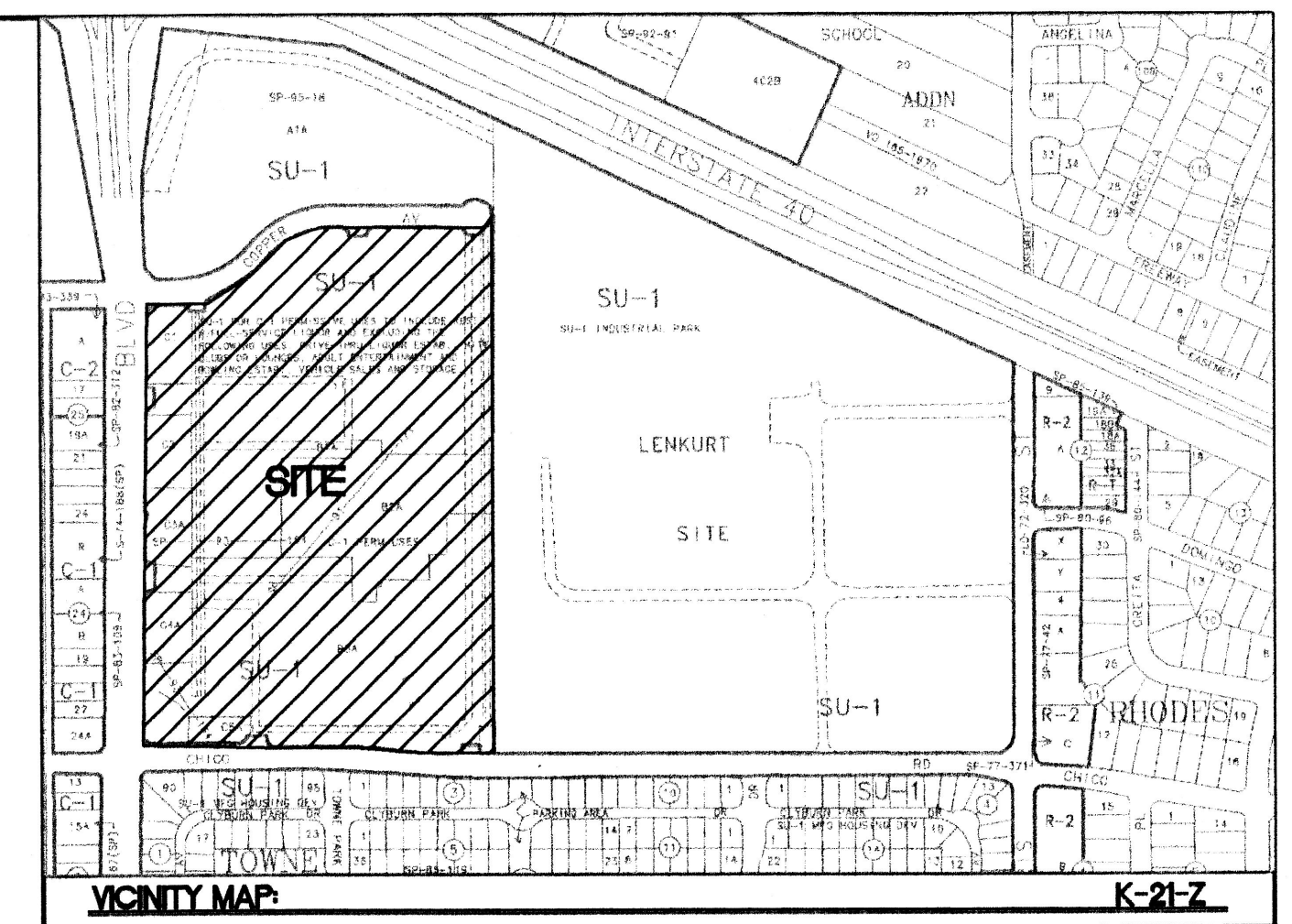


**FUTURE DEVELOPMENT  
BY OTHERS**



**VICINITY MAP:** K-21-Z  
**LEGAL DESCRIPTION:** TRACT B-3A LENKURT SITE

**PROPOSED SITE DATA**

PROPOSED USAGE:	RETAIL
LOT AREA:	11.0837 ACRE
EXISTING LOT AREA:	11.0837 AC
LOT 4 EXPANSION:	2.1618 AC
TOTAL LOT AREA:	13.2455 AC
BUILDING AREA:	111,434 SF
EXISTING BUILDING:	21,758 SF
PROPOSED BUILDING EXPANSION:	136,082 SF
TOTAL BUILDING AREA:	157,840 SF
PARKING REQUIRED W/EXPANSION:	680 SPACES
PARKING LOST DUE TO EXP. & GAS STATION:	151 SPACES
NEW PARKING PROVIDED:	154 SPACES
TOTAL PARKING PROVIDED IN BACK:	121 SPACES
TOTAL PARKING PROVIDED ON SIDES:	46 SPACES
TOTAL PARKING PROVIDED IN FRONT:	516 SPACES
TOTAL PARKING PROVIDED:	680 SPACES
HC PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	16 SPACES 2 SPACES VAN ACCESSIBLE

**SHOPPING CENTER PARKING RATIO**

	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
SAM'S CLUB w/EXP. & GAS STATION	683	128,512 SF	5.31
EXISTING SAM'S CLUB	702	107,927 SF	6.50

**GENERAL NOTES:**  
1. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.

**PROJECT # 1000317**  
**CASE NUMBER: Z-00128-00000-00291 AND Z-00-12**

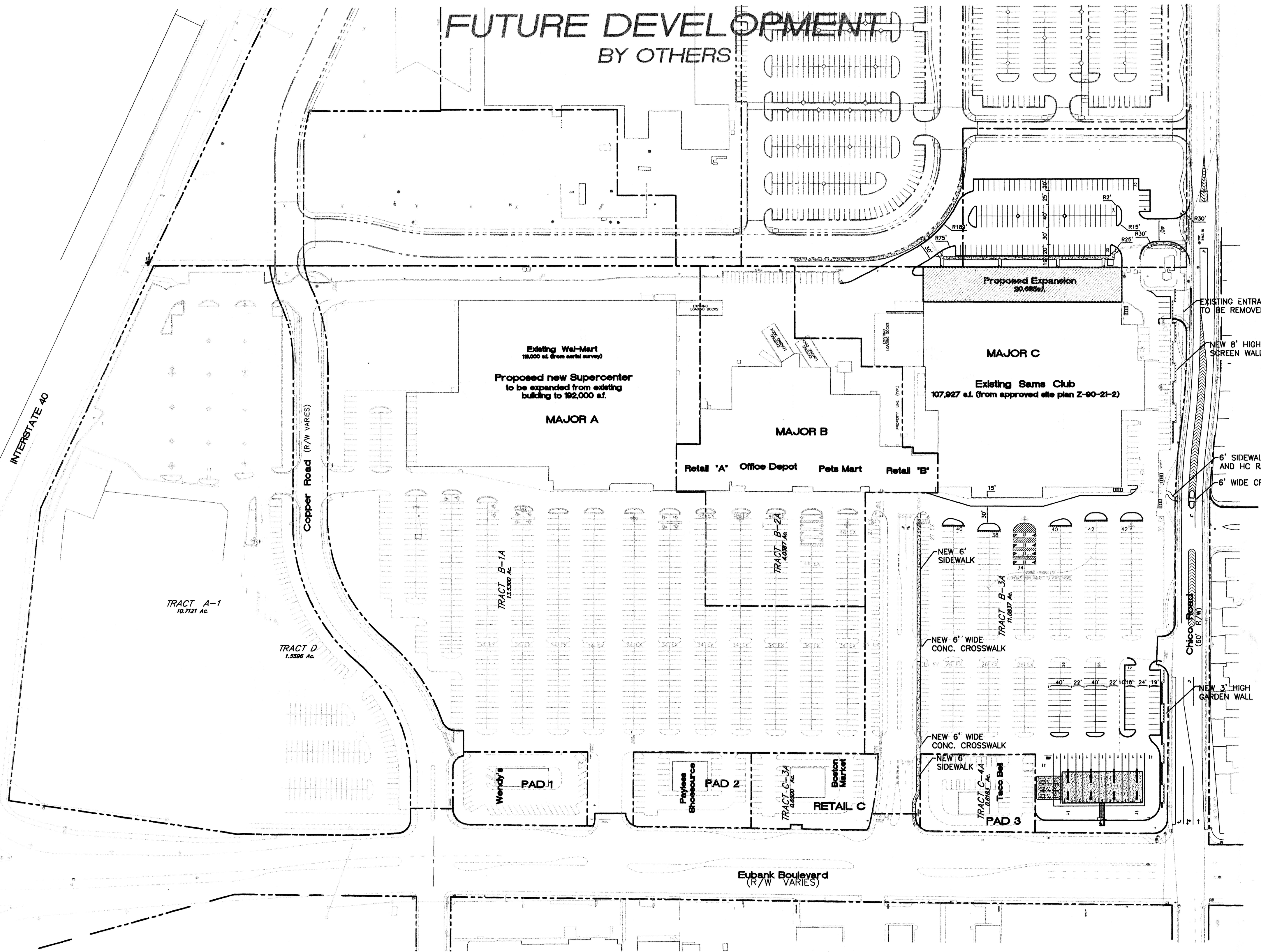
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on January 28, 2008 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division	<i>Michael J. Park</i>	7-19-00
Parks & General Services Department	<i>Adriana E. Cardenas</i>	7-19-00
Public Works, Water Utilities Division	<i>Roger A. Khan</i>	7-19-00
City Engineer, Engineering Division / AMAFCA	<i>Thomas D. Mc...</i>	1/19/01
City Planner, Albuquerque / Bernalillo County Planning Division	<i>...</i>	1/22/01
Solid Waste	<i>...</i>	12-12-00

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

PLNZ (10706) 4/96



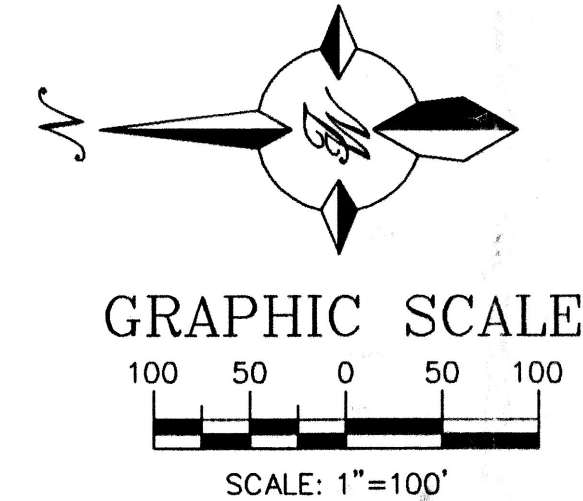
**EXISTING PARKING DATA (from approved site plan Z-90-21-2)**

	BUILDING SIZE	PARKING REQUIRED *	PARKING PROVIDED
MAJOR A	120,643	603	921
MAJOR B	49,920	250	203
MAJOR C	107,927	540	702
RETAIL A	6,240	32	0
RETAIL B	7,727	39	0
RETAIL C	8,000	40	130
PAD 1-4	28,500	143	
<b>TOTAL</b>	<b>328,957</b>	<b>1645</b>	<b>1956</b>
OVERALL RATIO:		5.01:1	5.951
MAJOR C EXPANSION	20,685	103	43
<b>TOTAL</b>	<b>349,642</b>	<b>1748</b>	<b>1999</b>
OVERALL RATIO W/EXPANSIONS:			5.72

\* CALCULATED AT 1 PARKING SPACE PER 200 SF OF LEASEABLE SPACE.

**SHEET INDEX**

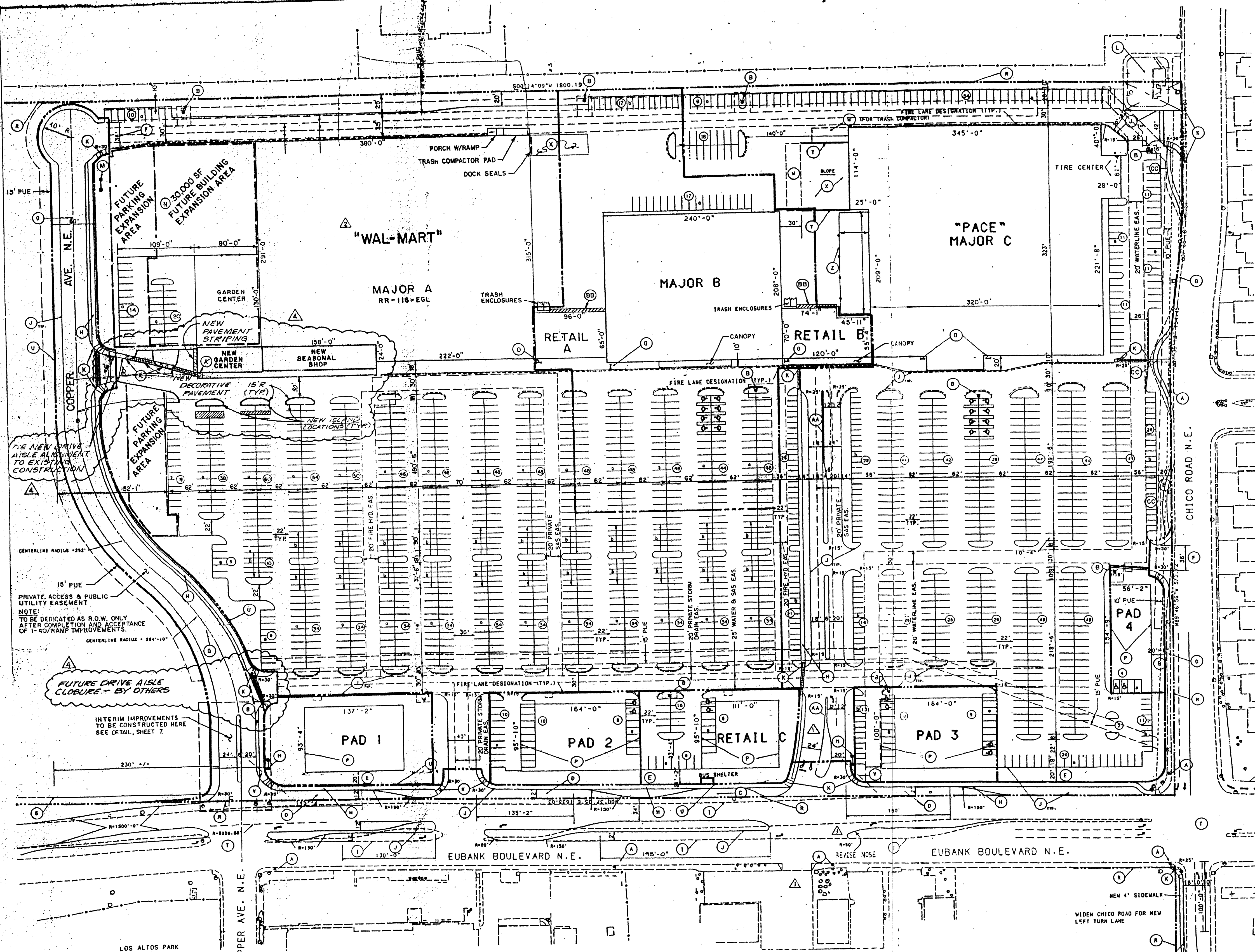
- TOWN PARK PLAZA**
- AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA
  - APPROVED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA (Z-90-21-2) (FOR REFERENCE ONLY)
  - SITE PLAN FOR BUILDING PERMIT (SAM'S CLUB EXPANSION)
  - LANDSCAPING PLAN
  - MASTER UTILITY PLAN
  - GRADING AND DRAINAGE PLAN
  - BUILDING ELEVATIONS
- 501 MORRIS**
- AMENDED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS
  - APPROVED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS (Z-90-21-2) (FOR REFERENCE ONLY)
- SERVICE STATION**
- SITE PLAN FOR BUILDING PERMIT
  - GRADING AND DRAINAGE PLAN
  - ELEVATIONS



<b>ENGINEER'S SEAL</b> <i>Ronald R. Bohannan</i> PROFESSIONAL ENGINEER	<b>ALBUQUERQUE SAM'S EXPANSION AND GAS STATION</b> <b>AMENDED SITE PLAN FOR SUBDIVISION</b>	<b>DRAWN BY</b> BDG <b>DATE</b> 7-07-00 9929SPS.DWG <b>SHEET #</b> 1 <b>JOB #</b> 990029
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	

PROJECT 1000317





**KEYED NOTES**

- ① EXISTING FIRE HYDRANT
- ② NEW FIRE HYDRANT
- ③ NEW BUS BAY
- ④ NEW RIGHT TURN LANE
- ⑤ 20'-0" MINIMUM LANDSCAPE BUFFER STRIP
- ⑥ TRUCK SERVICE ENTRANCE
- ⑦ EXISTING 4' SIDEWALK
- ⑧ NEW 6' SIDEWALK
- ⑨ EXISTING CURB AND OUTER
- ⑩ NEW CURB AND OUTER
- ⑪ NEW HANDICAP RAMP
- ⑫ ELECTRICAL SUBSTATION AND EASEMENT
- ⑬ PROJECT SIGN - NOT TO BE CONSTRUCTED WITHIN THE CLEAR SITE TRIANGLE (KEYED NOTE V) - SEE SIGN DETAIL - ELEVATION SHEET. SIGN SIZES TO BE AS FOLLOWS:  
 ONE SIGN WITH A MAXIMUM SIGN FACE OF 75 SQUARE FEET  
 ONE SIGN WITH A MAXIMUM SIGN FACE OF 150 SQUARE FEET  
 ONE SIGN WITH A MAXIMUM SIGN FACE OF 200 SQUARE FEET  
 SIGNS SHALL BE LIMITED TO 2 SIGNS ON EUBANK AND ONE SIGN ON COPPER.
- ⑭ 30,000 SQUARE FOOT POSSIBLE EXPANSION
- ⑮ BIKE RACK
- ⑯ PAD ENVELOPE
- ⑰ CENTERLINE
- ⑱ PROPERTY LINE
- ⑲ NEW 8'-0" ASPHALT BIKE PATH TO EXTEND TO END OF EXISTING BIKE PATH, APPROXIMATELY 230'-0" TO THE NORTH (INCLUDING 12' EASEMENT)
- ⑳ MODIFIED TRAFFIC SIGNAL THIS INTERSECTION
- ㉑ NEW ROADWAY EASEMENT CONFIGURATION
- ㉒ CLEAR SITE TRIANGLE
- ㉓ CONCRETE PAD
- ㉔ TRUCK ROCK
- ㉕ RETAINING WALL
- ㉖ FENCE
- ㉗ "CHATTER CURB" THIS AREA - SEE DETAIL THIS SHEET.
- ㉘ NO PARKING ZONE
- ㉙ MEANDERING SIDEWALK EASEMENT

**SITE DATA**

LOCATION: Development is located at northeast corner of Chico Rd., N.E. and Eubank Blvd., N.E., Albuquerque, New Mexico.

DEVELOPERS: Cambridge Properties, Inc. 4021 First Avenue Highway, Concord, California, 94524

ARCHITECTS: Skidmore, Aronson & Associates 200 Union Blvd., Suite 440 Lakewood, Colorado, 80228

CIVIL ENGINEERS & LANDSCAPE ARCHITECTS: Bohannon Huston, Inc. Courtyard 1 7500 Jefferson St., N.E. Albuquerque, New Mexico, 87109

LEGAL DESCRIPTION: A tract of land situated within the City of Albuquerque, Bernalillo County, New Mexico, and tract being more within the West 1/2 of the West 1/2 of Section 21, T10N, R1E, N.M.P.M., and also known as the Luskart site.

ZONING: SU-1 for C-1 general use to include restaurant with full service liquor and including the following uses: drive-through liquor establishments, night clubs or lounges, adult entertainment establishments, and vehicle sales and storage.

ZONE ATLAS PAGE: K-21-2

TOTAL ACRES: 31.5 Acres

TOTAL BUILDING AREA: 330,957 sq. ft.

FLOOR AREA RATIO: 0.25 (Maximum: 1,345,035 sq. ft.)

TOTAL PARKING AND LANDSCAPE AREA: 1,052,778 sq. ft.

TOTAL LANDSCAPE AREA: 208,229 sq. ft.

PROPORTION OF LANDSCAPE AREA TO: Site area = 20% Paved area = 25%

LANDSCAPE AREA: Site Area = 21.5 Acres = 1,372,140 sq. ft. Paved Area = 8.0 Acres = 542,400 sq. ft. Landscape Within R.O.M. = 8,427 sq. ft.

CALCULATIONS: Area to be landscaped = 1,038,112 sq. ft. Landscape Area Required = 155,717 sq. ft. Landscape Area Provided = 208,229 sq. ft.

**APPROVED AS AMENDED**

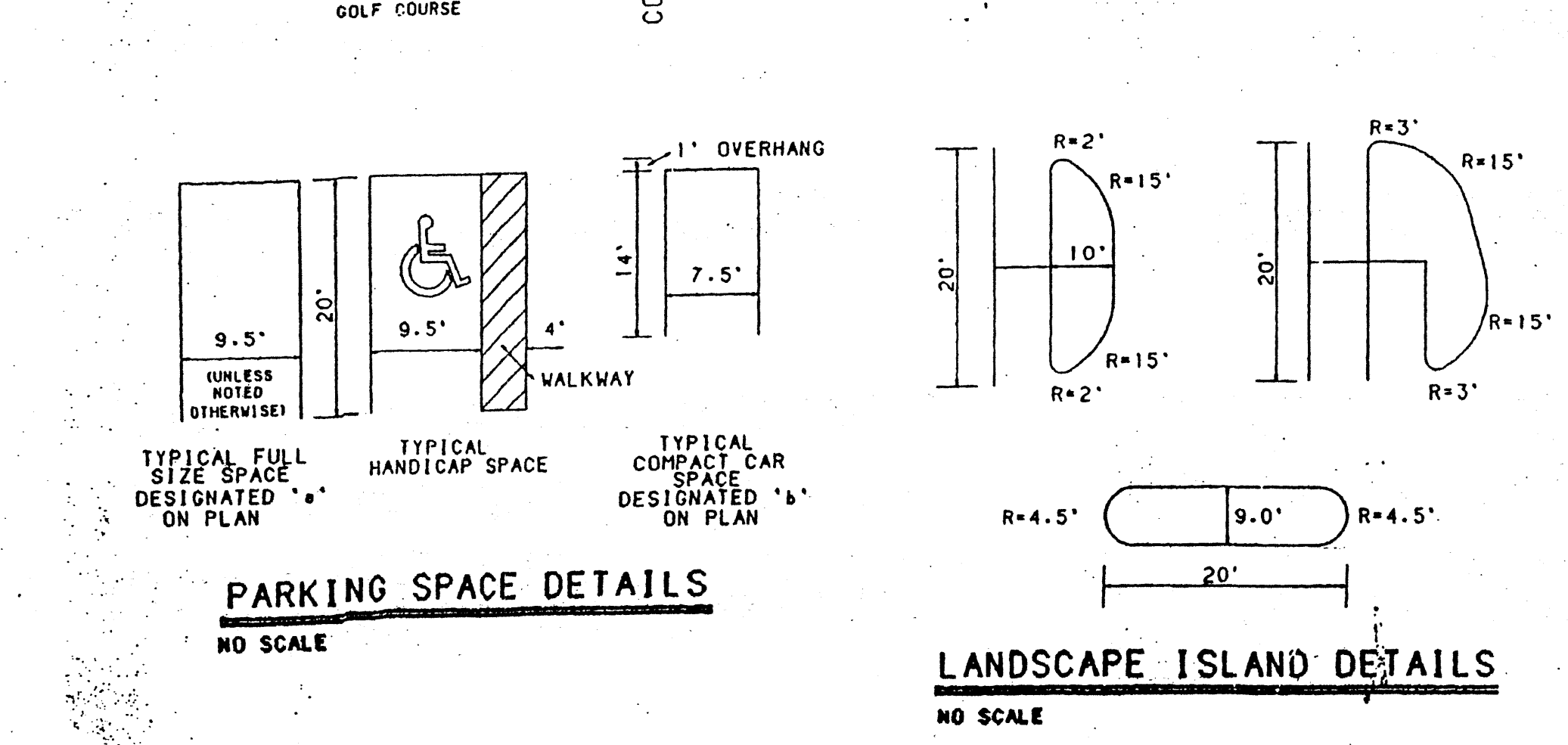
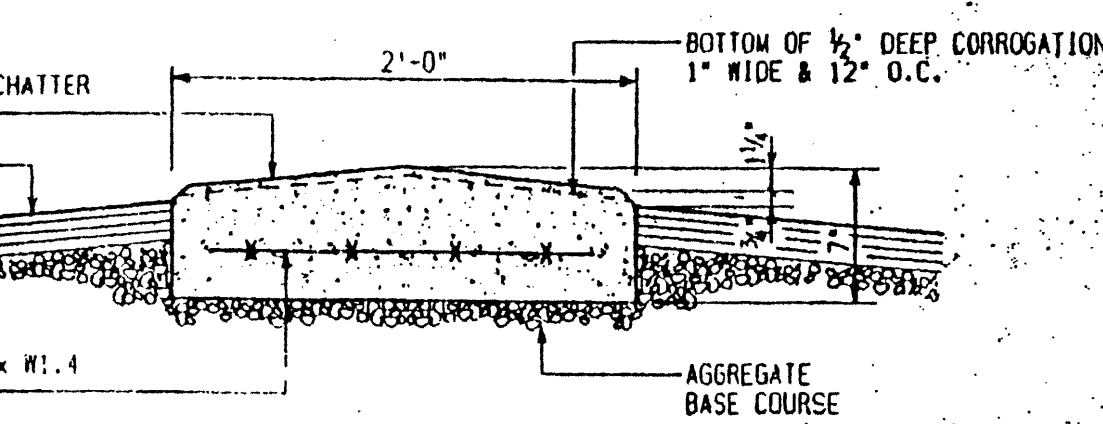
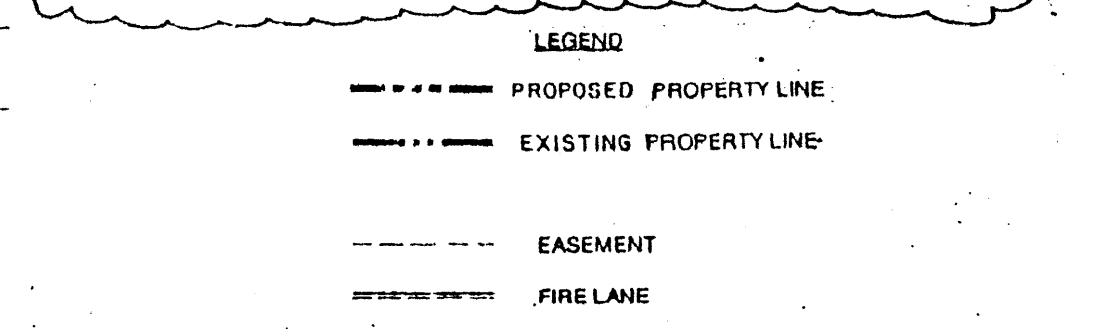
- ① ADDED SEASONAL SHOP, GARDEN CENTER AND DRIVE AISLE MODIFICATIONS.
- ② ADDED NOTE FOR DRIVE AISLE CLOSURE - NW CORNER OF SITE.
- ③ AMENDED PARKING QUANTITY CHART AND BUILDING SQUARE FOOTAGE DATA.

PLANNING DEPT.	DATE
TRANSPORTATION DEVELOPMENT	DATE
UTILITY DEVELOPMENT	DATE
CITY ENGINEER	DATE
C.I.R.	DATE

BUILDING SIZE	PARKING REQUIRED BY PERMITS	PARKING PROVIDED
MAJOR A	592	944-921
MAJOR B	299	702
MAJOR C	882	0
RETAIL A	37 (23)	0
RETAIL B	46 (23)	0
RETAIL C	60 (23)	130
PADS 1-4	171 (23)	0
TOTAL	1952	1079-1956
OVERALL RATIO	0.61	5.01:1

1:1 DATA MAJOR A EXPANSION 360,957 1961 4884-SPACES PROVIDED 5.49:1  
 343,956 1654 4628-SPACES PROVIDED 5.78:1  
 CITY REQ'D 330,957 1654  
 328,500 1628 (2) (3) 5:11

(23) Spaces included within Space for GARDEN CENTER (864sq ft) and LANDSCAPE SPACE.  
 \* REFLECTS 5350 S.F. SEASONAL SHOP AND GARDEN CENTER ADDITION: 12/98 ADMINISTRATIVE AMENDMENT



CASE NUMBER Z-90-21-2

I certify that this plan is based on a limited survey and that the plan is in accordance with the specific Site Development Plan approved by the Environmental Planning Commission on September 20, 1990, and that the findings in the Official Notice of Decision have been complied with.

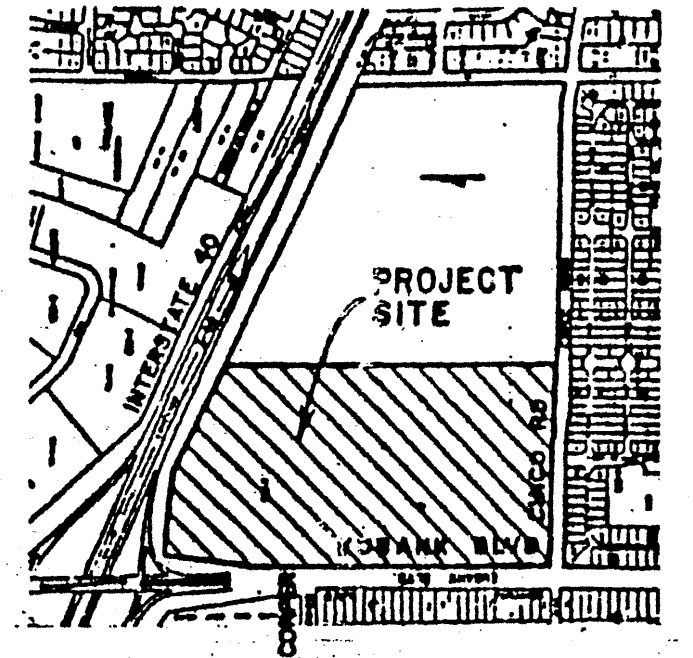
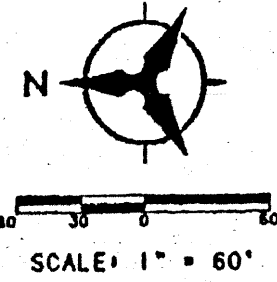
SITE DEVELOPMENT PLAN  
 Robert W. Kane 12-5-91 DATE  
 PLANNING DIRECTOR 11-6-91 DATE  
 CITY OF ALB. UTILITIES DEVELOPMENT DIVISION

TRANSPORTATION DEVELOPMENT  
 5/21/91 DATE  
 CITY ENGINEER - ALABAMA

PARKS AND RECREATION DEPARTMENT  
 5/21/91 DATE

SHEETS 1 THROUGH 7

**TOWNE PARK PLAZA SITE DEVELOPMENT PLAN**



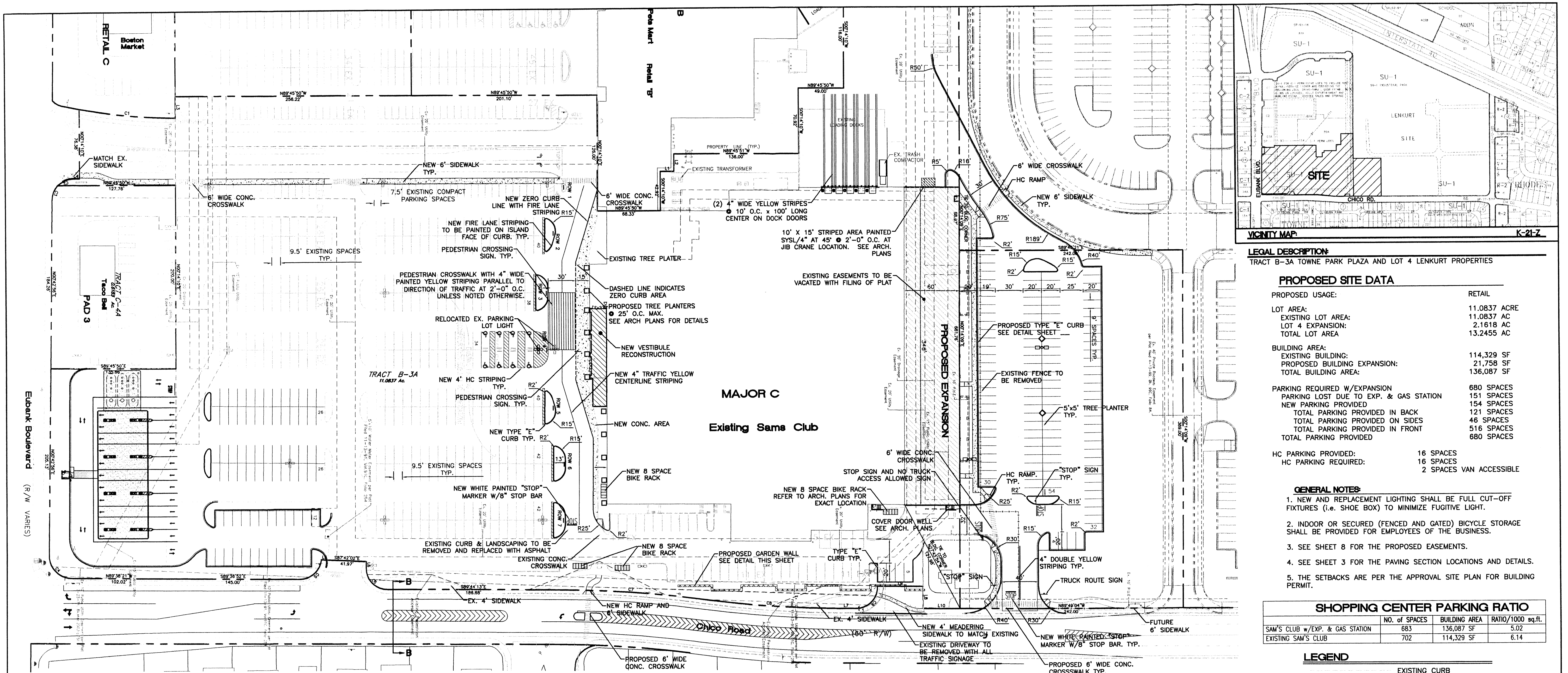
VICINITY MAP  
 NO SCALE  
 ZONE MAP E-21

NO.	DATE	REVISIONS	BY
12/98		WAL-MART EXPANSION - ADDED SEASONAL SHOP & GARDEN CENTER	RLB
4-21-91		DELETE ALLEY AND RELATED IMPROVEMENTS	RLB
10-15-91		WAL-MART STORE REVISIONS	RLB
11-19-91		ENTRANCE REVISION	HBM
04-01-92		REVISIONS	RLB

Job title: TOWNE PARK PLAZA ALBUQUERQUE, NEW MEXICO  
 Job no: 91114-03, 91282.41 date: 3/26/91  
 sheet title: DIMENSIONED SITE PLAN by: PMW/RLB

BOHANNON HUSTON INC.  
 COURTYARD 1 7500 JEFFERSON N.E.  
 ALBUQUERQUE, N.M. 87109





**LEGAL DESCRIPTION**  
TRACT B-3A TOWNE PARK PLAZA AND LOT 4 LENKURT PROPERTIES

**PROPOSED SITE DATA**

PROPOSED USAGE:	RETAIL
LOT AREA:	11.0837 ACRE
EXISTING LOT AREA:	11.0837 AC
LOT 4 EXPANSION:	2.1618 AC
TOTAL LOT AREA:	13.2455 AC
BUILDING AREA:	114,329 SF
EXISTING BUILDING:	21,758 SF
PROPOSED BUILDING EXPANSION:	136,087 SF
TOTAL BUILDING AREA:	136,087 SF
PARKING REQUIRED W/EXPANSION:	680 SPACES
PARKING LOST DUE TO EXP. & GAS STATION:	151 SPACES
NEW PARKING PROVIDED:	154 SPACES
TOTAL PARKING PROVIDED IN BACK:	121 SPACES
TOTAL PARKING PROVIDED ON SIDES:	46 SPACES
TOTAL PARKING PROVIDED IN FRONT:	516 SPACES
TOTAL PARKING PROVIDED:	680 SPACES
HC PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	2 SPACES VAN ACCESSIBLE

**GENERAL NOTES:**

- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
- SEE SHEET 8 FOR THE PROPOSED EASEMENTS.
- SEE SHEET 3 FOR THE PAVING SECTION LOCATIONS AND DETAILS.
- THE SETBACKS ARE PER THE APPROVAL SITE PLAN FOR BUILDING PERMIT.

**SHOPPING CENTER PARKING RATIO**

	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
SAM'S CLUB w/EXP. & GAS STATION	683	136,087 SF	5.02
EXISTING SAM'S CLUB	702	114,329 SF	6.14

**LEGEND**

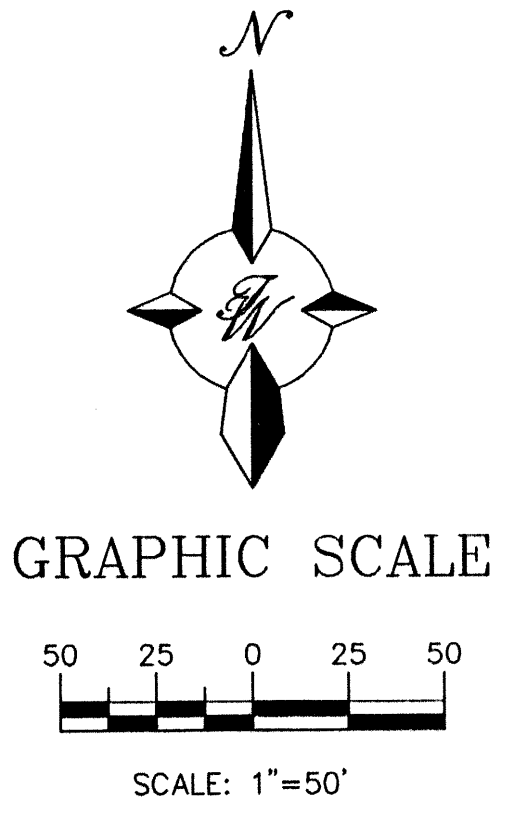
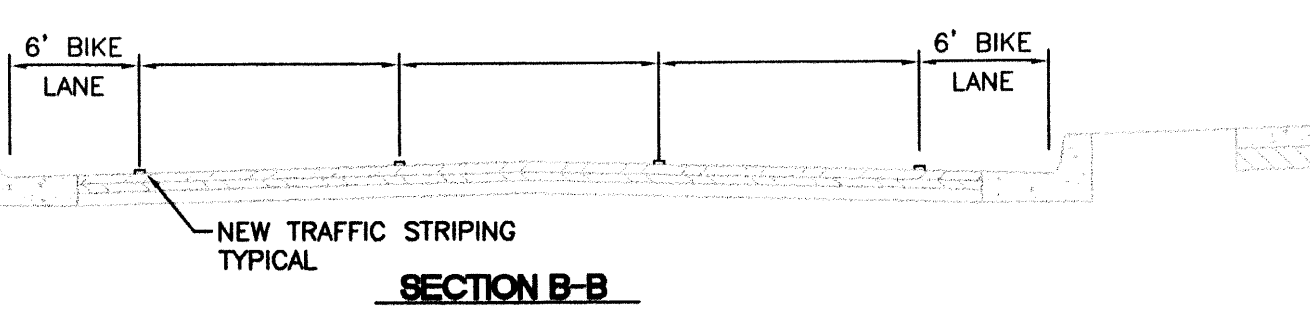
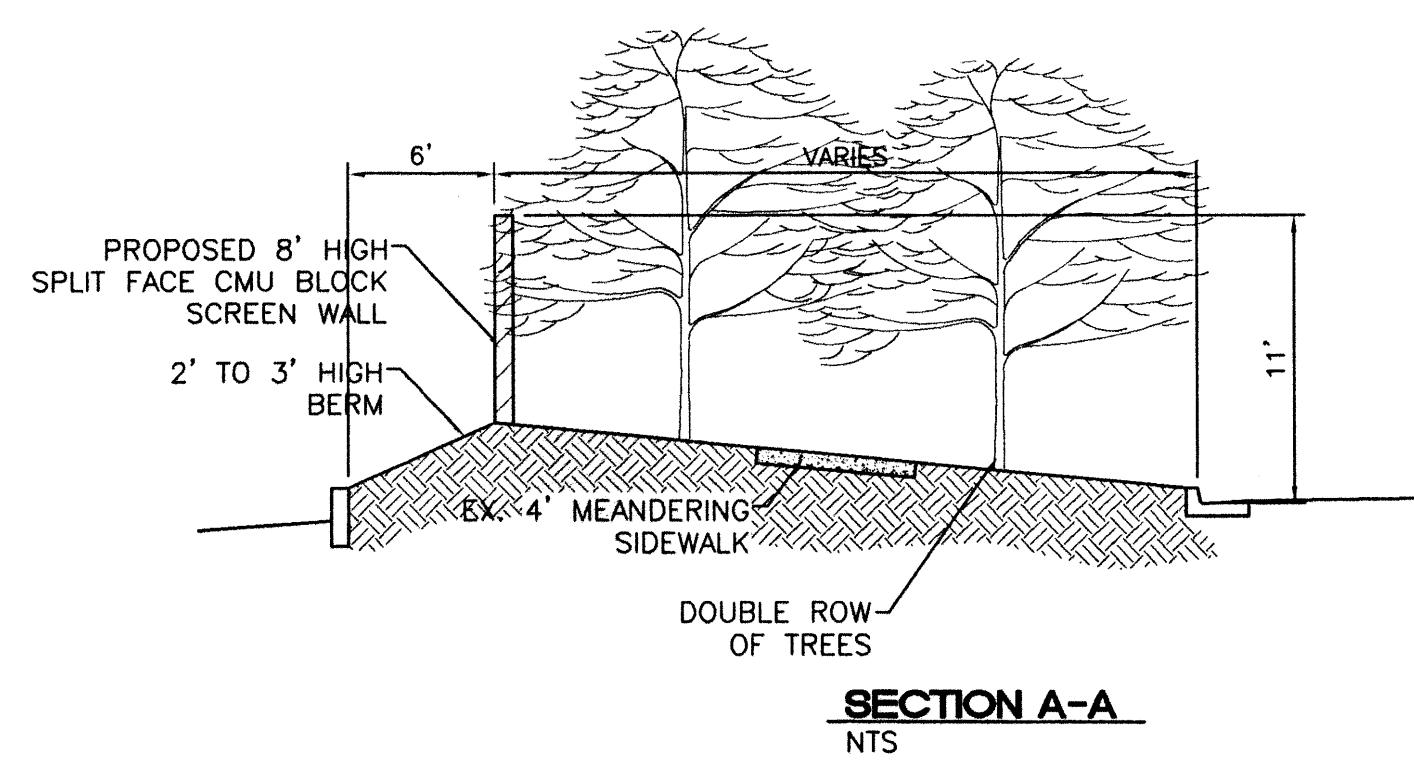
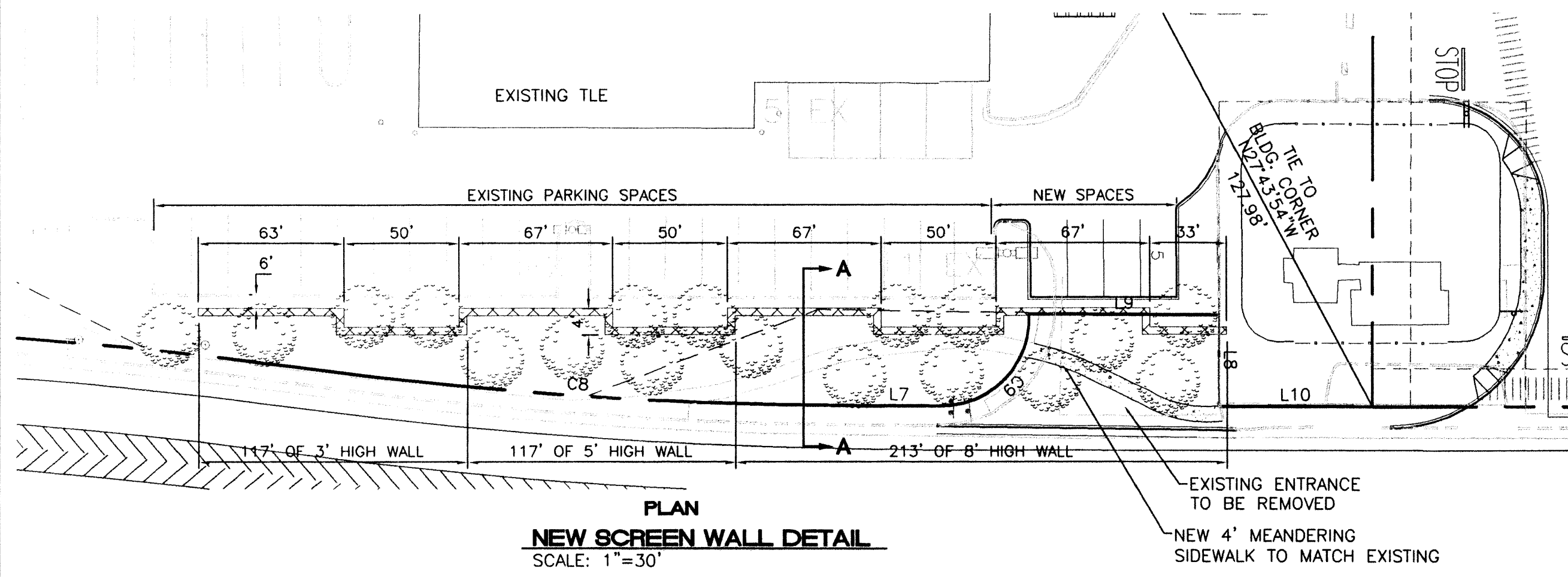
- EXISTING CURB
- - - EASEMENT
- - - FUTURE IMPROVEMENTS
- ▬ EXISTING BUILDING
- ▬ PROPOSED EXPANSION
- ▬ PROPOSED CURB
- ▬ BOUNDARY LINE
- - - PROPOSED SIDEWALK
- ▬ PROPOSED CONC. CROSSWALK
- ▬ EXISTING CART CORRALS
- ▬ EXISTING PARKING LOT LIGHT
- ▬ PROPOSED PARKING LOT LIGHT

**LINE TABLE**

LINE	LENGTH	BEARING
L1	14.67	N89°45'50"W
L2	19.17	S00°14'10"W
L3	23.49	S00°14'10"W
L4	6.99	N89°45'50"W
L5	6.93	S87°42'02"E
L6	7.65	S00°14'24"W
L7	21.50	S89°35'52"E
L8	24.03	S00°14'10"W
L9	49.50	S89°43'13"E
L10	39.90	N89°49'04"W

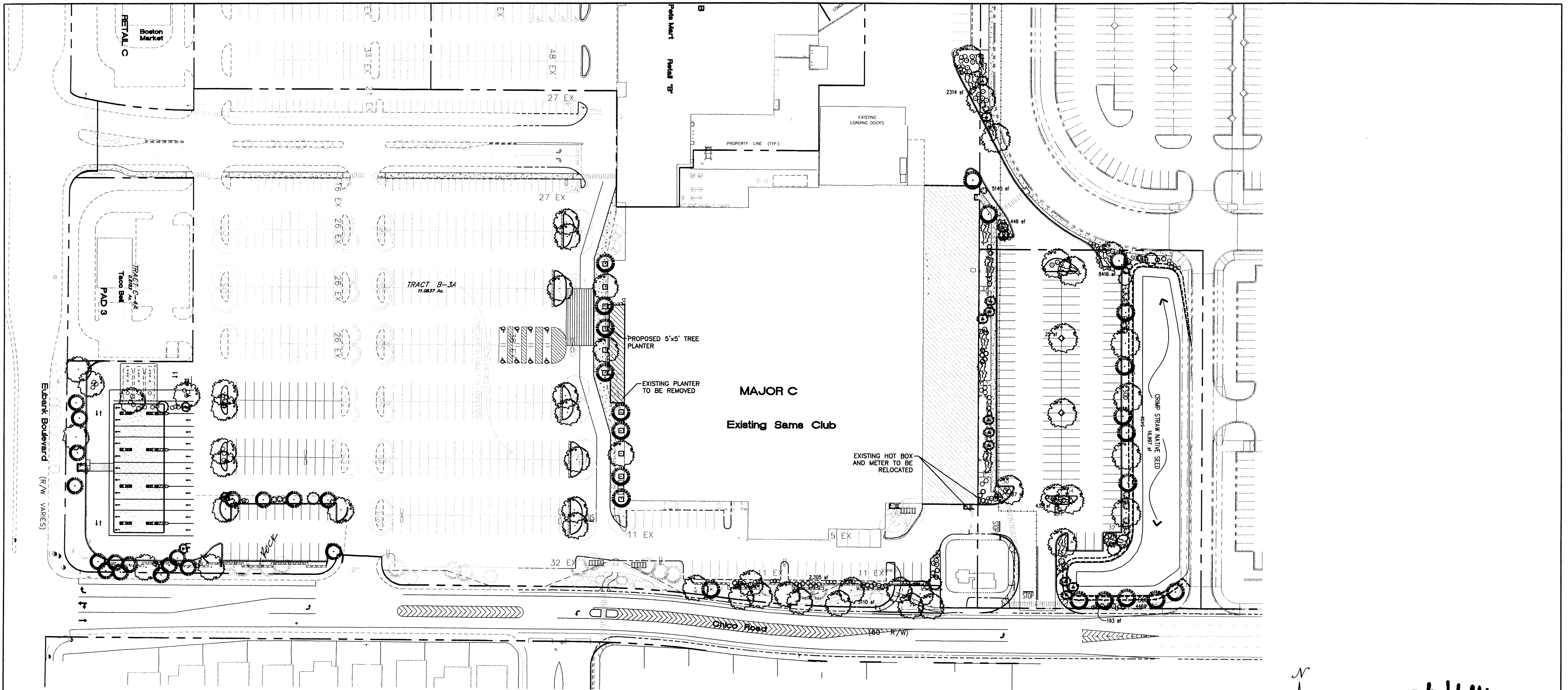
**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	104.74	574.46	52.52	10°26'48"	S84°20'51"E	104.60
C2	18.67	23.00	9.89	46°31'01"	S67°08'26"W	18.16
C3	17.39	23.00	9.14	43°19'46"	S22°13'02"W	16.98
C4	39.43	25.00	25.16	90°22'11"	S44°27'35"E	35.47
C5	34.40	23.00	21.33	85°41'01"	N47°32'37"E	31.28
C6	36.05	23.00	22.92	89°48'12"	S44°56'21"E	32.47
C7	154.50	1166.20	77.36	7°35'26"	N85°59'30"W	154.39
C8	146.50	1106.20	73.36	7°35'17"	S86°01'05"E	146.40
C9	37.58	23.00	24.50	93°36'35"	N43°38'24"E	33.54



NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		<b>ALBUQUERQUE SAM'S EXPANSION, NM: 6672</b>	
DRAWN BY: BDG		DATE: 7-07-00	
PROJECT: 9929SPB-DC.DWG		SHEET #: 3	
		<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
RONALD R. BOHANNAN P.E. #7868		JOB # 990029	





**PLANT LEGEND**

	ARIZONA ASH (H) 47 Fraxinus velutina 2" cal		EXISTING SOD
	AUSTRIAN PINE (H) 31 Pinus nigra 6-8"		3/4" GREY GRAVEL W/ FILTER FABRIC
	DESERT WILLOW (L) 12 Chilopsis linearis 15 gal		NEW SOD
	NEW MEXICO OLIVE (M) 23 Forestiera neomexicana 15 gal		CRIMP STRAW NATIVE SEED
	BLUE MIST (M) 38 Coryopteris spp. 5 gal		COMMERCIAL GRADE STEEL EDGE
	AUTUMN SAGE (M) 19 Salvia greggii 5 gal		EXISTING ASH
	GREY COTONEASTER (M) 70 Cotoneaster glaucophylla 5 gal		EXISTING CHINESE PISTACHE
	CHAMISA (L) 101 Chrysothamnus nauseosus 1 gal		EXISTING REDBUD
	WILDFLOWER 67 1 gal		EXISTING BRADFORD PEAR
	TAM JUNIPER (M) 75 JUNIPERUS SABINA 5 gal		EXISTING AUSTRIAN PINE
			EXISTING NEW MEXICO OLIVE
			EXISTING GREY COTONEASTER
			EXISTING INDIAN HAWTHORN
			EXISTING BLUE MIST
			EXISTING AUTUMN SAGE
			EXISTING JUNIPER GROUND COVER

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

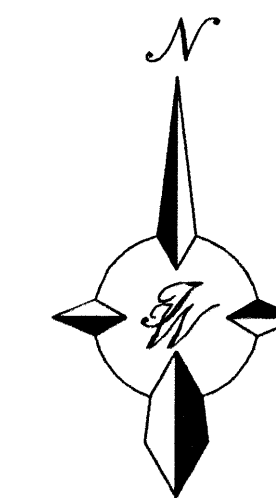
It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

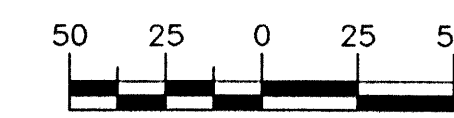
All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.



