

COLOR LEGEND

- (P5) OSHA Standard "Safety Yellow"
- (P21) SW# 4081 "Safety Red"
- (P36) SW# 6989 "Domino"
- (P81) SW# 6258 "Tricorn Black"
- (P83) SW# 6082 "Cobble Brown"
- (P94) SW# 7694 (EXT) "Exterior Dromedary Camel"
- (E124) SW# 7522 "Meadowlark"
- REF SPECIFICATIONS

SHEET NOTES

1. POWER WASH 100% OF EXTERIOR WALLS PRIOR TO PAINTING.
2. PAINT EXTERIOR OF BUILDING AS SHOWN.
3. PAINT DOOR HOODS, HOLLOW METAL STEEL DOORS AND FRAMES, GUTTERS AND DOWNSPOUTS.
4. EXPOSED METAL FLASHING, HANDRAILS, GAS LINES AND EXPOSED MISCELLANEOUS STEEL TO MATCH ADJACENT BUILDING COLOR UNO.
5. NOT USED.
6. PAINT JIB CRANE - P36 ON JIB BOOM, P5 ON HANDRAILS.
7. PAINT SPRINKLER VALVES P21. DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL.
8. PAINT ALL EXTERIOR BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE.
9. PAINT SECURITY WALL PACK HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LENSES.
10. PAINT GARDEN CENTER STEEL DOORS AND FRAMES P81.
11. NOT USED.

DEMOLITION NOTES

1. NOT USED.
2. REMOVE EXTERIOR BUILDING MOUNTED SIGNS, LIT AND UNLIT, EXCEPT TENANT SIGNS (UNO).
3. NOT USED.
4. COORDINATE EXTERIOR LIT SIGN REMOVAL WITH WALMART CM. EXTERIOR LIT SIGNS CANNOT BE REMOVED WITHOUT WALMART CM APPROVAL.
5. DISPOSE OF EXISTING FLUORESCENT LAMPS AND BALLASTS IN ACCORDANCE WITH SECTION 01743 PRIOR TO PLACING SIGN(S) IN WASTE MANAGEMENT CONTAINER.
6. UNLIT EXTERIOR SIGNS MAY BE REMOVED WITHOUT PRIOR APPROVAL.
7. WHERE SIGN REMOVAL IS REQUIRED FOR REPLACEMENT, REMOVE SIGNS PRIOR TO PAINTING BUILDING.
8. REMOVE VISION CENTER CANOPY.
9. PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS TO MATCH ADJACENT AS REQUIRED.

ADMINISTRATIVE AMENDMENT

FILE # 12-10161 PROJECT # 1000508
facade + signage changes
 APPROVED BY DATE 11/21/13

HFA
 ARCHITECT
 ENGINEER
 INTERIOR

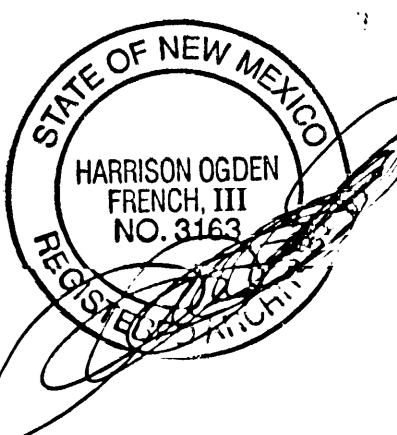
HARRISON FRENCH & ASSOCIATES, LTD
 809 S.W. A Street, Suite 201
 Bentonville, Arkansas 72712
 t 479.273.7780
 f 479.273.9436
 www.hfa-arc.com

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Walmart
 ALBUQUERQUE, NM
 STORE NO. 0835
 JOB NUMBER: 09-15-0002 182 SC GENERAL REMODEL

ISSUE BLOCK	DATE	PR #	BY
1	12-19-12	PR #2	BLE
2	01-16-13	ADD #1	KMH

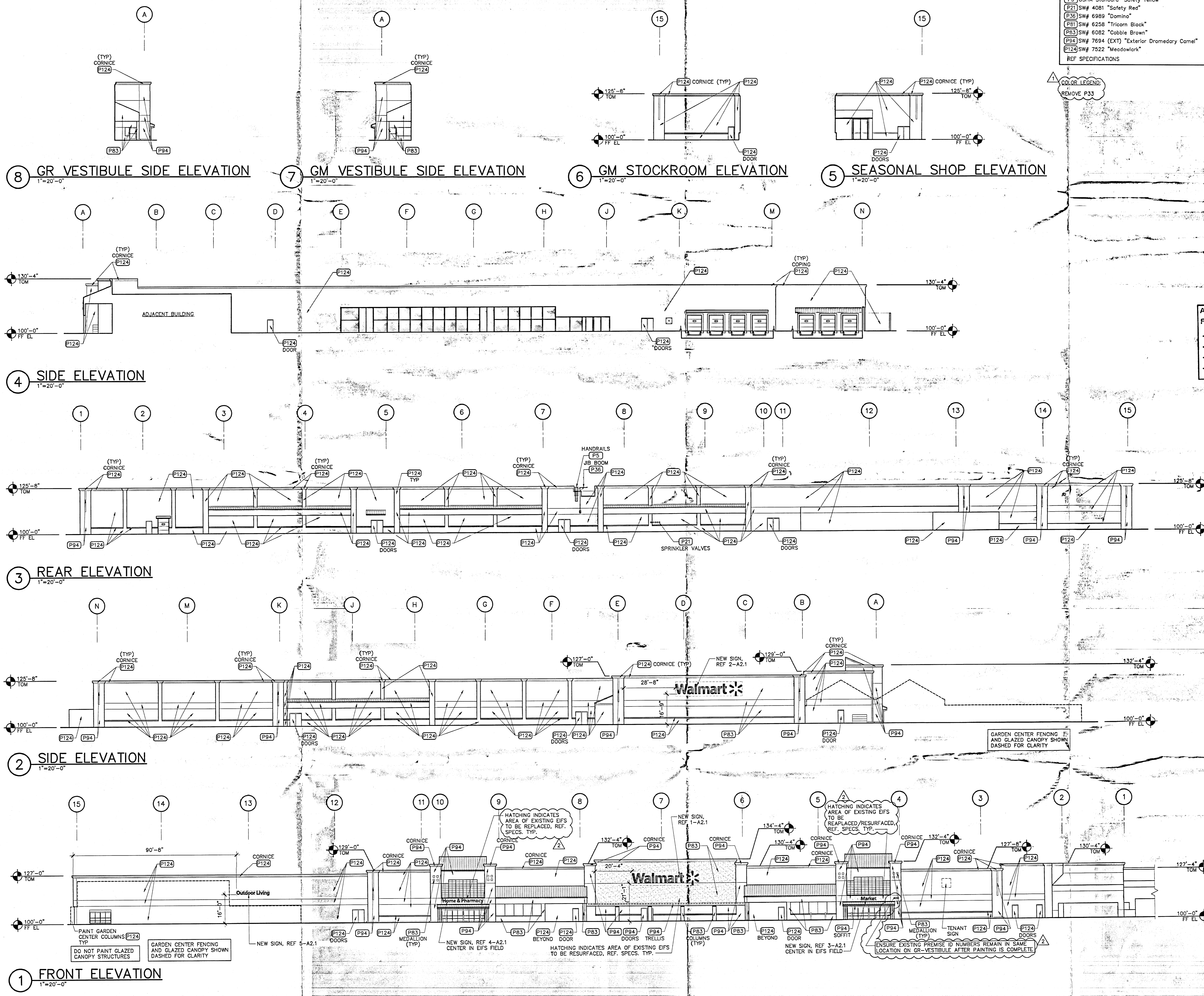
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 DRAWN BY: SJF
 DOCUMENT DATE: 11-05-12
 PRTO TYPE: 192 SC
 PRTO CYCLE: 09-15-12



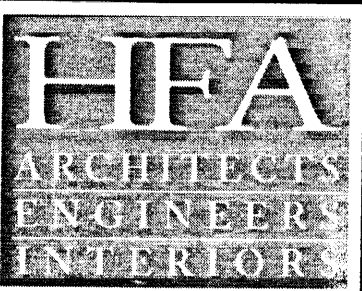
1 JAN 14 2013

EXTERIOR ELEVATIONS

SHEET: **A2**



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EXISTING SIGNAGE SCHEDULE

FRONT SIGNAGE	QTY	COLOR	INDIVIDUAL AREA	TOTAL AREA
5' WAL-MART	1	WHITE	190 SF	190 SF
2' SUPERCENTER	1	YELLOW	39 SF	39 SF
5' WAL-MART (ON SIDE)	1	RED	190 SF	190 SF
8"-11" Always	2	RED	145.64 SF	291.28 SF
30" Food Center	1	BLUE	50.42 SF	50.42 SF
30" Low Prices	1	BLUE	44.38 SF	44.38 SF
30" We Sell For Less	1	WHITE	68.23 SF	68.23 SF
18" Bakery	1	BLUE	10.25 SF	10.25 SF
18" Deli	1	BLUE	6.30 SF	6.30 SF
18" Meat	1	BLUE	6.84 SF	6.84 SF
18" Produce	1	BLUE	11.88 SF	11.88 SF
18" Pharmacy	1	BLUE	14.56 SF	14.56 SF
18" 1-Hr. Photo	1	BLUE	16.50 SF	16.50 SF
18" Optical	1	BLUE	10.26 SF	10.26 SF
TOTAL FRONT SIGNAGE				948.90 SF
TOTAL BUILDING SIGNAGE				948.90 SF

NEW SIGNAGE SCHEDULE

SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA
FRONT SIGNAGE						
Walmart	2	LED	WHITE	5'-6"		
Spark	2	LED	YELLOW	8'-0"	298.00 SF	596.00 SF
Market	1	N/A	WHITE	2'-0"	17.97 SF	17.97 SF
Home & Pharmacy	1	N/A	WHITE	2'-0"	61.85 SF	61.85 SF
Outdoor Living	1	N/A	WHITE	2'-0"	49.47 SF	49.47 SF
TOTAL FRONT SIGNAGE						725.29 SF
TOTAL BUILDING SIGNAGE						725.29 SF

GENERAL NOTES

- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY OTHERS.
- GENERAL CONTRACTOR RESPONSIBILITIES:
 - REMOVE EXISTING EXTERIOR BUILDING SIGNAGE AS NOTED ON SHEET A2.
 - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
 - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO DETAILS ON SHEET A2.1.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Walmart" and "Spark" SIGNAGE. EXISTING (8) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED.
 - NOT USED.
 - NOT USED.
 - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL SCHEDULE.
 - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
- SIGNAGE CONTRACTOR RESPONSIBILITIES:
 - FURNISH SPECIFIED CONDUIT FOR LIGHTED SIGNAGE.
 - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
 - INSTALL SIGNAGE PER DETAILS ON SHEET A2.1.

STIPULATION FOR REUSE OF EXISTING SIGNAGE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REUSE OF EXISTING SIGNAGE. THE CONTRACTOR SHALL NOT REMOVE OR DESTROY EXISTING SIGNAGE UNLESS IT IS DAMAGED OR UNUSABLE. THE CONTRACTOR SHALL MAINTAIN EXISTING SIGNAGE IN GOOD CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND REINSTALLATION OF EXISTING SIGNAGE AT THE END OF CONSTRUCTION.



ISSUE BLOCK

NO.	DATE	BY	DESCRIPTION
1	11/26/12	PR #1	BLE
2	12-19-12	PR #2	BLE
3	01-16-13	ADD #1	KMH

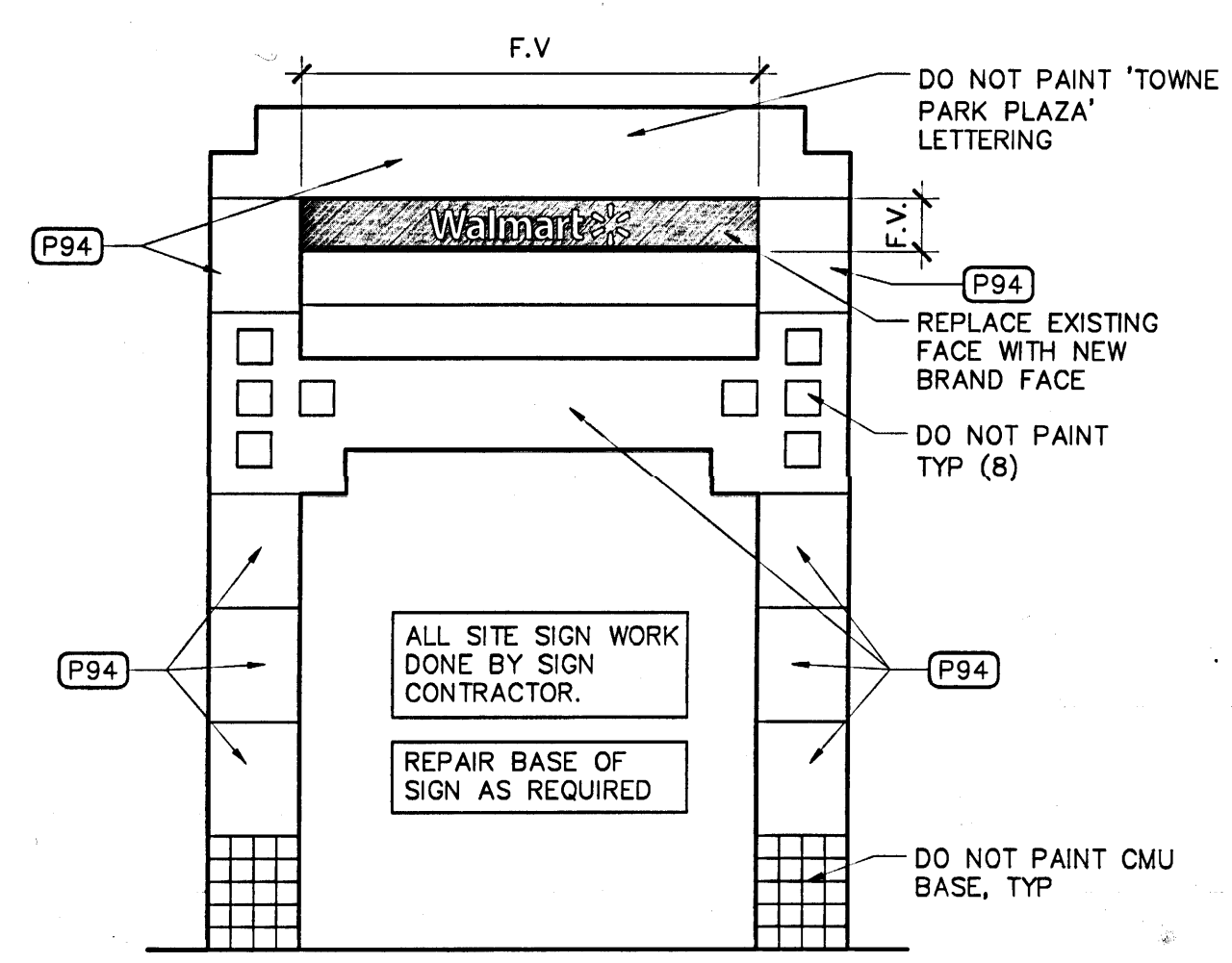
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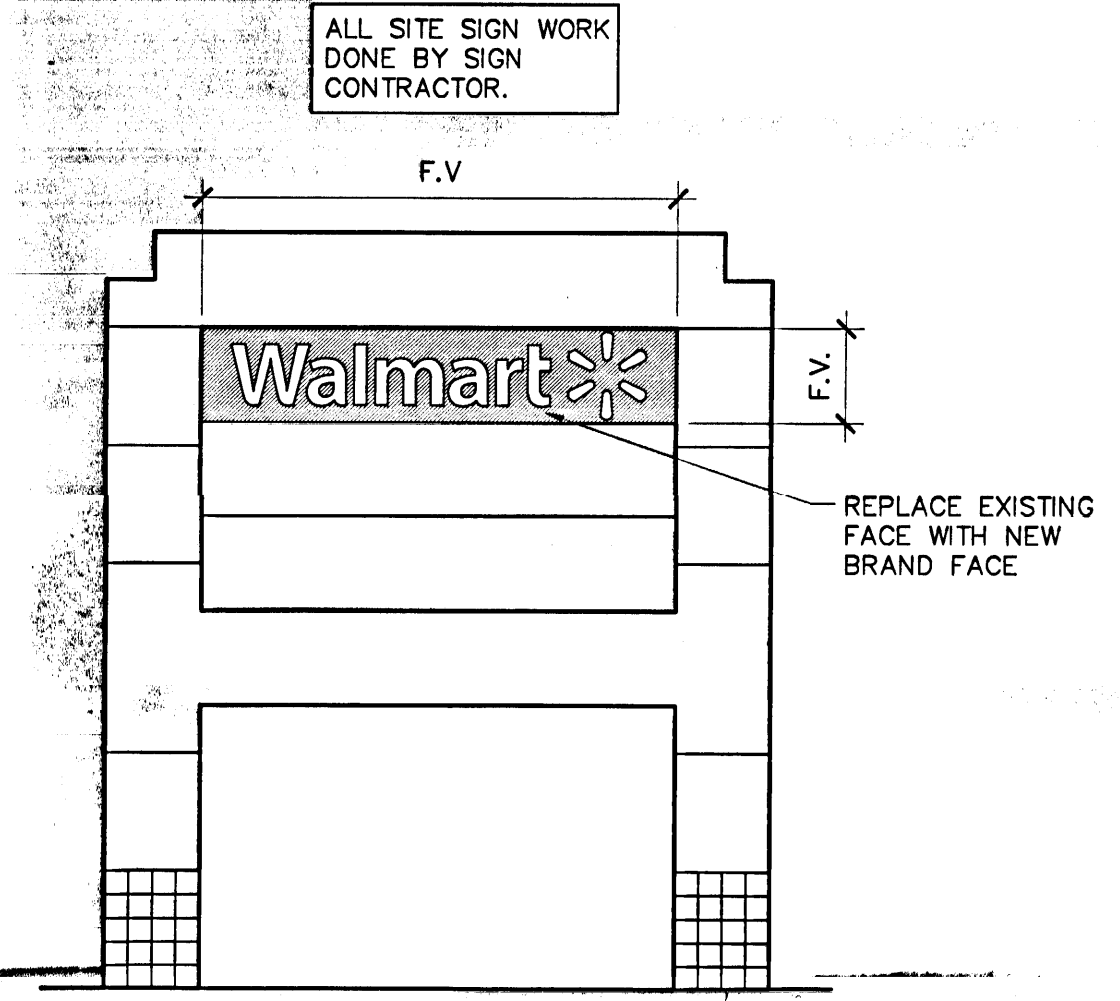
JAN 14 2013

