



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Gina Kelly w/ SGA Design Group		Phone: (918)587-8602, ext 299
Address: 1437 S Boulder Ave - Ste. 550		Email: ginak@sgadesigngroup.com
City: Tulsa	State: OK	Zip: 74119
Professional/Agent (if any): Travis Hager w/ SGA Design Group		Phone: (918)587-8600
Address: 1437 S Boulder Ave - Ste. 550		Email: travish@sgadesigngroup.com
City: Tulsa	State: OK	Zip: 74119
Proprietary Interest in Site: Architect	List all owners: Walmart	

BRIEF DESCRIPTION OF REQUEST

Adding Online Grocery Parking stalls to this location w/ Parking Stall Signage.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: B1A1A	Block: 0000	Unit:
Subdivision/Addition: TOWNE PARK PLAZA	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): K21	Existing Zoning: MX-L	Proposed Zoning: MX-L
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 17.9414

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 400 Eubank Blvd NE Between: Eubank Blvd NE and: Copper Ave NE

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1000317 & 1000508

Signature:	Date: 06/08/21
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00853	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project # PR-2018-001320

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

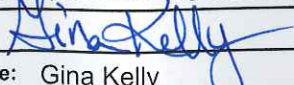
ALTERNATIVE SIGNAGE PLAN

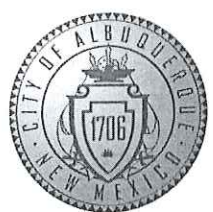
- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 06/08/21
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number: PR-2018-001320	Case Numbers SI-2021-00853
Staff Signature:	
Date:	



SGA Design Group

Wednesday, June 9, 2021

Maggie Gould, Planning Manager
City of Albuquerque Planning Department
Land Development Coordination
600 Second Street NW
Albuquerque, NM 87109

Re. Walmart #835.241 located at: 400 Eubank Blvd NE

The scope of work for this Administrative Amendment review is the for the OGP parking will be added at the front of the building in existing parking spaces. This will help customers benefit from using the Online Grocery Pickup Service and it will minimize travel distance and safety of the employees.

The designated OGP parking will be 27 double line widened spaces with 2 single lined spaces replacing the 38 that are current there.

The impact to the site will be minimal and we ask for approval so that we will be able to move forward with permitting with the City's Building Department.

If you have any questions, please do not hesitate to contact me.

Thank you,

A handwritten signature in blue ink that reads "Gina Kelly".

Gina Kelly
SGA Design Group
1437 S Boulder Ave-Ste. 550
Tulsa, OK 74119
ginak@sgadesigngroup.com

LETTER OF AUTHORIZATION

January 21, 2021

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

To Whom It May Concern:

I hereby authorize: Gina Kelly
SGA Design Group
1437 South Boulder, Suite 550
Tulsa, OK 74119
(918) 587-8600

To act as the agent on your behalf before the City of Albuquerque, NM for all the Walmart Stores that assigned to SGA Design Group within the jurisdiction of Albuquerque, NM.

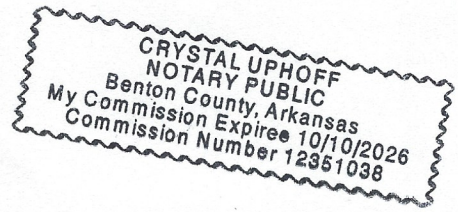
Dren Bailess
Signature

Dren Bailess 1/21/2021
Print Name Date

State of: Arkansas
County of: Benton

Subscribed and sworn to before me this 21 day of January, 2021.

Notary Public *Crystal Uphoff*
My Commission Expires 10-10-2026



Zone Atlas



City Zone Atlas Pages

300ft

City of Albuquerque, Bernalillo County, NM, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, NGA, USGS



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CITY OF ALBUQUERQUE INVOICE

GINA KELLY

**1437 S. BOULDER AVE - SUITE 550 SGA
DESIGN GROUP**

Reference NO: SI-2021-00853

Customer NO: CU-97137236

Date	Description	Amount
6/09/21	Application Fee (Manual)	\$50.00

Due Date: **6/09/21** Total due for this invoice: **\$50.00**

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Date: 6/09/21
Amount Due: \$50.00
Reference NO: SI-2021-00853
Payment Code: 130
Customer NO: CU-97137236

GINA KELLY
1437 S. BOULDER AVE - SUITE 550 SGA
DESIGN GROUP
TULSA, OK 74119



130 0000SI202100853000993551136648106000000000000050000CU97137236

July 19th, 2021

Jeanne Wolfenbarger
Email: jwolfenbarger@cabq.gov
Phone: 924-3991

Re: Wal-Mart at 400 Eubank Blvd., Administrative Amendment Request

Dear Jeanne,

Please find responses below in bold addressing the Transportation Development Comments received June 16th, 2021.

1. Since the parking calculations showed that the site barely met parking requirements originally, please update parking calculations according to the updated parking reduction count based on conversion of parking spaces to pick-up space.

Response: Parking table has been added to the plan indicating existing parking count along with revised parking count & ratios.

2. Also, provide "Stop Here for Pedestrian" signs for the other crosswalk shown in front of the building on the new site plan for the pickup-up spaces.

Response: Pedestrian crossing signage exists as you travel "north" along the front drive aisle. A new pedestrian crossing sign and post has been added in the landscape area prior to the crosswalk heading "south" along the front drive aisle.

Please let us know if you have any additional questions/concerns.

Sincerely,



Ryan James, PE
Sr. Civil Project Manager
Galloway & Company, Inc.