**GRAPHIC SCALE**



SCALE: 1"=50'

**The Hilltop**

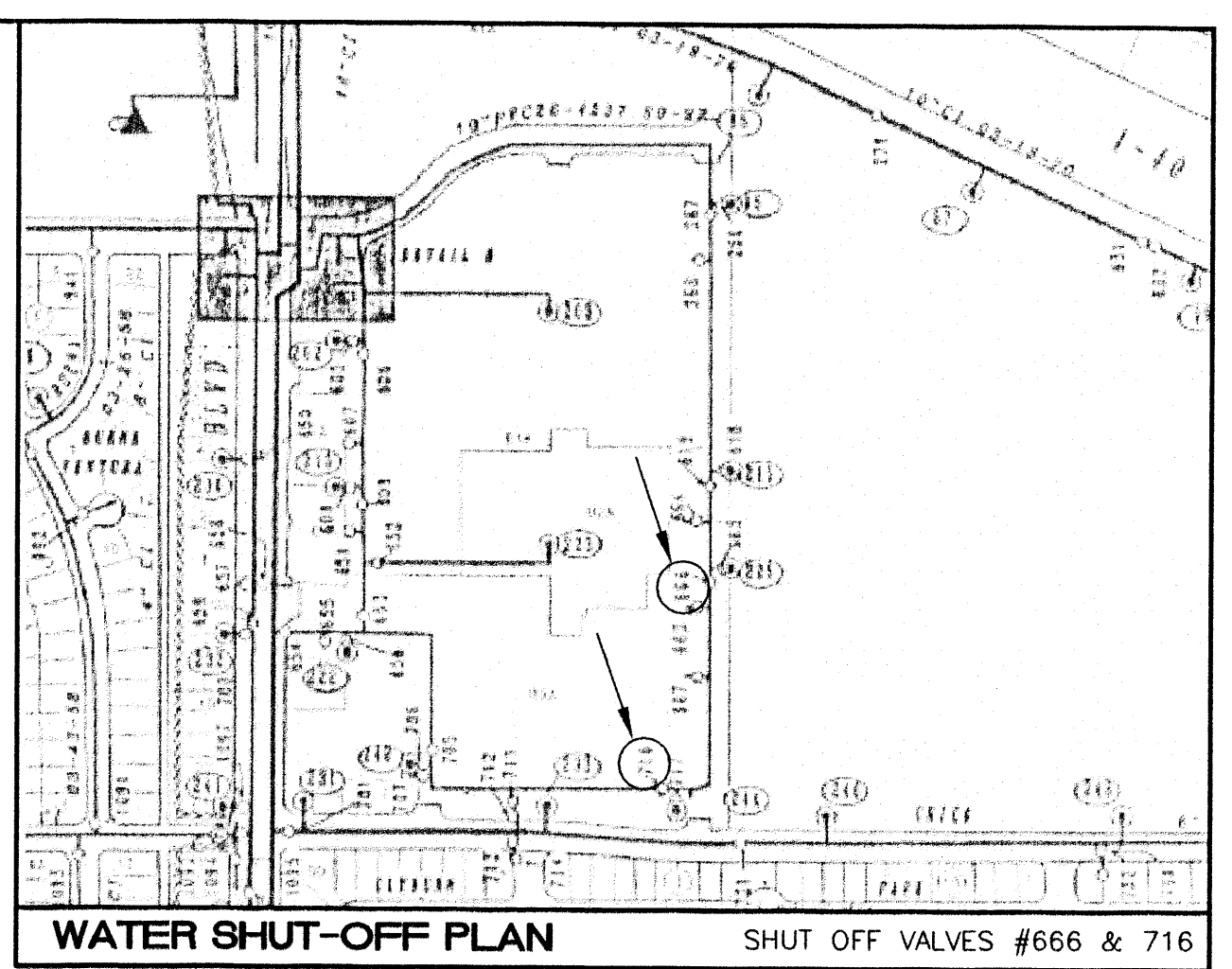
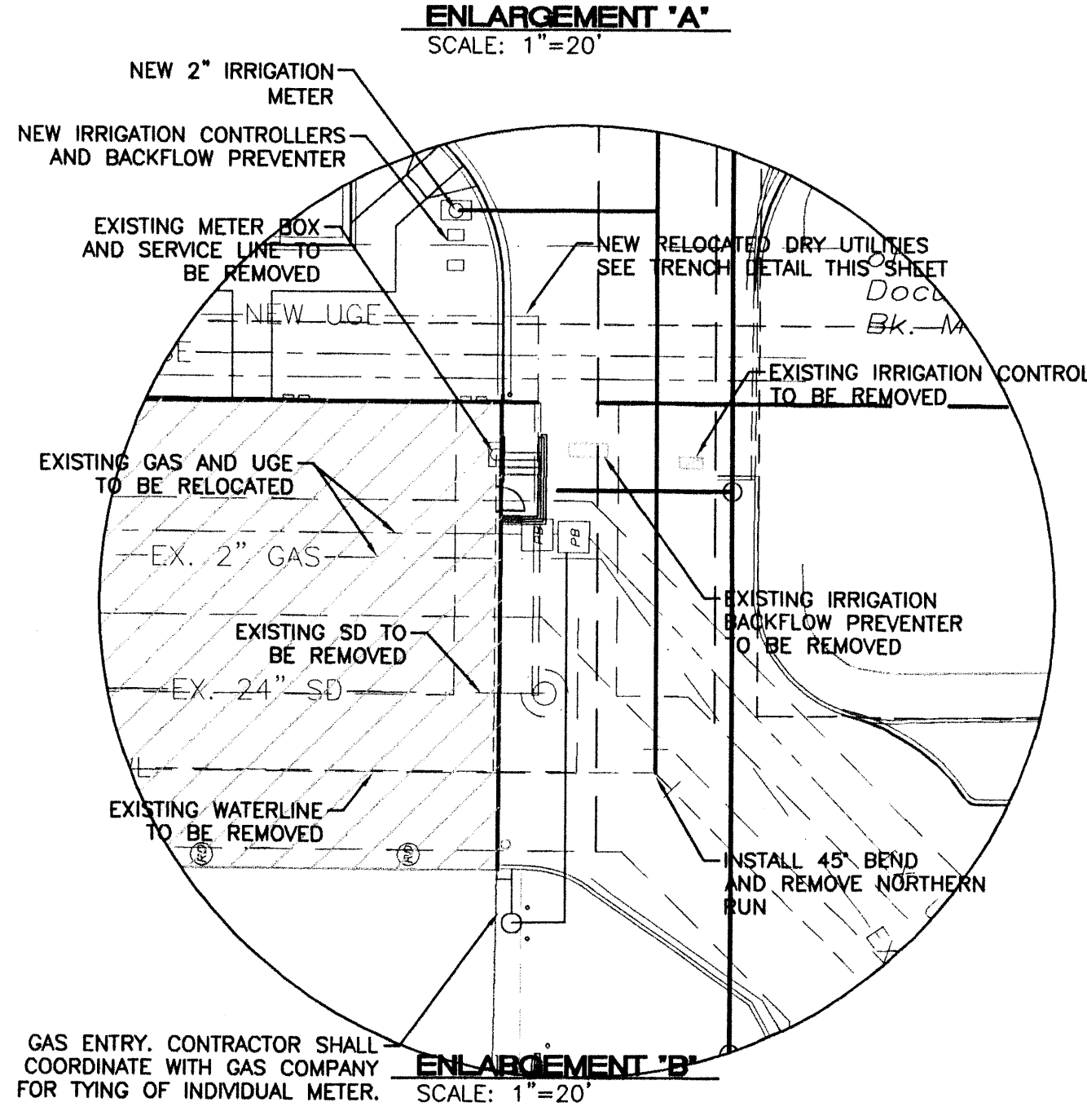
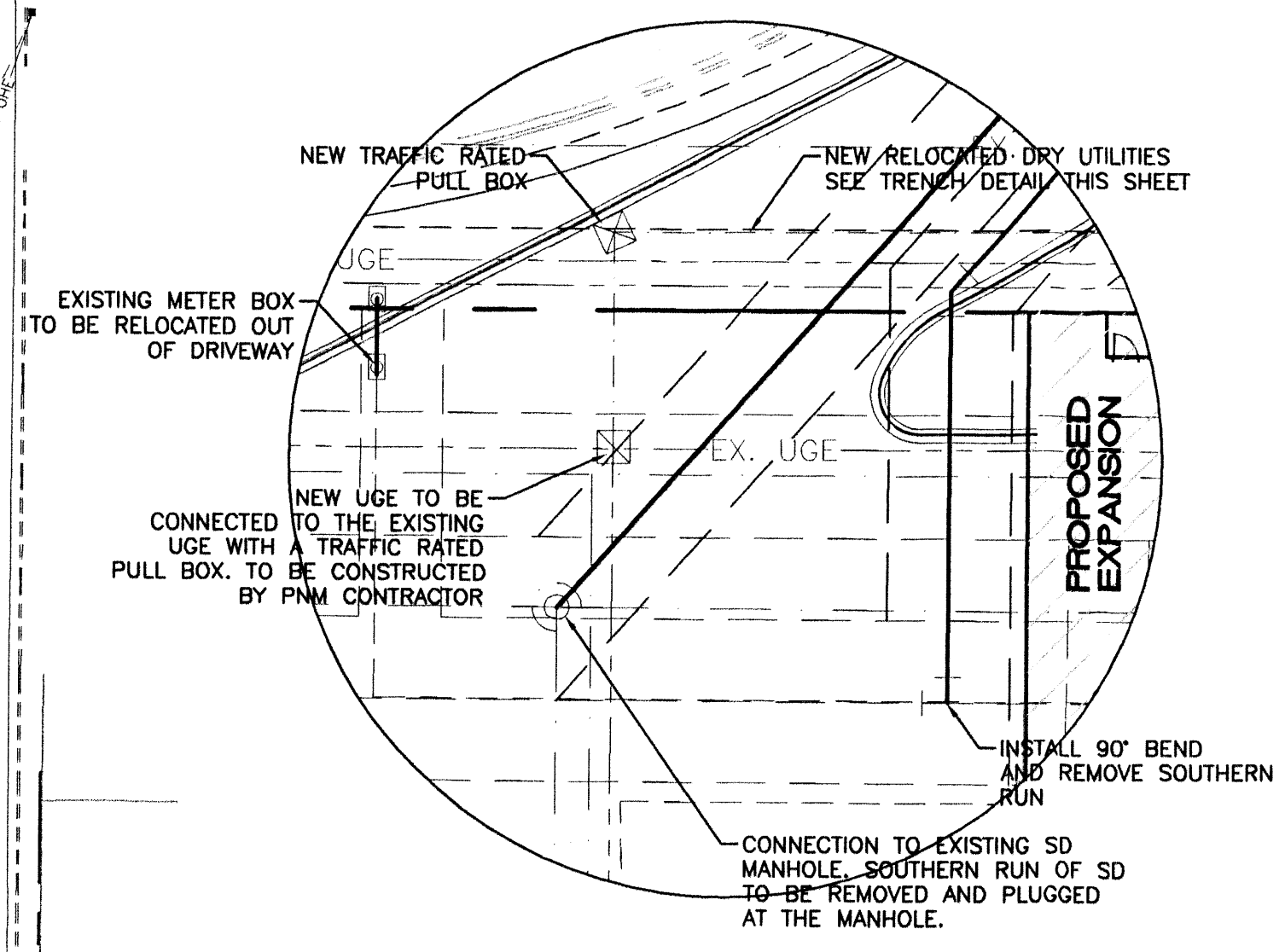
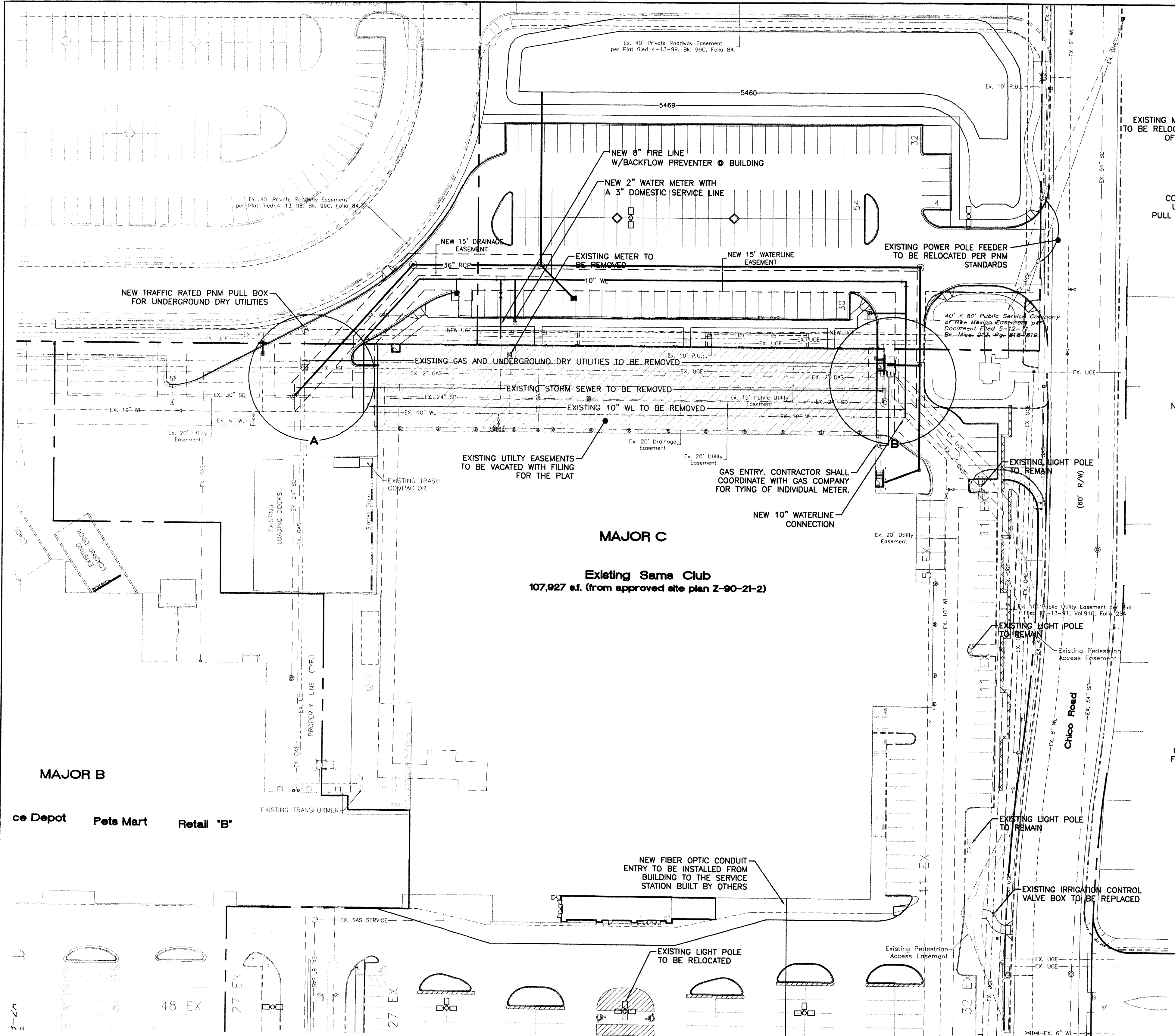
LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
it@hilltoplandscaping.com

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ENGINEER'S SEAL	<b>ALBUQUERQUE SAM'S EXPANSION, NM: 6672</b>	DRAWN BY BDG
	<b>LANDSCAPE PLAN</b>	DATE 7-07-00
		9929LP-DC.DWG
		SHEET #
	<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	<b>4</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 990029





- NOTES:
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
  3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN
  5. SEE IRRIGATION PLANS FOR IRRIGATION IMPROVEMENTS AND DETAILS

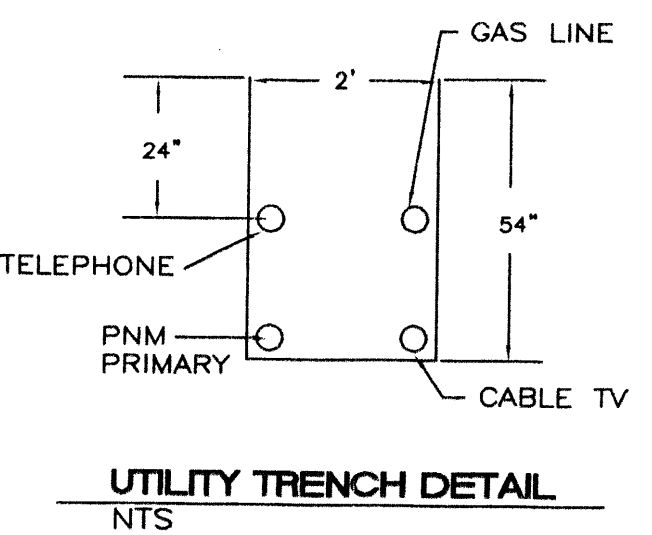
LEGEND	
	EXISTING SD MANHOLE
	EXISTING ROOF DRAIN
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING SPRINKLER CONTROL BOX
	EXISTING FIRE PROTECTION VALVE
	EXISTING POWER POLE WITH FEED
	EXISTING POWER POLE WITH FEED & LIGHT
	EXISTING POWER POLE
	EXISTING POWER POLE WITH LIGHT
	EXISTING PULL BOX
	EXISTING GAS VALVE
	EXISTING BOLLARD
	EXISTING PARKING LOT LIGHT
	PROPOSED PARKING LOT LIGHT
	PROPOSED CLEAN OUT
	PROPOSED DOUBLE CLEAN OUT
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	BOUNDARY LINE
	EASEMENT

**NOTICE TO CONTRACTORS**

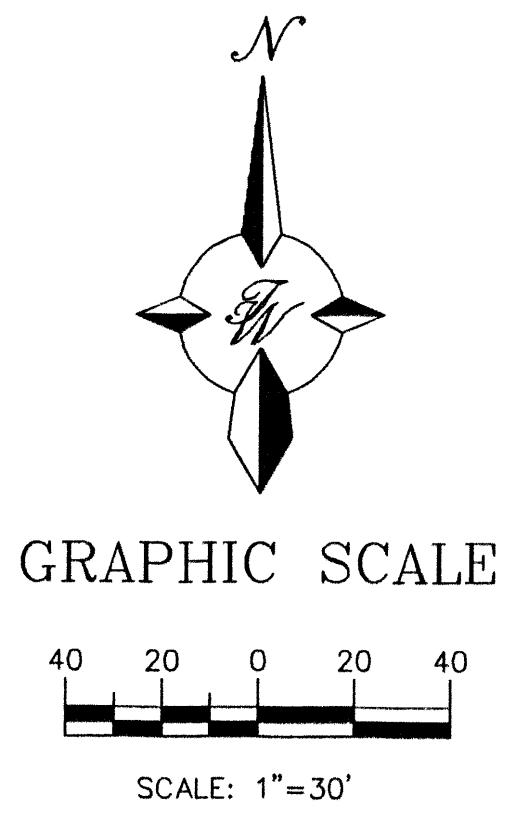
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

**GENERAL NOTES:**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

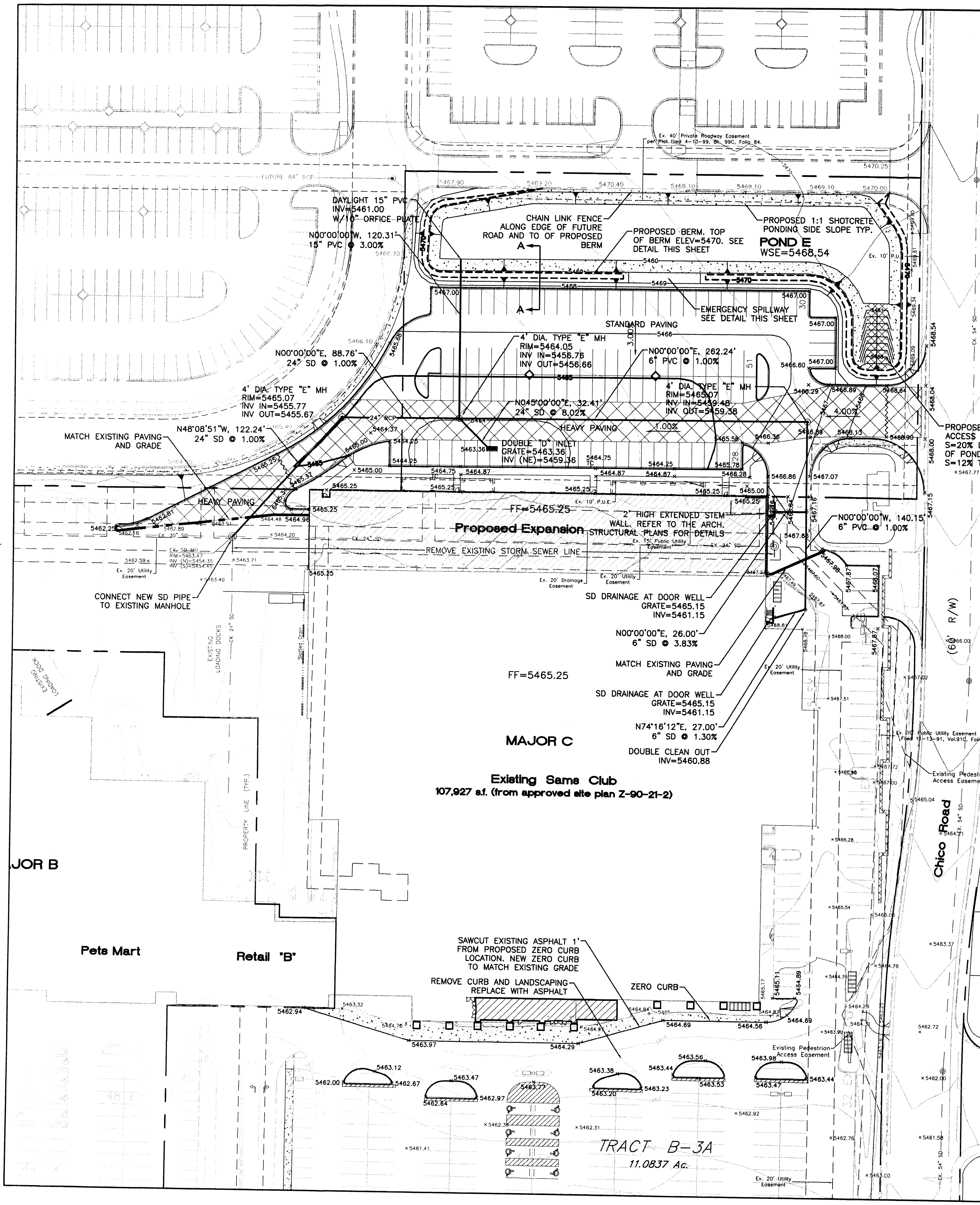


**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

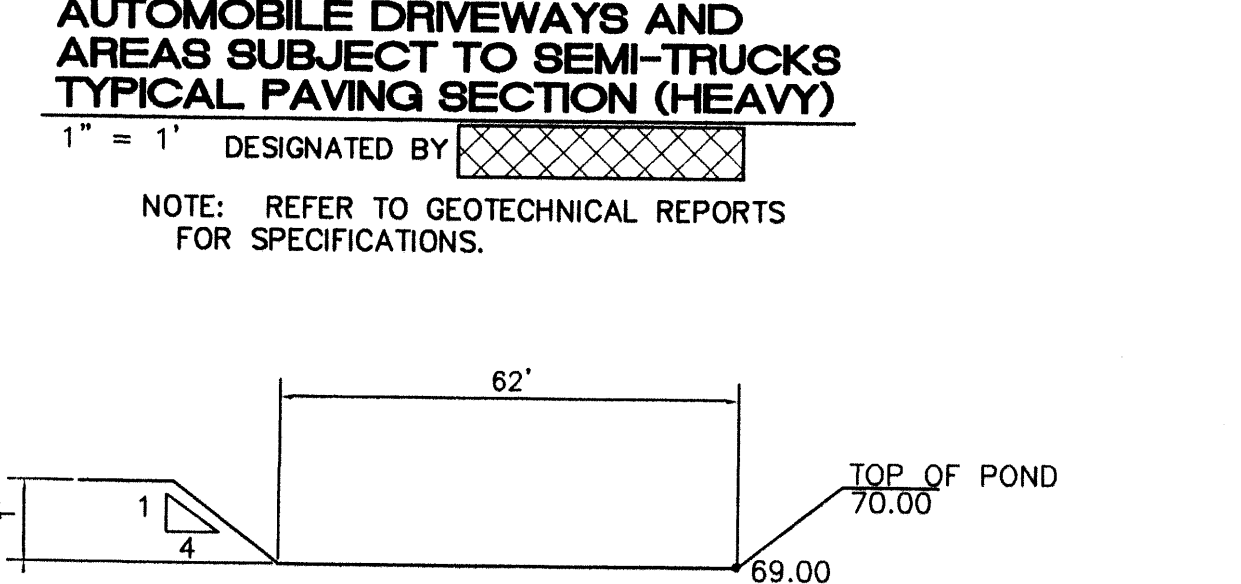
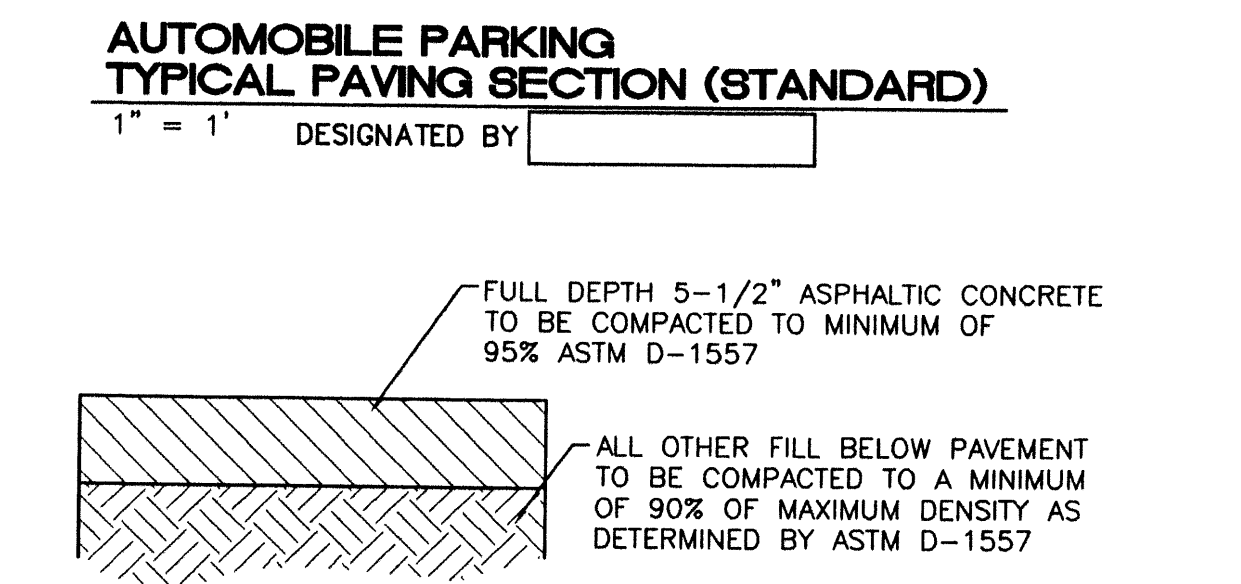
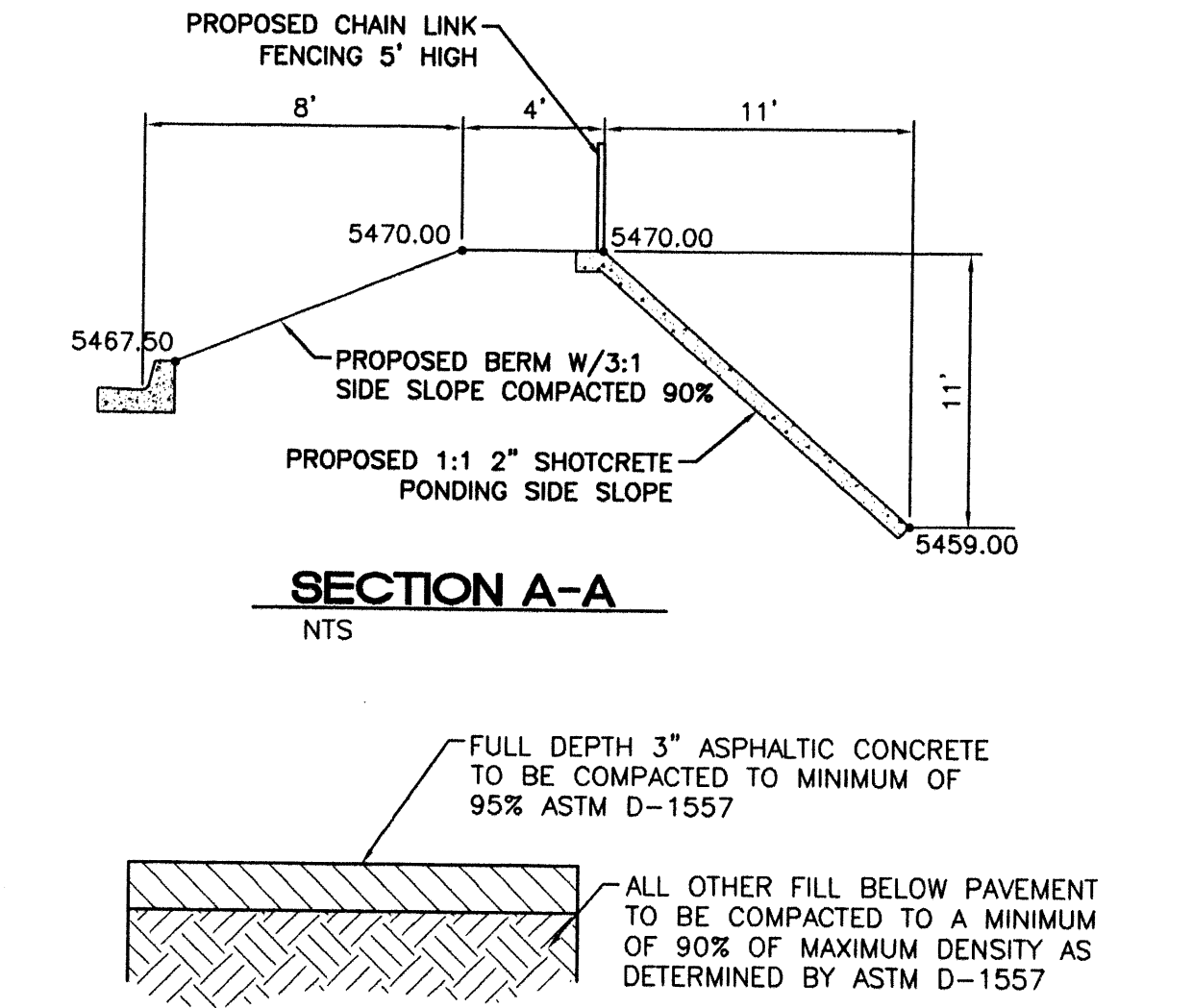


ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>ALBUQUERQUE SAM'S EXPANSION, NM: 6672</b>	DRAWN BY: BDC DATE: 7-07-00 9929MU-DC.DWG
	<b>MASTER UTILITY PLAN</b>	SHEET # <b>5</b> JOB # 990029
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		





- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
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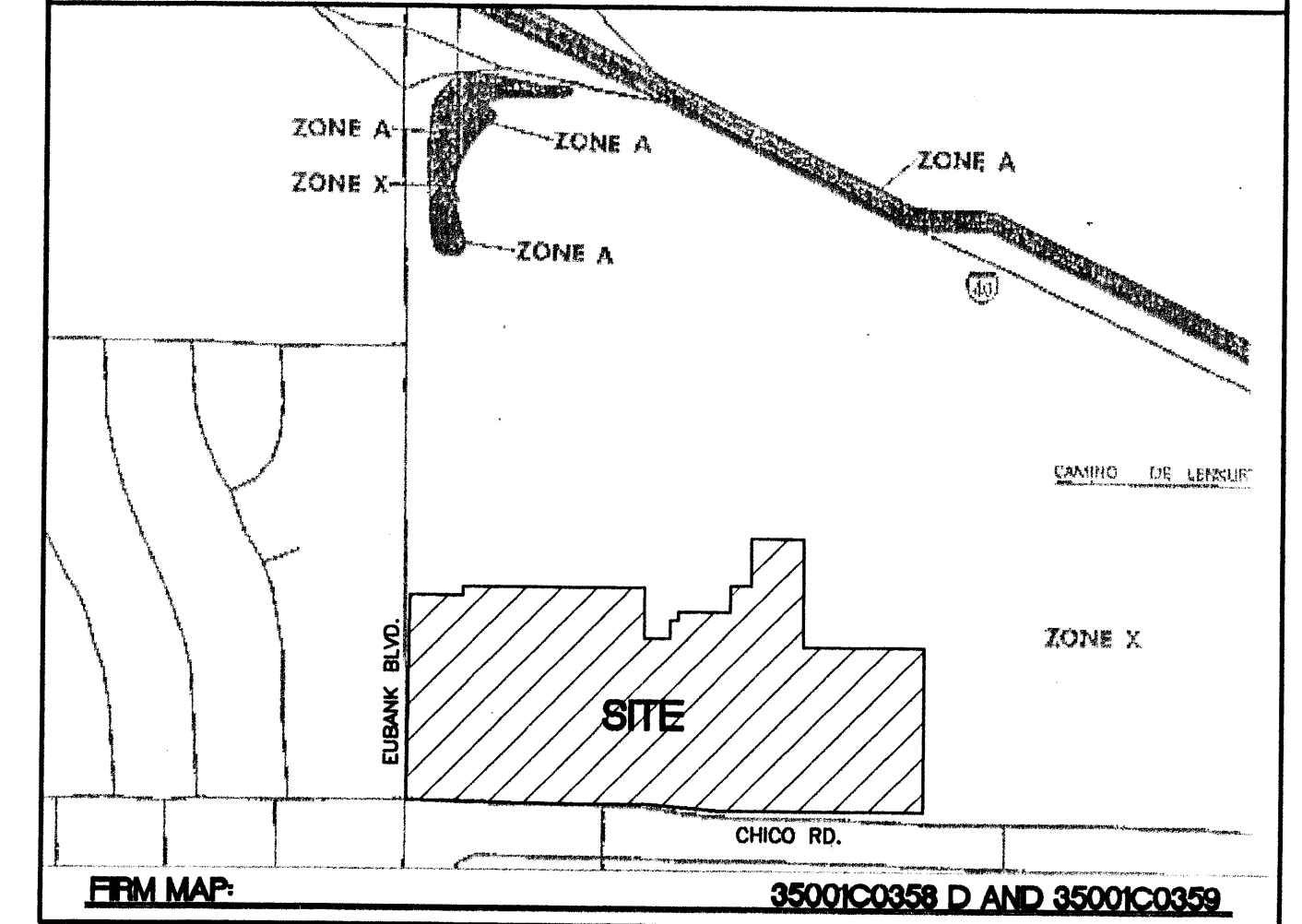
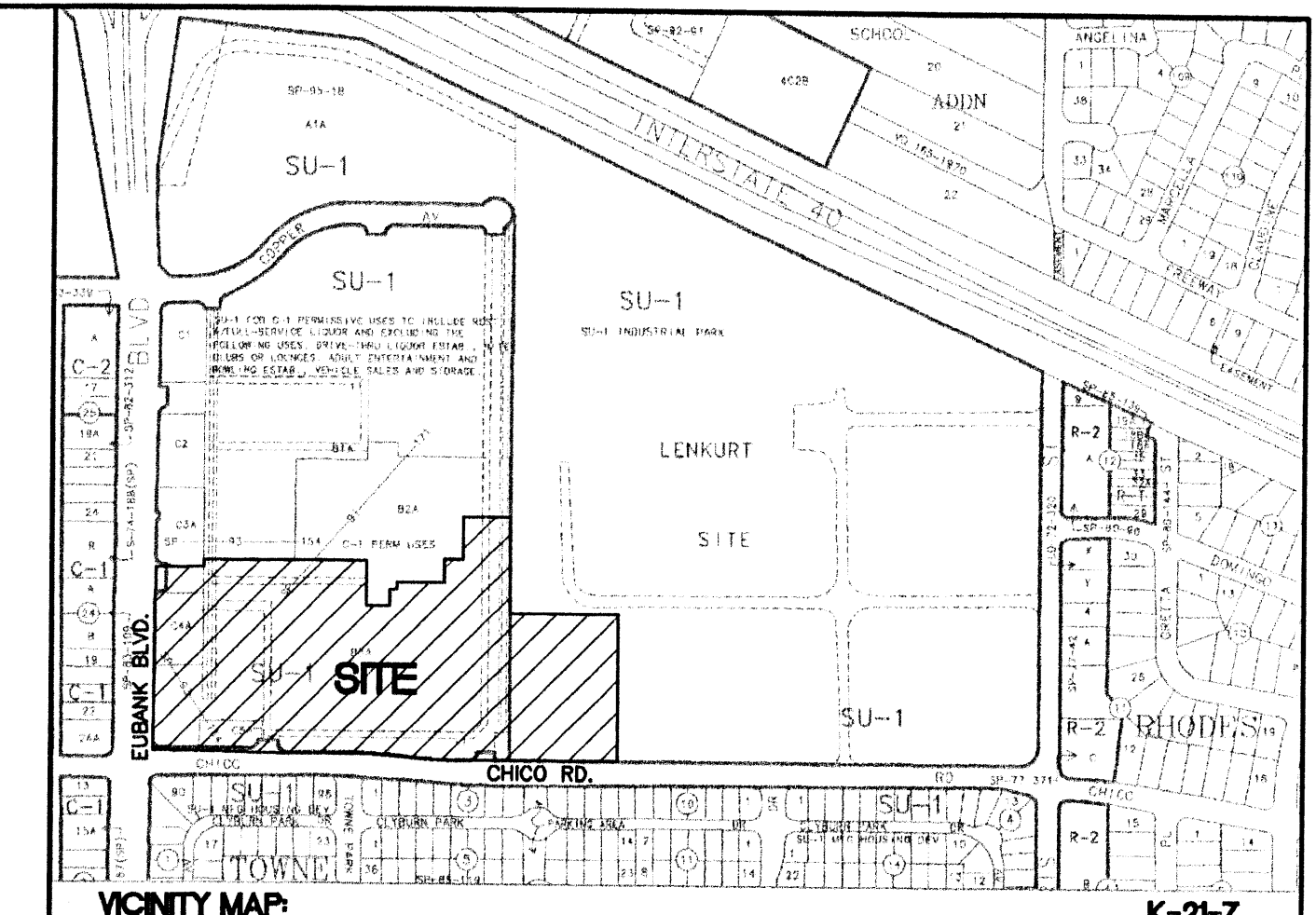


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**LEGEND**

- EXISTING CURB
- FUTURE IMPROVEMENTS
- EXISTING BUILDING
- PROPOSED EXPANSION
- PROPOSED CURB
- BOUNDARY LINE
- GRADE CHANGE

**GRAPHIC SCALE**  
40 20 0 20 40  
SCALE: 1"=40'



Unless specifically indicated otherwise in the drawings and/or specifications, the limits of this subsurface preparation are considered to be that portion of the site directly beneath and 10 feet beyond the building and appurtenances. Appurtenances are those items attached to the building proper (refer to drawing sheet SP1) and typically include, but not limited to the building sidewalks, garden center, porches, ramps, stoops, truck wells/docks, concrete aprons at the automotive center, compactor pad, etc. The subsurface and vapor barrier do not extend beyond the limits of the actual building and the appurtenances.

Establish the final subgrade elevation at 11 1/2 inches below the finished concrete elevation when using a 5 1/2 inch slab to allow for the slab thickness and a 6 inch granular base. The granular base shall have a plasticity index less than or equal to 3 and the percentage of material passing the No. 200 sieve size shall be between 0 and 5. The granular base shall be compacted to a minimum of 95 percent of maximum dry density as determined in accordance with ASTM D1557. The contractor is responsible for obtaining accurate measurements for all cut and fill depths required.

All vegetation, asphalt, concrete, and debris shall be removed from throughout the building area and any other areas of the site to receive structural fill. Any existing uncontrolled fill or other deleterious materials shall also be removed. The exposed ground surface shall then be observed by a representative of the geotechnical engineer prior to the excavation of footings or the placement of any structural fill. The exposed ground surface shall then be scarified to a minimum depth of 8 inches, brought to near the optimum moisture content, and compacted as discussed below.

Following site surface preparation, the site shall be brought to finished subgrade elevation with properly compacted structural fill. All structural fill shall be spread in layers not exceeding 8 inches in thickness, watered as necessary and compacted. The moisture content of the fill during construction shall be within 2 percent of the optimum moisture content. A density of not less than 95 percent of maximum dry density within the building pad shall be obtained. Structural fill and native soils outside the building pad shall be compacted to a minimum of 90 percent of maximum dry density. The optimum moisture content and maximum dry density for each soil type used shall be determined in accordance with ASTM D1557.

Structural fill required to bring the site to finished subgrade elevation shall be free of vegetation and debris, and meet the following gradation requirements:

Sieve Size (Square Openings)	Percent Passing by Weight
3 inch	100
No. 4	50-100
No. 200	25-60

The plasticity index of structural fill material shall not exceed 15. Most of the native soils at the site will meet these requirements, although some blending may be required.

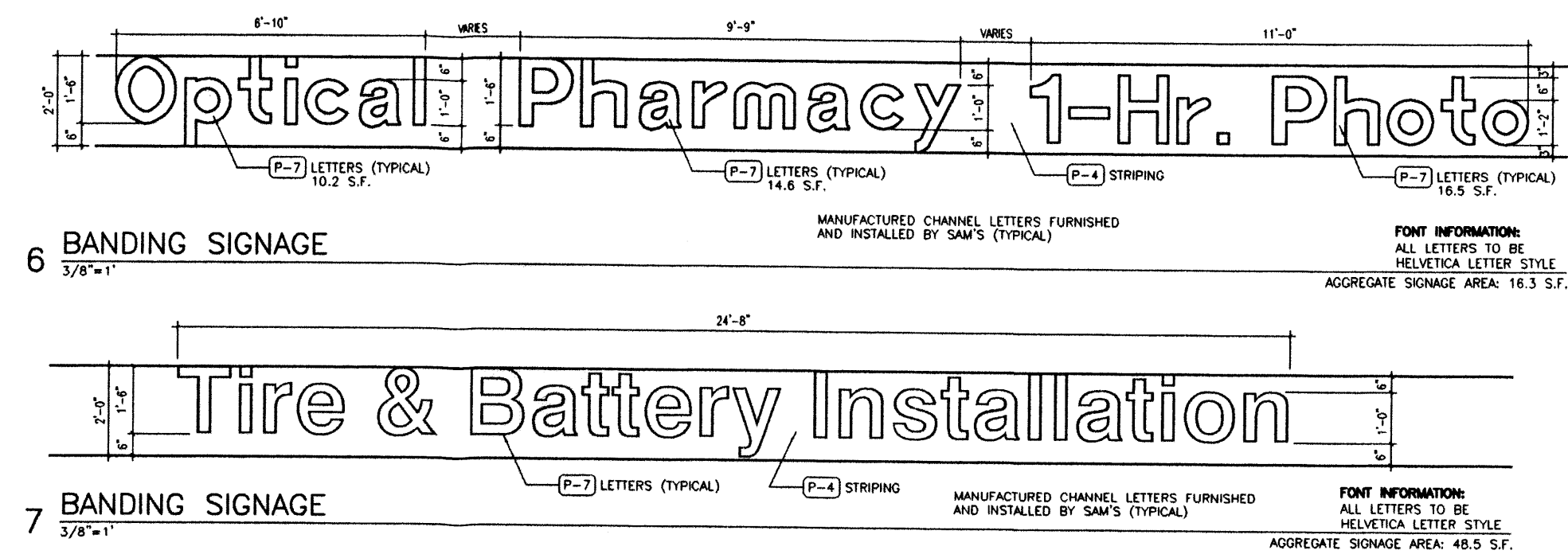
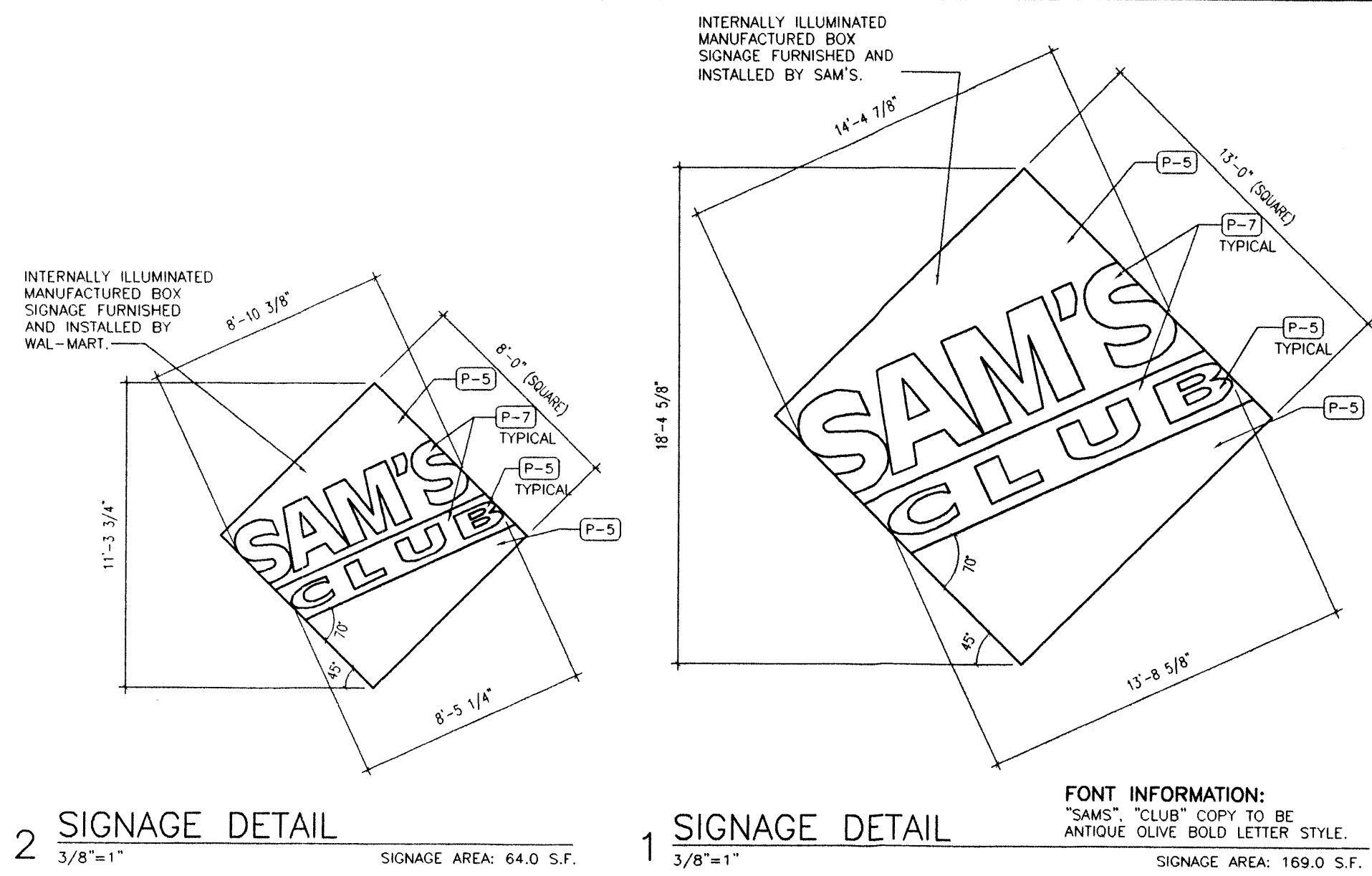
**ENGINEER'S SEAL**  
RONALD R. BOHANNAN  
P.E. #7868