SITE SIGNAGE

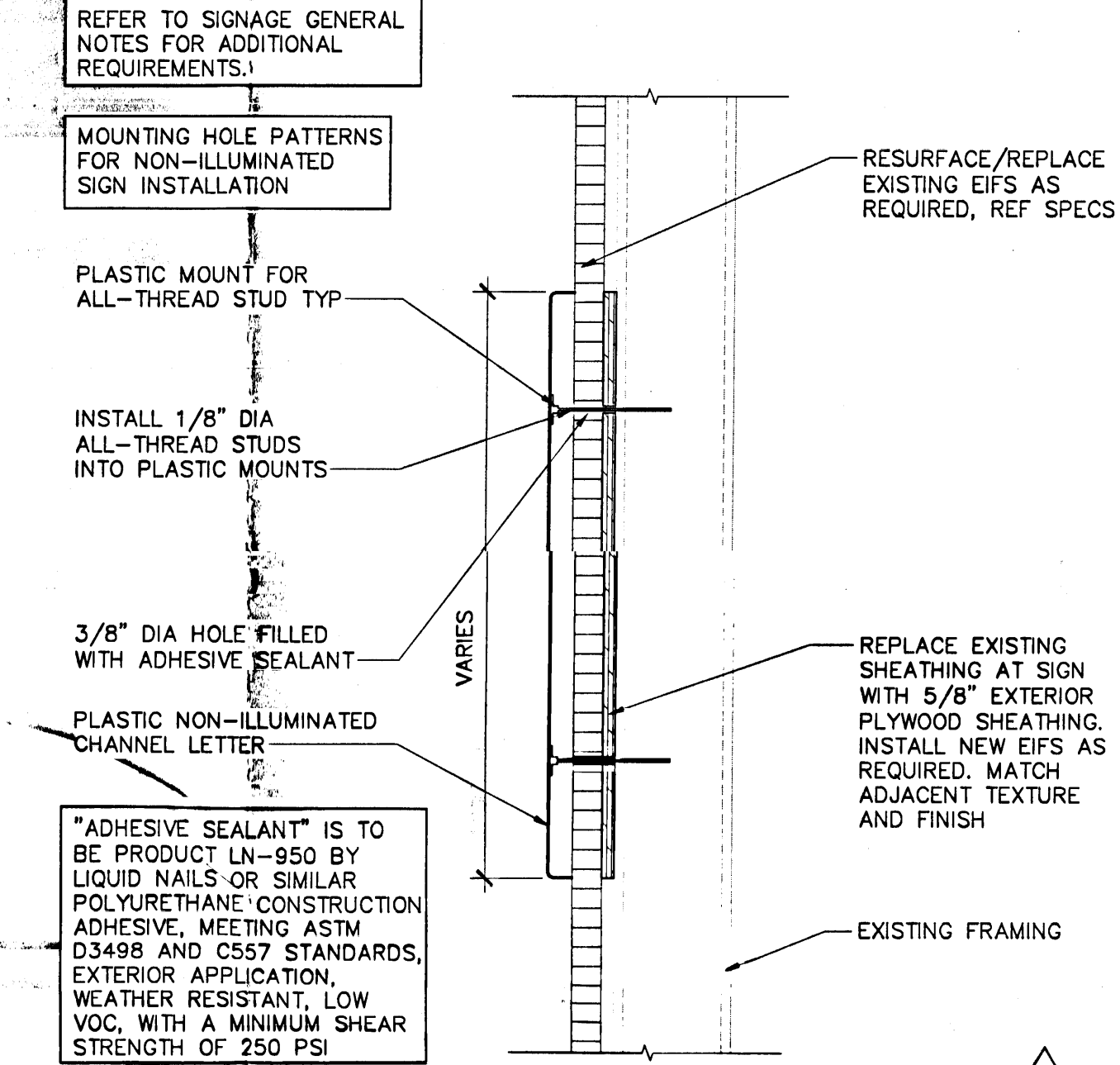
SHEET: A2.1



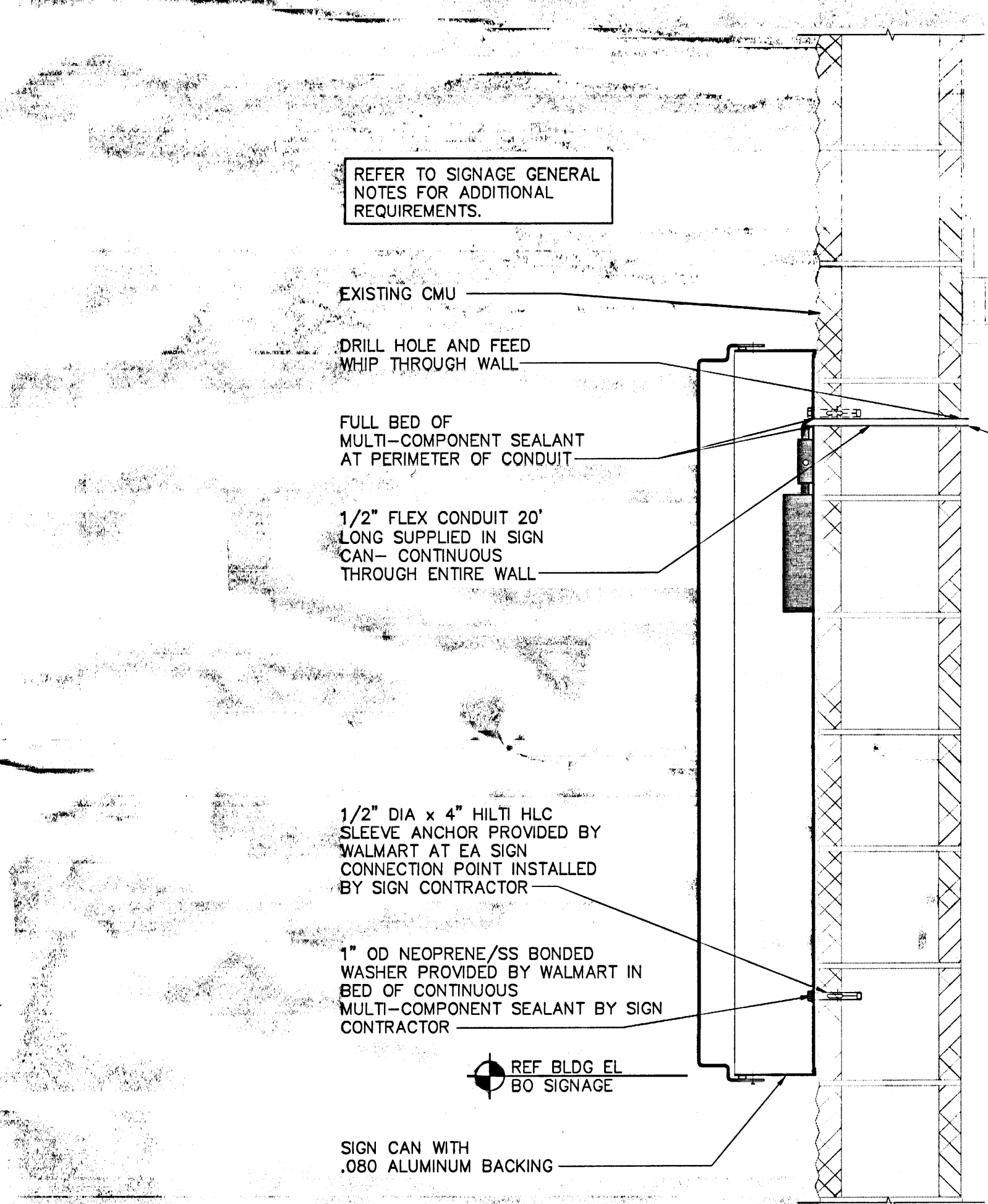
12 WALMART PYLON
 3/16" = 1'-0"



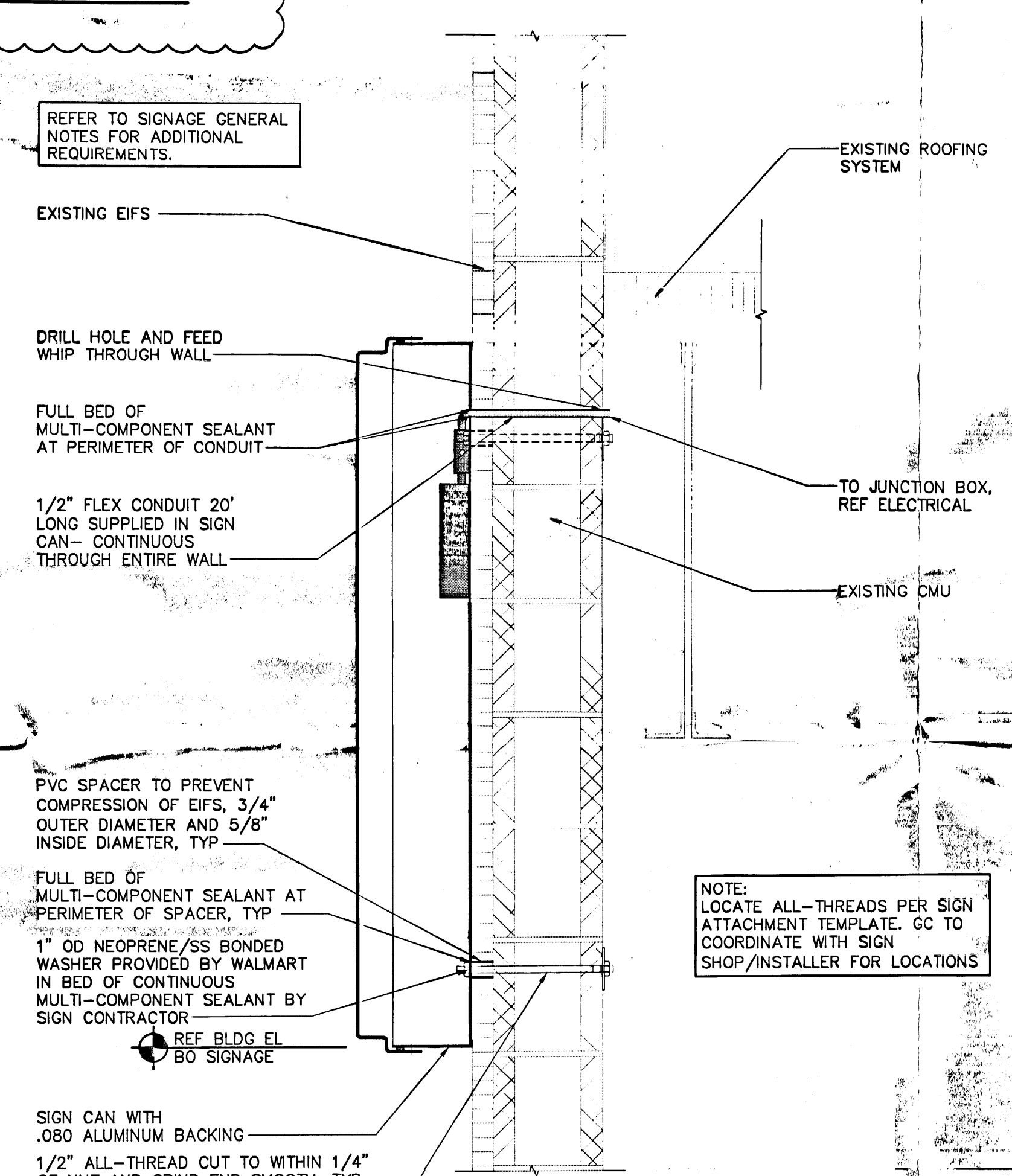
11 WALMART PYLON
 3/16" = 1'-0"



