOTAL PARKING REQUIRED:	493 SPACES
TOTAL PARKING PROVIDED FOR EX. BUILDING:	908 SPACES
PARKING REQUIRED FOR BUILDING W/ EXPANSIONS:	1108 SPACES
10% BUS CREDIT:	-111 SPACES
5% EXISTING BUS SHELTER:	-55 SPACES
TOTAL PARKING REQUIRED:	942 SPACES
TOTAL PARKING PROVIDED FOR BLDG. W/ EXP.:	1005 SPACES
HC PARKING REQUIRED:	20 SPACES
HC PARKING PROVIDED:	20 SPACES
BIKE SPACE CALCULATIONS:	
SPACES REQUIRED (CAR SPACES/20):	50 SPACES
SPACES PROVIDED:	50 SPACES



LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- MULTI-OCCUPANT VEHICLE SPACES
- PROPOSED PEDESTRIAN CONNECTION
- EXISTING LIGHT
- PROPOSED LIGHT
- SMALL CAR SPACE



- EPC CONDITIONS**
- THE PLANTERS ALONG THE EAST-WEST PEDESTRIAN WALKWAY AND THE EAST-WEST WALKWAY AT THE GARDEN CENTER SHALL EACH ACCOMMODATE TWO SHADE TREES IN ORDER TO PROVIDE THE SAME NUMBER OF TREES AS A SCHEME WITH SINGLE TREES EVERY 25 FEET ON CENTER. THIS PEDESTRIAN PATH SHALL HAVE A FOUR FOOT CLEAR PATH EVEN WITH VEHICULAR OVERHANGS. WHEEL STOPS SHALL BE INSTALLED IN EVERY PARKING SPACE ADJACENT TO THIS EAST-WEST WALKWAY TO PREVENT EXCESSIVE VEHICULAR OVERHANG.
 - INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
 - EMPLOYEE LOCKERS AND SHOWERS SHALL BE PROVIDED ON-SITE.
 - ALL ADA PARKING SHALL HAVE A MINIMUM 8 FOOT CLEAR PEDESTRIAN PATHWAY THAT CONNECTS EACH SPACE TO A 8 FOOT TEXTURED DRIVE AISLE CROSSING TO THE MAIN STORE (ACROSS THE NORTH-SOUTH DRIVE AISLE).
 - ALL PEDESTRIAN PATHWAYS SHALL HAVE SHADE TREES PLANTED 25 FEET ON CENTER IN 5'x5' PLANTERS.
 - A NOTE SHALL BE ADDED TO THE ELEVATIONS, STATING: "THE TOP OF ALL ROOF TOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET HEIGHT."
 - THE DEVELOPMENT SHALL PROVIDE A COVERED, 500 SQUARE FOOT SITTING AND EATING AREA FOR EMPLOYEES.
 - DISPLAY WINDOW THAT ARE A MINIMUM OF 6'x8' SHALL BE PLACED ALONG THE FRONT ELEVATION FROM THE ENTRANCES OUTWARD, TOWARDS THE ENDS OF THE BUILDING FACADE AT A MINIMUM INTERVAL OF 30 FEET.
 - BUILDING WALL ELEVATIONS SHALL NOT EXCEED 100 FEET OF A BLANK WALL ELEVATION WITHOUT A MINIMUM OFFSET OF 3 FEET ON THE BUILDING AND 3 FEET IN WIDTH ALONG ANY BUILDING ELEVATION. ALONG THE NORTH ELEVATION, THE APPLICANT SHALL NARROW THE DRIVE AISLE AND PARKING SPACE PAVEMENT AREA TO 42 FEET AND ADD A MINIMUM 8 FOOT LANDSCAPE OFFSET BUFFER BETWEEN THE BUILDING AND THE BASE OF THE CURB. THE BUFFER SHALL HAVE LARGE EVERGREEN TREES AND SHADE TREES AT AN AVERAGE OF 30 FEET ON CENTER TO PROVIDE ADDITIONAL BUFFERING.
 - A MIX OF SHADE TREES AND LARGE EVERGREENS, AT AN AVERAGE OF 30 FEET ON CENTER, SHALL BE ADDED TO THE MEDIAN BETWEEN THE SERVICE ROAD AND THE LOOP ROAD, THERE SHALL BE SHADE TREES AT 30 FEET ON CENTER ALONG COPPER RD.
 - DUE TO THE PROLIFERATION OF THE BEETLE BARK INFESTATION, NO ASH TREES SHALL BE PERMITTED.
 - THE EXTERIOR MATERIAL ON THE BUILDING SHALL BE SPLIT FACE CMU.
 - THE SITE SHALL PROVIDE THE FOLLOWING:
 - AN EMPLOYEE BREAK ROOM OF DINING AREA.
 - EMPLOYEE LOCKERS AND SHOWERS.
 - A SECURE STORAGE AREA FOR BICYCLES OF EMPLOYEES WISHING TO BIKE TO WORK.
 - SIX BICYCLE LOCKERS OR LIDS SITUATED NEAR THE STORE ENTRANCE.

SHOPPING CENTER PARKING RATIO

WAL-MART W/ EXP. & GARDEN CENTER	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
1005	221,665 SF	4.53	
EXISTING WAL-MART	908	116,097 SF	7.82

CASE NUMBER 01450-00000-001679

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 1/13/01 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with.

SITE DEVELOPMENT PLAN

Richard J. Smith Traffic Engineer, Transportation Division	6-13-01 Date
Blaine E. Condlaws Public Works, Water Utilities Division	6/13/01 Date
John J. ... City Engineer, Engineering Division / AMAFCA	9-10-01 Date
... Solid Waste	8-16-01 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

PLNZ (10706) 4/96

ENGINEER'S SEAL

RONALD R. BOHANNAN
P.E. #7868

ALBUQUERQUE WAL-MART EXPANSION: 835-02

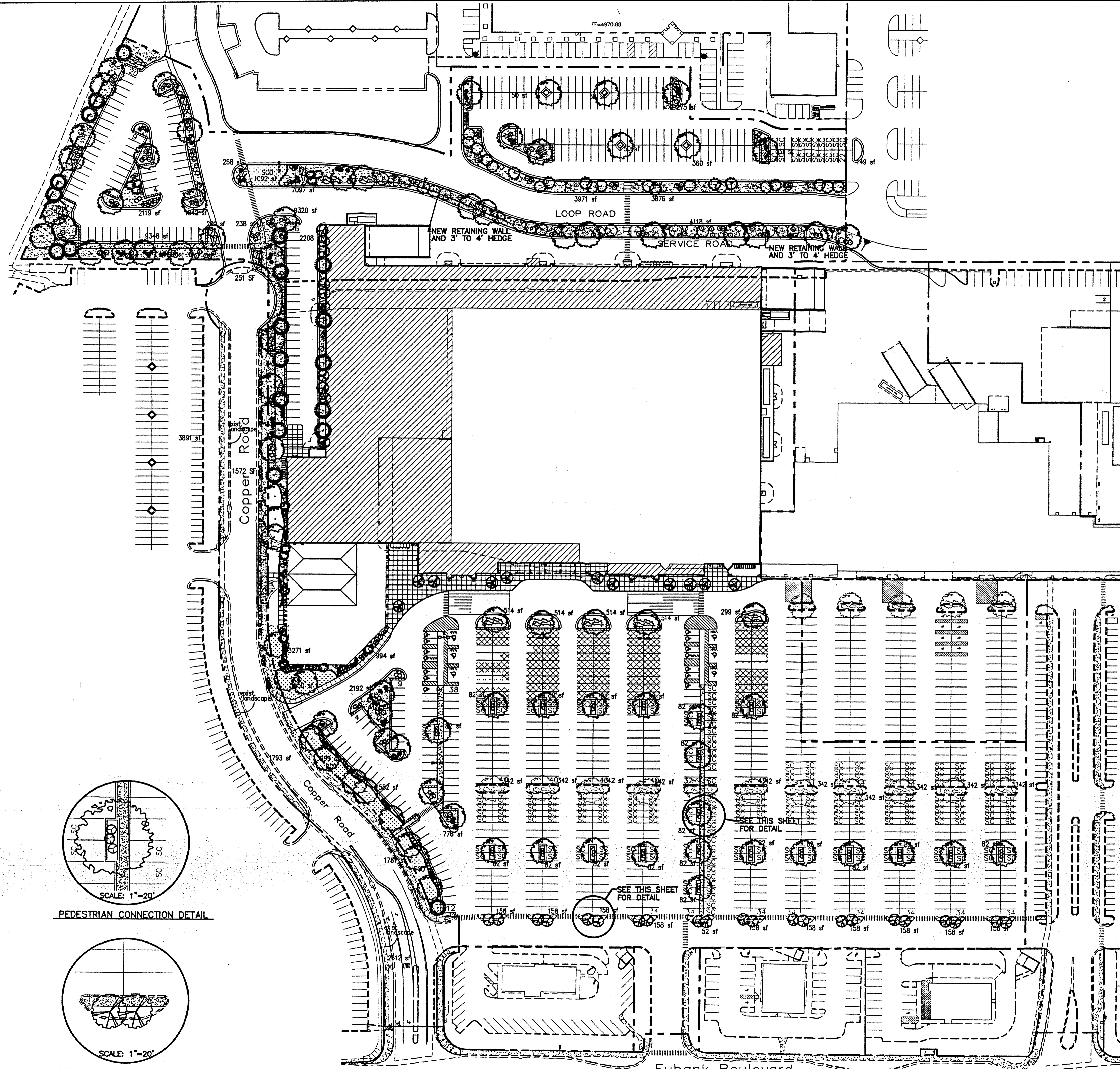
SITE PLAN FOR BUILDING PERMIT

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

REVISIONS

NO.	DATE	REMARKS	BY

DRAWN BY JDN
DATE 06-08-01
9929WSP2.DWG
SHEET # 3
JOB # 990029W



PLANT LEGEND

- | | |
|--|---|
| <ul style="list-style-type: none"> EXISTING LANDSCAPING HONEY LOCUST (H) 88
<i>Gleditsia triacanthos</i>
2" Cal LEYLANDII CYPRESS (M) 20
<i>Cupressocyparis leylandii</i>
15 GAL AUSTRIAN PINE (H) 13
<i>Pinus nigra</i>
6-8' DESERT WILLOW (M) 22
<i>Chilopsis linearis</i>
15 GAL BRADFORD PEAR (M) 47
<i>Pyrus caleryana bradford</i>
1 1/2" Cal NEW MEXICO OLIVE (M) 16
<i>Forestiera neomexicana</i>
15 GAL APACHE PLUME (L) 21
<i>Fallugia paradoxa</i>
5 gal POTENTILLA (M) 50
<i>Potentilla fruticosa</i>
5 gal | <ul style="list-style-type: none"> RUSSIAN SAGE (M) 125
<i>Perovskia atriplicifolia</i>
5 gal AUTUMN SAGE (M) 78
<i>Salvia gregii</i>
5 gal CHAMISA (L) 158
<i>Chrysothamnus nauseosus</i>
1 gal MAIDEN GRASS (M) 83
<i>Miscanthus sinensis</i>
5 gal WILDFLOWER 146
1 GAL TAM JUNIPER (L) 51
<i>Juniperus sibirica</i>
5 gal OVERSIZE GRAVEL & BOULDERS 3/4" SANTA ANA TAN GRAVEL W/ FILTER FABRIC SOD COMMERCIAL GRADE STEEL EDGING |
|--|---|

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPM Drip Emitters
Shrubs to receive (2) 1.0 GPH Drip Emitters
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and water waste ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All Landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

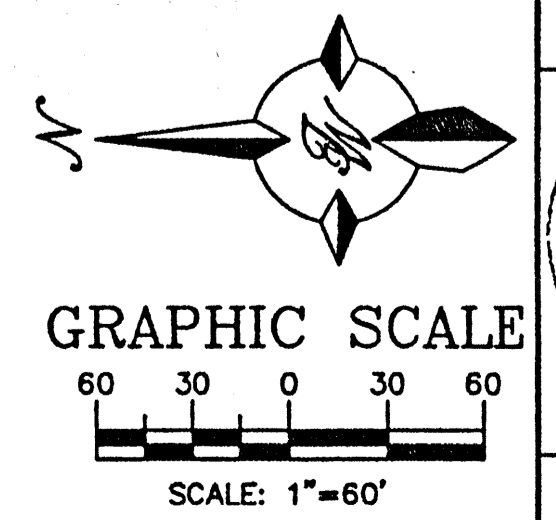
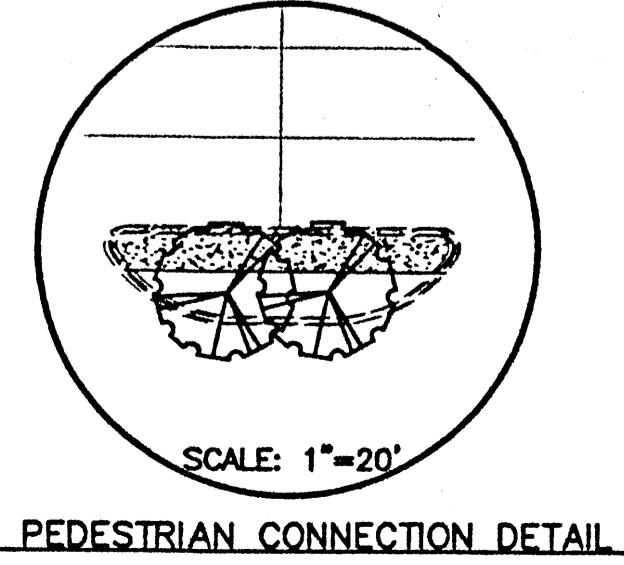
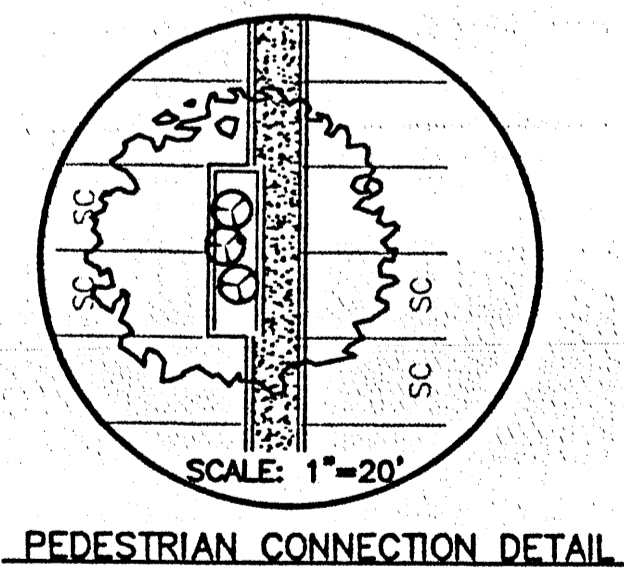
LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	772,881 square feet
TOTAL BUILDINGS AREA	216,020 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	554,661 square feet
LANDSCAPE REQUIREMENT	15 percent
TOTAL LANDSCAPE REQUIREMENT	83,199 square feet
TOTAL NEW LANDSCAPE PROVIDED	78,474 square feet
TOTAL REPLACEMENT SOD PROVIDED	11,722 square feet
TOTAL NEW BED PROVIDED	64,752 square feet
TOTAL EXISTING LANDSCAPE PROVIDED	11,865 square feet
TOTAL LANDSCAPE PROVIDED	88,339 square feet

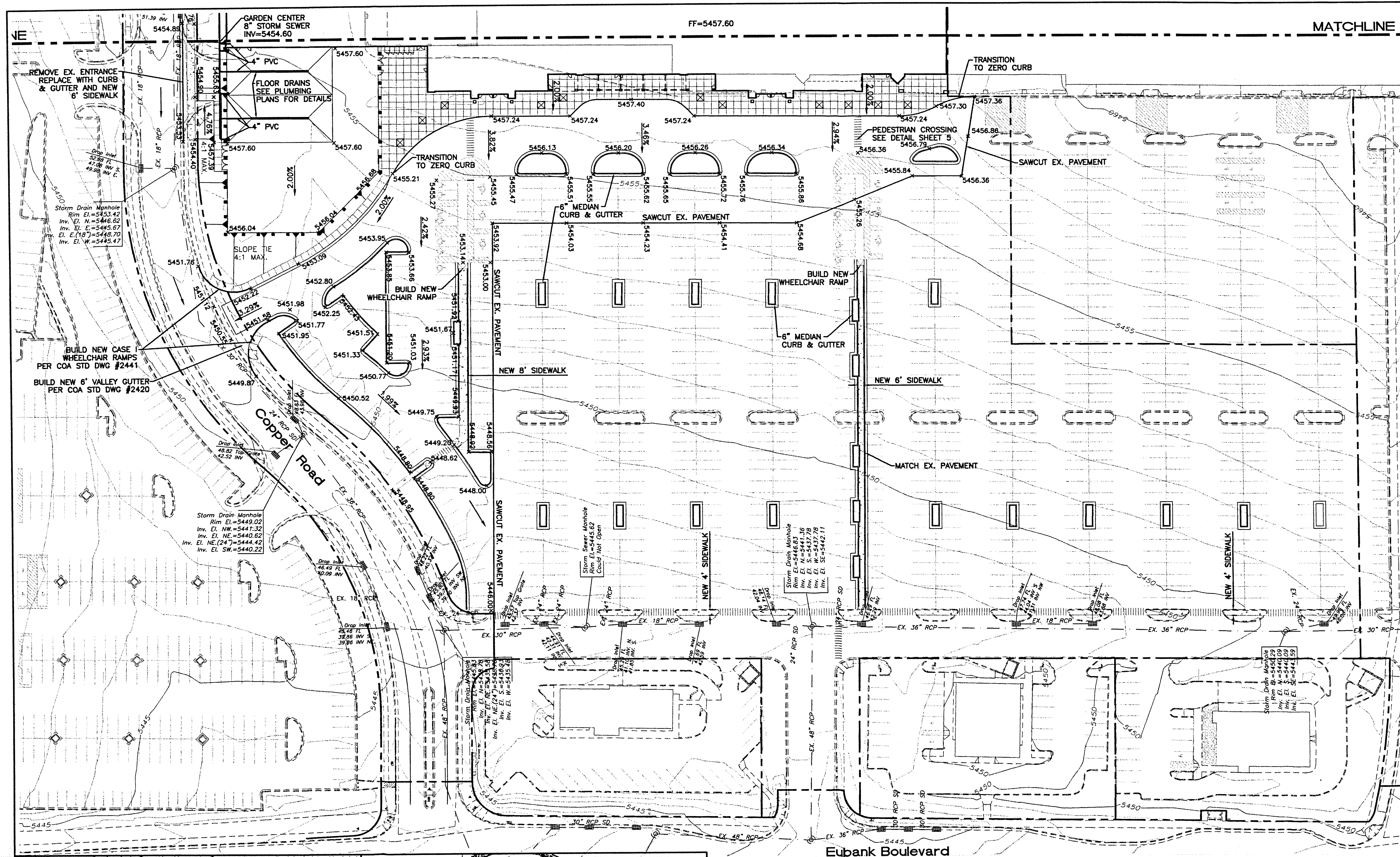
The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 it@hilltoplandscaping.com

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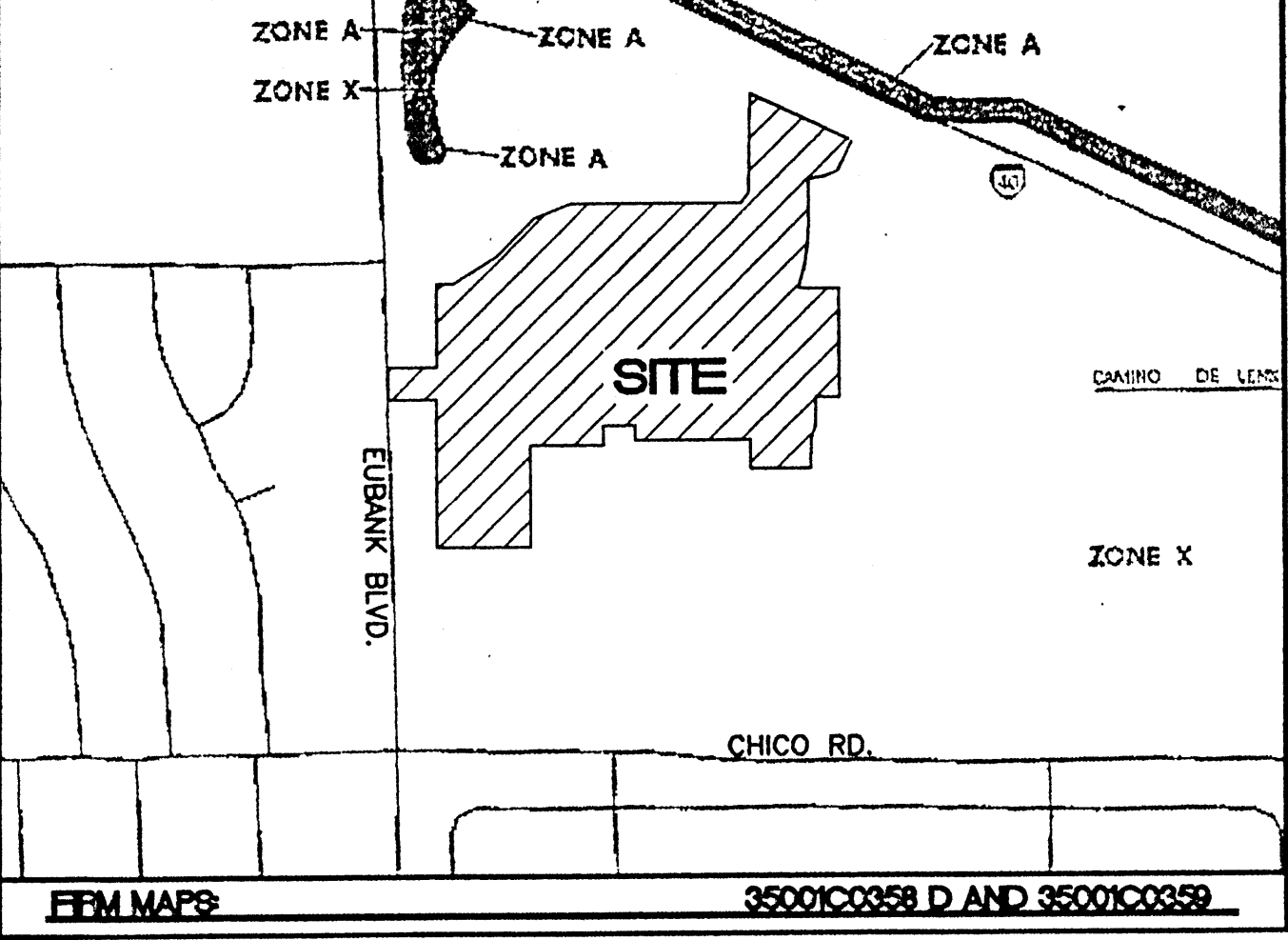
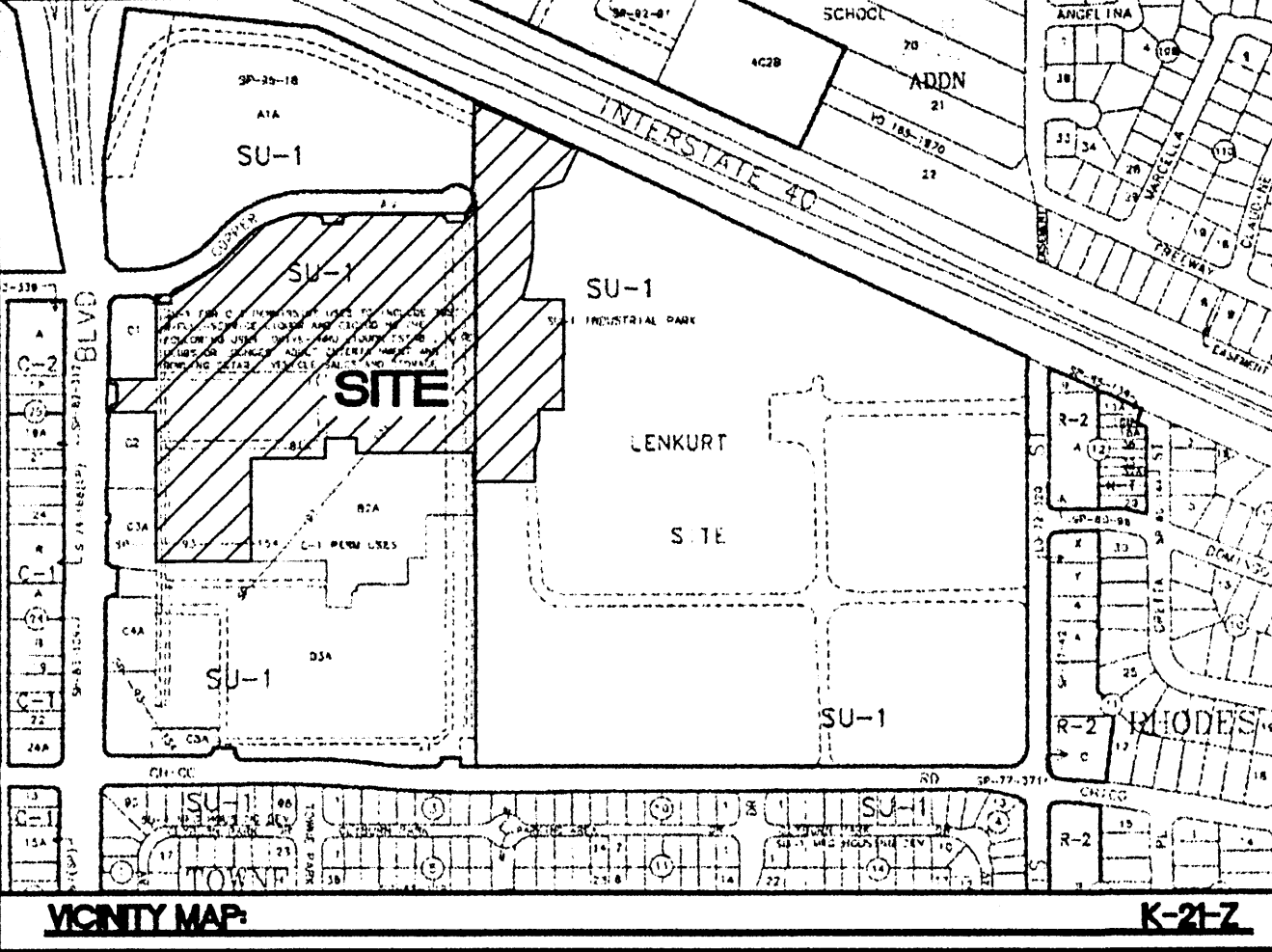
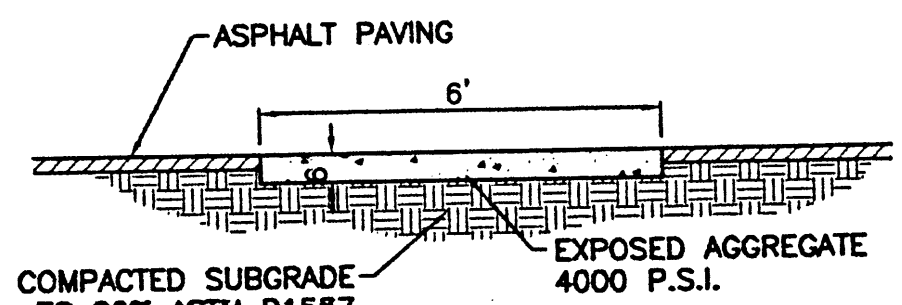
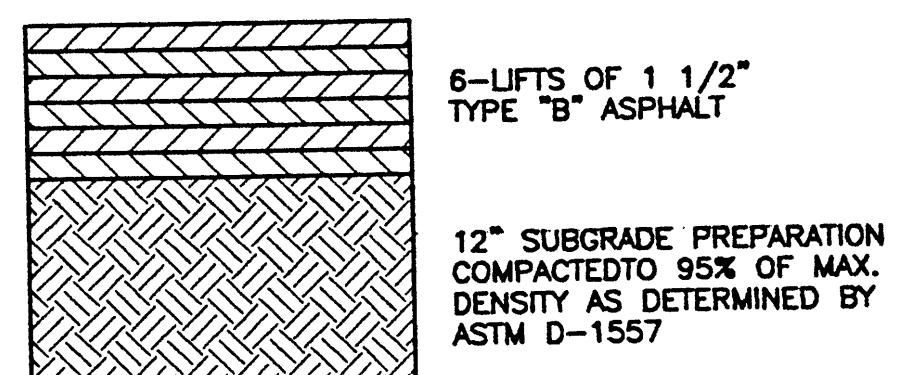
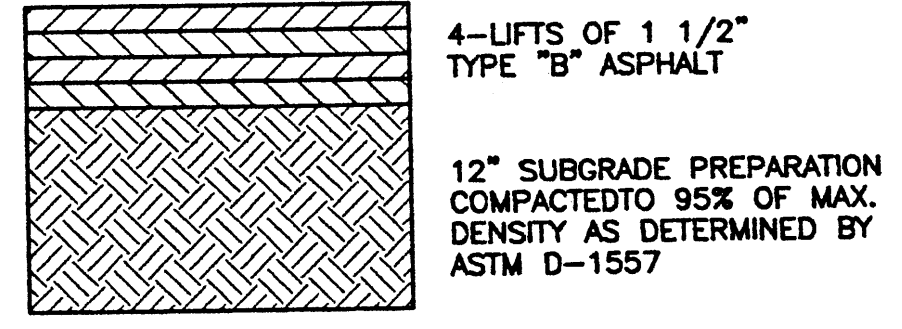


NO.	DATE	REVISIONS	BY
		ALBUQUERQUE WAL-MART EXPANSION: 835-02	DRAWN BY JDN
		LANDSCAPING PLAN	DATE 04-10-01
			9929WLP1.DWG
			SHEET # 4
			JOB # 990029W



LEGEND

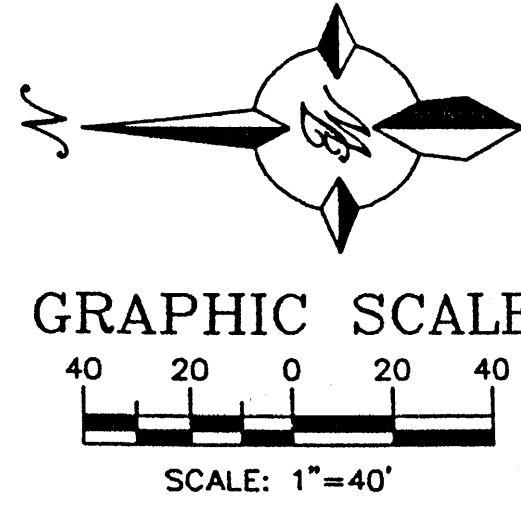
- ⊙ EXISTING STORM SEWER MANHOLE
- ⊖ EXISTING STORM SEWER INLET
- - - EX. 24" RCP - - - EXISTING STORM SEWER LINE
- ⊙ PROPOSED STORM SEWER MANHOLE
- ⊖ PROPOSED SNGL. "C" INLET
- 24" RCP — PROPOSED STORM SEWER LINE
- - - EXISTING FENCE
- - - EXISTING CURB & GUTTER
- - - PROPOSED CURB & GUTTER
- - - BOUNDARY LINE
- - - EXISTING BOUNDARY LINE
- - - PROPOSED SIDEWALK
- - - EXISTING SIDEWALK
- - - FUTURE SIDEWALK
- - - PROPOSED PERIMETER WALL
- - - EXISTING CONTOUR
- - - EXISTING INDEX CONTOUR
- - - PROPOSED CONTOUR
- - - PROPOSED INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- x 5048.25 EXISTING SPOT ELEVATION
- x 5048.25 PROPOSED SPOT ELEVATION
- x 5048.25 FUTURE SPOT ELEVATION
- - - MATCH LINE



- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

- NOTES:**
- ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
 - ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
 - ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
 - ALL VALLEY GUTTERS TO BE BUILT PER COA STD DWG #2420.
 - SEE SHEET 7 FOR RCP INLET DETAIL.