**ALBUQUERQUE SAM'S EXPANSION, NM: 6672**  
**GRADING AND DRAINAGE PLAN**

**TIERRA WEST, LLC**  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

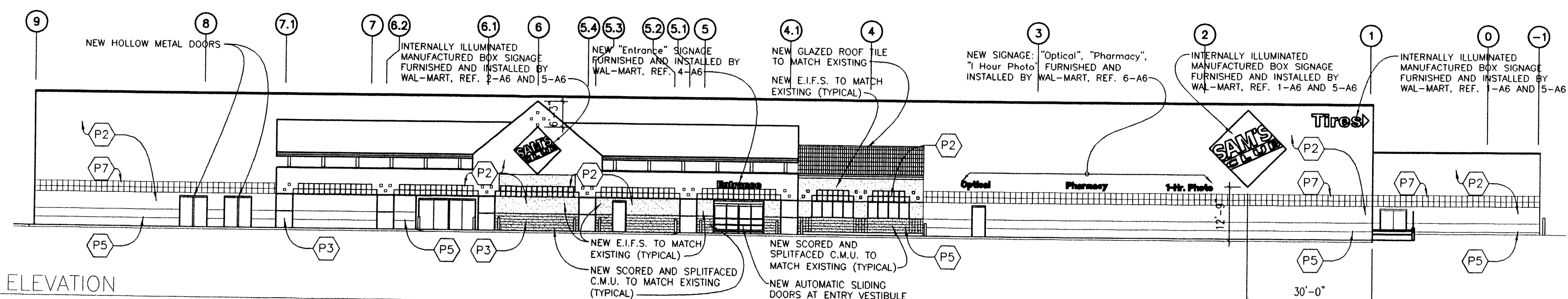
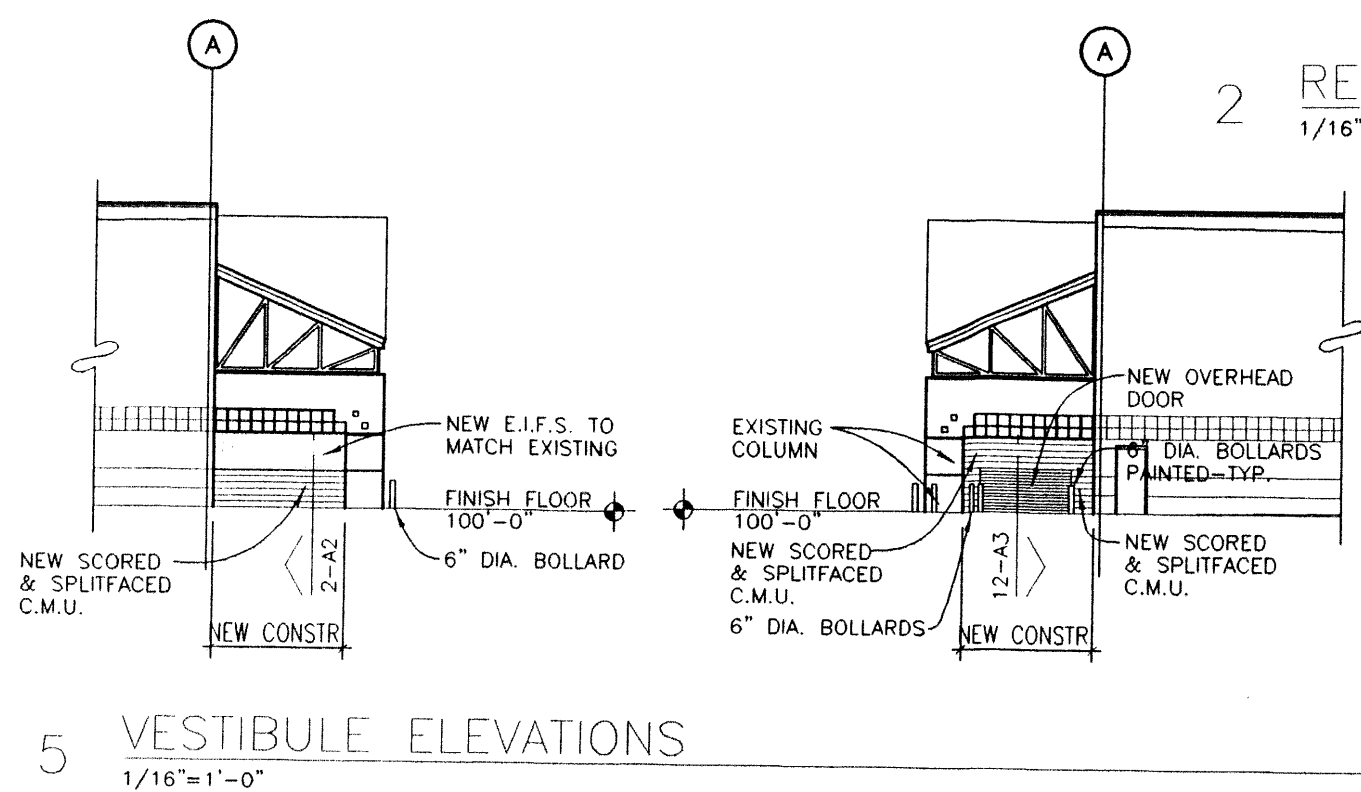
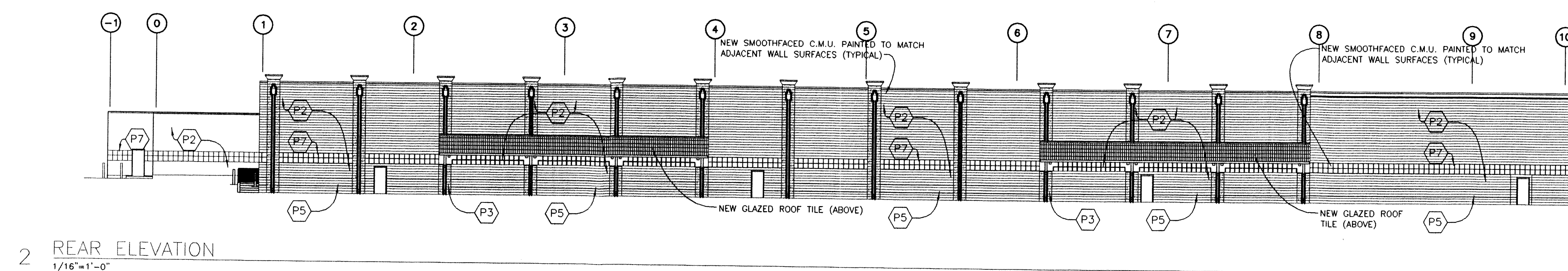
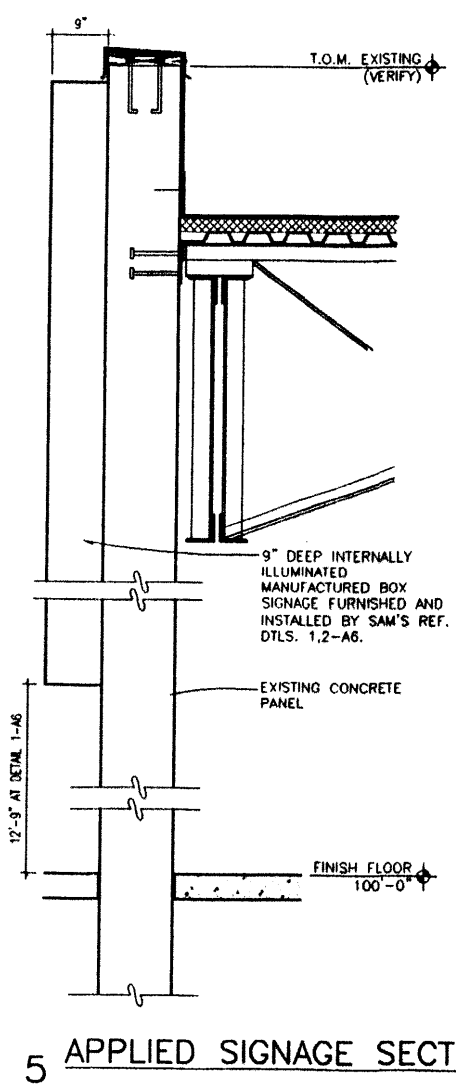
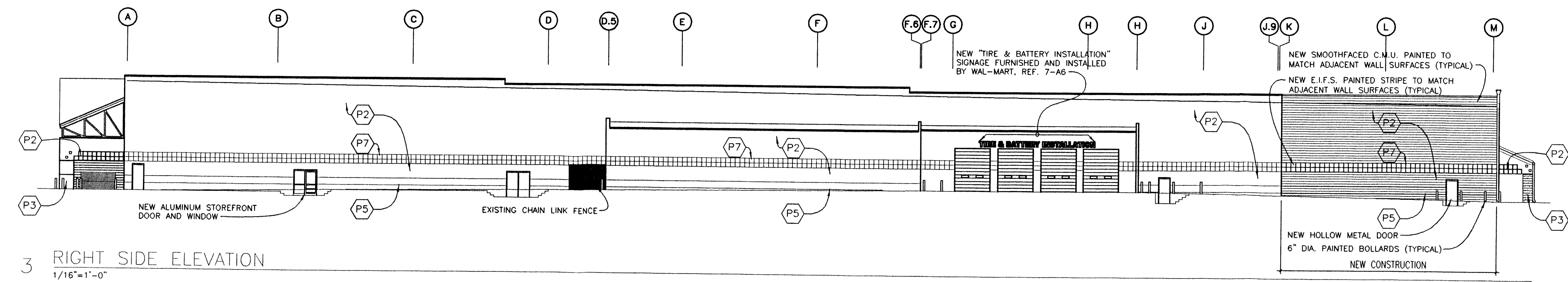
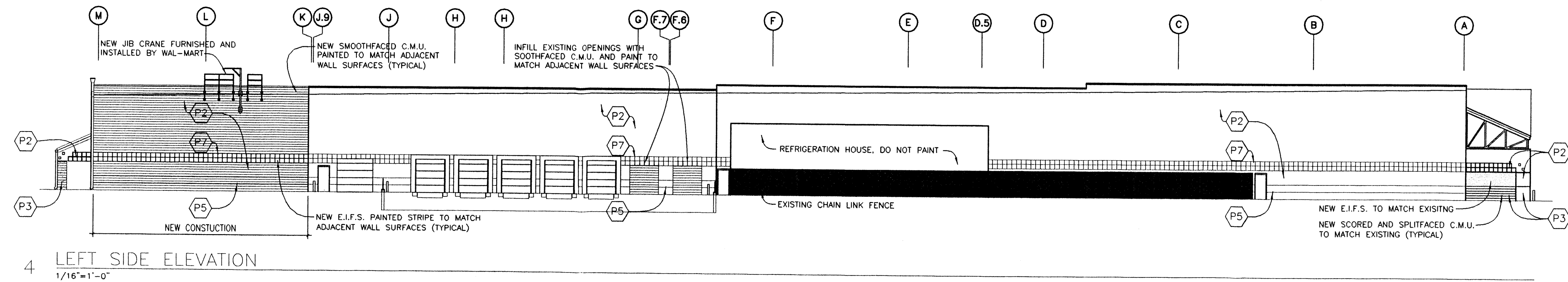
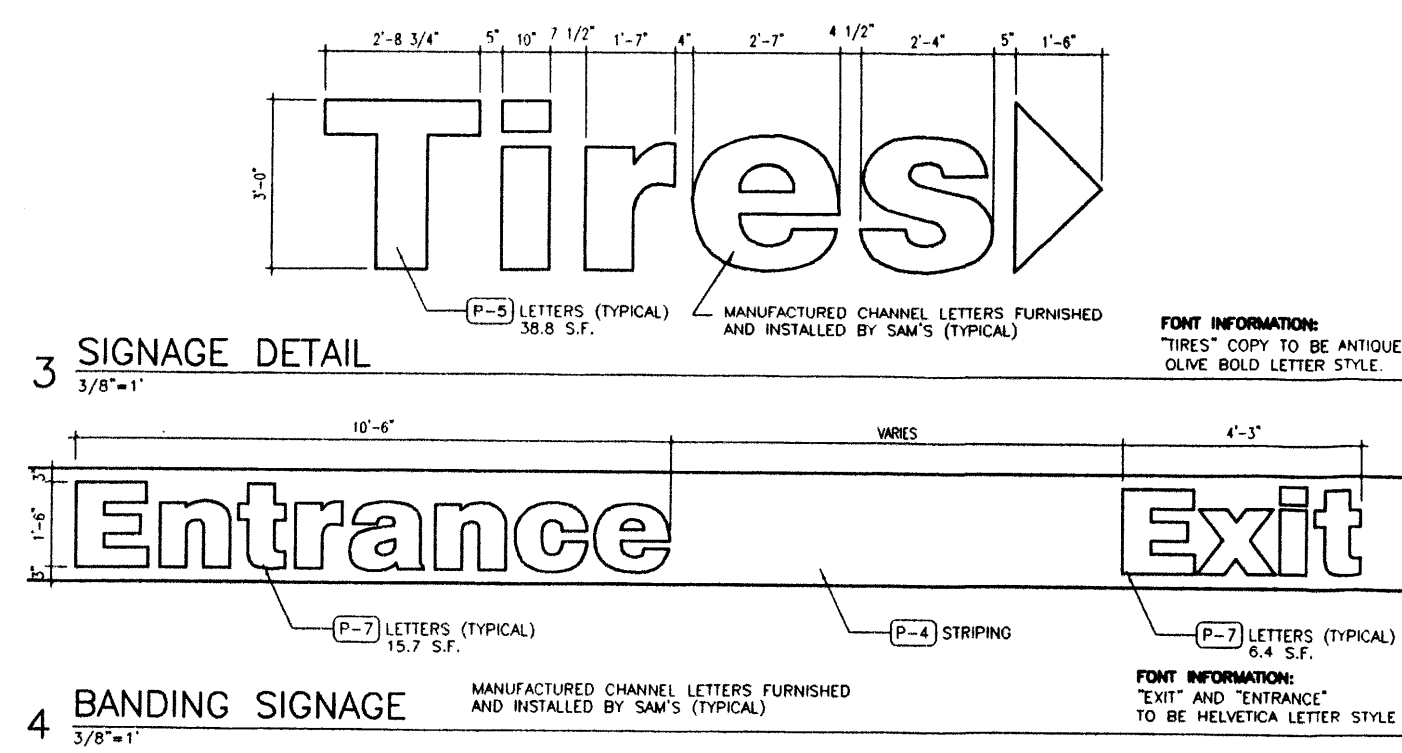
**DRAWN BY**  
JDN  
DATE  
7-07-00  
9929GR-DC.DWG  
SHEET #  
**6**  
JOB #  
990029





COLOR SCHEDULE		
SYMBOL	COLOR	CHARACTERISTICS
(P1)	LIGHT BEIGE	MATCH EXISTING
(P2)	MED. BEIGE	MATCH EXISTING
(P3)	DARK BEIGE	MATCH EXISTING
(P4)	RED	MATCH EXISTING
(P5)	BLUE	MATCH EXISTING
(P6)	YELLOW	OSHA STANDARD "SAFETY YELLOW"
(P7)	WHITE	MATCH EXISTING

- NOTES:
1. PAINT ALL DOORS, FRAMES, DRIP CAPS, HANDRAILS, GUTTERS, SCUPPERS, DOWNSPOUTS, WALL MOUNTED PANELS AND MISCELLANEOUS METALS TO MATCH ADJACENT BUILDING UNLESS NOTED OTHERWISE.
  2. VERIFY ALL PAINT COLORS AND COLOR LOCATIONS WITH WAL-MART CONSTRUCTION MANAGER.
  3. VERIFY ALL SIGN LOCATIONS WITH WAL-MART CONSTRUCTION MANAGER.
  4. REPLACE ALL WALL PACK SECURITY LIGHT LENS COVERS WITH NEW COVERS TO MATCH EXISTING.
  5. CONTRACTOR SHALL PAINT NEW 10'-0"x10'-0" "SAM'S CLUB" SIGN CENTERED IN LOCATION TO RECEIVE NEW 13'-0"x13'-0" INTERNALLY ILLUMINATED SIGNAGE IF SIGNS ARE NOT READY FOR INSTALLATION WHEN FRONT WALL PAINTING IS COMPLETE.



211 N. Record St. Suite 222  
Dallas, Texas 75202  
Telephone 214/749-0626



CLUB # 6672  
ALBUQUERQUE,  
NM

WAL-MART STORES INC.  
SAM M. WALTON DEVELOPMENT COMPLEX  
2001 SE 10TH STREET  
BENTONVILLE, AR 72712-6489

Sheet Contents:  
ELEVATIONS

Drawn By: BB  
Checked By: RH  
Revisions:

Project Number: 00803  
Date: 19 JULY 2000



Site Data for Building Purposes

TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
HARD SURFACE AREA:	708,995 SF	75%
LANDSCAPED AREA:	138,389 SF	15%

LANDSCAPE AREA REQUIREMENTS	
NET LOT AREA (943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)	
LANDSCAPE REQUIREMENT (15%):	127,108 SF
LANDSCAPE PROVIDED:	138,389 SF

PROPOSED USE:	AMUSEMENT; MOVIE THEATRE
BUILDING AREAS	55,800 SF
SEATING AREAS:	17,200 SF
SUPPORT AREAS:	18,700 SF
CIRCULATION SPACES:	
TOTAL NET AREA:	91,500 SF
TOTAL GROSS AREA:	96,000 SF

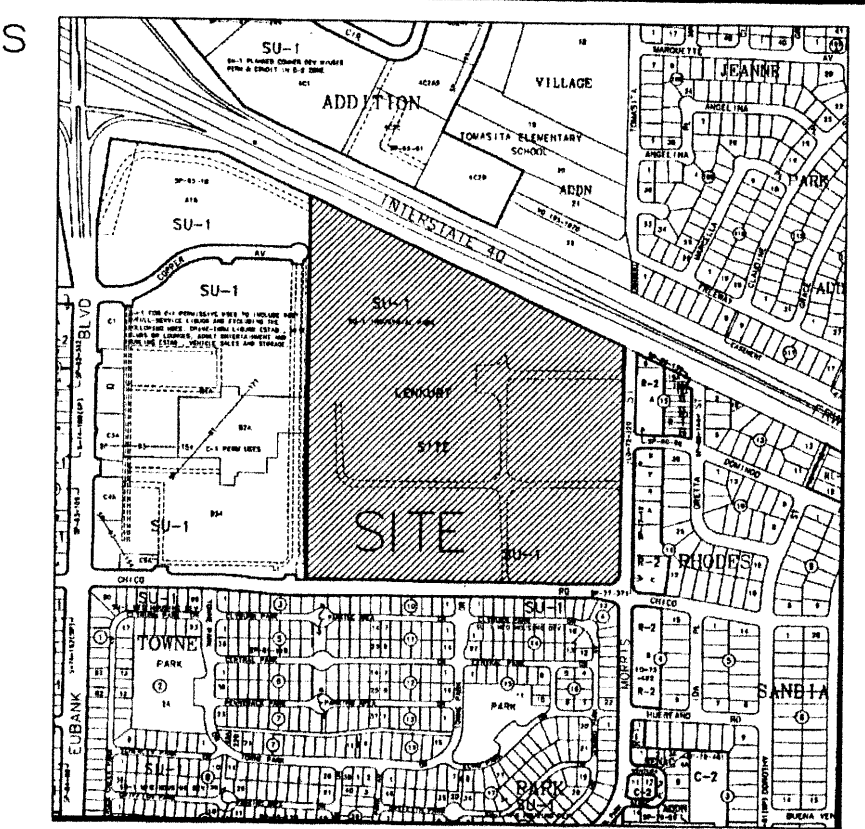
PARKING SPACES	1 PER 4.0 SEATS (4850 SEATS) = 1,213 SPACES
PARKING DESIRED:	1 PER 3.0 SEATS (4850 SEATS) = 1,617 SPACES
PARKING PROVIDED:	1 PER 3.3 SEATS (4850 SEATS) = 1,467 SPACES

H.C. PARKING REQUIRED:	25 SPACES
H.C. PARKING PROVIDED:	27 SPACES

BICYCLE PARKING	1:20 REQUIRED FOR AUTOS = 75 SPACES
PARKING PROVIDED:	84 SPACES



Vicinity Map  
K-21-Z

Keyed Notes for Building Purposes

1. ASPHALT PAVING.
2. CURB TREE PLANTER, TYP.
3. 6" WIDE CONCRETE SIDEWALK.
4. CONCRETE PAVING.
5. ENTRY.
6. EARTHTONE REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7.
7. LIGHT POLE, TYP. REFER TO ELEVATION 2, SHEET 7.
8. NOT USED.
9. 35' CLEAR SIGHT TRIANGLE, TYP.
10. PEDESTRIAN CROSSING, SCORED COLORED CONCRETE.
11. H.C. ACCESSIBLE RAMP, TYP.
12. LANDSCAPE AREA.
13. BIKE RACK PARKING FOR 42 EACH SIDE, REFER TO ELEVATION 3, SHEET 7.
14. 9'x20' TYPICAL STRIPED PARKING SPACE.
15. BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
16. PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
17. SERVICE/DELIVERY AREA.
18. TREE GRATES.
19. SPEED TABLES, TYP.
20. BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
21. 12" WIDE TREELINED PEDESTRIANWAY WITHIN PARKING AREA.
22. CONCRETE PARKING STOPS, TYPICAL.
23. WAY FINDING SIGNAGE VIA COPPER AVENUE.

General Notes for Building Purposes

1. AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
2. AREA LIGHTING SHALL NOT HAVE AN OFF-SHINE LUMINANCE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

Legend

- CHC 18" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- HC 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- MP BUILDING MOUNTED SITE LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HSP FIXTURE @ 18' ABOVE GRADE.
- HP 12" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER: Z-98-114  
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 12, 1998, AND THAT THE FINDINGS AND CONDITIONS IN THE FINAL NOTICE OF DECISION HAVE BEEN COMPLIED WITH.

*Michael Deane* 7-19-00  
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

*Adrienne E. Condelaria* 7-19-00  
 DESIGN AND DEVELOPMENT, CIVIL & LANDSCAPE DATE

*Roger J. Green* 7-19-00  
 PUBLIC WORKS, WATER UTILITIES DIVISION DATE

CITY ENGINEER, ENGINEERING DIVISION / AM/FCA DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

CITY PLANNER, ALBUQUERQUE / BERNALILLO DATE  
 COUNTY PLANNING DIVISION  
 PLN2 (10708) 4/98

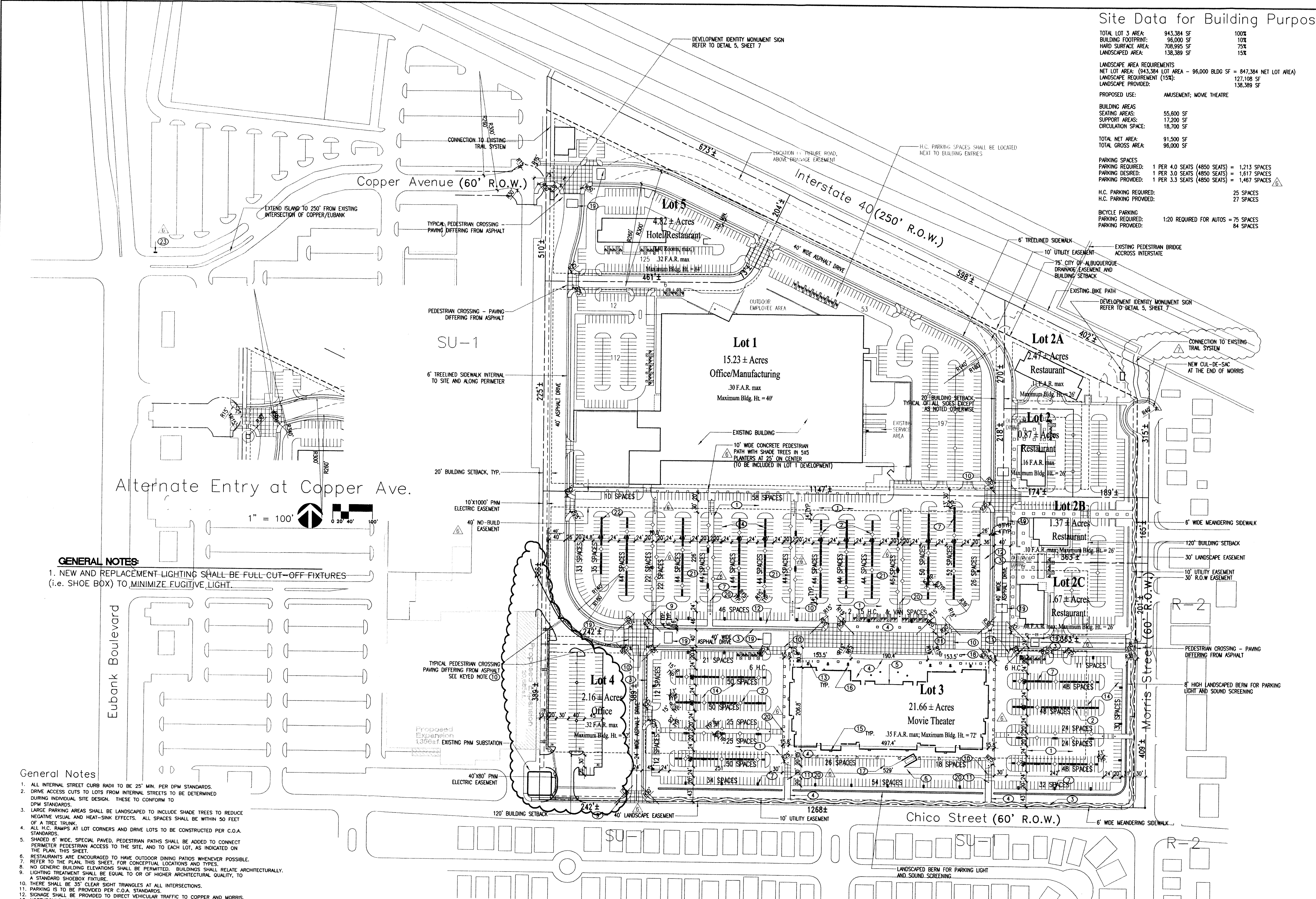
Facility Re-utilization:  
 501 Morris  
 Albuquerque, New Mexico

7/28/98  
 10/7/98  
 9/22/98  
 9/16/98  
 1/25/99  
 9/2/98  
 12/29/98  
 8/31/98

Site Plan

1" = 120'

sheet 8  
 ISAACSON & ARFMAN, P.A.  
 Consulting Engineering Associates  
 128 Monroe Street, N.E.  
 Albuquerque, New Mexico



- General Notes
1. ALL INTERNAL STREET CURB RADI TO BE 25' MIN. PER DPM STANDARDS.
  2. DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
  3. LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
  4. ALL H.C. RAMPS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
  5. SHADED 6' WIDE, SPECIAL PAVED, PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PERMETER PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
  6. RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
  7. NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
  8. LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOEBOX FIXTURE.
  9. THERE SHALL BE 35' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
  10. PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
  11. SIGNAGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
  12. NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
  13. AN 8' HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
  14. NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THIS PLAN SHALL BE ALLOWED ONTO CHICO OR MORRIS STREETS.
  15. NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
  16. NO DRIVE THRU FACILITIES WILL BE ALLOWED ON LOTS 2A AND 2C SHALL HAVE LETTERS OF 3" HIGH, MAX.
  17. THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
  18. NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
  19. UP LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
  20. POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
  21. OFF-PREMISE BILLBOARD SIGNS WILL NOT BE ALLOWED. (CONDITION 4)
  22. CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 5)
  23. BIKE STORAGE WILL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET WITHIN EACH ESTABLISHMENT. (CONDITION 6)
  24. MAXIMUM LETTER SIZE ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: PAID LESS THAN 10,000 SF - 3" MAX; PAID GREATER THAN 10,000 SF - 4" MAX.
  25. MAJOR BUILDINGS 5' MAX. (CONDITION 7)
  26. BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 8)
  27. THE PARKING ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MINIMUM IS THE MAXIMUM PER THE DESIGNATED USE. (CONDITION 13)
  28. STREET TREES ALONG CHICO AND MORRIS SHALL BE SYCAMORES, 3 1/2" CALIPER, MIN. (CONDITION 14)
  29. ALL HVAC UNITS WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 16)
  30. ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PADS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE SITE WITH THE EXCEPTION OF LOT 3. (CONDITION 15)
  31. LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
  32. CONNECTION TO THE EXISTING BIKE TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

Legal Description  
 BEING A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWNE PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REPLAY OF TOWNE PARK PLAZA, ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40; ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning  
 TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept  
 THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

Land Utilization  
 LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDING THEY ARE PERMISSIVE OR CONDITIONAL USES UNDER THE ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A FAR OF 0.18.

Lot Summary

Lot No.	Acres	Uses	Building GSF	F.A.R.*	Max. Bldg. Ht.	Minimum Building Setbacks			
						North	South	East	West
1	15.23	OFFICE/MANUFACTURING	200,000	3.0	40'	75'	20'	20'	20'
2	0.87	RESTAURANT	6,000	1.6	26'	20'	20'	20'	20'
2A	2.47	RESTAURANT	12,000	1.1	26'	75'	20'	120'	20'
2B	1.37	RESTAURANT	6,000	1.0	26'	26'	20'	120'	20'
2C	1.67	RESTAURANT	6,000	0.8	26'	26'	20'	120'	20'
3	21.66	AMUSEMENT	96,000	1.0	72'	40'	120'	120'	20'
4	2.16	OFFICE	30,000	3.2	32'	20'	120'	20'	20'
5	4.82	HOTEL/RESTAURANT	68,000	3.2	84'	75'	20'	20'	20'
Totals	50.26		424,000	1.9					

\*F.A.R. = FLOOR AREA RATIO

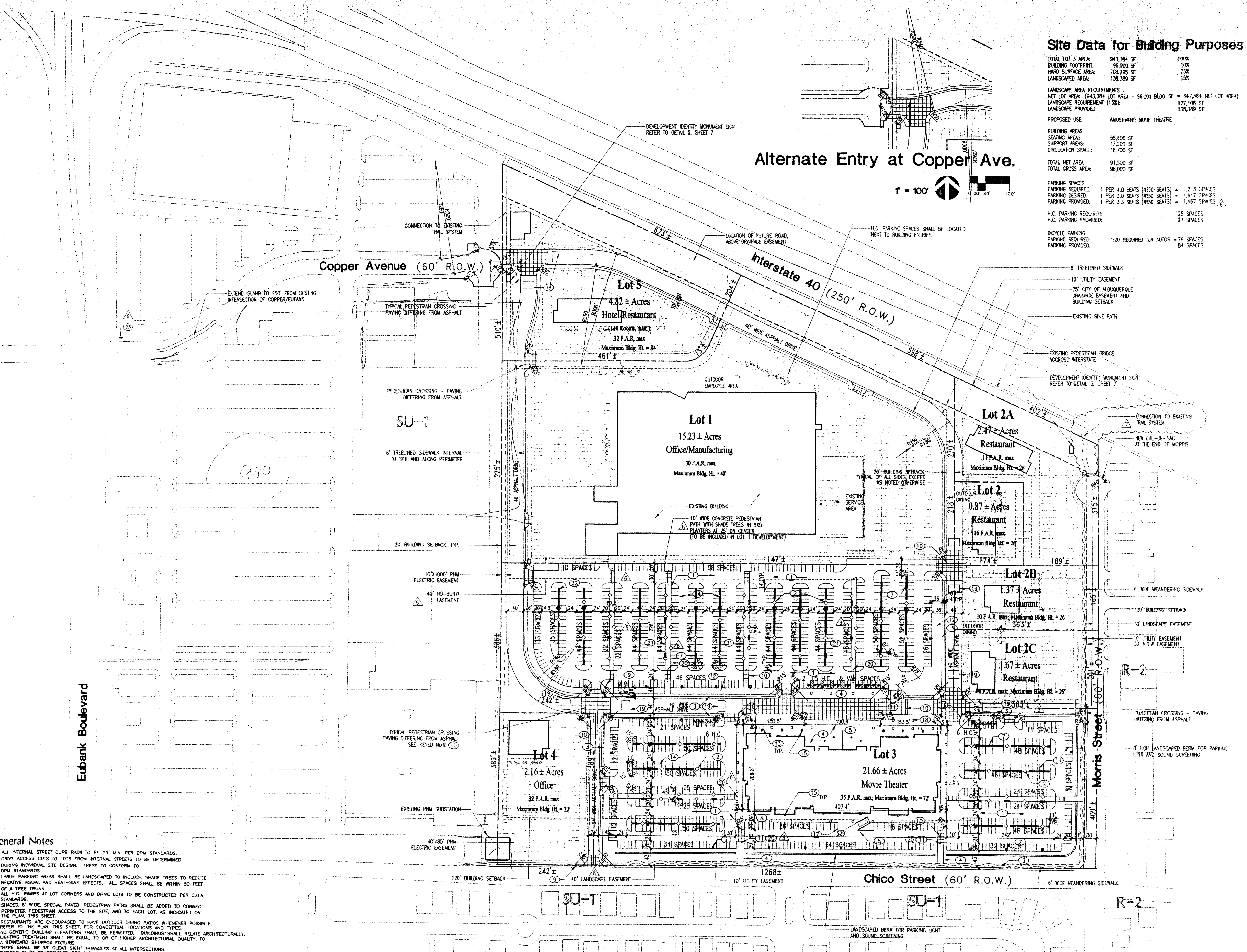
NOTE: BUILDING SQUARE FOOTAGES MAY BE HIGHER, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW.

Contents:

Sheet 1	Site Development Plan for Subdivision
Sheet 3	Landscaping Plan
Sheet 4	Conceptual Grading and Drainage Plan
Sheet 6	Master Utility Plan
Sheet 8	Design Guidelines

DRB Submittal for Case Z-98-114:  
 IP Master Plan/Site Plan for Subdivision





### Site Data for Building Purposes

TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
HARD SURFACE AREA:	708,000 SF	75%
LANDSCAPED AREA:	138,389 SF	15%

LANDSCAPE AREA REQUIREMENTS  
 NET LOT AREA (943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)  
 LANDSCAPE REQUIREMENT (15%): 127,108 SF  
 LANDSCAPE PROVIDED: 138,389 SF

PROPOSED USE: AMUSEMENT; MOVIE THEATRE

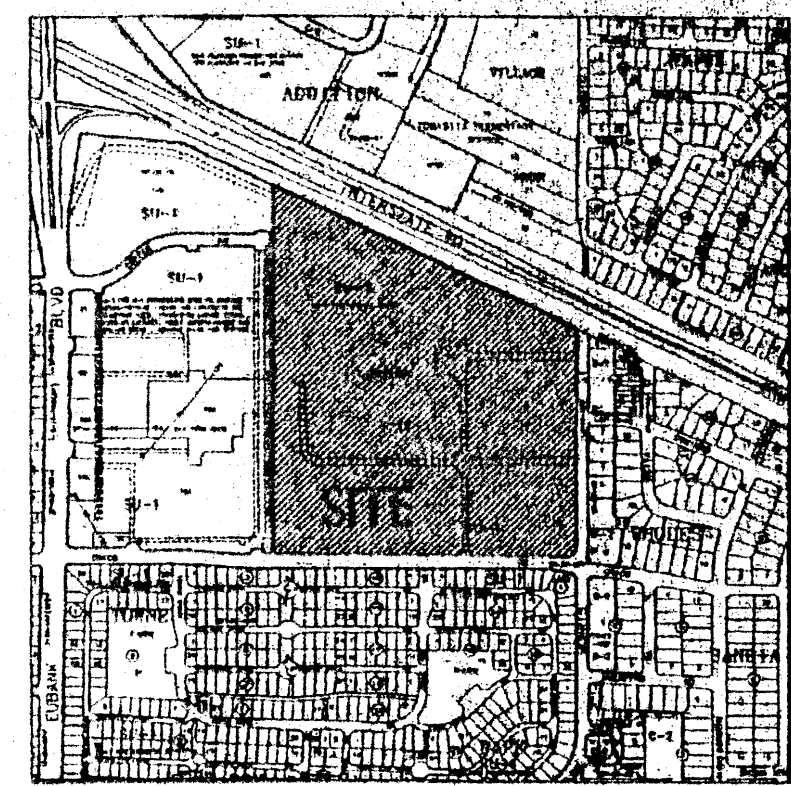
BUILDING AREAS:	55,600 SF
SEATING AREAS:	17,200 SF
SUPPORT AREAS:	18,700 SF
CIRCULATION SPACES:	18,700 SF

TOTAL NET AREA: 91,500 SF  
 TOTAL GROSS AREA: 96,000 SF

PARKING SPACES:	
PARKING REQUIRED:	1 PER 4.0 SEATS (450 SEATS) = 1,125 SPACES
PARKING DESIRED:	1 PER 3.0 SEATS (450 SEATS) = 1,500 SPACES
PARKING PROVIDED:	1 PER 3.3 SEATS (450 SEATS) = 1,467 SPACES

H.C. PARKING REQUIRED: 25 SPACES  
 H.C. PARKING PROVIDED: 27 SPACES

BICYCLE PARKING  
 PARKING REQUIRED: 1:20 REQUIRED FOR AUTOS = 75 SPACES  
 PARKING PROVIDED: 84 SPACES



Vicinity Map  
K-21-Z

### Keyed Notes for Building Purposes

1. ASPHALT PAVING.
2. 6" CURB TREE PLANTER, TYP.
3. 4" WIDE CONCRETE SIDEWALK.
4. CONCRETE PAVING.
5. ENTRY.
6. EXTERIOR REFUSE ENCLOSURE TO MATCH BUILDING COLOR. REFER TO ELEVATION 4, SHEET 7.
7. LIGHT FIXTURE, TYP. REFER TO ELEVATION 2, SHEET 7.
8. MET FENCE.
9. 35' CLEAR SIGHT TRIANGLE, TYP.
10. PEDESTRIAN CROSSING, SQUARE COLORED CONCRETE.
11. 1/2" ACCESSIBLE RAMP, TYP.
12. LANDSCAPE AREA.
13. BIKE RACK PARKING FOR 42 EACH SIDE. REFER TO ELEVATION 3, SHEET 7.
14. 3' X 10' TYPICAL STRIPED PARKING SPACE.
15. BUILDING MOUNTED LIGHTING. REFER TO LEGEND, THIS SHEET.
16. PEDESTRIAN SCALED LIGHTING. REFER TO LEGEND, THIS SHEET.
17. SEPAK/DELIVERY AREA.
18. TREE GRATE.
19. SPEED TABLES, TYP.
20. BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT INVEHICULAR ACCESS, TYP.
21. 12" WIDE TREE-TRIMMED PEDESTRIANWAY WITH PARKING AREA.
22. CONCRETE PARKING STOPS, TYPICAL.
23. WAY FINDING SIGNAGE VIA COPPER AVENUE.

### General Notes for Building Purposes

1. AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE APPROVED SO THAT THE LOCATION OF THE LIGHTING FIXTURE, TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PARKING SPACE OR ON ANY PARKING SIGN OR MARK.
2. AREA LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1,000 FOOT-CANDERELS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-CANDERELS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

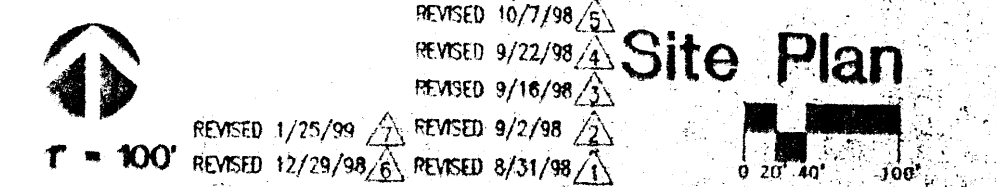
### Legend

- CHD 18" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE. REFER TO ELEVATION 2, SHEET 7.
- HO 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE. REFER TO ELEVATION 2, SHEET 7.
- PT BUILDING MOUNTED SITE LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HPS FIXTURE @ 18' ABOVE GRADE.
- PO 12" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FIXTURE. REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER: Z-98-114  
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998. ALL OF THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
DESIGN AND DEVELOPMENT, CIP	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION 7, MAPS	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	DATE
CITY PLANNER, ALBUQUERQUE - REFORMADO	DATE
COURTESY PLANNING DIVISION	DATE

Facility Re-utilization:  
**501 Morris**  
 Albuquerque, New Mexico  
 7/28/98



ISAACSON & ARFMAN, P.A.  
 Consulting Engineering Associates  
 128 Avenue Street, N.E.  
 Albuquerque, New Mexico

sheet  
**Dekker/Perich/Sabatini**  
 Architecture • Interior • Planning • E. J. G. J.  
 6201 Jefferson NE, Suite 100  
 Albuquerque, NM 87109  
 505 761-9406  
 505 761-4222

- ### General Notes
1. ALL INTERNAL STREET CURB RADI TO BE 25' MIN. PER DPM STANDARDS.
  2. DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
  3. LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
  4. ALL H.C. STAMPS AT LOT CORNERS AND DRIVE LOTS TO BE ALLOWED ONTO CHICO OR MORRIS STREETS.
  5. SHADED 6" WIDE, SPECIAL PAVED, PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PERMETER PEDESTRIAN ACCESS TO THE SITE AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
  6. RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE.
  7. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
  8. NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
  9. LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHEDBOX FIXTURE.
  10. THERE SHALL BE 35' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
  11. PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
  12. SIGNAGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
  13. NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
  14. AN 8" HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
  15. NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THIS PLAN SHALL BE ALLOWED ONTO CHICO OR MORRIS STREETS.
  16. NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
  17. ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 3B, AND 2C SHALL HAVE LETTERS OF 3" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4" HIGH, MAX. THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
  18. NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
  19. UP LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
  20. POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
  21. OFF-PREMISE BILLBOARD SIGNS WILL NOT BE ALLOWED. (CONDITION 4)
  22. CELLULAR ANTENNAS (IF ANY) SHALL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 3)
  23. BILLBOARDING SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL, AT 400 SQUARE FEET (OTHER CASE) ESTABLISHMENT. (CONDITION 8)
  24. BILLBOARDING SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL, AT 400 SQUARE FEET (OTHER CASE) ESTABLISHMENT. (CONDITION 8)
  25. MAXIMUM LETTER SIZE ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: SPACES LESS THAN 10,000 SF 3" MAX; SPACES GREATER THAN 10,000 SF 4" MAX. (CONDITION 7)
  26. BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 8)
  27. THE PARKING ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MINIMUM PER THE DESIGNATED USE. (CONDITION 13)
  28. STREET TREES ALONG CHICO AND MORRIS SHALL BE STYMOXES, 3 1/2" CALIPER, 1/4" (CONDITION 14)
  29. ALL HVAC UNITS WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 14)
  30. ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE THEATRE AND FUTURE HOTEL, AT 400 SQUARE FEET (OTHER CASE) ESTABLISHMENT. (CONDITION 8)
  31. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE THEATRE AND FUTURE HOTEL, AT 400 SQUARE FEET (OTHER CASE) ESTABLISHMENT. (CONDITION 8)
  32. LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
  33. CONNECTION TO THE EXISTING TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10" WIRE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHEAST CORNER BY THE WEST PROPERTY LINE.

### Legal Description

BEING A PLAN WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWN PARK PLAZA AND BY TRACTS B-1-A, B-2-A AND B-3-A, REPLAT OF TOWN PARK PLAZA, ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40, ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

### Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

### Subdivision Concept

THE PLAN FOR THE 501 MORRIS SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

### Land Utilization

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIBLE OR CONDITIONAL USES UNDER THE PARAGRAPHS OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A F.A.R. OF 0.19.

### Lot Summary

Lot No.	Acres	Uses	Building GSF	F.A.R.	Max. Bldg. Ht.	Min. Building Setbacks
						North South East West
1	15.23	OFFICE/MANUFACTURING	200,000	.30	40'	75' 20' 20' 20'
2	0.87	RESTAURANT	6,000	.16	26'	75' 20' 120' 20'
2A	2.47	RESTAURANT	12,000	.11	26'	20' 20' 20' 20'
2B	1.37	RESTAURANT	6,000	.10	26'	20' 20' 120' 20'
2C	1.67	RESTAURANT	6,000	.08	26'	20' 20' 120' 20'
3	21.66	AMUSEMENT	96,000	.10	72'	40' 120' 120' 20'
4	2.16	OFFICE	30,000	.32	32'	20' 120' 20' 20'
5	4.82	HOTEL/RESTAURANT	68,000	.32	84'	75' 20' 20' 20'
Totals	50.28		424,000	.19		

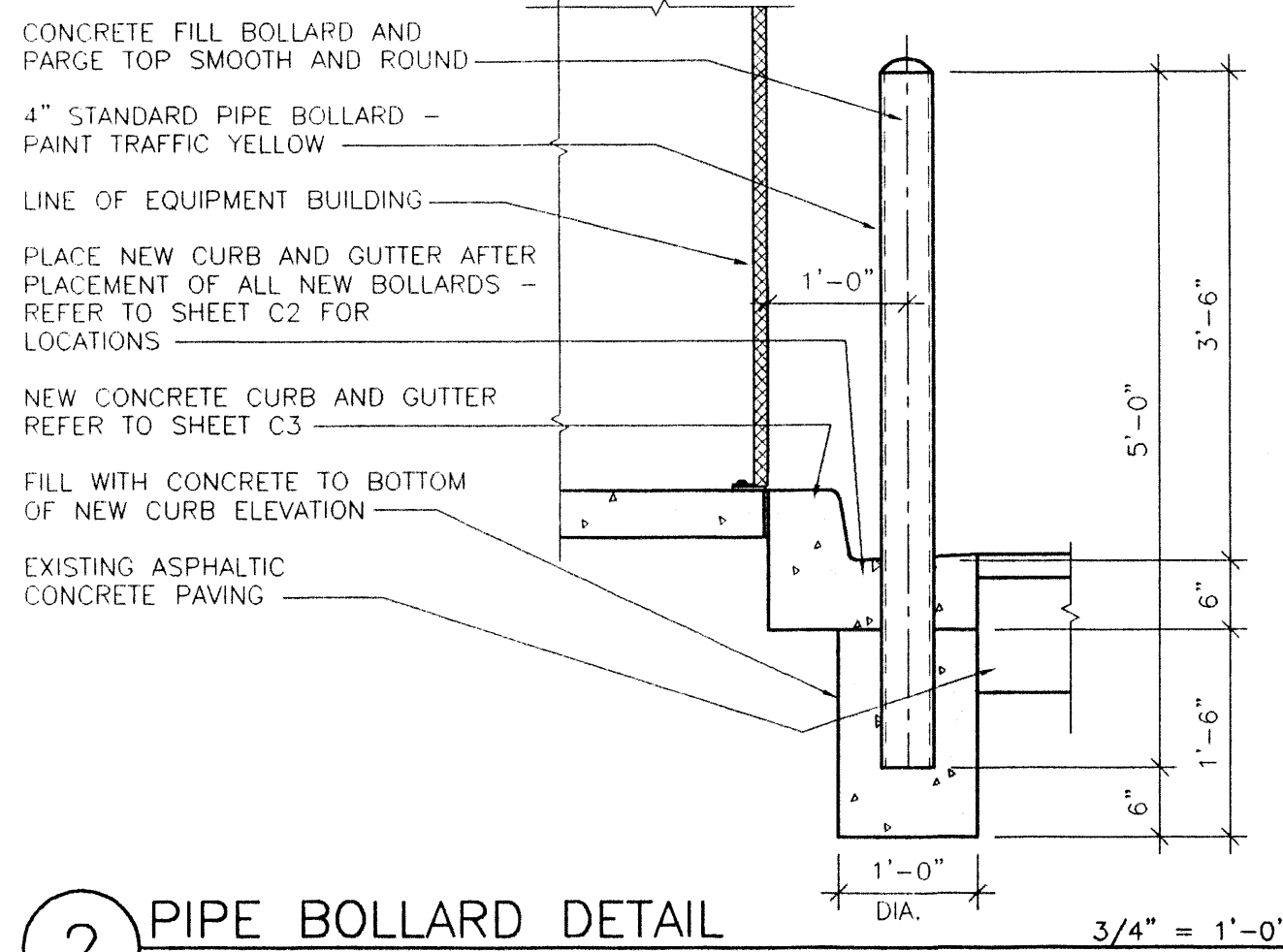
\*F.A.R. = FLOOR AREA RATIO  
 NOTE: BUILDING SQUARE FOOTAGES MAY BE MODIFIED BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW

### Contents:

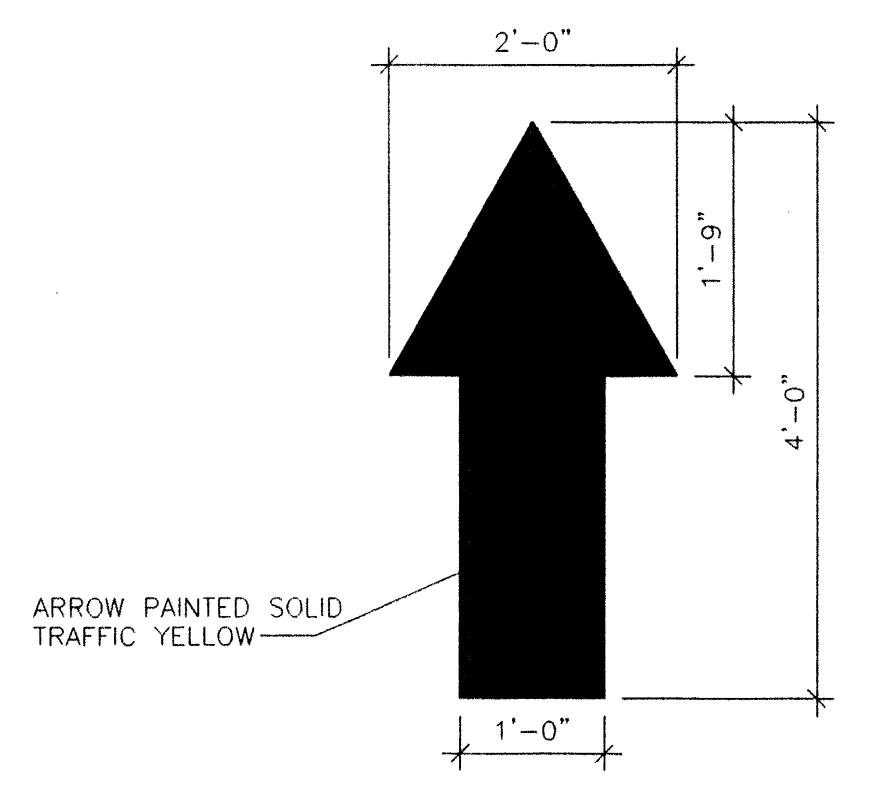
Sheet 1	Site Development Plan for Subdivision
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## DRB Submittal for Case Z-98-114: IP Master Plan/Site Plan for Subdivision

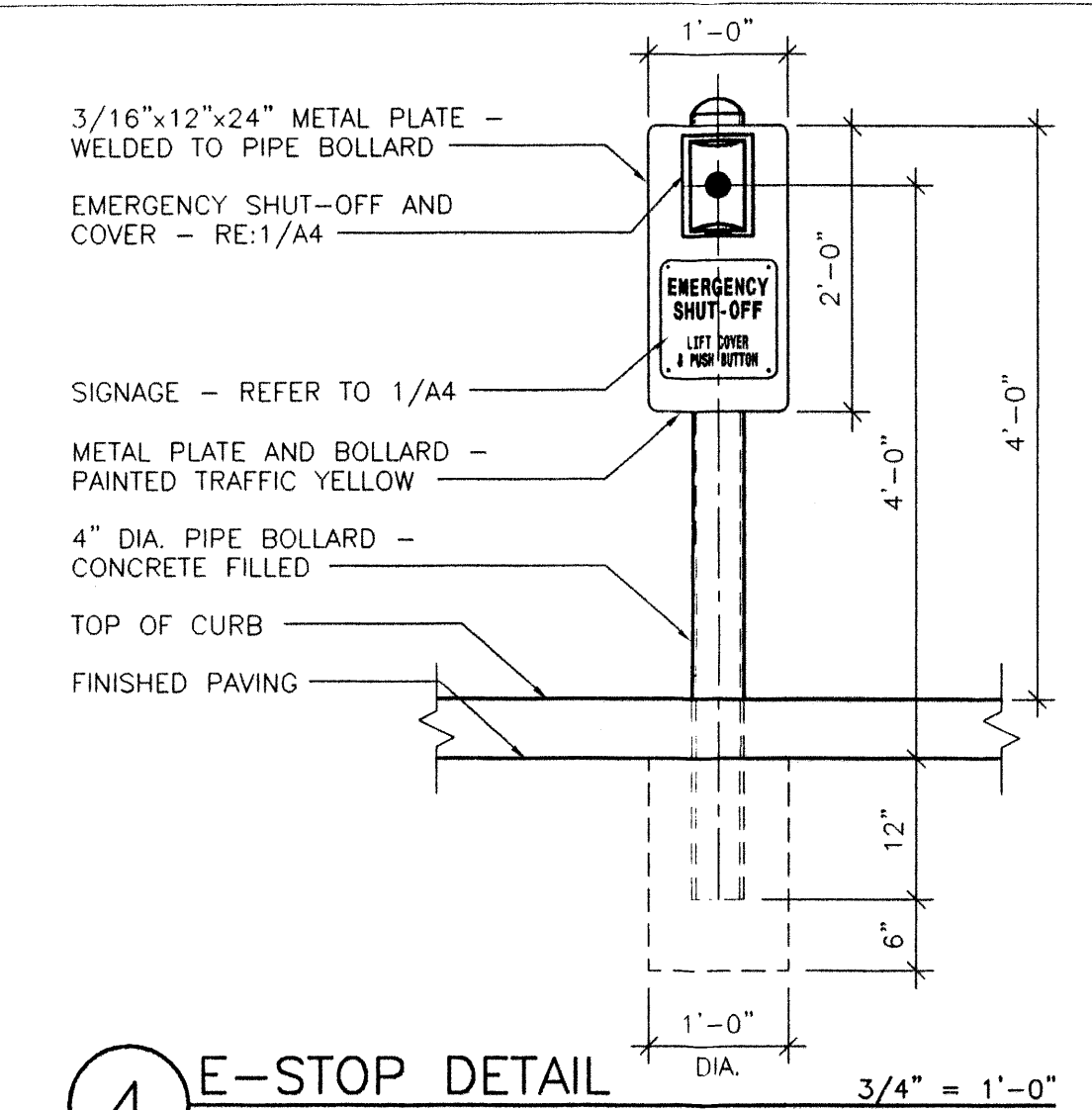




**2 PIPE BOLLARD DETAIL**  
BOLLARD - NEW 3/4" = 1'-0"



**3 TRAFFIC ARROW**  
TRAFFIC - ARROW 3/4" = 1'-0"



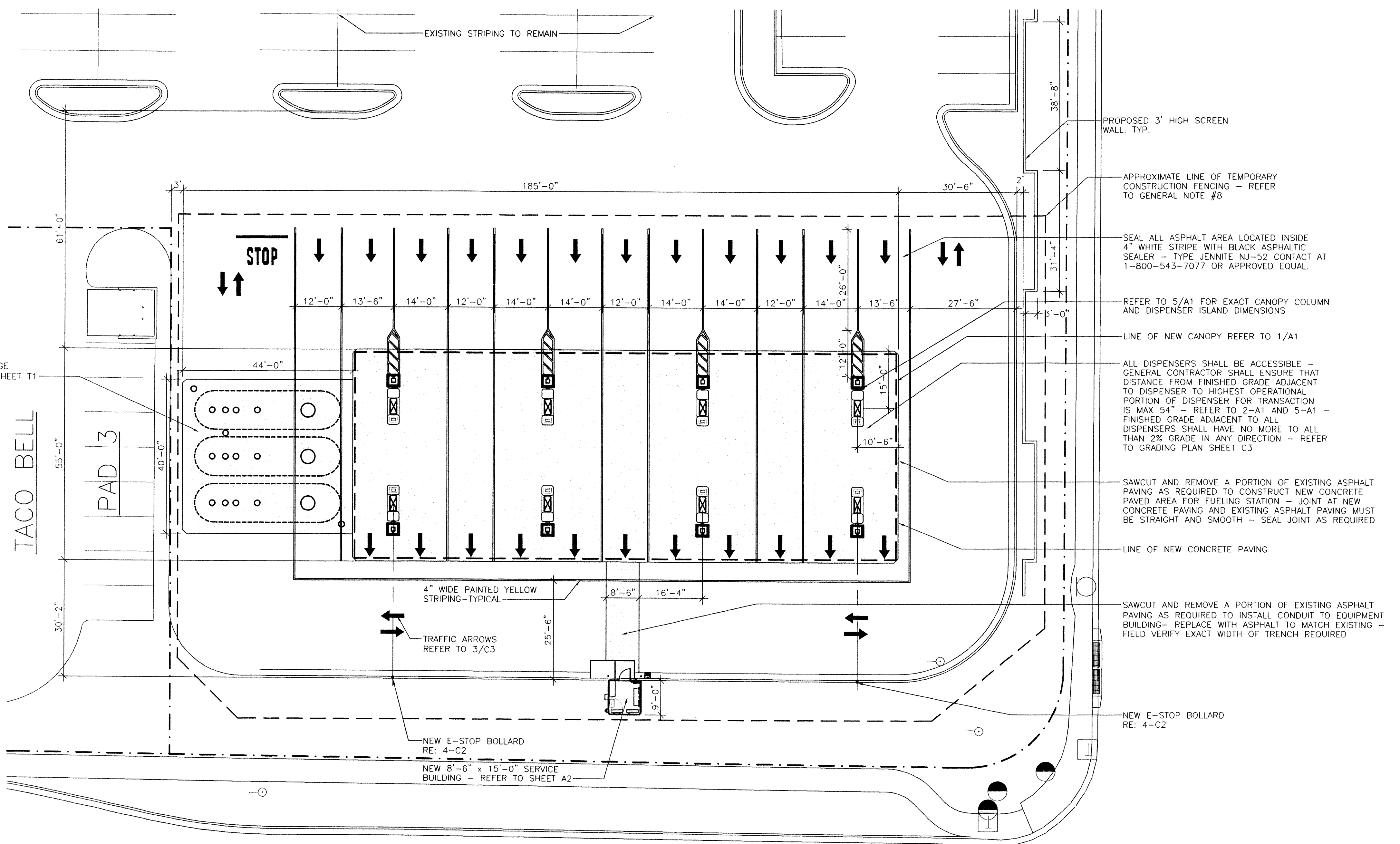
**4 E-STOP DETAIL**  
BOLLARD - E-STOP - NEW 3/4" = 1'-0"

NOTE:  
ALL LANDSCAPE REMOVED FOR FUELING STATION CONSTRUCTION SHALL BE REPLACED EQUALLY

**GENERAL NOTES**

1. ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND APPLICABLE CODES.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIALS OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
3. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS AND ALL SUBCONTRACTORS ARE TO INSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) ALL SUBCONTRACTORS, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
5. EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
6. SAWCUT AND REMOVE A PORTION OF EXISTING ASPHALT PAVING AS REQUIRED TO INSTALL NEW UTILITIES TO NEW FUELING STATION - REPLACE TO MATCH EXISTING FLUSH AND SMOOTH.
7. ALL CONTRACTORS SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION. COORDINATE RELOCATION OF ANY UTILITIES WITH SAM'S CONSTRUCTION MANAGER AND ARCHITECT.
8. PROVIDE TEMPORARY CONSTRUCTION FENCING AROUND ENTIRE AREA OF CONSTRUCTION. FIELD VERIFY EXACT LOCATION WITH SAM'S CONSTRUCTION MANAGER. COORDINATE FENCING SPECS WITH SAM'S CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION. REMOVE FENCING AT COMPLETION OF PROJECT AND COLD PATCH ASPHALT PAVING AS REQUIRED AT FENCE POST HOLES. ATTACH "COMING SOON" SIGN TO FENCE REFER TO 8-A4.
9. COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH SAM'S CONSTRUCTION MANAGER.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL POWER WASH ENTIRE FUELING STATION CONSTRUCTION AREA PRIOR TO TURNOVER TO SAM'S.
11. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES PRIOR TO THE START OF CONSTRUCTION ANY DISCREPANCIES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW.
12. THE PROPOSED CANOPY COLUMN FOOTINGS SHALL BE PROVIDED BY AND INSTALLED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING TOP OF FOOTING ELEVATIONS TO ACCOMMODATE ALL NEW UNDERGROUND PIPING AND DISPENSER SUMPS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE CANOPY COLUMN ANCHOR BOLTS ARE STRAIGHT, CLEAN AND CORRECTLY LOCATED PRIOR TO THE ARRIVAL OF THE CANOPY INSTALLATION CREW.
13. SALVAGE RIGHTS FOR DEMOLISHED LIGHT POLES SHALL BE OFFERED FIRST TO CLUB MANAGER THEN TO THE GENERAL CONTRACTOR. IF THE CLUB MANAGER REFUSES SALVAGE RIGHTS THEN IT BECOMES THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REMOVE ALL DEMOLISHED LIGHT POLES FROM THE SITE. IF THE PLANS INDICATE LIGHT POLES TO BE REMOVED AND POWER IS INTERRUPTED TO OTHER POLES IN THE PROCESS, THE OTHER POLES MUST BE REENERGIZED THE SAME DAY.
14. GENERAL CONTRACTOR SHALL HAVE ALL EXISTING PUBLIC AND PRIVATE UTILITIES LOCATED PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION. THIS INCLUDES ALL IRRIGATION PIPING AND LIGHT POLE CONDUITS.
15. THE GENERAL CONTRACTOR SHALL SEED AND STRAW ALL AREAS OF DISTURBED SOIL AND IS RESPONSIBLE FOR ESTABLISHING TURF. FIELD VERIFY THESE AREAS WITH SAM'S CONSTRUCTION MANAGER.
16. USE OF WOODEN BLOCKS ARE ACCEPTABLE TO LEVEL DISPENSER ISLAND; ALL WOOD MUST BE REMOVED PRIOR TO FINAL PLACEMENT OF CONCRETE.
17. AREAS OF EXISTING DAMAGED ASPHALT THAT IS REMOVED AND REPLACED SHALL BE SAW CUT THEN REMOVED AND REPLACED.
18. EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION TO BE PROTECTED FROM EXCAVATING EQUIPMENT STABILIZER, BUCKET AND TRACK DAMAGE.