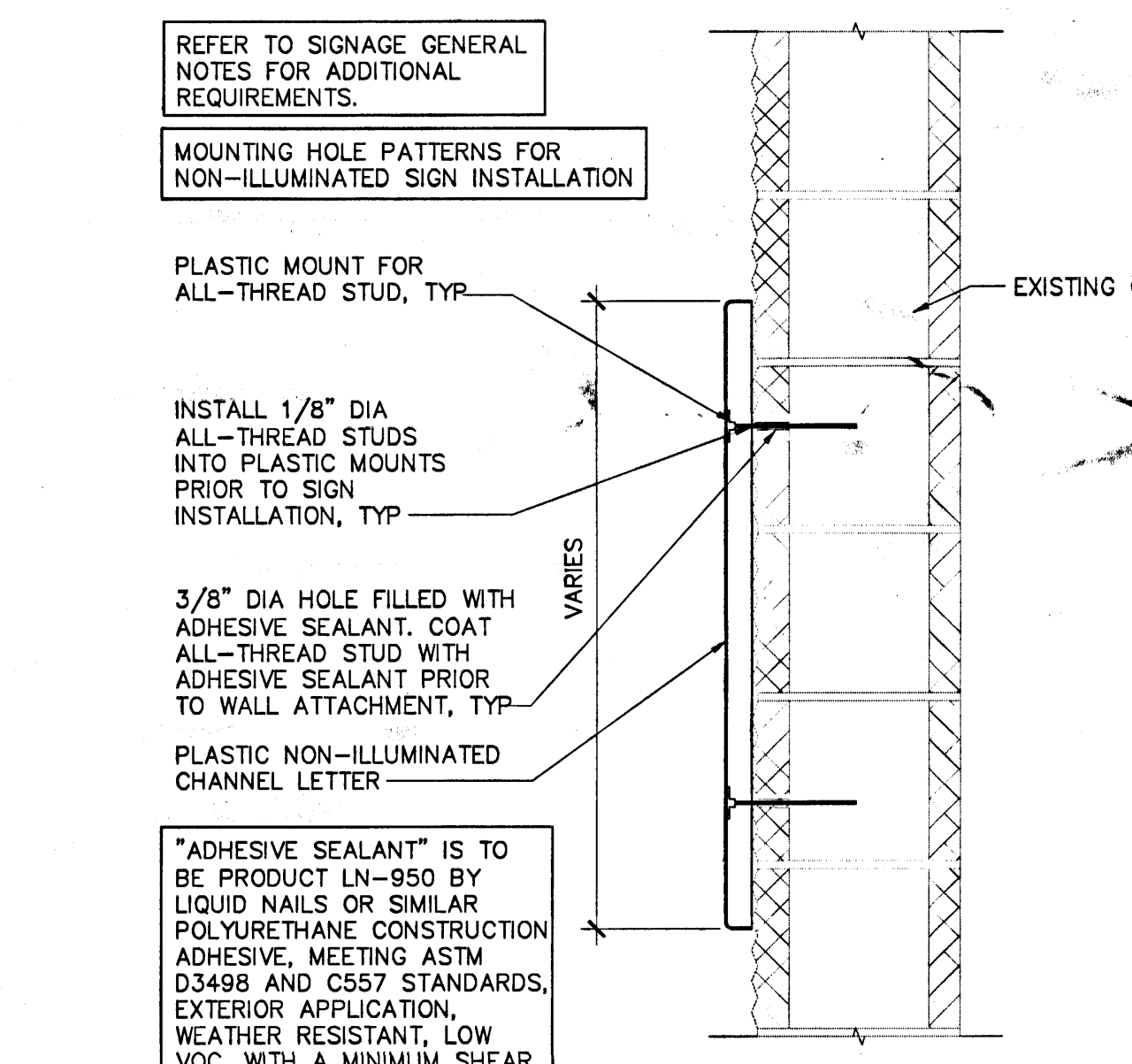
10 SIGN ATTACHMENT AT EIFS AND METAL STUD WALL
 1 1/2" = 1'-0"



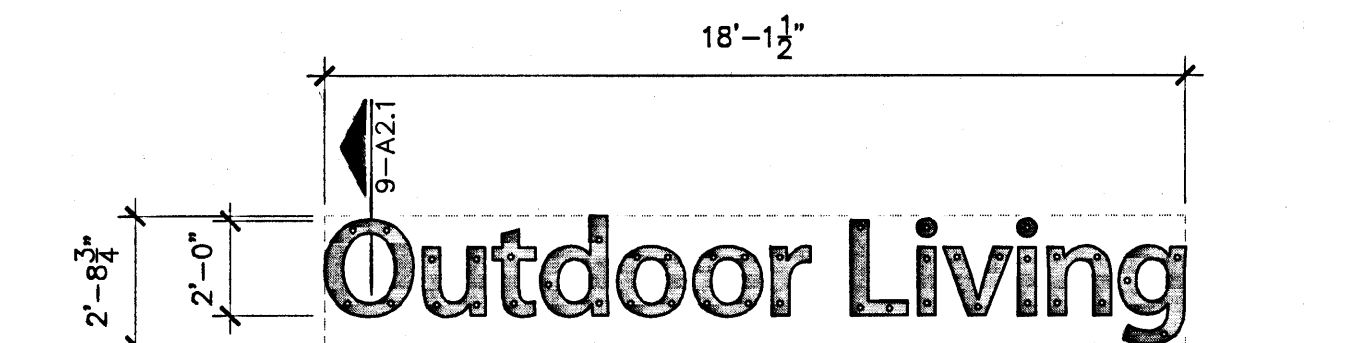
8 SIGN ATTACHMENT AT CMU WALL BELOW ROOF LINE
 1 1/2" = 1'-0" 082411 c:\p021c-012-cmu



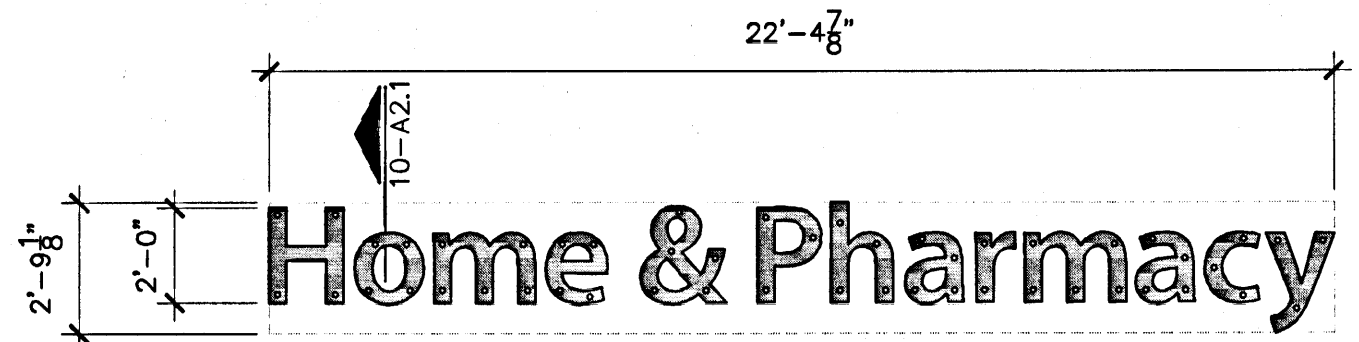
7 SIGN ATTACHMENT AT EIFS AND CMU BELOW ROOF LINE
 1 1/2" = 1'-0"



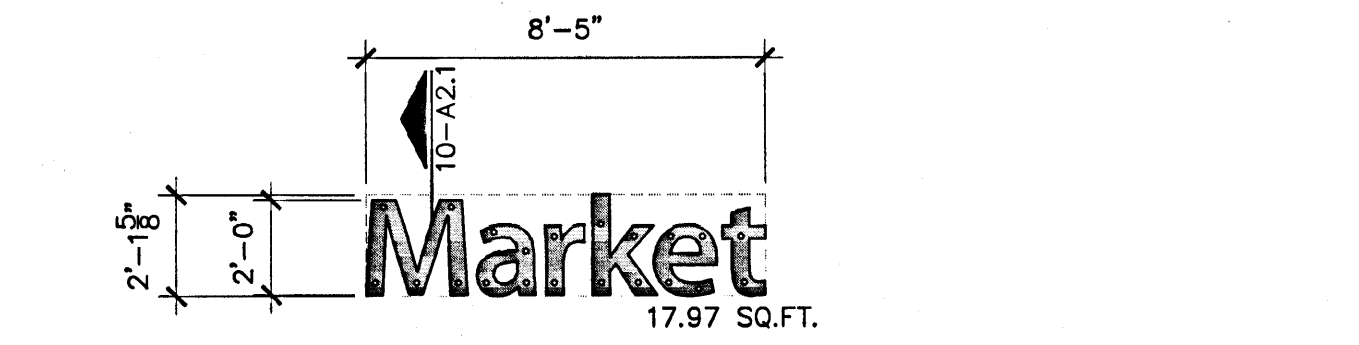
9 SIGN ATTACHMENT AT CMU WALL
 1 1/2" = 1'-0"



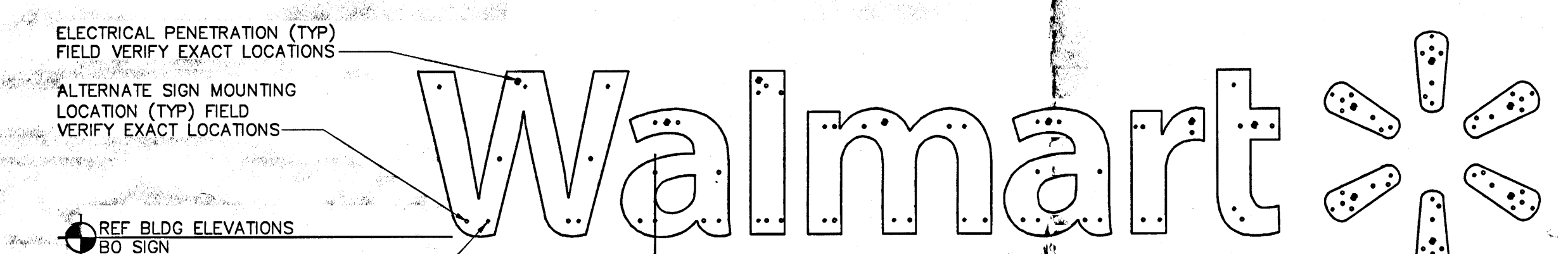
5 24" OUTDOOR LIVING SIGNAGE
 1/4" = 1'-0" 49.47 SQ.FT.



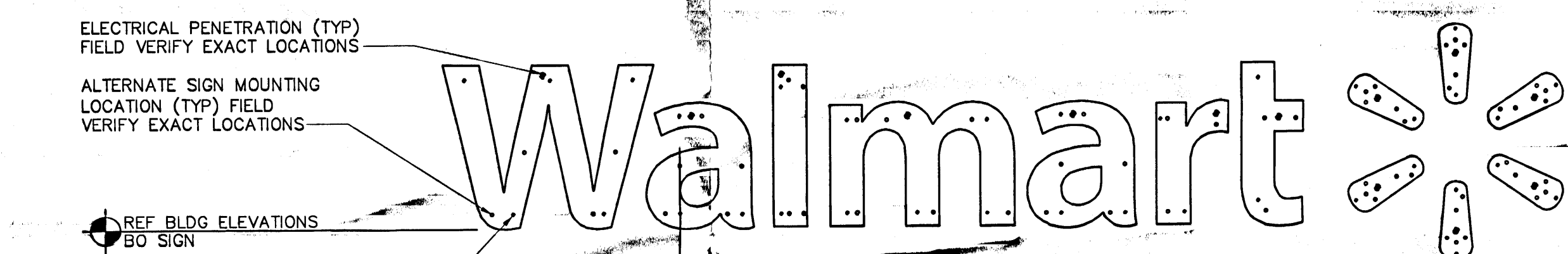
4 24" HOME & PHARMACY SIGNAGE
 1/4" = 1'-0" 61.85 SQ.FT.



3 24" MARKET SIGNAGE
 1/4" = 1'-0" 17.97 SQ.FT.

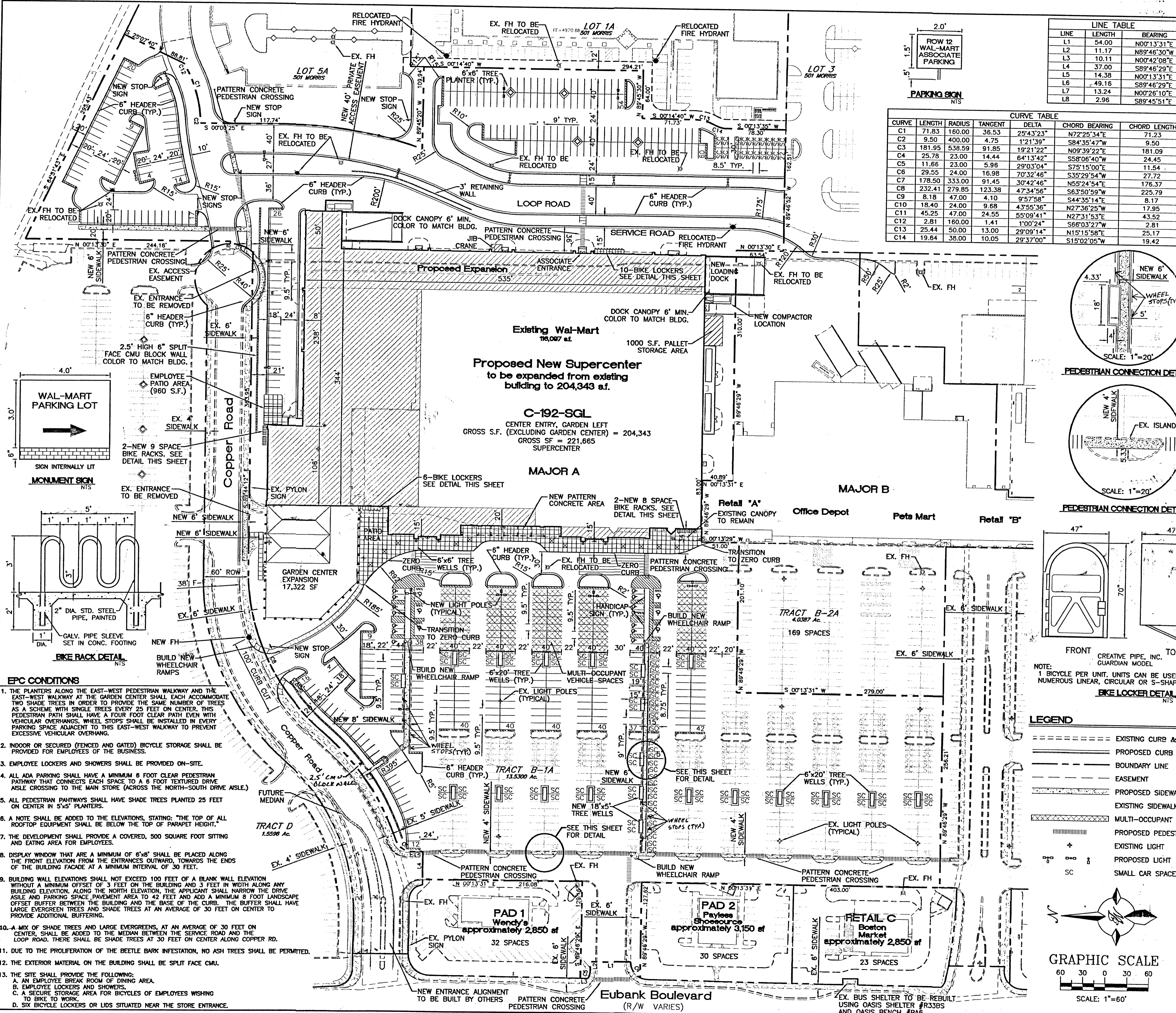


2 5'-6" WALMART SIGN AND MOUNTING DIAGRAM
 1/4" = 1'-0"