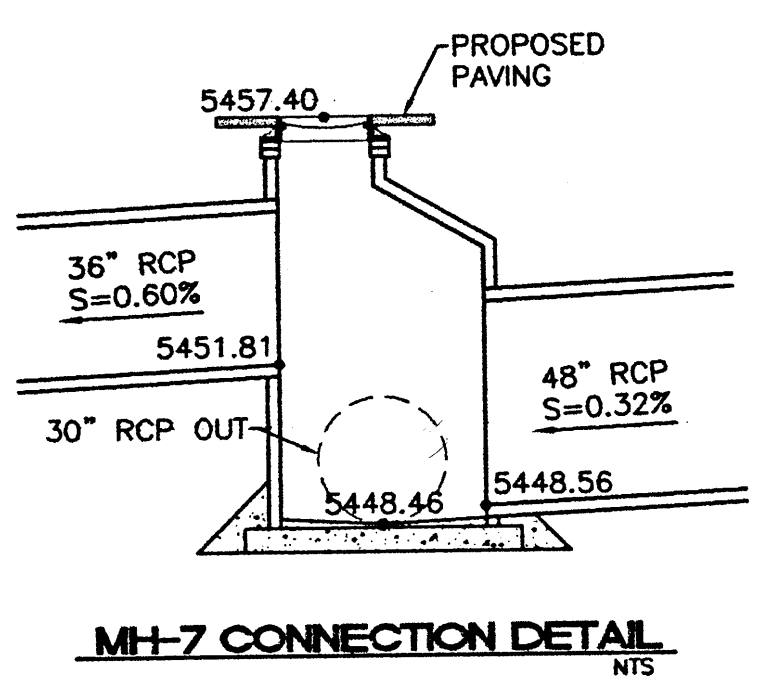
CAUTION: EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ROUGH GRADING APPROVAL _____ DATE _____

NO.	DATE	REMARKS	BY
REVISIONS			

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	ALBUQUERQUE WAL-MART EXPANSION: 835-02 GRADING AND DRAINAGE PLAN SHEET 'A' TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY JDN
		DATE 06-08-01
		SHEET # 5
		JOB # 99029W



STORM SEWER PIPE TABLE

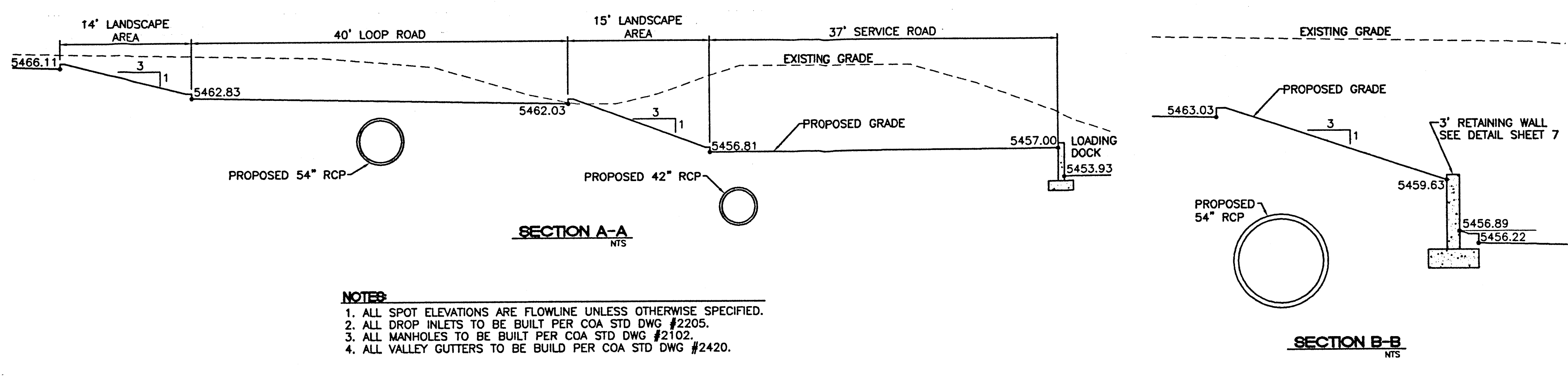
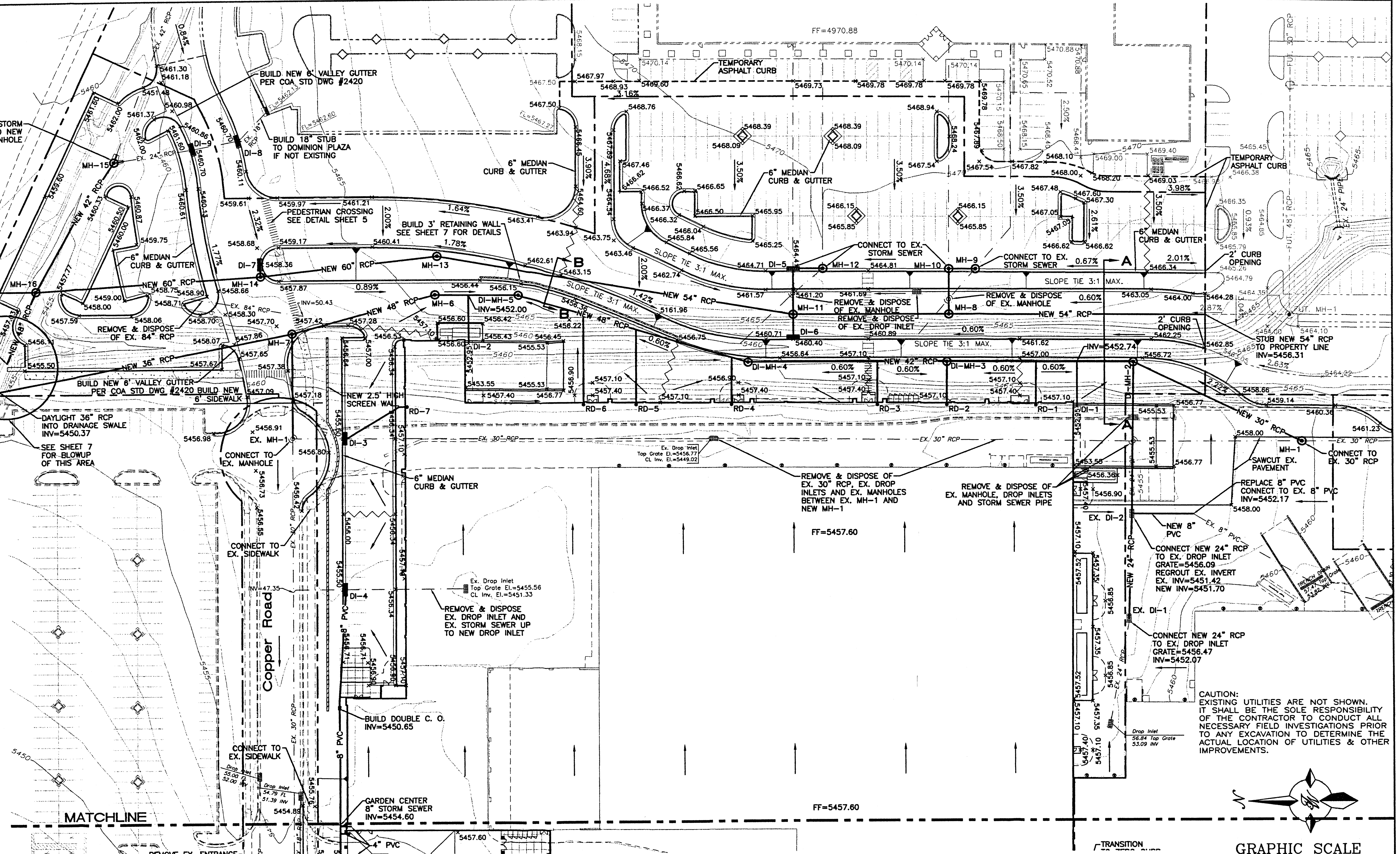
FROM	TO	SIZE	SLOPE
MH-1	DI-MH-2	30" RCP	0.47%
EX. DI-1	EX. DI-2	24" RCP	0.44%
EX. DI-2	DI-MH-2	24" RCP	0.44%
DI-1	DI-MH-2	8" PVC	0.60%
DI-MH-2	DI-MH-3	42" RCP	0.32%
DI-MH-3	DI-MH-4	42" RCP	0.32%
DI-MH-4	DI-MH-5	48" RCP	0.32%
DI-2	DI-MH-5	8" PVC	2.48%
DI-MH-5	MH-6	48" RCP	0.32%
MH-6	MH-7	48" RCP	0.32%
MH-7	EX. MH-1	30" RCP	0.26%
DI-3	EX. MH-1	EX. 30" RCP	0.26%
DI-4	EX. 30" RCP	EX. 18" RCP	2.91%
FUT. MH-8	MH-8	54" RCP	0.58%
MH-9	MH-10	12" RCP	5.02%
MH-10	MH-8	12" RCP	17.10%
MH-8	MH-11	54" RCP	0.58%
MH-12	DI-5	8" PVC	8.42%
DI-5	MH-11	12" RCP	17.46%
DI-6	MH-11	24" RCP	4.90%
MH-11	MH-13	54" RCP	0.58%
MH-13	MH-14	60" RCP	0.58%
DI-7	MH-14	18" RCP	28.35%
MH-14	MH-16	60" RCP	0.58%
DI-8	DI-9	EX. 18" RCP	0.10%
DI-9	MH-15	EX. 24" RCP	0.53%
MH-15	MH-16	42" RCP	1.20%
MH-16	CHANNEL	48" RCP	0.58%
MH-16	SWALE	48" RCP	0.38%
MH-7	SWALE	36" RCP	0.60%

MANHOLE AND INLET TABLE

ITEM #	TYPE	RIM/GRATE	INV IN	INV OUT
EX. MH-1	EX. TYPE "E"	5457.75	5448.15	5448.05
MH-1	4" DIA. TYPE "E"	5459.70	5451.73	5451.63
DI-MH-2	RCP INLET*	5456.50	5451.15	5451.05
DI-MH-3	RCP INLET*	5456.72	5450.62	5450.52
DI-MH-4	6" RCP INLET*	5456.52	5450.06	5449.96
DI-MH-5	6" RCP INLET*	5455.95	5449.35	5449.25
MH-6	4" DIA. TYPE "E"	5456.73	5449.04	5448.94
MH-7	6" DIA. TYPE "E"	5457.40	5448.56	5448.46 (W)
SEE THIS SHEET FOR DETAIL				5451.81 (N)
FUT. MH-8	8" DIA. TYPE "E"	5464.50	5456.82	5456.72
MH-8	6" DIA. TYPE "E"	5461.62	5455.12	5455.02
MH-9	4" DIA. TYPE "E"	5465.50	5462.63	5462.53
MH-10	4" DIA. TYPE "E"	5465.36	5462.40 (E)	5461.36
			5461.46 (S)	
MH-11	6" DIA. TYPE "E"	5460.80	5454.30	5454.20
MH-12	4" DIA. TYPE "E"	5464.60	5462.60	5462.50
MH-13	6" DIA. TYPE "E"	5459.90	5452.53	5452.43
MH-14	6" DIA. TYPE "E"	5458.15	5451.61	5451.51
MH-15	8" DIA. TYPE "E"	5460.94	5452.00	5451.90
MH-16	12" DIA. TYPE "E"	5457.45	5450.45	5450.35
DI-1	DOCK DRAIN**	N/A	N/A	5452.95
DI-2	DOCK DRAIN**	N/A	N/A	5452.95
DI-3	SINGLE "C" INLET	5455.50	5451.50	5448.25
DI-4	SINGLE "C" INLET	5455.50	5448.60	5448.50
DI-5	SINGLE "C" INLET	5464.41	5462.35 (E)	5460.41
			5460.51 (S)	
DI-6	SINGLE "C" INLET	5459.28	N/A	5455.23
DI-7	SINGLE "C" INLET	5458.36	N/A	5454.36
DI-8	SINGLE "C" INLET	5460.70	5455.50	5455.40
DI-9	SINGLE "C" INLET	5460.70	5455.10	5455.00

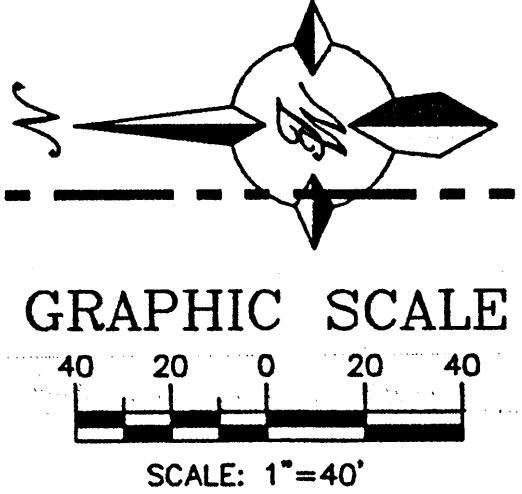
ROOF DRAIN TABLE

ITEM #	TYPE	INV BLDG.	INV RCP	SIZE	SLOPE
RD-1	ROOF DRAIN	5454.60	5453.30	10" PVC	3.76%
RD-2	ROOF DRAIN	5454.60	5453.00	10" PVC	4.67%
RD-3	ROOF DRAIN	5454.60	5452.84	10" PVC	5.18%
RD-4	ROOF DRAIN	5454.60	5452.42	10" PVC	5.85%
RD-5	ROOF DRAIN	5454.60	5452.16	10" PVC	4.08%
RD-6	ROOF DRAIN	5454.60	5452.00	10" PVC	3.60%
RD-7	ROOF DRAIN	5454.60	5451.50	10" PVC	5.69%

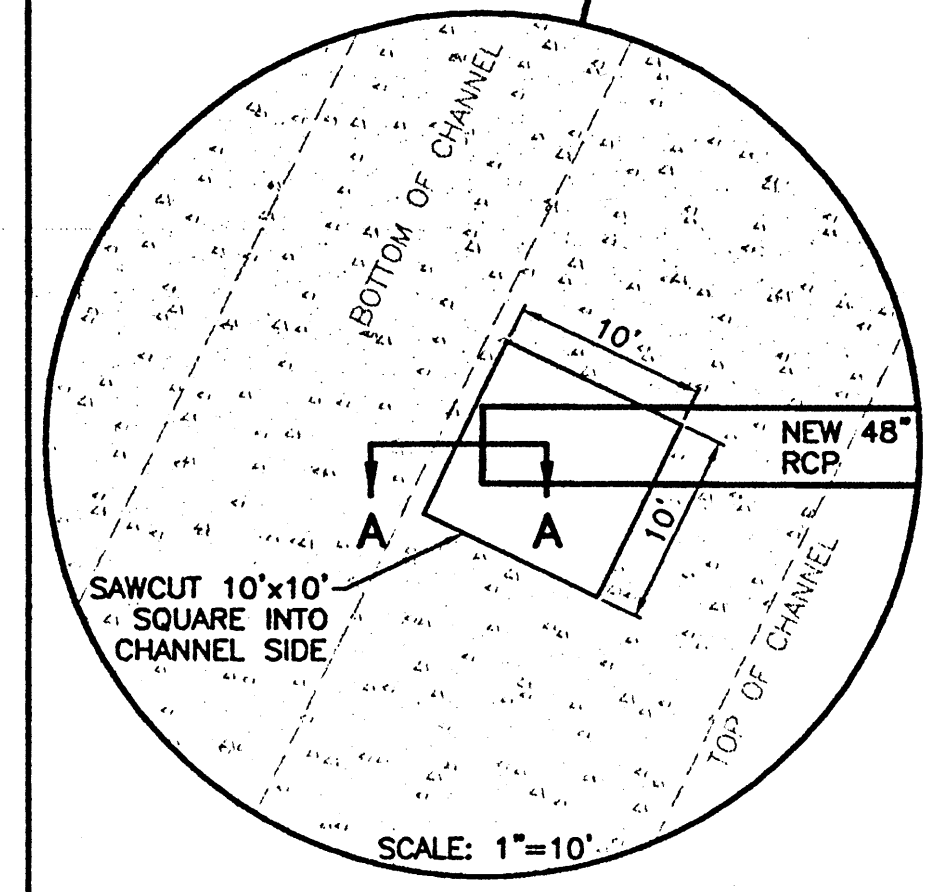
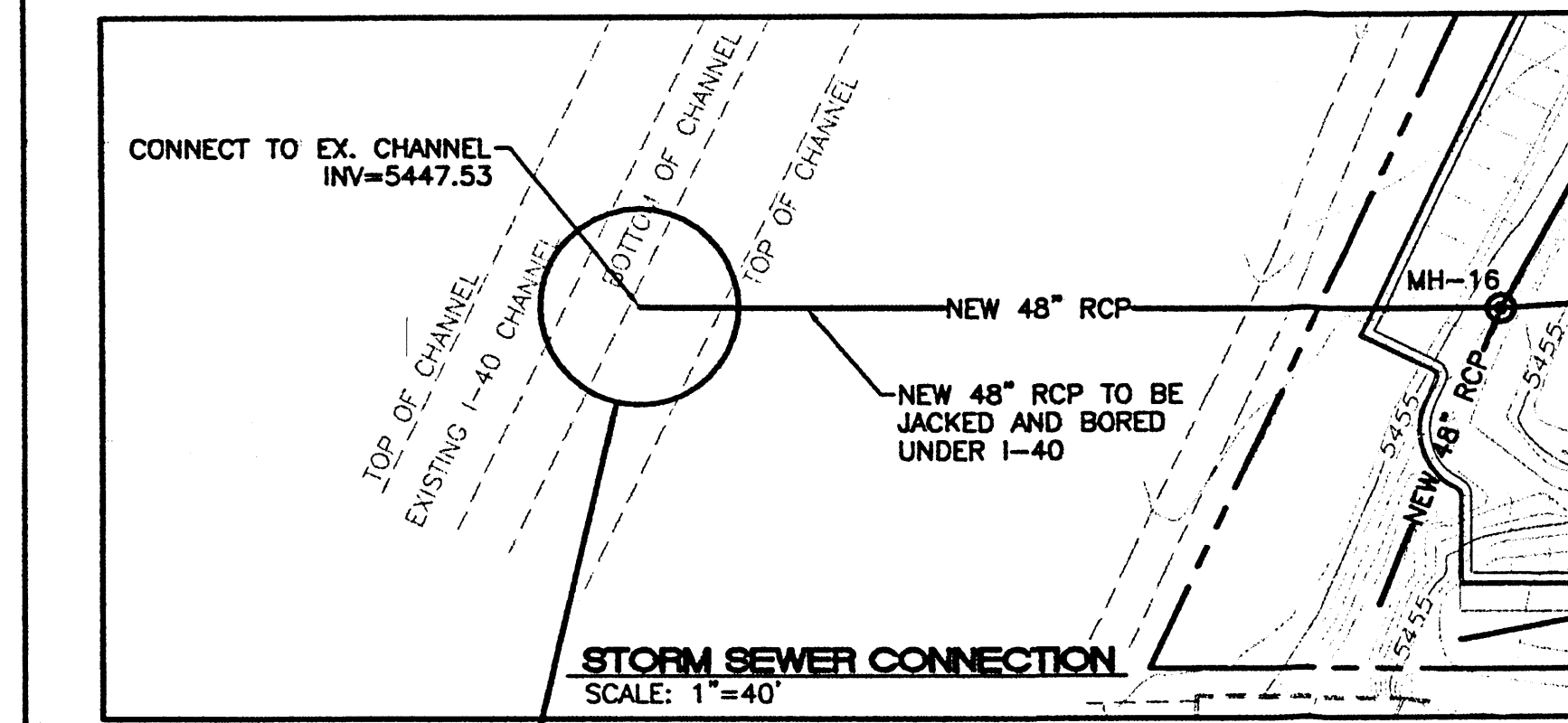
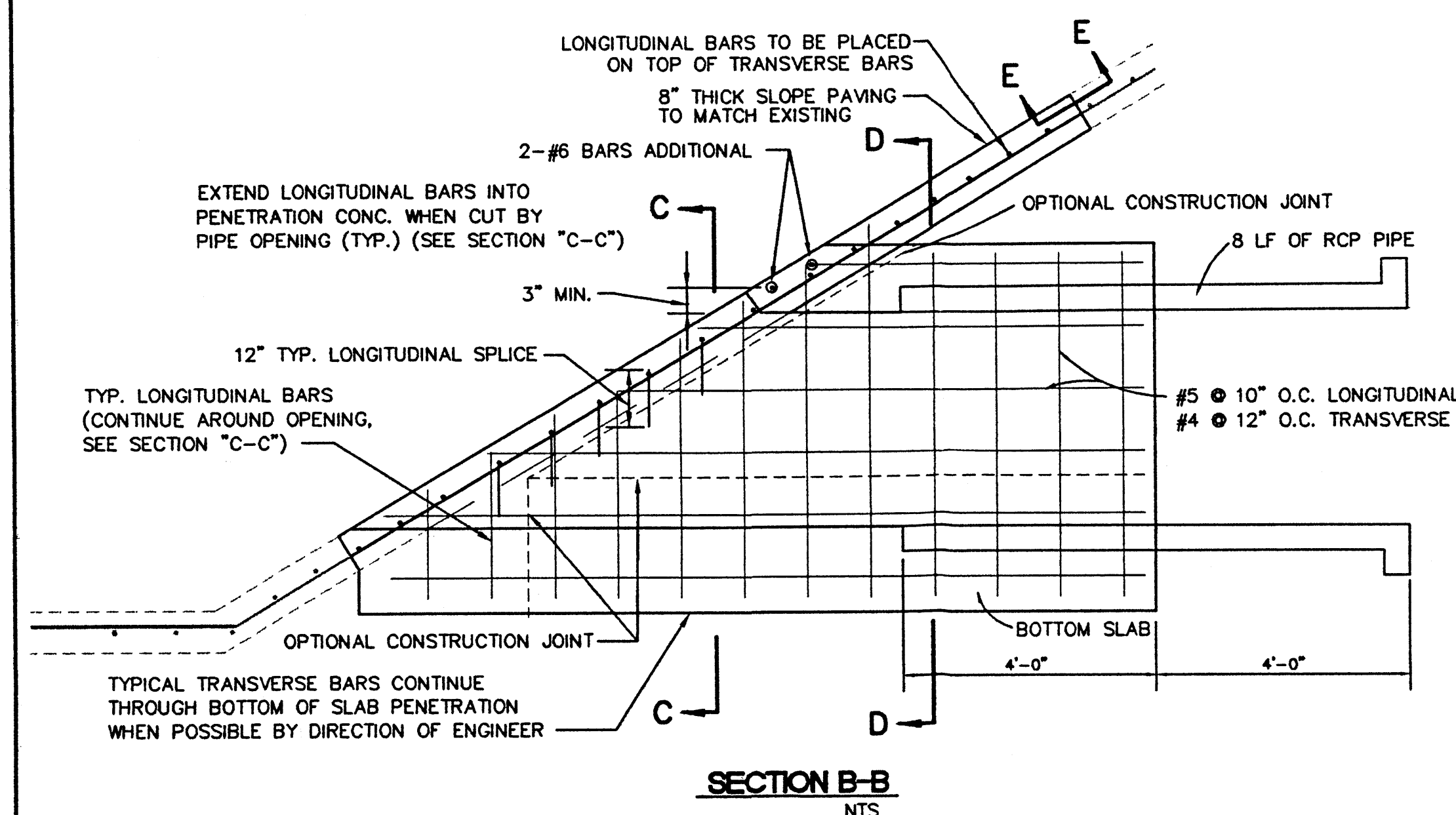
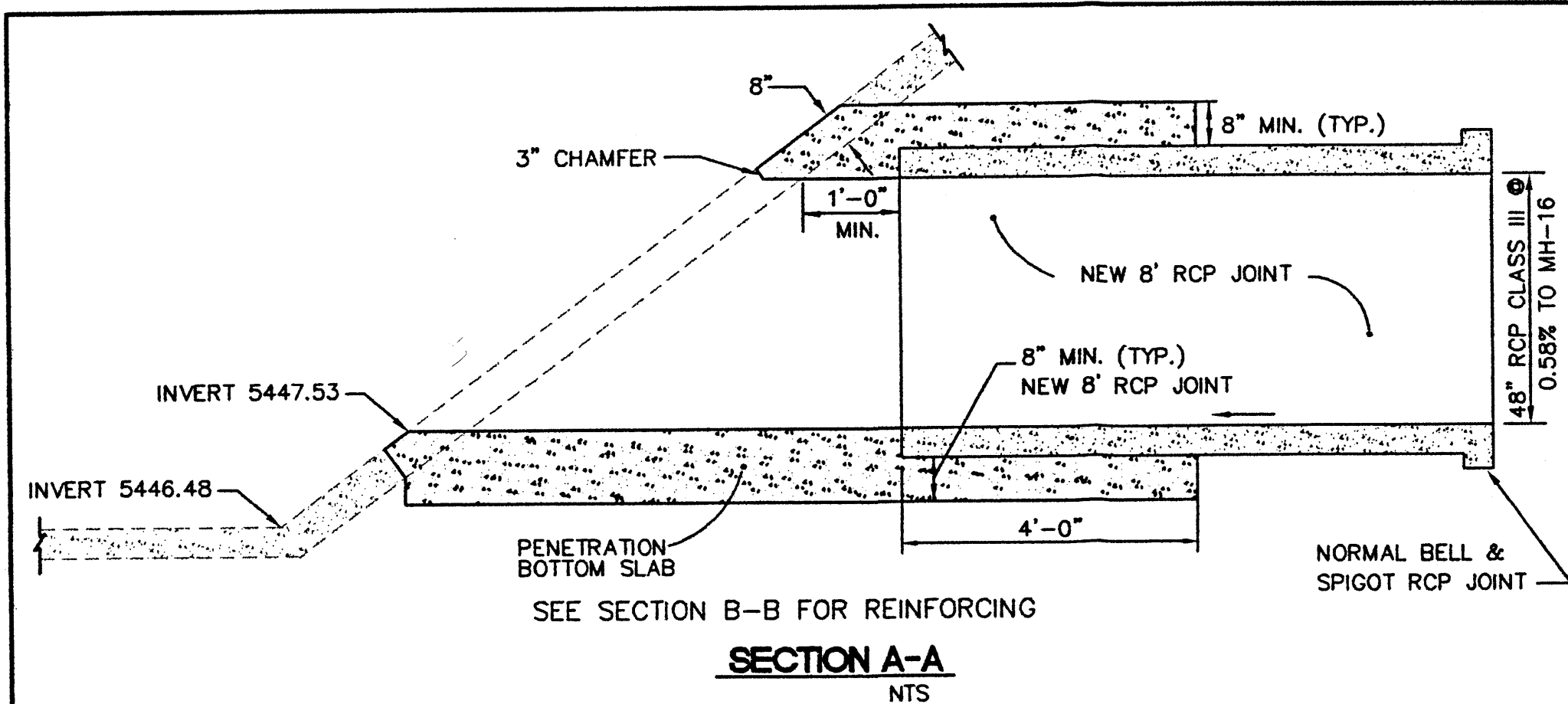


- NOTES:**
1. ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
 2. ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
 3. ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
 4. ALL VALLEY GUTTERS TO BE BUILT PER COA STD DWG #2420.