- NOTES:
1. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (SHOE BOX) TO MINIMIZE FUGITIVE LIGHT. THE MAXIMUM HEIGHT OF LIGHT STANDARDS WITHIN 100 FEET OF RESIDENCES SHALL BE 16 FEET.
  2. THE FUELING CANOPY CEILING SHALL BE OF A NON-REFLECTIVE SURFACE. UNDER CANOPY LIGHT FIXTURE LENSES MUST NOT PROJECT BELOW THE CANOPY SURFACE. THE FASCIA SHOULD PROJECT A MINIMUM OF 6" BELOW CANOPY CEILING. THE LIGHTING MUST COMPLY WITH ZONE CODE 14-16-3-9 REGARDING AREA LIGHTING REGULATIONS, SPECIFICALLY CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT SHINE DIRECTLY ON ANY PUBLIC RIGHT-OF-WAY OR RESIDENTIAL PREMISES AND SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE. THE MAXIMUM HEIGHT OF THE TOP OF THE CANOPY SHALL BE 22 FEET AND THE MAXIMUM HEIGHT OF THE BOTTOM OF THE CANOPY SHALL BE 18 FEET.
  3. SHALL BE A MINIMUM OF 6 CART CORRALES ON SITE. (THERE IS A TOTAL OF 10 CART CORRALES EXISTING ON THE SITE. SEE SITE PLAN FOR SUBDIVISION). SEE SHEET 3
  4. SEE SHEET 4 FOR THE OVERALL LANDSCAPING PLAN.
  5. SEE SHEET 3 FOR THE ADDED 15 FOOT SIDEWALK WITH LANDSCAPING PLANTERS ALONG THE FRONT FACADE OF THE EXISTING SAM'S CLUB BUILDING.
  6. SEE SHEET 3 FOR THE REQUIRED MINIMUM OF 6 CART CORRALES WITHIN THE SAM'S CLUB PARKING AREA.
  7. SEE SHEET 3 FOR THE EAST/WEST PEDESTRIAN WAY ALONG THE SOUTH SIDE OF THE MAIN ENTRY DRIVE.



**CASE NUMBER: DRB 98-**

This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on January 19, 1998, and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN	
<i>Michael J. Davis</i> Traffic Engineer, Transportation Division	7-19-00 Date
<i>Adrienne E. Carollana</i> Design and Development, OIP Parks & Recreation	7-19-00 Date
<i>Roger A. Kwan</i> Public Works, Water Utilities Division	7-19-00 Date
City Engineer, Engineering Division / AMAFCA	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo County Planning Division	Date
Solid Waste	Date
PLNZ (10706) 4/96	

**HARRISON FRENCH ARCHITECTURE**  
502 S.W. A Street  
Bentonville, Arkansas 72712  
Telephone 501/273-7780

**SAM'S WHOLESALE CLUB**  
SAM'S CLUB FUELING STATION

CLUB # 6672  
ALBUQUERQUE, NEW MEXICO

SAM'S CLUB  
608 S.W. 8TH STREET  
BENTONVILLE, AR 72712

Sheet Contents:  
SITE PLAN - DIMENSIONS

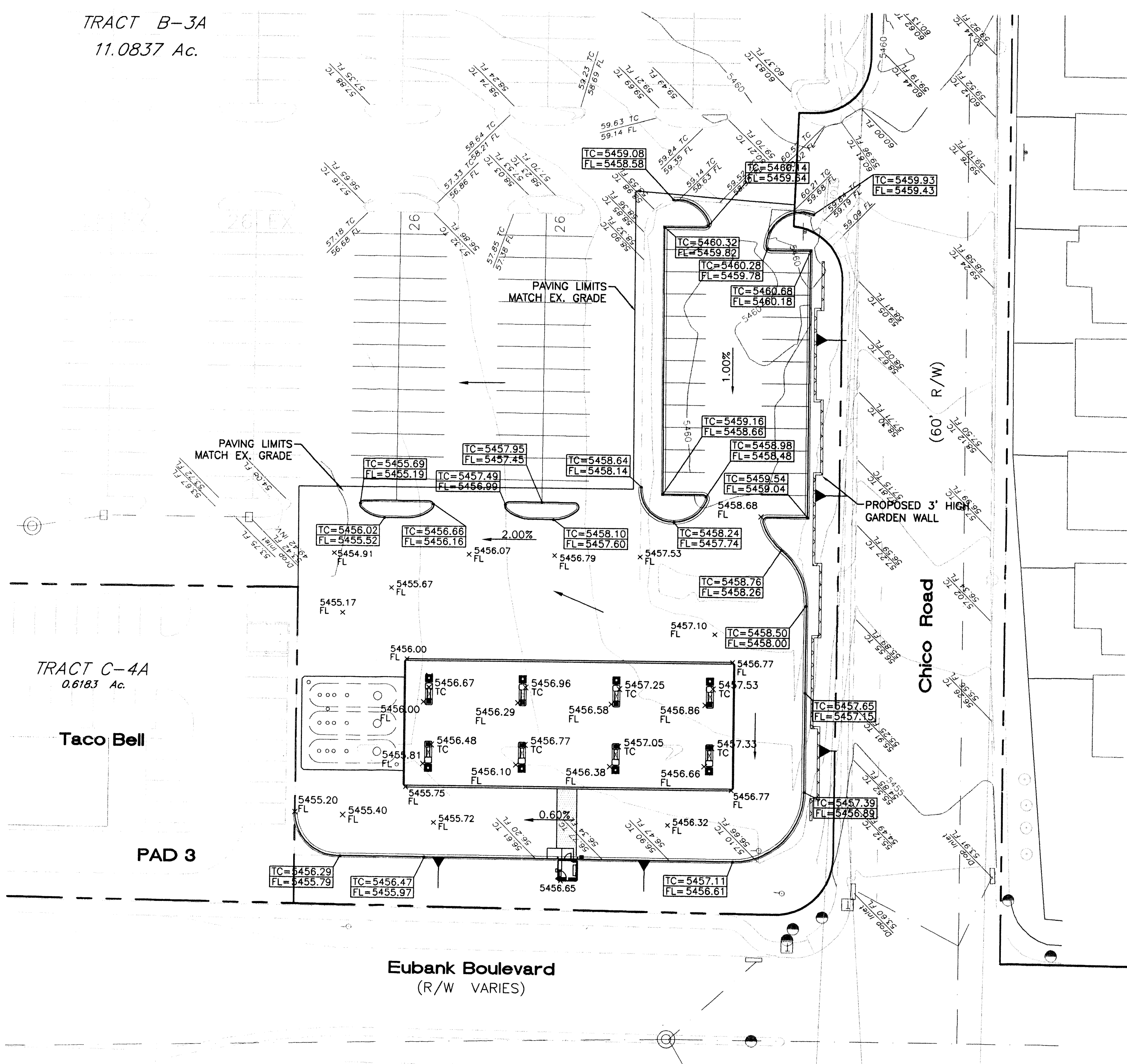
Drawn By: KLF  
Checked By: TWP  
Revisions:

Project Number: WF0086  
Date: 07-03-00  
Sheet: 2 OF 4 SHEETS

**1 SITE PLAN - DIMENSIONS**  
1/16" = 1'-0"

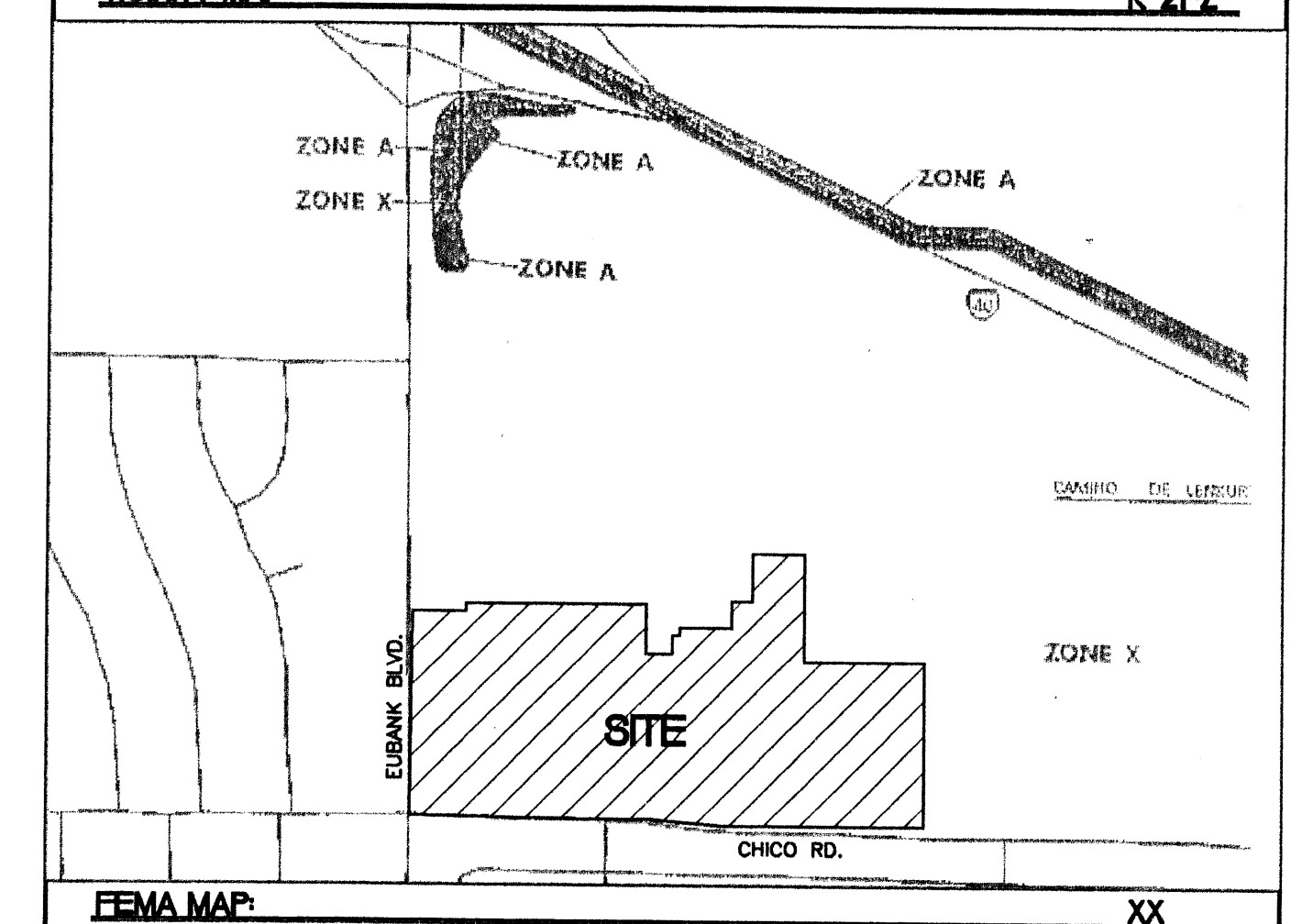
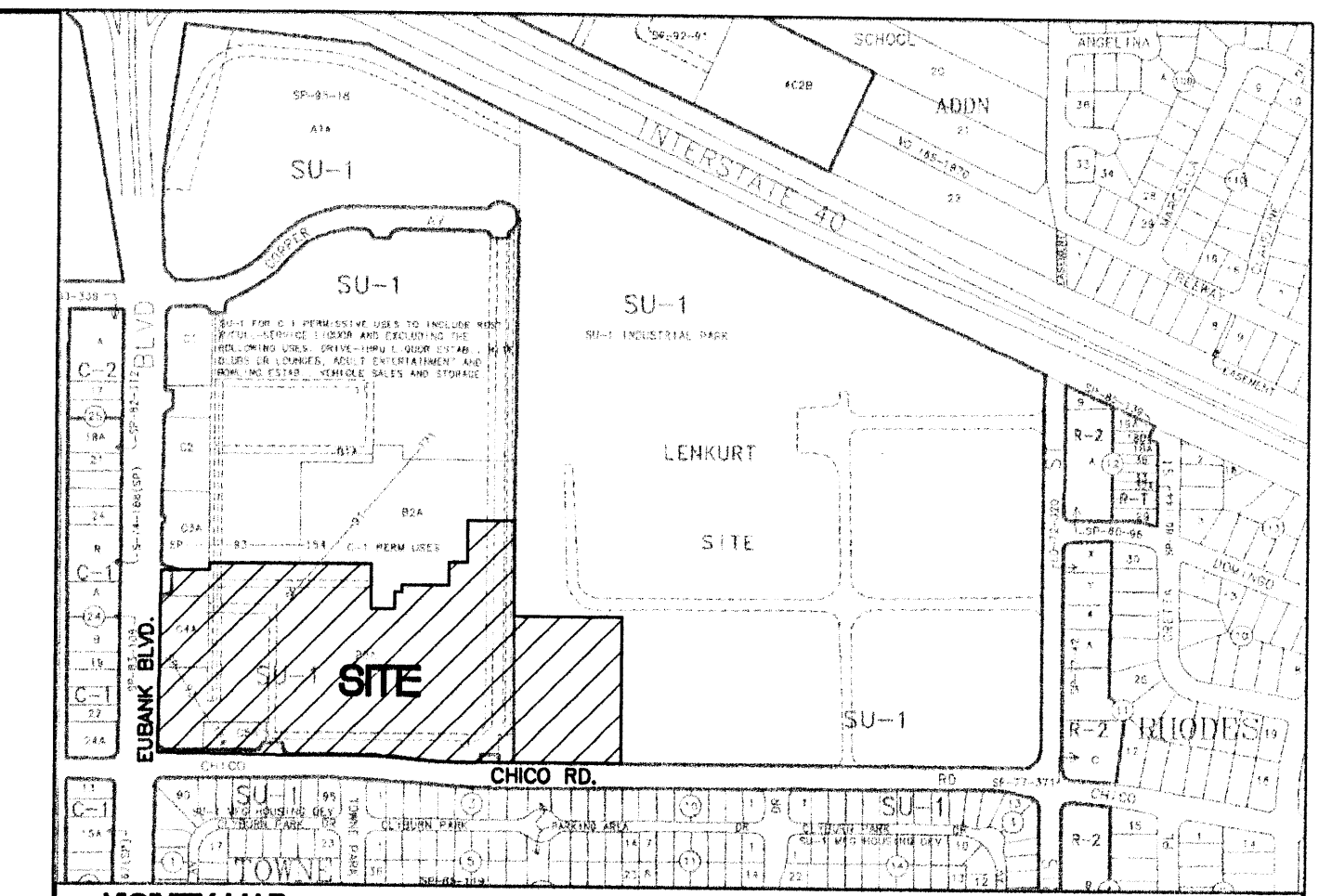


TRACT B-3A  
11.0837 Ac.



**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

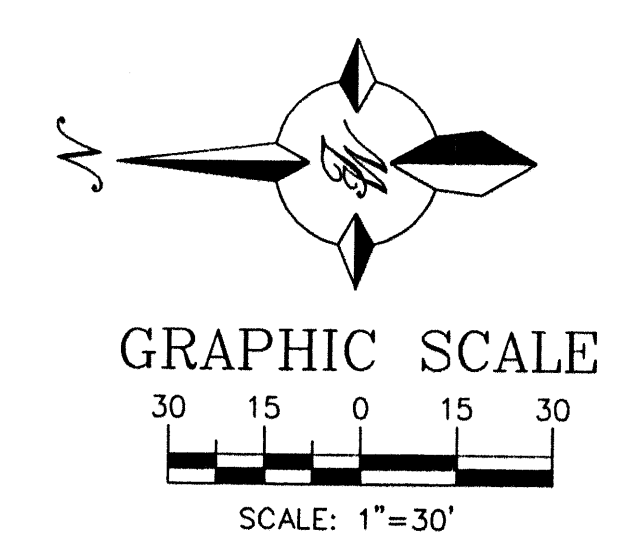


**LEGAL DESCRIPTION:**  
TRACT B-3A LENKURT SITE

**NOTES:**  
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE UNLESS OTHERWISE NOTED.

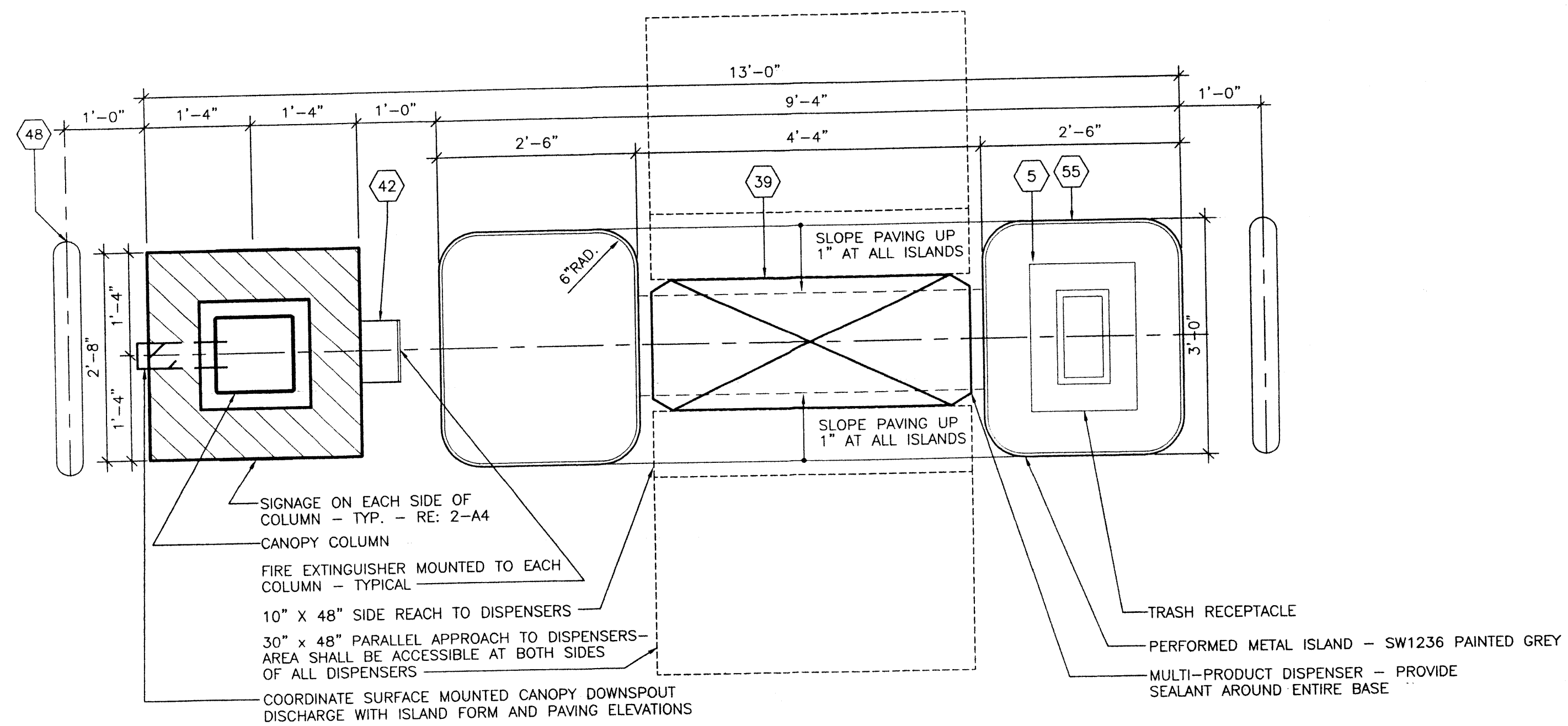
**LEGEND**

- EXISTING CURB & GUTTER
- 50/5 — EXISTING CONTOUR (MAJOR)
- 50/4 — EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- ▨ PROPOSED SIDEWALK

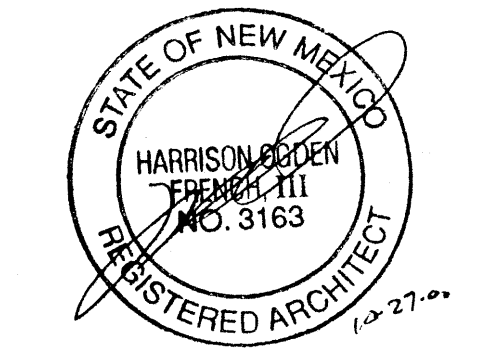


	<b>ENGINEER'S SEAL</b> ALBUQUERQUE SAM'S, NM: 4703 GAS STATION	DRAWN BY: BDG DATE: 5-23-00 9929GAS-GR.DWG
	<b>GRADING AND DRAINAGE PLAN</b>	SHEET # <b>11</b>
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 990029
RONALD R. BOHANNAN P.E. #7868		





- GENERAL NOTES**
- CANOPY MANUFACTURER SHALL COORDINATE ALL SIGNAGE REQUIREMENTS FOR CANOPY AND SPANDRELS WITH SAM'S CONSTRUCTION MANAGER AND WAL-MART SIGNAGE SHOP.
  - ALL TOPS AND FOOTING ELEVATIONS SHALL BE COORDINATED WITH GENERAL CONTRACTOR TO ACCOMMODATE UNDERGROUND PIPING AND DISPENSER SUMPS.
  - CANOPY MANUFACTURER SHALL PROVIDE TO GENERAL CONTRACTOR, CONSTRUCTION MANAGER AND ARCHITECT SHOP DRAWINGS FOR CANOPY AND FOOTINGS PRIOR TO START OF CONSTRUCTION - NO CONSTRUCTION CAN START ON CANOPY UNTIL SHOP DRAWINGS HAVE BEEN RECEIVED AND APPROVED BY CONSTRUCTION MANAGER AND ARCHITECT.
  - CANOPY MANUFACTURER SHALL COORDINATE ALL CANOPY COLORS WITH SAM'S CONSTRUCTION MANAGER AND ARCHITECT.
  - COORDINATE CONSTRUCTION PHASING WITH SAM'S CONSTRUCTION MANAGER
  - ANCHOR BOLTS, ANCHOR BOLT TEMPLATE AND THE FOOTING DESIGN SHALL BE PROVIDED BY CANOPY MANUF. TO THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL INSTALL FOOTINGS AS PER THE CANOPY SHOP DRAWING DESIGN.
  - THE GENERAL CONTRACTOR SHALL GROUT ALL CANOPY COLUMNS AT BASE PLATE.
  - CANOPY SIGNAGE SUMMARY:**  
NORTH AND SOUTH ELEVATIONS:  
CANOPY FASCIA = 510 SQ. FT. EA. ELEV.  
PROPOSED TOTAL SIGNAGE = 27.5 SQ. FT. EA. ELEV.  
EAST AND WEST ELEVATIONS:  
CANOPY FASCIA = 86 SQ. FT. EA. ELEV.
  - THE ENTIRE CANOPY INCLUDING ITEMS LISTED IN NOTE 6 SHALL BE SUPPLIED BY AND INSTALLED BY CANOPY MANUFACTURER - THE FOOTINGS FOR THE CANOPY SHALL BE BY THE GENERAL CONTRACTOR.
  - ALL CONCRETE RESIDUE, DUST, DIRT AND PROTECTIVE PLASTIC WRAP TO BE REMOVED FROM DISPENSERS, ISLAND FORMS, CANOPY COLUMNS, WASTE RECEPTACLES, ETC.



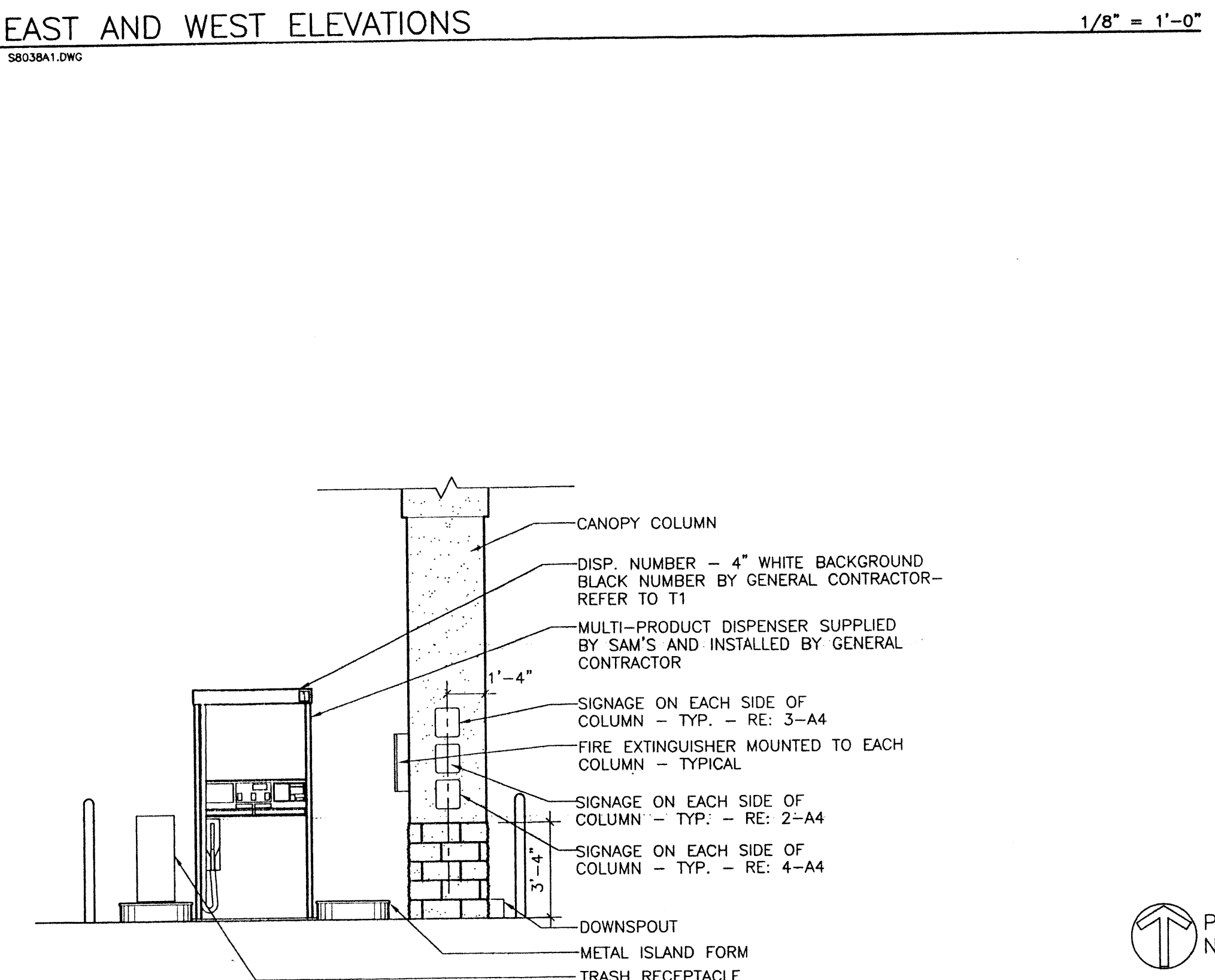
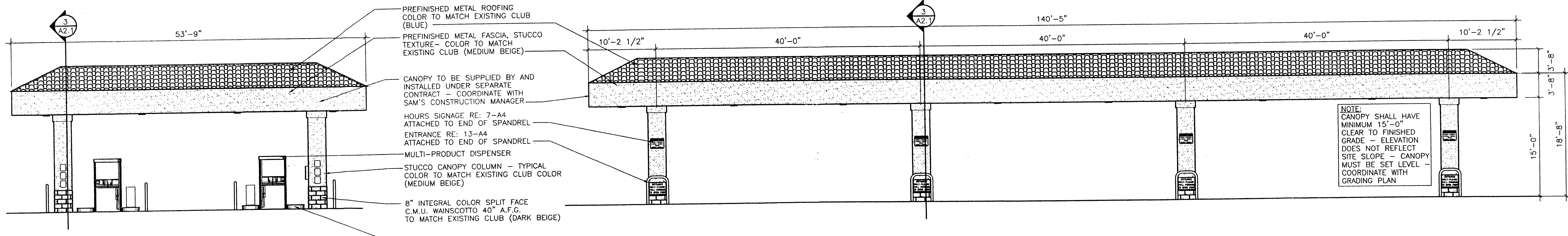
**HARRISON FRENCH**  
**ARCHITECTURE**  
502 S.W. A Street  
Bentonville, Arkansas 72712  
Telephone 501/273-7780

NOTE:  
USE OF WOODEN BLOCKS ARE ACCEPTABLE TO LEVEL DISPENSER ISLAND; ALL WOOD MUST BE REMOVED PRIOR TO FINAL PLACEMENT OF CONCRETE.

NOTE:  
THE GENERAL CONTRACTOR SHALL PREP AND PAINT ALL CANOPY COLUMNS AND ISLAND FORMS - THE CANOPY MANUFACTURER SHALL FINISH ALL OTHER ITEMS.

NOTE:  
SIGNAGE CONTRACTOR SHALL COORDINATE EXACT LOCATIONS OF ILLUMINATED FASCIA SIGNAGE WITH SAM'S CONSTRUCTION MANAGER PRIOR TO PLACEMENT OF SIGNS.

NOTE:  
ALL SIGNAGE ON THIS SHEET SHALL BE SUPPLIED BY AND INSTALLED BY WAL-MART SIGNAGE CONTRACTOR - ALL PERMITS REQUIRED FOR SIGNAGE SHALL BE SECURED BY WAL-MART SIGNAGE CONTRACTOR.



**SAM'S WHOLESALE CLUB**  
SAM'S CLUB FUELING STATION

CLUB # **6672**  
ALBUQUERQUE  
NEW MEXICO

SAM'S CLUB  
608 S.W. 8TH STREET  
BENTONVILLE, AR 72712

Sheet Contents:  
CANOPY PLAN AND ELEVATIONS

Drawn By: MEG, JM  
Checked By: TWP  
Revisions:

Project Number: WFO086  
Date: 09-29-00  
Sheet: 1 OF 5 SHEETS

A1

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**Site Data for Building Purposes**

TOTAL LOT 3 AREA: 943,384 SF  
 BUILDING FOOTPRINT: 96,000 SF  
 HARD SURFACE AREA: 708,995 SF  
 LANDSCAPED AREA: 138,389 SF

LANDSCAPE AREA REQUIREMENTS  
 NET LOT AREA: 943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA  
 LANDSCAPE REQUIREMENT (15%): 127,108 SF  
 LANDSCAPE PROVIDED: 138,389 SF

PROPOSED USE: AMUSEMENT, MOVIE THEATRE

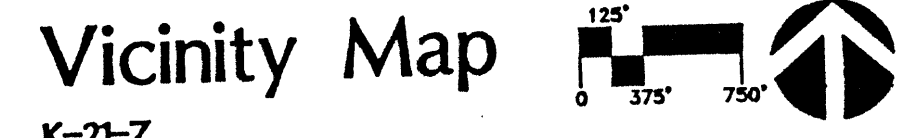
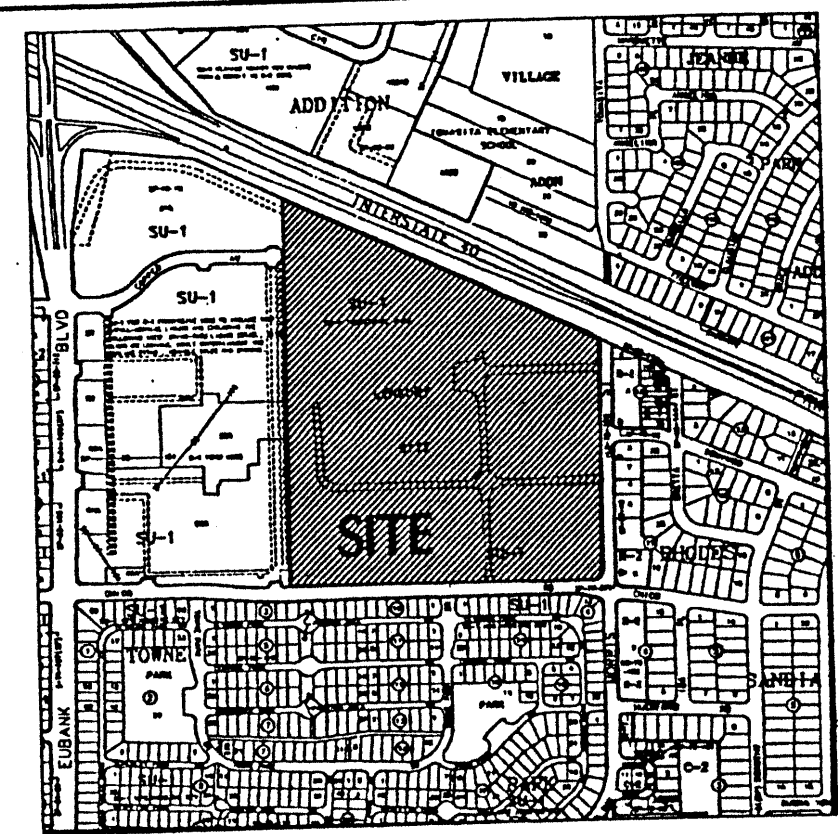
BUILDING AREAS  
 SEATING AREAS: 55,600 SF  
 SUPPORT AREAS: 17,200 SF  
 CIRCULATION SPACE: 18,700 SF

TOTAL NET AREA: 91,500 SF  
 TOTAL GROSS AREA: 96,000 SF

PARKING SPACES  
 PARKING REQUIRED: 1 PER 4.0 SEATS (4550 SEATS) = 1213 SPACES  
 PARKING PROVIDED: 1 PER 3.0 SEATS (4550 SEATS) = 1487 SPACES  
 PARKING PROVIDED: 1 PER 3.3 SEATS (4550 SEATS) = 1441 SPACES

H.C. PARKING REQUIRED: 25 SPACES  
 H.C. PARKING PROVIDED: 27 SPACES

BICYCLE PARKING  
 PARKING REQUIRED: 1:20 REQUIRED FOR AUTOS = 75 SPACES  
 PARKING PROVIDED: 84 SPACES



**General Notes for Building Purposes**

1. ASPHALT PAVING.
2. 6" CURB TREE PLANTER, TYP.
3. 6" WIDE CONCRETE SIDEWALK.
4. CONCRETE PAVING.
5. ENTRY.
6. EXTERIOR REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7.
7. LIGHT POLE, TYP, REFER TO ELEVATION 2, SHEET 7.
8. NOT USED.
9. 30' CLEAR SIGHT TRIANGLE, TYP.
10. PEDESTRIAN CROSSING, SMOOTH COLORED CONCRETE.
11. H.C. ACCESSIBLE RAMP, TYP.
12. LANDSCAPE AREA.
13. BIKE RACK PARKING FOR 42 EACH SIDE, REFER TO ELEVATION 3, SHEET 7.
14. 9"x20" TYPICAL STRIPED PARKING SPACE.
15. BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
16. PEDESTRIAN SCALE LIGHTING, REFER TO LEGEND, THIS SHEET.
17. SERVICE DELIVERY AREA.
18. TREE GRATES.
19. SPEED TABLES, TYP.
20. BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
21. 12" WIDE TREETEED PEDESTRIAN WITH PARKING AREA.
22. CONCRETE PARKING STOPS, TYPICAL.
23. MAY FINISH SIGNAGE VIA COPPER AVENUE.

**General Notes for Building Purposes**

1. AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
2. AREA LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINAIRE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINAIRE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

**Legend**

- 1" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- BUILDING MOUNTED SITE LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HSP FIXTURE @ 18" ABOVE GRADE.
- 12" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7.

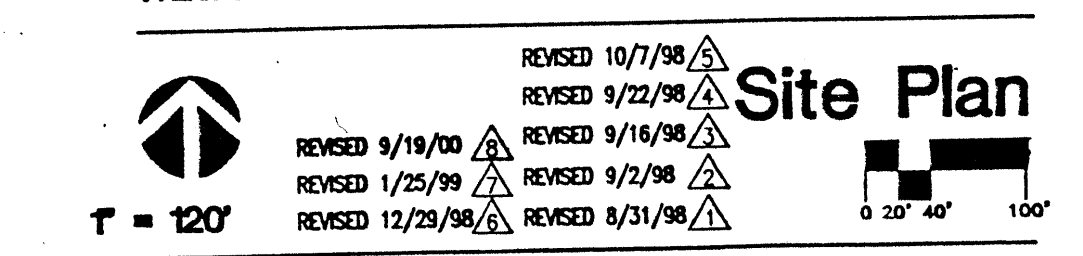
**CASE NUMBER:**

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS AND RECREATION	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE DEVELOPER'S PROCESS MANUAL	DATE
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLN2 (10700) 4/98	

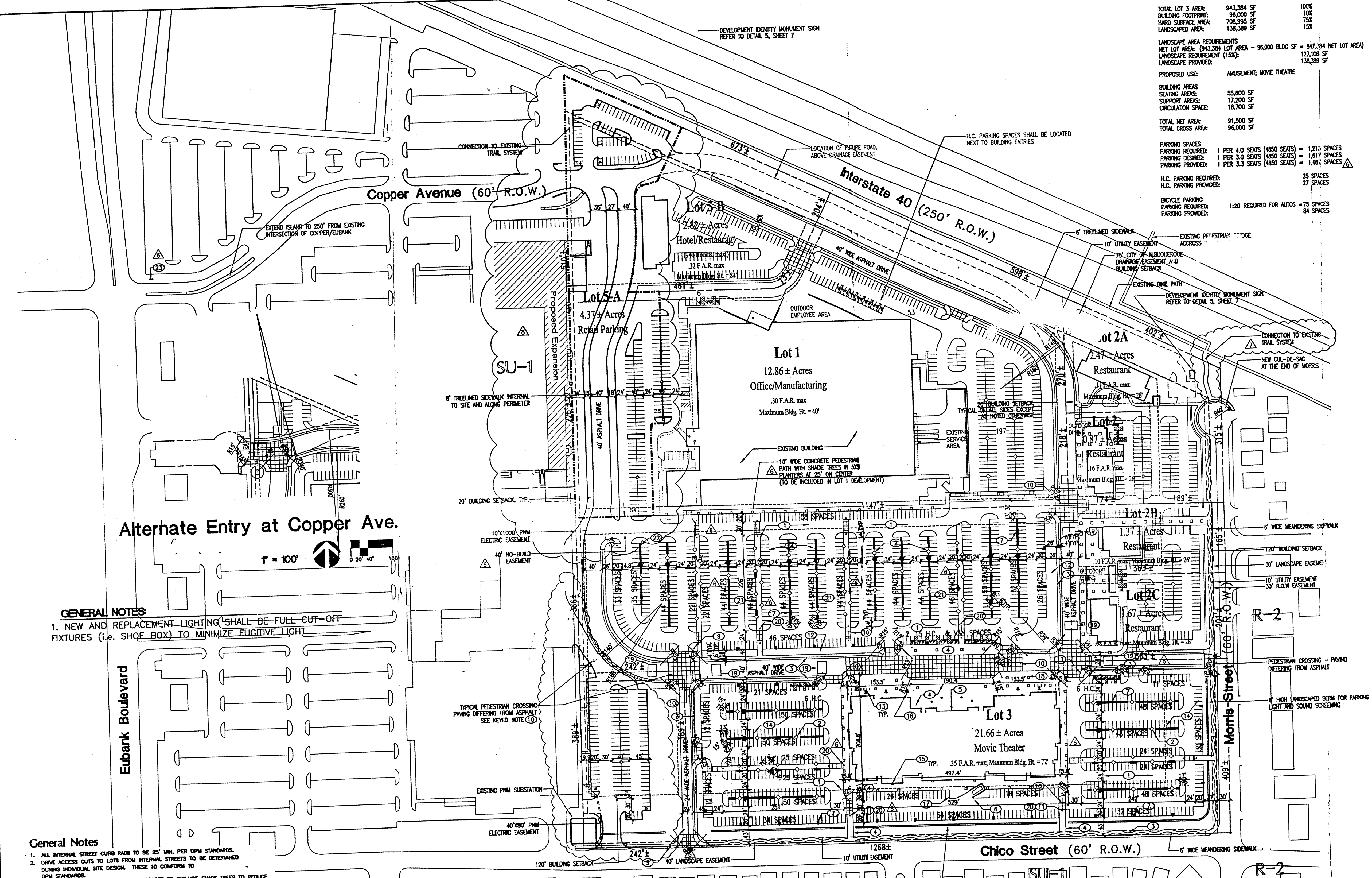
**Facility Re-utilization:**

**501 MORRIS**  
 Albuquerque, New Mexico



ENGINEER'S SEAL	501 MORRIS	DRAWN BY JON
RONALD R. BOHANNAN	ADMINISTRATIVE AMENDMENT	DATE 09-19-00
		AMENDSP1.DWG
		SHEET # 13
	TERRA WEST, LLC	JOB # 990029W
	8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	

FOR REFERENCE ONLY



**GENERAL NOTES**

1. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.

**General Notes**

1. ALL INTERNAL STREET CURBS SHALL BE 25" MIN. PER DPM STANDARDS.
2. DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
3. LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
4. ALL H.C. RAMP AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
5. SHADDED WIDE, SPECIAL PAVED, PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
6. RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE.
7. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
8. NO GENERAL BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
9. LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOWBOX FIXTURE.
10. THERE SHALL BE 30' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
11. PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
12. SIGNAGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
13. NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
14. AN 8' HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
15. NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THIS PLAN SHALL BE ALLOWED ON CHICO OR MORRIS STREETS.
16. NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
17. ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5A, AND 2C SHALL HAVE LETTERS OF 3" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
18. NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
19. LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
20. LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 3)
21. POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. (CONDITION 4)
22. CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 9)
23. SIGNAGE SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL, AT 400 SQUARE FEET (WITHIN EACH ESTABLISHMENT, CONDITION 9)
24. SIGNAGE SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL, AT 400 SQUARE FEET (WITHIN EACH ESTABLISHMENT, CONDITION 9)
25. CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 9)
26. SIGNAGE SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL, AT 400 SQUARE FEET (WITHIN EACH ESTABLISHMENT, CONDITION 9)
27. THE PARKING ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MAXIMUM PER THE DESIGNATED USE. (CONDITION 13)
28. STREET TREES ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MAXIMUM PER THE DESIGNATED USE. (CONDITION 14)
29. ALL H.C. LINES WILL BE SCHEDULED WITH THE ENCLOSURE AT AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 15)
30. ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PARKS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE AND DESIGN FEATURES. (CONDITION 16)
31. LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
32. CONNECTION TO THE EXISTING BIKE TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

**Legal Description**

BEING A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUND ON THE WEST BY TRACT A-1-A, TOWNE PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REPLAT OF TOWNE PARK PLAZA ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40; ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

**Existing Zoning**

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

**Subdivision Concept**

THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

**Land Utilization**

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE OR CONDITIONAL USES UNDER THE ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A FAR OF 0.19.

**Lot Summary**

Lot No.	Acres	Use	Building SF	F.A.R.	Bldg. Ht.	Max. Ht.	Minimum Building Setbacks
							North South East West
1	12.86	OFFICE/MANUFACTURING	200,000	.36	40'	40'	75' 20' 20' 20'
2	0.87	RESTAURANT	6,000	.16	26'	26'	20' 20' 20' 20'
2A	2.47	RESTAURANT	12,000	.11	26'	26'	75' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	.10	26'	26'	20' 20' 120' 20'
2C	1.67	RESTAURANT	6,000	.08	26'	26'	20' 20' 120' 20'
3	21.66	AMUSEMENT	36,000	.32	32'	32'	20' 100' 20' 20'
4	4.37	RETAIL PARKING	NONE	N/A	N/A	N/A	75' 20' 20' 20'
5A	2.82	HOTEL/RESTAURANT	39,000	.32	84'	84'	75' 20' 20' 20'
TOTAL	48.09		365,000	.17			

ISAACSON & ARPMAN, P.A.  
 Consulting Engineering Associates  
 Albuquerque, New Mexico

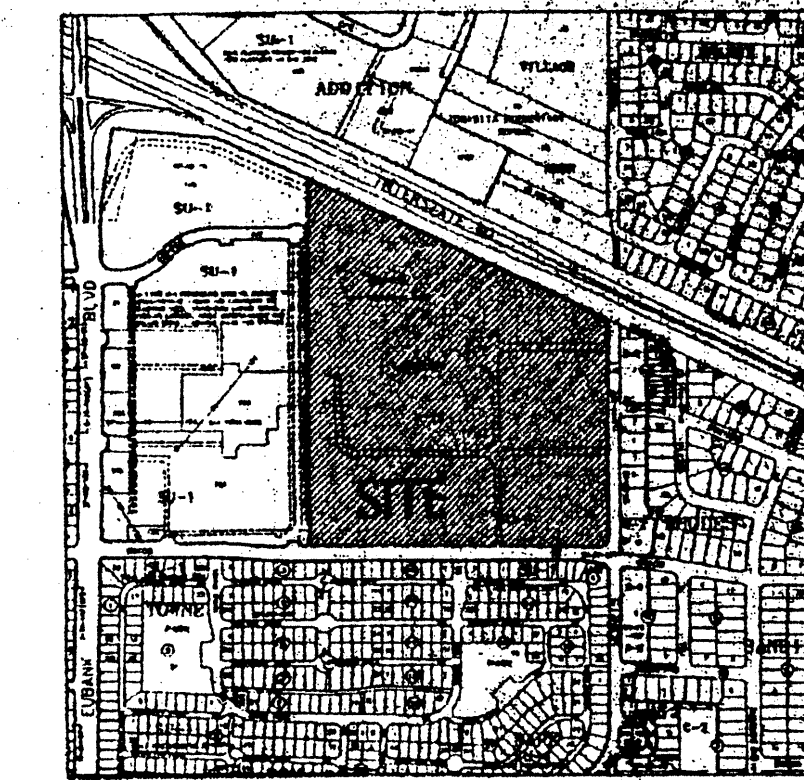
**DRB Submittal for Case Z-98-114: IP Master Plan/Site Plan for Subdivision**

Copy for Applicant



**Site Data for Building Purposes**

TOTAL LOT AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	98,000 SF	10%
HARD SURFACE AREA:	708,990 SF	75%
LANDSCAPED AREA:	138,389 SF	15%
<b>LANDSCAPE AREA REQUIREMENTS</b>		
NET LOT AREA (943,384 LOT AREA - 98,000 BLDG SF = 845,384 NET LOT AREA)		
LANDSCAPE REQUIREMENT (15%):	127,108 SF	
LANDSCAPE PROVIDED:	138,389 SF	
<b>PROPOSED USE:</b> AMUSEMENT, MOVIE THEATRE		
<b>BUILDING AREAS:</b> 55,600 SF		
<b>SEATING AREAS:</b> 17,200 SF		
<b>SUPPORT AREAS:</b> 16,700 SF		
<b>CIRCULATION SPACE:</b> 91,500 SF		
<b>TOTAL GROSS AREA:</b> 98,000 SF		
<b>PARKING SPACES:</b>		
PARKING REQUIRED:	1 PER 4.0 SEATS (4550 SEATS) = 1,137 SPACES	
PARKING DESIRED:	1 PER 3.0 SEATS (4550 SEATS) = 1,517 SPACES	
PARKING PROVIDED:	1 PER 3.3 SEATS (4550 SEATS) = 1,467 SPACES	
<b>H.C. PARKING REQUIRED:</b> 26 SPACES		
<b>H.C. PARKING PROVIDED:</b> 27 SPACES		
<b>BICYCLE PARKING:</b>		
PARKING REQUIRED:	1:20 REQUIRED FOR AUTOS = 75 SPACES	
PARKING PROVIDED:	84 SPACES	



**Vicinity Map**  
K-21-Z

**Keyed Notes for Building Purposes**

- ASPHALT PAVING
- 6" CURB TREE PLANTER, TYP.
- 6" WIDE CONCRETE SIDEWALK
- CONCRETE PAVING
- ENTRY
- EXTERIOR REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7
- LIGHT POLE, TYP., REFER TO ELEVATION 2, SHEET 7
- NOT USED
- 35' CLEAR SIGHT TRIANGLE, TYP.
- PEDESTRIAN CROSSING, SOBBET COLORED CONCRETE
- H.C. ACCESSIBLE RAMP, TYP.
- LANDSCAPE AREA
- BIKE RACK PARKING FOR #2 EACH SIDE, REFER TO ELEVATION 3, SHEET 7
- 8"x20" TYPICAL STRIPED PARKING SPACE
- BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET
- PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET
- SERVICE/DELIVERY AREA
- TREE GRATES
- SPEED TABLES, TYP.
- BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
- 12" WIDE TREE-LINED PEDESTRIANWAY WITHIN PARKING AREA
- CONCRETE PARKING STOPS, TYPICAL
- WAY FINDING SIGNAGE VIA COPPER AVENUE

**General Notes for Building Purposes**

- AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE, TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
- AREA LIGHTING SHALL NOT HAVE AN OFF-SITE LUMENANCE GREATER THAN 1,000 FOOT-CANDRETS AND IT SHALL NOT HAVE AN OFF-SITE LUMENANCE OF GREATER THAN 200 FOOT-CANDRETS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL PERFORMED UTILITY INFORMATION.