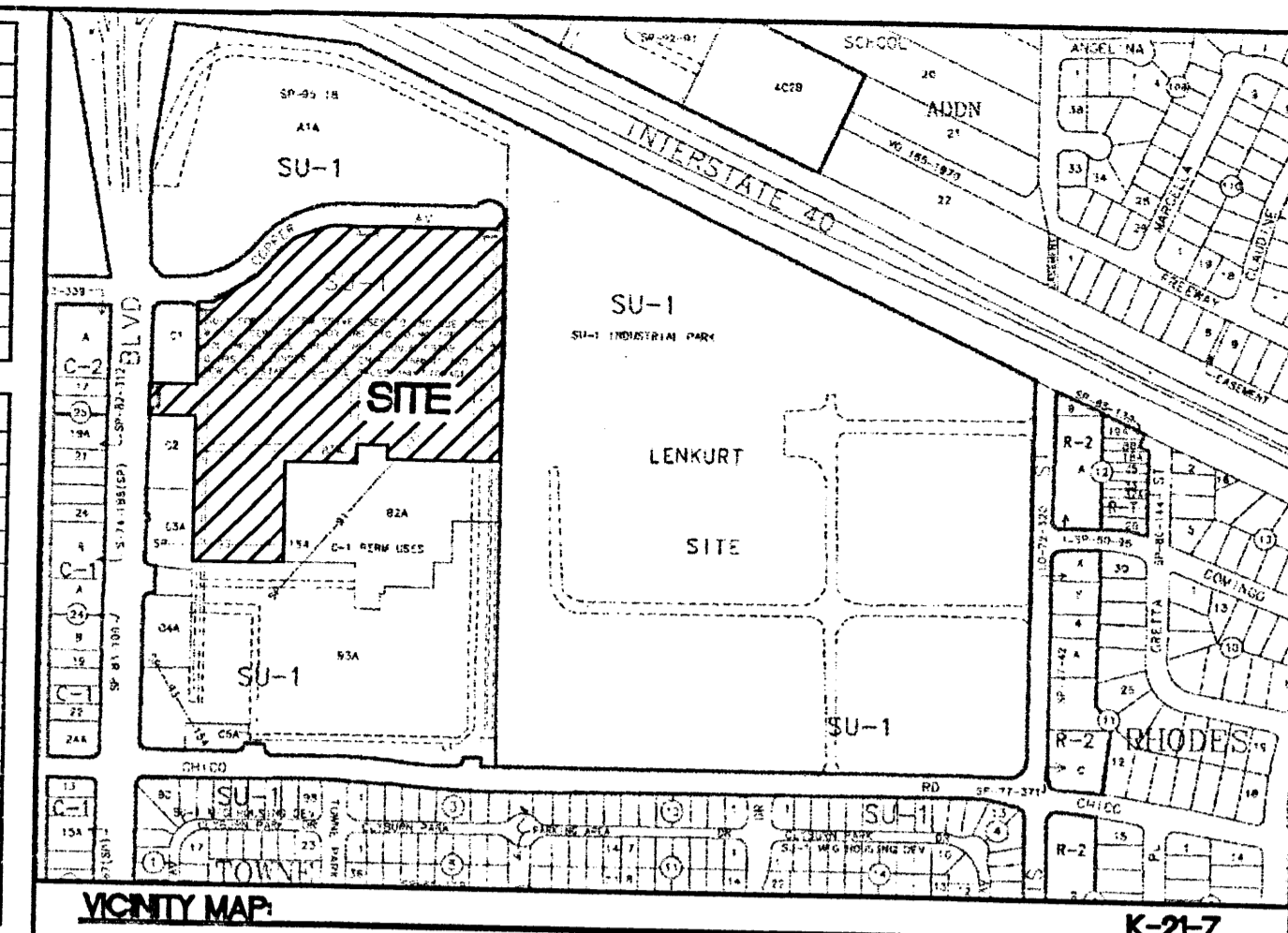
1 5'-6" WALMART SIGN AND MOUNTING DIAGRAM
 1/4" = 1'-0"

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LINE	LENGTH	BEARING
L1	54.00	N00°13'31"E
L2	11.17	N89°46'30"W
L3	10.11	N00°42'08"E
L4	37.00	S89°46'29"E
L5	14.38	N00°13'31"E
L6	49.16	S89°46'29"E
L7	13.24	N00°26'10"E
L8	2.96	S89°45'51"E

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	71.83	160.00	36.53	25°43'23"	N72°25'34"E	71.23
C2	9.50	400.00	4.75	1°21'39"	S84°35'47"W	9.50
C3	181.95	538.59	91.85	19°21'22"	N09°39'22"E	181.09
C4	25.78	23.00	14.44	64°13'42"	S58°06'40"W	24.45
C5	11.66	23.00	5.96	29°03'04"	S75°15'00"E	11.54
C6	29.55	24.00	16.98	70°32'46"	S35°29'54"W	27.72
C7	178.50	333.00	91.45	30°42'46"	N55°24'54"E	176.37
C8	232.41	279.85	123.38	47°34'56"	S63°50'59"W	225.79
C9	8.18	47.00	4.10	4°57'58"	S44°35'14"E	8.17
C10	18.40	24.00	9.68	43°55'36"	N27°36'25"W	17.95
C11	45.25	47.00	24.55	55°09'41"	N27°31'53"E	43.52
C12	2.81	160.00	1.41	1°00'24"	S66°03'27"W	2.81
C13	25.44	50.00	13.00	29°09'14"	N15°15'58"E	25.17
C14	19.64	38.00	10.05	29°37'00"	S15°02'05"W	19.42



LEGAL DESCRIPTION
TRACT B-1A TOWN PARKE PLAZA

PROPOSED SITE DATA	
PROPOSED USAGE:	RETAIL
LOT AREA:	
EXISTING LOT AREA:	13.5432 AC
LOTS 1 & 5 EXPANSION:	4.3749 AC
TOTAL LOT AREA:	17.9181 AC
BUILDING AREA:	
EXISTING BUILDING:	116,097 SF
PROPOSED BUILDING EXPANSION:	88,248 SF
PROPOSED GARDEN CENTER BUILDING:	17,322 SF
TOTAL BUILDING AREA:	221,665 SF
FLOOR AREA RATIO:	
EXISTING BUILDING:	0.20
WITH PROPOSED BUILDING EXPANSION:	0.28
PARKING CALCULATIONS:	
PARKING REQUIRED FOR EX. BUILDING:	580 SPACES
10% BUS CREDIT:	-58 SPACES
5% EXISTING BUS SHELTER:	-29 SPACES
TOTAL PARKING REQUIRED:	493 SPACES
TOTAL PARKING PROVIDED FOR EX. BUILDING:	908 SPACES
PARKING REQUIRED FOR BUILDING W/EXPANSIONS:	1108 SPACES
10% BUS CREDIT:	-111 SPACES
5% EXISTING BUS SHELTER:	-55 SPACES
TOTAL PARKING REQUIRED:	942 SPACES
TOTAL PARKING PROVIDED FOR BLDG. W/ EXP.:	1005 SPACES
HC PARKING REQUIRED:	20 SPACES
HC PARKING PROVIDED:	20 SPACES
BIKE SPACE CALCULATIONS:	
SPACES REQUIRED (CAR SPACES/20):	50 SPACES
SPACES PROVIDED:	50 SPACES

SHOPPING CENTER PARKING RATIO			
WAL-MART W/ EXP. & GARDEN CENTER	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
EXISTING WAL-MART	1005	221,665 SF	4.53
	908	116,097 SF	7.82

CASE NUMBER: 01450-0000-00629

This plan is consistent with the specific site development plan approved by the Engineering and Planning Commission (EPC) and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Richard J. Dault
Traffic Engineer, Transportation Division
Date: 6/13/01

Alfredo B. Cardenas
Parks & General Services Department
Date: 6/13/01

Raymond J. Korman
Public Works, Water Utilities Division
Date: 6/13/01

John J. Adams
City Engineer, Engineering Division / AMAFCA
Date: 9/10/01

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

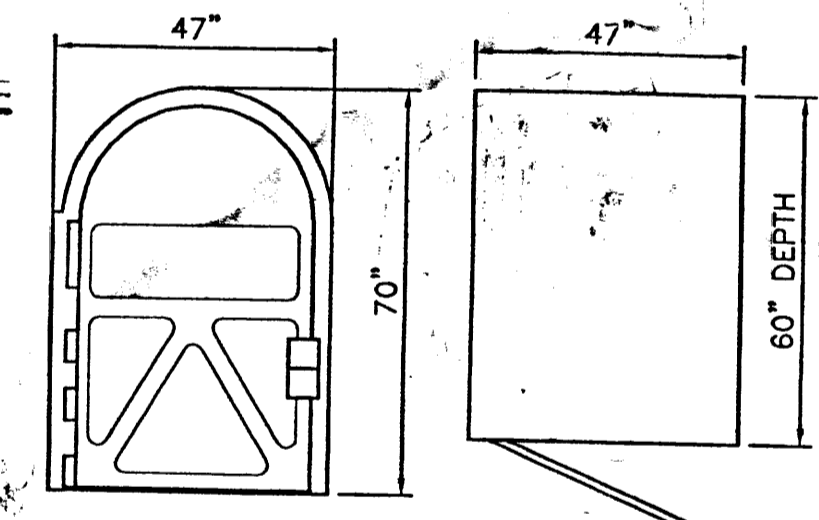
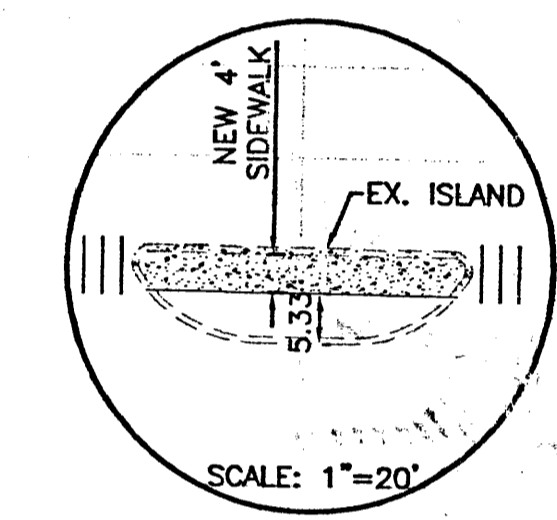
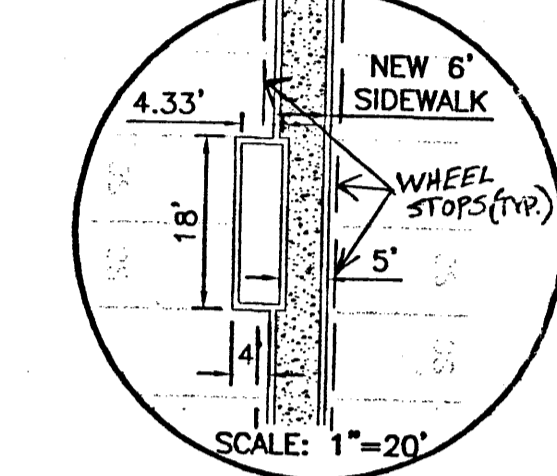
John J. Adams
City Planner, Albuquerque / Bernalillo
Date: 9/10/01

John J. Adams
County Planning Division
Date: 8/16/01

John J. Adams
Solid Waste
Date: 8/16/01

PLNZ (10706) 4/98

- EPC CONDITIONS**
- THE PLANTERS ALONG THE EAST-WEST PEDESTRIAN WALKWAY AND THE EAST-WEST WALKWAY AT THE GARDEN CENTER SHALL EACH ACCOMMODATE TWO SHADE TREES IN ORDER TO PROVIDE THE SAME NUMBER OF TREES AS A SCHEME WITH SINGLE TREES EVERY 25 FEET ON CENTER. THIS PEDESTRIAN PATH SHALL HAVE A FOUR FOOT CLEAR PATH EVEN WITH VEHICULAR OVERHANGS. WHEEL STOPS SHALL BE INSTALLED IN EVERY PARKING SPACE ADJACENT TO THIS EAST-WEST WALKWAY TO PREVENT EXCESSIVE VEHICULAR OVERHANG.
 - INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
 - EMPLOYEE LOCKERS AND SHOWERS SHALL BE PROVIDED ON-SITE.
 - ALL ADA PARKING SHALL HAVE A MINIMUM 8 FOOT CLEAR PEDESTRIAN PATHWAY THAT CONNECTS EACH SPACE TO A 6 FOOT TEXTURED DRIVE AISLE CROSSING TO THE MAIN STORE (ACROSS THE NORTH-SOUTH DRIVE AISLE).
 - ALL PEDESTRIAN PATHWAYS SHALL HAVE SHADE TREES PLANTED 25 FEET ON CENTER IN 5'x5' PLANTERS.
 - A NOTE SHALL BE ADDED TO THE ELEVATIONS, STATING: "THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET HEIGHT."
 - THE DEVELOPMENT SHALL PROVIDE A COVERED, 500 SQUARE FOOT SITTING AND EATING AREA FOR EMPLOYEES.
 - DISPLAY WINDOW THAT ARE A MINIMUM OF 6'x8' SHALL BE PLACED ALONG THE FRONT ELEVATION FROM THE ENTRANCES OUTWARD, TOWARDS THE ENDS OF THE BUILDING FACADE AT A MINIMUM INTERVAL OF 30 FEET.
 - BUILDING WALL ELEVATIONS SHALL NOT EXCEED 100 FEET OF A BLANK WALL ELEVATION WITHOUT A MINIMUM OFFSET OF 3 FEET ON THE BUILDING AND 3 FEET IN WIDTH ALONG ANY BUILDING ELEVATION. ALONG THE NORTH ELEVATION, THE APPLICANT SHALL NARROW THE DRIVE AISLE AND PARKING SPACE PAVEMENT AREA TO 42 FEET AND ADD A MINIMUM 8 FOOT LANDSCAPE OFFSET BUFFER BETWEEN THE BUILDING AND THE BASE OF THE CURB. THE BUFFER SHALL HAVE LARGE EVERGREEN TREES AND SHADE TREES AT AN AVERAGE OF 30 FEET ON CENTER TO PROVIDE ADDITIONAL BUFFERING.
 - A MIX OF SHADE TREES AND LARGE EVERGREENS, AT AN AVERAGE OF 30 FEET ON CENTER, SHALL BE ADDED TO THE MEDIAN BETWEEN THE SERVICE ROAD AND THE LOOP ROAD. THERE SHALL BE SHADE TREES AT 30 FEET ON CENTER ALONG COPPER RD.
 - DUE TO THE PROLIFERATION OF THE BEETLE BARK INFESTATION, NO ASH TREES SHALL BE PERMITTED.
 - THE EXTERIOR MATERIAL ON THE BUILDING SHALL BE SPLIT FACE CMU.
 - THE SITE SHALL PROVIDE THE FOLLOWING:
 - AN EMPLOYEE BREAK ROOM OF DINING AREA.
 - EMPLOYEE LOCKERS AND SHOWERS.
 - A SECURE STORAGE AREA FOR BICYCLES OF EMPLOYEES WISHING TO BIKE TO WORK.
 - SIX BICYCLE LOCKERS OR LIDS SITUATED NEAR THE STORE ENTRANCE.



LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- MULTI-OCCUPANT VEHICLE SPACES
- PROPOSED PEDESTRIAN CONNECTION
- EXISTING LIGHT
- PROPOSED LIGHT
- SMALL CAR SPACE

NOTE:
1 BICYCLE PER UNIT. UNITS CAN BE USED INDIVIDUALLY OR IN NUMEROUS LINEAR, CIRCULAR OR S-SHAPED CONFIGURATIONS

CREATIVE PIPE, INC. TOP GUARDIAN MODEL

BIKE LOCKER DETAIL

GRAPHIC SCALE
SCALE: 1"=60'

REVISIONS

NO.	DATE	REMARKS	BY

ENGINEER'S SEAL

ALBUQUERQUE WAL-MART EXPANSION: 835-02

SITE PLAN FOR BUILDING PERMIT

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868

DRAWN BY JDN

DATE
06-08-01

9929WSP2.DWG

SHEET #
3

JOB #
990029W

PLANT LEGEND

- | | |
|--|--|
| <ul style="list-style-type: none"> EXISTING LANDSCAPING HONEY LOCUST (H) 88
Gleditsia triacanthos
2" Cal LEYLANDII CYPRESS (M) 20
Cupressocyparis leylandii
15 GAL AUSTRIAN PINE (H) 13
Pinus nigra
6-8" DESERT WILLOW (M) 22
Chilopsis linearis
15 GAL BRADFORD PEAR (M) 47
Pyrus caleryana bradford
1 1/2" Cal NEW MEXICO OLIVE (M) 16
Forestiera neomexicana
15 GAL APACHE PLUME (L) 21
Fallugia paradoxa
5 gal POTENTILLA (M) 50
Potentilla fruticosa
5 gal | <ul style="list-style-type: none"> RUSSIAN SAGE (M) 125
Perovskia atriplicifolia
5 gal AUTUMN SAGE (M) 78
Salvia gregii
5 gal CHAMISA (L) 158
Chrysothamnus nauseosus
1 gal MAIDEN GRASS (M) 83
Miscanthus sinensis
5 gal WILDFLOWER 146
1 GAL TAM JUNIPER (L) 51
Juniperus sabinia
5 gal OVERSIZE GRAVEL & BOULDERS
3/4" SANTA ANA TAN GRAVEL
W/ FILTER FABRIC SOD COMMERCIAL GRADE
STEEL EDGING |
|--|--|

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPM Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property

Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

LANDSCAPE CALCULATIONS

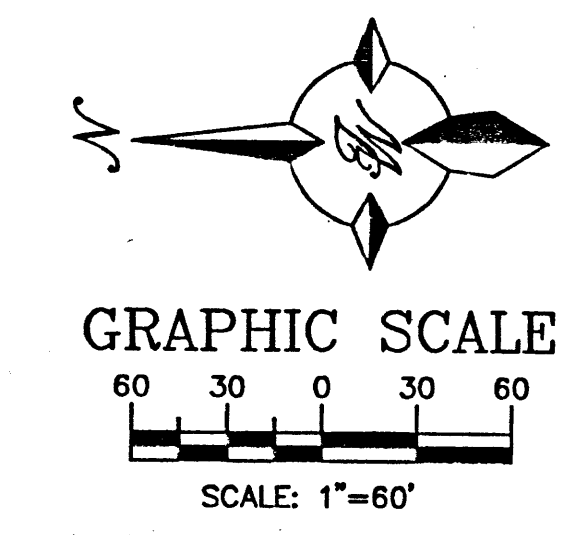
NET LANDSCAPE AREA	
TOTAL LOT AREA	772,881 square feet
TOTAL BUILDINGS AREA	216,020 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	554,661 square feet
LANDSCAPE REQUIREMENT	15 percent
TOTAL LANDSCAPE REQUIREMENT	83,199 square feet
TOTAL NEW LANDSCAPE PROVIDED	76,474 square feet
TOTAL REPLACEMENT SOD PROVIDED	11,722 square feet
TOTAL NEW BED PROVIDED	64,752 square feet
TOTAL EXISTING LANDSCAPE PROVIDED	11,865 square feet
TOTAL LANDSCAPE PROVIDED	88,339 square feet

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
it@hilltoplandscaping.com

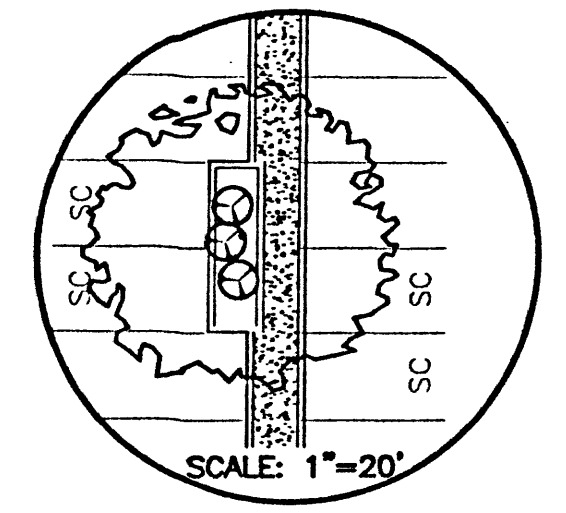
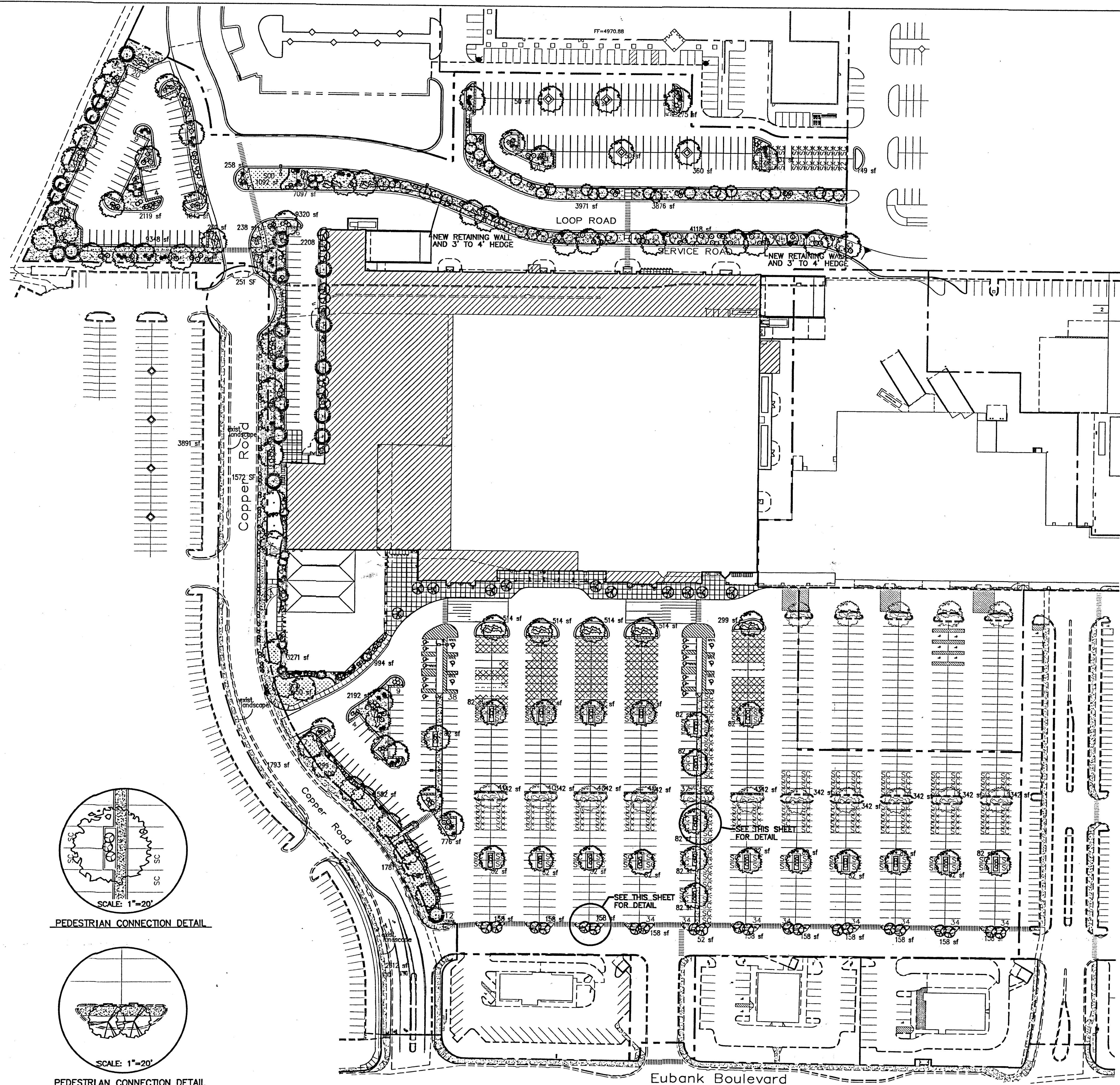
THE HILLTOP expressly reserves the common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any manner whatsoever, nor are they to be assigned to any third party without obtaining the express written permission and consent of

THE HILLTOP

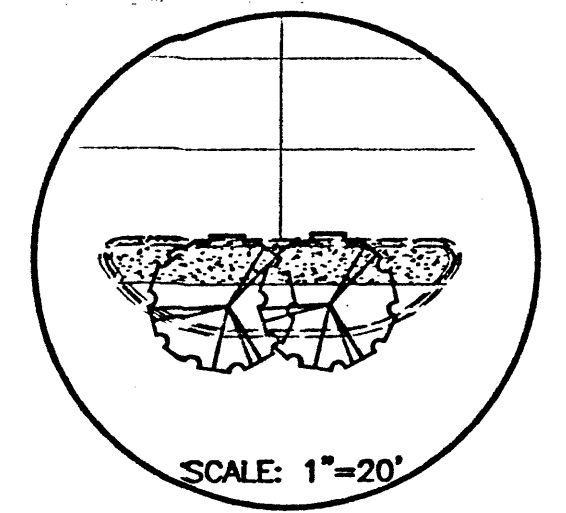


NO.	DATE	REVISIONS	BY

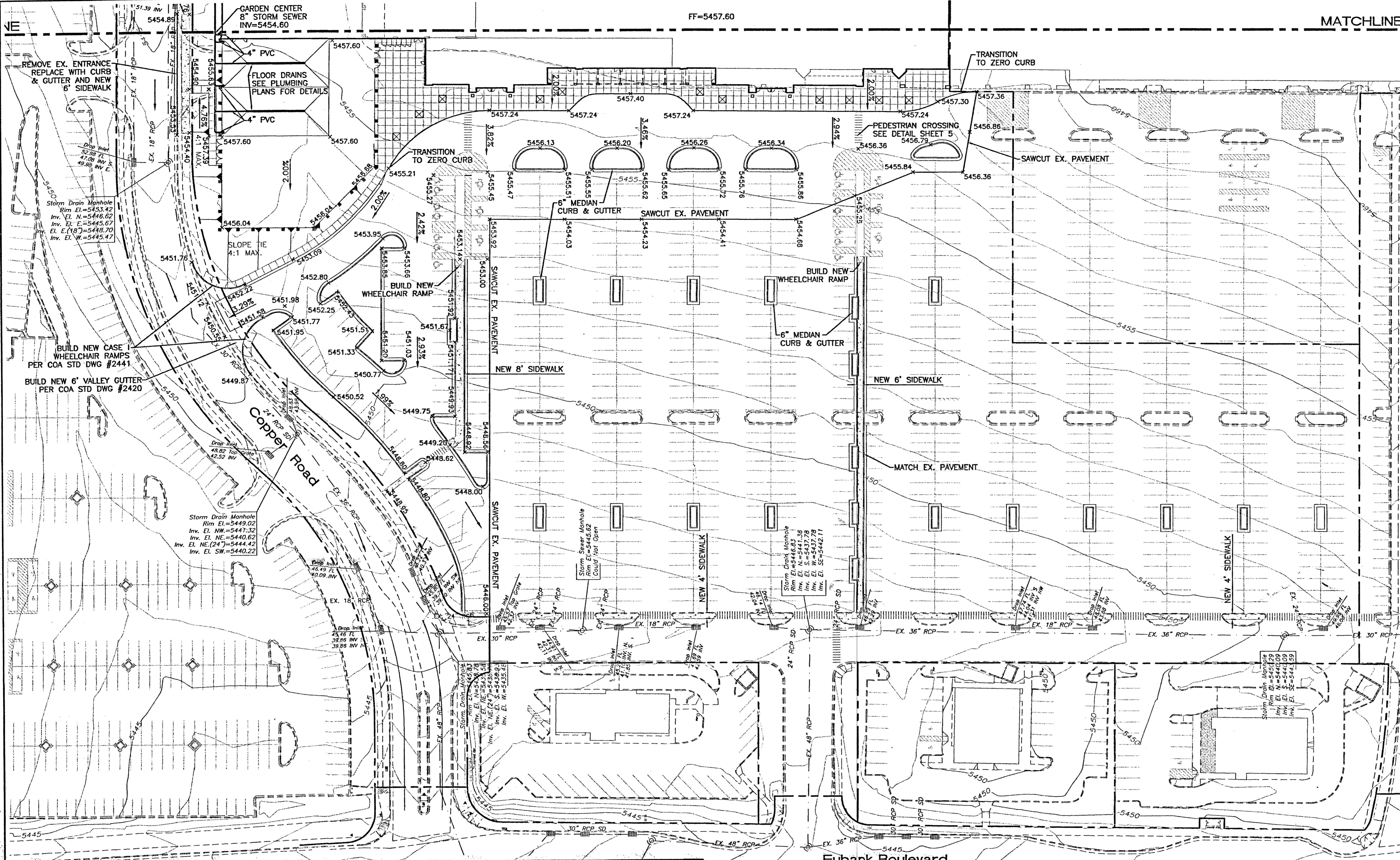
LANDSCAPE ARCHITECT'S SEAL JAMES DEFLON #0007	ALBUQUERQUE WAL-MART EXPANSION: 835-02	DRAWN BY JDN DATE 04-10-01 9929WLP1.DWG
	LANDSCAPING PLAN	SHEET # 4
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100	JOB # 990029W	