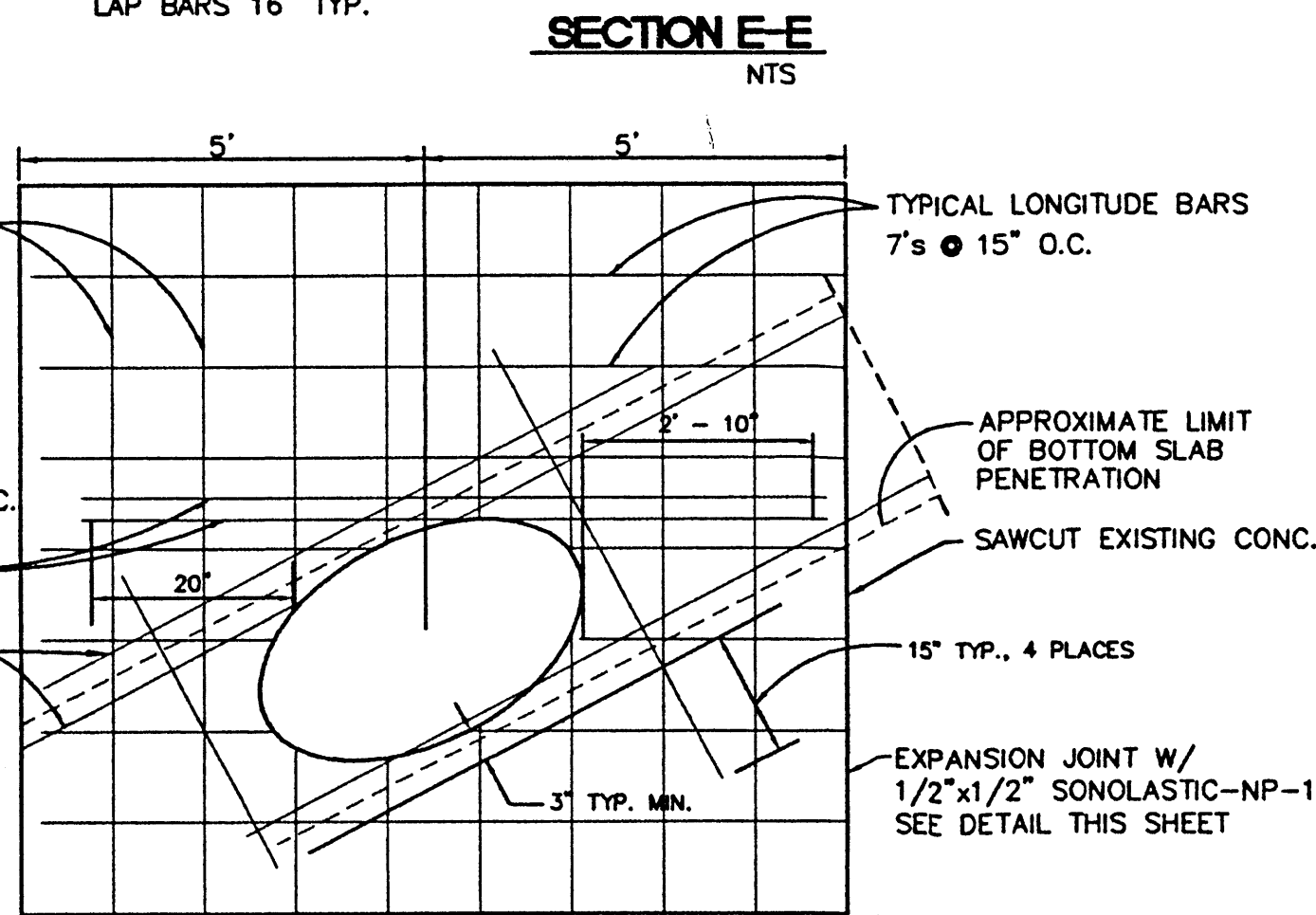
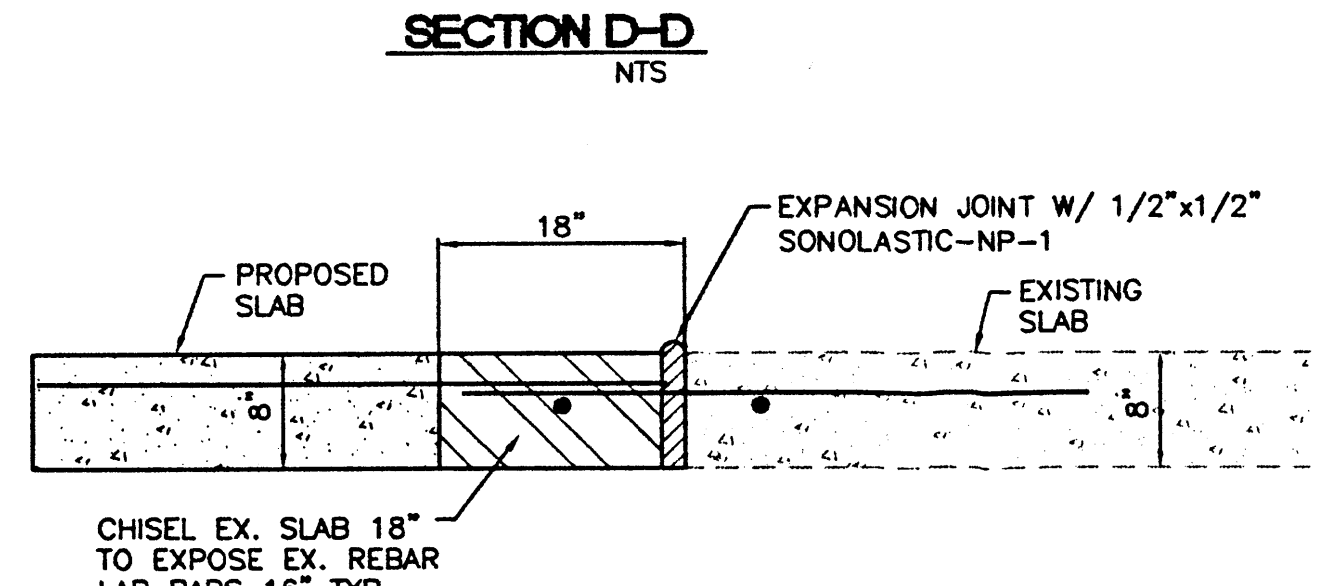
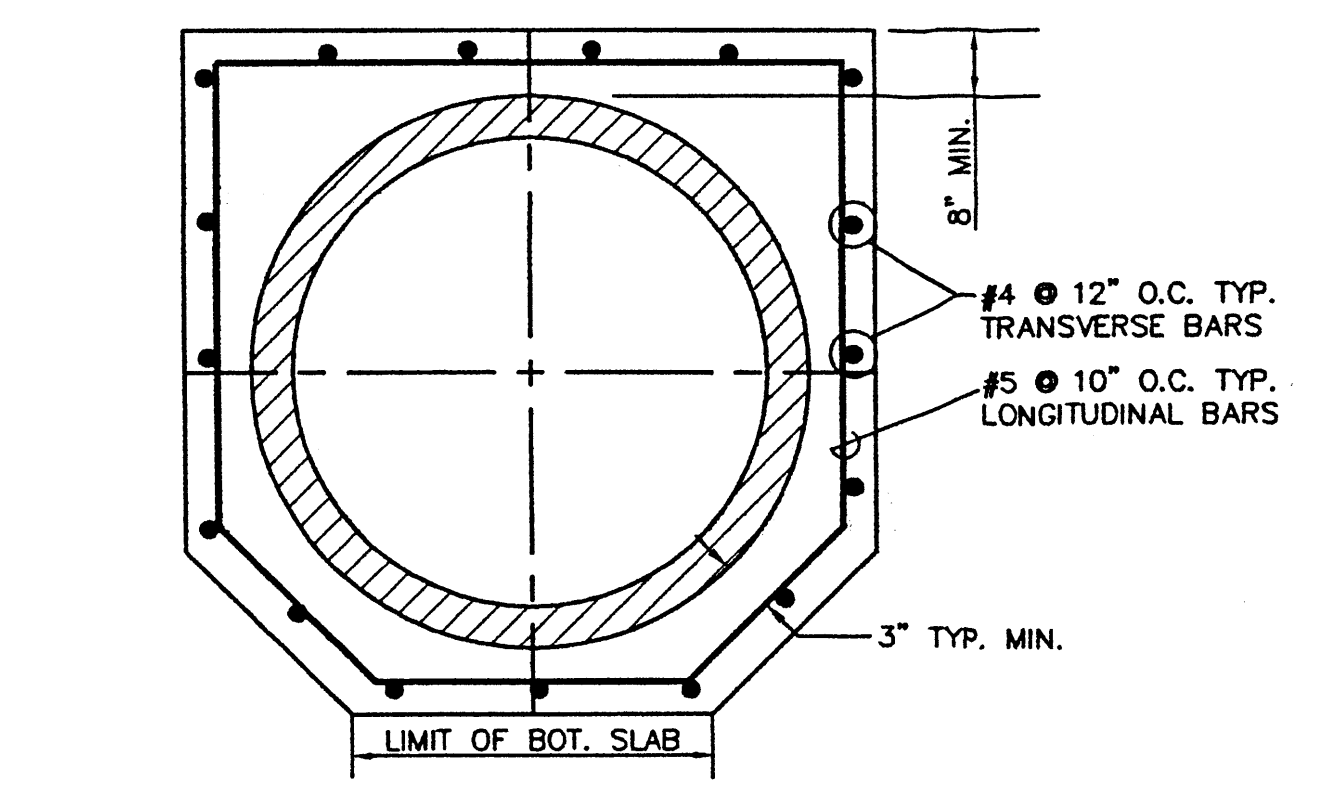
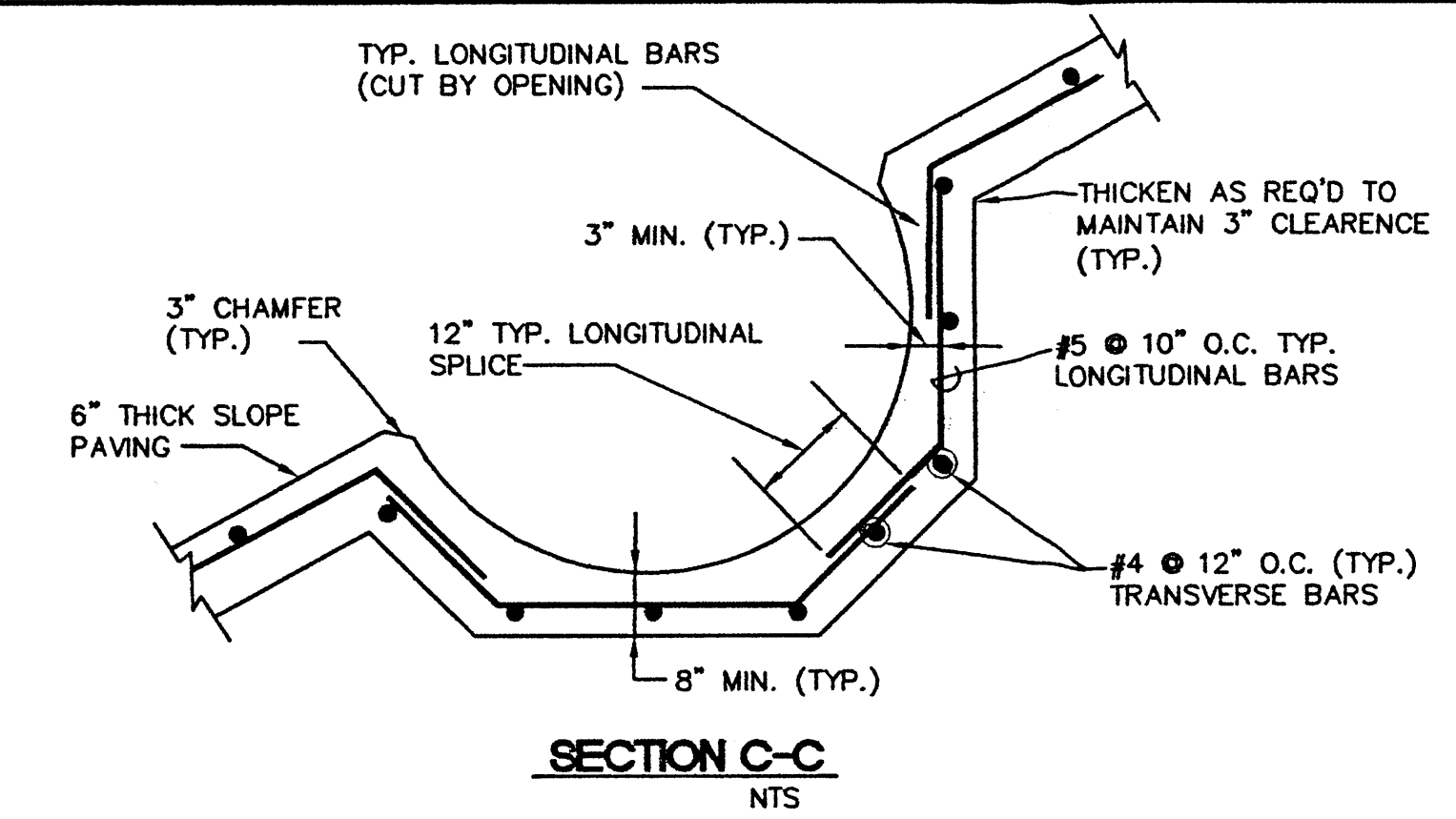
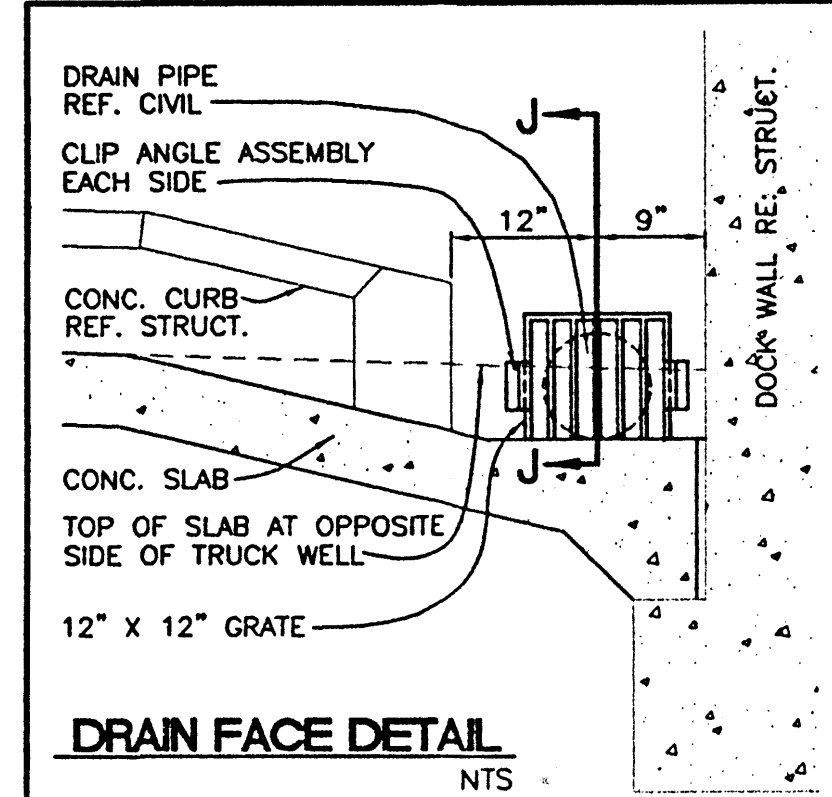
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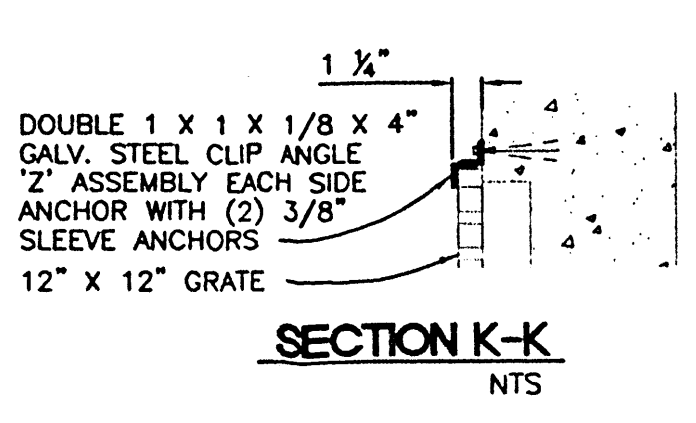
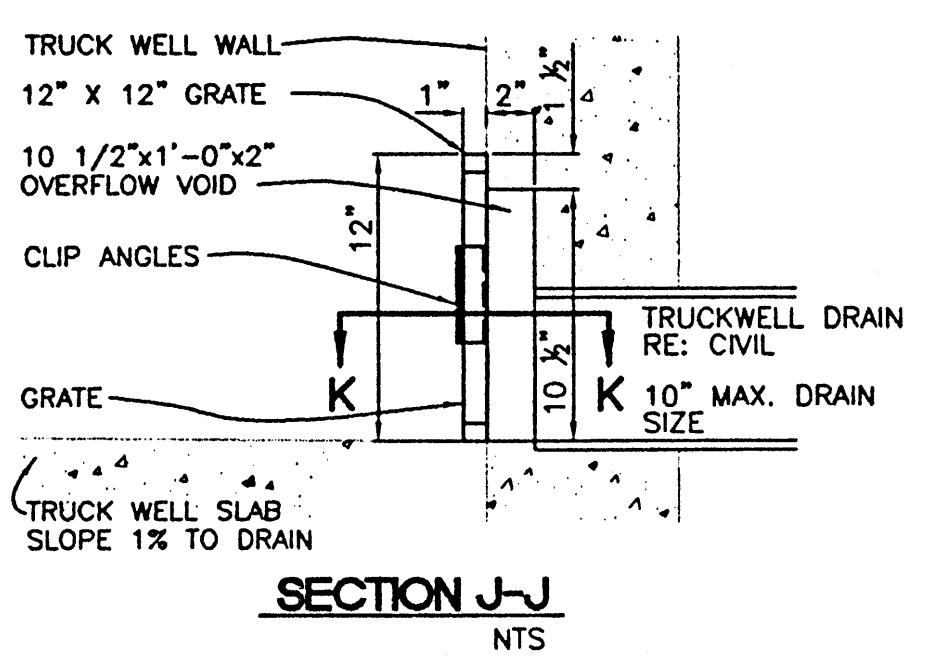
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION: 835-02 GRADING AND DRAINAGE PLAN SHEET 'B'	DRAWN BY: JDN DATE: 06-08-01 9929WGR1.DWC SHEET # 6 JOB # 990029W
			TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100



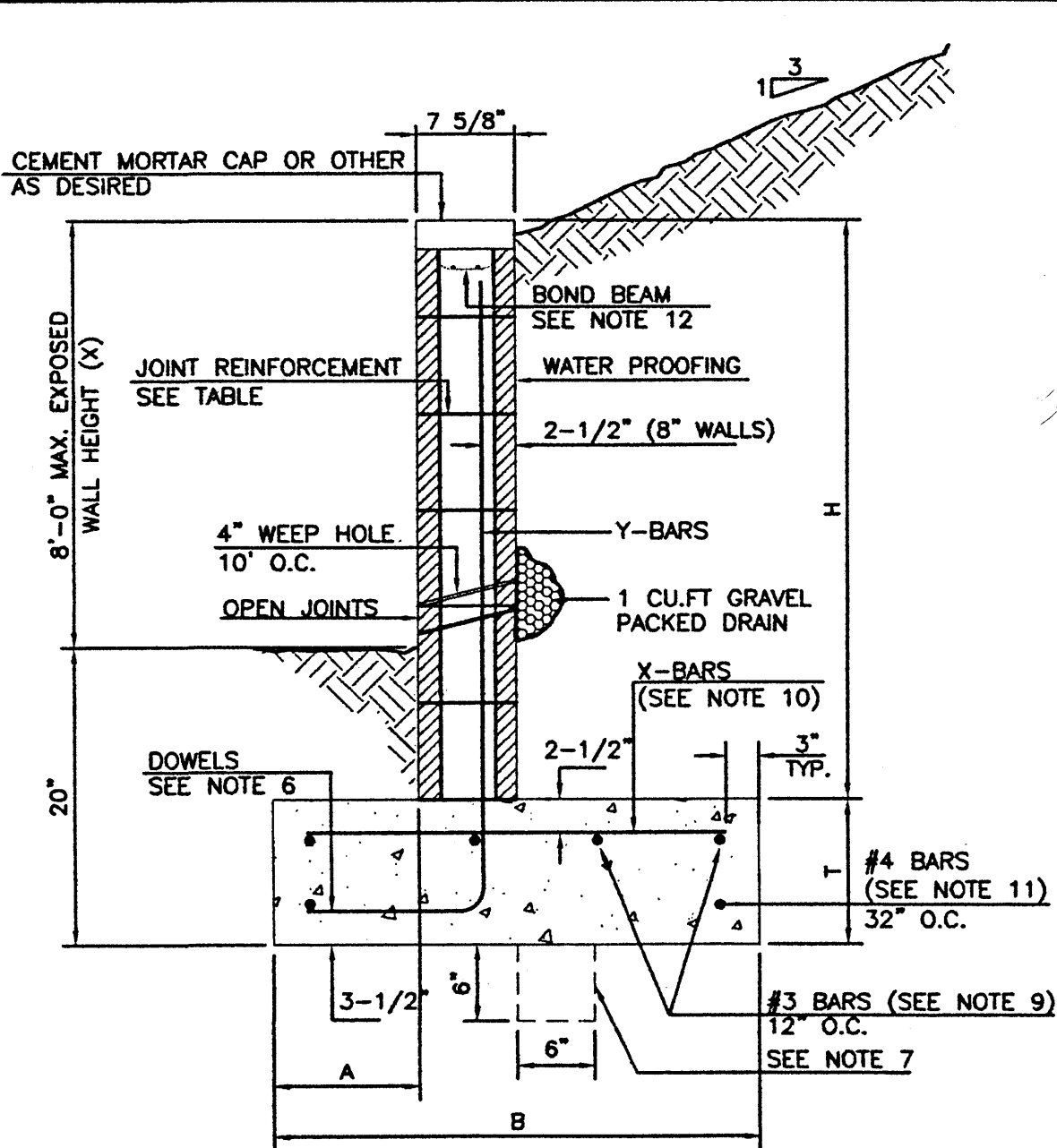
- NOTES:**
- CONCRETE TO BE 4,000 PSI AND STEEL TO BE GRADE 60.
 - ALL SUBGRADE AND BACKFILL PLACED AT 95% MODIFIED PROCTOR. MOISTURE AT OPTIMUM TO PLUS 3% OF OPTIMUM.



CONCRETE SPECIFICATIONS:
4000 PSI CONCRETE W/4-6% AIR INTRINMENT
20% FLYASH BY WEIGHT OF CEMENT



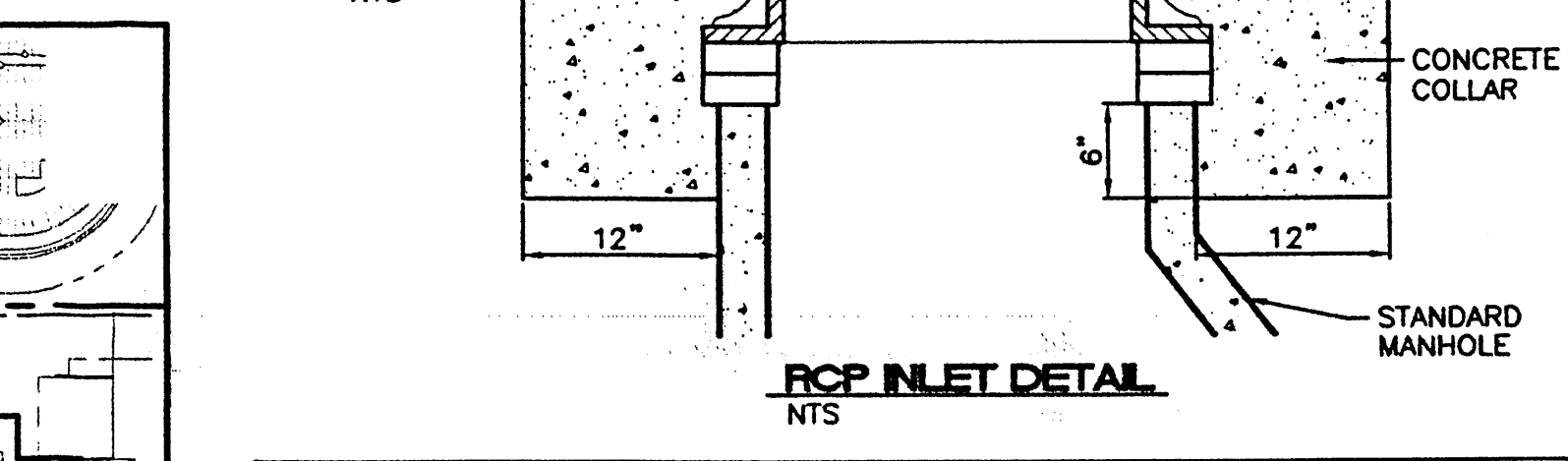
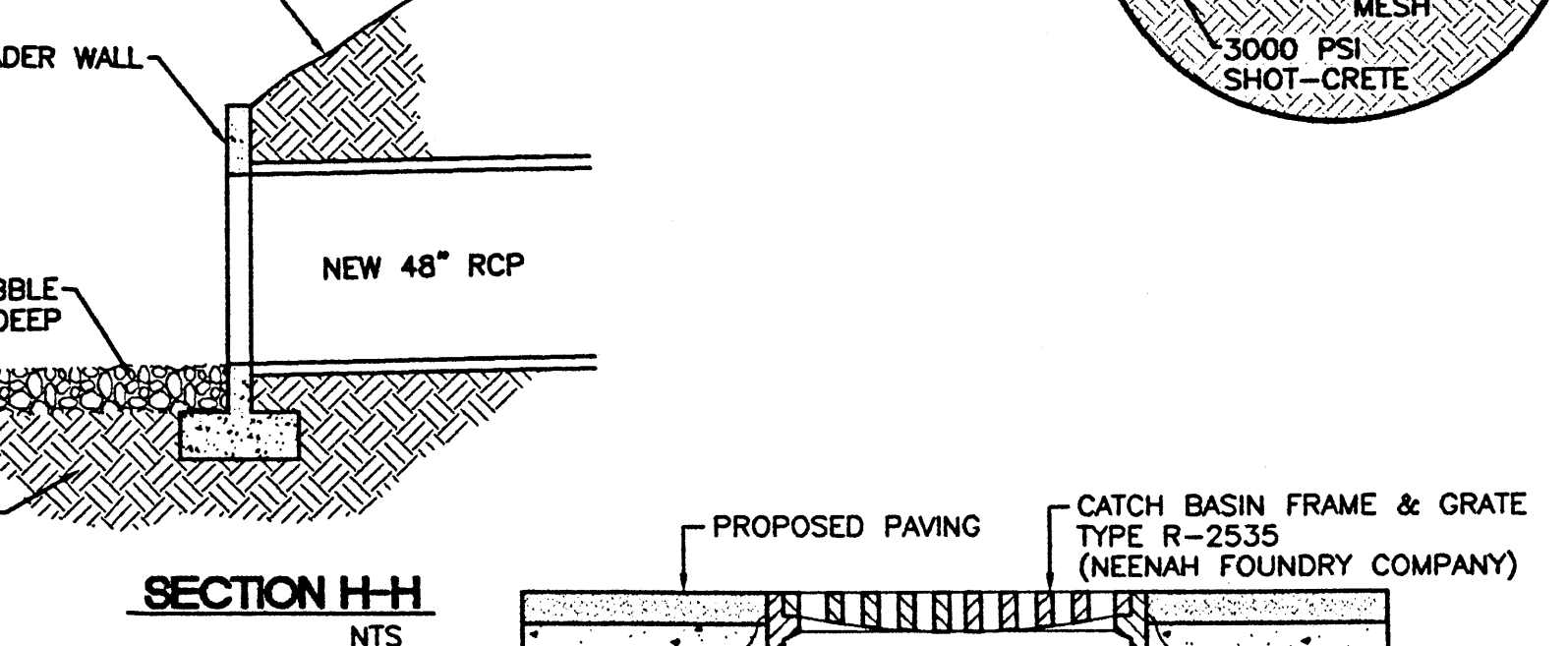
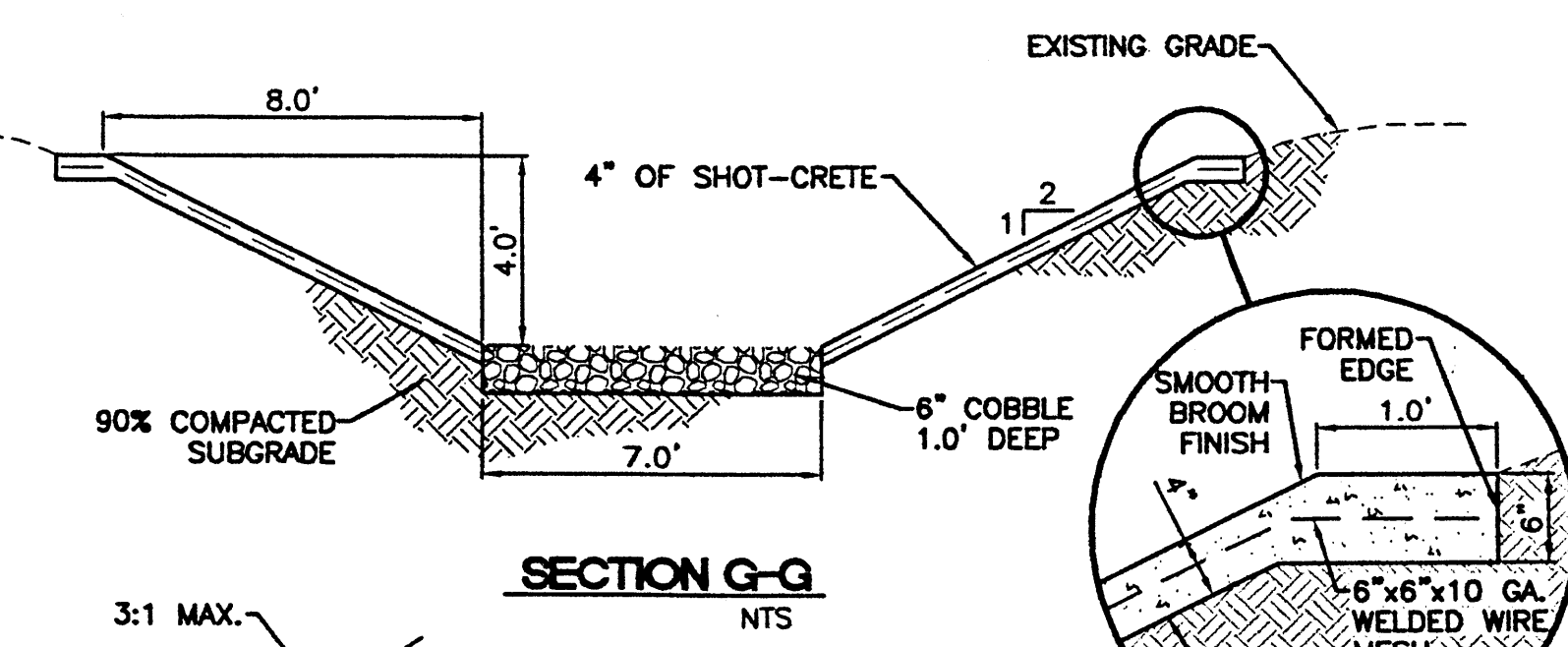
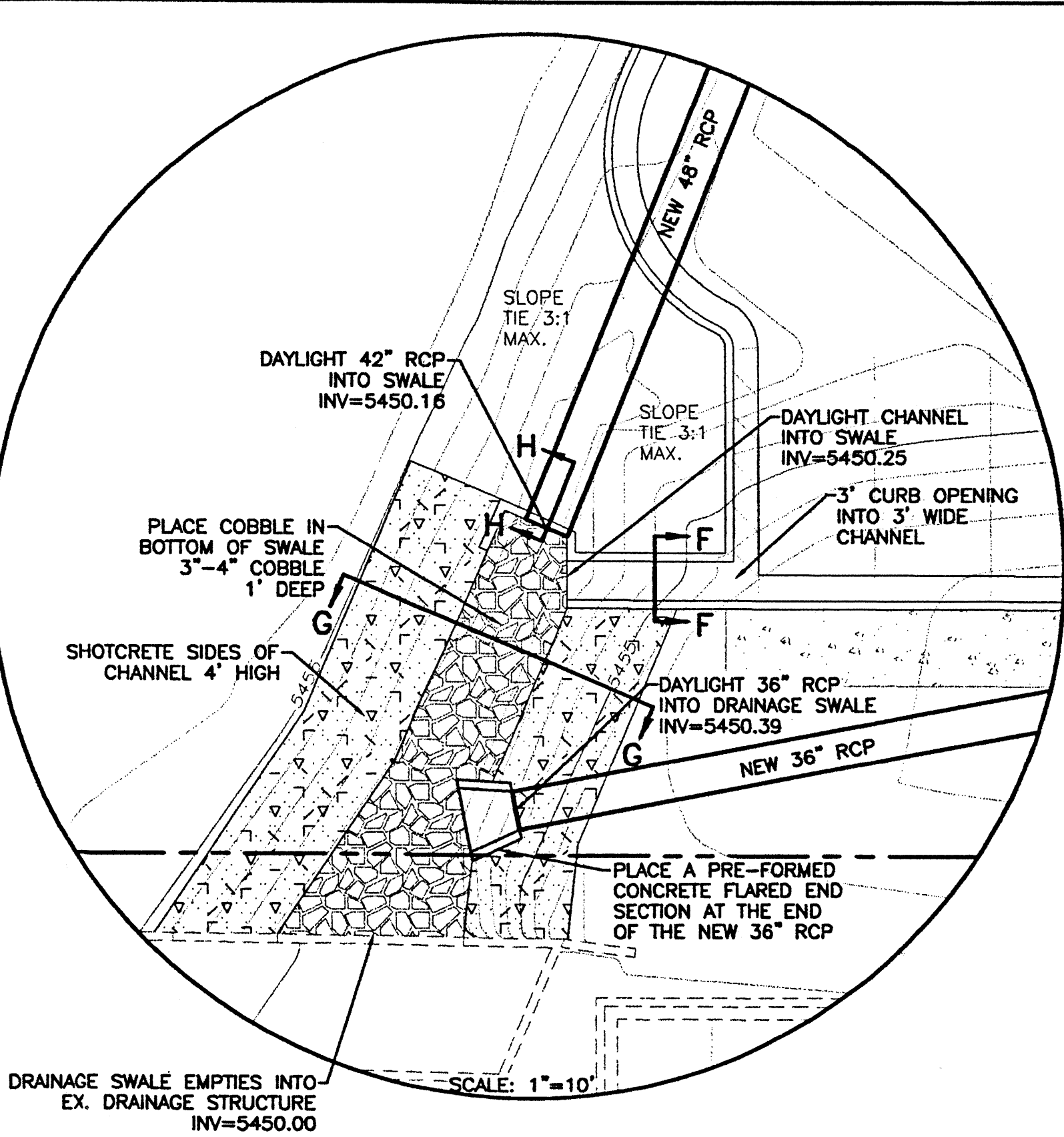
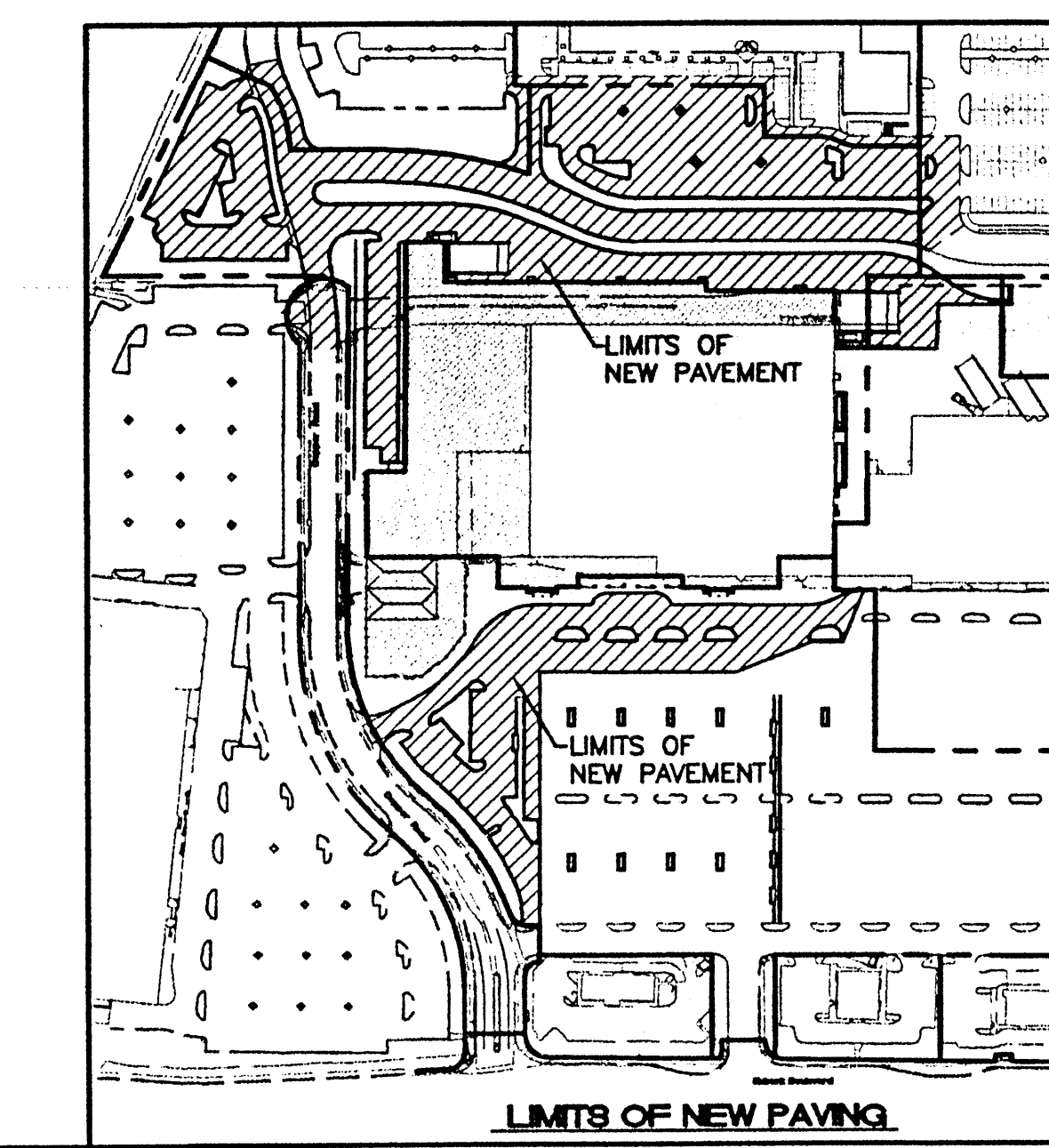
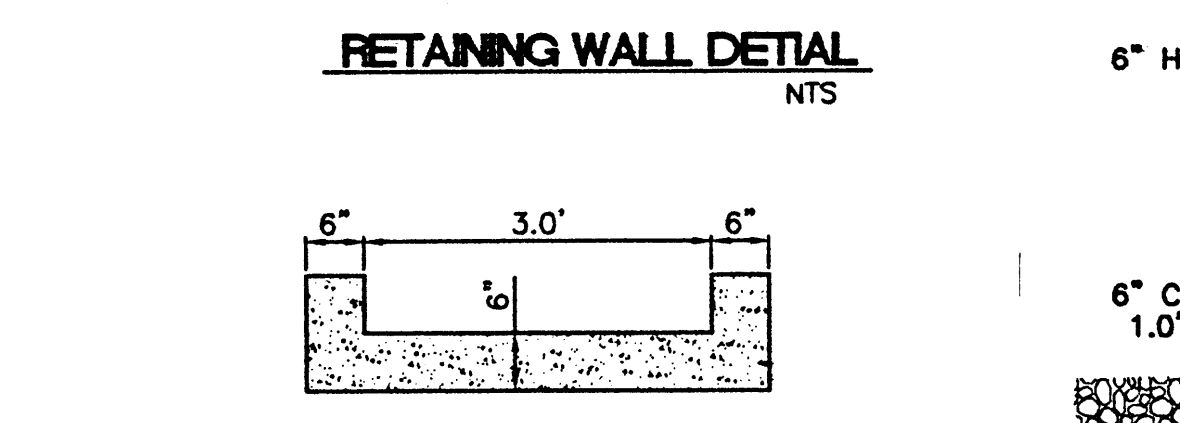
DOCK DRAIN DETAILS
NTS