**Legend**

- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 2, SHEET 7
- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 1, SHEET 7
- BUILDING MOUNTED SITE LIGHTING, 15" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 1, SHEET 7
- 18" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 14" CUT OFF, FORWARD THROW 150W FUTURE, REFER TO ELEVATION 1, SHEET 7

CASE NUMBER: Z-98-114  
THIS PLAN IS CONSIDERED TO BE THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE PROVISIONS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
DESIGN AND DEVELOPMENT, CIVIL	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMARC	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	DATE
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLAN# (1/17/98) 4/98	

**FOR REFERENCE ONLY**

Facility Re-utilization

**501 Morris**  
Albuquerque, New Mexico

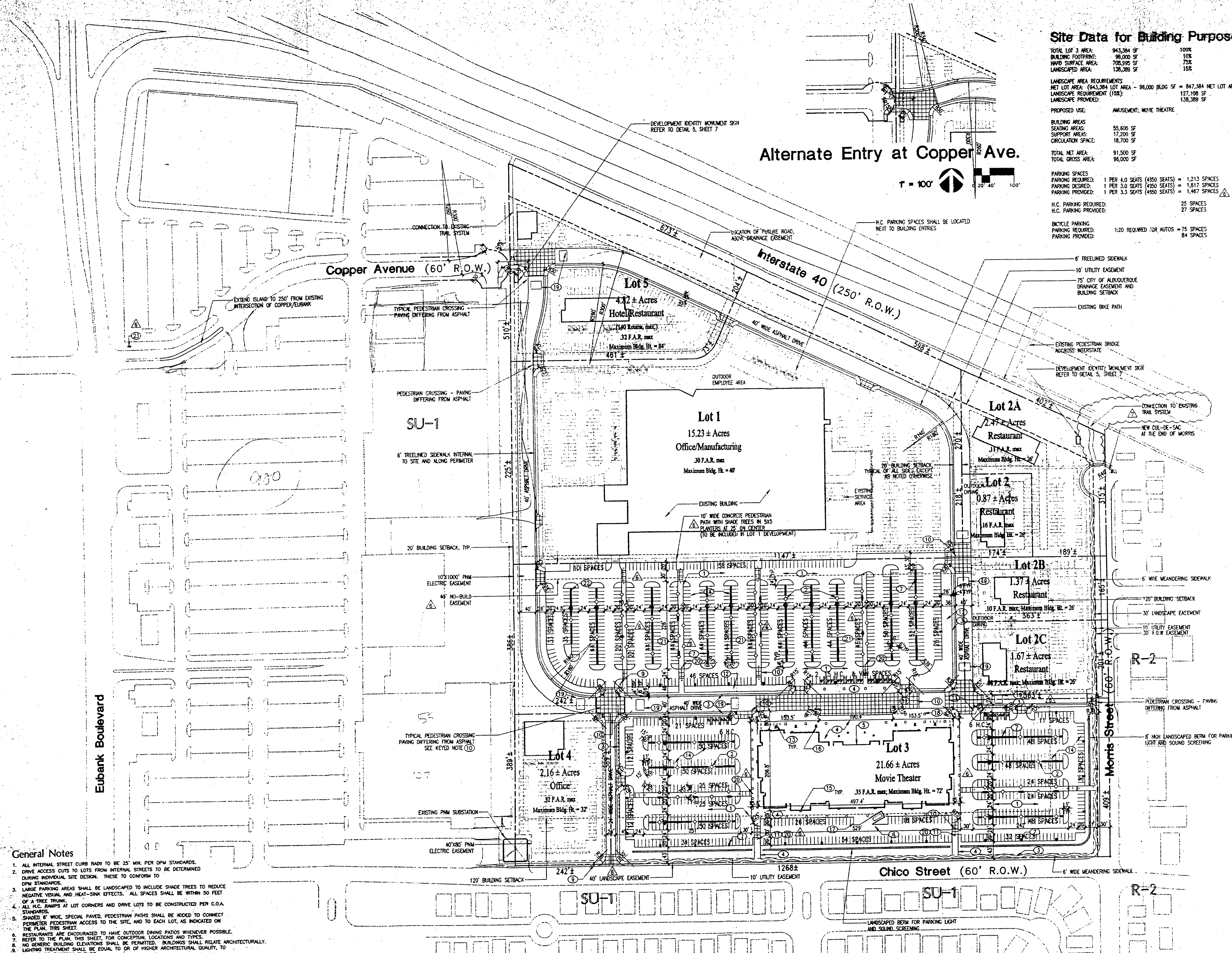
7/28/98

**Site Plan**  
REVISED 10/7/98  
REVISED 9/22/98  
REVISED 9/16/98  
REVISED 11/25/98  
REVISED 12/29/98  
REVISED 8/31/98

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Avenue Street, N.E.  
Albuquerque, New Mexico

**Dekker/Perich/Sabatini**  
Architecture • Interiors • Planning • Engineering  
6801 Jefferson NE, Suite 100  
Albuquerque, NM 87109  
505 761-9700  
505 761-4122

**Alternate Entry at Copper Ave.**



- General Notes**
- ALL INTERNAL STREET CURB RADIUS TO BE 25' MIN. PER OPM STANDARDS.
  - DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO OPM STANDARDS.
  - LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
  - ALL H.C. RAMPS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. SHADING 6" WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PERIMETER PEDESTRIAN ACCESS TO THE SITE AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
  - RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
  - NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
  - LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOWBOX FIXTURE.
  - THERE SHALL BE 30' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
  - PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
  - SHOWBOXES SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
  - NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
  - NO 8" HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
  - NO DRIVE-THRU RESTAURANTS WILL BE ALLOWED.
  - ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5B, AND 2C SHALL HAVE LETTERS OF 3" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 1 SHALL HAVE LETTERS OF 4" HIGH, MAX.
  - THE MAXIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 3A, 2B, 2C, 4, AND 5.
  - NO DRIVE-THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
  - NO LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
  - NO DRIVE-THRU FACILITIES WILL NOT BE ALLOWED. (CONDITION 2)
  - OFF-ROADWAY SIGNAGE WILL NOT BE ALLOWED. (CONDITION 4)
  - ALL SIGNAGE SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET WITHIN EACH ESTABLISHMENT. (CONDITION 9)
  - MINIMUM LETTER SIZE OF SIGNAGE SHALL BE LIMITED AS FOLLOWS: POSIS LESS THAN 10,000 SF 3" HIGH; POSIS GREATER THAN 10,000 SF 4" HIGH.
  - BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 3)
  - ALL SIGNAGE SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET WITHIN EACH ESTABLISHMENT. (CONDITION 9)
  - STREET TREES ALONG CHICO AND MORRIS SHALL BE SPECIALLY 3 1/2" CALIPER, 10' MIN. (CONDITION 14)
  - ALL HVAC UNITS WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 18)
  - ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PAGES. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE SITE WITHIN THE DESIGNATED 500-FOOT CORRIDOR WITHIN THE INTERSTATE 40 ROW. (CONDITION 15)
  - LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT-OF-WAY (P.R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID PLANS.
  - CONNECTION TO THE EXISTING TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PAVES AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

**Legal Description**

BEING A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWN PARK PLAZA AND BY TRACTS B-1-A, B-2-A AND B-3-A, REPLAT OF TOWN PARK PLAZA, ON THE NORTH BY THE SOUTHWEST RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40, ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

**Existing Zoning**

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

**Subdivision Concept**

THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT. IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

**Lot Summary**

Lot No.	Acres	Uses	Building GSF	F.A.R.*	Bldg. Ht.	Minimum Building Setbacks
						North South East West
1	15.23	OFFICE/MANUFACTURING	200,000	.30	40'	75' 20' 20' 20'
2	0.87	RESTAURANT	6,000	.16	26'	26' 20' 20' 20'
2A	2.47	RESTAURANT	12,000	.11	26'	26' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	.10	26'	26' 20' 120' 20'
2C	1.67	RESTAURANT	8,000	.08	26'	26' 20' 120' 20'
3	21.66	MANAGEMENT	96,000	.10	12'	40' 120' 120' 20'
4	2.16	OFFICE	30,000	.32	32'	20' 120' 20' 20'
5	4.82	HOTEL/RESTAURANT	98,000	.32	84'	75' 20' 20' 20'
Totals	50.26		424,000	.19		

\*F.A.R. = FLOOR AREA RATIO

NOTE: BUILDING SQUARE FOOTAGES MAY BE HIGHER, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW.

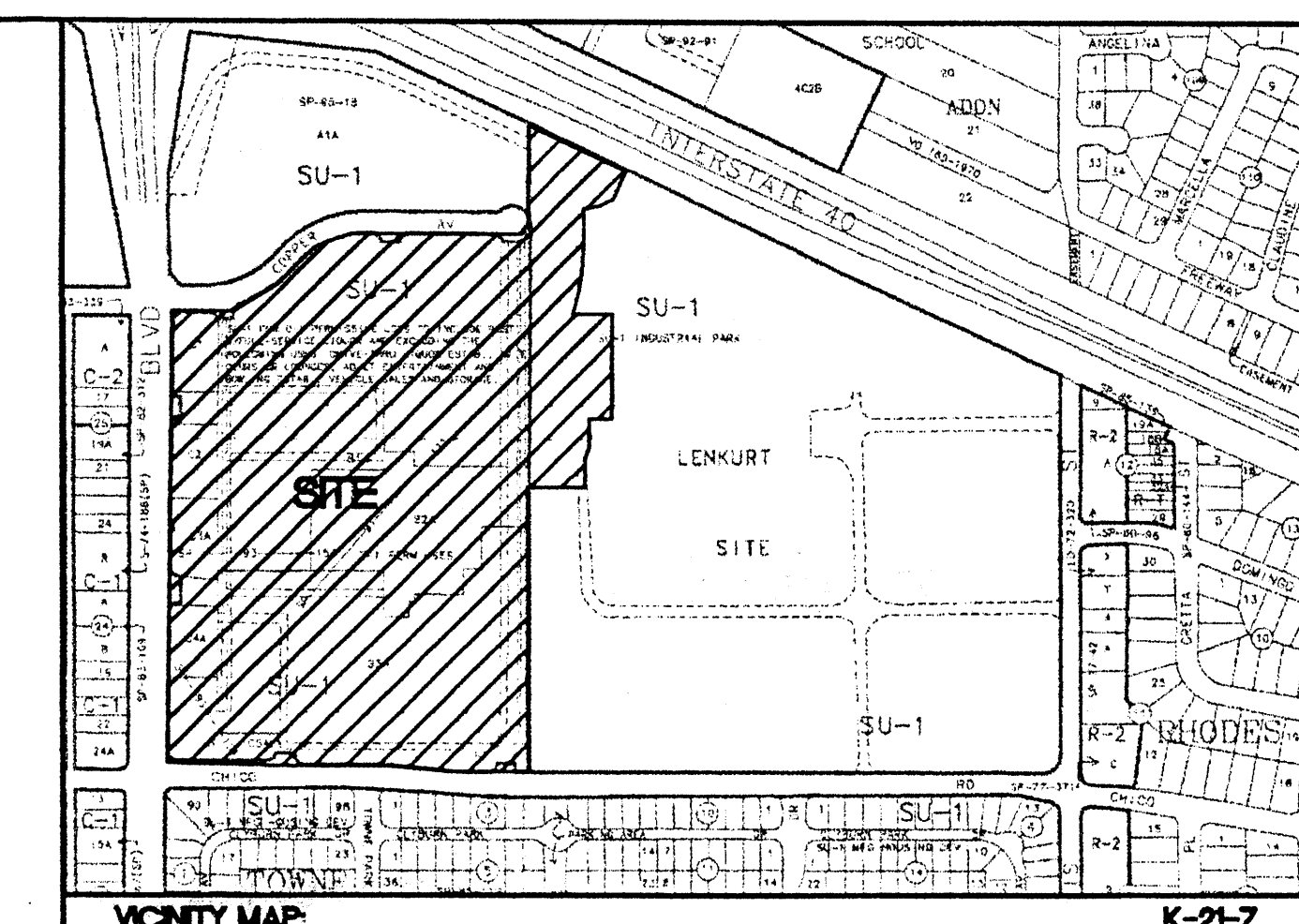
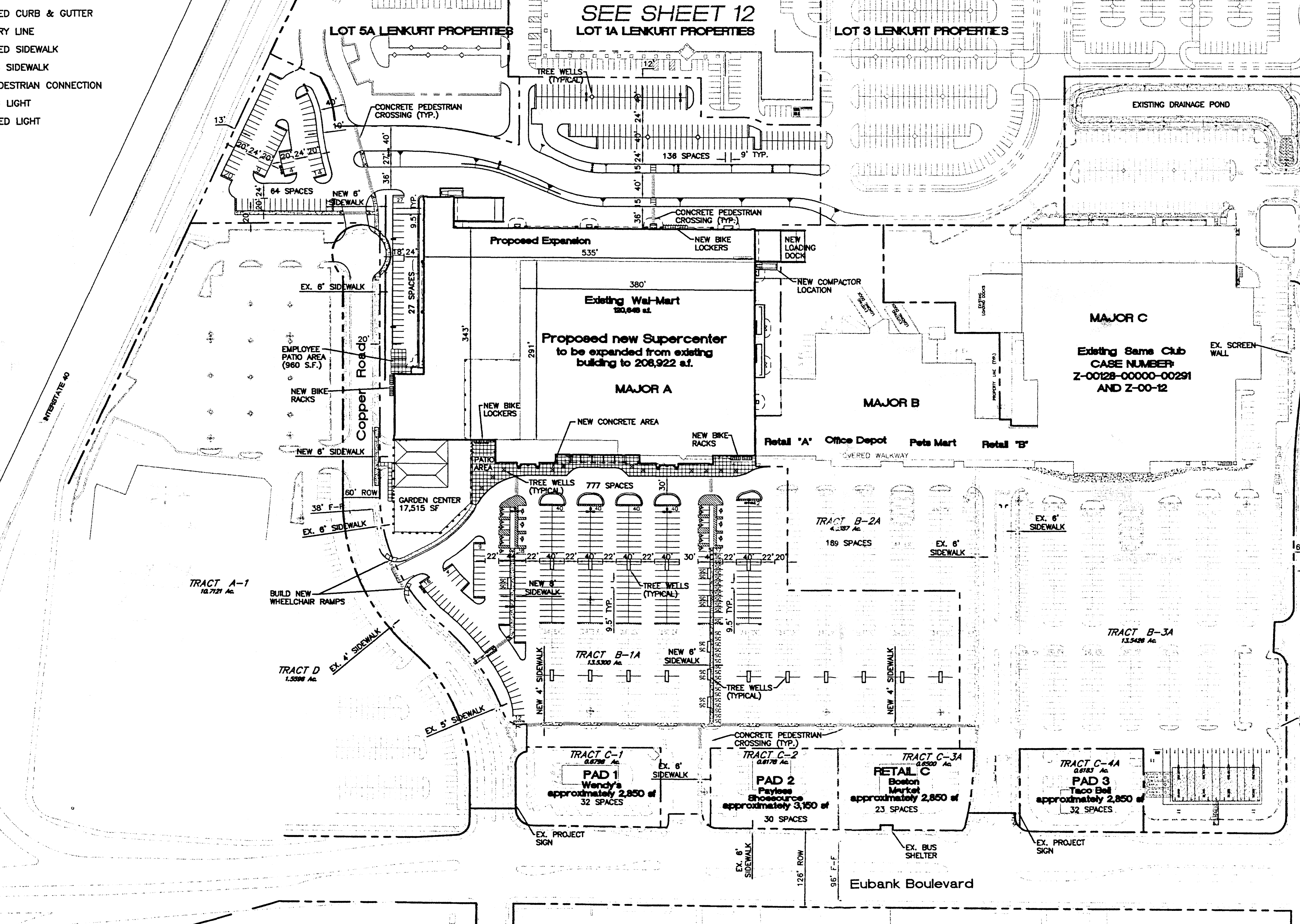
**DRB Submittal for Case Z-98-114:  
IP Master Plan/Site Plan for Subdivision**



**LEGEND**

	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	NEW PEDESTRIAN CONNECTION
	EXISTING LIGHT
	PROPOSED LIGHT

# 501 MORRIS SITE PLAN



- SITE PLAN NOTES**
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
  - CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
  - CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF WAL-MART.
  - THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS, PORCH AND RAMP LOCATIONS.
  - GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS.
  - CONTRACTOR SHALL PROVIDE PIPE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES IN DRIVE AREA, AS WELL AS, TO PROTECT ALL ACCESSIBLE SIGNS.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECS. FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE, SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS, COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF TIE-INS/ CONNECTIONS TO THEIR FACILITIES.
  - CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
  - CONTRACTOR SHALL TOUCH-UP PAINT ALL LIGHT POLE BASES, FIRE HYDRANTS, CART CORNERS, PIPE BOLLARDS, AND CURBS WHICH ARE CURRENTLY PAINTED. COST SHALL BE INCLUDED IN THE BASE BID.
  - SITING FOR THIS PROJECT SHALL MEET OR EXCEED THE "WAL-MART SITING SPECIFICATIONS".
  - CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES, AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.
  - CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
  - ALL PAINT USED FOR PARKING STRIPING SHALL BE PER WAL-MART SPECIFICATIONS.
  - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
  - DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO REFER TO LANDSCAPING AND IRRIGATION PLAN FOR RELOCATIONS, AND ADDITIONS TO SUCH.
  - EXISTING ACCESSIBLE PARKING SPACES TO BE REUSED WHEN POSSIBLE. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING SIGNS NEEDED. ALL ACCESSIBLE SIGNS SHALL BE BUILT INSIDE PIPE BOLLARD PER DETAIL LOCATED ON DETAIL SHEET.
  - EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
  - CONTRACTOR IS RESPONSIBLE FOR RELOCATING AND/OR PLACING PEDESTRIAN CROSSING SIGNS IN NEW LOCATION AS INDICATED ON PLANS. CONTRACTOR TO VERIFY EXACT NUMBER OF SIGNS REQUIRED.
  - ALL EXISTING PAINT STRIPING TO BE REMOVED FIRST. CONTRACTOR WILL THEN RESEAL THE PARKING LOT WITH AN APPROVED SEALER PER SPECIFICATION WHEN REQUIRED (COORDINATE WITH THE WAL-MART CONSTRUCTION MANAGER). THE PARKING LOT TO BE RESTRIPED WITH 2 COATS OF PAINT PER PLANS AND SPECIFICATIONS. THIS WORK MUST BE COORDINATED WITH THE CONSTRUCTION MANAGER. THE PARKING LOT MUST BE DONE IN SECTIONS SO THAT IT DOES NOT INTERRUPT THE STORE OPERATIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
  - REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL ROUTING.
  - ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
  - NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
  - INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
  - BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE.
  - EXISTING BUS ROUTE IS ON EUBANK BOULEVARD AND NOT ON SITE.

**EXISTING SITE DATA**

TRACT	LOT AREA	USE	BUILDING AREA	F.A.R.	PARKING REQUIRED*	MINUS 10% BUS CREDIT	MINUS 5% BUS SHELTER	PARKING PROVIDED	MAX. BLDG. HEIGHT	MIN. BLDG. SETBACK
B-1A	13.5432 Ac.	WAL-MART	116,097 SF	0.1968	580 (16 HANDICAP)	522	493	908 (20 HANDICAP)	40.0'	15.0'
B-2A	4.0387 Ac.	RETAIL SHOPS	49,920 SF	0.2838	250 (8 HANDICAP)	225	212	250 (8 HANDICAP)	40.0'	15.0'
B-3A	13.2455 Ac.	SAM'S CLUB	136,082 SF	0.2359	681 (16 HANDICAP)	613	579	680 (16 HANDICAP)	40.0'	15.0'
C-1	0.6798 Ac.	WENDY'S	2,850 SF	0.0962	26 (2 HANDICAP)	23	22	32 (2 HANDICAP)	40.0'	15.0'
C-2	0.6178 Ac.	PAYLESS	3,150 SF	0.1171	16 (1 HANDICAP)	14	13	30 (2 HANDICAP)	40.0'	15.0'
C-3A	0.6500 Ac.	BOSTON MARKET	2,850 SF	0.1007	19 (1 HANDICAP)	17	16	23 (2 HANDICAP)	40.0'	15.0'
C-4A	0.6183 Ac.	TACO BELL	2,850 SF	0.1058	20 (1 HANDICAP)	18	17	32 (2 HANDICAP)	40.0'	15.0'
OVERALL	33.3933 Ac.	SHOPPING CENTER	313,799 SF	0.2157	1,592 (45 HANDICAP)	1,432	1,352	1,955 (52 HANDICAP)	40.0'	15.0'

**SITE DATA W/ WAL-MART EXPANSION**

TRACT	LOT AREA	USE	BUILDING AREA	F.A.R.	PARKING REQUIRED*	MINUS 10% BUS CREDIT	MINUS 5% BUS SHELTER	PARKING PROVIDED	MAX. BLDG. HEIGHT	MIN. BLDG. SETBACK
B-1A	17.9181 Ac.	SUPER WAL-MART	221,665 SF	0.2840	1,108 (20 HANDICAP)	997	942	1,005 (20 HANDICAP)	40.0'	15.0'
B-2A	4.0387 Ac.	RETAIL SHOPS	49,920 SF	0.2838	250 (8 HANDICAP)	225	212	250 (8 HANDICAP)	40.0'	15.0'
B-3A	13.2455 Ac.	SAM'S CLUB	136,082 SF	0.2359	681 (16 HANDICAP)	613	579	680 (16 HANDICAP)	40.0'	15.0'
C-1	0.6798 Ac.	WENDY'S	2,850 SF	0.0962	26 (2 HANDICAP)	23	22	32 (2 HANDICAP)	40.0'	15.0'
C-2	0.6178 Ac.	PAYLESS	3,150 SF	0.1171	16 (1 HANDICAP)	14	13	30 (2 HANDICAP)	40.0'	15.0'
C-3A	0.6500 Ac.	BOSTON MARKET	2,850 SF	0.1007	19 (1 HANDICAP)	17	16	23 (2 HANDICAP)	40.0'	15.0'
C-4A	0.6183 Ac.	TACO BELL	2,850 SF	0.1058	20 (1 HANDICAP)	18	17	32 (2 HANDICAP)	40.0'	15.0'
OVERALL	37.7682 Ac.	SHOPPING CENTER	419,357 SF	0.2549	2,120 (49 HANDICAP)	1,907	1,801	2,052 (52 HANDICAP)	40.0'	15.0'

\* PARKING CALCULATIONS  
 RETAIL STORES: 1 SPACE PER 200 SF OF LEASEABLE AREA.  
 RESTAURANTS: WENDY'S: 104 SEATS / 4 PEOPLE PER CAR.  
 BOSTON MARKET: 76 SEATS / 4 PEOPLE PER CAR.  
 TACO BELL: 80 SEATS / 4 PEOPLE PER CAR.

- SHEET INDEX**
- AMENDED SITE PLAN FOR SUBMISSION FOR TOWN PARK PLAZA
  - APPROVED AMENDED SITE PLAN FOR SUBMISSION FOR TOWN PARK PLAZA (PROJECT #1000317) (FOR REFERENCE ONLY)
  - SITE PLAN FOR BUILDING PERMIT (WAL-MART EXPANSION)
  - LANDSCAPING PLAN
  - GRADING AND DRAINAGE PLAN SHEET "A"
  - GRADING AND DRAINAGE PLAN SHEET "B"
  - DETAIL SHEET
  - MASTER UTILITY PLAN SHEET "A"
  - MASTER UTILITY PLAN SHEET "B"
  - BUILDING ELEVATIONS
  - SIGNAGE ELEVATIONS
  - GARDEN CENTER ELEVATIONS
  - 501 MORRIS
  - AMENDED SITE PLAN FOR SUBMISSION FOR LENKURT PROPERTIES
  - APPROVED SITE PLAN FOR SUBMISSION FOR LENKURT PROPERTIES (Z-90-21-2) (FOR REFERENCE ONLY)

EPC 00128-00000-01182

**PROJECT NUMBER: 0156-00000-01029**

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 08/14/2000 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

<i>[Signature]</i>	Date
Traffic Engineer, Transportation Division	6/3/01
<i>[Signature]</i>	Date
Director, Parks & Recreation Services Department	6/13/01
<i>[Signature]</i>	Date
Public Works, Water Utilities Division	6/13/01
<i>[Signature]</i>	Date
City Engineer, Engineering Division / AMAFCA	8-28-01
<i>[Signature]</i>	Date
Solid Waste	8-16-01
<i>[Signature]</i>	Date
City Planner, Albuquerque / Demingville	9/10/01
City Planning Division	

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

PLNZ (10706) 4/96

PROJECT 1600508

DR B PROJ 1000508

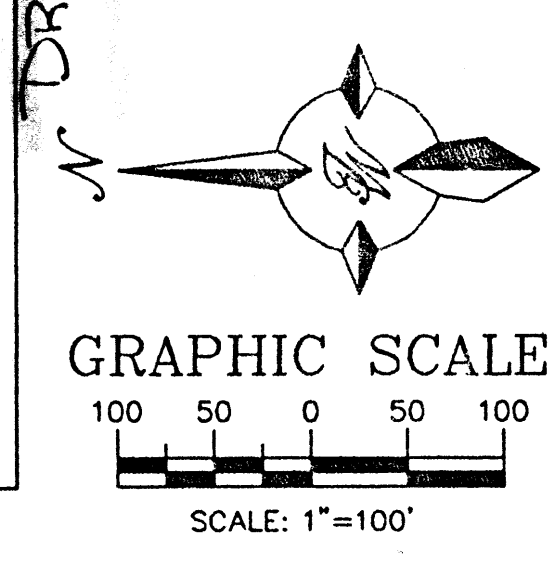
**LEGAL DESCRIPTION**

TRACTS A-1, B-1A, B-2A, B-3A C-1A, C-2A, C-3A, C-4A AND TRACT D OF TOWNE PARKE PLAZA

**ZONING**

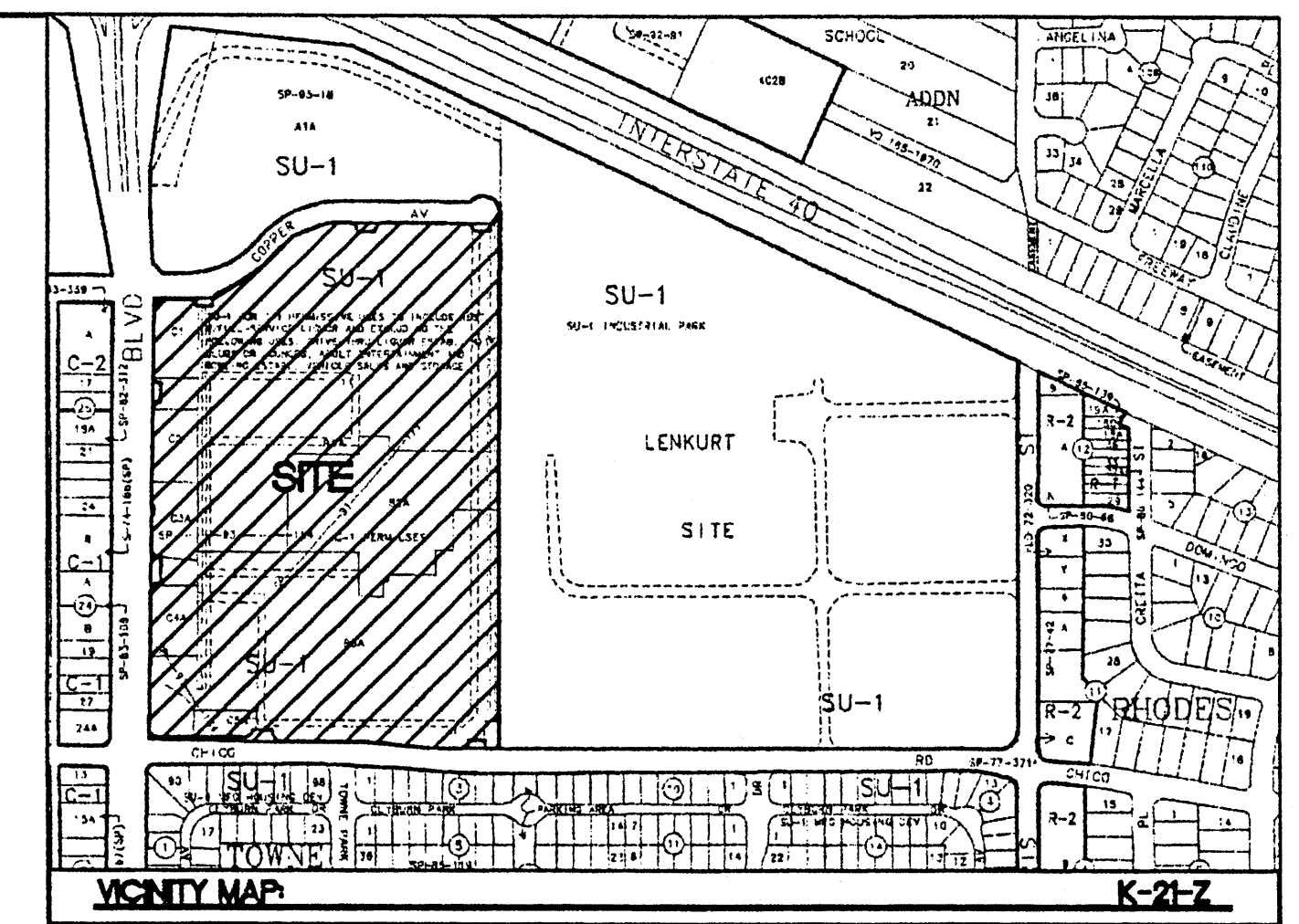
SU-1 FOR C-1 PERMISSIVE USES TO INCLUDE RESTAURANT WITH FULL SERVICE LIQUOR AND EXCLUDING THE FOLLOWING USES: DRIVE-THRU LIQUOR ESTABLISHMENTS, NIGHT CLUBS OR LOUNGES, ADULT ENTERTAINMENT ESTABLISHMENTS, AND VEHICLE SALES AND STORAGE.

ENGINEER'S SEAL	<b>ALBUQUERQUE WAL-MART EXPANSION AMENDED SITE PLAN FOR SUBDIVISION</b>	DRAWN BY JDN
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)958-3100	DATE 06-08-01 9929WSPS1.DWG
RONALD R. BOHANNAN P.E. #7868		SHEET # <b>1</b> JOB # 990029W





# FUTURE DEVELOPMENT BY OTHERS



**VICINITY MAP**  
K-21-Z

**LEGAL DESCRIPTION:**  
TRACT B-3A LENKURT SITE

**PROPOSED SITE DATA**

PROPOSED USAGE:	RETAIL
LOT AREA:	11.0837 ACRE
EXISTING LOT AREA:	11.0837 AC
LOT 4 EXPANSION:	2.1618 AC
TOTAL LOT AREA:	13.2455 AC
BUILDING AREA:	111,434 SF
EXISTING BUILDING:	21,758 SF
PROPOSED BUILDING EXPANSION:	136,082 SF
TOTAL BUILDING AREA:	157,840 SF
PARKING REQUIRED W/EXPANSION	680 SPACES
PARKING LOST DUE TO EXP. & GAS STATION	151 SPACES
NEW PARKING PROVIDED	154 SPACES
TOTAL PARKING PROVIDED IN BACK	121 SPACES
TOTAL PARKING PROVIDED ON SIDES	46 SPACES
TOTAL PARKING PROVIDED IN FRONT	516 SPACES
TOTAL PARKING PROVIDED	680 SPACES
HC PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	16 SPACES
	2 SPACES VAN ACCESSIBLE

**SHOPPING CENTER PARKING RATIO**

	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
SAM'S CLUB w/EXP. & GAS STATION	683	128,612 SF	5.31
EXISTING SAM'S CLUB	702	107,927 SF	6.50

**GENERAL NOTES:**  
1. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.

**PROJECT #1000319**  
**CASE NUMBER: Z-00128-00000-00291 AND Z-00-12**

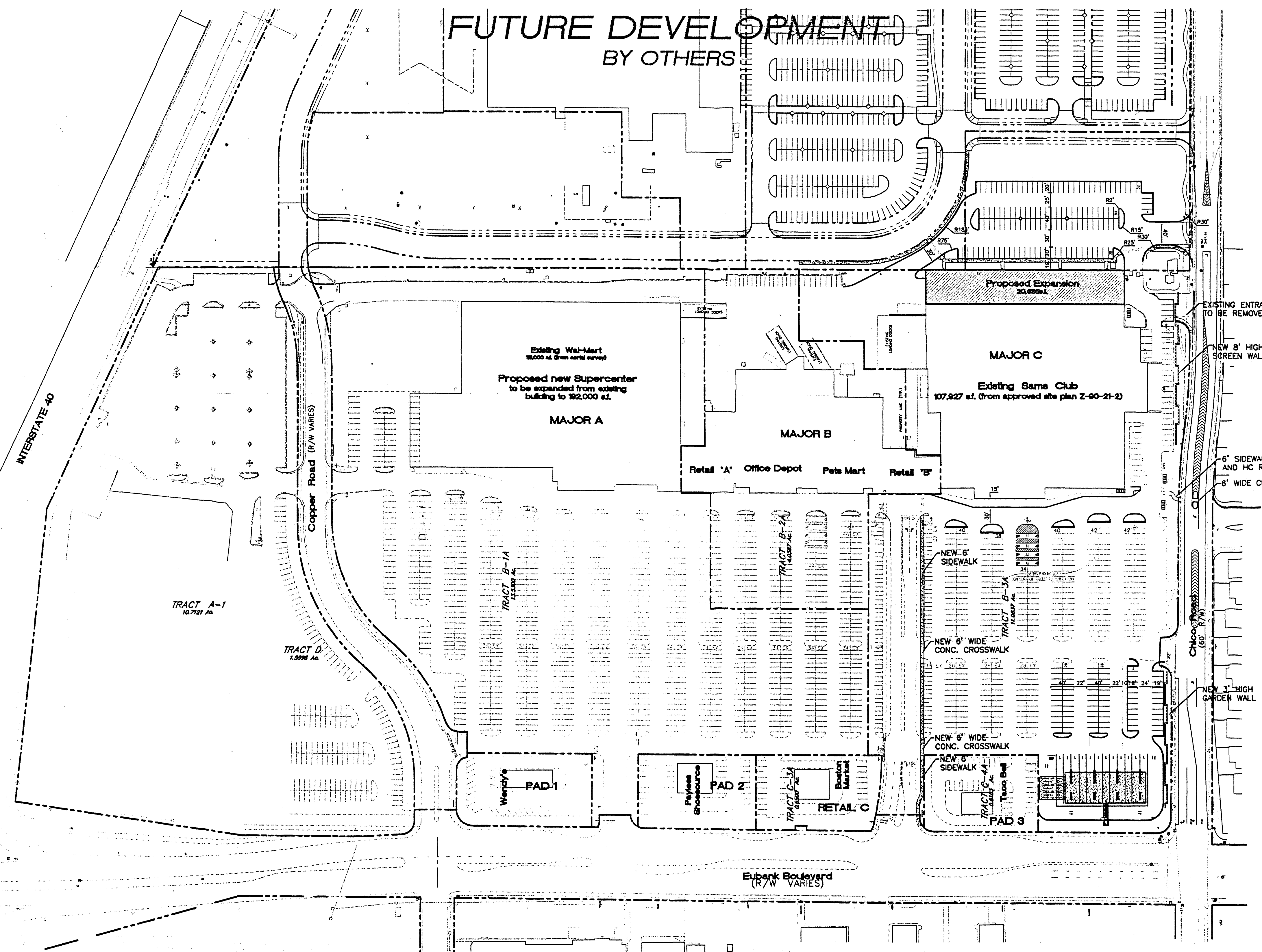
This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 7-19-00 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

<i>[Signature]</i> Traffic Engineer, Transportation Division	7-19-00 Date
<i>[Signature]</i> Parks & General Services Department	7-19-00 Date
<i>[Signature]</i> Public Works, Water Utilities Division	7-19-00 Date
<i>[Signature]</i> City Engineer, Engineering Division / AMAFCA	1/19/01 Date
<i>[Signature]</i> City Planner, Albuquerque / Bernalillo County Planning Division	1/22/01 Date
<i>[Signature]</i> Solid Waste	12-12-00 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

PLNZ (10706) 4/96

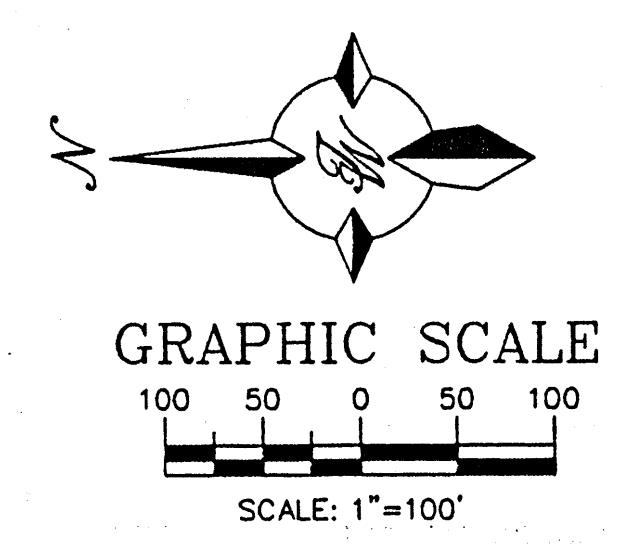


**EXISTING PARKING DATA (from approved site plan Z-90-21-2)**

	BUILDING SIZE	PARKING REQUIRED *	PARKING PROVIDED
MAJOR A	120,643	603	921
MAJOR B	49,920	250	203
MAJOR C	107,927	540	702
RETAIL A	6,240	32	0
RETAIL B	7,727	39	0
RETAIL C	8,000	40	130
PAD 1-4	28,500	143	
<b>TOTAL</b>	<b>328,957</b>	<b>1645</b>	<b>1956</b>
OVERALL RATIO:		5.01:1	5.951
MAJOR C EXPANSION	20,685	103	43
<b>TOTAL</b>	<b>349,642</b>	<b>1748</b>	<b>1999</b>
OVERALL RATIO W/EXPANSIONS:			5.72

\* CALCULATED AT 1 PARKING SPACE PER 200 SF OF LEASEABLE SPACE.

- SHEET INDEX**
- TOWN PARK PLAZA**
1. AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA
  2. APPROVED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA (Z-90-21-2) (FOR REFERENCE ONLY)
  3. SITE PLAN FOR BUILDING PERMIT (SAM'S CLUB EXPANSION)
  4. LANDSCAPING PLAN
  5. MASTER UTILITY PLAN
  6. GRADING AND DRAINAGE PLAN
  7. BUILDING ELEVATIONS
- 501 MORRIS**
8. AMENDED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS
  9. APPROVED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS (Z-90-21-2) (FOR REFERENCE ONLY)
- SERVICE STATION**
10. SITE PLAN FOR BUILDING PERMIT
  11. GRADING AND DRAINAGE PLAN
  12. ELEVATIONS



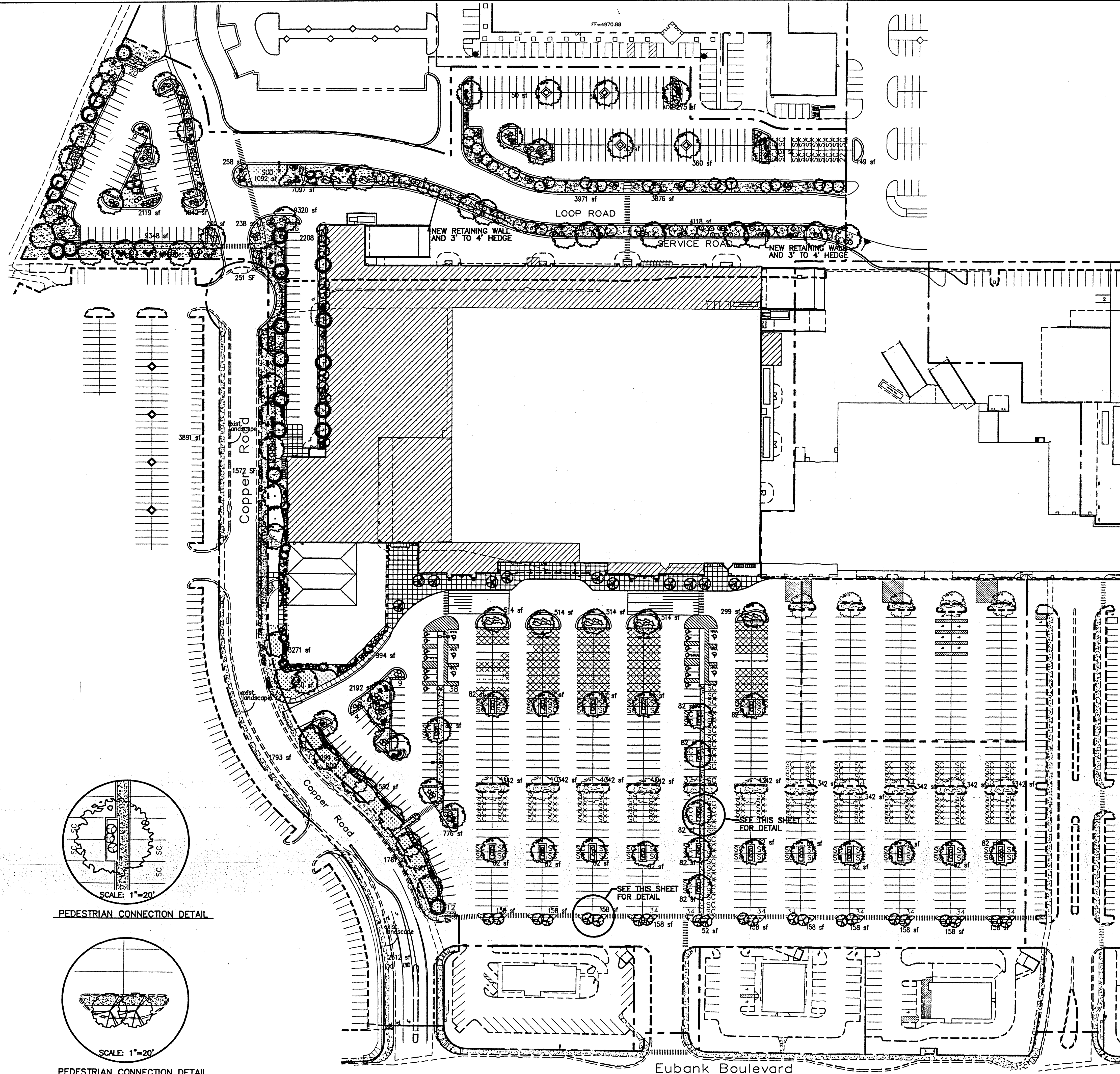
**FOR REFERENCE ONLY**

ENGINEER'S SEAL <i>[Seal]</i> RONALD R. BOHANNAN P.E. #7868	ALBUQUERQUE SAM'S EXPANSION AND GAS STATION <b>AMENDED SITE PLAN FOR SUBDIVISION</b> TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY BDG DATE 7-07-00 9929SPS.DWG SHEET # 2 JOB # 990029
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### PLANT LEGEND

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>EXISTING LANDSCAPING</li> <li>HONEY LOCUST (H) 88<br/><i>Gleditsia triacanthos</i><br/>2" Cal</li> <li>LEYLANDII CYPRESS (M) 20<br/><i>Cupressocyparis leylandii</i><br/>15 GAL</li> <li>AUSTRIAN PINE (H) 13<br/><i>Pinus nigra</i><br/>6-8'</li> <li>DESERT WILLOW (M) 22<br/><i>Chilopsis linearis</i><br/>15 GAL</li> <li>BRADFORD PEAR (M) 47<br/><i>Pyrus caleryana bradford</i><br/>1 1/2" Cal</li> <li>NEW MEXICO OLIVE (M) 16<br/><i>Forestiera neomexicana</i><br/>15 GAL</li> <li>APACHE PLUME (L) 21<br/><i>Fallugia paradoxa</i><br/>5 gal</li> <li>POTENTILLA (M) 50<br/><i>Potentilla fruticosa</i><br/>5 gal</li> </ul> | <ul style="list-style-type: none"> <li>RUSSIAN SAGE (M) 125<br/><i>Perovskia atriplicifolia</i><br/>5 gal</li> <li>AUTUMN SAGE (M) 78<br/><i>Salvia gregii</i><br/>5 gal</li> <li>CHAMISA (L) 158<br/><i>Chrysothamnus nauseosus</i><br/>1 gal</li> <li>MAIDEN GRASS (M) 83<br/><i>Miscanthus sinensis</i><br/>5 gal</li> <li>WILDFLOWER 146<br/>1 GAL</li> <li>TAM JUNIPER (L) 51<br/><i>Juniperus sibirica</i><br/>5 gal</li> <li>OVERSIZE GRAVEL &amp; BOULDERS</li> <li>3/4" SANTA ANA TAN GRAVEL W/ FILTER FABRIC</li> <li>SOD</li> <li>COMMERCIAL GRADE STEEL EDGING</li> </ul> |
|--|---|

#### IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPM Drip Emitters  
Shrubs to receive (2) 1.0 GPH Drip Emitters  
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

#### LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and water waste ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All Landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

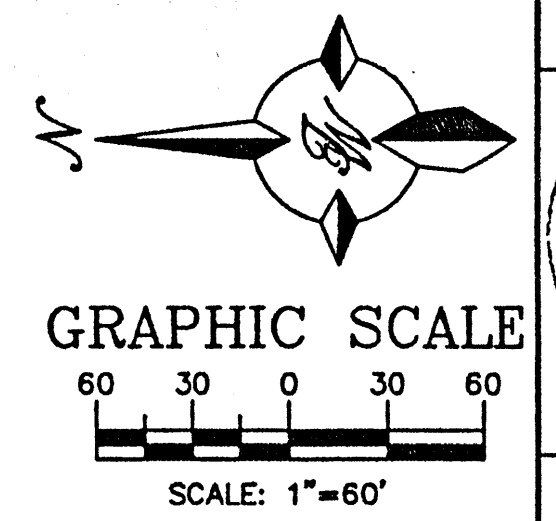
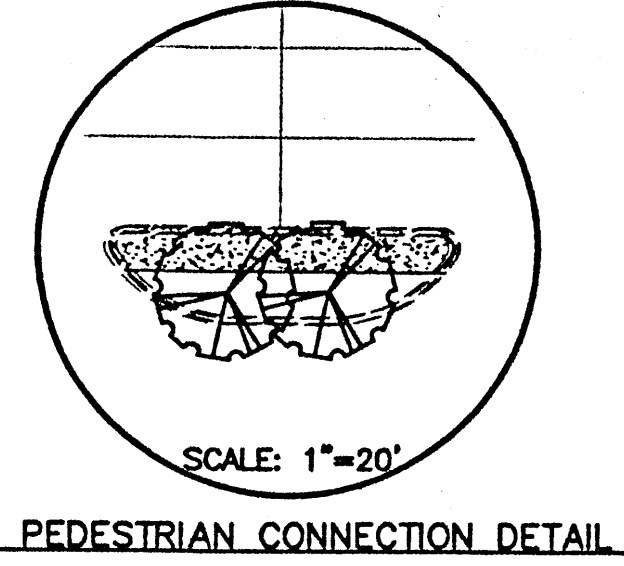
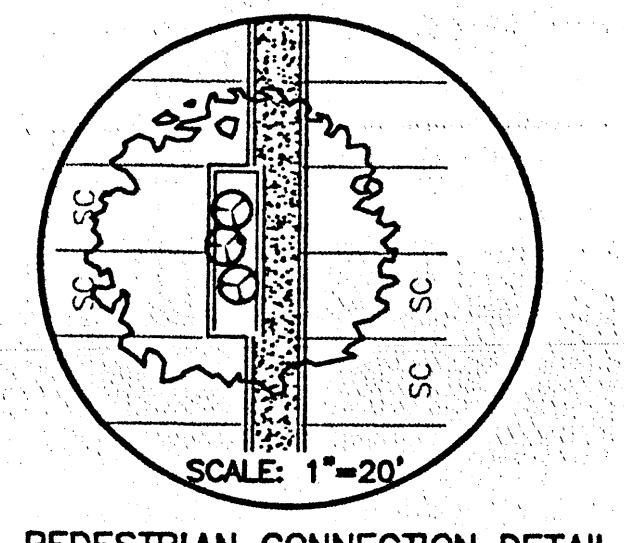
3/4" Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

### LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	772,881 square feet
TOTAL BUILDINGS AREA	216,020 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	554,661 square feet
LANDSCAPE REQUIREMENT	15 percent
TOTAL LANDSCAPE REQUIREMENT	83,199 square feet
TOTAL NEW LANDSCAPE PROVIDED	78,474 square feet
TOTAL REPLACEMENT SOD PROVIDED	11,722 square feet
TOTAL NEW BED PROVIDED	64,752 square feet
TOTAL EXISTING LANDSCAPE PROVIDED	11,865 square feet
TOTAL LANDSCAPE PROVIDED	88,339 square feet