PEDESTRIAN CONNECTION DETAIL

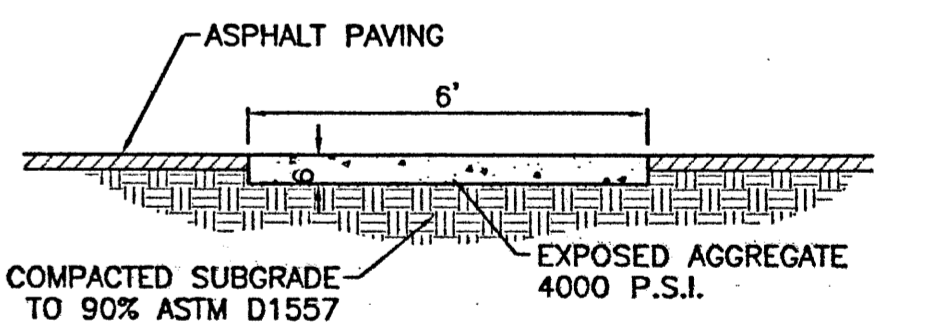
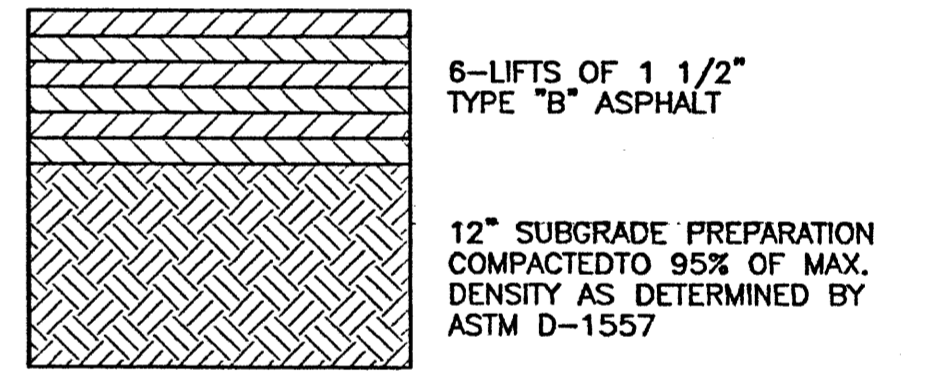
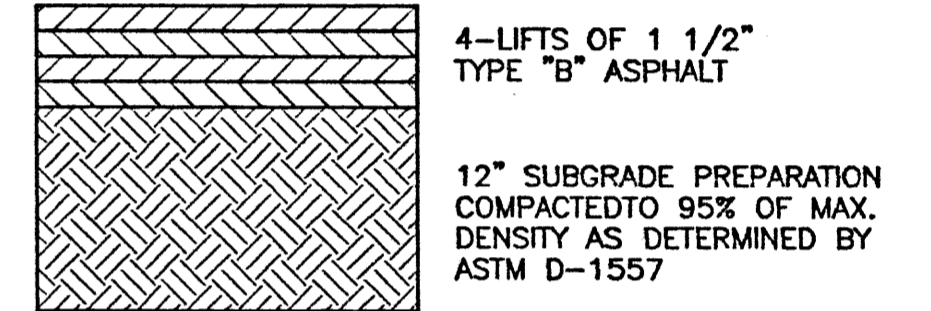


PEDESTRIAN CONNECTION DETAIL



LEGEND

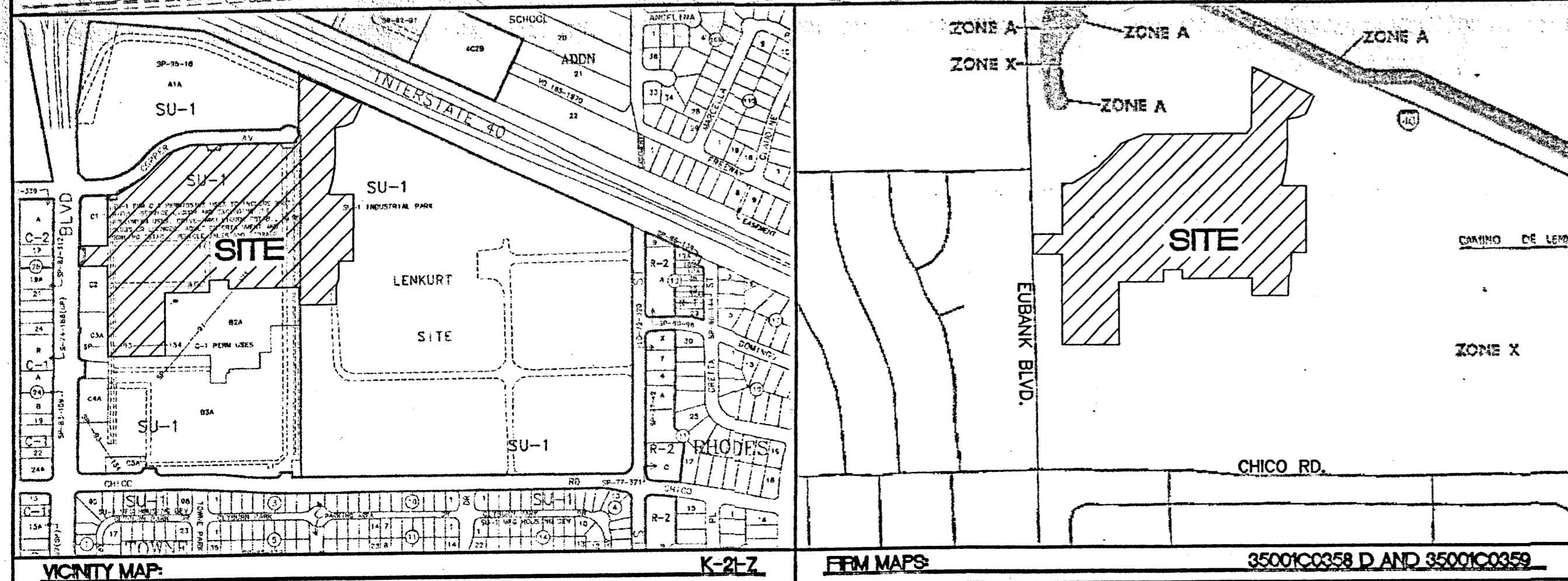
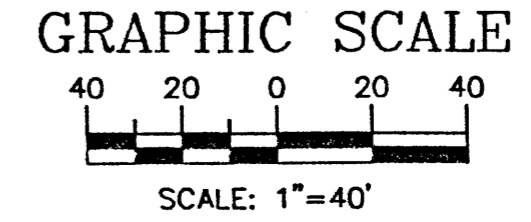
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SNGL. "C" INLET
	PROPOSED STORM SEWER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	FUTURE SIDEWALK
	PROPOSED PERIMETER WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FUTURE SPOT ELEVATION
	MATCH LINE



- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

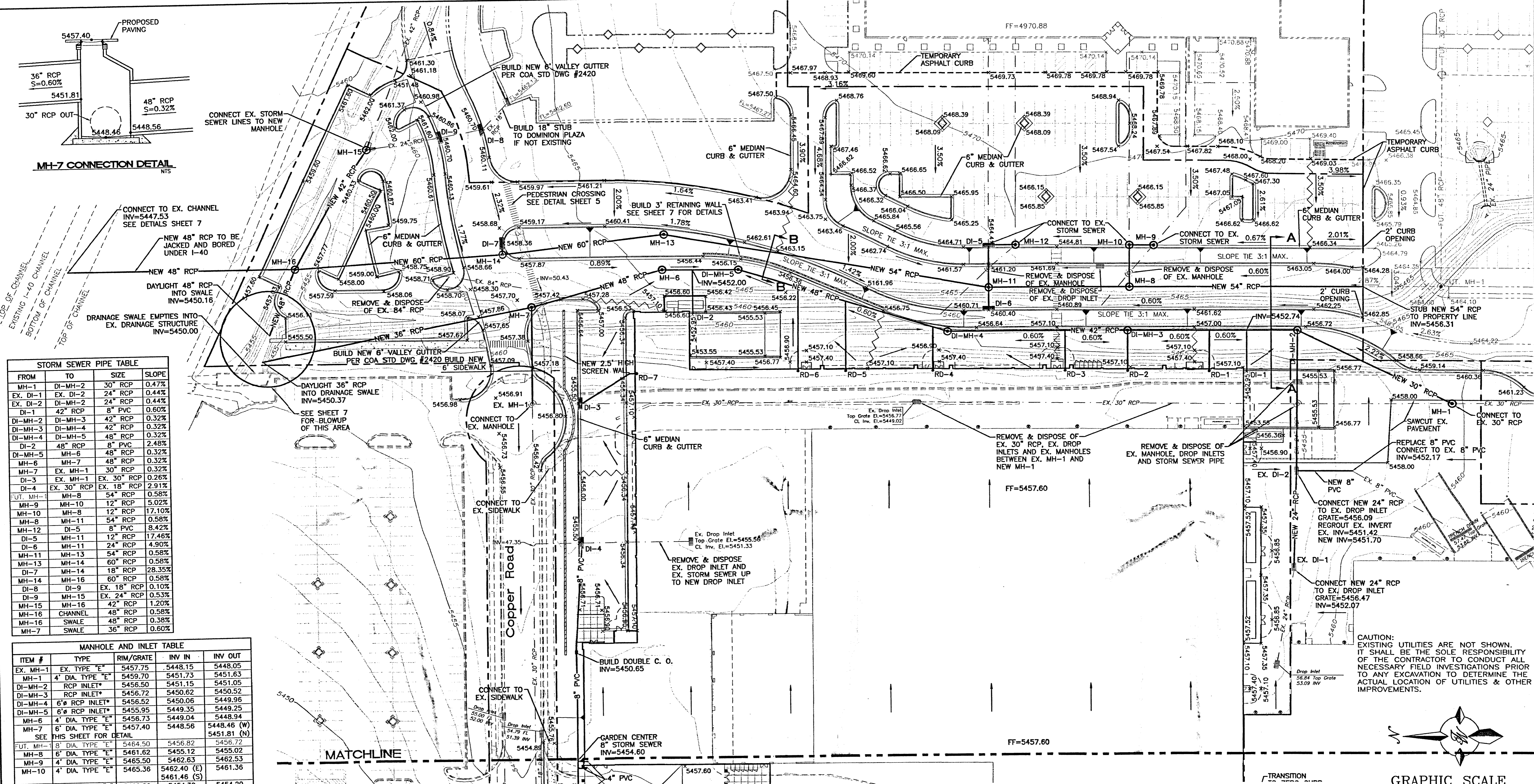
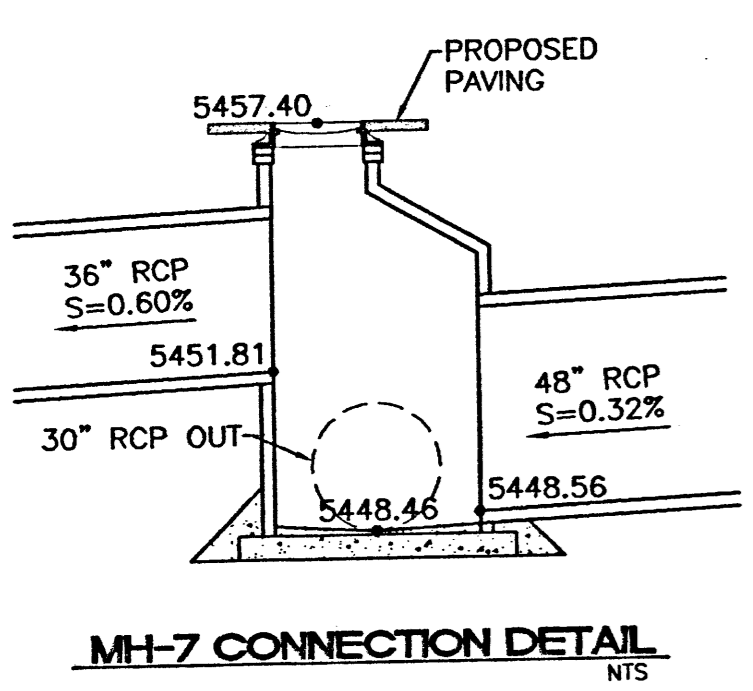
- NOTES:**
- ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
 - ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
 - ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
 - ALL VALLEY GUTTERS TO BE BUILT PER COA STD DWG #2420.
 - SEE SHEET 7 FOR RCP INLET DETAIL.

CAUTION: EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ROUGH GRADING APPROVAL _____ DATE _____

NO.	DATE	REMARKS	BY
REVISIONS			
ALBUQUERQUE WAL-MART EXPANSION: 835-02 GRADING AND DRAINAGE PLAN SHEET "A"			
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100			
DRAWN BY JDN			SHEET #
DATE 06-08-01			5
9929WGR1.DWG			JOB # 990029W



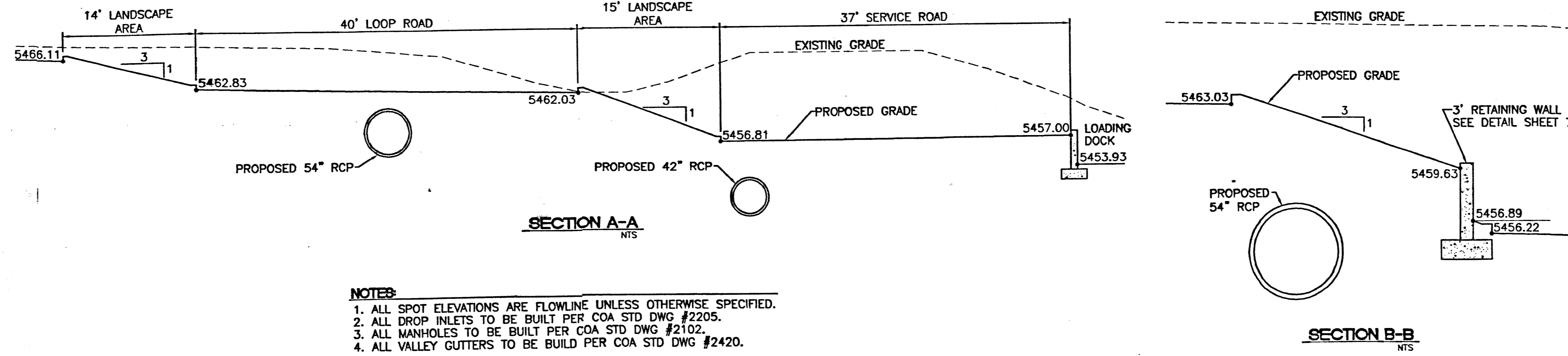
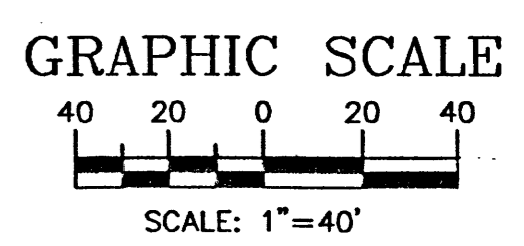
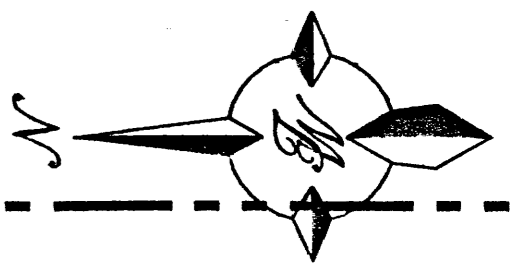
FROM	TO	SIZE	SLOPE
MH-1	DI-MH-2	30" RCP	0.47%
EX. DI-1	EX. DI-2	24" RCP	0.44%
EX. DI-2	DI-MH-2	24" RCP	0.44%
DI-1	DI-MH-3	8" PVC	0.60%
DI-MH-2	DI-MH-3	42" RCP	0.32%
DI-MH-3	DI-MH-4	42" RCP	0.32%
DI-MH-4	DI-MH-5	48" RCP	2.48%
DI-2	48" RCP	8" PVC	0.32%
DI-MH-5	MH-6	48" RCP	0.32%
MH-6	MH-7	48" RCP	0.32%
MH-7	EX. MH-1	30" RCP	0.32%
DI-3	EX. MH-1	EX. 30" RCP	0.26%
DI-4	EX. 30" RCP	EX. 18" RCP	2.91%
DI-MH-1	MH-8	54" RCP	0.58%
MH-9	MH-10	12" RCP	5.02%
MH-10	MH-8	12" RCP	17.10%
MH-8	MH-11	54" RCP	0.58%
MH-12	DI-5	8" PVC	8.42%
DI-5	MH-11	12" RCP	17.46%
DI-6	MH-11	24" RCP	4.90%
MH-11	MH-13	54" RCP	0.58%
MH-13	MH-14	60" RCP	0.58%
DI-7	MH-14	18" RCP	28.35%
MH-14	MH-16	60" RCP	0.58%
DI-8	DI-9	EX. 18" RCP	0.10%
DI-9	MH-15	EX. 24" RCP	0.53%
MH-15	MH-16	42" RCP	1.20%
MH-16	CHANNEL	48" RCP	0.58%
MH-16	SWALE	48" RCP	0.38%
MH-7	SWALE	36" RCP	0.60%