8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @ 32" O.C.	#3 @ 27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
3'-4"	2'-5"	8"	2'-9"	9"	#5 @ 32" O.C.	#3 @ 27" O.C.
4'-0"	3'-10"	10"	3'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @ 32" O.C.	#3 @ 27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @ 16" O.C.	#4 @ 30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @ 24" O.C.	#4 @ 25" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0" USE EITHER EXPANSION JOINTS ON 20" CENTERS OR PILASTERS EVERY 16'.
 - #5 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
 - X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
 - #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



NO.	DATE	REVISIONS	BY

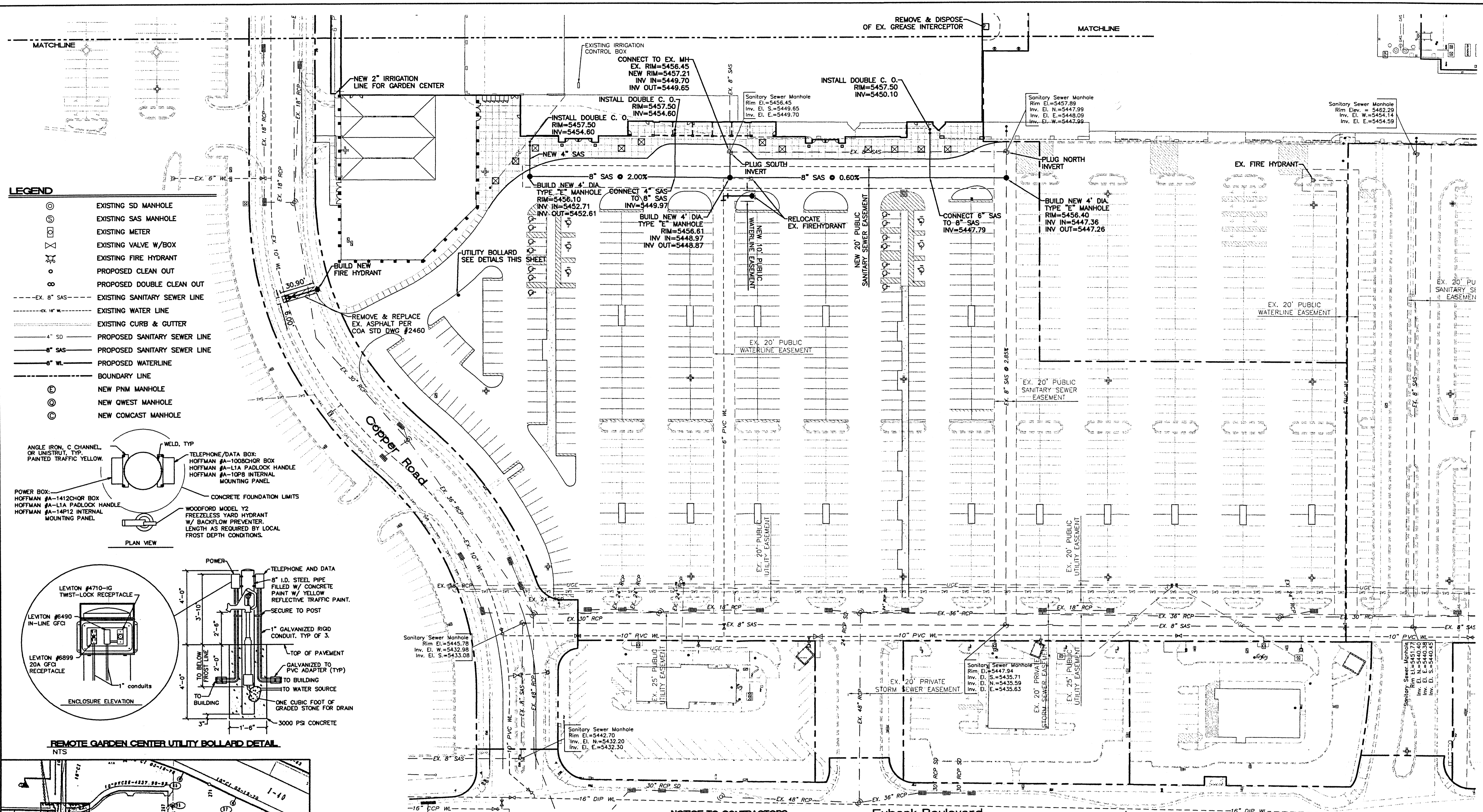
ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7868

ALBUQUERQUE WAL-MART EXPANSION: 835-02

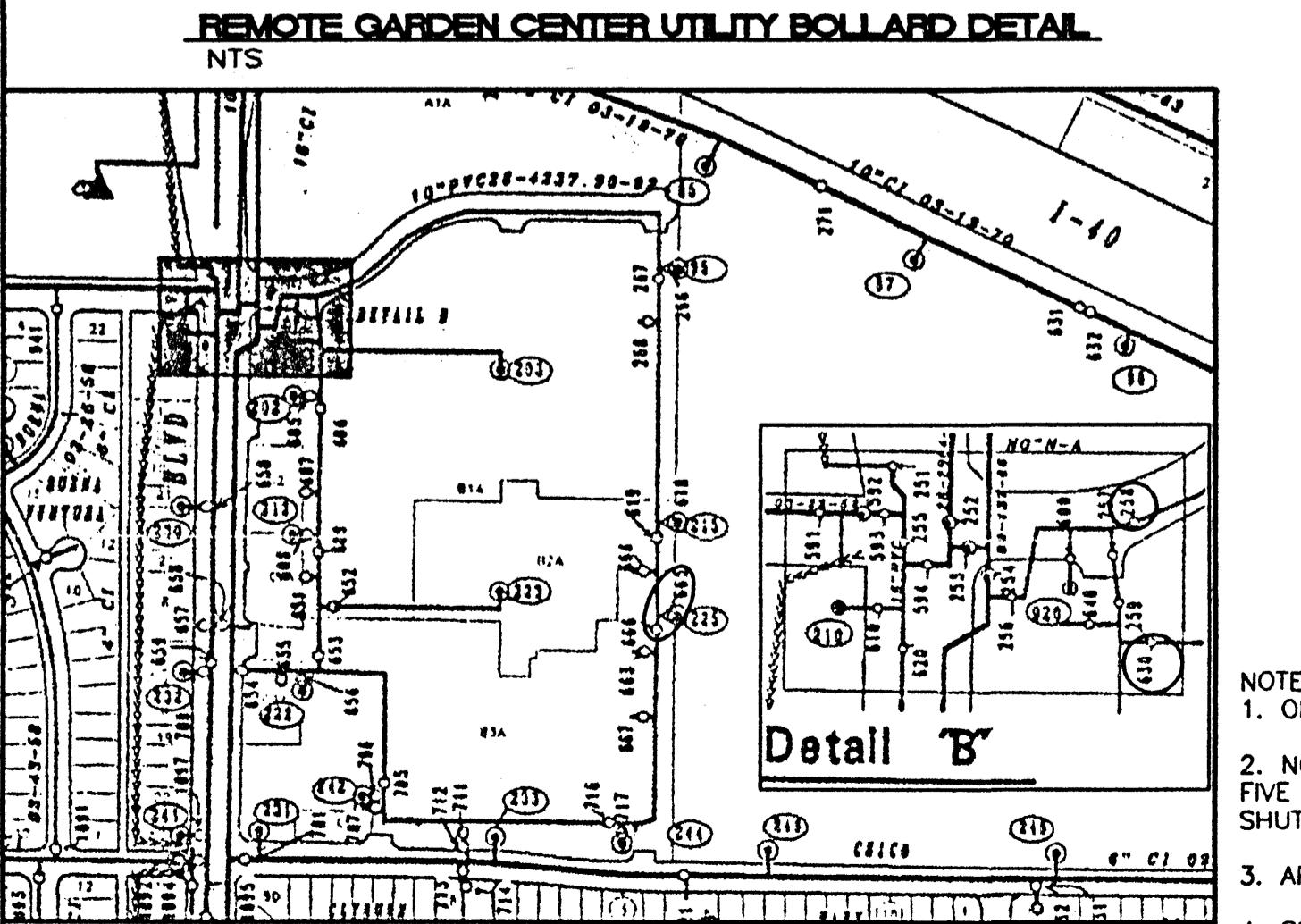
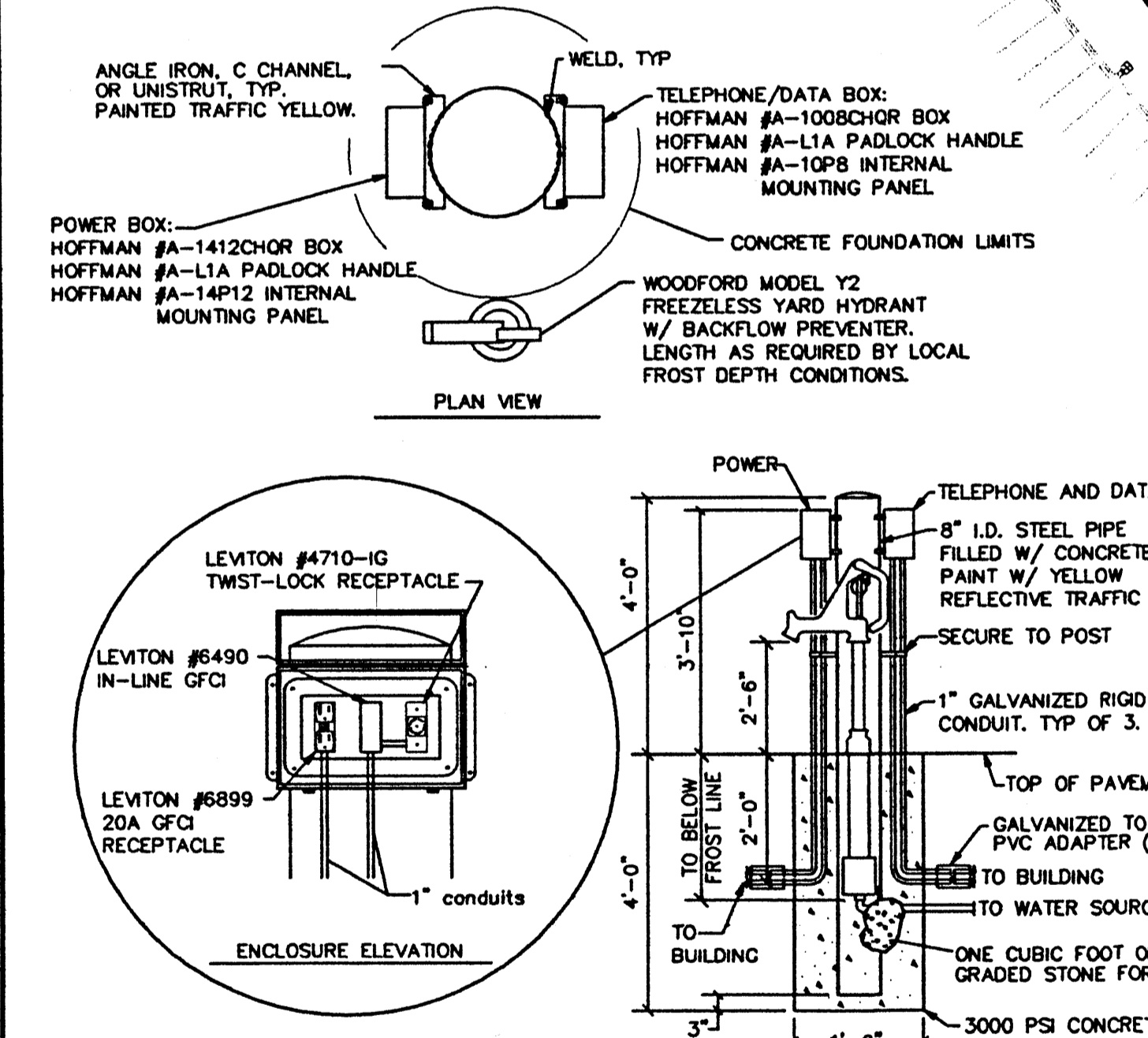
DETAIL SHEET

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY JDN
DATE 04-26-01
9929WDET.DWG
SHEET # 7
JOB # 990029W



- LEGEND**
- ⊙ EXISTING SD MANHOLE
 - ⊙ EXISTING SAS MANHOLE
 - ⊙ EXISTING METER
 - ⊙ EXISTING VALVE W/BOX
 - ⊙ EXISTING FIRE HYDRANT
 - PROPOSED CLEAN OUT
 - ⊙ PROPOSED DOUBLE CLEAN OUT
 - - - EX. 8" SAS
 - - - EX. 18" RCP
 - - - EX. 10" WL
 - - - EX. 16" WL
 - - - EX. 30" RCP
 - - - EX. 36" RCP
 - - - EX. 48" RCP
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 - - - EX. 72" RCP
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 - - - EX. 3000" RCP



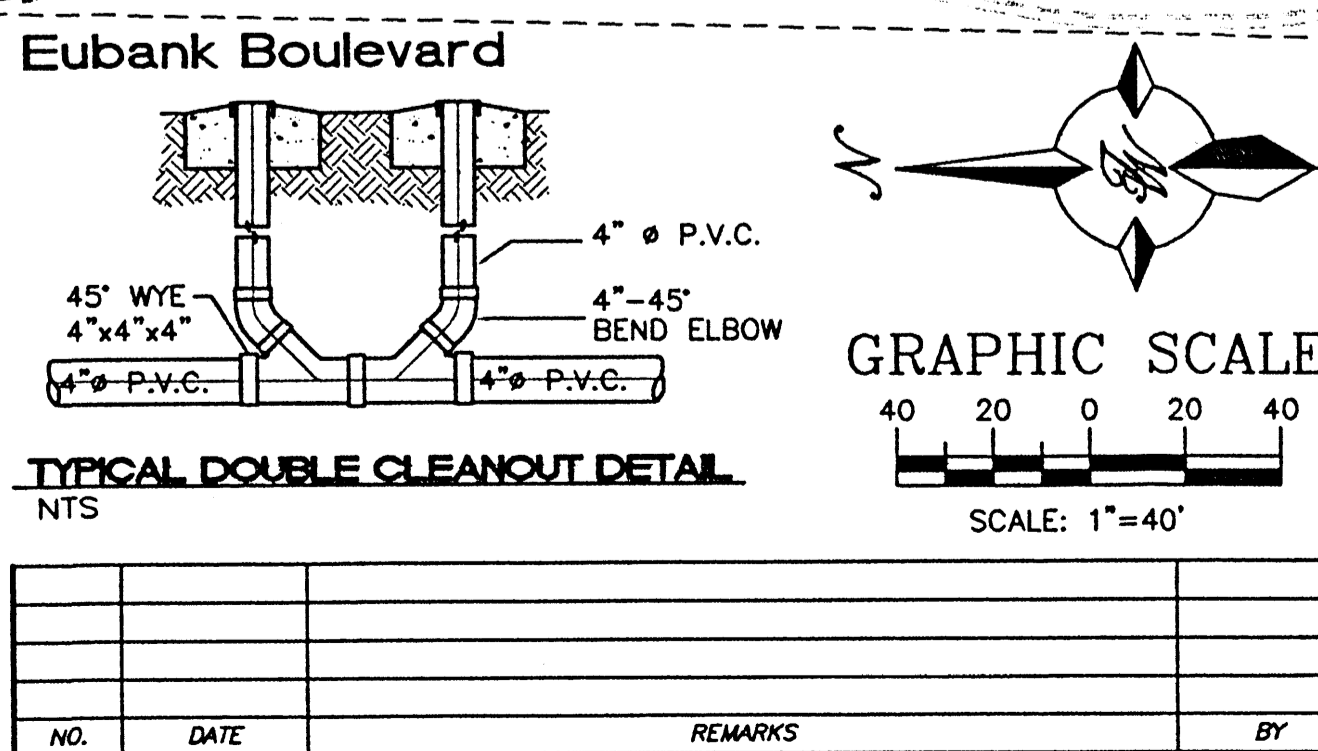
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

NOTES:

- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
- NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
- APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
- SHUTOFF THE VALVES INDICATED IN THE PLAN ON THE LEFT.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING



ENGINEER'S SEAL

RONALD R. BOHANNAN
P.E. #7868

ALBUQUERQUE WAL-MART EXPANSION: 835-02 MASTER UTILITY PLAN SHEET 'A'

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

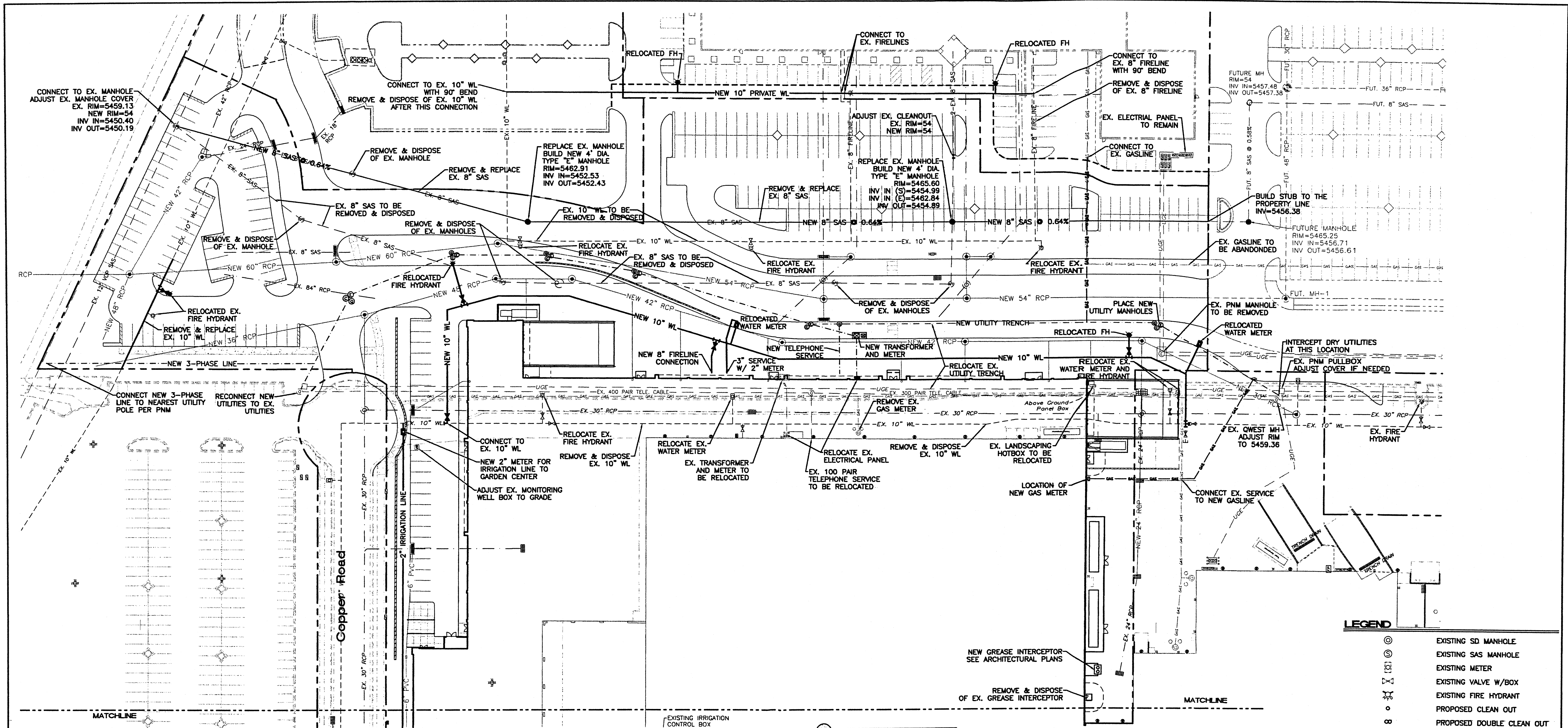
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SCALE: 1"=40'

DRAWN BY JDN
DATE 06-08-01
9929WU.DWG

SHEET #
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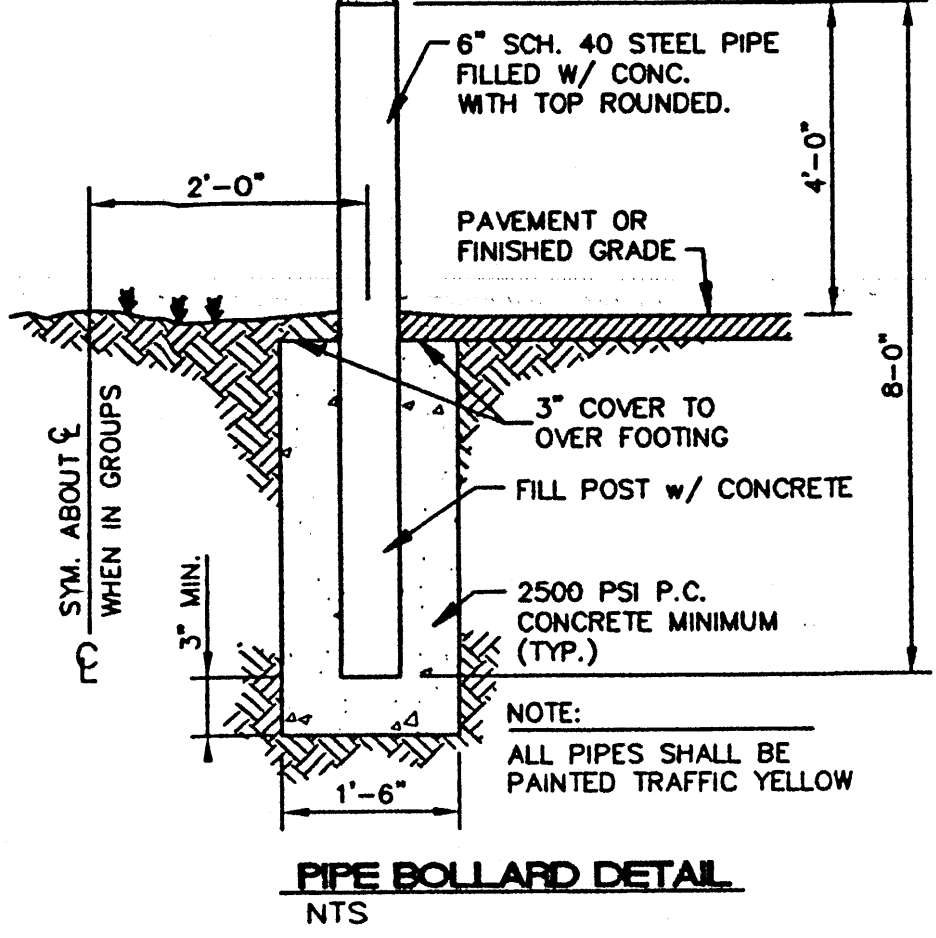
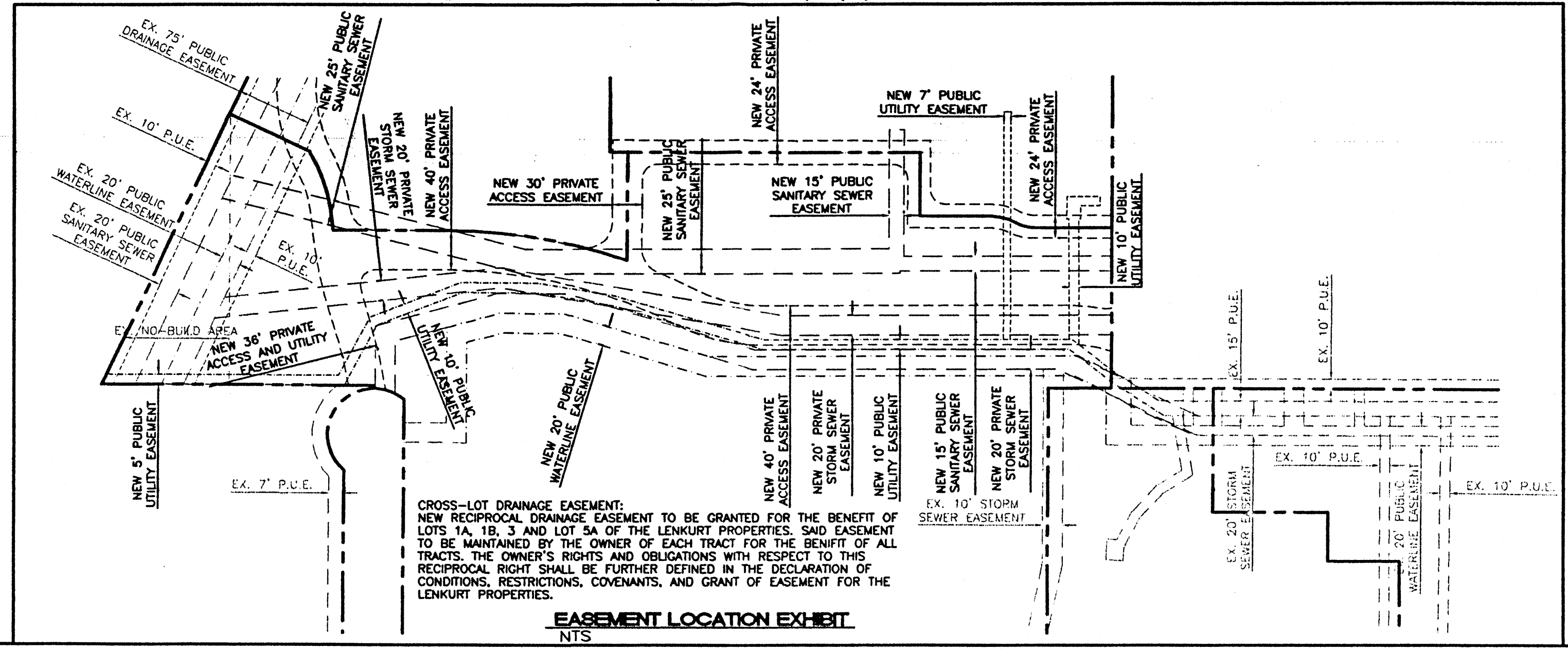
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REVISIONS			



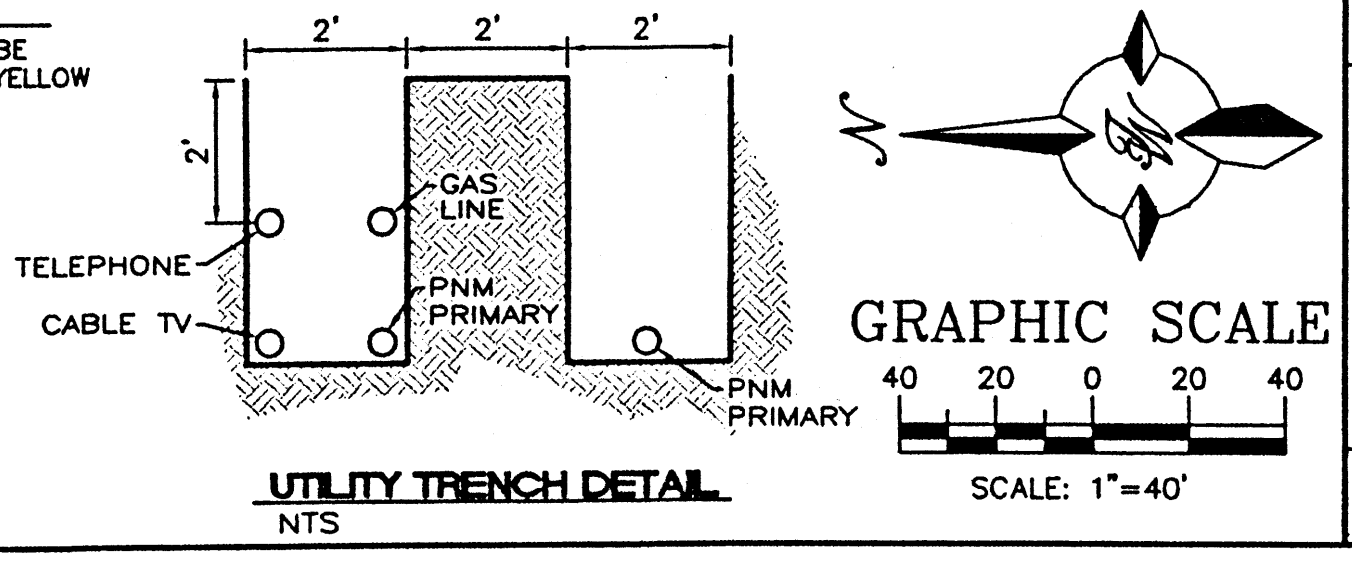
LEGEND

⊙	EXISTING SD MANHOLE
⊗	EXISTING SAS MANHOLE
⊕	EXISTING METER
⊗	EXISTING VALVE W/BOX
⊗	EXISTING FIRE HYDRANT
○	PROPOSED CLEAN OUT
⊗	PROPOSED DOUBLE CLEAN OUT
---	EX. 8" SAS
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING CURB & GUTTER
---	4" SD
---	PROPOSED SANITARY SEWER LINE
---	8" SAS
---	PROPOSED SANITARY SEWER LINE
---	8" WL
---	PROPOSED WATERLINE
---	BOUNDARY LINE

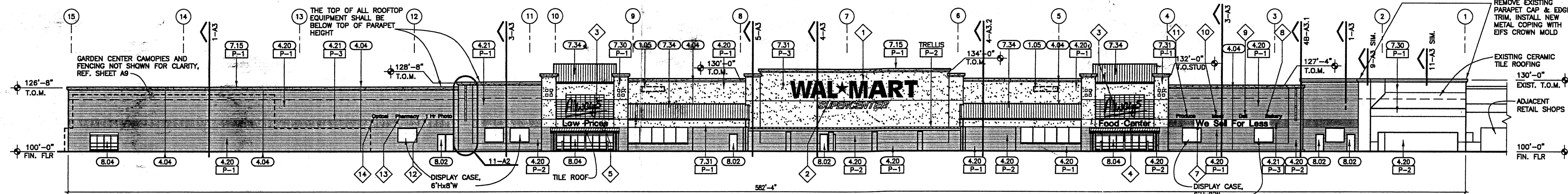


- GENERAL NOTES:**
- 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
 - ALL PIPE MATERIAL TO BE USED PER UPC.