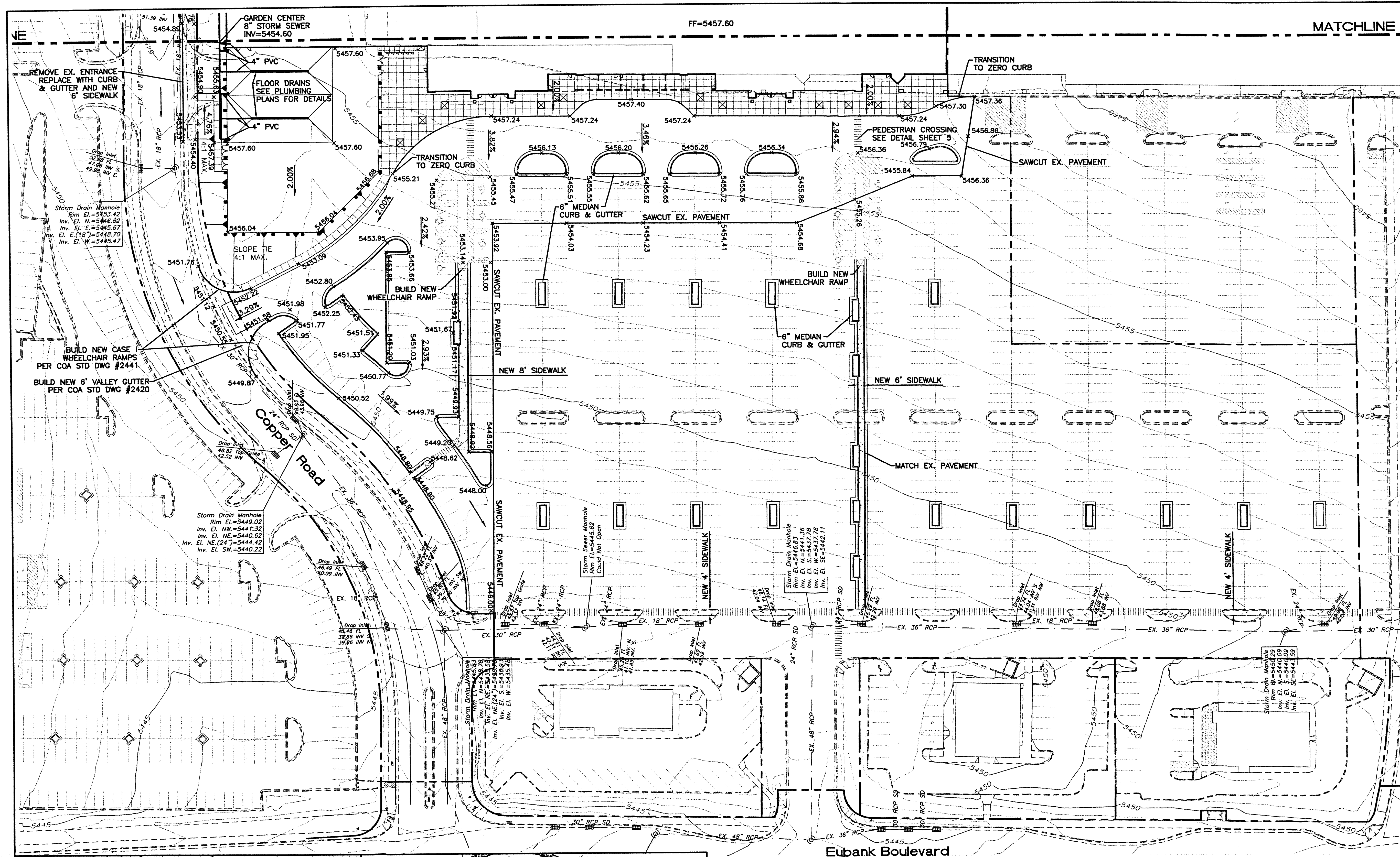
**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
it@hilltoplandscaping.com

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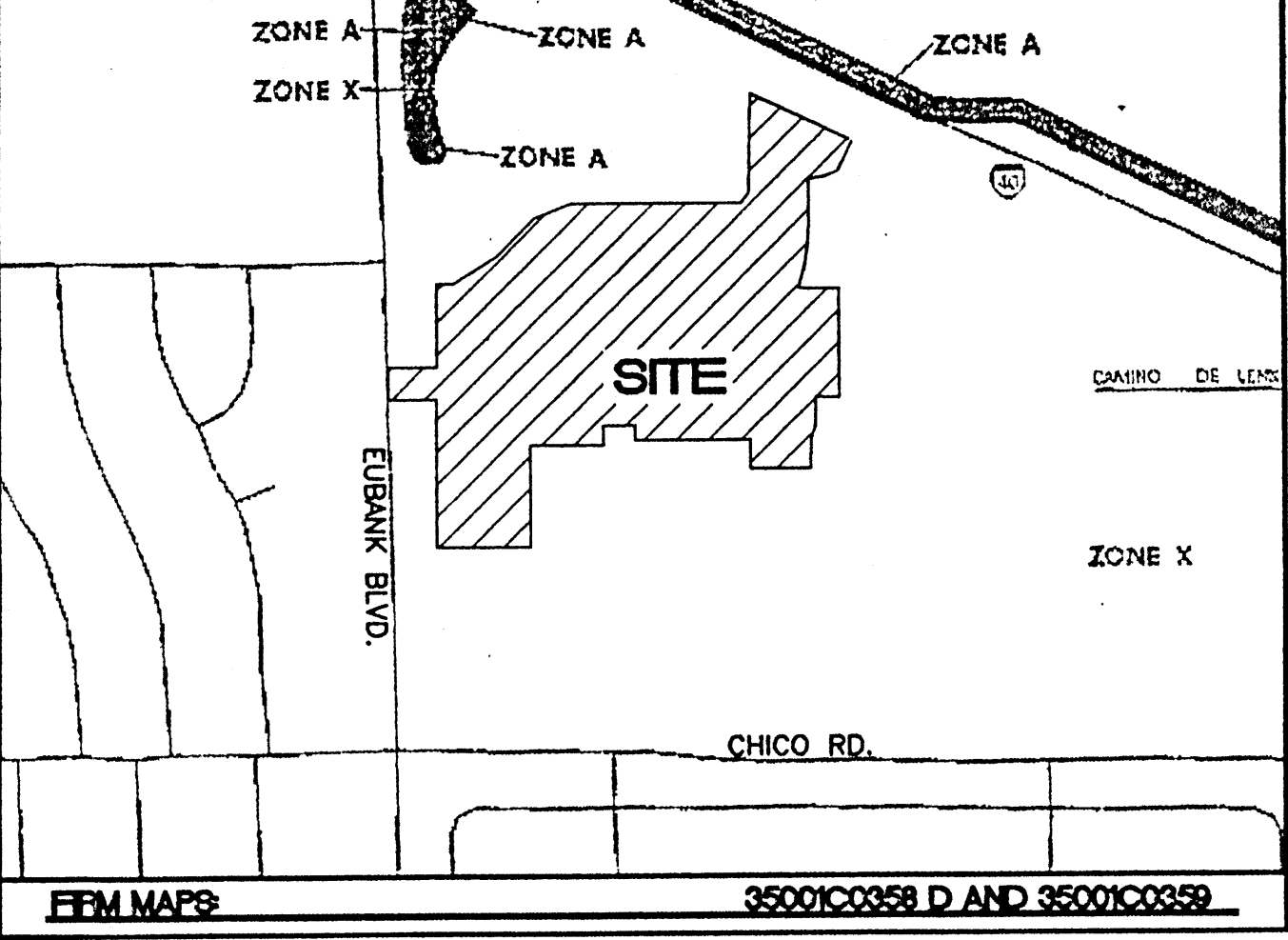
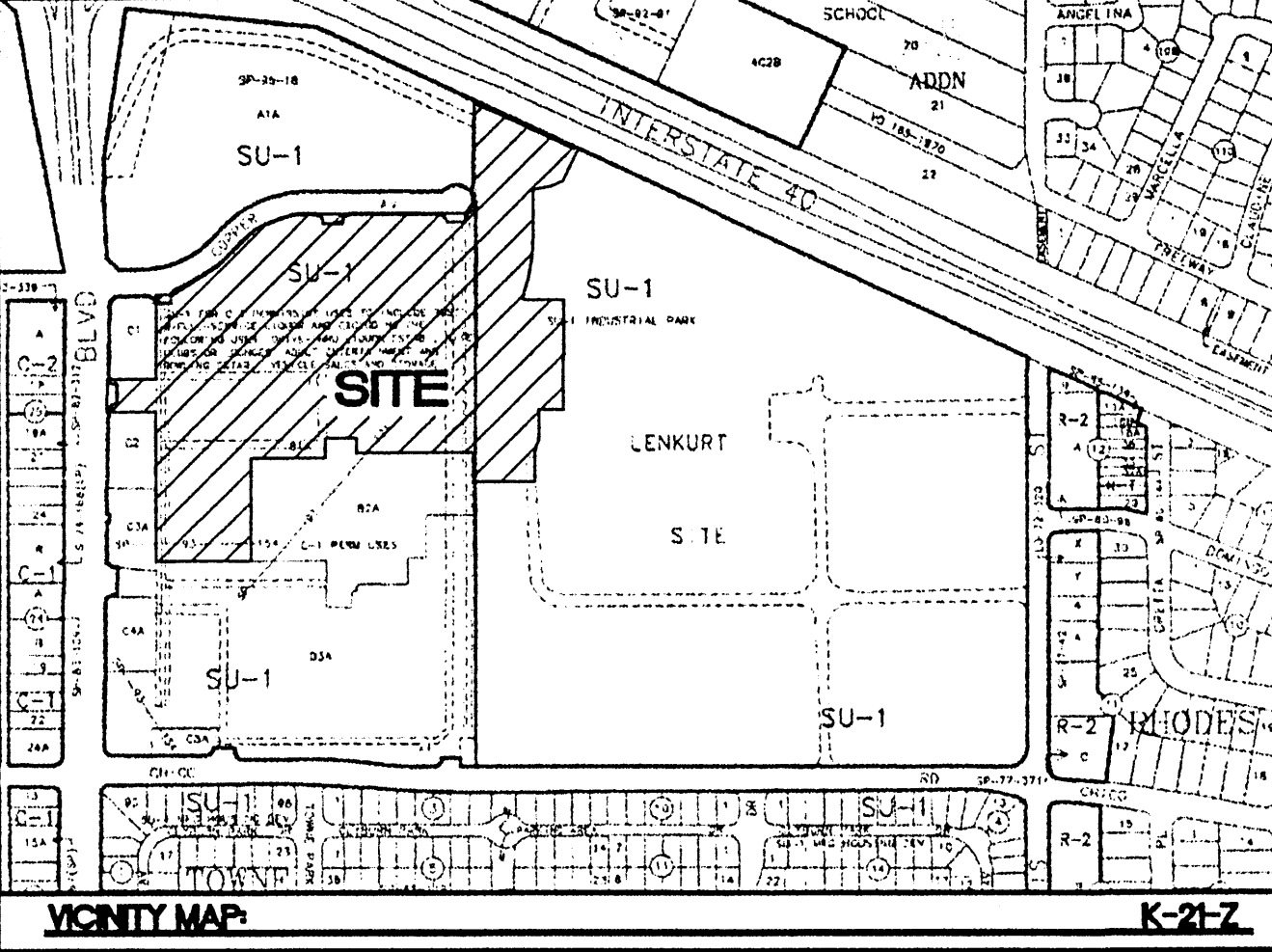
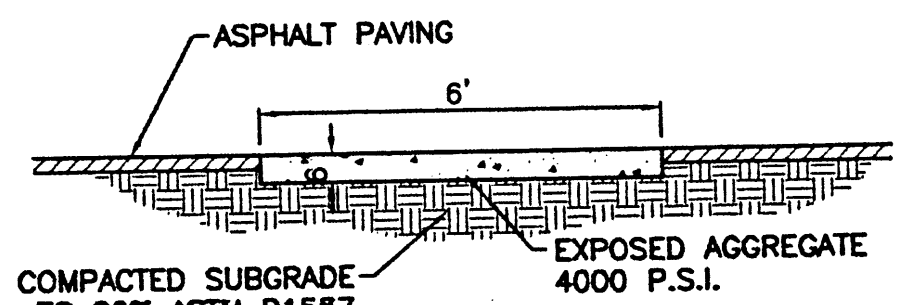
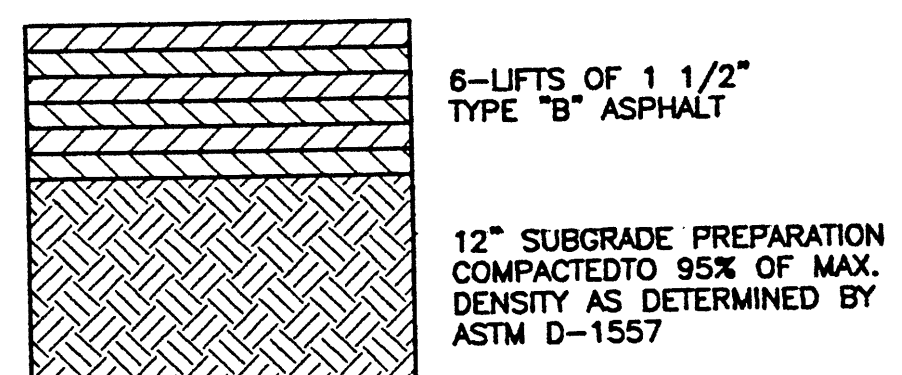
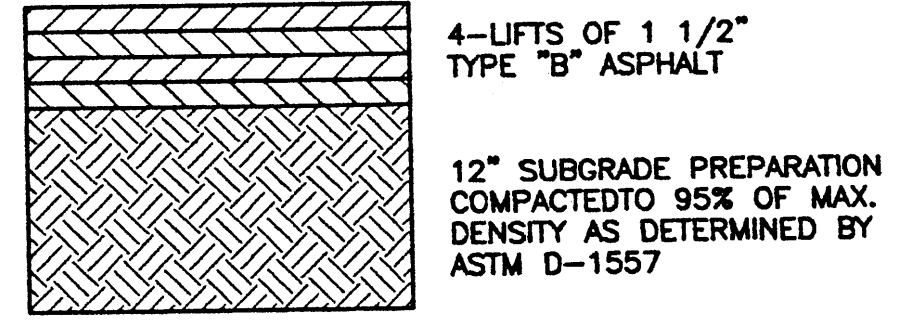
NO.	DATE	REMARKS	BY
REVISIONS			
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			DRAWN BY JDN DATE 04-10-01
			9929WLP1.DWG
			SHEET # 4
			JOB # 990029W





**LEGEND**

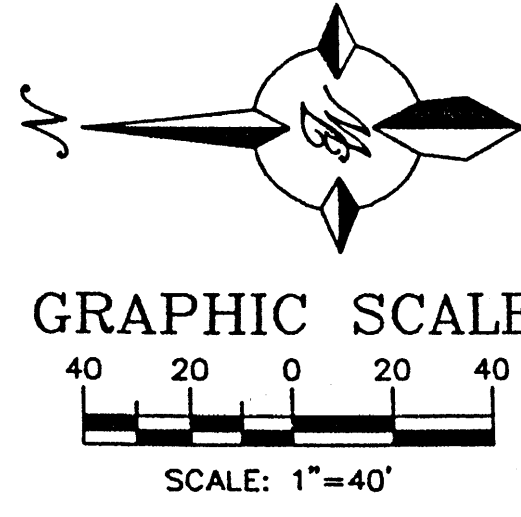
- ⊙ EXISTING STORM SEWER MANHOLE
- ⊖ EXISTING STORM SEWER INLET
- - - EX. 24" RCP - - - EXISTING STORM SEWER LINE
- ⊙ PROPOSED STORM SEWER MANHOLE
- ⊖ PROPOSED SNGL. "C" INLET
- 24" RCP — PROPOSED STORM SEWER LINE
- - - EXISTING FENCE
- - - EXISTING CURB & GUTTER
- - - PROPOSED CURB & GUTTER
- - - BOUNDARY LINE
- - - EXISTING BOUNDARY LINE
- - - PROPOSED SIDEWALK
- - - EXISTING SIDEWALK
- - - FUTURE SIDEWALK
- - - PROPOSED PERIMETER WALL
- - - EXISTING CONTOUR
- - - EXISTING INDEX CONTOUR
- - - PROPOSED CONTOUR
- - - PROPOSED INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- x 5048.25 EXISTING SPOT ELEVATION
- x 5048.25 PROPOSED SPOT ELEVATION
- x 5048.25 FUTURE SPOT ELEVATION
- - - MATCH LINE



- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

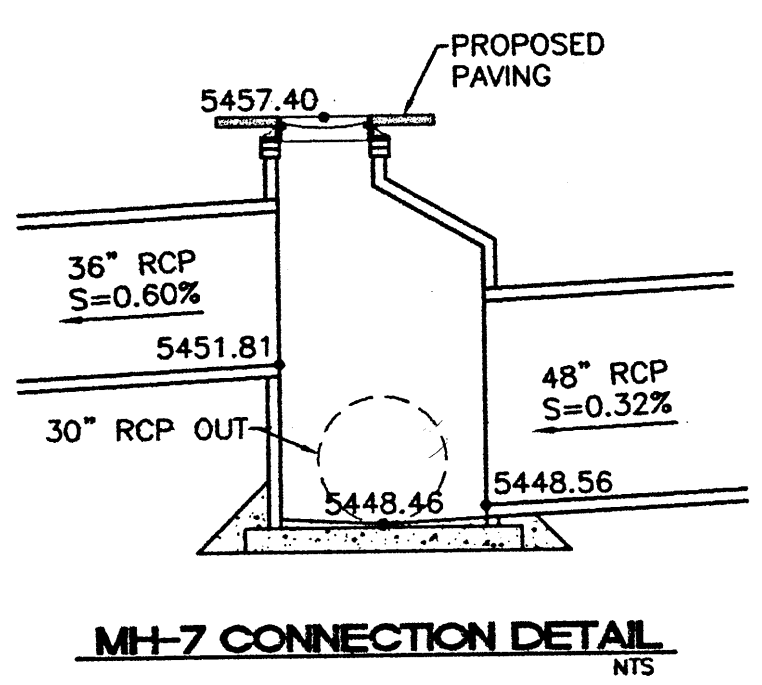
- NOTES**
- ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
  - ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
  - ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
  - ALL VALLEY GUTTERS TO BE BUILT PER COA STD DWG #2420.
  - SEE SHEET 7 FOR RCP INLET DETAIL.

CAUTION: EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ROUGH GRADING APPROVAL		DATE
NO.	DATE	REMARKS
REVISIONS		
ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION: 835-02 GRADING AND DRAINAGE PLAN SHEET 'A'	
	DRAWN BY	JDN
	DATE	06-08-01
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		9929WGR1.DWG
SHEET #		5
JOB #		990029W

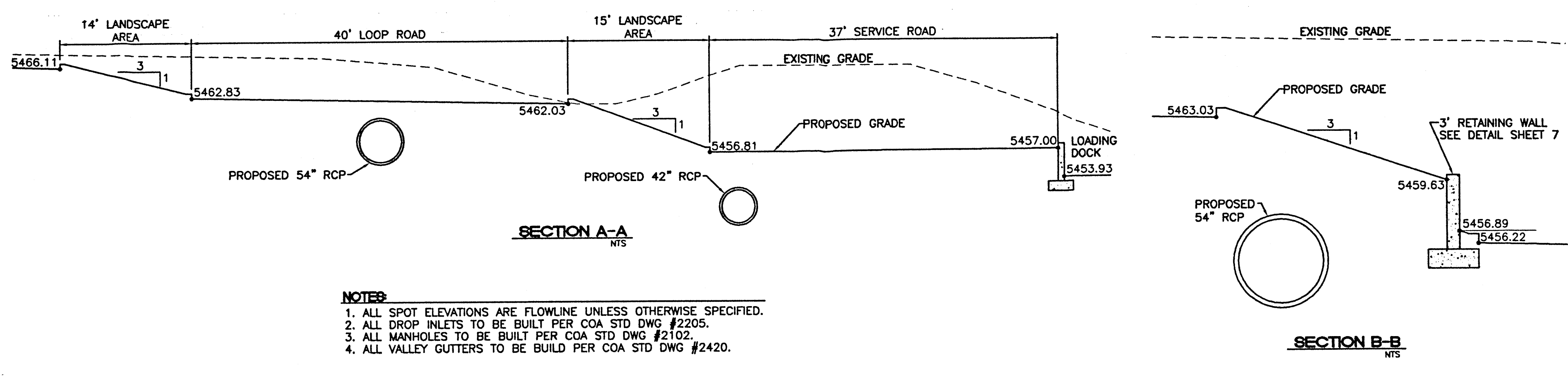
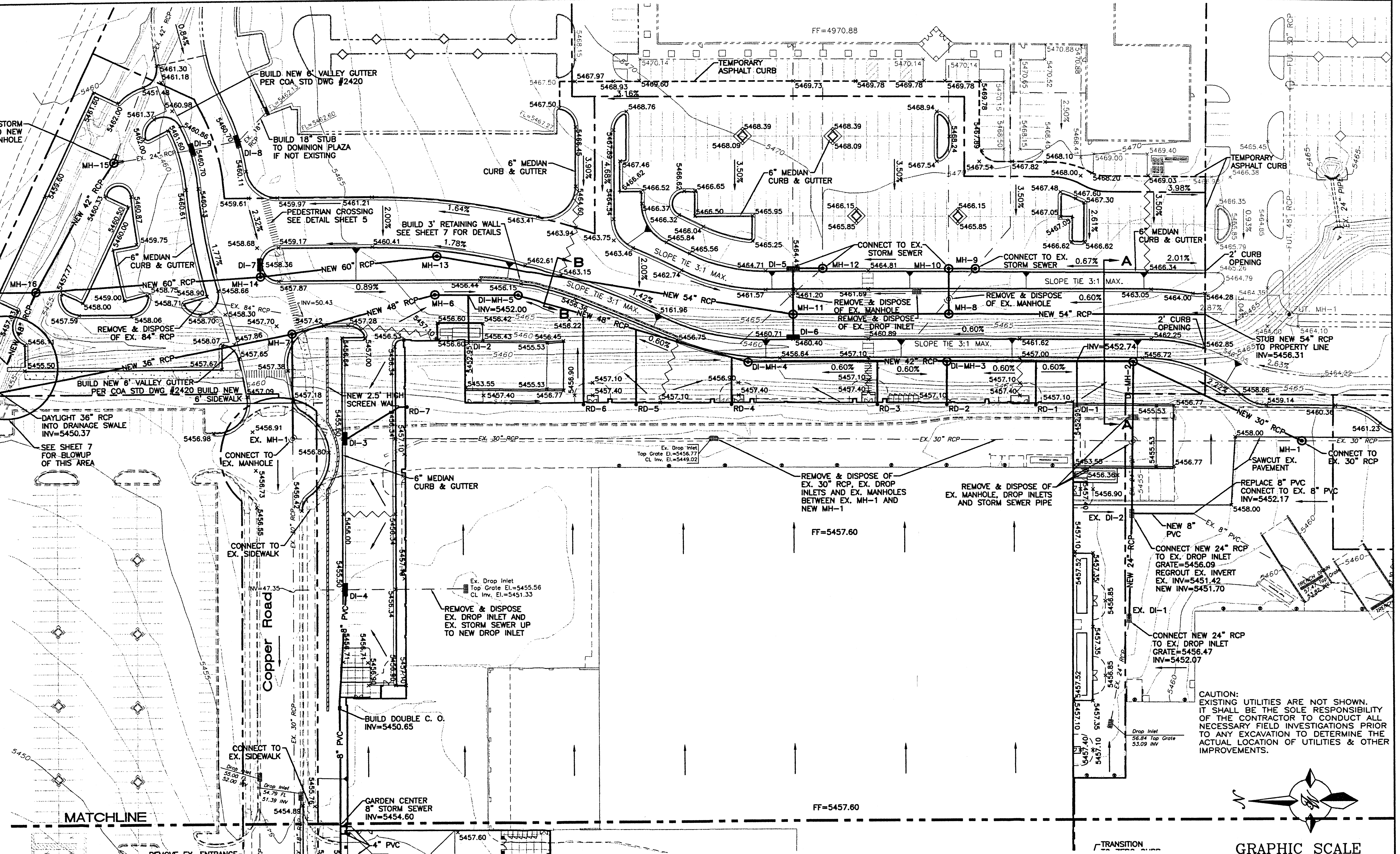




FROM	TO	SIZE	SLOPE
MH-1	DI-MH-2	30" RCP	0.47%
EX. DI-1	EX. DI-2	24" RCP	0.44%
EX. DI-2	DI-MH-2	24" RCP	0.44%
DI-1	DI-MH-3	8" PVC	0.60%
DI-MH-2	DI-MH-3	42" RCP	0.32%
DI-MH-3	DI-MH-4	42" RCP	0.32%
DI-MH-4	DI-MH-5	48" RCP	0.32%
DI-2	DI-MH-5	8" PVC	2.48%
DI-MH-5	MH-6	48" RCP	0.32%
MH-6	MH-7	48" RCP	0.32%
MH-7	EX. MH-1	30" RCP	0.32%
DI-3	EX. MH-1	EX. 30" RCP	0.26%
DI-4	EX. 30" RCP	EX. 18" RCP	2.91%
FUT. MH-8	MH-8	54" RCP	0.58%
MH-9	MH-10	12" RCP	5.02%
MH-10	MH-8	12" RCP	17.10%
MH-8	MH-11	54" RCP	0.58%
MH-12	DI-5	8" PVC	8.42%
DI-5	MH-11	12" RCP	17.46%
DI-6	MH-11	24" RCP	4.90%
MH-11	MH-13	54" RCP	0.58%
MH-13	MH-14	60" RCP	0.58%
DI-7	MH-14	18" RCP	28.35%
MH-14	MH-16	60" RCP	0.58%
DI-8	DI-9	EX. 18" RCP	0.10%
DI-9	MH-15	EX. 24" RCP	0.53%
MH-15	MH-16	42" RCP	1.20%
MH-16	CHANNEL	48" RCP	0.58%
MH-16	SWALE	48" RCP	0.38%
MH-7	SWALE	36" RCP	0.60%

ITEM #	TYPE	RIM/GRATE	INV IN	INV OUT
EX. MH-1	EX. TYPE "E"	5457.75	5448.15	5448.05
MH-1	4" DIA. TYPE "E"	5459.70	5451.73	5451.63
DI-MH-2	RCP INLET*	5456.50	5451.15	5451.05
DI-MH-3	RCP INLET*	5456.72	5450.62	5450.52
DI-MH-4	6" RCP INLET*	5456.52	5450.06	5449.96
DI-MH-5	6" RCP INLET*	5455.95	5449.35	5449.25
MH-6	4" DIA. TYPE "E"	5456.73	5449.04	5448.94
MH-7	6" DIA. TYPE "E"	5457.40	5448.56	5448.46 (W)
SEE THIS SHEET FOR DETAIL				5451.81 (N)
FUT. MH-8	8" DIA. TYPE "E"	5464.50	5456.82	5456.72
MH-8	6" DIA. TYPE "E"	5461.62	5455.12	5455.02
MH-9	4" DIA. TYPE "E"	5465.50	5462.63	5462.53
MH-10	4" DIA. TYPE "E"	5465.36	5462.40 (E)	5461.36
			5461.46 (S)	
MH-11	6" DIA. TYPE "E"	5460.80	5454.30	5454.20
MH-12	4" DIA. TYPE "E"	5464.60	5462.60	5462.50
MH-13	6" DIA. TYPE "E"	5459.90	5452.53	5452.43
MH-14	6" DIA. TYPE "E"	5458.15	5451.61	5451.51
MH-15	8" DIA. TYPE "E"	5460.94	5452.00	5451.90
MH-16	12" DIA. TYPE "E"	5457.45	5450.45	5450.35
DI-1	DOCK DRAIN**	N/A	N/A	5452.95
DI-2	DOCK DRAIN**	N/A	N/A	5452.95
DI-3	SINGLE "C" INLET	5455.50	5451.50	5448.25
DI-4	SINGLE "C" INLET	5455.50	5448.60	5448.50
DI-5	SINGLE "C" INLET	5464.41	5462.35 (E)	5460.41
			5460.51 (S)	
DI-6	SINGLE "C" INLET	5459.28	N/A	5455.23
DI-7	SINGLE "C" INLET	5458.36	N/A	5454.36
DI-8	SINGLE "C" INLET	5460.70	5455.50	5455.40
DI-9	SINGLE "C" INLET	5460.70	5455.10	5455.00

ITEM #	TYPE	INV BLDG.	INV RCP	SIZE	SLOPE
RD-1	ROOF DRAIN	5454.60	5453.30	10" PVC	3.76%
RD-2	ROOF DRAIN	5454.60	5453.00	10" PVC	4.67%
RD-3	ROOF DRAIN	5454.60	5452.84	10" PVC	5.18%
RD-4	ROOF DRAIN	5454.60	5452.42	10" PVC	5.85%
RD-5	ROOF DRAIN	5454.60	5452.16	10" PVC	4.08%
RD-6	ROOF DRAIN	5454.60	5452.00	10" PVC	3.60%
RD-7	ROOF DRAIN	5454.60	5451.50	10" PVC	5.69%



- NOTES:**
1. ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
  2. ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
  3. ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
  4. ALL VALLEY GUTTERS TO BE BUILT PER COA STD DWG #2420.

NO.	DATE	REMARKS	BY
REVISIONS			

ENGINEER'S SEAL

RONALD R. BOHANNAN  
P.E. #7868

**ALBUQUERQUE  
WAL-MART  
EXPANSION: 835-02  
GRADING AND DRAINAGE  
PLAN SHEET 'B'**

TERRA WEST, LLC  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

DRAWN BY JDN

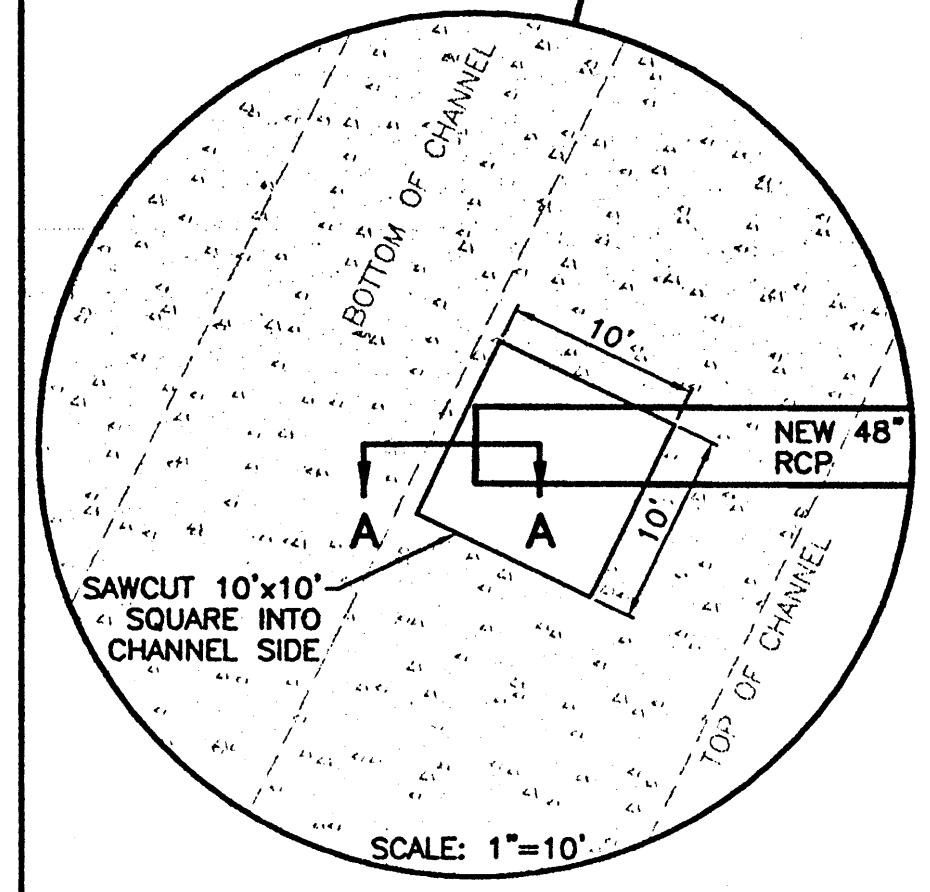
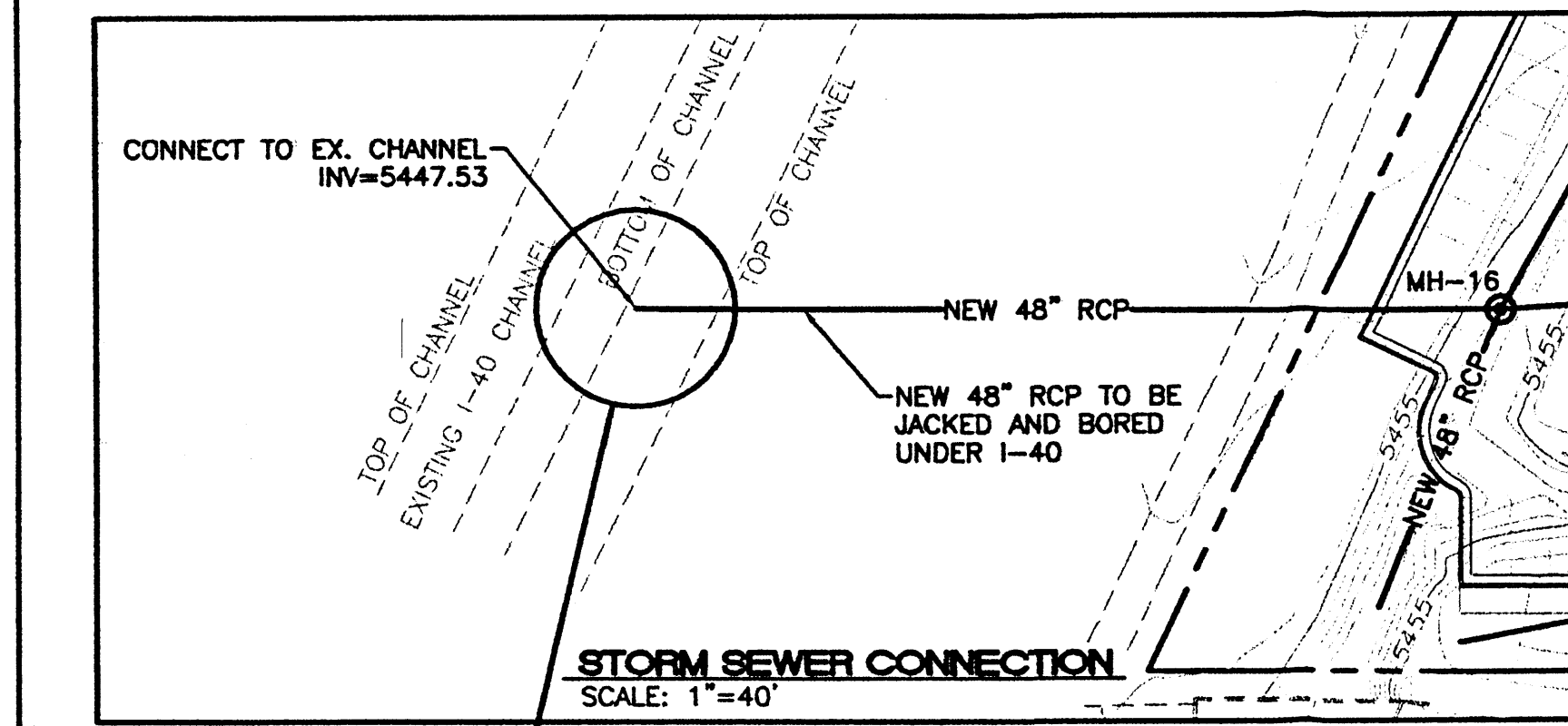
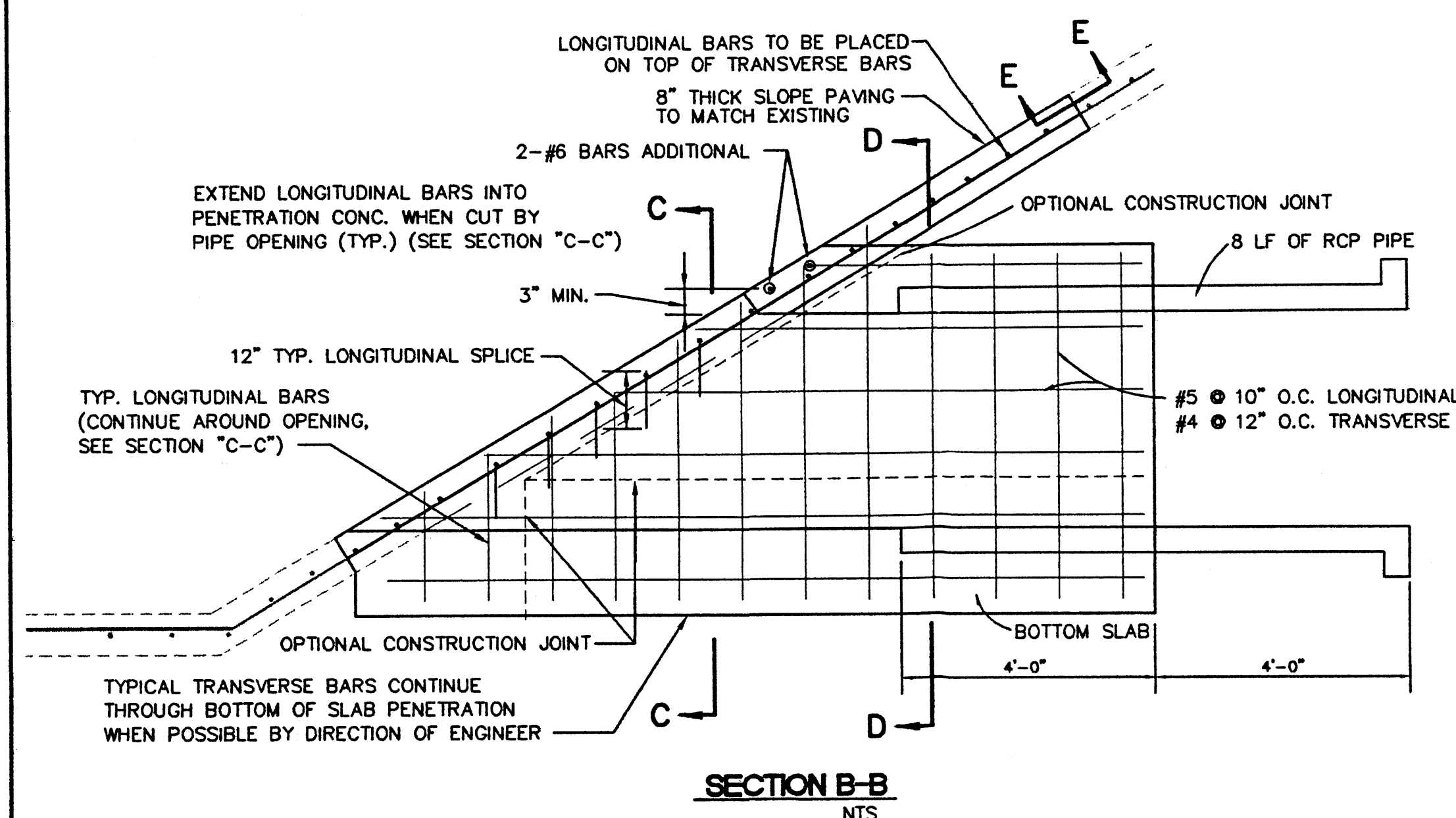
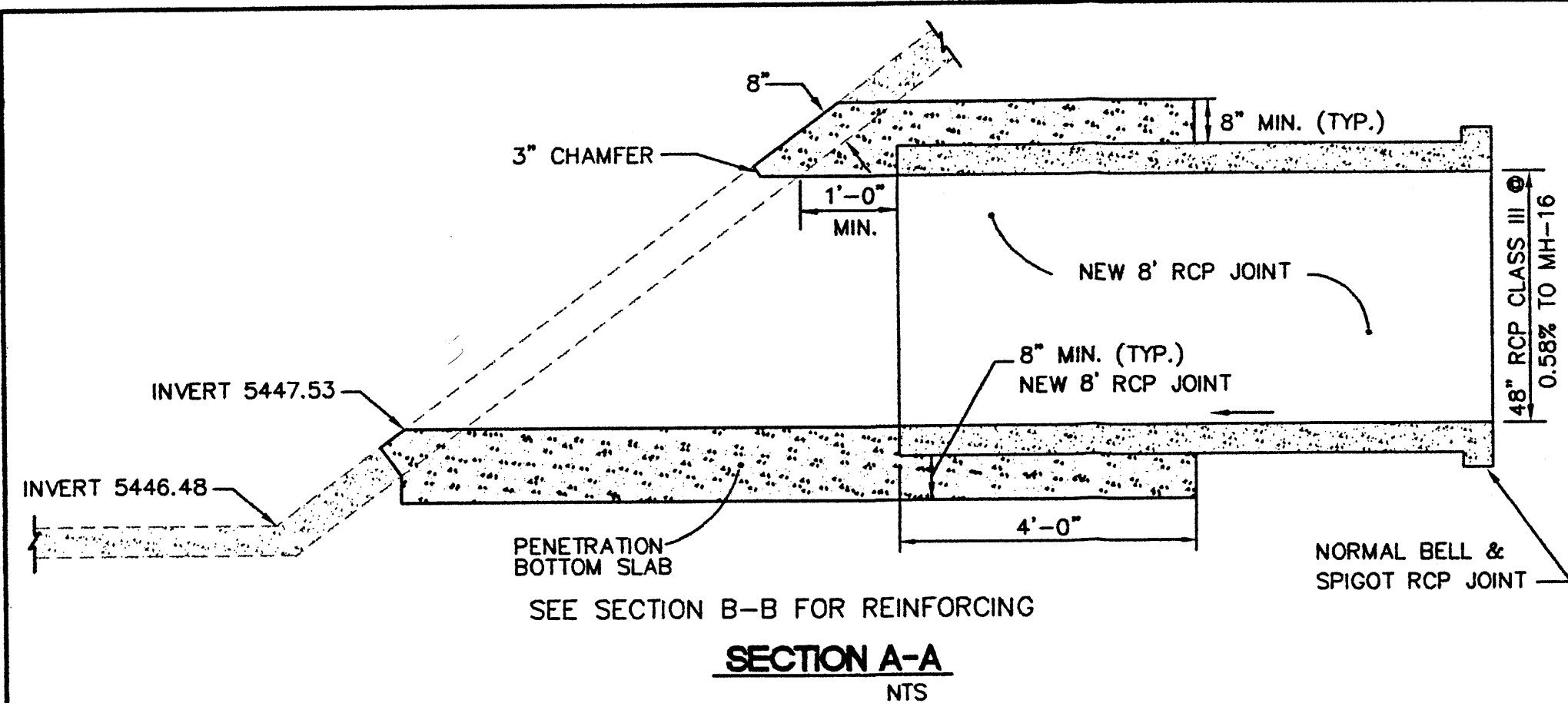
DATE 06-08-01

9929WGR1.DWC

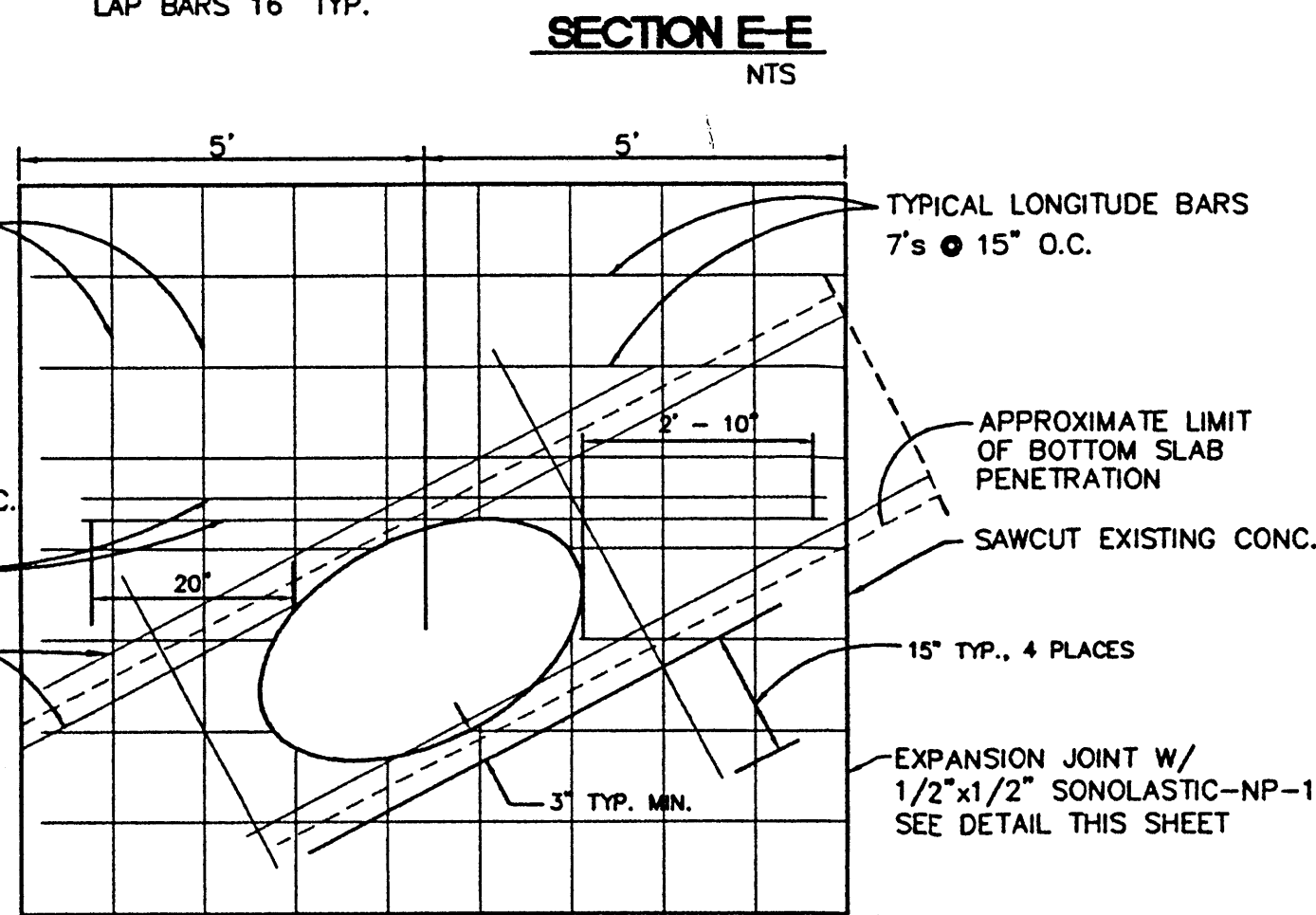
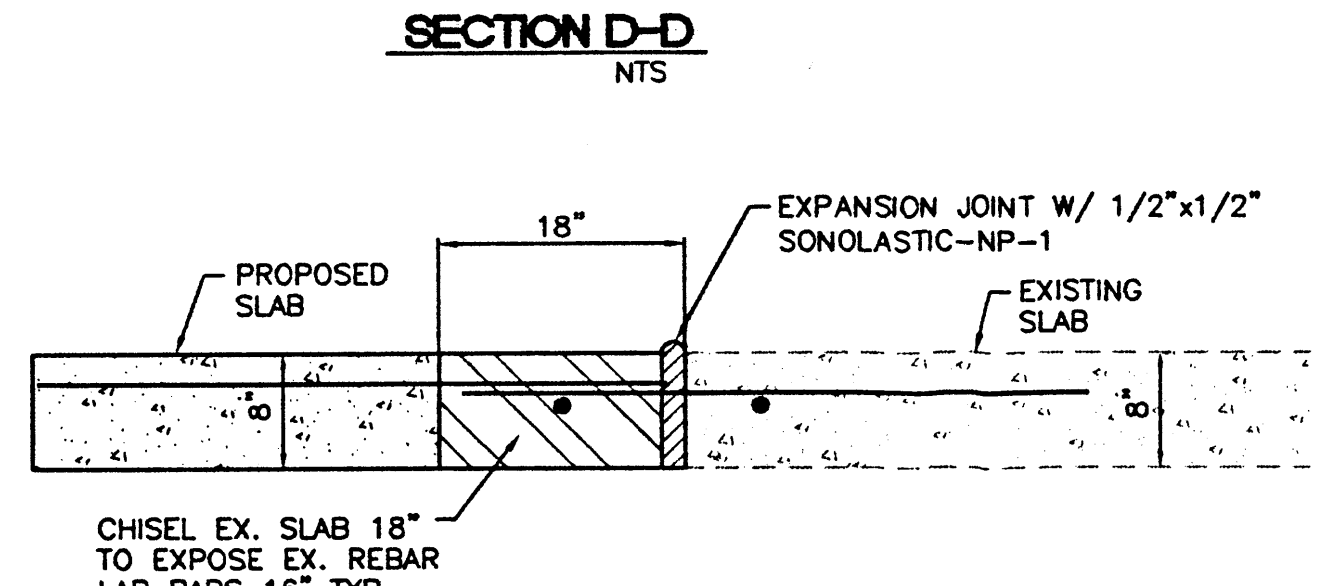
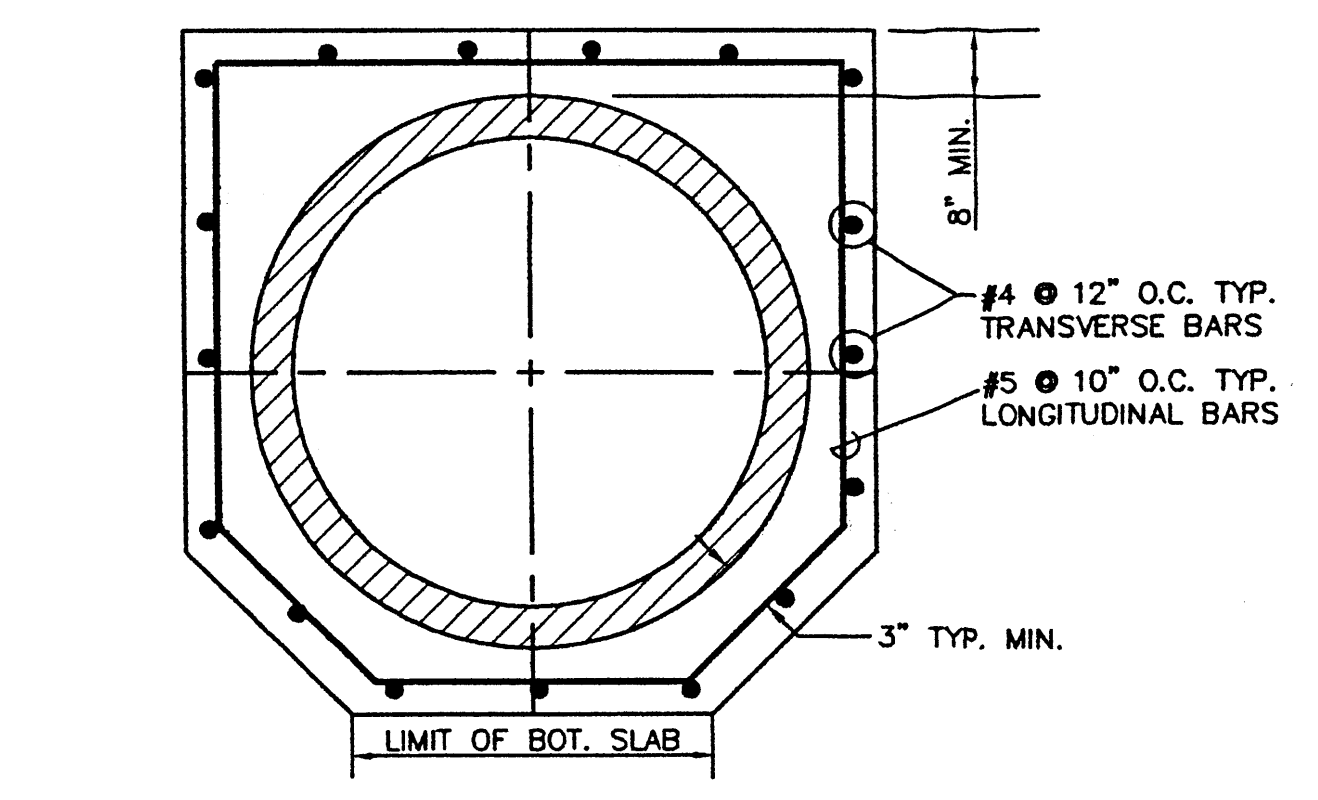
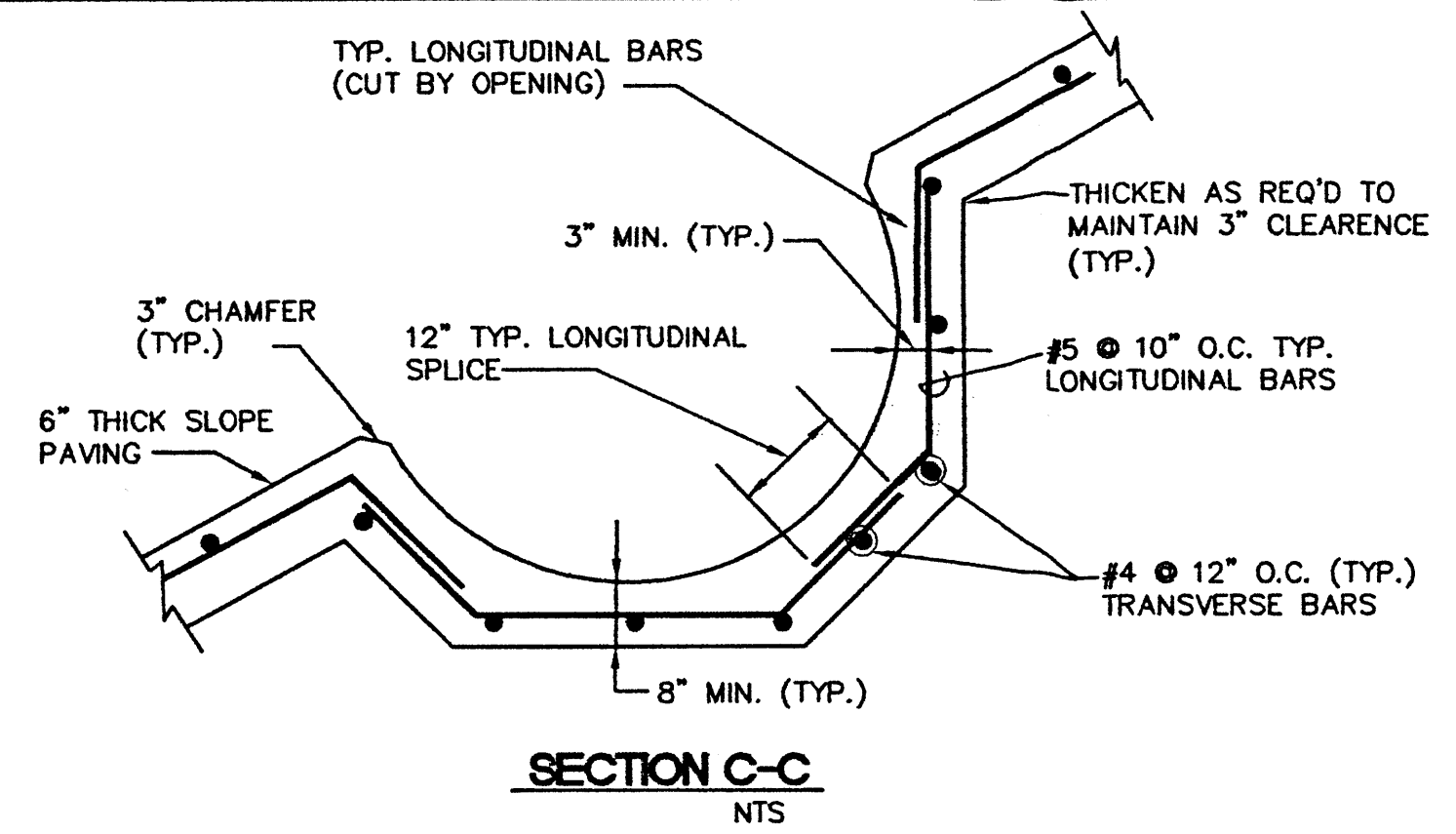
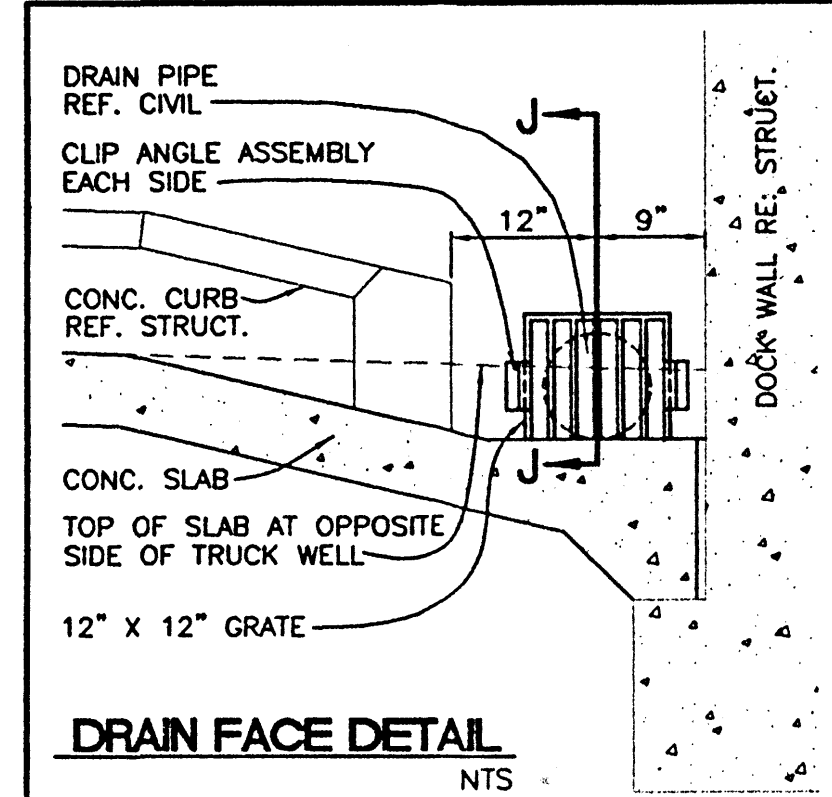
SHEET # **6**