ITEM #	TYPE	RIM/GRATE	INV IN	INV OUT
EX. MH-1	EX. TYPE "E"	5457.75	5448.15	5448.05
MH-1	4" DIA. TYPE "E"	5459.70	5451.73	5451.83
DI-MH-2	RCP INLET*	5456.50	5451.15	5451.05
DI-MH-3	RCP INLET*	5456.72	5450.62	5450.52
DI-MH-4	6" RCP INLET*	5456.52	5450.06	5449.96
DI-MH-5	6" RCP INLET*	5455.95	5449.35	5449.25
MH-6	4" DIA. TYPE "E"	5456.73	5449.04	5448.94
MH-7	6" DIA. TYPE "E"	5457.40	5448.56	5448.46 (W) 5451.81 (N)
SEE THIS SHEET FOR DETAIL				
DI-MH-1	8" DIA. TYPE "E"	5464.50	5456.82	5456.72
MH-8	6" DIA. TYPE "E"	5461.62	5455.12	5455.02
MH-9	4" DIA. TYPE "E"	5465.50	5462.63	5462.53
MH-10	4" DIA. TYPE "E"	5465.36	5462.40 (E) 5461.46 (S)	5461.36
MH-11	6" DIA. TYPE "E"	5460.80	5454.30	5454.20
MH-12	4" DIA. TYPE "E"	5464.60	5462.60	5462.50
MH-13	6" DIA. TYPE "E"	5459.90	5452.53	5452.43
MH-14	6" DIA. TYPE "E"	5458.15	5451.61	5451.51
MH-15	8" DIA. TYPE "E"	5460.94	5452.00	5451.90
MH-16	12" DIA. TYPE "E"	5457.45	5450.45	5450.35
DI-1	DOCK DRAIN**	N/A	N/A	5452.95
DI-2	DOCK DRAIN**	N/A	N/A	5452.95
DI-3	SINGLE "C" INLET	5455.50	5451.50	5448.25
DI-4	SINGLE "C" INLET	5455.50	5448.60	5448.50
DI-5	SINGLE "C" INLET	5464.41	5462.35 (E) 5460.51 (S)	5460.41
DI-6	SINGLE "C" INLET	5459.28	N/A	5455.23
DI-7	SINGLE "C" INLET	5458.36	N/A	5454.36
DI-8	SINGLE "C" INLET	5460.70	5455.50	5455.40
DI-9	SINGLE "C" INLET	5460.70	5455.10	5455.00