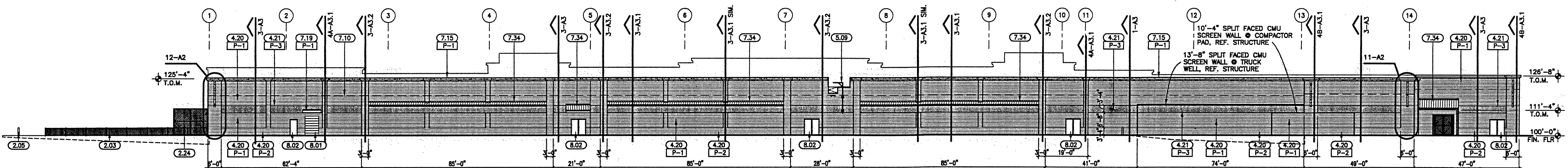
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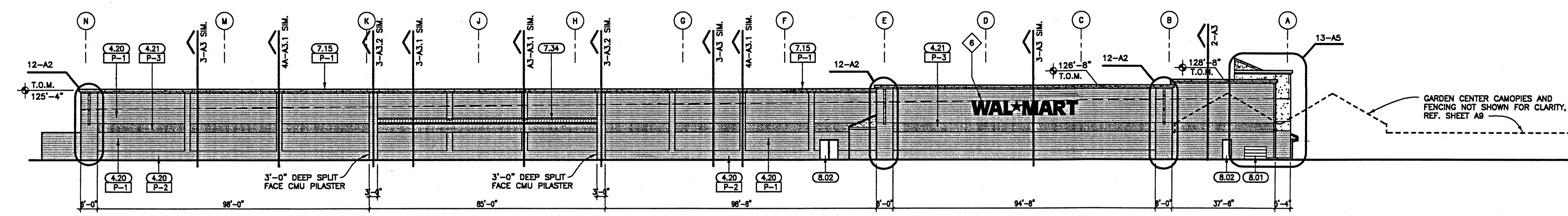
NO.	DATE	REMARKS	BY							
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ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION: 835-02 MASTER UTILITY PLAN SHEET 'B'	DRAWN BY JON							
		Tierra West, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DATE 06-08-01							
GRAPHIC SCALE SCALE: 1"=40'										
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JOB #										
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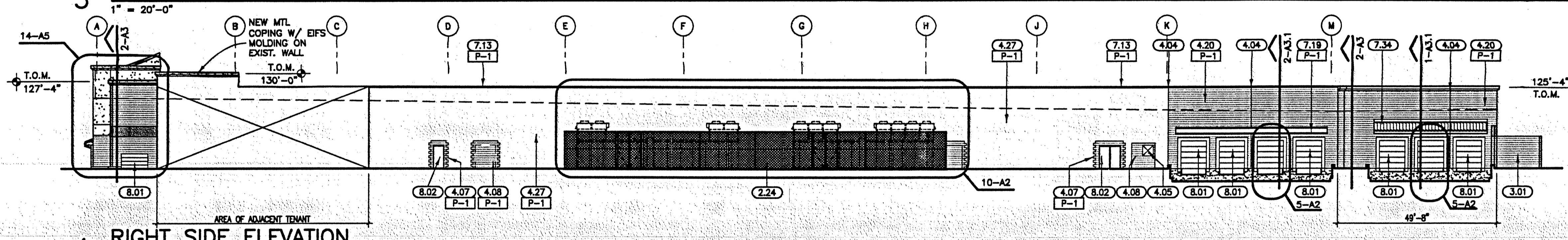
1 FRONT ELEVATION
1\"/>



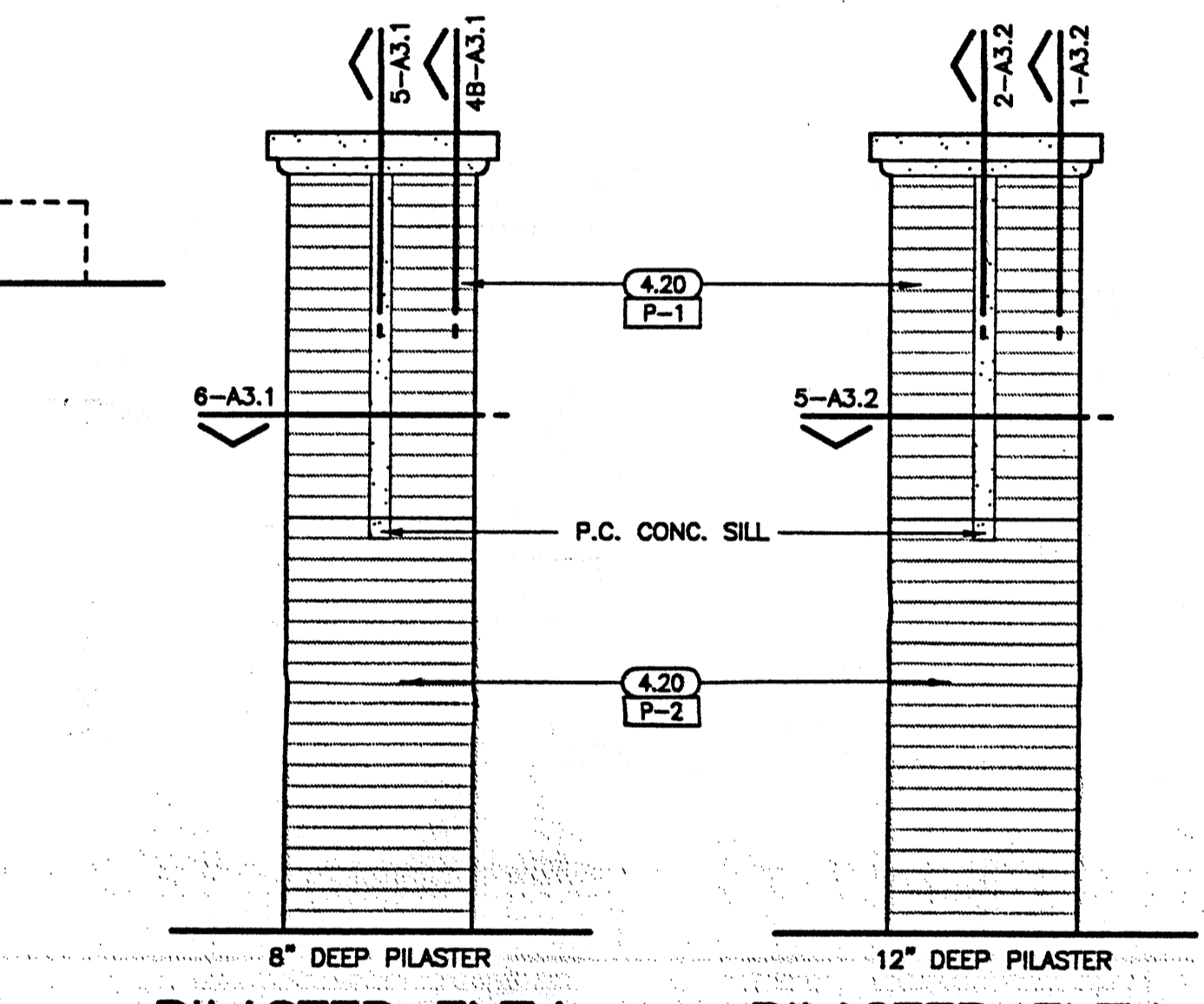
2 REAR ELEVATION
1\"/>



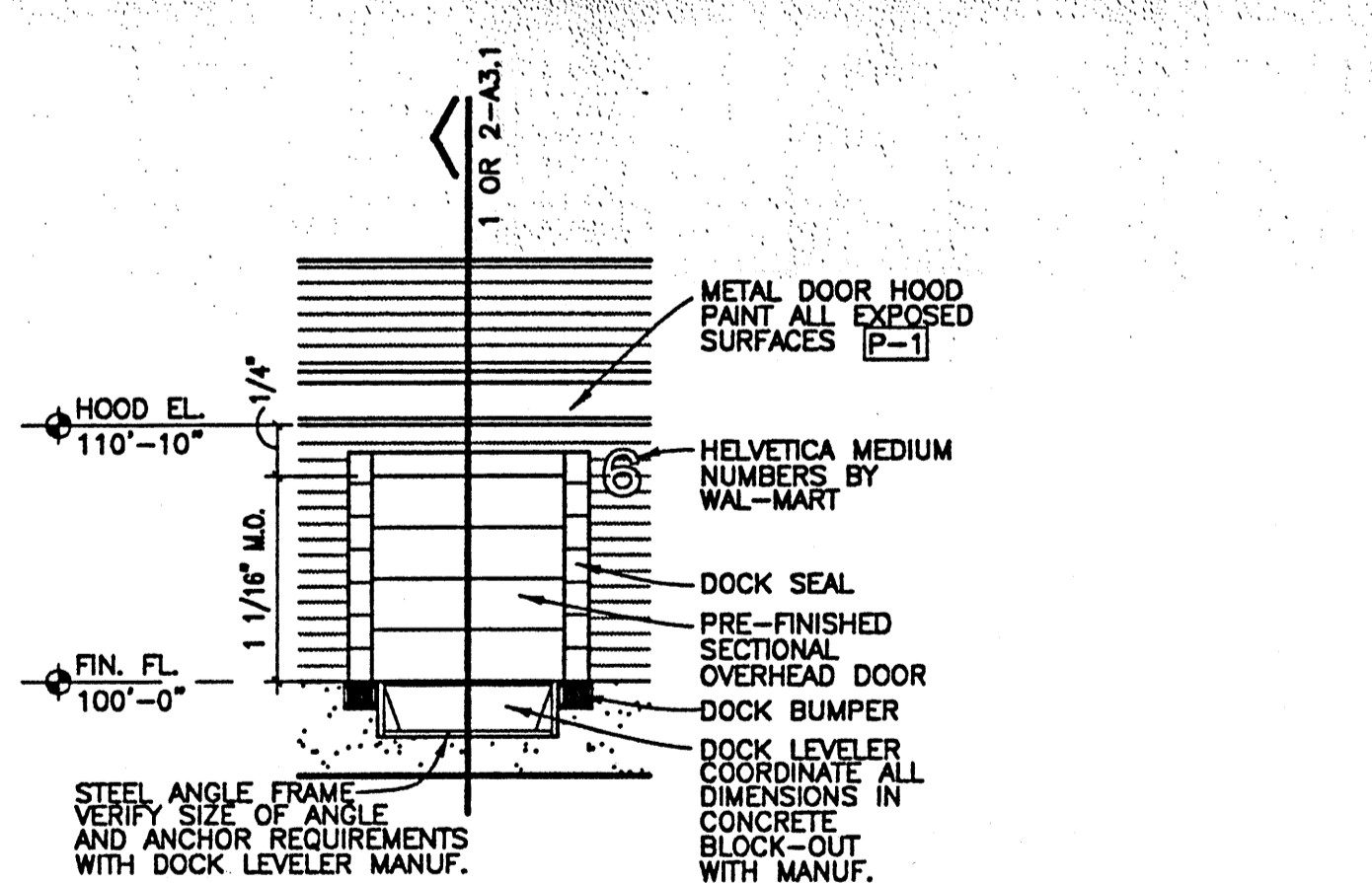
3 LEFT SIDE ELEVATION
1\"/>



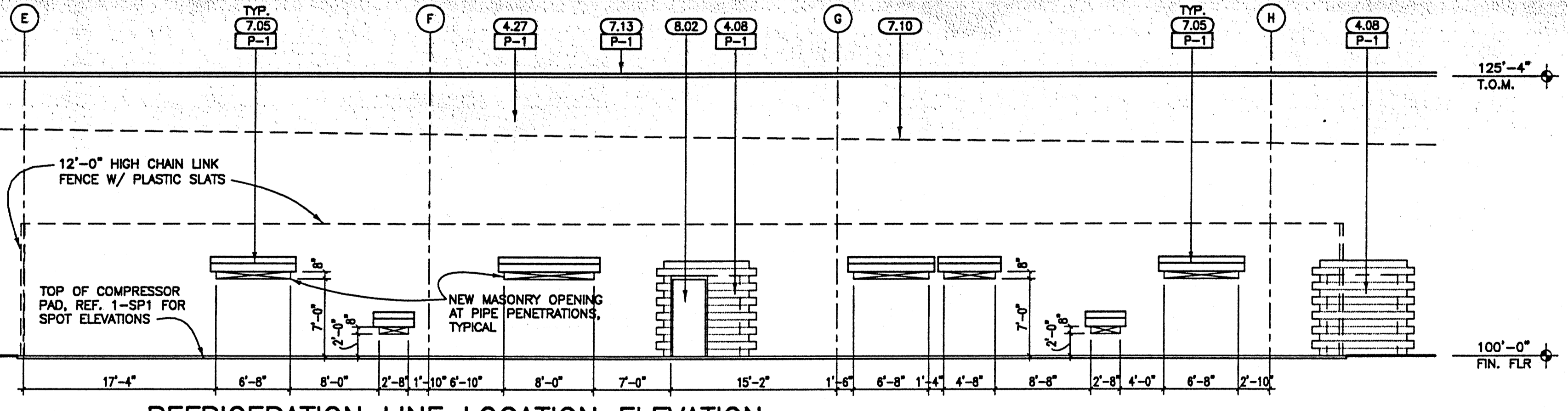
4 RIGHT SIDE ELEVATION
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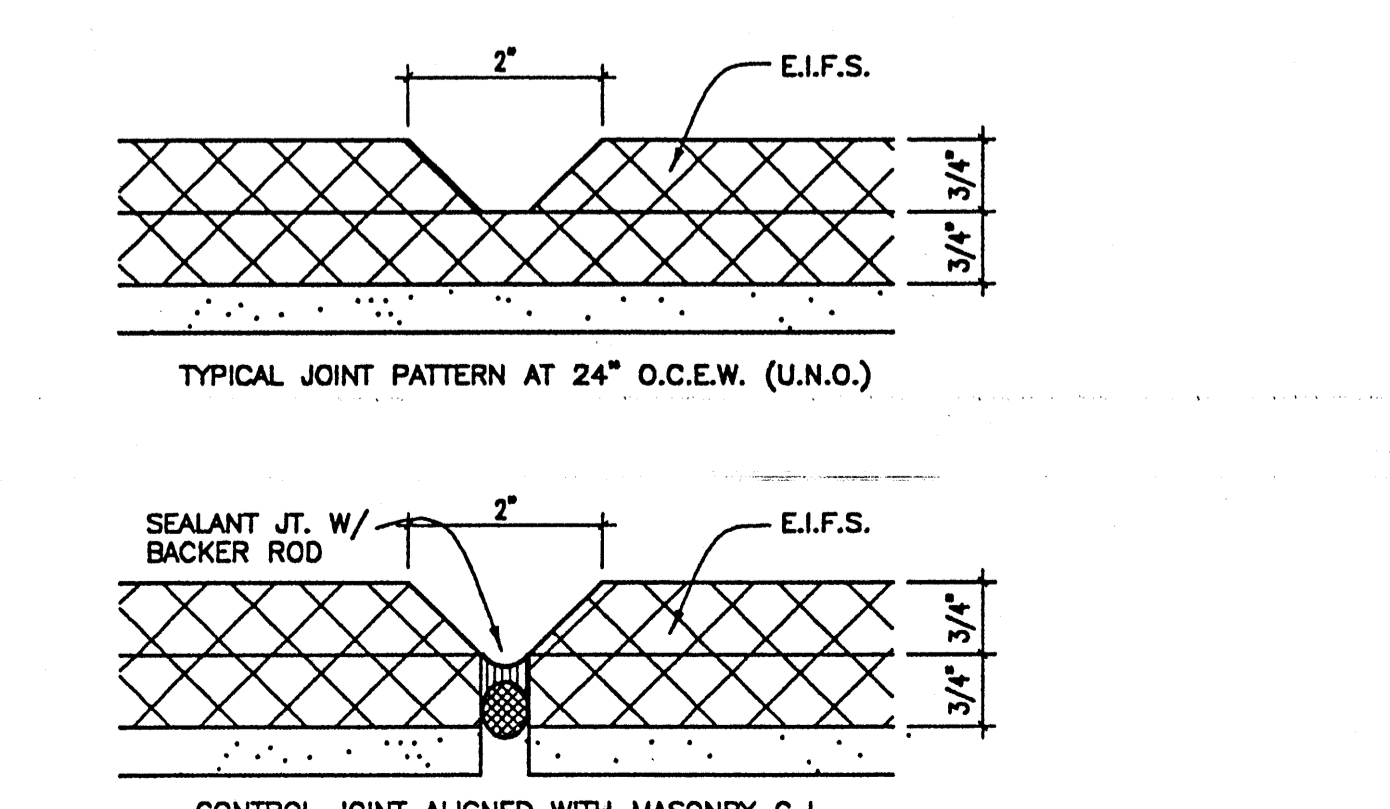
11 PILASTER ELEV. 12 PILASTER ELEV.
3\"/>



5 DOCK DOOR ELEVATION
1\"/>

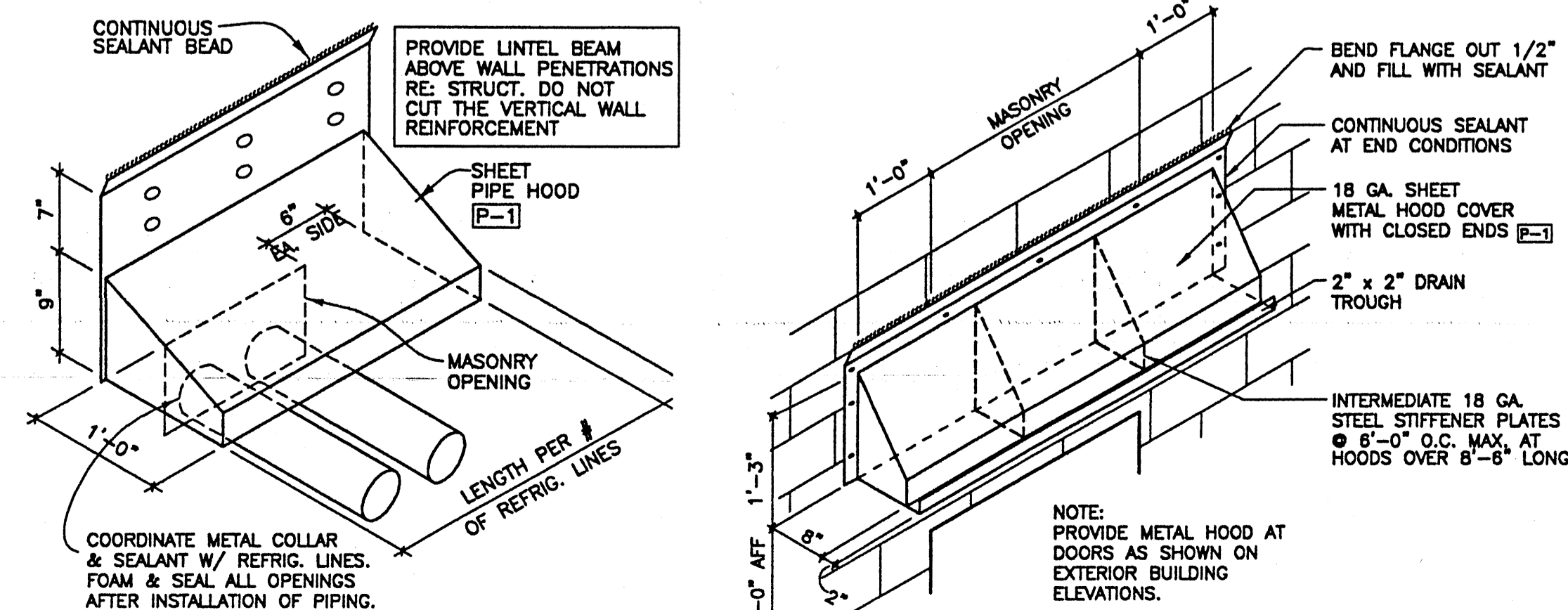


10 REFRIGERATION LINE LOCATION ELEVATION
1\"/>

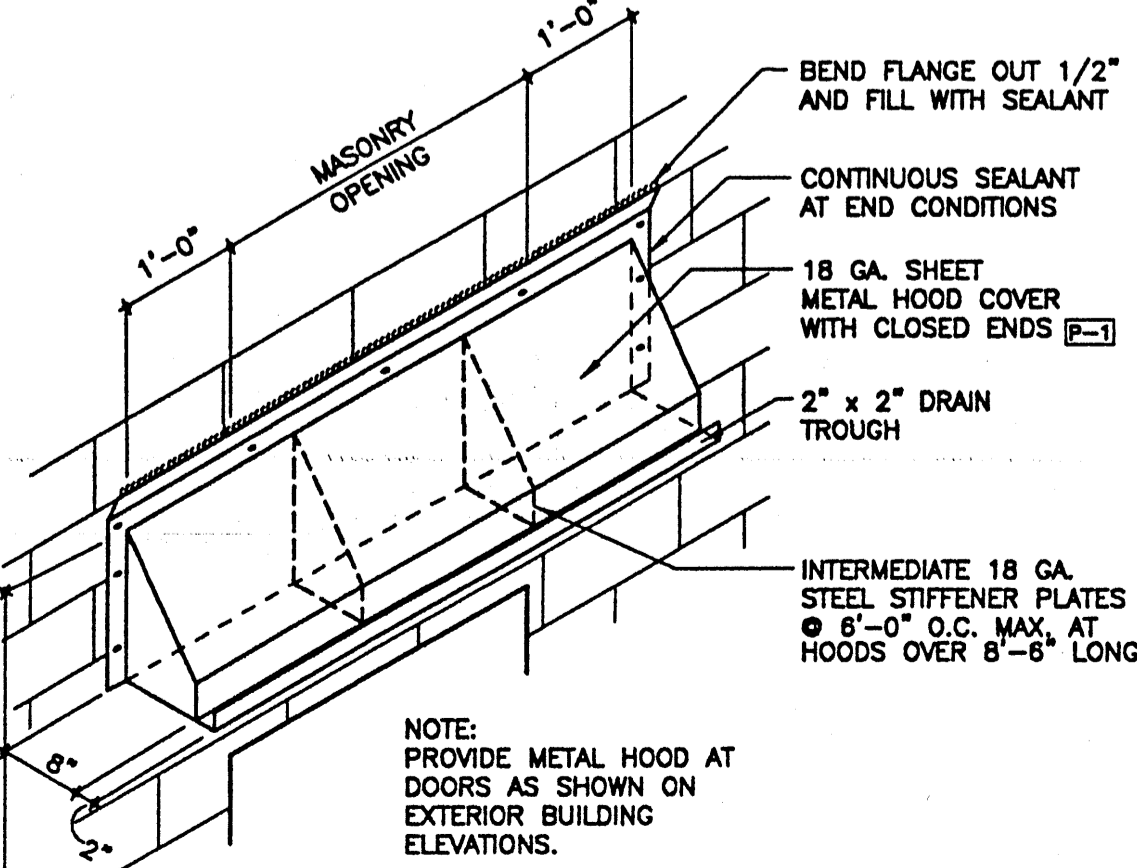


6 E.I.F.S. JOINT DETAILS
HALF SIZE

7 NOT USED



8 REFRIGERATION LINE HOOD
N.T.S.



9 DOOR HOOD DETAIL
N.T.S.

KEYNOTES		COLOR SCHEDULE
1.01 SIGNAGE FURNISHED AND INSTALLED BY WAL-MART (TYPICAL).	4.08 INFILL EXISTING OPENING WITH NEW CMU, MATCH ADJACENT CMU SIZE, TYPE AND FINISH.	P-1 MATCH DRYVIT COLOR #12 (SANDLEWOOD BEIGE)
1.02 EXISTING SIGNAGE TO BE REMOVED BY WAL-MART. CONTRACTOR TO REMOVE ALL REMAINING FASTENING DEVICES AND PATCH WALL TO MATCH ADJACENT WALL.	4.20 8\"/>	
1.03 EXISTING SIGNAGE TO BE REPLACED WITH NEW BY WAL-MART (EXISTING NOT SHOWN).	4.21 8\"/>	
1.05 ILLUMINATED TENANT SIGN TO BE MOVED AS INDICATED. TENANT SHALL BE RESPONSIBLE FOR ALL INSTALLATIONS, PERMIT COSTS AND SIGN COSTS.	4.27 EXISTING CMU, PAINT.	P-2 MATCH SW #1027 (BROWN)
2.03 42\"/>		
2.04 11\"/>		
2.05 BOLLARD, REF. 1-SP2.	4.30 PARAPET AT FRONT WALL BEYOND.	P-3 MATCH SW# 1504 (BLUE)
2.06 BOLLARD, REF. 2-SP2. (FOR REQUIRED PLACEMENT).	5.09 ROOF ACCESS WITH PARAPET DOOR AND JIB CRANE, REF. 1 & 2 A3.3 JIB CRANE HOIST ASSEMBLY FURNISHED BY WAL-MART & INSTALLED BY CONTRACTOR.	RE: SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2.24 12\"/>		
3.01 CONCRETE RETAINING WALL, CURB AND GUARD RAIL AT TRUCK WELL, REF. 2B-SP2.	7.05 SHEET STEEL REFRIGERATION LINE HOOD, PAINT, RE: B-A2.	GENERAL NOTES
3.04 FOUNDATION, REF. STRUCTURAL.	7.10 ROOF LINE BEYOND PARAPET.	1. ALL SIGNAGE BY WAL-MART.
3.05 8\"/>		
4.03 EXPANSION JOINT (E.J.).	7.11 EXISTING METAL EDGE TRIM, PAINT.	2. ALL NEW EXTERIOR MASONRY WALLS SHALL BE PAINTED WITH MASONRY WATERPROOF SYSTEM (RE: SPECS.). PAINT COLOR BANDS ON MASONRY (RE: SPECS.). PAINT COLOR BANDS ON E.I.F.S. (RE: SPECS.). PAINT EXISTING WALLS WHERE NOTED.
4.04 MASONRY CONTROL JOINT (C.J.), TYPICAL (RE: NOTE 5).	7.12 METAL EDGE TRIM, PAINT.	3. PAINT EXISTING EXTERIOR H.M. DOORS, FRAMES, METAL DOOR HOODS, RAILINGS, PIPE COLUMNS, AND EDGE TRIM. MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE.
4.05 40\"/>		
4.07 TOOTH IN NEW CMU JAMB UNITS AT NEW OPENING, MATCH ADJACENT CMU.	7.13 EXISTING METAL EDGE TRIM, PAINT.	4. MASONRY CONTROL JOINTS "C.J." MAX. 40\"/>
	7.14 METAL EDGE TRIM, PAINT.	5. NEW OPENINGS AT EXISTING CMU WALLS, TOOTH-IN NEW CMU TO MATCH EXISTING. PAINT TO MATCH ADJACENT BUILDING COLOR.
	7.15 METAL COPING WITH EIFS CROWN MOLD, PAINT.	6. PAINT ALL NEW AND EXISTING E.I.F.S.
	7.16 METAL DOOR HOOD, REF. 9-A2.	7. INSTALL SEALANT AT EXTERIOR WALL EXPANSION & CONTROL JOINTS, & APPLY EXT. WALL SPECIAL COATINGS (RE: SPECS.) PRIOR TO INSTALLATION OF GUTTERS & DOWNSPOUTS.
	7.17 SHEETMETAL HOOD, REF. 1&2-A3.1, PAINT.	8. CONTRACTOR TO RETAIN SAMPLES OF ALL EXISTING EXTERIOR COLORS AND FINISHES AT START OF CONSTRUCTION. VERIFY THAT NEW COLORS AND FINISHES MATCH EXISTING.
	7.18 EXISTING METAL CANOPY.	
	7.19 METAL CANOPY.	
	7.20 STANDING SEAM METAL ROOF.	
	7.21 HOLLOW METAL DOOR AND FRAME, PAINT.	
	7.22 CERAMIC ROOF TILE (ROYAL BLUE).	
	7.23 BREAKAWAY SLIDING ALUMINUM ENTRANCE DOORS.	