JOB # 990029W



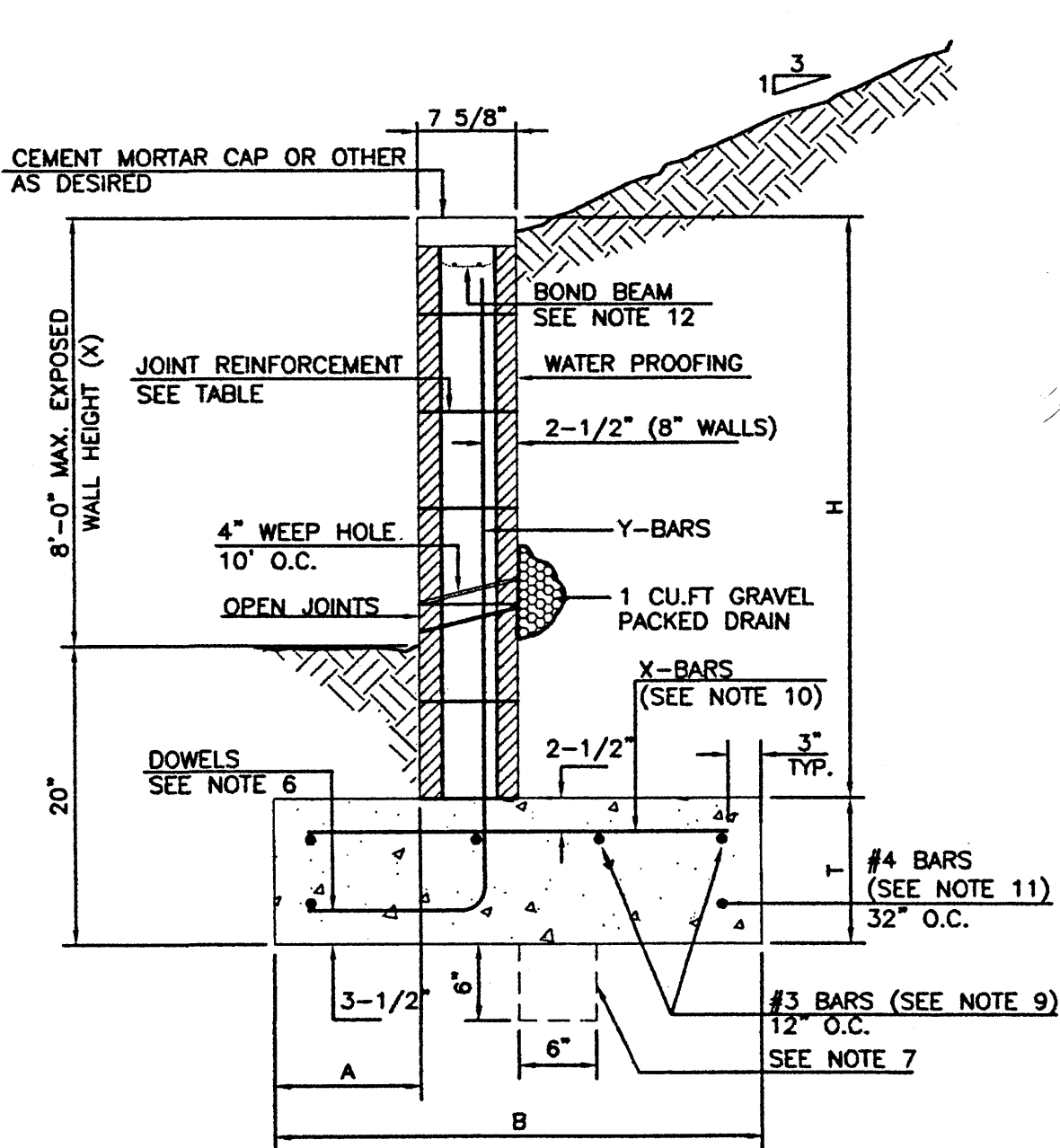
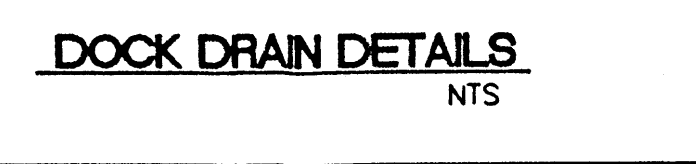
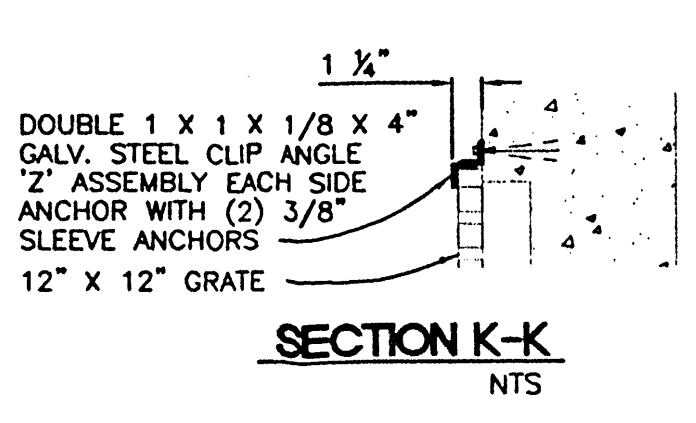
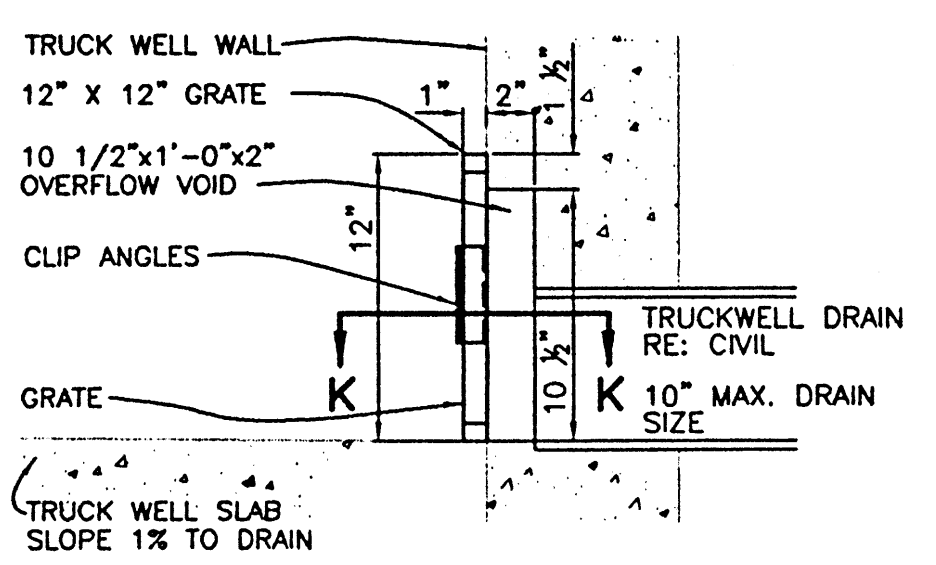


- NOTES:**
- CONCRETE TO BE 4,000 PSI AND STEEL TO BE GRADE 60.
  - ALL SUBGRADE AND BACKFILL PLACED AT 95% MODIFIED PROCTOR. MOISTURE AT OPTIMUM TO PLUS 3% OF OPTIMUM.



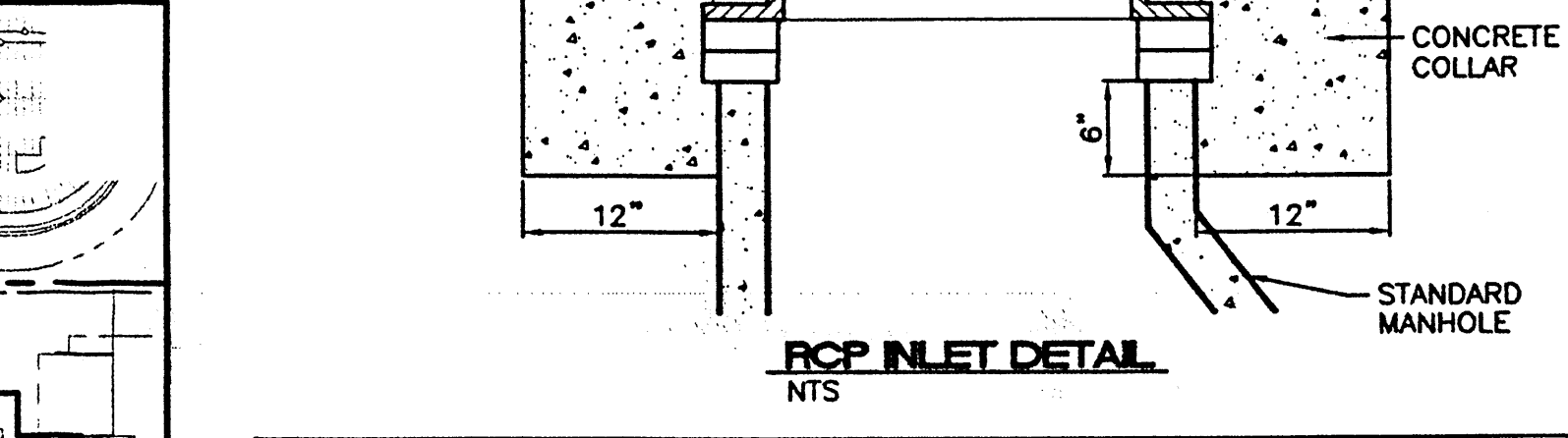
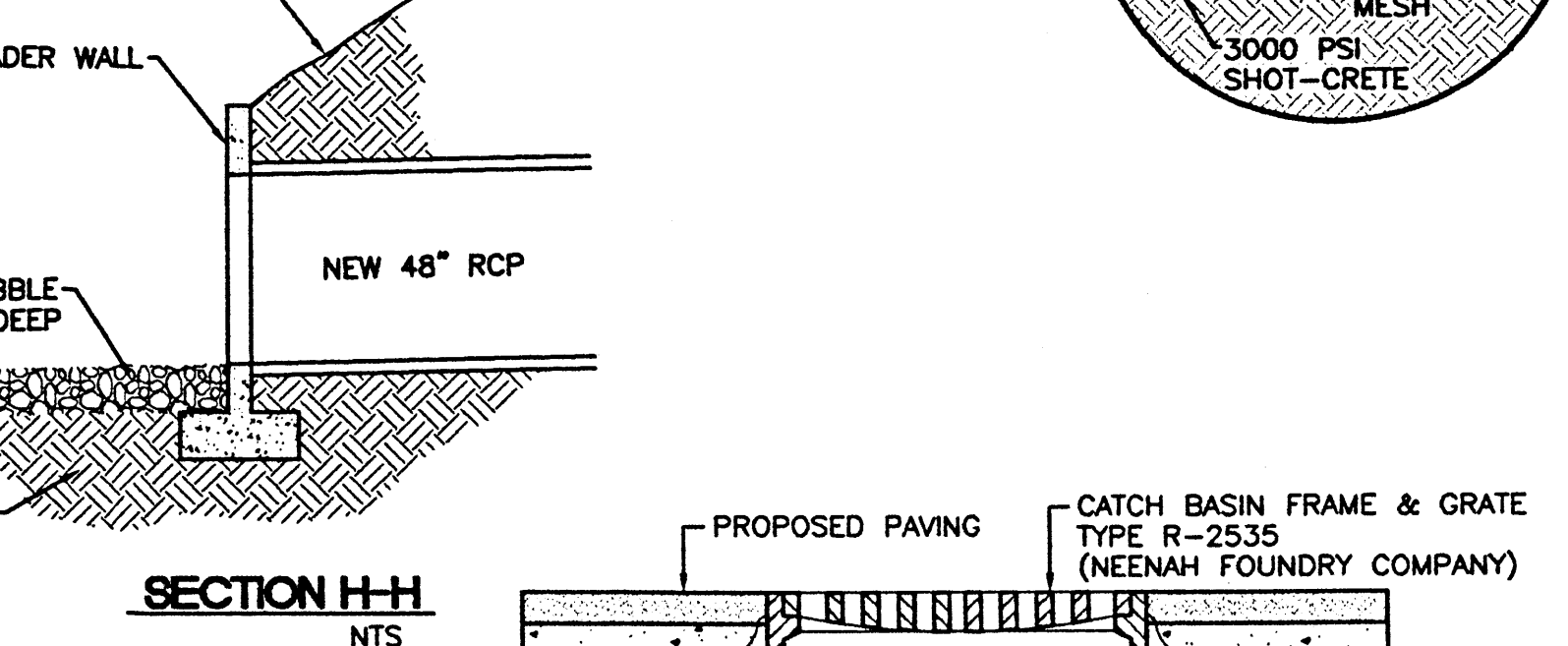
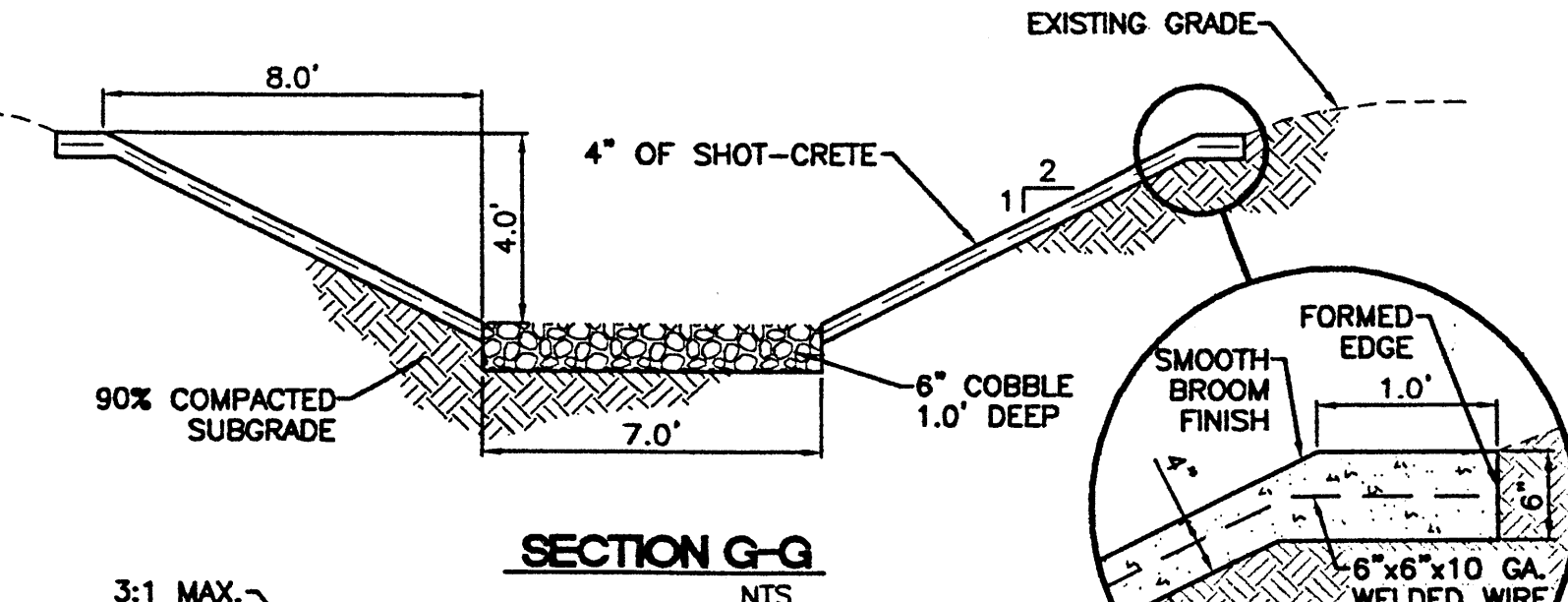
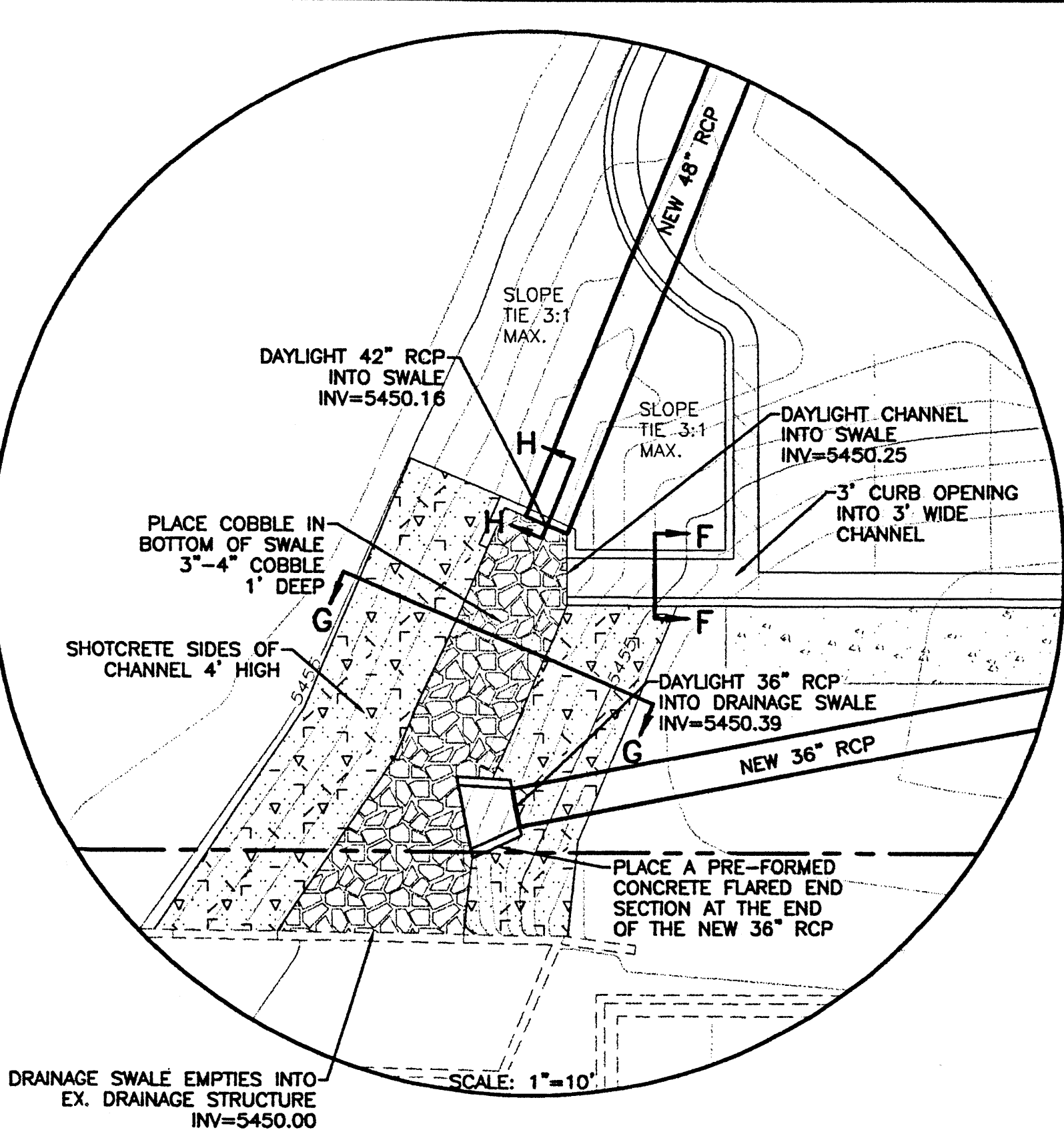
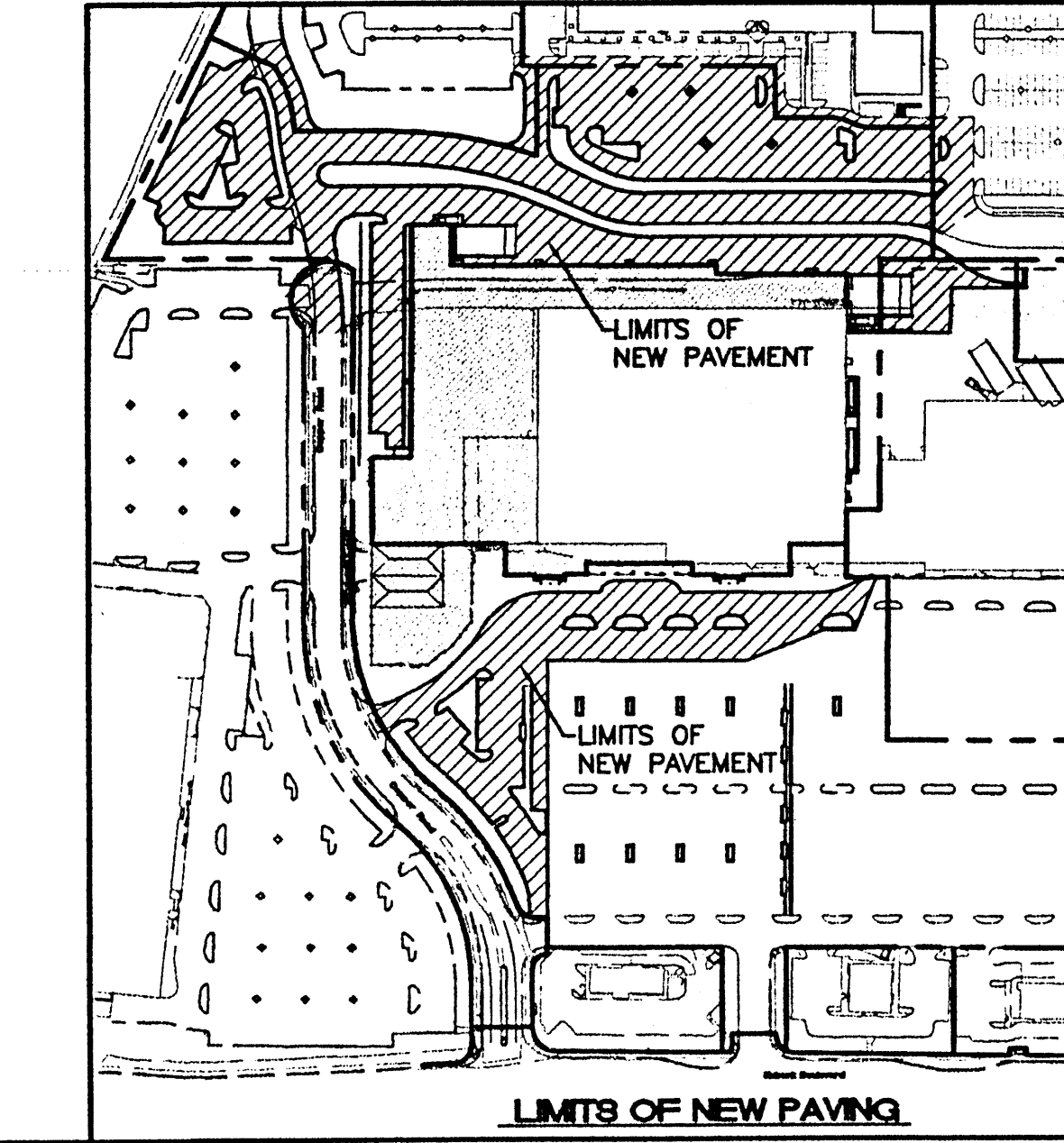
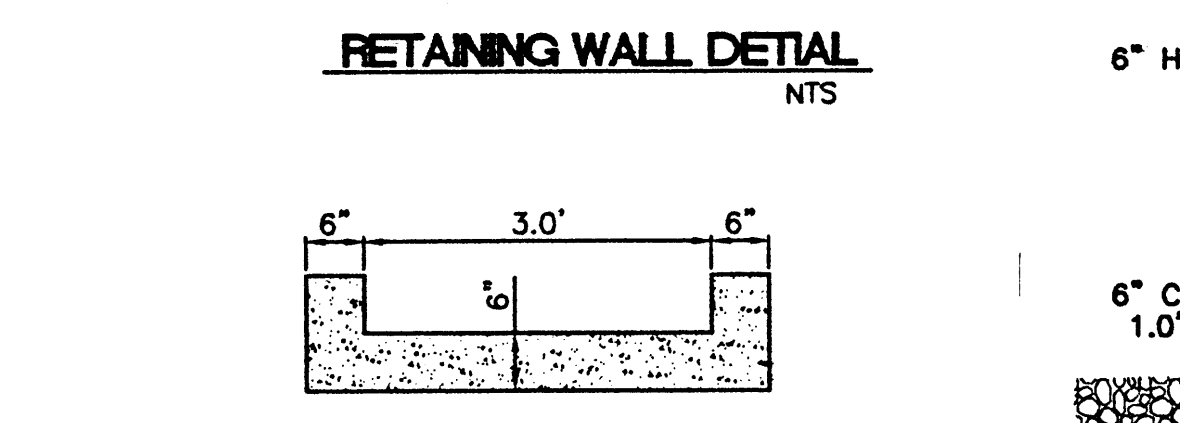
**CONCRETE SPECIFICATIONS:**  
4000 PSI CONCRETE W/4-6% AIR INTRINMENT  
20% FLYASH BY WEIGHT OF CEMENT

**PLAN VIEW OF 48" PIPE PENETRATION**  
NTS



H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-9"	9"	#5 @32" O.C.	#3 @27" O.C.
4'-0"	3'-10"	10"	3'-4"	10"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
  - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE  $\pm 2.0\%$ .
  - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  - ALL BARS ARE TO BE GRADE 60, ASTM 615.
  - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE
  - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
  - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0". USE EITHER EXPANSION JOINTS ON 20" CENTERS OR PILASTERS EVERY 16'.
  - #5 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
  - X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
  - #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
  - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



NO.	DATE	REVISIONS	BY

**ENGINEER'S SEAL**  
RONALD R. BOHANNAN  
P.E. #7868

**ALBUQUERQUE WAL-MART EXPANSION: 835-02**

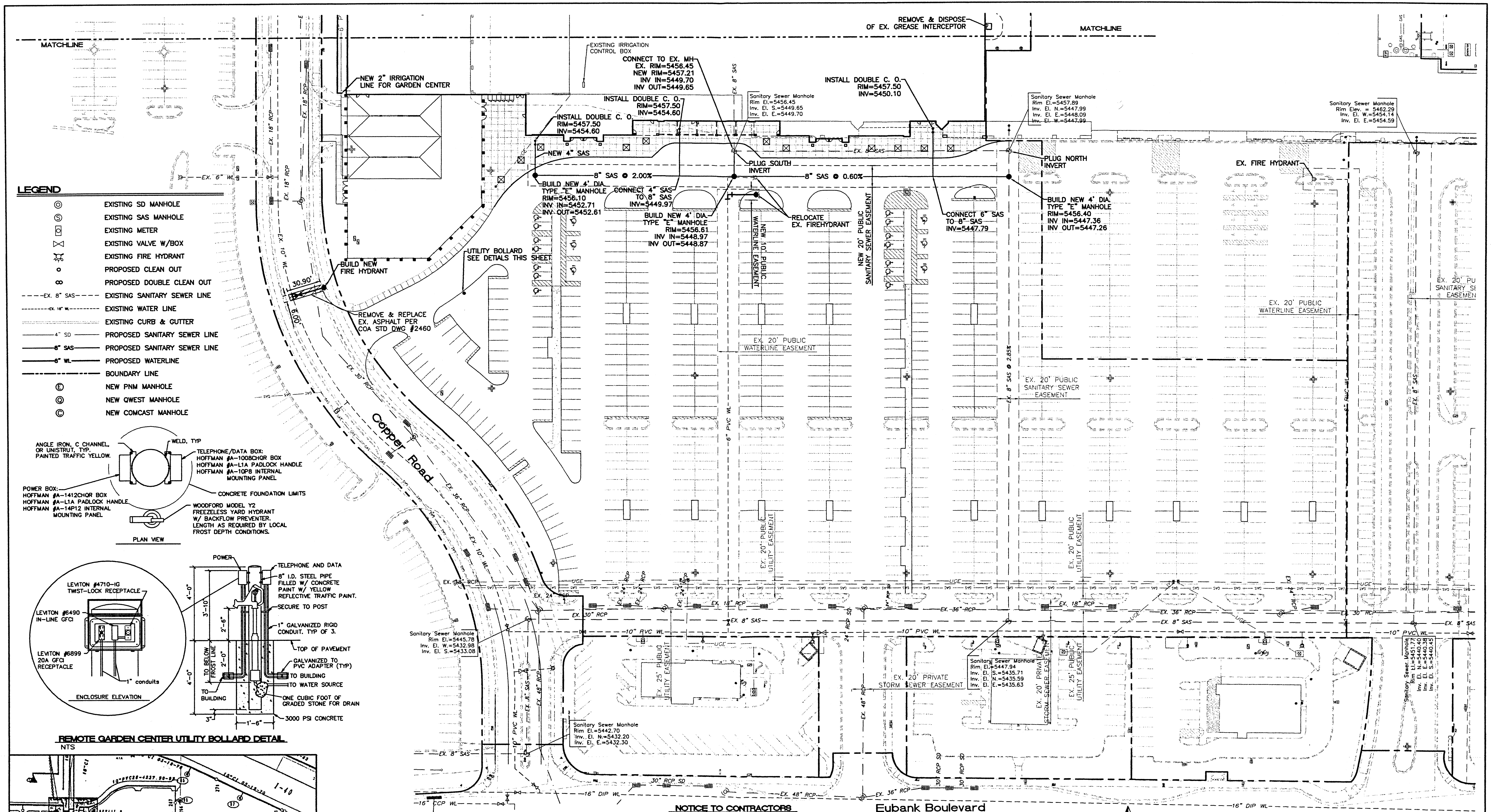
**DETAIL SHEET**

**TIERRA WEST, LLC**  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

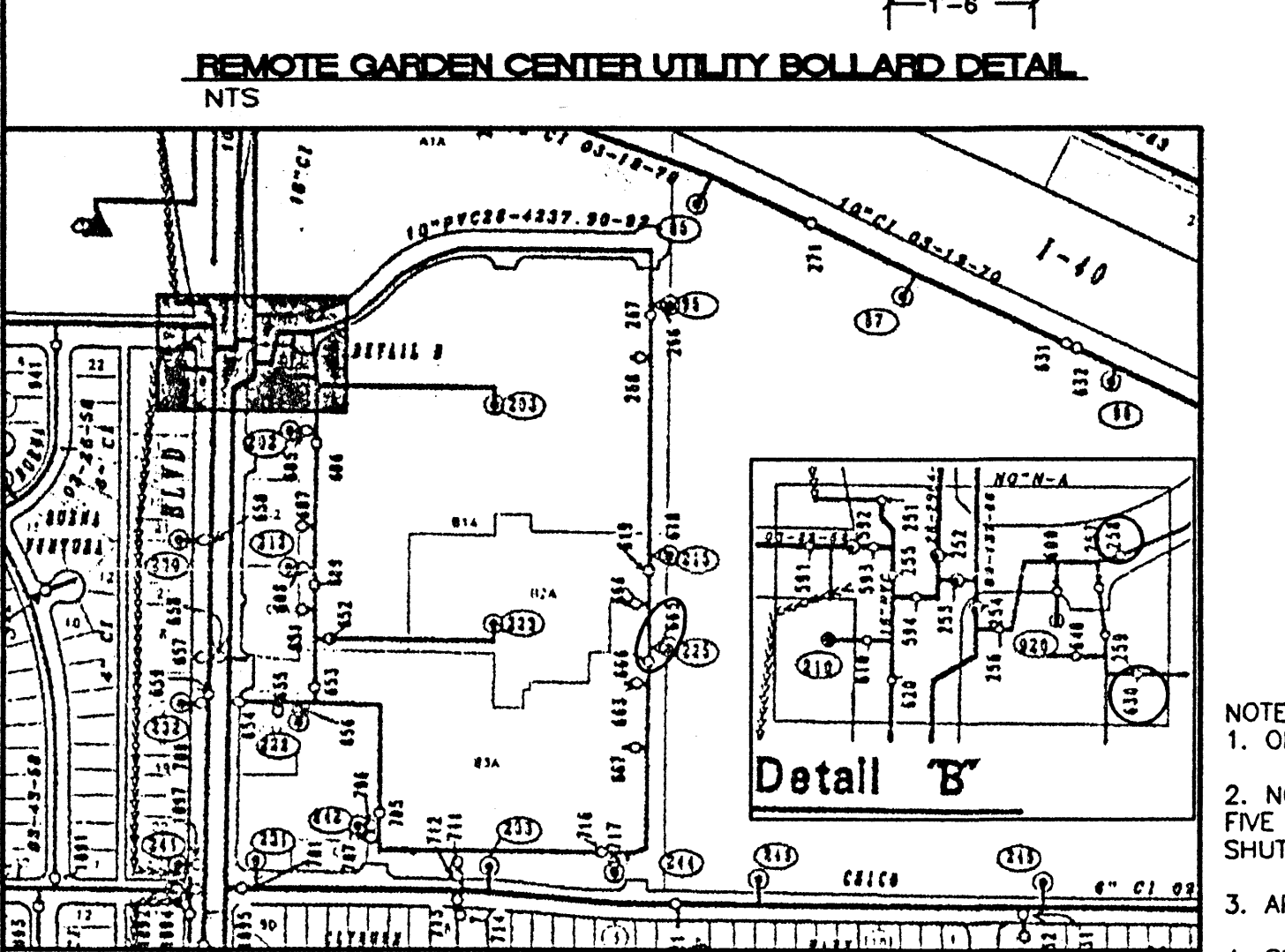
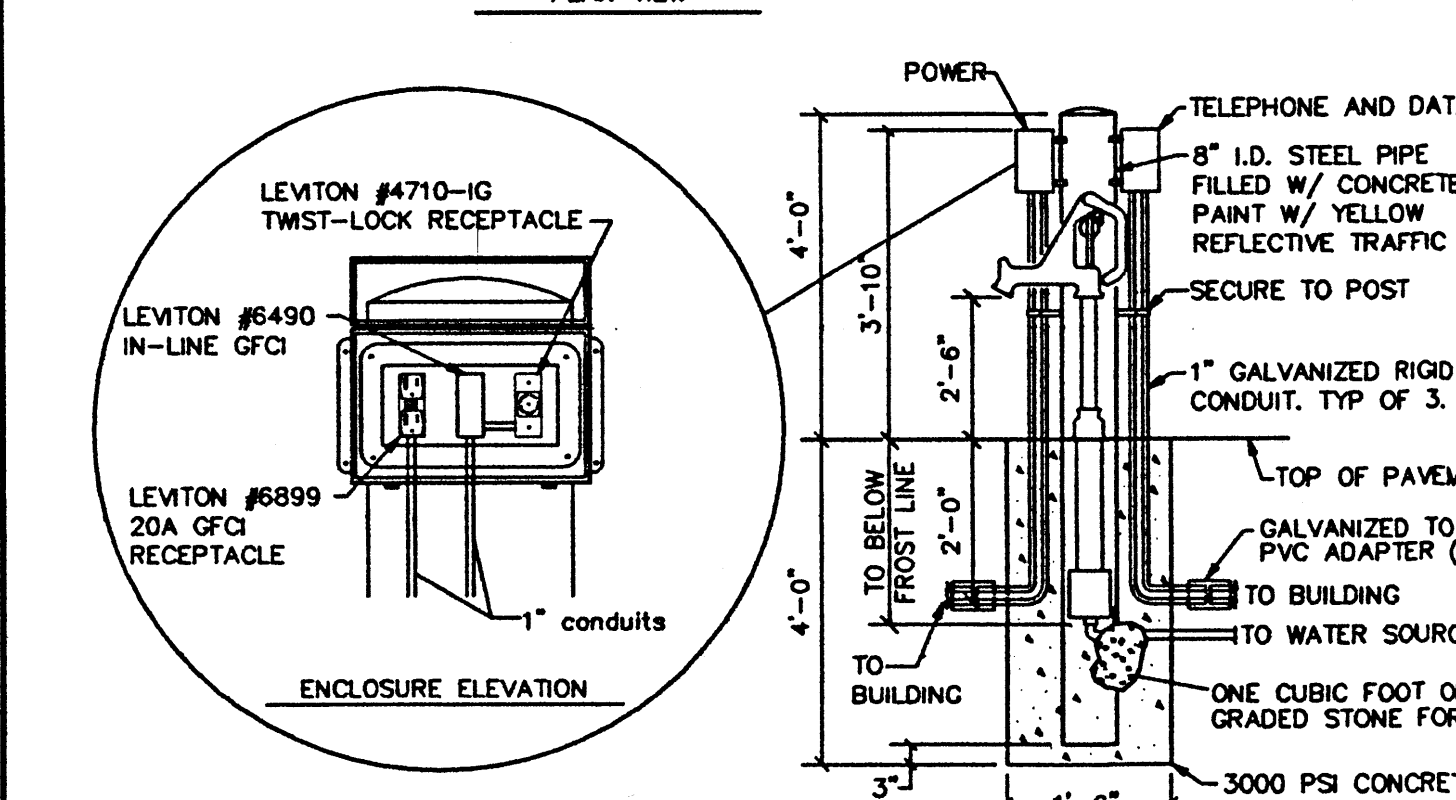
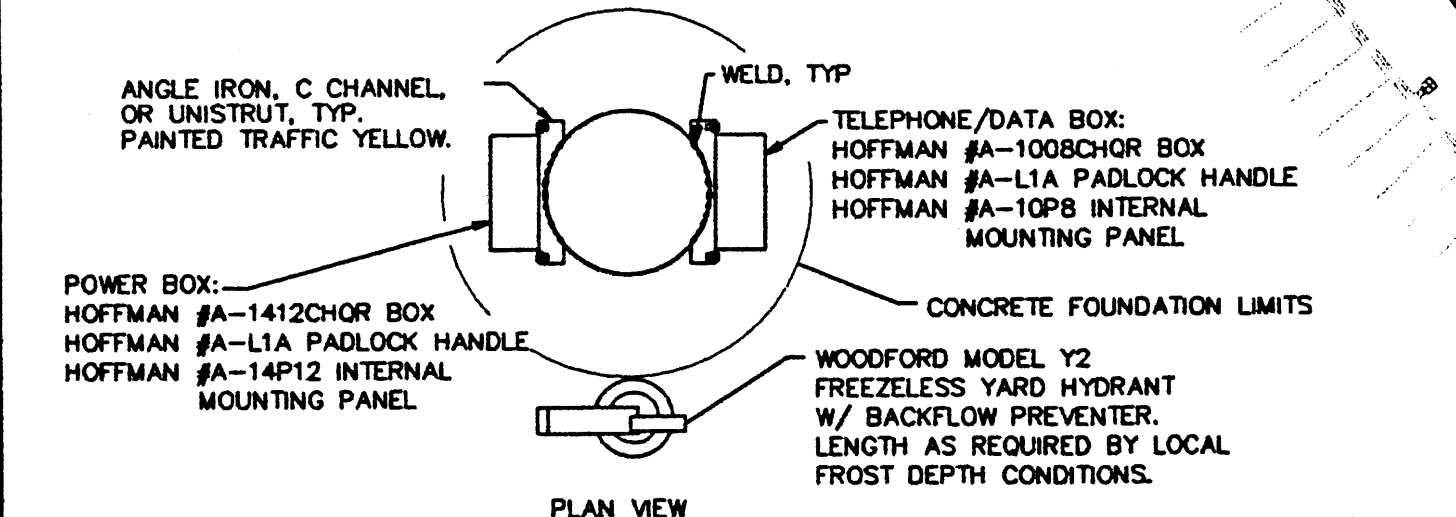
**DRAWN BY** JDN  
**DATE** 04-26-01  
**9929WDET.DWG**

**SHEET #** 7  
**JOB #** 990029W





- LEGEND**
- ⊙ EXISTING SD MANHOLE
  - ⊙ EXISTING SAS MANHOLE
  - ⊙ EXISTING METER
  - ⊙ EXISTING VALVE W/BOX
  - ⊙ EXISTING FIRE HYDRANT
  - PROPOSED CLEAN OUT
  - ⊙ PROPOSED DOUBLE CLEAN OUT
  - - - EX. 8" SAS
  - - - EX. 16" WL
  - - - EXISTING WATER LINE
  - - - EXISTING CURB & GUTTER
  - - - 4" SD
  - - - 6" SAS
  - - - 6" WL
  - - - PROPOSED SANITARY SEWER LINE
  - - - PROPOSED SANITARY SEWER LINE
  - - - PROPOSED WATERLINE
  - - - BOUNDARY LINE
  - ⊙ NEW PNM MANHOLE
  - ⊙ NEW QWEST MANHOLE
  - ⊙ NEW COMCAST MANHOLE



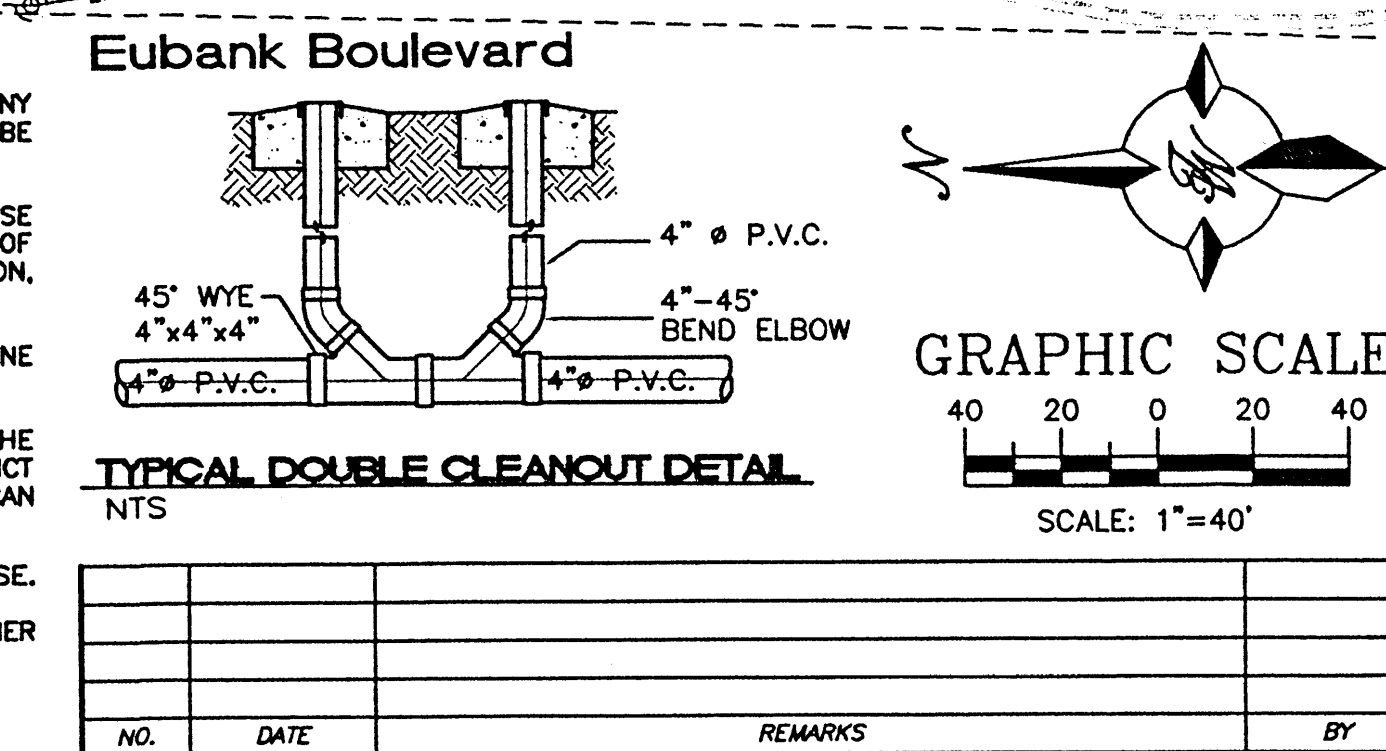
**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

**NOTES:**

- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
- NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
- APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
- SHUTOFF THE VALVES INDICATED IN THE PLAN ON THE LEFT.