Raymond Harris & Associates Architects
211 N. Main, Suite 2002
Dulles, VA 22022
Telephone 214/746-0858

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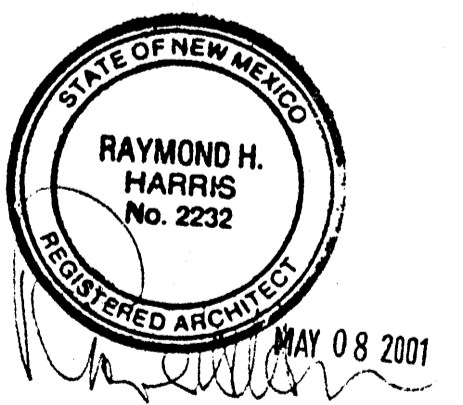
CONSULTANTS:

WAL-MART
SUPER-CENTER
ALBUQUERQUE, NM
STORE NO. 835
JOB NUMBER: #1000 FREDU

ISSUE BLOCK

NO.	DESCRIPTION	DATE

CHECKED BY:
DRAWN BY:
FILE NAME: 99130A2
PROTO CYCLE: 01-26-01
MODIFIED DATE: 04-27-01



EXTERIOR ELEVATIONS

Raymond Harris & Associates Architects
 211 N. Second St. Suite 222
 Albuquerque, NM 87102
 Telephone 214/741-0828

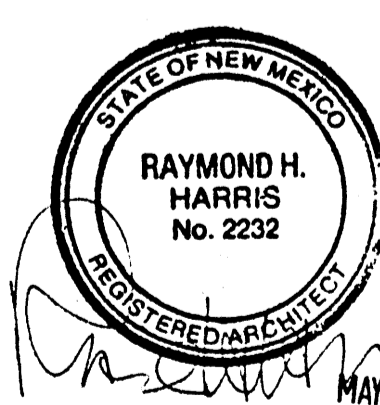
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CONSULTANTS

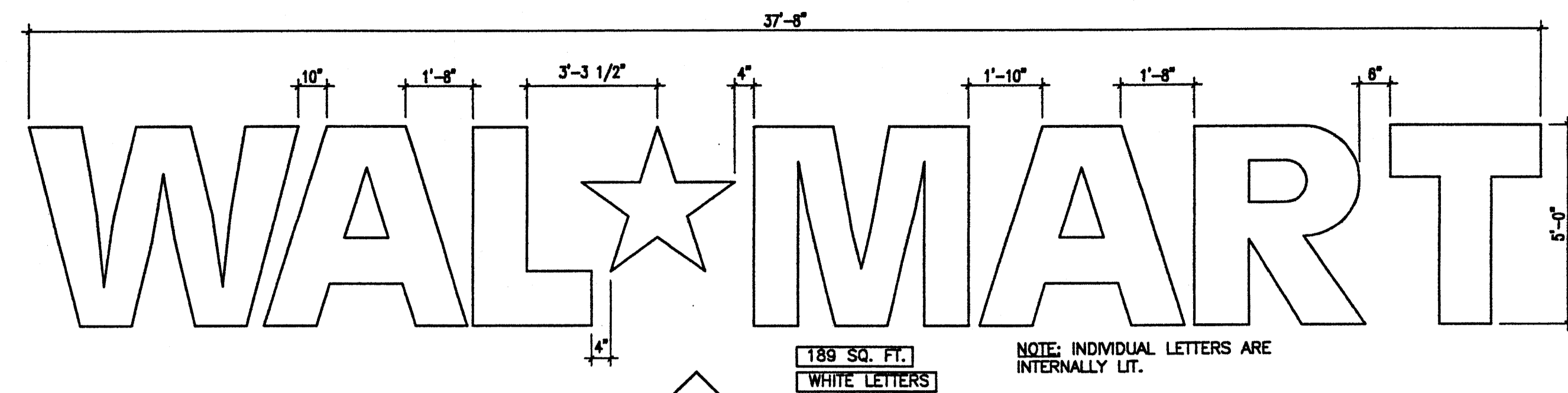
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 SUPERCENTER
 ALBUQUERQUE, NM
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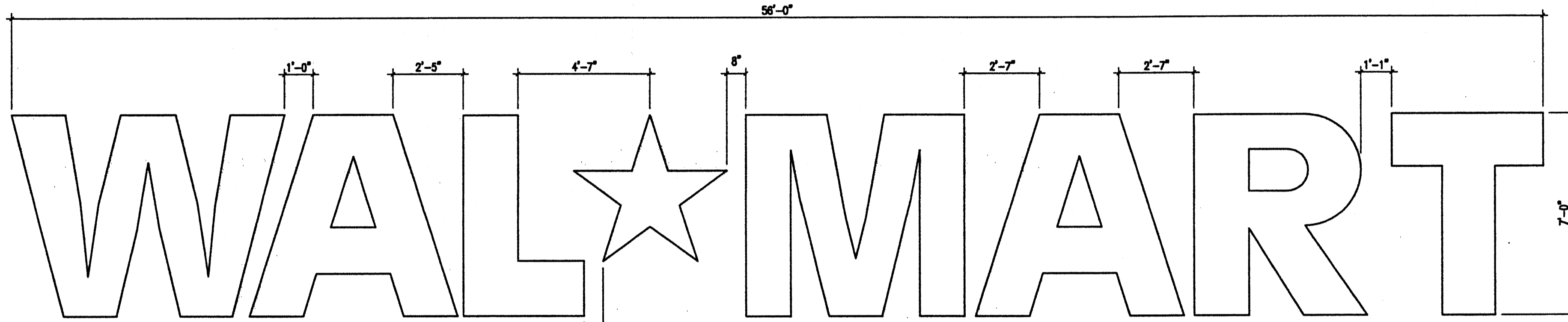
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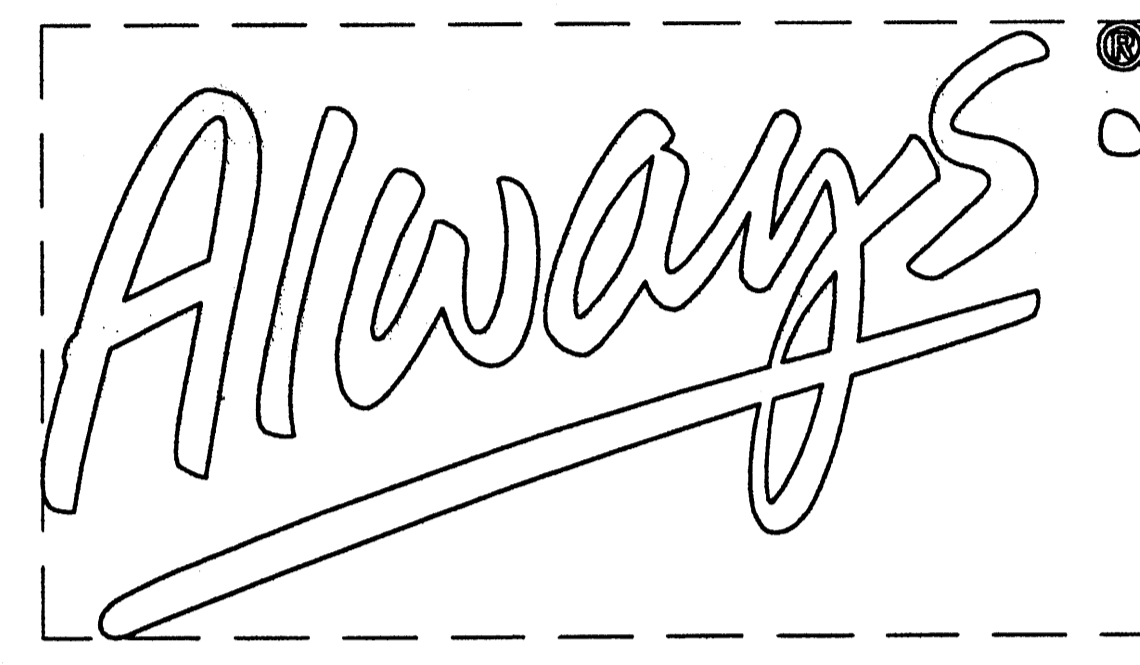
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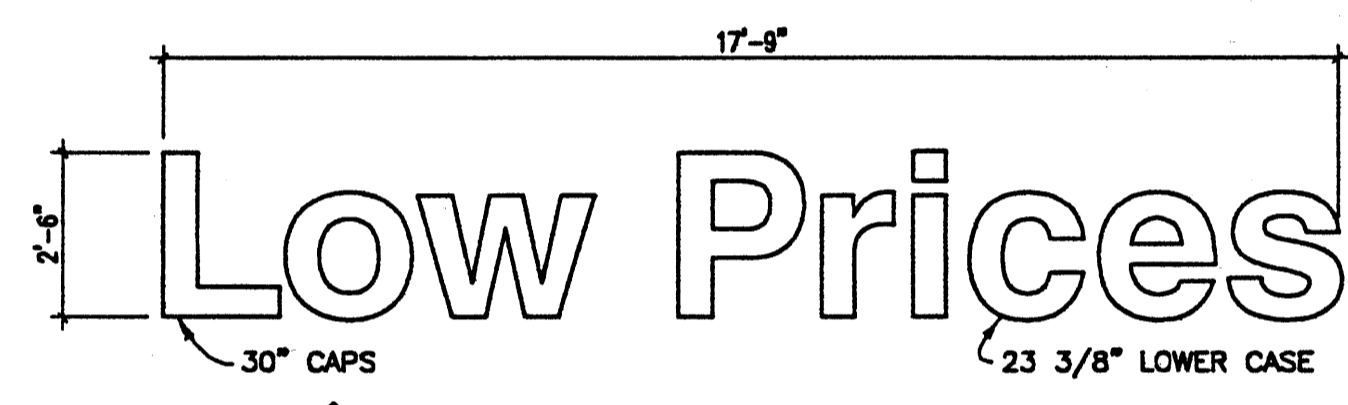
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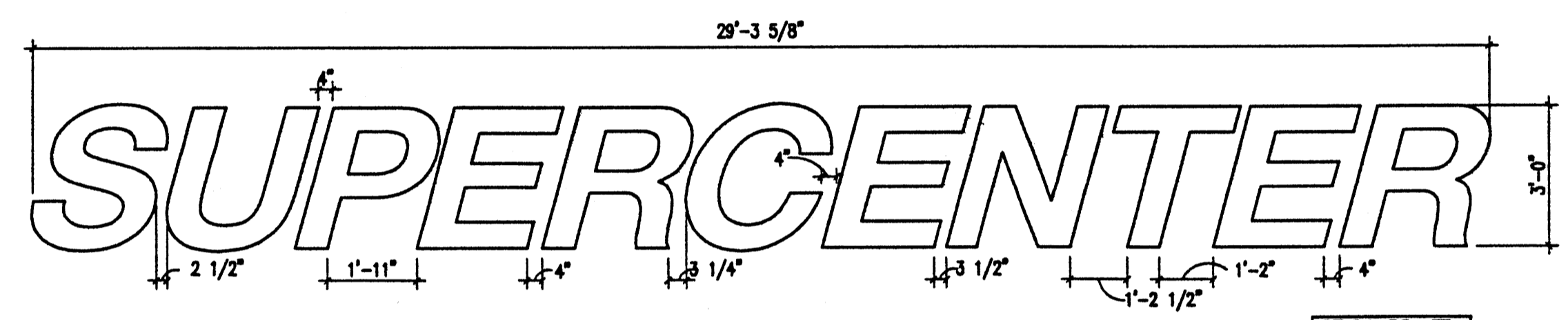
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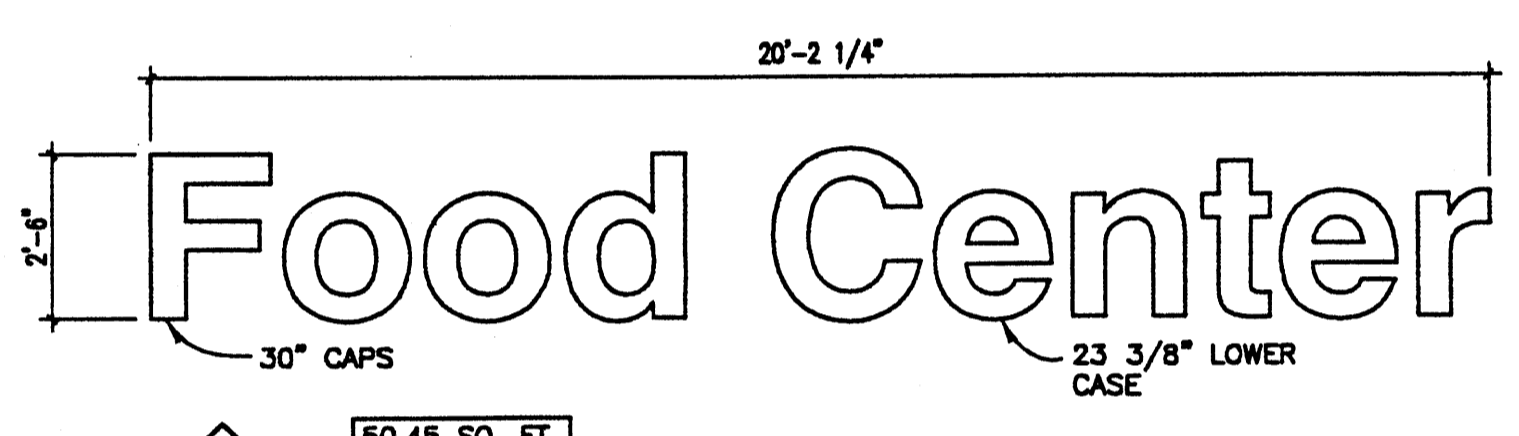
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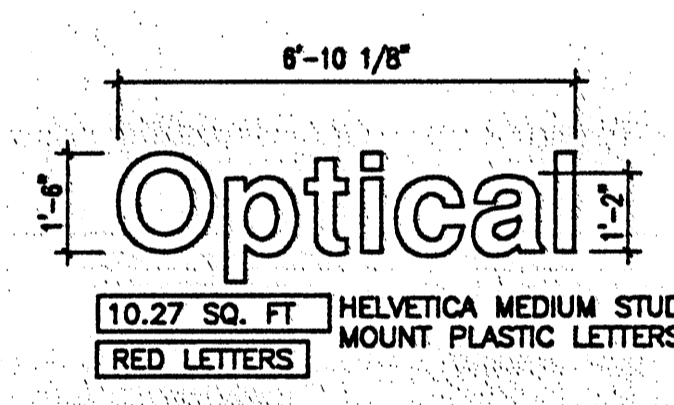
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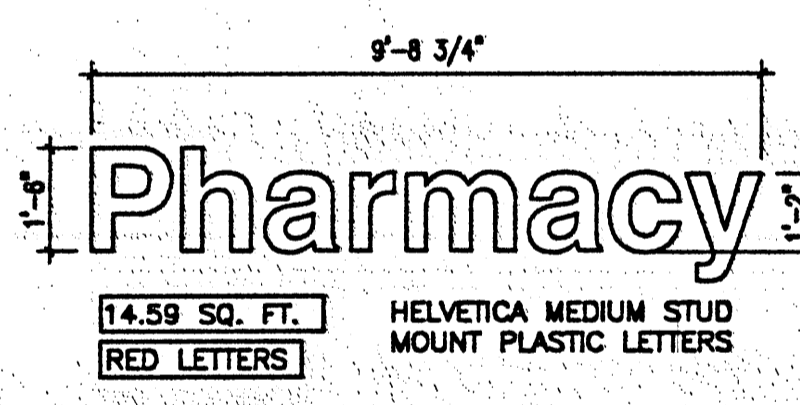
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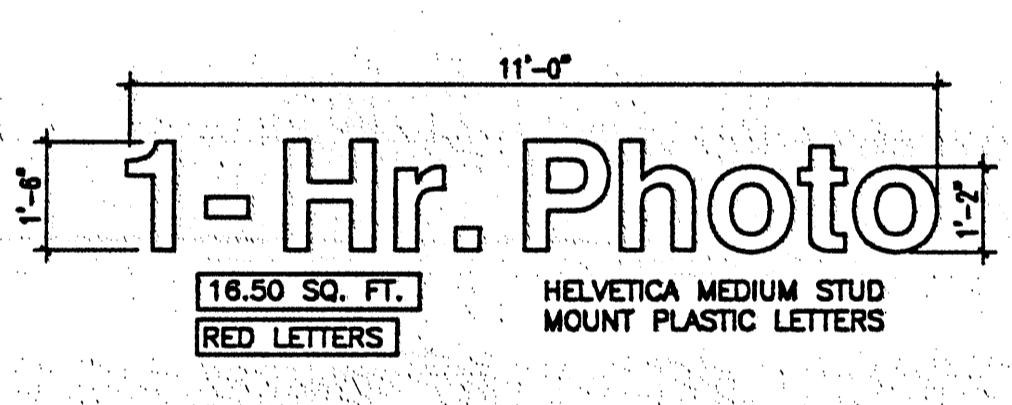
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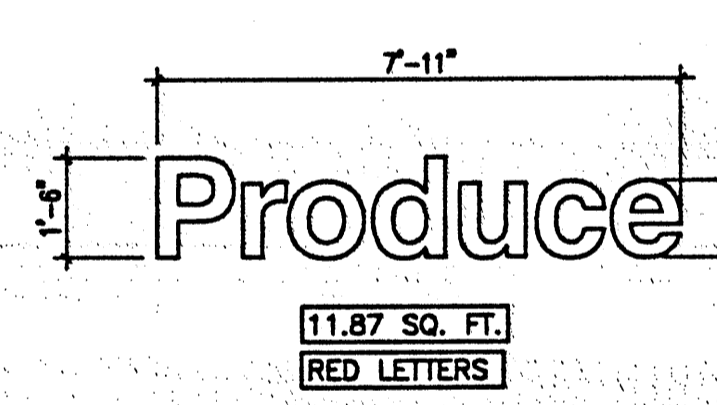
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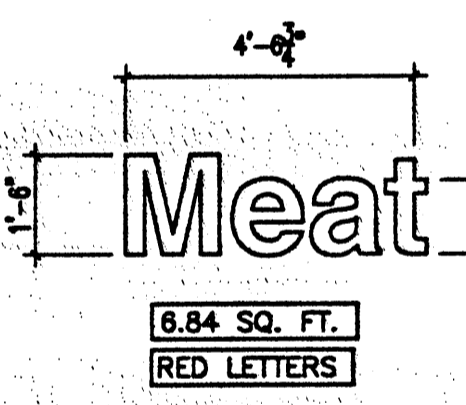
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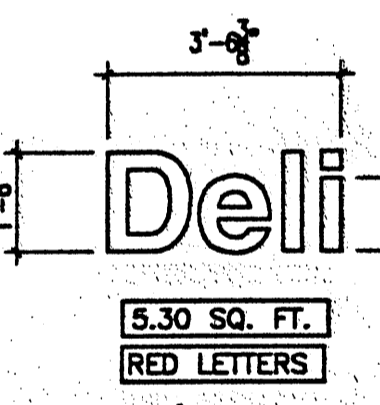
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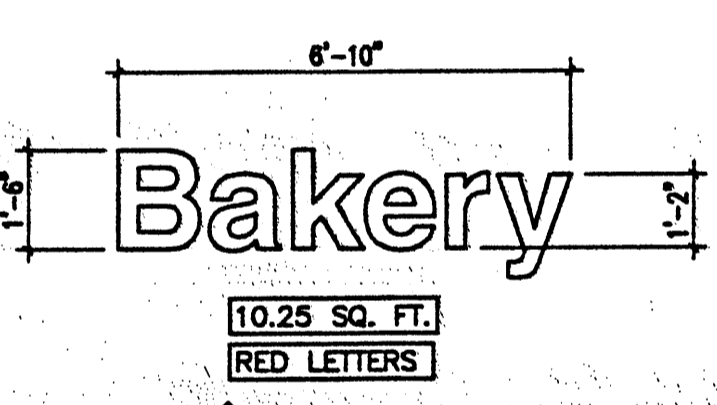
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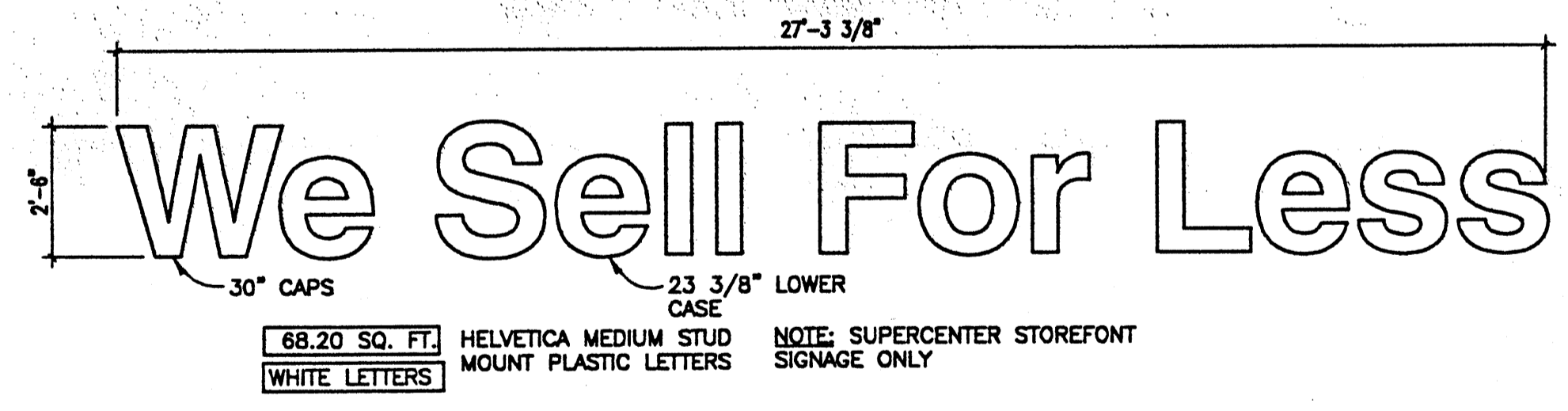
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9



8



7

SIGNS SCHEDULE

NOTES:
 1. SIGNAGE FURNISHED AND INSTALLED BY WAL-MART, UNLESS NOTED OTHERWISE.
 2. ALL SIGNAGE MUST CONFORM WITH LOCAL CITY PLANNING AND ZONING ORDINANCES.

NO.	FRONT SIGNAGE	QUANTITY	HEIGHT	AREA
1	"WAL-MART"	1	7'-0"	392.00 SF
2	"SUPERCENTER"	1	3'-0"	87.94 SF
3	"ALWAYS"	2	9'-0"	292.00 SF
4	"FOOD CENTER"	1	2'-6"	50.45 SF
5	"LOW PRICES"	1	2'-6"	44.38 SF
6	"WAL-MART"	1	5'-0"	189.00 SF
7	"WE SELL FOR LESS"	1	2'-6"	68.20 SF
8	"BAKERY"	1	1'-6"	10.25 SF
9	"DELI"	1	1'-6"	5.30 SF
10	"MEAT"	1	1'-6"	6.84 SF
11	"PRODUCE"	1	1'-6"	11.87 SF
12	"1 HR PHOTO"	1	1'-6"	16.50 SF
13	"PHARMACY"	1	1'-6"	14.59 SF
14	"OPTICAL"	1	1'-6"	10.27 SF

* CALCULATIONS ARE BASED ON BOX METHOD
 TOTAL WALL SIGNAGE 1199.59 SF

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CONSULTANTS

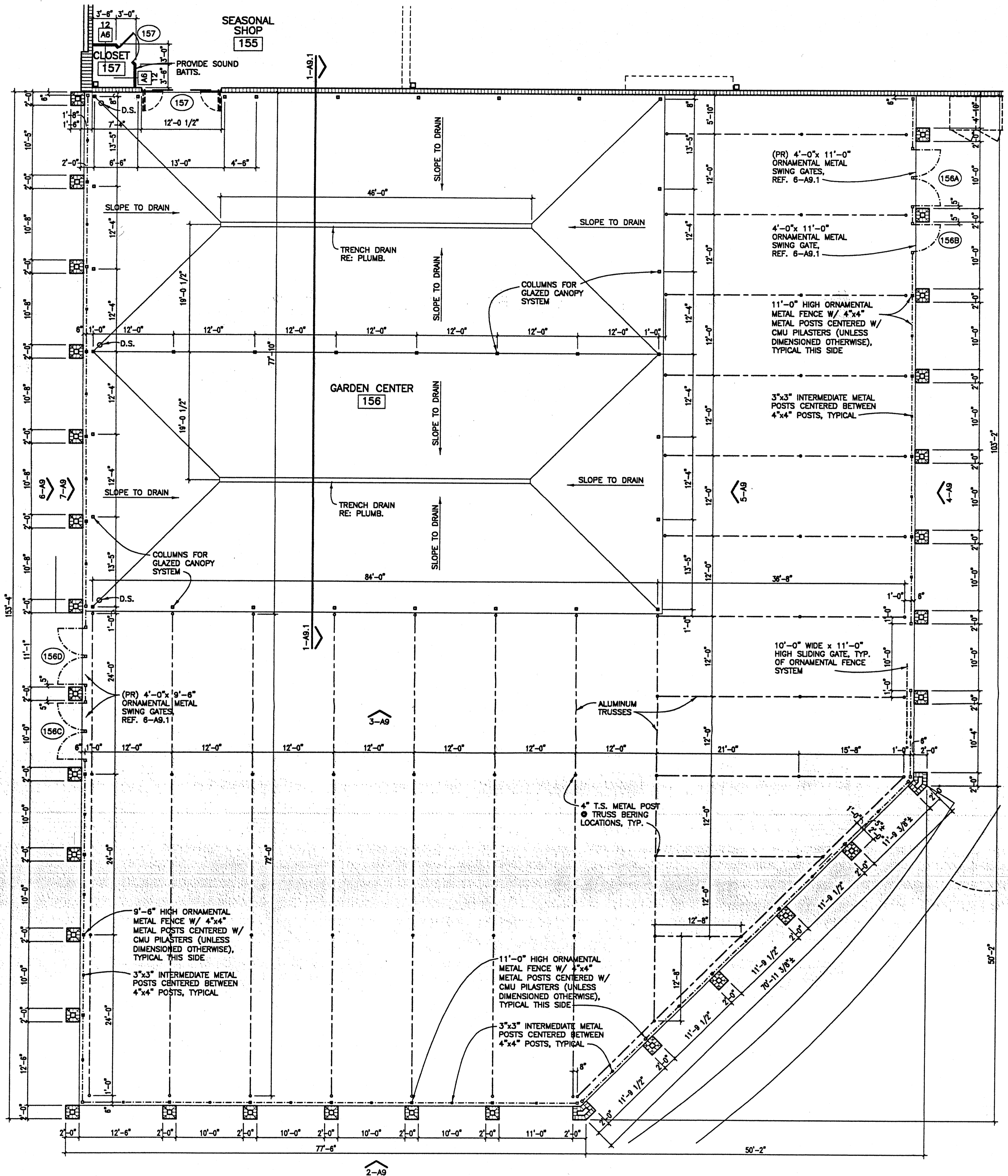
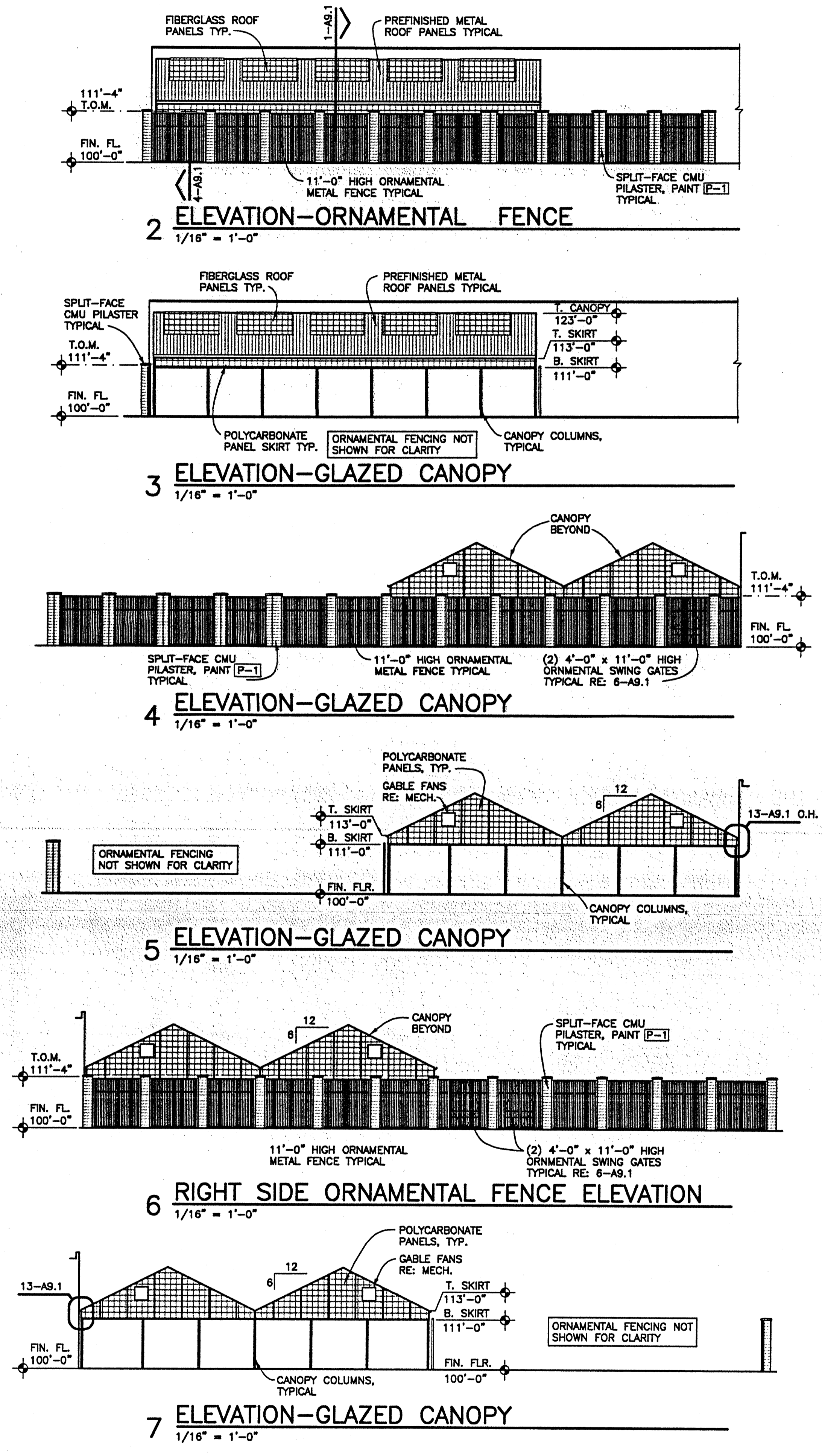
**WALMART
 SUPERCENTER**
 ALBUQUERQUE, NM
 STORE NO. 835
 JOB NUMBER: 891300A9
 DATE: 04-27-01

ISSUE BLOCK

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 FILE NAME: 991300A9
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GARDEN CENTER PLAN & DETAILS



1 GARDEN CENTER PLAN
 1/8" = 1'-0"

FOR ADDITIONAL INFORMATION REFER TO SHEET A4

GARDEN CENTER NOTES

- SHADE CLOTH FABRIC, ALUMINUM TRUSSES, BRIDGING, CONNECTORS, BOLTS AND NYLON CORD TO BE PROVIDED BY WAL-MART AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH PROVIDING A COMPLETE INSTALLATION.
- GARDEN CENTER GATES SHALL HAVE SIGNAGE TO BE KEPT OPEN DURING BUSINESS HOURS.
- THE CONTRACTOR SHALL FIELD MODIFY ALL 1" ALUMINUM TRUSSES TO COORDINATE WITH GARDEN CENTER LAYOUT.
- SHADE CLOTH FABRIC HAS A FLAME SPREAD OF 1 (0-25 FLAME SPREAD INDEX).

CANOPY VENTILATION:

- CANOPY MANUFACTURER TO PROVIDE FOR CANOPY VENTILATION. REFER TO MECH. DRAWINGS FOR QUANTITY, SIZE, AND LOCATION.

Site Data for Building Purposes

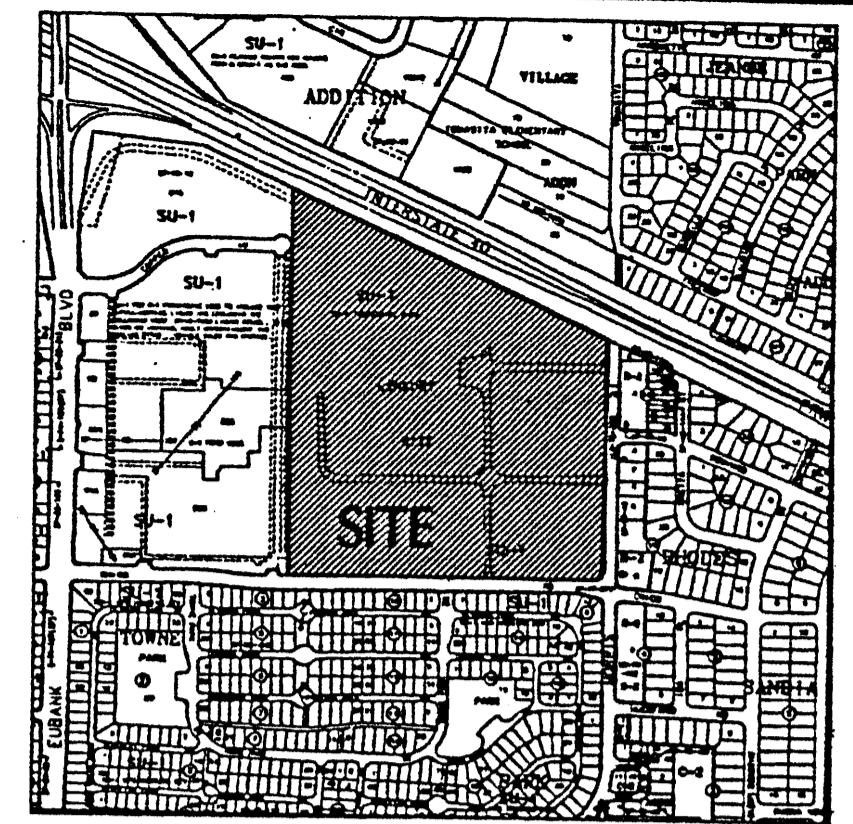
TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	98,000 SF	10%
HARD SURFACE AREA:	708,585 SF	75%
LANDSCAPED AREA:	138,399 SF	15%

LANDSCAPE AREA REQUIREMENTS	
NET LOT AREA: (943,384 LOT AREA - 98,000 BLDG SF = 845,384 NET LOT AREA)	
LANDSCAPE REQUIREMENT (15%):	127,108 SF
LANDSCAPE PROVIDED:	138,399 SF

PROPOSED USE: AMUSEMENT; MOVIE THEATRE	
BUILDING AREAS	
SEATING AREAS:	55,800 SF
SUPPORT AREAS:	17,200 SF
CIRCULATION SPACE:	18,700 SF
TOTAL NET AREA:	
SEATING AREAS:	51,500 SF
TOTAL GROSS AREA:	98,000 SF

PARKING SPACES	
PARKING REQUIRED:	1 PER 4.0 SEATS (4650 SEATS) = 1213 SPACES
PARKING DESIRED:	1 PER 3.0 SEATS (4650 SEATS) = 1550 SPACES
PARKING PROVIDED:	1 PER 3.3 SEATS (4650 SEATS) = 1441 SPACES

H.C. PARKING REQUIRED:	
H.C. PARKING PROVIDED:	25 SPACES
BICYCLE PARKING:	
BICYCLE PARKING PROVIDED:	1:20 REQUIRED FOR AUTOS = 75 SPACES
PARKING PROVIDED:	84 SPACES



Vicinity Map
K-21-Z

Keyed Notes for Building Purposes

- ASPHALT PAVING.
- 6" CURB TREE PLANTER, TYP.
- 8" WIDE CONCRETE SIDEWALK.
- CONCRETE PAVING.
- ENTRY.
- EXHIBIT REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7.
- LIGHT POLE, TYP. REFER TO ELEVATION 2, SHEET 7.
- NOT USED.
- 30' CLEAR SIGHT TRIANGLE, TYP.
- PEDESTRIAN CROSSING COLORED CONCRETE.
- H.C. ACCESSIBLE RAMP, TYP.
- LANDSCAPE AREA.
- ONE BACK PARKING FOR 42 EACH SIDE REFER TO ELEVATION 3, SHEET 7.
- 24" TYPICAL STOPPED PARKING SPACE.
- BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
- PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
- SERVICE/DELIVERY AREA.
- TREE GRATES.
- SPEED TABLES, TYP.
- 20' WIDE TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
- 12' WIDE TREELINED PEDESTRIANWAY WITH PARKING AREA.
- CONCRETE PARKING STOPS, TYPICAL.
- WET PAVING SURFACE VIA COPPER AVENUE.

General Notes for Building Purposes

- AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
- AREA LIGHTING SHALL NOT HAVE AN OFF-SHINE LUMINANCE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

Legend

- DL1 11" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- DL2 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- DL3 BUILDING MOUNTED LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HPS FIXTURE @ 16' ABOVE GRADE.
- DL4 12" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE CONDITIONS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS AND RECREATION	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE DEVELOPER	DATE
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLUG (1/7/06) 4/98	

Facility Re-utilization:

501 Morris
Albuquerque, New Mexico

7/28/98	REVISION 10/7/98	REVISION 9/22/98	REVISION 9/16/98	REVISION 9/16/98	REVISION 9/2/98	REVISION 8/31/98
	REVISION 9/10/98	REVISION 1/25/99	REVISION 12/28/98	REVISION 12/28/98	REVISION 12/28/98	REVISION 12/28/98

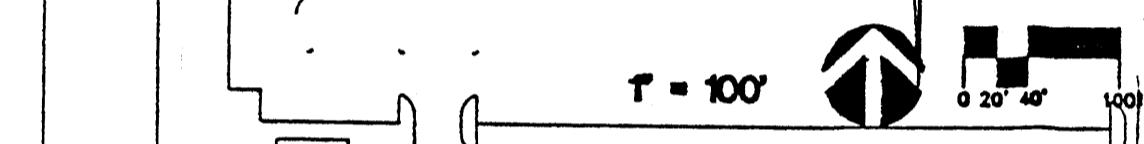
ENGINEER'S SEAL

501 MORRIS
ADMINISTRATIVE AMENDMENT

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY: JDN
DATE: 09-19-00
AMENDMENT: 1.DWG
SHEET #: 13
JOB #: 990029W

Alternate Entry at Copper Ave.



GENERAL NOTES

- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FLUGITIVE LIGHT.

General Notes

- ALL INTERNAL STREET CURBS RISE TO BE 2" MIN. PER OPA STANDARDS.
- DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO OPA STANDARDS.
- LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 30 FEET OF A TREE TRUNK.
- ALL H.C. RAMP AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
- SHADE OF WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
- RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
- NO EXTERIOR BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY, A STANDBY SHOWBOX FEATURE.
- THERE SHALL BE 30' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
- PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
- SCENIC SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
- NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
- AN 8' HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
- NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THE PLAN SHALL BE ALLOWED ON CHICO OR MORRIS STREETS.
- NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
- ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 3 SHALL HAVE LETTERS OF 3" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 3 SHALL HAVE LETTERS OF 4" HIGH, MAX. THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
- NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
- UP LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
- POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
- RETRACTABLE SIGNAGE SHALL NOT BE PERMITTED. (CONDITION 4)
- CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 5)
- RETRACTABLE SIGNAGE SHALL BE PERMITTED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET WITHIN EACH ESTABLISHMENT. (CONDITION 6)
- MAXIMUM LETTER SIZE ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: SIGNS LESS THAN 10,000 SF - MAXIMUM LETTER SIZE 3" MAX. SIGNS 10,000 SF - 20,000 SF - MAXIMUM LETTER SIZE 4" MAX. SIGNS 20,000 SF - 40,000 SF - MAXIMUM LETTER SIZE 5" MAX. SIGNS 40,000 SF - 60,000 SF - MAXIMUM LETTER SIZE 6" MAX. SIGNS 60,000 SF - 80,000 SF - MAXIMUM LETTER SIZE 7" MAX. SIGNS 80,000 SF - 100,000 SF - MAXIMUM LETTER SIZE 8" MAX. SIGNS 100,000 SF - 120,000 SF - MAXIMUM LETTER SIZE 9" MAX. SIGNS 120,000 SF - 140,000 SF - MAXIMUM LETTER SIZE 10" MAX. SIGNS 140,000 SF - 160,000 SF - MAXIMUM LETTER SIZE 11" MAX. SIGNS 160,000 SF - 180,000 SF - MAXIMUM LETTER SIZE 12" MAX. SIGNS 180,000 SF - 200,000 SF - MAXIMUM LETTER SIZE 13" MAX. SIGNS 200,000 SF - 220,000 SF - MAXIMUM LETTER SIZE 14" MAX. SIGNS 220,000 SF - 240,000 SF - MAXIMUM LETTER SIZE 15" MAX. SIGNS 240,000 SF - 260,000 SF - MAXIMUM LETTER SIZE 16" MAX. SIGNS 260,000 SF - 280,000 SF - MAXIMUM LETTER SIZE 17" MAX. SIGNS 280,000 SF - 300,000 SF - MAXIMUM LETTER SIZE 18" MAX. SIGNS 300,000 SF - 320,000 SF - MAXIMUM LETTER SIZE 19" MAX. SIGNS 320,000 SF - 340,000 SF - MAXIMUM LETTER SIZE 20" MAX. SIGNS 340,000 SF - 360,000 SF - MAXIMUM LETTER SIZE 21" MAX. SIGNS 360,000 SF - 380,000 SF - MAXIMUM LETTER SIZE 22" MAX. SIGNS 380,000 SF - 400,000 SF - MAXIMUM LETTER SIZE 23" MAX. SIGNS 400,000 SF - 420,000 SF - MAXIMUM LETTER SIZE 24" MAX. SIGNS 420,000 SF - 440,000 SF - MAXIMUM LETTER SIZE 25" MAX. SIGNS 440,000 SF - 460,000 SF - MAXIMUM LETTER SIZE 26" MAX. SIGNS 460,000 SF - 480,000 SF - MAXIMUM LETTER SIZE 27" MAX. SIGNS 480,000 SF - 500,000 SF - MAXIMUM LETTER SIZE 28" MAX. SIGNS 500,000 SF - 520,000 SF - MAXIMUM LETTER SIZE 29" MAX. SIGNS 520,000 SF - 540,000 SF - MAXIMUM LETTER SIZE 30" MAX. SIGNS 540,000 SF - 560,000 SF - MAXIMUM LETTER SIZE 31" MAX. SIGNS 560,000 SF - 580,000 SF - MAXIMUM LETTER SIZE 32" MAX. SIGNS 580,000 SF - 600,000 SF - MAXIMUM LETTER SIZE 33" MAX. SIGNS 600,000 SF - 620,000 SF - MAXIMUM LETTER SIZE 34" MAX. SIGNS 620,000 SF - 640,000 SF - MAXIMUM LETTER SIZE 35" MAX. SIGNS 640,000 SF - 660,000 SF - MAXIMUM LETTER SIZE 36" MAX. SIGNS 660,000 SF - 680,000 SF - MAXIMUM LETTER SIZE 37" MAX. SIGNS 680,000 SF - 700,000 SF - MAXIMUM LETTER SIZE 38" MAX. SIGNS 700,000 SF - 720,000 SF - MAXIMUM LETTER SIZE 39" MAX. SIGNS 720,000 SF - 740,000 SF - MAXIMUM LETTER SIZE 40" MAX. SIGNS 740,000 SF - 760,000 SF - MAXIMUM LETTER SIZE 41" MAX. SIGNS 760,000 SF - 780,000 SF - MAXIMUM LETTER SIZE 42" MAX. SIGNS 780,000 SF - 800,000 SF - MAXIMUM LETTER SIZE 43" MAX. SIGNS 800,000 SF - 820,000 SF - MAXIMUM LETTER SIZE 44" MAX. SIGNS 820,000 SF - 840,000 SF - MAXIMUM LETTER SIZE 45" MAX. SIGNS 840,000 SF - 860,000 SF - MAXIMUM LETTER SIZE 46" MAX. SIGNS 860,000 SF - 880,000 SF - MAXIMUM LETTER SIZE 47" MAX. SIGNS 880,000 SF - 900,000 SF - MAXIMUM LETTER SIZE 48" MAX. SIGNS 900,000 SF - 920,000 SF - MAXIMUM LETTER SIZE 49" MAX. SIGNS 920,000 SF - 940,000 SF - MAXIMUM LETTER SIZE 50" MAX.
- LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (P.R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
- CONNECTION TO THE EXISTING BIKE TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

Legal Description

BEING A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT 1-A, TOWNE PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REPLAY OF TOWNE PARK PLAZA, ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40; ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept

THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

Land Utilization

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE ON CONDITIONAL USES UNDER THE ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A FAR OF 0.15.

Lot Summary

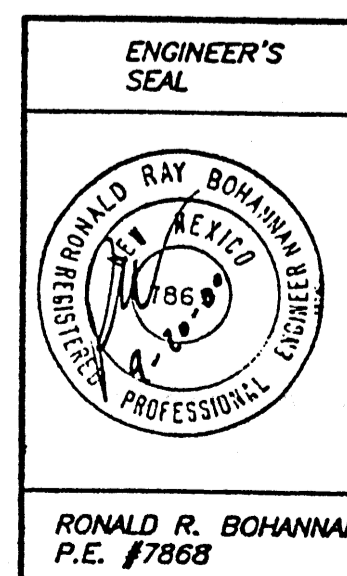
Lot No.	Acres	Use	Building SF	F.A.R.	Bldg. Ht.	Max. Ht.	Min. Building Setbacks
							North South East West
1	12.86	OFFICE/MANUFACTURING	200,000	3.8	40'	75'	20' 20' 20' 20'
2	0.87	RESTAURANT	6,000	1.16	26'	26'	20' 20' 20' 20'
2A	2.47	RESTAURANT	12,000	1.16	26'	26'	20' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	1.16	26'	26'	20' 20' 120' 20'
2C	1.87	RESTAURANT	6,000	1.16	26'	26'	20' 20' 120' 20'
3	21.66	AMUSEMENT	98,000	1.10	72'	40'	120' 120' 20' 20'
4	2.48	OFFICE	30,000	N/A	36'	26'	100' 100' 20' 20'
5A	4.37	RETAIL PARKING	N/A	N/A	N/A	75'	20' 20' 20' 20'
5B	2.32	HOTEL/RESTAURANT	39,000	3.2	84'	75'	20' 20' 20' 20'
Totals	48.09		365,000	1.7			

NOTE: LOT 4 IS DEDICATED TO DRAINAGE POND AND RETAIL INCORPORATED IN CASE Z-98-114-0001-0001 AND 2-0-12 TOWNE PARK SITE DEVELOPMENT PLAN.

NOTE: BUILDING SQUARE FOOTAGES MAY BE HIGHER, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW.

DRB Submittal for Case Z-98-114: IP Master Plan/Site Plan for Subdivision

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Morris Street N.E.
Albuquerque, New Mexico

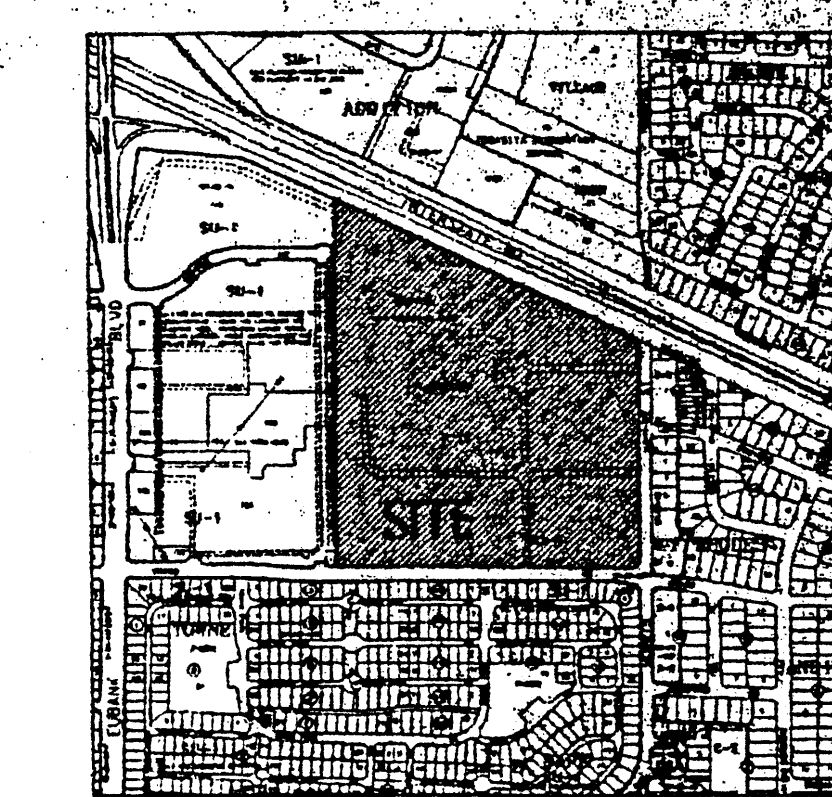


Copy for Applicant

Alternate Entry at Copper Ave.

Site Data for Building Purposes

TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
LANDSCAPED AREA:	138,389 SF	15%
LANDSCAPE AREA REQUIREMENTS:		
NET LOT AREA (943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)	122,108 SF	
LANDSCAPE REQUIREMENT (15%)	18,316 SF	
LANDSCAPE PROVIDED:	138,389 SF	
PROPOSED USE:	AMUSEMENT, MOVIE THEATRE	
BUILDING AREA:	96,000 SF	
SEATING AREA:	17,200 SF	
SUPPORT AREA:	16,700 SF	
CIRCULATION SPACE:	16,700 SF	
TOTAL NET AREA:	91,500 SF	
TOTAL GROSS AREA:	96,000 SF	
PARKING SPACES:		
PARKING REQUIRED:	1 PER 4.0 SEATS (4850 SEATS) = 1,213 SPACES	
PARKING PROVIDED:	1 PER 3.0 SEATS (4850 SEATS) = 1,617 SPACES	
PARKING PROVIDED:	1 PER 3.3 SEATS (4850 SEATS) = 1,467 SPACES	
H.C. PARKING REQUIRED:	25 SPACES	
H.C. PARKING PROVIDED:	27 SPACES	
BICYCLE PARKING:		
PARKING REQUIRED:	1:20 REQUIRED FOR AUTOS = 75 SPACES	
PARKING PROVIDED:	84 SPACES	



Vicinity Map

Keyed Notes for Building Purposes

1. ASPHALT PAVING.
2. 6" CURB TREE PLANTER, TYP.
3. 6" WIDE CONCRETE SIDEWALK.
4. CONCRETE PAVING.
5. CONCRETE PAVING.
6. EARTHMOBILE REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7.
7. LIGHT POLE, TYP. REFER TO ELEVATION 2, SHEET 7.
8. NOT USED.
9. 30" CLEAR SIGN TRIANGLE, TYP.
10. PEDESTRIAN CROSSING, SQUARE COLORED CONCRETE.
11. H.C. ACCESSIBLE RAMP, TYP.
12. LANDSCAPE AREA.
13. BRIC BACK PARKING FOR 42 EACH SIDE, REFER TO ELEVATION 3, SHEET 7.
14. 8"X20" TYPICAL STRIPPED PARKING SPACE.
15. BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
16. PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
17. SERVICE DELIVERY AREA.
18. TREE CRATES.
19. SPEED TABLES, TYP.
20. BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
21. 12" WIDE TREELINED PEDESTRIANWAY WITHIN PARKING AREA.
22. CONCRETE PARKING STOPS, TYPICAL.
23. WAY FINDING SIGNAGE VIA COPPER AVENUE.

General Notes for Building Purposes

1. AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE APPLIED SO THAT THE LOCATION OF THE LIGHTING FEATURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC STREET OR HWY.
2. AREA LIGHTING SHALL NOT HAVE AN OFF-SHINE LUMINANCE GREATER THAN 1,000 FOOT-CANDELS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-CANDELS MEASURED FROM ANY PRIVATE PROPERTY BY A RESIDENTIAL ZONE.
3. REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

Legend

- CHG 18" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 2, SHEET 7.
- CH 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 2, SHEET 7.
- CH 12" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FUTURE, REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER: Z-98-114
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER TRANSPORTATION DIVISION	DATE
DESIGN AND DEVELOPMENT, CIV	DATE
PUBLIC WORKS WATER UTILITIES DIVISION	DATE
CITY ENGINEER ENGINEERING DIVISION / AMAPSA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	DATE
CITY PLANNER ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLANZ (11/7/98) 4/98	

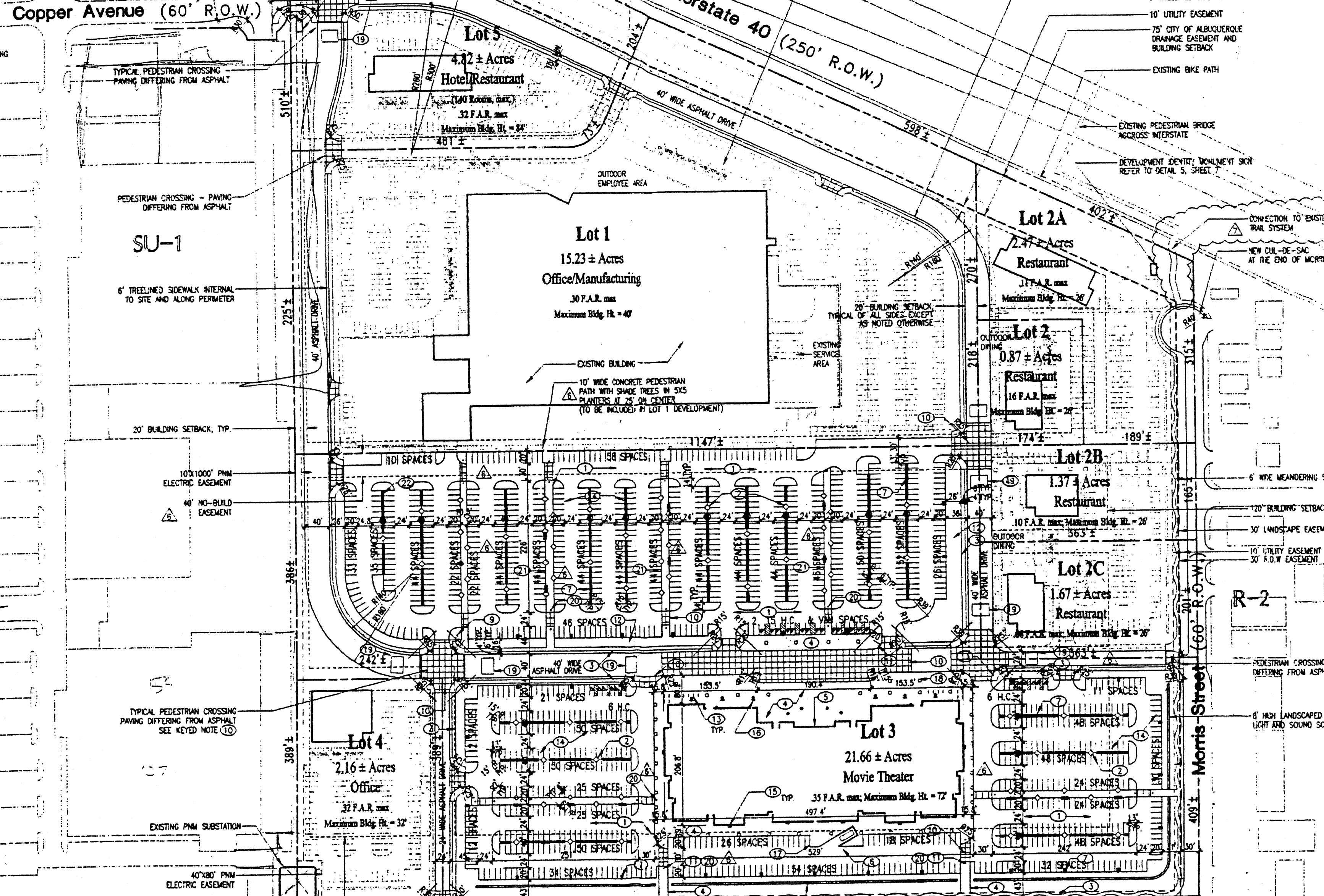
FOR REFERENCE ONLY

Facility Re-utilization
501 Morris
 Albuquerque, New Mexico

7/28/98
 REVISIONS:
 10/7/98
 9/22/98
 9/16/98
 1/25/99
 12/29/98
 8/31/98

ISAACSON & ARPMAN, P.A.
 Consulting Engineering Associates
 128 Avenue Street N.E.
 Albuquerque, New Mexico

Dekker/Perich/Sabatini
 Architecture • Interiors • Planning • Engineering
 6801 Jefferson NE, Suite 100
 Albuquerque, NM 87109
 505 761-9700
 505 761-4222



General Notes

1. ALL INTERNAL STREET CURB RADI TO BE 25' MIN. PER DPM STANDARDS.
2. DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
3. LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
4. ALL H.C. RAMP AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
5. SHADDED 6" WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
6. RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
7. NO GENERAL BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
8. LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDING SIDEWALK FEATURE.
9. THERE SHALL BE 30" CLEAR SIGN TRIANGLES AT ALL INTERSECTIONS.
10. PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
11. DRIVEWAYS SHALL BE PROVIDED TO DISELVE VEHICULAR TRAFFIC TO COPPER AND MORRIS.
12. SIDEWALKS SHALL BE PROVIDED TO DISELVE VEHICULAR TRAFFIC TO COPPER AND MORRIS.
13. NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
14. TRUCK PARKING SHALL BE LIMITED TO THE NORTH BY THE SOUTHWEST RIGHT-OF-WAY LINE OF TONK PARK PLAZA ON THE NORTH BY THE SOUTHWEST RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40, ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.
15. NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THIS PLAN SHALL BE ALLOWED ONTO CHICO OR MORRIS STREETS.
16. NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
17. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5B, AND 5C SHALL HAVE LETTERS OF 3" HIGH. MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4" HIGH. MAX.
18. THE HUNGARIAN PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 5A, 5B, 5C, 4, AND 5.
19. NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
20. UP LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 3)
21. OFF-PREMISE BILLBOARD SIGNS WILL NOT BE ALLOWED. (CONDITION 3)
22. POLY MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
23. CELESTIAL MATERIALS WILL NOT BE ALLOWED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 3)
24. SIGNAGE SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET WITHIN EACH ESTABLISHMENT. (CONDITION 8)
25. SIGNAGE LETTERS ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: PHOSPHOR-BRAND "DODGE" OF 4" MAX. (CONDITION 7)
26. BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED-FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5B, AND 5C SHALL HAVE LETTERS OF 3" HIGH. MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4" HIGH. MAX.
27. STREET TREES ALONG CHICO AND MORRIS SHALL BE STYMOGRAPHS, 3 1/2" CALIPER, 100% (CONDITION 14)
28. ALL LAND USES WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 10)
29. ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PADS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE DPB PRIOR TO ANY FUTURE DEVELOPMENT ON THE PADS.
30. LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT-OF-WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER ADJACENT TO SAID RIGHT-OF-WAY.
31. CONNECTION TO THE EXISTING SITE ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PAVES AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHEAST CORNER JUST INSIDE THE WEST PROPERTY LINE.