**NOTICE TO CONTRACTORS**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING



**ENGINEER'S SEAL**

RONALD R. BOHANNAN  
P.E. #7868

**ALBUQUERQUE WAL-MART EXPANSION: 835-02**

**MASTER UTILITY PLAN SHEET 'A'**

**TERRA WEST, LLC**  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

**DRAWN BY:** JDN  
**DATE:** 06-08-01  
**9929WU.DWG**

**SHEET #**  
**8**

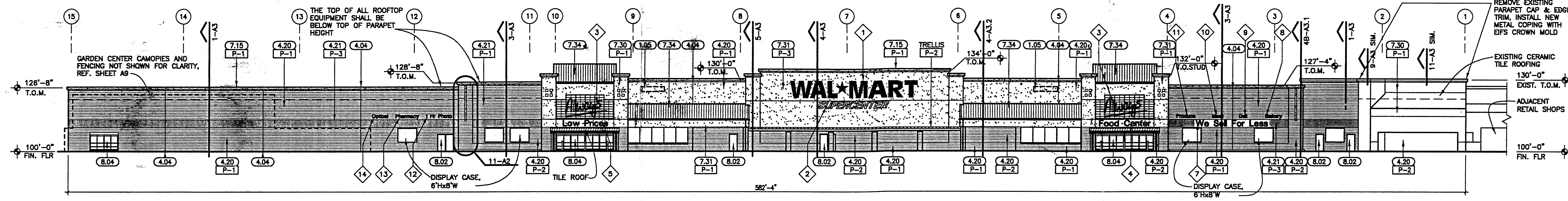
**JOB #**  
**990029W**

NO.	DATE	REMARKS	BY

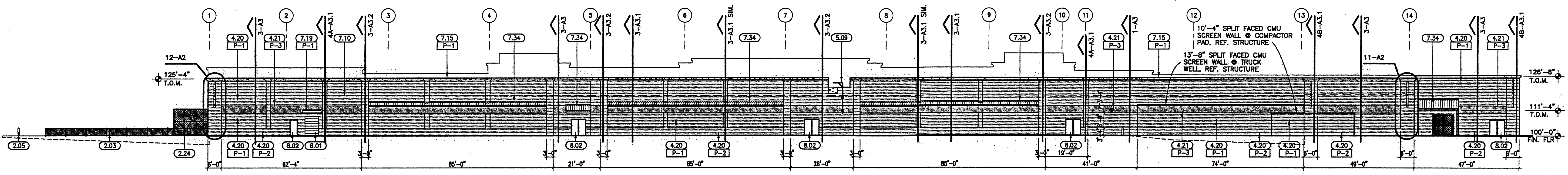




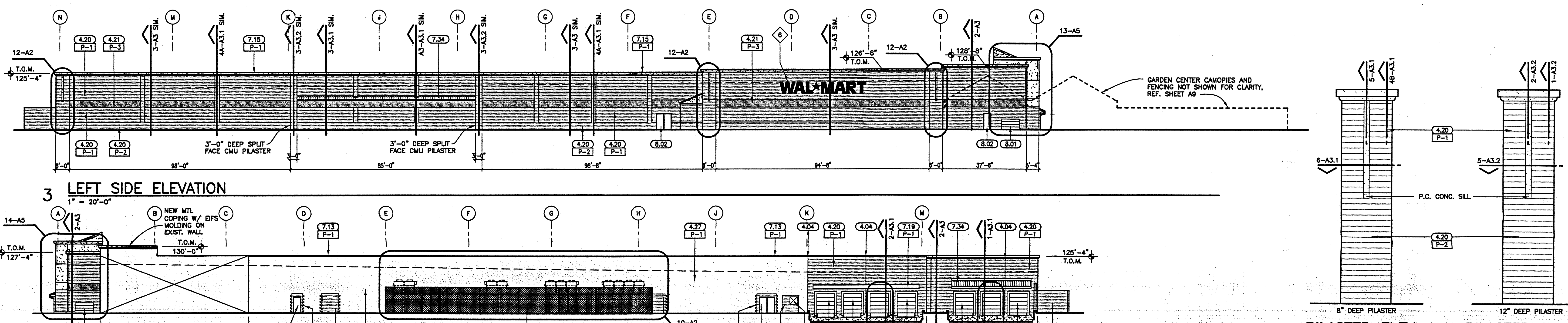




1 FRONT ELEVATION  
1" = 20'-0"



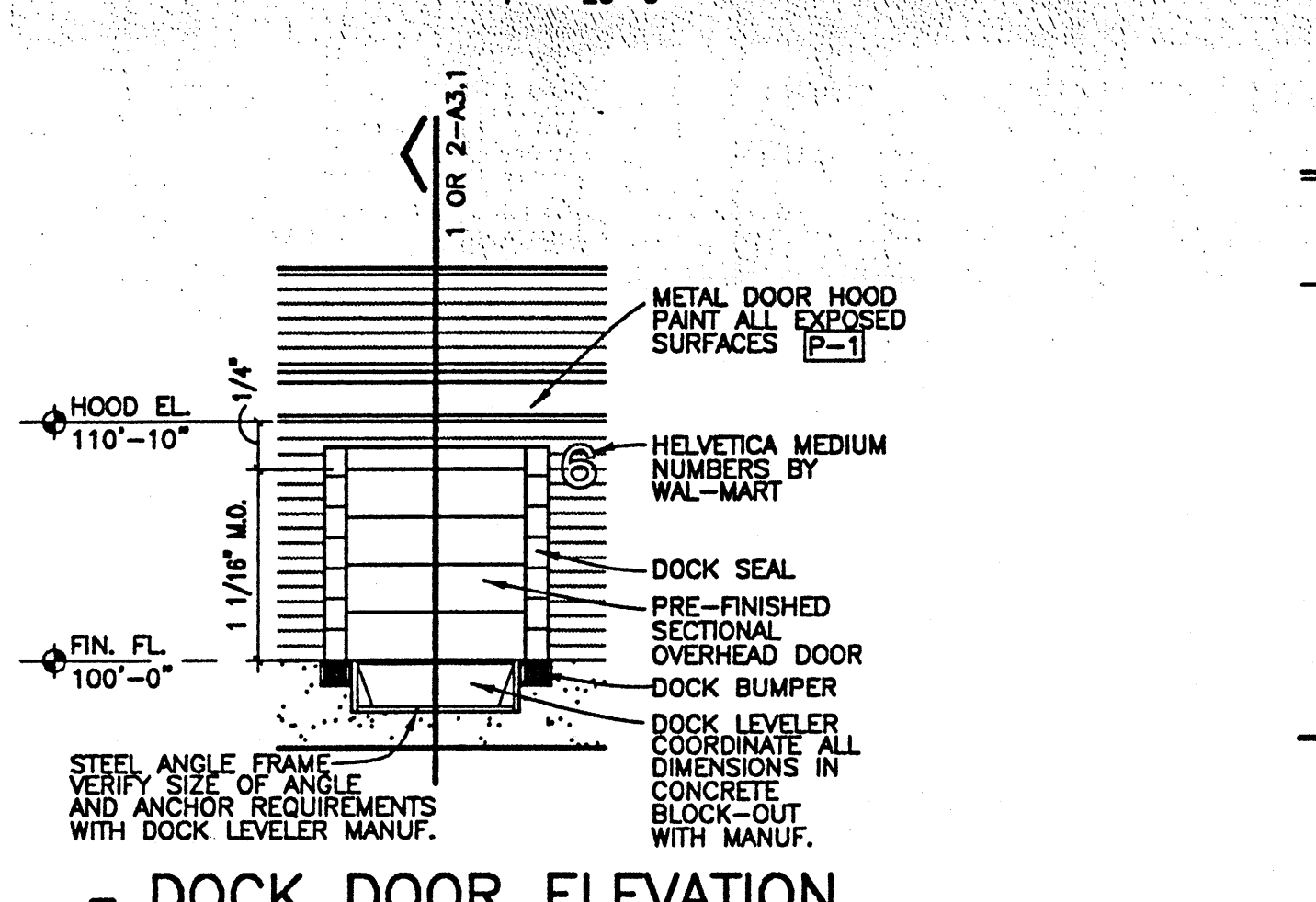
2 REAR ELEVATION  
1" = 20'-0"



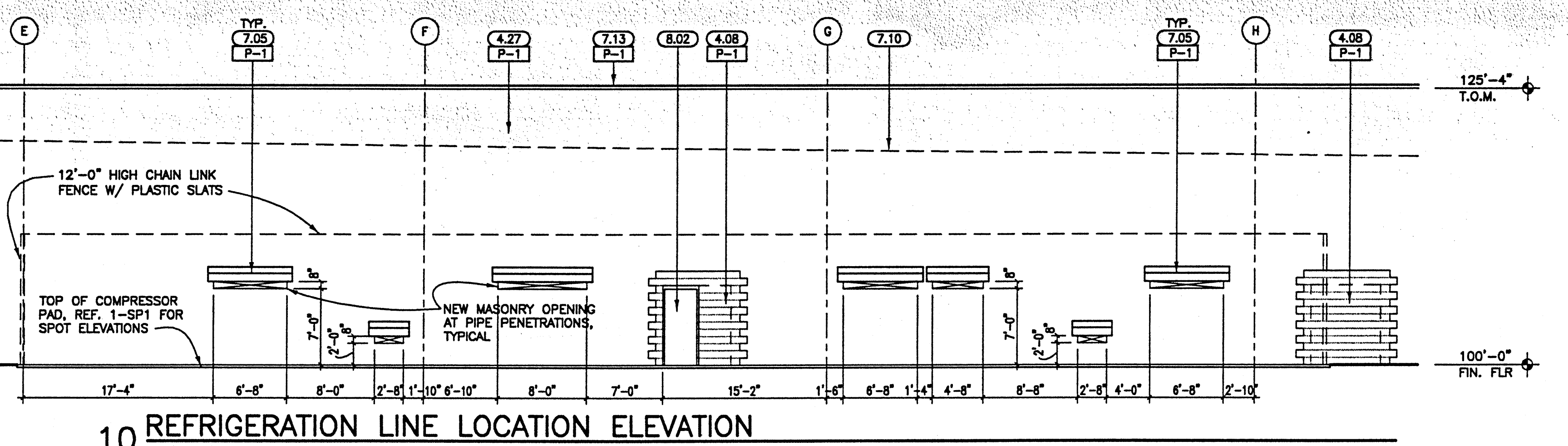
3 LEFT SIDE ELEVATION  
1" = 20'-0"

4 RIGHT SIDE ELEVATION  
1" = 20'-0"

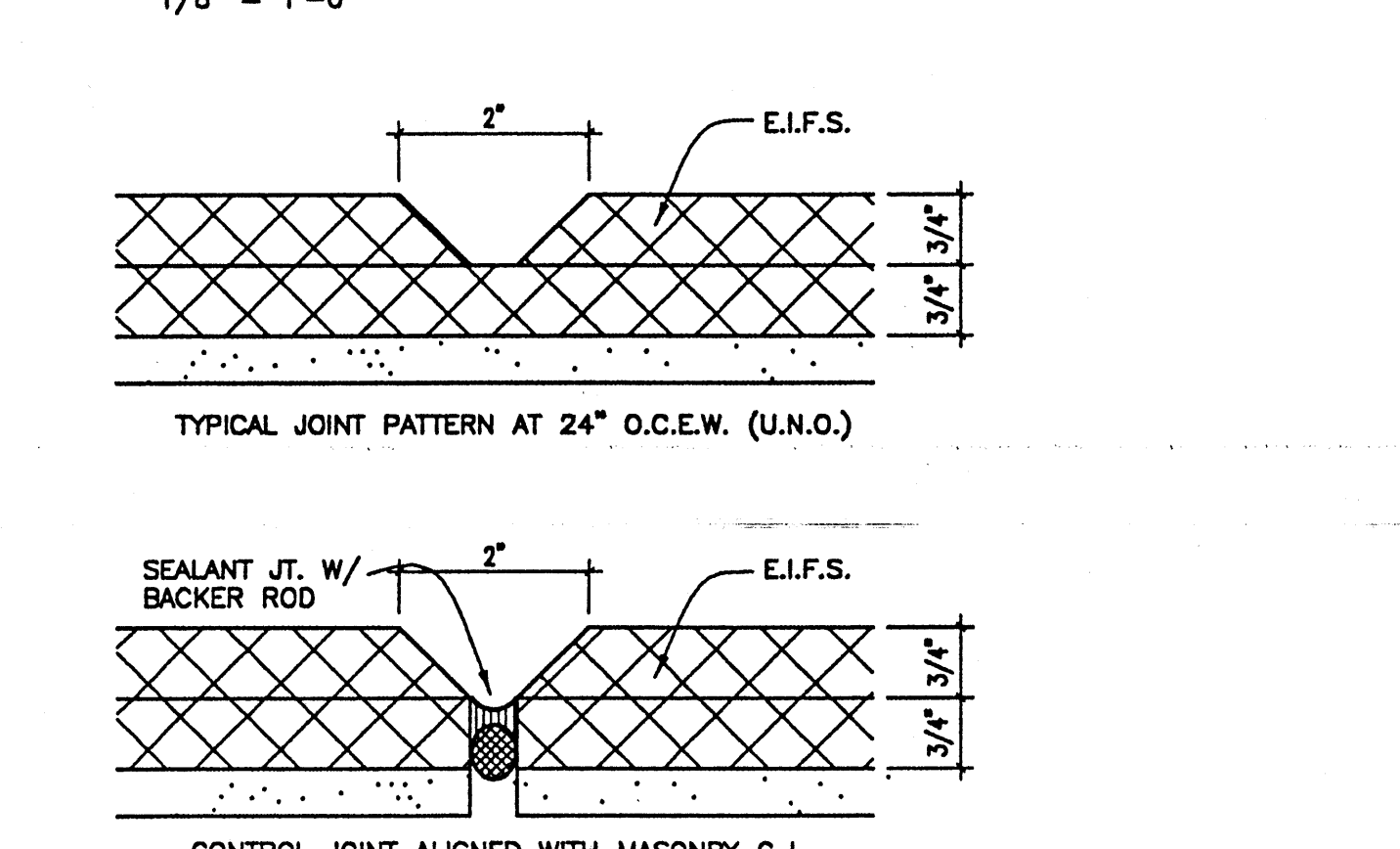
11 PILASTER ELEV. 12 PILASTER ELEV.  
3/16" = 1'-0"



5 DOCK DOOR ELEVATION  
1/8" = 1'-0"

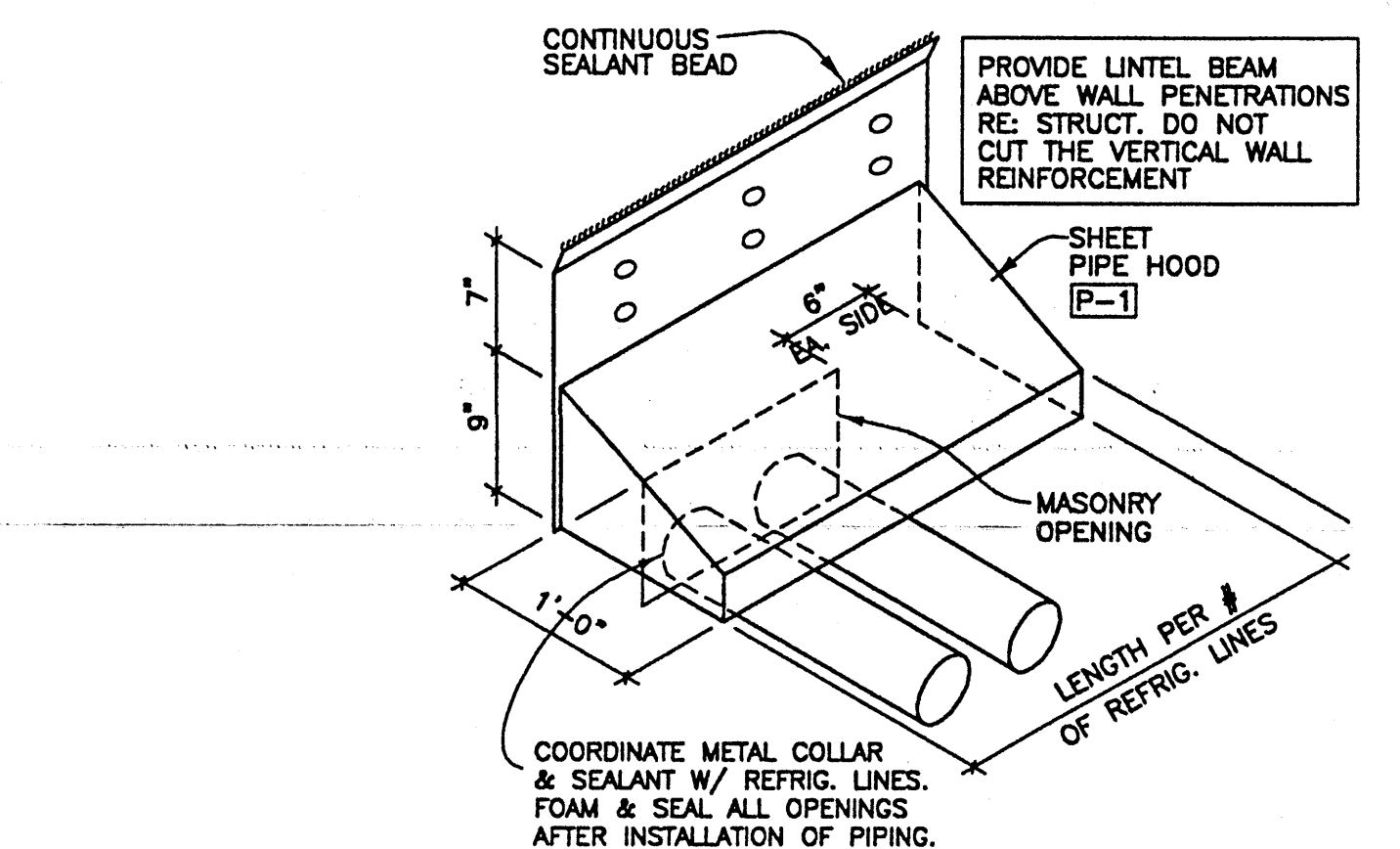


10 REFRIGERATION LINE LOCATION ELEVATION  
1/8" = 1'-0"

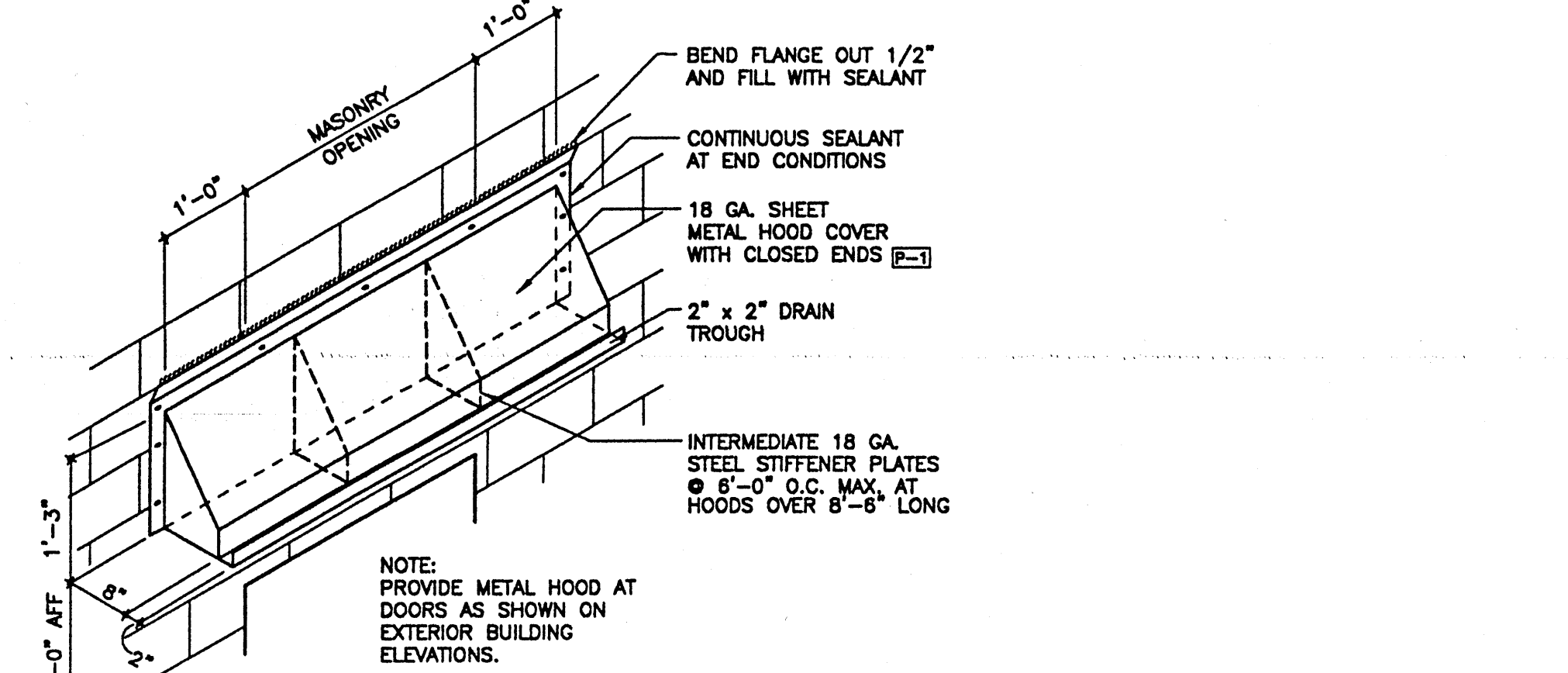


6 E.I.F.S. JOINT DETAILS  
HALF SIZE

7 NOT USED



8 REFRIGERATION LINE HOOD  
N.T.S.



9 DOOR HOOD DETAIL  
N.T.S.

- | KEYNOTES   |   |
|--|---|
| 1.01 SIGNAGE FURNISHED AND INSTALLED BY WAL-MART (TYPICAL).  | 4.08 INFILL EXISTING OPENING WITH NEW CMU, MATCH ADJACENT CMU SIZE, TYPE AND FINISH.  |
| 1.02 EXISTING SIGNAGE TO BE REMOVED BY WAL-MART, CONTRACTOR TO REMOVE ALL REMAINING FASTENING DEVICES AND PATCH WALL TO MATCH ADJACENT WALL. | 4.20 8" SPLIT FACE CMU, PAINT.  |
| 1.03 EXISTING SIGNAGE TO BE REPLACED WITH NEW BY WAL-MART (EXISTING NOT SHOWN).  | 4.21 8" SMOOTH FACE CMU, PAINT.   |
| 1.05 ILLUMINATED TENANT SIGN TO BE MOVED AS INDICATED. TENANT SHALL BE RESPONSIBLE FOR ALL INSTALLATIONS, PERMIT COSTS AND SIGN COSTS.       | 4.27 EXISTING CMU, PAINT.   |
| 2.03 42" HIGH CHAIN LINK FENCE WITH POSTS AT MAX. 9'-0" O.C.   | 4.30 PARAPET AT FRONT WALL BEYOND.  |
| 2.04 11'-0" HIGH CHAIN LINK FENCE WITH PLASTIC SCREENING SLATS INSTALLED VERTICALLY. SLAT COLOR TO MATCH ADJ. BUILDING COLOR.                | 5.09 ROOF ACCESS WITH PARAPET DOOR AND JIB CRANE. REF. 1 & 2 A3.3 JIB CRANE HOIST ASSEMBLY FURNISHED BY WAL-MART & INSTALLED BY CONTRACTOR. |
| 2.05 BOLLARD, REF. 1-SP2.  | 7.05 SHEET STEEL REFRIGERATION LINE HOOD, PAINT. RE: 8-A2   |
| 2.06 BOLLARD, REF. 2-SP2. (FOR REQUIRED PLACEMENT).  | 7.10 ROOF LINE BEYOND PARAPET.  |
| 2.24 12'-0" HIGH CHAIN LINK FENCE WITH PLASTIC SCREENING SLATS INSTALLED VERTICALLY. SLAT COLOR TO MATCH ADJ. BUILDING COLOR.                | 7.11 EXISTING METAL EDGE TRIM, PAINT.   |
| 3.01 CONCRETE RETAINING WALL, CURB AND GUARD RAIL AT TRUCK WELL, REF. 2B-SP2.  | 7.14 METAL EDGE TRIM, PAINT.  |
| 3.04 FOUNDATION, REF. STRUCTURAL.  | 7.15 METAL COPING WITH EPS CROWN MOLD, PAINT.   |
| 3.05 8"x8" CONCRETE CURB, REF. 19-SP2.   | 7.19 METAL DOOR HOOD, REF. 9-A2, PAINT.   |
| 4.03 EXPANSION JOINT (E.J.).   | 7.21 SHEETMETAL HOOD, REF. 1&2-A3.1, PAINT.   |
| 4.04 MASONRY CONTROL JOINT (C.J.), TYPICAL (RE: NOTE 5).   | 7.30 EXISTING EXTERIOR INSULATION FINISH SYSTEM (EIFS).   |
| 4.05 40"x40" MAS. OPENING AT TRASH COMPACTOR, BOTTOM OF OPENING AT 48" A.F.F.  | 7.31 EXTERIOR INSULATION FINISH SYSTEM (EIFS), REF. 6-A2  |
| 4.07 TOOTH IN NEW CMU JAMB UNITS AT NEW OPENING, MATCH ADJACENT CMU.   | 7.32 EXISTING METAL CANOPY.   |
|  | 7.33 METAL CANOPY, RE: STRUCT.  |
|  | 7.34 CERAMIC ROOF TILE (ROYAL BLUE)   |
|  | 7.90 STANDING SEAM METAL ROOF.  |
|  | 8.01 SECTIONAL OVERHEAD DOOR.   |
|  | 8.02 HOLLOW METAL DOOR AND FRAME, PAINT.  |
|  | 8.04 BREAKAWAY SLIDING ALUMINUM ENTRANCE DOORS.   |

- | COLOR SCHEDULE   |   |
|--|---|
| P-1  | MATCH DRYVIT COLOR #12 (SANDLEWOOD BEIGE) |
| P-2  | MATCH SW #1027 (BROWN)                    |
| P-3  | MATCH SW# 1504 (BLUE)                     |
| RE: SPECIFICATIONS FOR ADDITIONAL INFORMATION.   |   |
| GENERAL NOTES  |   |
| 1. ALL SIGNAGE BY WAL-MART.  |   |
| 2. ALL NEW EXTERIOR MASONRY WALLS SHALL BE PAINTED WITH MASONRY WATERPROOF SYSTEM (RE: SPECS.). PAINT COLOR BANDS ON MASONRY (RE: SPECS.). PAINT COLOR BANDS ON E.I.F.S. (RE: SPECS.). PAINT EXISTING WALLS WHERE NOTED. |   |
| 3. PAINT EXISTING EXTERIOR H.M. DOORS, FRAMES, METAL DOOR HOODS, RAILINGS, PIPE COLUMNS, AND EDGE TRIM. MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE.  |   |
| 4. MASONRY CONTROL JOINTS "C.J." MAX. 40'-0" O.C. RE: SHEET A5 FOR ADDITIONAL C.J. CONDITIONS.   |   |
| 5. NEW OPENINGS AT EXISTING CMU WALLS, TOOTH-IN NEW CMU TO MATCH EXISTING. PAINT TO MATCH ADJACENT BUILDING COLOR.   |   |
| 6. PAINT ALL NEW AND EXISTING E.I.F.S.   |   |
| 7. INSTALL SEALANT AT EXTERIOR WALL EXPANSION & CONTROL JOINTS, & APPLY EXT. WALL SPECIAL COATINGS (RE: SPECS.) PRIOR TO INSTALLATION OF GUTTERS & DOWNSPOUTS.   |   |
| 8. CONTRACTOR TO RETAIN SAMPLES OF ALL EXISTING EXTERIOR COLORS AND FINISHES AT START OF CONSTRUCTION. VERIFY THAT NEW COLORS AND FINISHES MATCH EXISTING.   |   |

Raymond Harris & Associates Architects  
211 N. Idaho, Suite 2002  
Boise, Idaho 83725  
Telephone 214/748-0888

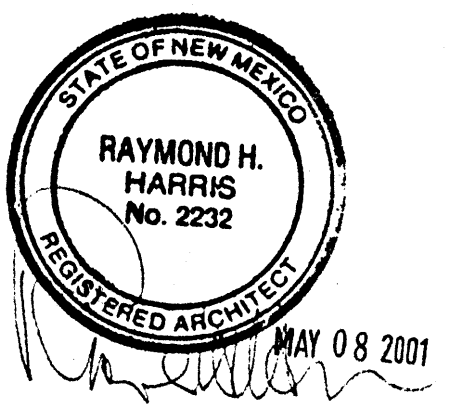
STIPULATION FOR REUSE  
THE DRAWINGS ARE THE PROPERTY OF WAL-MART STORES, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF WAL-MART STORES, INC.

CONSULTANTS:

WAL-MART  
SUPERCENTER  
ALBUQUERQUE, NM  
STORE NO. 835  
JOB NUMBER: 99130A2

ISSUE BLOCK

CHECKED BY:  
DRAWN BY:  
FILE NAME: 99130A2  
PROTO CYCLE: 01-26-01  
MODIFIED DATE: 04-27-01



EXTERIOR ELEVATIONS











**Site Data for Building Purposes**

TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	98,000 SF	10%
HARD SURFACE AREA:	708,585 SF	75%
LANDSCAPED AREA:	138,399 SF	15%

**LANDSCAPE AREA REQUIREMENTS**  
 NET LOT AREA: (943,384 LOT AREA - 98,000 BLDG SF = 845,384 NET LOT AREA)  
 LANDSCAPE REQUIREMENT (15%): 127,108 SF  
 LANDSCAPE PROVIDED: 138,399 SF

**PROPOSED USE:** AMUSEMENT; MOVIE THEATRE

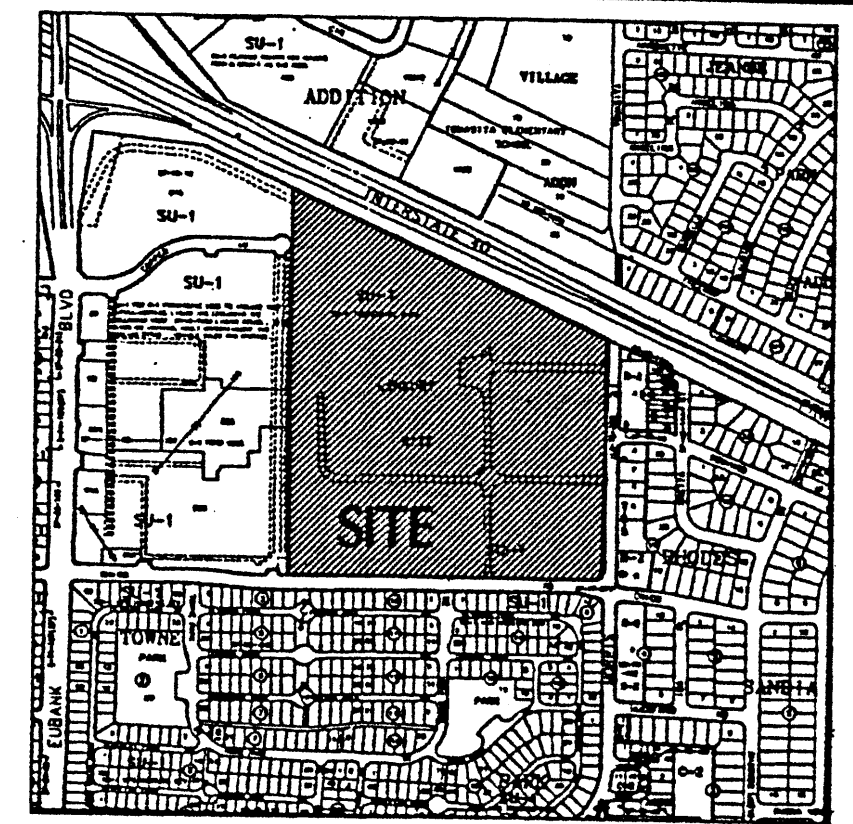
**BUILDING AREAS:** 98,000 SF  
**SEATING AREAS:** 17,200 SF  
**SUPPORT AREAS:** 18,700 SF  
**CIRCULATION SPACE:** 5,400 SF

**TOTAL NET AREA:** 91,500 SF  
**TOTAL GROSS AREA:** 98,000 SF

**PARKING SPACES:**  
 PARKING REQUIRED: 1 PER 4.0 SEATS (4650 SEATS) = 1,213 SPACES  
 PARKING DESIRED: 1 PER 3.0 SEATS (4650 SEATS) = 1,550 SPACES  
 PARKING PROVIDED: 1 PER 3.3 SEATS (4650 SEATS) = 1,441 SPACES

**H.C. PARKING REQUIRED:** 25 SPACES  
**H.C. PARKING PROVIDED:** 27 SPACES

**BICYCLE PARKING:**  
 PARKING REQUIRED: 1:20 REQUIRED FOR AUTOS = 75 SPACES  
 PARKING PROVIDED: 84 SPACES



**Vicinity Map**  
K-21-Z

**Keyed Notes for Building Purposes**

- ASPHALT PAVING.
- 6" CURB TREE PLANTER, TYP.
- 8" WIDE CONCRETE SIDEWALK.
- CONCRETE PAVING.
- ENTRY.
- EXHIBIT REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7.
- LIGHT POLE, TYP. REFER TO ELEVATION 2, SHEET 7.
- NOT USED.
- 30' CLEAR SIGHT TRIANGLE, TYP.
- PEDESTRIAN CROSSING SCORED COLORED CONCRETE.
- H.C. ACCESSIBLE RAMP, TYP.
- LANDSCAPE AREA.
- ONE BACK PARKING FOR 42 EACH SIDE REFER TO ELEVATION 3, SHEET 7.
- 24" TYPICAL STOPPED PARKING SPACE.
- BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
- PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
- SERVICE/DELIVERY AREA.
- TREE GRATES.
- SPEED TABLES, TYP.
- 20' WIDE TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
- 12' WIDE TREELINED PEDESTRIANWAY WITH PARKING AREA.
- CONCRETE PARKING STOPS, TYPICAL.
- WET PAVING SCOURGE VIA COPPER AVENUE.

**General Notes for Building Purposes**

- AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
- AREA LIGHTING SHALL NOT HAVE AN OFF-SHINE LUMINANCE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

**Legend**

- DL1 11" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- DL2 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- DL3 BUILDING MOUNTED LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HPS FIXTURE @ 16' ABOVE GRADE.
- DL4 12" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7.

**CASE NUMBER:**

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE CONDITIONS AND REQUIREMENTS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS AND RECREATION	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE DEVELOPER	DATE
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLUG 1 (10706) 4/98	

ADMINISTRATIVE PLAN AMENDMENT  
 FILE NO. AA-00234  
 0000 01/31/3

**Facility Re-utilization:**

**501 Morris**  
Albuquerque, New Mexico

7/28/98

**Site Plan**

REVISION 10/7/98  
 REVISION 9/22/98  
 REVISION 9/16/98  
 REVISION 9/12/98  
 REVISION 9/2/98  
 REVISION 12/28/98  
 REVISION 8/31/98

ENGINEER'S SEAL	<b>501 MORRIS</b>	DRAWN BY JDN
	<b>ADMINISTRATIVE AMENDMENT</b>	DATE 09-19-00
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	AMENDSP1.DWG
RONALD R. BOHANNAN P.E. #7868		SHEET # 13
		JOB # 990029W

**DRB Submittal for Case Z-98-114:  
IP Master Plan/Site Plan for Subdivision**

**Lot Summary**

Lot No.	Acres	Use	Building SF	F.A.R.	Max. Bldg. Ht.	Min. Building Setbacks
						North South East West
1	12.86	OFFICE/MANUFACTURING	200,000	3.8	40'	75' 20' 20' 20'
2	0.87	RESTAURANT	6,000	1.16	26'	20' 20' 20' 20'
2A	2.47	RESTAURANT	12,000	1.11	26'	20' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	1.10	26'	20' 20' 120' 20'
2C	1.67	RESTAURANT	6,000	1.08	26'	20' 20' 120' 20'
3	21.66	AMUSEMENT	98,000	1.10	72'	40' 120' 120' 20'
4	2.48	OFFICE	30,000	N/A	36'	20' 100' 20' 20'
5A	4.37	RETAIL PARKING	N/A	N/A	N/A	75' 20' 20' 20'
5B	2.82	HOTEL/RESTAURANT	39,000	3.2	84'	75' 20' 20' 20'
<b>Totals</b>	<b>48.09</b>		<b>365,000</b>	<b>1.17</b>		

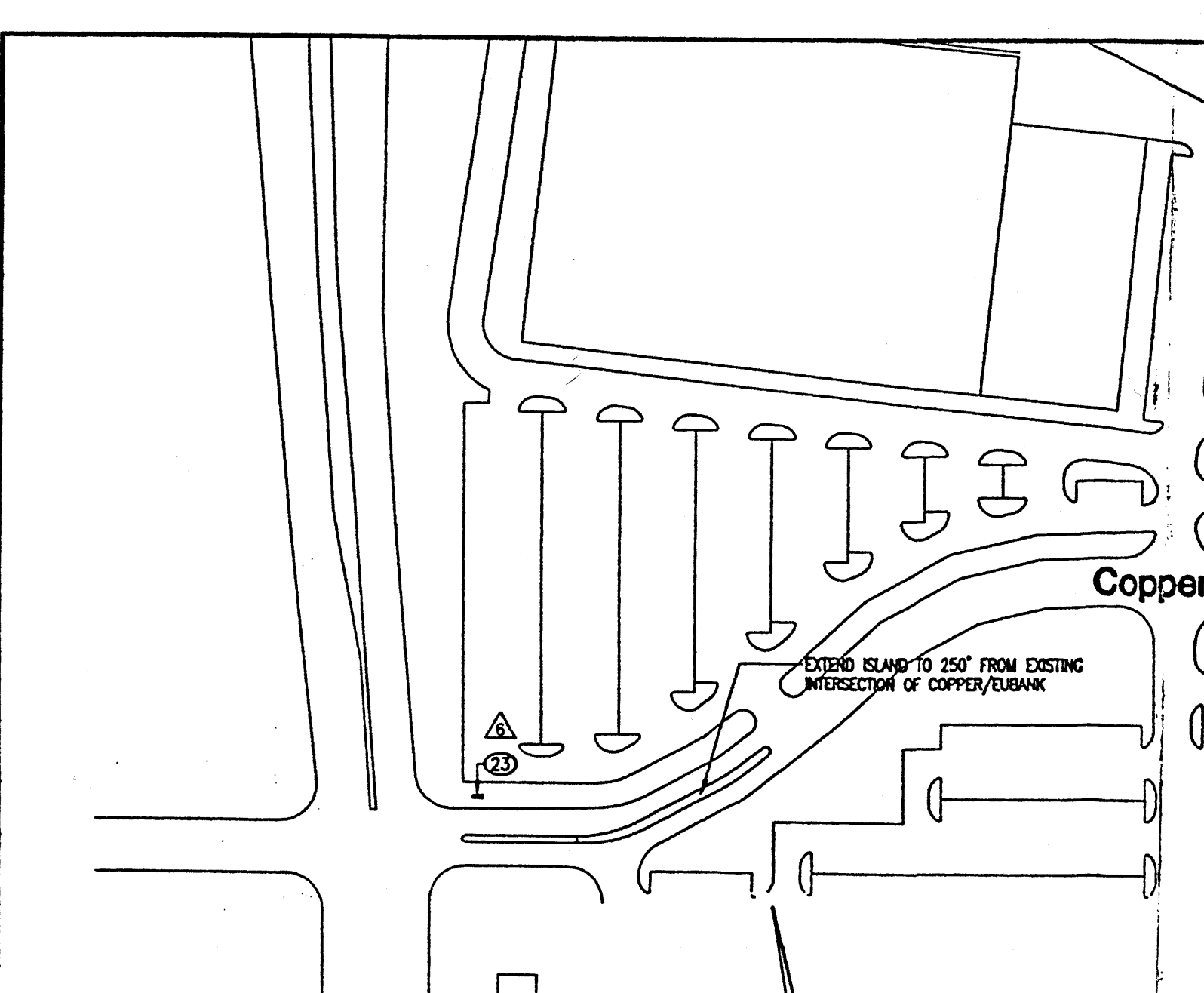
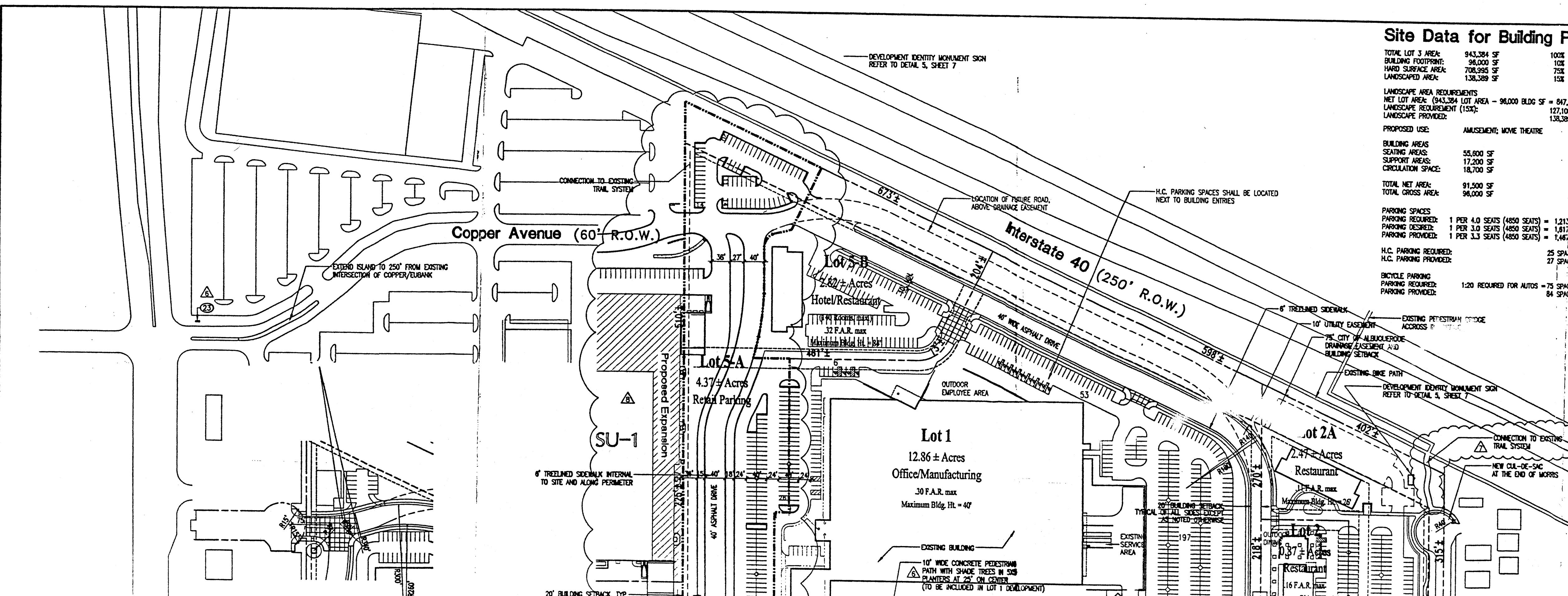
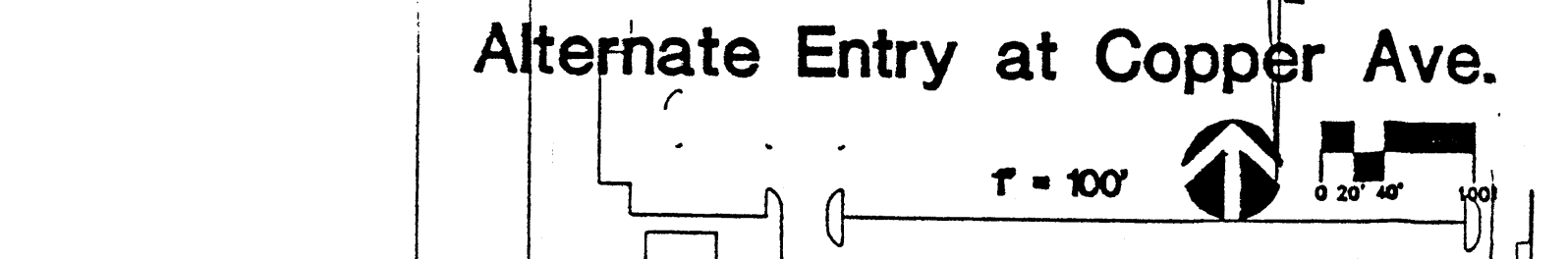
**Legal Description**  
 BEING A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWNE PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REPLAY OF TOWNE PARK PLAZA, ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40; ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

**Existing Zoning**  
 TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

**Subdivision Concept**  
 THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

**Land Utilization**  
 LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE ON CONDITIONAL USES UNDER THE ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A FAR OF 0.15.

- GENERAL NOTES**
- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FLUGITIVE LIGHT.
  - ALL INTERNAL STREET CURBS RISE TO BE 2" MIN. PER OPA STANDARDS.
  - DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO OPA STANDARDS.
  - LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 30 FEET OF A TREE TRUNK.
  - ALL H.C. RAMP AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
  - SHADE OF WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
  - RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
  - NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
  - LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOWBOX FIXTURE.
  - THERE SHALL BE 30' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
  - PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
  - SCOURGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
  - NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
  - AN IF HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
  - NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THE PLAN SHALL BE ALLOWED ONTO CHICO OR MORRIS STREETS.
  - NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
  - ADDITIONAL SCOURGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SCOURGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 3 SHALL HAVE LETTERS OF 3" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 3 SHALL HAVE LETTERS OF 4" HIGH, MAX.
  - THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
  - NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
  - UP LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
  - POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
  - RETRACTABLE SIGNAGE SHALL NOT BE PERMITTED. (CONDITION 4)
  - CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 5)
  - RETRACTABLE SIGNAGE SHALL BE PERMITTED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET WITHIN EACH ESTABLISHMENT. (CONDITION 6)
  - MAXIMUM LETTER SIZE ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: FACES LESS THAN 10,000 SF - MAXIMUM LETTER SIZE 3" MAX. FACES 10,000 SF - 4" MAX. FACES GREATER THAN 10,000 SF - 4" MAX.
  - BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 8)
  - THE PARKING ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MINIMUM AS SPECIFIED IN THE ZONING ORDINANCE. (CONDITION 13)
  - STREET TREES ALONG CHICO AND MORRIS SHALL BE SPECIMENS, 3 1/2" CALIPER, MIN. (CONDITION 14)
  - ALL HVAC UNITS WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 16)
  - ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PADS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE CITY OF ALBUQUERQUE PRIOR TO ANY FUTURE DEVELOPMENT ON THE SITE WITH THE EXCEPTION OF LOT 2C. (CONDITION 17)
  - LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
  - CONNECTION TO THE EXISTING BIKE TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

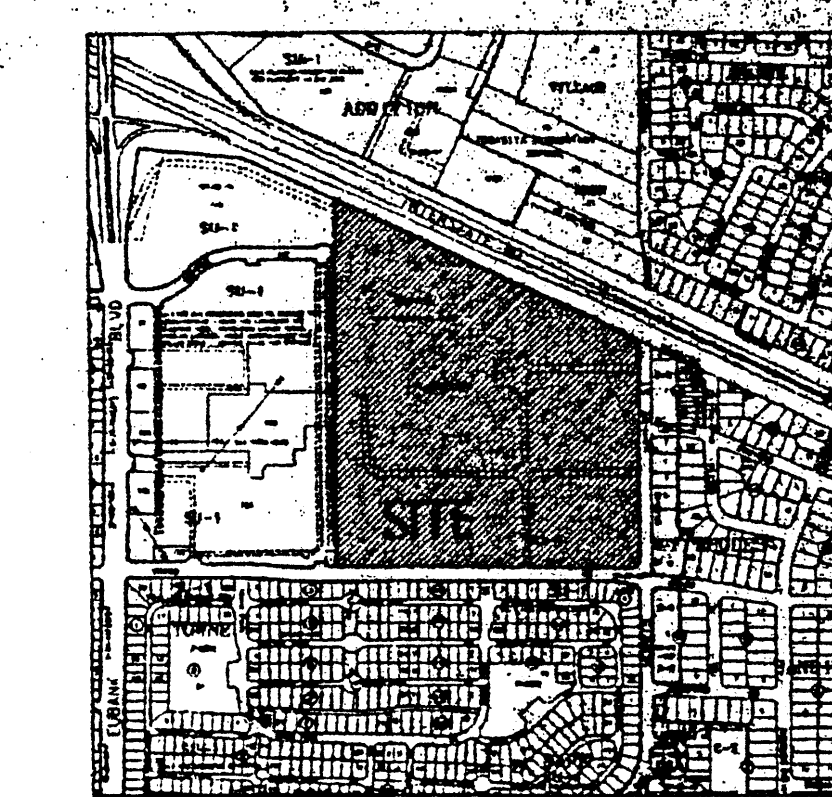




### Alternate Entry at Copper Ave.

### Site Data for Building Purposes

TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
LANDSCAPED AREA:	138,389 SF	15%
LANDSCAPE AREA REQUIREMENTS:		
NET LOT AREA (943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)	847,384 SF	122,108 SF
LANDSCAPE REQUIREMENT (15%)	127,108 SF	138,389 SF
LANDSCAPE PROVIDED:		
PROPOSED USE:	AMUSEMENT, MOVIE THEATRE	
BUILDING AREA:	96,000 SF	
SEATING AREAS:	17,200 SF	
SUPPORT AREAS:	16,700 SF	
CIRCULATION SPACE:	16,700 SF	
TOTAL NET AREA:	91,500 SF	
TOTAL GROSS AREA:	96,000 SF	
PARKING SPACES:		
PARKING REQUIRED:	1 PER 4.0 SEATS (4850 SEATS) = 1,213 SPACES	
PARKING PROVIDED:	1 PER 3.0 SEATS (4850 SEATS) = 1,617 SPACES	
PARKING PROVIDED:	1 PER 3.3 SEATS (4850 SEATS) = 1,467 SPACES	
H.C. PARKING REQUIRED:	25 SPACES	
H.C. PARKING PROVIDED:	27 SPACES	
BICYCLE PARKING:		
PARKING REQUIRED:	1:20 REQUIRED FOR AUTOS = 75 SPACES	
PARKING PROVIDED:	84 SPACES	



### Vicinity Map

### Keyed Notes for Building Purposes

1. ASPHALT PAVING.
2. 6" CURB TREE PLANTER, TYP.
3. 6" WIDE CONCRETE SIDEWALK.
4. CONCRETE PAVING.
5. CONCRETE PAVING.
6. EARTHMOBILE REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7.
7. LIGHT POLE, TYP. REFER TO ELEVATION 2, SHEET 7.
8. NOT USED.
9. 30" CLEAR SIGN TRIANGLE, TYP.
10. PEDESTRIAN CROSSING, SQUARE COLORED CONCRETE.
11. H.C. ACCESSIBLE RAMP, TYP.
12. LANDSCAPE AREA.
13. BRIC BACK PARKING FOR 42 EACH SIDE, REFER TO ELEVATION 3, SHEET 7.
14. 8'x20' TYPICAL STRIPPED PARKING SPACE.
15. BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
16. PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
17. SERVICE DELIVERY AREA.
18. TREE CRATES.
19. SPEED TABLES, TYP.
20. BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
21. 12" WIDE TREELINED PEDESTRIANWAY WITHIN PARKING AREA.
22. CONCRETE PARKING STOPS, TYPICAL.
23. WAY FINDING SIGNAGE VIA COPPER AVENUE.

### General Notes for Building Purposes

1. AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE APPLIED SO THAT THE LOCATION OF THE LIGHTING FEATURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC STREET OR HWY.
2. AREA LIGHTING SHALL NOT HAVE AN OFF-SHINE LUMINANCE GREATER THAN 1,000 FOOT-CANDELS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-CANDELS MEASURED FROM ANY PRIVATE PROPERTY BY A RESIDENTIAL ZONE.
3. REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

### Legend

- CHG 18" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 2, SHEET 7.
- CH 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 2, SHEET 7.
- CH 12" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FUTURE, REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER: Z-98-114  
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER TRANSPORTATION DIVISION	DATE
DESIGN AND DEVELOPMENT, CIVIL	DATE
PUBLIC WORKS WATER UTILITIES DIVISION	DATE
CITY ENGINEER ENGINEERING DIVISION / AMAPSA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	DATE
CITY PLANNER ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLANZ (11/7/98) 4/98	

### FOR REFERENCE ONLY

Facility Re-utilization  
**501 Morris**  
 Albuquerque, New Mexico

7/28/98  
 REVISIONS:  
 10/7/98  
 9/22/98  
 9/16/98  
 1/25/99  
 12/29/98  
 8/31/98

**ISAACSON & ARPMAN, P.A.**  
 Consulting Engineering Associates  
 128 Avenue Street N.E.  
 Albuquerque, New Mexico

**Dekker/Perich/Sabatini**  
 Architecture • Interiors • Planning • Engineering  
 6801 Jefferson NE, Suite 100  
 Albuquerque, NM 87109  
 505 761-9700  
 505 761-4222

- ### General Notes
1. ALL INTERNAL STREET CURB RADI TO BE 25' MIN. PER DPM STANDARDS.
  2. DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
  3. LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
  4. ALL H.C. RAMP AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
  5. SHADDED 6" WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
  6. RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
  7. NO GENERAL BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY TO THE NEIGHBORHOOD.
  8. LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY TO A STAMPAID SIGNAGE FEATURE.
  9. THERE SHALL BE 30" CLEAR SIGN TRIANGLES AT ALL INTERSECTIONS.
  10. PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
  11. DRIVEWAYS SHALL BE PROVIDED TO DIVERGE VEHICULAR TRAFFIC TO COPPER AND MORRIS.
  12. NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
  13. DRIVEWAYS SHALL BE PROVIDED TO DIVERGE VEHICULAR TRAFFIC TO COPPER AND MORRIS.
  14. NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THIS PLAN SHALL BE ALLOWED ONTO CHICO OR MORRIS STREETS.
  15. NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
  16. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5B, AND 2C SHALL HAVE LETTERS OF 3" HIGH. MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4" HIGH. MAX.
  17. THE HUNGARIAN PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 5A, 2B, 2C, 4, AND 5.
  18. NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
  19. UP LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 3)
  20. OFF-PREMISE BILLBOARD SIGNS WILL NOT BE ALLOWED. (CONDITION 4)
  21. POLY MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
  22. OFF-PREMISE SIGNAGE WILL NOT BE ALLOWED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 8)
  23. SIGNAGE MOUNTED ON BUILDINGS SHALL BE LIMITED AS FOLLOWS: (CONDITION 8)
  24. SIGNAGE MOUNTED ON BUILDINGS SHALL BE LIMITED AS FOLLOWS: (CONDITION 8)
  25. SIGNAGE MOUNTED ON BUILDINGS SHALL BE LIMITED AS FOLLOWS: (CONDITION 8)
  26. BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED-FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5B, AND 2C SHALL HAVE LETTERS OF 3" HIGH. MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4" HIGH. MAX.
  27. STREET TREES ALONG CHICO AND MORRIS SHALL BE STAMPAID. 3 1/2" CALIPER. 100'. (CONDITION 14)
  28. ALL LAND USES WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 10)
  29. ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PADS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE DPB PRIOR TO ANY FUTURE DEVELOPMENT ON THE PADS.
  30. LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER ADJACENT TO SAID RIGHT OF WAY.
  31. CONNECTION TO THE EXISTING SITE ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PAVES AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHEAST CORNER JUST INSIDE THE WEST PROPERTY LINE.

### Legal Description

BEING A PART WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO BEING A PART WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWNSHIP PARK PLAZA AND BY TRACTS B-1-A, B-2-A AND B-3-A, REPLAT OF TOWNSHIP PARK PLAZA ON THE NORTH BY THE SOUTHWESTLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40, ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

### Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

### Subdivision Concept

THE PLAN FOR THE 501 MORRIS SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

### Land Utilization

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE OR CONDITIONAL USES UNDER THE ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A F.A.R. OF 0.19.

### Lot Summary

Lot No.	Acres	Use	Building CSF	F.A.R.	Bldg. Ht.	Minimum Building Setbacks
						North South East West
1	15.23	OFFICE/MANUFACTURING	200,000	.30	40'	75' 20' 20' 20'
2	0.87	RESTAURANT	6,000	.16	26'	20' 20' 20' 20'
2A	2.47	RESTAURANT	12,000	.11	26'	75' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	.10	26'	20' 20' 120' 20'
2C	1.67	RESTAURANT	6,000	.08	26'	20' 20' 120' 20'
3	21.66	AMUSEMENT	96,000	.10	72'	40' 120' 20' 20'
4	2.16	OFFICE	30,000	.32	32'	20' 120' 20' 20'
5	4.82	HOTEL/RESTAURANT	96,000	.32	84'	75' 20' 20' 20'
Totals	50.28		424,000	.19		

\*F.A.R. = FLOOR AREA RATIO  
 NOTE: BUILDING SQUARE FOOTAGES MAY BE INEXACT, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW.

### DRB Submittal for Case Z-98-114: IP Master Plan/Site Plan for Subdivision