Legal Description

BEING A PART WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO BEING A PART WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWN PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REPLAT OF TONK PARK PLAZA ON THE NORTH BY THE SOUTHWEST RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40, ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept

THE PLAN FOR THE 501 MORRIS SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

Lot Summary

Lot No.	Acres	Use	Building CSF	F.A.R.	Bldg. Ht.	Minimum Building Setbacks
						North South East West
1	15.23	OFFICE/MANUFACTURING	200,000	30	40'	75' 20' 20' 20'
2	0.87	RESTAURANT	6,000	16	26'	26' 20' 20' 20'
2A	2.47	RESTAURANT	12,000	11	26'	75' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	10	26'	20' 20' 120' 20'
2C	1.67	RESTAURANT	6,000	9.8	26'	26' 20' 120' 20'
3	21.66	AMUSEMENT	96,000	10	72'	40' 120' 20' 20'
4	2.16	OFFICE	30,000	32	32'	20' 120' 20' 20'
5	4.82	HOTEL/RESTAURANT	98,000	32	84'	75' 20' 20' 20'
Totals	50.28		424,000	19		

*F.A.R. = FLOOR AREA RATIO
 NOTE: BUILDING SQUARE FOOTAGES MAY BE INEXACT, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW

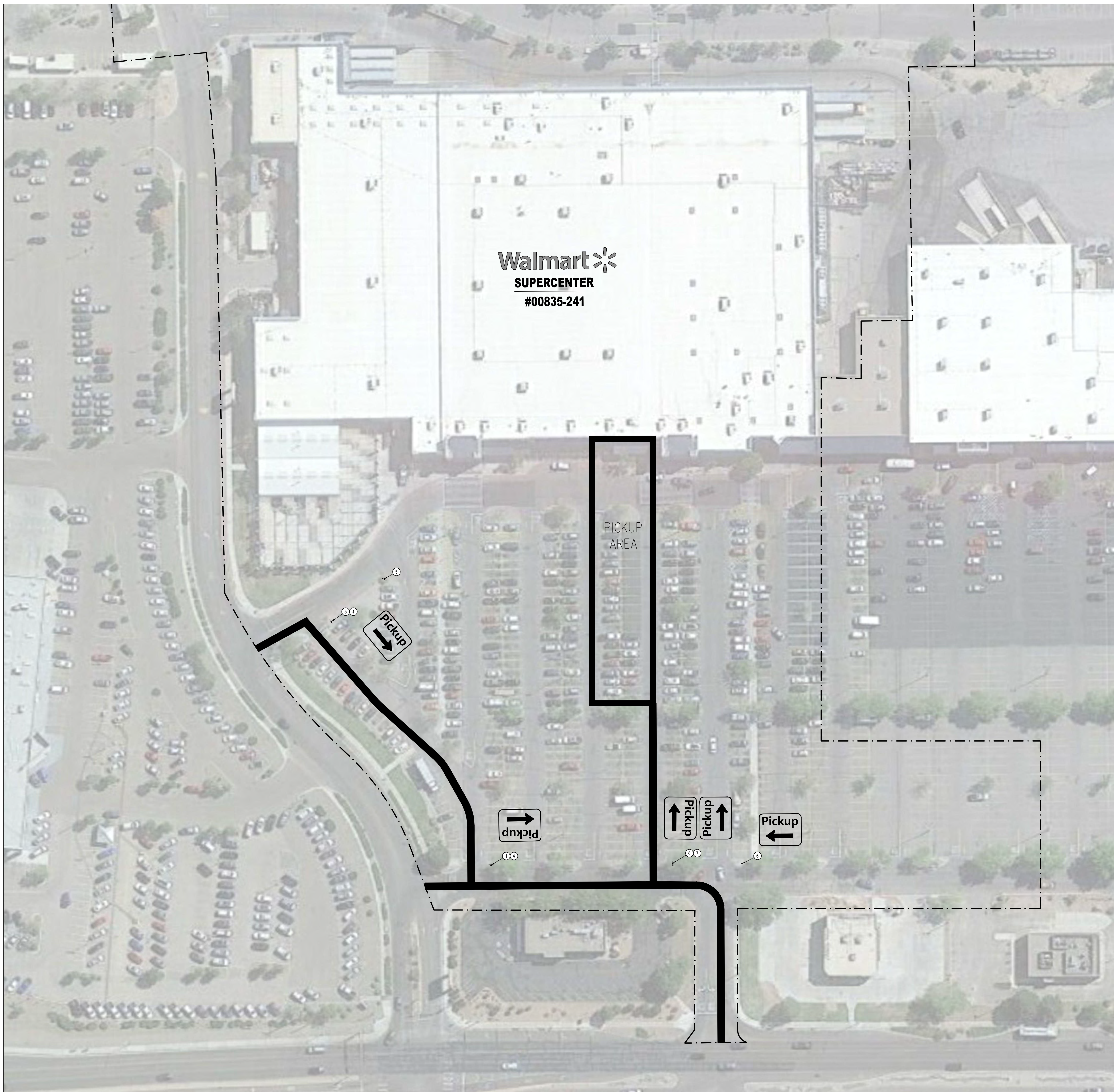
DRB Submittal for Case Z-98-114: IP Master Plan/Site Plan for Subdivision

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



Walmart
SUPERCENTER
#00835-241

PICKUP AREA

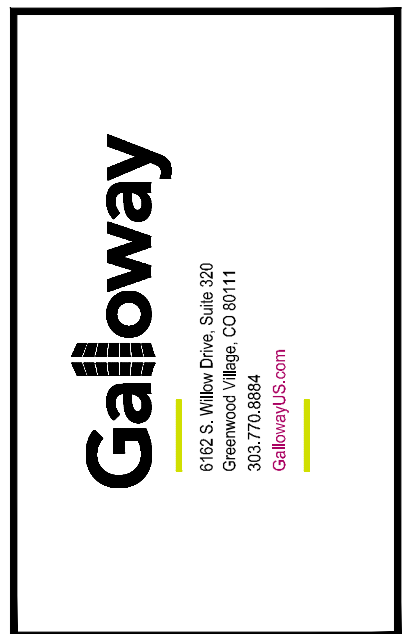
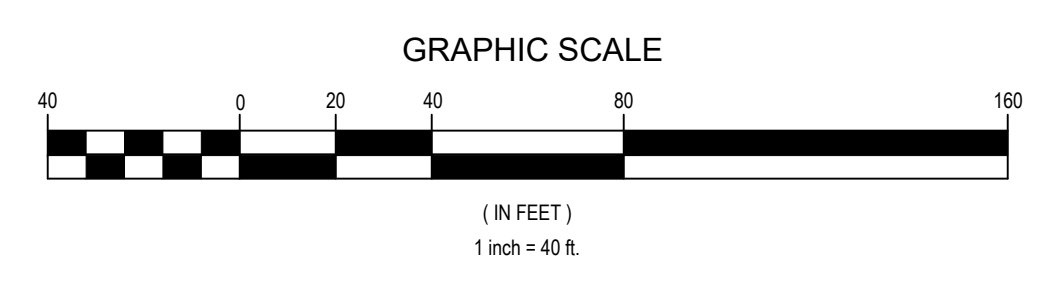
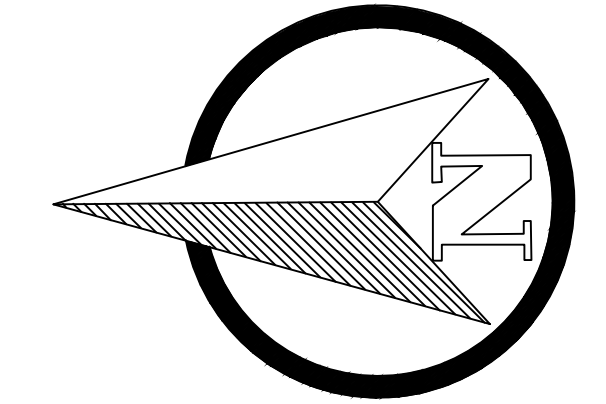
- SIGNAGE & STRIPING SCHEDULE NOTES**
- ① PROPOSED PICKUP SIGNAGE, LEFT. SEE DETAIL SHEET FOR SIGNAGE AND LOCATION DETAILS.
 - ② PROPOSED PICKUP SIGNAGE, STRAIGHT. SEE DETAIL SHEET FOR SIGNAGE AND LOCATION DETAILS.
 - ③ PROPOSED PICKUP SIGNAGE, RIGHT. SEE DETAIL SHEET FOR SIGNAGE AND LOCATION DETAILS.
 - ④ NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
 - ⑤ EXISTING SIGNAGE AND BASE TO BE REMOVED AND PROPERLY DISPOSED OF.
 - ⑥ EXISTING SIGNAGE AND BASE TO REMAIN.
 - ⑦ EXISTING DOUBLE SIDED SIGNAGE.

- SITE SIGNAGE LEGEND**
- PROPERTY LINE
 - ▬ PROPOSED PATH OF TRAVEL FOR PICKUP CUSTOMER.
 - ▭ PROPOSED PICKUP AREA

- SITE SIGNAGE NOTES**
1. THIS PLAN WAS PREPARED BASED ON AN AERIAL CAPTURED 10/4/2020. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY VARY SIGNIFICANTLY FROM THIS DRAWING.
 2. REFERENCE SITE DETAILS FOR SIGN LOCATION & VESTIBULE CROSSWALK DETAILS FOR SITE SIGNAGE OFFSETS.

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	--
WAITING SPACES RIGHT	18 X 24	--
WAITING SPACES AHEAD	18 X 24	--
RESERVED WAITING	18 X 24	--
PICKUP LEFT PHARMACY RIGHT	18 X 24	--
PICKUP RIGHT PHARMACY LEFT	18 X 24	--
STOP THANKS FOR ORDERING	18 X 36	--
PICKUP HOURS	18 X 36	--
RESERVED	18 X 18	27
PHONE NUMBER	8 X 18	27
VERTICAL PICKUP	18 X 36	27
PICKUP LEFT	18 X 24	3
PICKUP AHEAD	18 X 24	0
PICKUP RIGHT	18 X 24	2

ALL PICKUP WAYFINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEENER (brad.keener@walmart.com). REQUEST SHALL CONTAIN A RECEIPT ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



STIPULATION FOR REUSE: THIS DRAWING WAS PREPARED FOR THE PROJECT DESCRIBED ABOVE AND IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. UNLESS INDICATED OTHERWISE, ALL RIGHTS ARE RESERVED AND WILL BE ENFORCED BY THE LAW.



Walmart
 ALBUQUERQUE, NM
 400 EUBANK BLVD., NE
 STORE NO: 00835-241
 JOB NUMBER: SGA00835-201 (PROJ): PICKUP ENHANCEMENT
 2021 MAJOR PROJECT

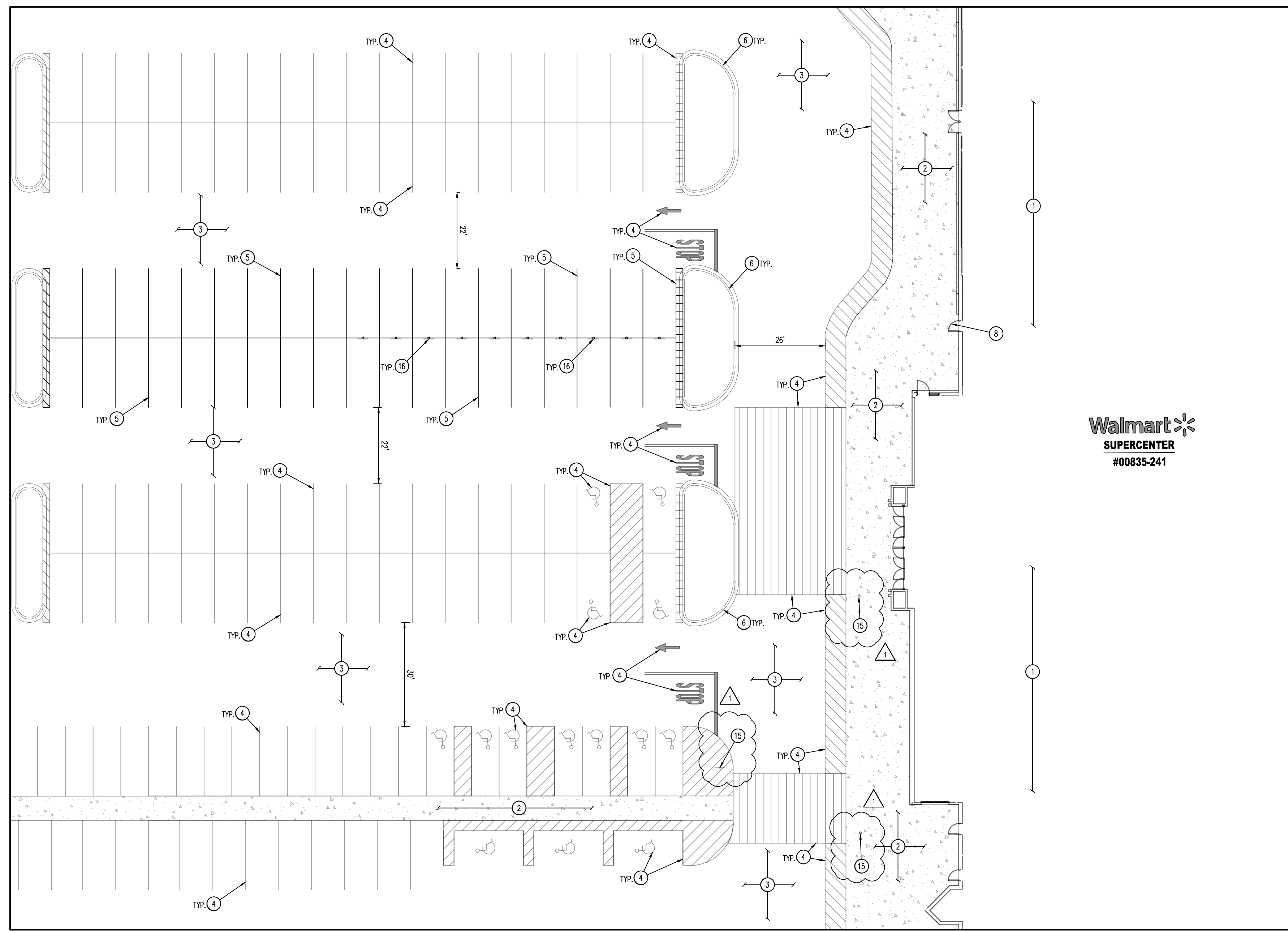
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NO.	DESCRIPTION	DATE

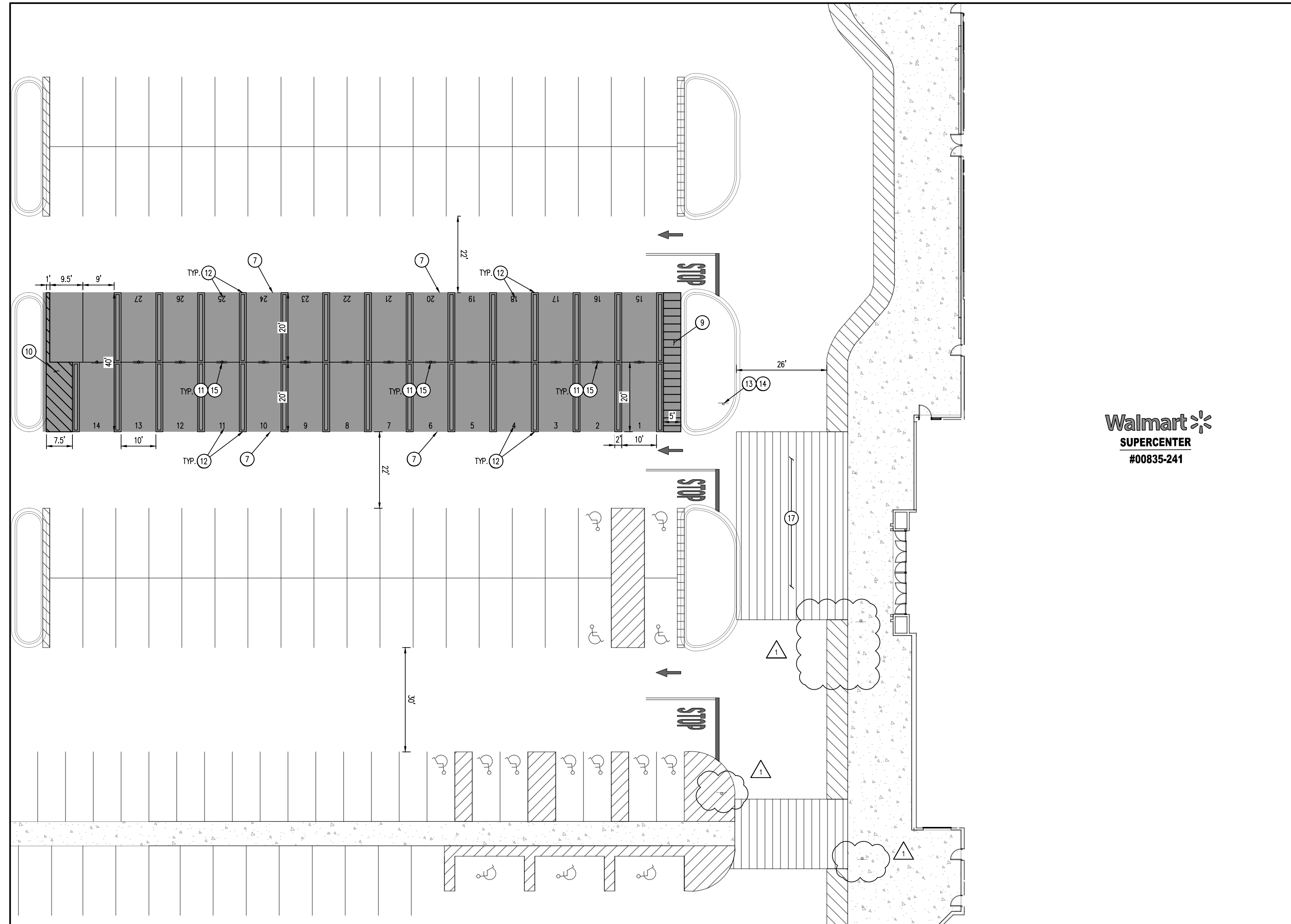
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 DRAWN BY: DMH
 PHOTO CYCLE:
 DOCUMENT DATE: 06/07/2021

SITE SIGNAGE PLAN

SHEET: CS2



DEMOLITION PLAN – EXISTING PICKUP PARKING
SCALE: 1"=20'



SITE PLAN – PROPOSED PICKUP PARKING
SCALE: 1"=20'

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PARTS, WALLS, FLOORS, FOUNDATIONS, PARKING, DRIVEWAYS, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL FOR THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ON-SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY UNEXPECTED FEATURES. NOTIFY ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDER BUILDING.
6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR ABOVE UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
11. ANY DISCREPANCIES IN THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND SHORING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SHORING, BRACING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
13. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AN AREA AS PRACTICAL, AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

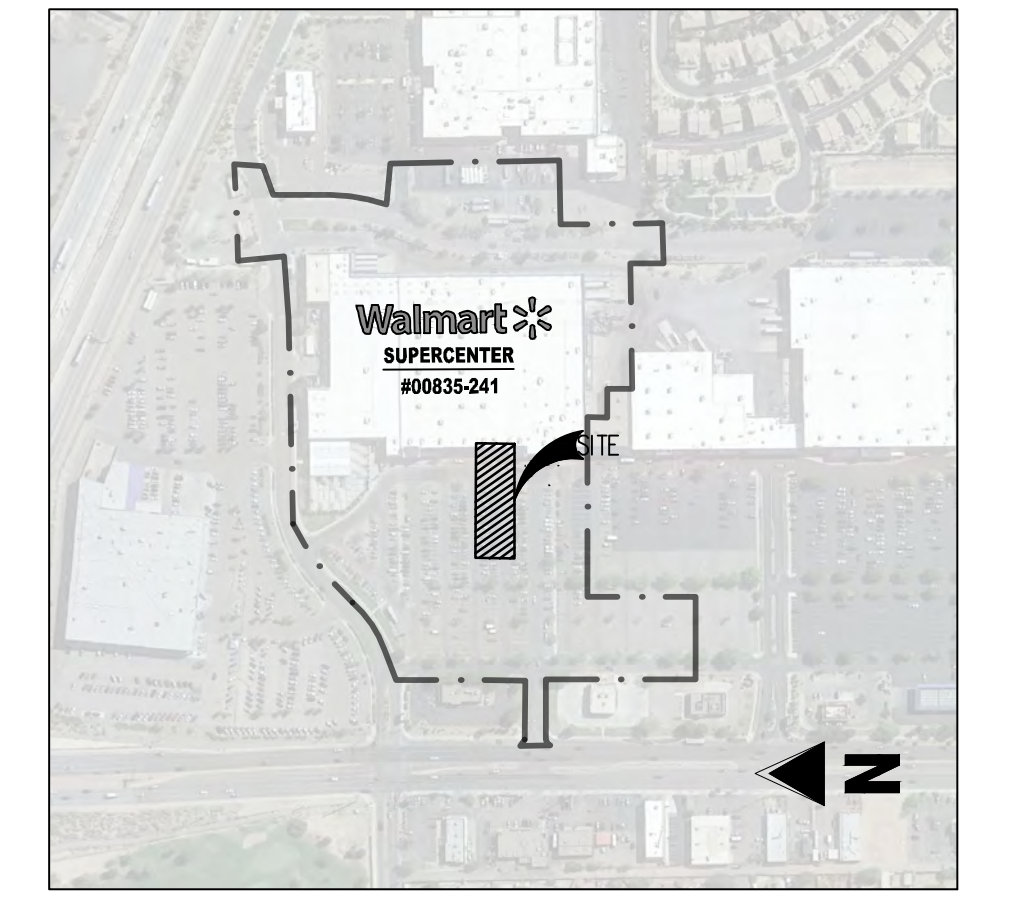
SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & PILES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

PARKING TABLE

	EXISTING	PROPOSED
BUILDING AREA (SF)	208,184 SF	209,184 SF
STANDARD STALLS	977	968
ADA STALLS	26	26
TOTAL PARKING STALLS	1003	994
CART CORRALLS	7	7
PARKING RATIO & STALL COUNT REQ'D: (PER IDO 14-16-5-S, TABLE 5-5-1)	4 SPACES PER 1,000 SF GFA (834 STALLS)	4 SPACES PER 1,000 SF GFA (834 STALLS)
PARKING RATIO	4.79 SPACES / 1,000 SF	4.75 SPACES / 1,000 SF

PARKING COUNTS BASED ON GOOGLE EARTH IMAGERY DATED 10/04/2020



KEY MAP
APPROX. 1" = 400'

LEGEND

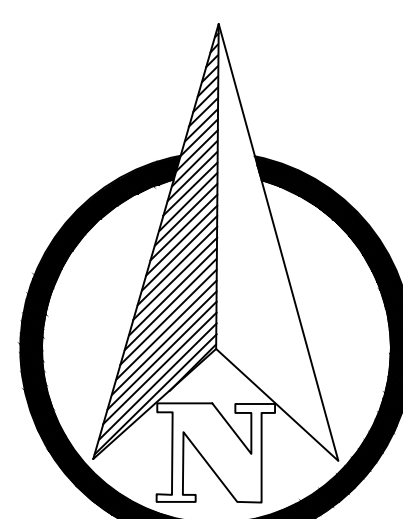
- [Symbol] EXISTING TO REMAIN
- [Symbol] EXISTING ASPHALT PAVEMENT TO REMAIN
- [Symbol] EXISTING CONCRETE PAVEMENT TO REMAIN
- [Symbol] PROPOSED SEAL COAT OF EXISTING PAVEMENT
- [Symbol] EXISTING SIGN TO REMAIN
- [Symbol] EXISTING SIGN TO BE REMOVED
- [Symbol] PROPOSED PICKUP SIGNAGE

SITE & DEMOLITION SCHEDULE

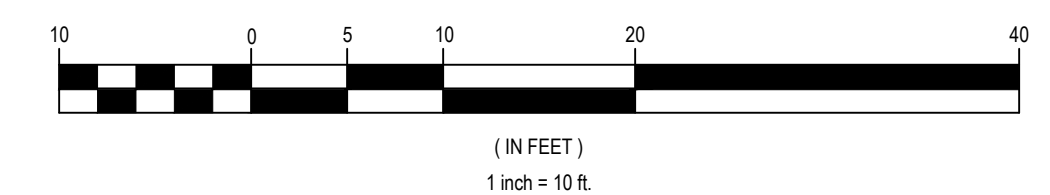
1. EXISTING WALMART BUILDING TO REMAIN.
2. EXISTING CONCRETE PAVEMENT/SIDEWALK TO REMAIN.
3. EXISTING ASPHALT PAVEMENT TO REMAIN.
4. EXISTING PARKING LOT STRIPING & PAVEMENT MARKING TO REMAIN.
5. EXISTING PARKING LOT STRIPING & PAVEMENT MARKING TO BE REMOVED.
6. EXISTING CURB AND GUTTER TO REMAIN.
7. PROPOSED SEAL COAT OF EXISTING PAVEMENT.
8. EXISTING PICKUP DOOR TO REMAIN (REF. ARCH. PLANS).
9. PROPOSED ASSOCIATE PATH CROSSWALK STRIPING (REF. SITE DETAILS).
10. PROPOSED 4" SOLID URETHANE PAINTED STRIPING AT 45° @ 2'-10" O.C.
11. PROPOSED PICKUP SIGNAGE (REF. SITE DETAILS).
12. PROPOSED PICKUP STALL STRIPING AND PICKUP NUMBER MARKING (REF. SITE DETAILS).
13. PROPOSED R1-5B - "STOP HERE FOR PEDESTRIANS" SIGNAGE (REF. SITE DETAILS).
14. PROPOSED SIGN MOUNTING & BASE WITH BREAKAWAY POST (REF. SITE DETAILS).
15. EXISTING PEDESTRIAN CROSSING SIGNAGE AND SIGN MOUNTING AND BASE TO REMAIN.
16. EXISTING PICKUP SIGNAGE & BASE TO BE REMOVED.
17. EXISTING STRIPING TO BE USED AS ASSOCIATE PATH CROSSWALK.

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE ELEVANCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLES OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



GRAPHIC SCALE



STIPULATION FOR REUSE:
THIS DRAWING WAS PREPARED FOR THE PROJECT AT 400 EUBANK BLVD. NE, ALBUQUERQUE, NM. THE DATE OF THIS DRAWING IS 06/07/2021. THIS DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GALLOWAY DESIGN & CONSTRUCTION.



Walmart
ALBUQUERQUE, NM
400 EUBANK BLVD. NE
STORE NO.: 00835-241
JOB NUMBER: SGA00835-20 (PROJ): PICKUP REINFORCEMENT
2021 MAJOR PROJECT

ISSUE BLOCK

NO.	DESCRIPTION	DATE
1	CCD #1	07/23/21

CHECKED BY: BDA
DRAWN BY: DMH
PROTO CYCLE:
DOCUMENT DATE: 06/07/2021

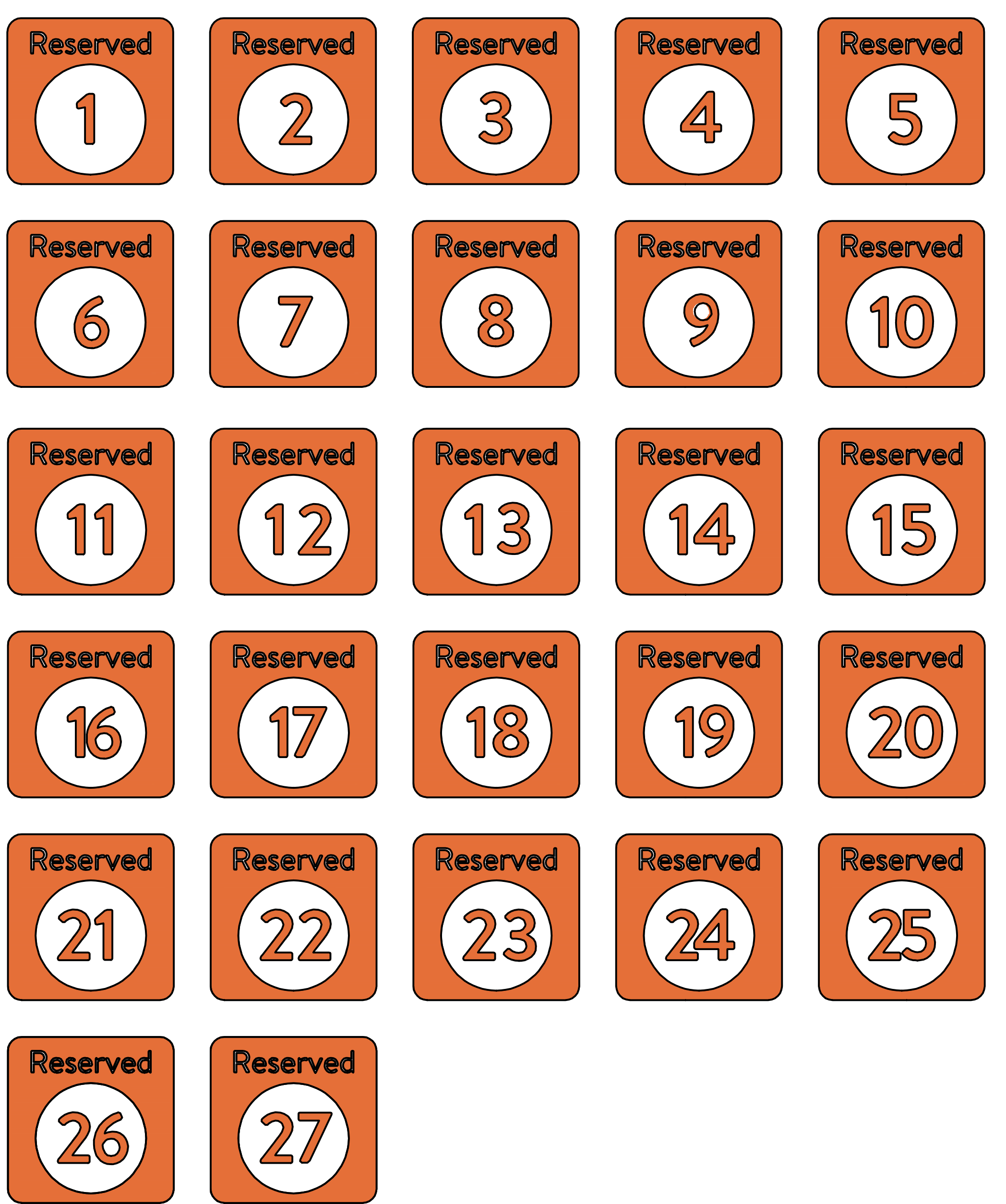
DEMOLITION AND SITE PLAN

ISSUE BLOCK		
NO.	DATE	DESCRIPTION

CHECKED BY: BDA
 DRAWN BY: DMH
 PROTO CYCLE:
 DOCUMENT DATE: 06/07/2021

SITE DETAILS

SHEET: CS3



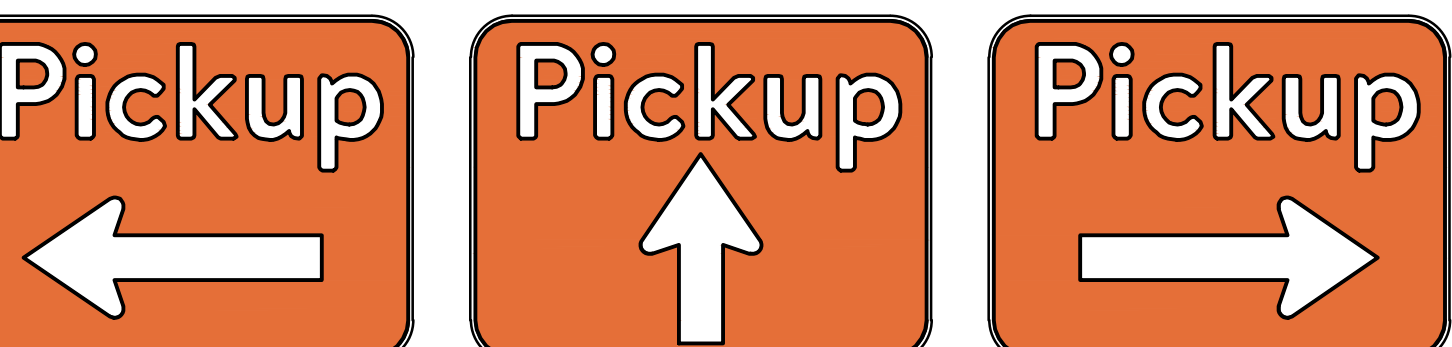
Stall Designation Signs
 18" x 18" 2.25 SF



Logo Signs (Small)
 18" x 8" 1.00 SF

Logo Signs (Large)
 Also Pickup Hours sign size
 36" x 18" 4.50 SF

*NTD: Use if AHJ does not allow Spark



Directional Signs (Left / Straight / Right)
 18" x 24" 3.00 SF

For pickup, please call: 555-555-5555
Call In Sign
 18" x 8" 1.00 SF

- NOTES:
 1. SEE PLAN FOR DIRECTION OF ARROW.
 2. UNLESS OTHERWISE NOTED: BACKGROUND COLOR SHALL BE ORANGE. WALMART "SPARK" COLOR SHALL BE GOLD. LEGEND AND ARROWS SHALL BE WHITE.
 3. SIGNS SUPPLIED BY WALMART. INSTALLATION BY CONTRACTOR. SIGN DELIVERY TO BE COORDINATED BY CONTRACTOR.

"PICKUP" SIGNAGE
 N.T.S.

FINISH LEGEND

P126	KNOCKOUT ORANGE SW#6885
P5	SAFETY YELLOW