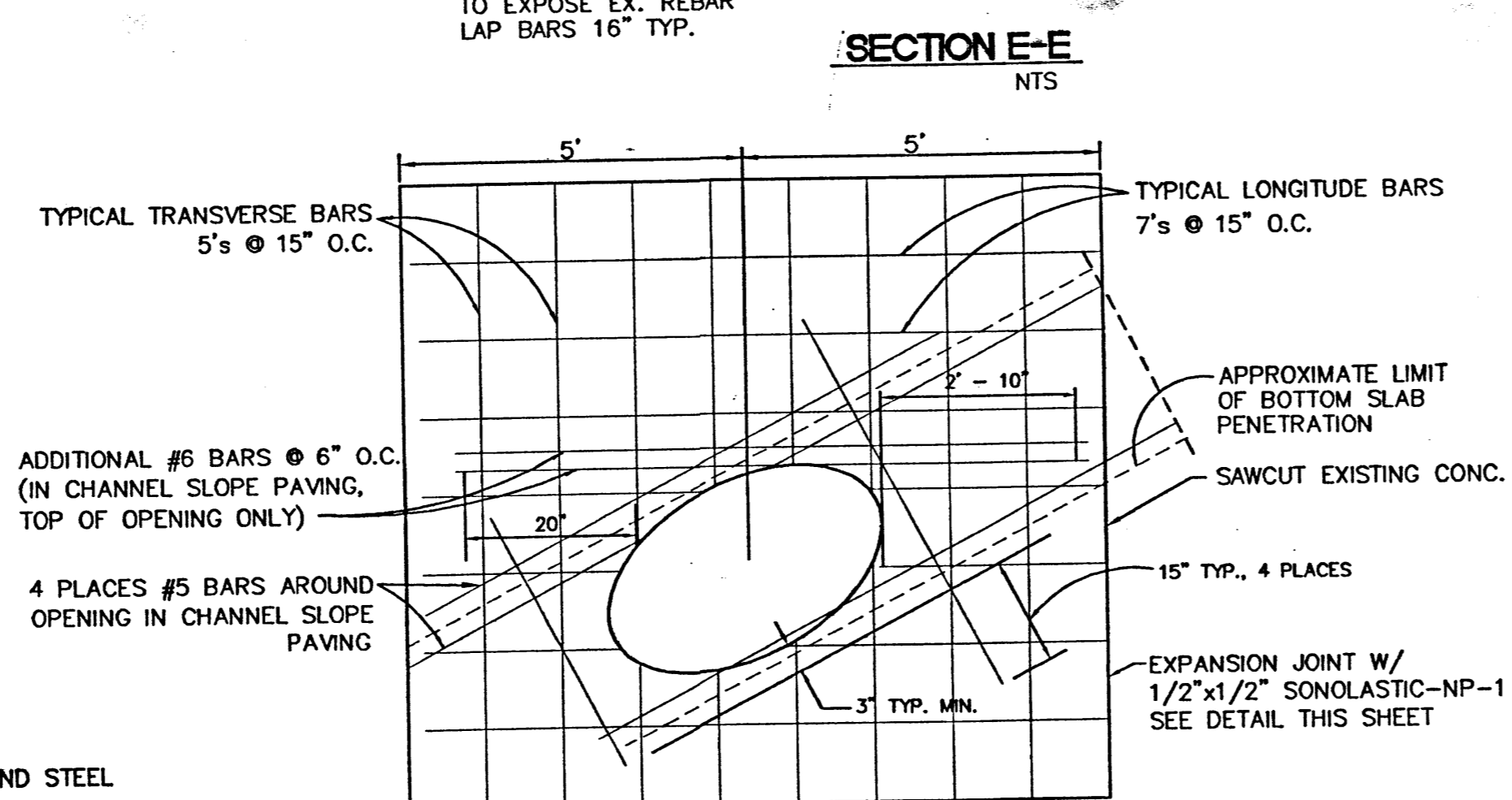
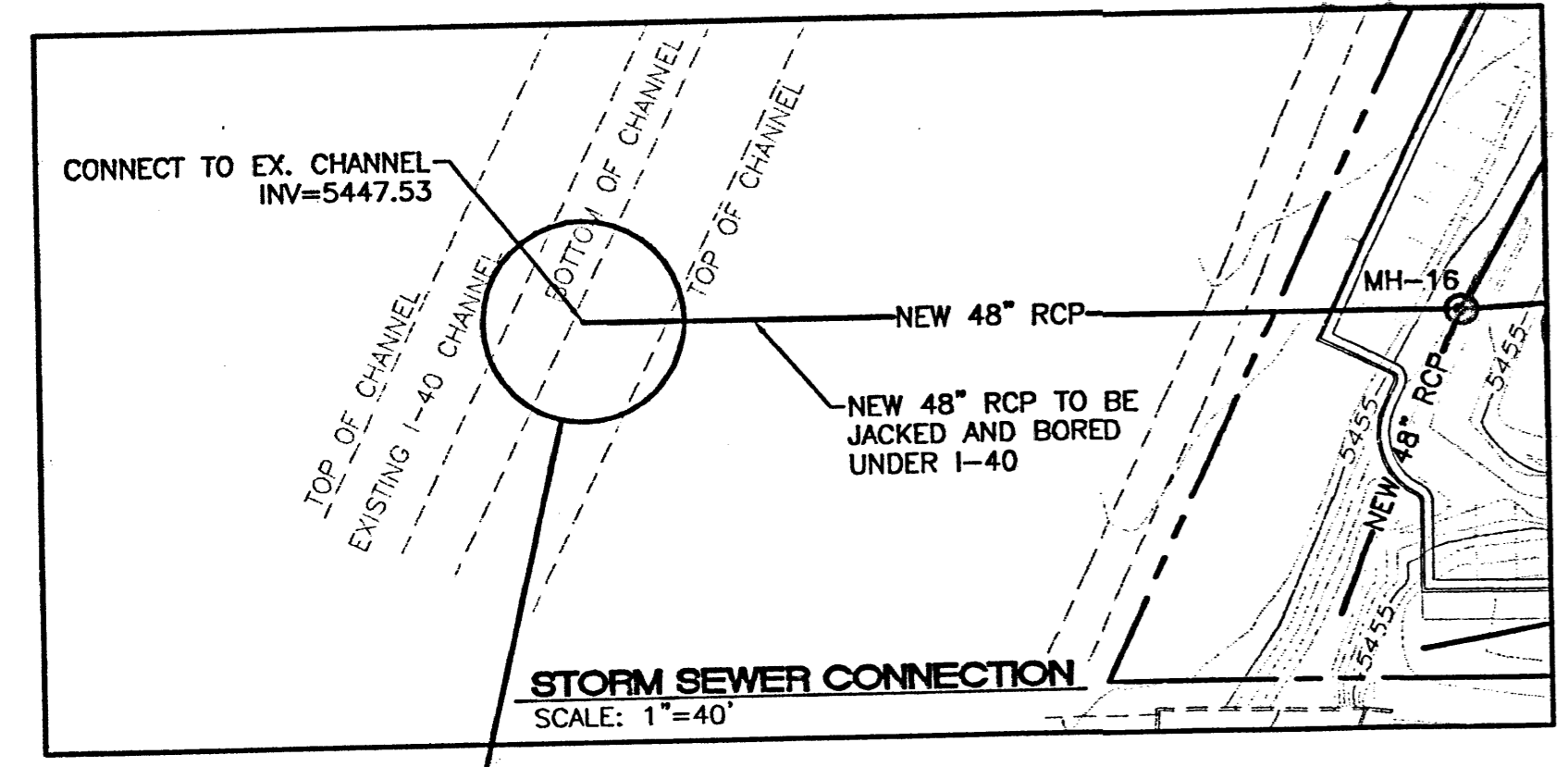
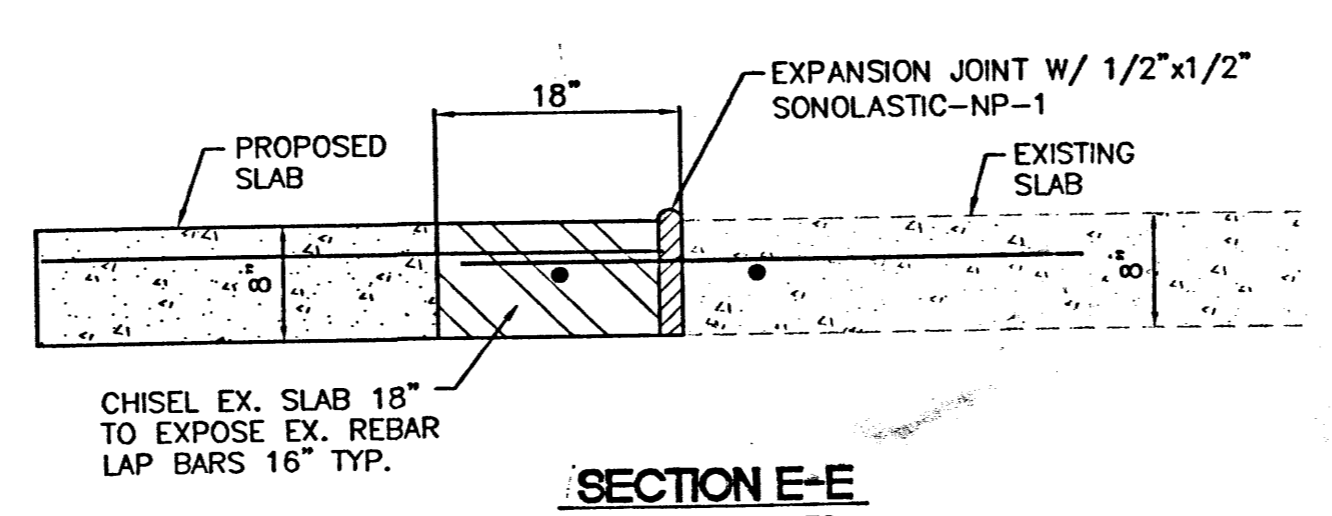
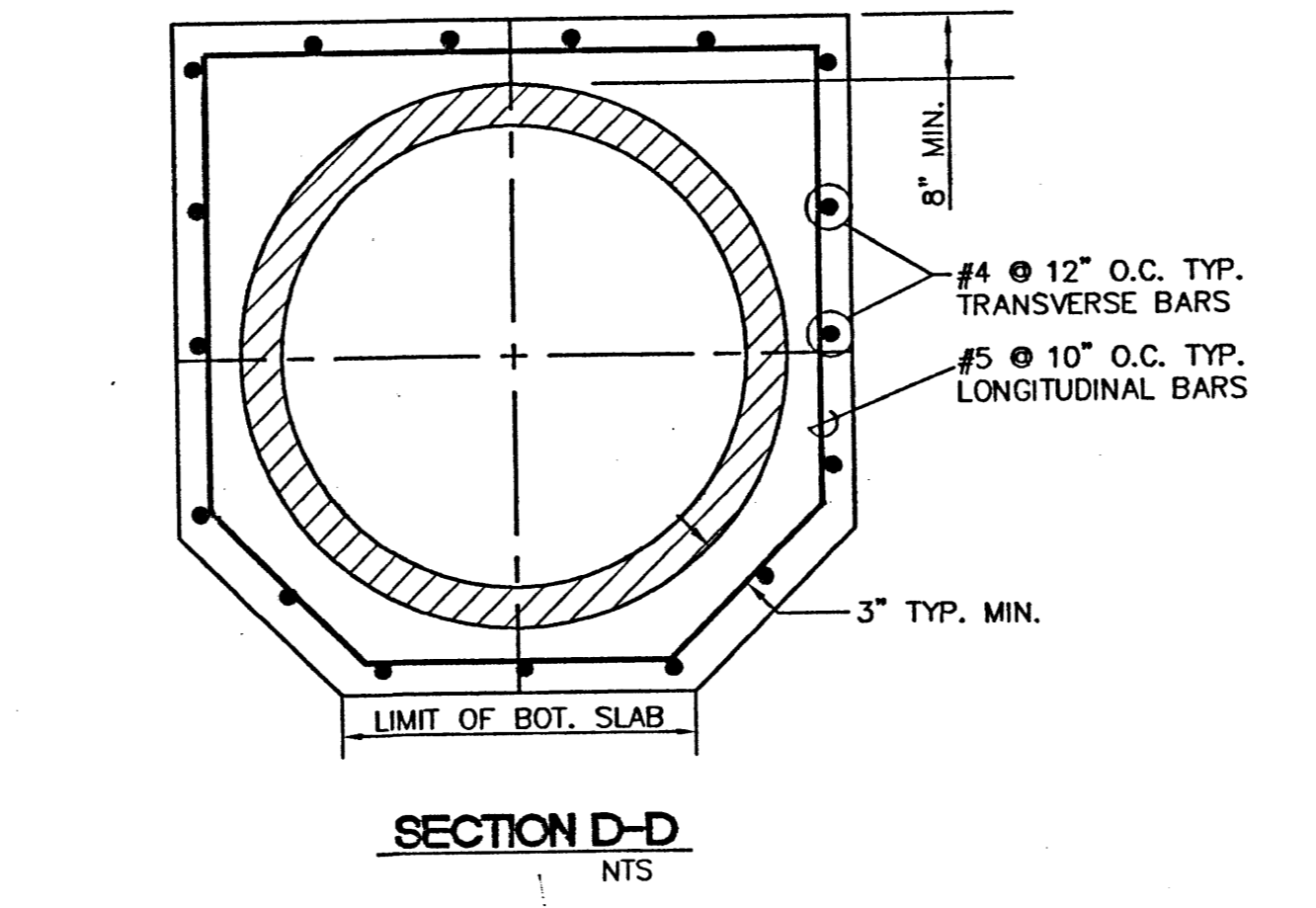
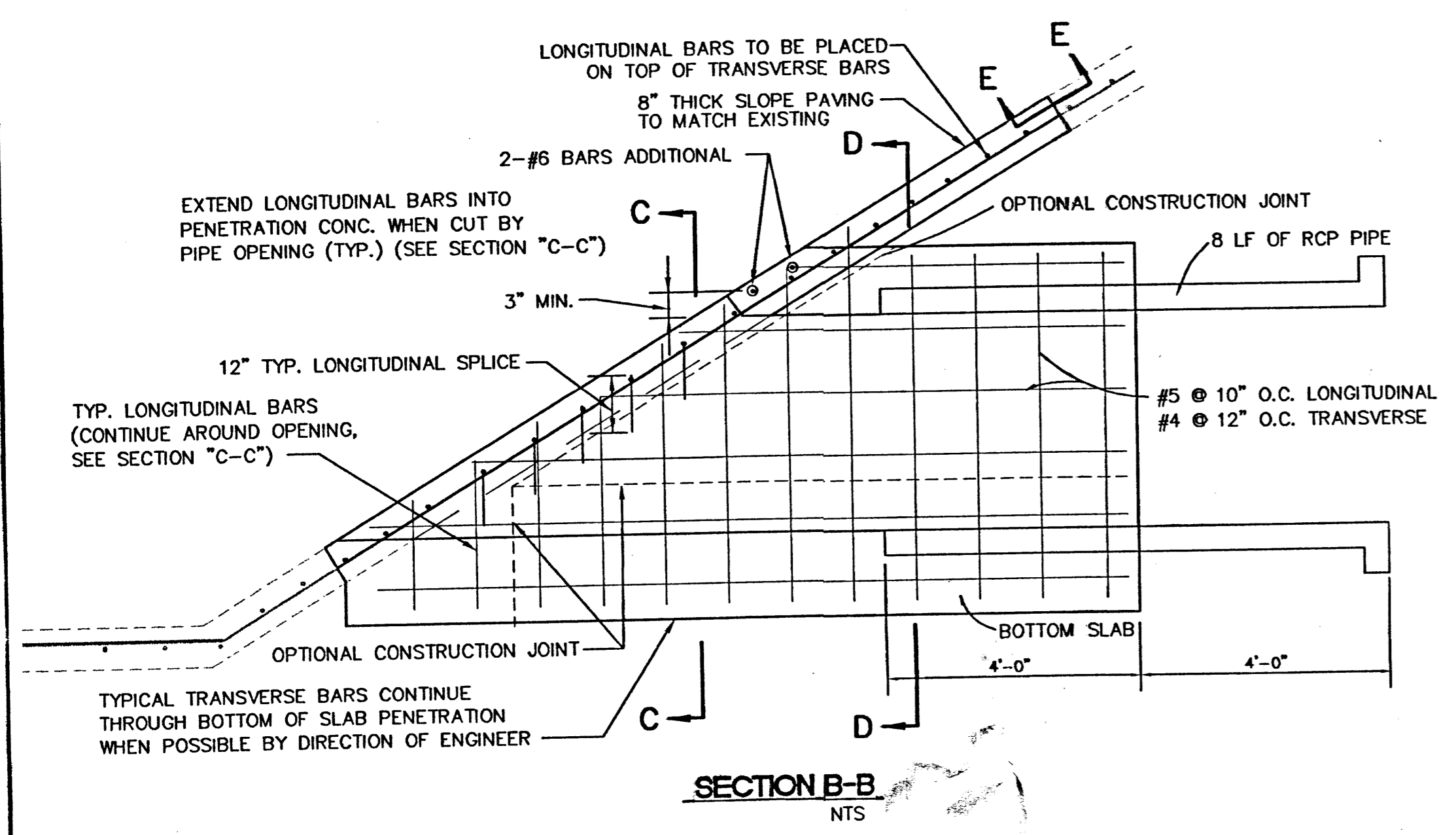
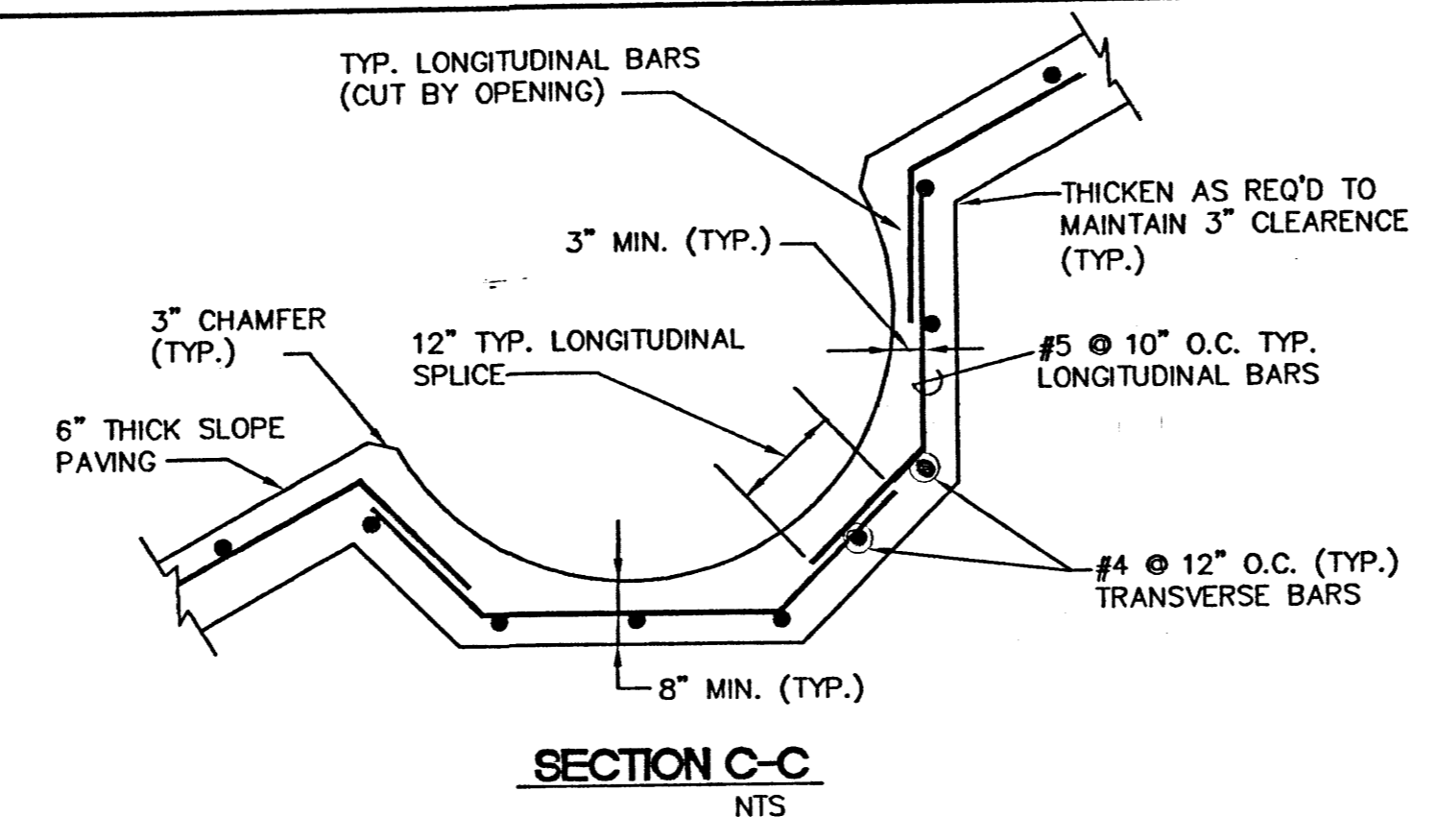
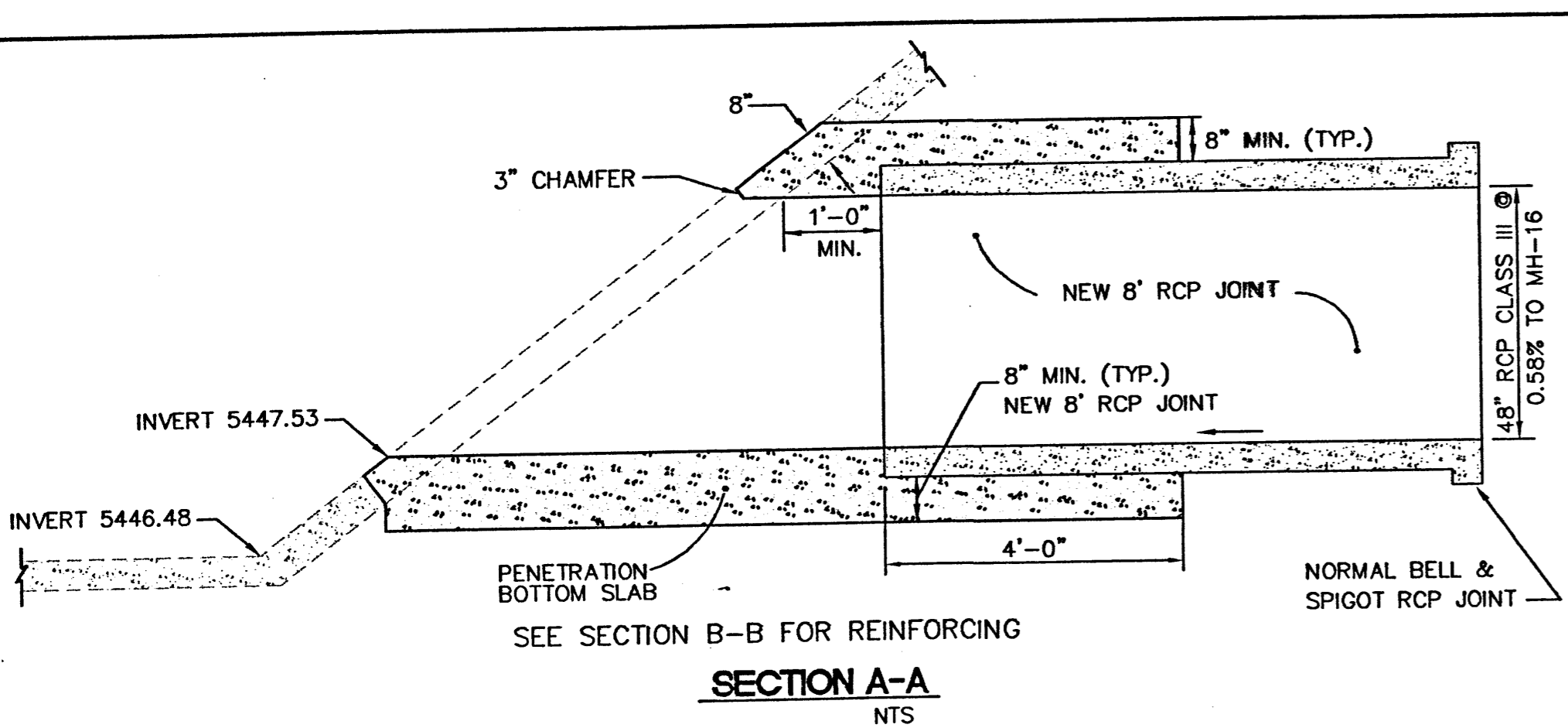
ITEM #	TYPE	INV	BLDG.	INV	RCP	SIZE	SLOPE
RD-1	ROOF DRAIN	5454.60	5453.30	10"	PVC	3.76%	
RD-2	ROOF DRAIN	5454.60	5453.00	10"	PVC	4.67%	
RD-3	ROOF DRAIN	5454.60	5452.84	10"	PVC	5.18%	
RD-4	ROOF DRAIN	5454.60	5452.42	10"	PVC	5.85%	
RD-5	ROOF DRAIN	5454.60	5452.16	10"	PVC	4.08%	
RD-6	ROOF DRAIN	5454.60	5452.00	10"	PVC	3.60%	
RD-7	ROOF DRAIN	5454.60	5451.50	10"	PVC	5.99%	

- NOTES:**
- ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
 - ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
 - ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
 - ALL VALLEY GUTTERS TO BE BUILT PER COA STD DWG #2420.

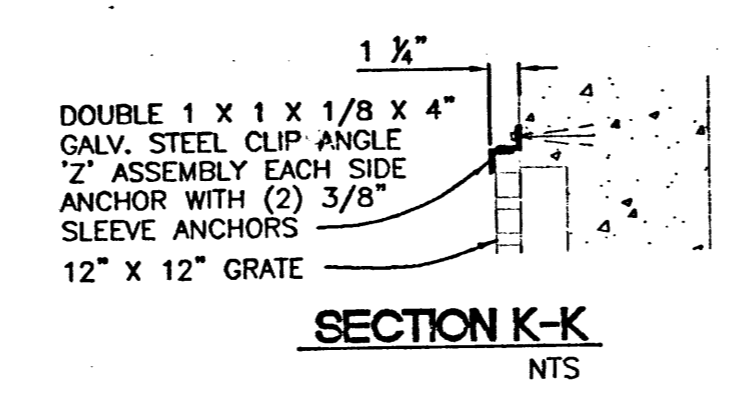
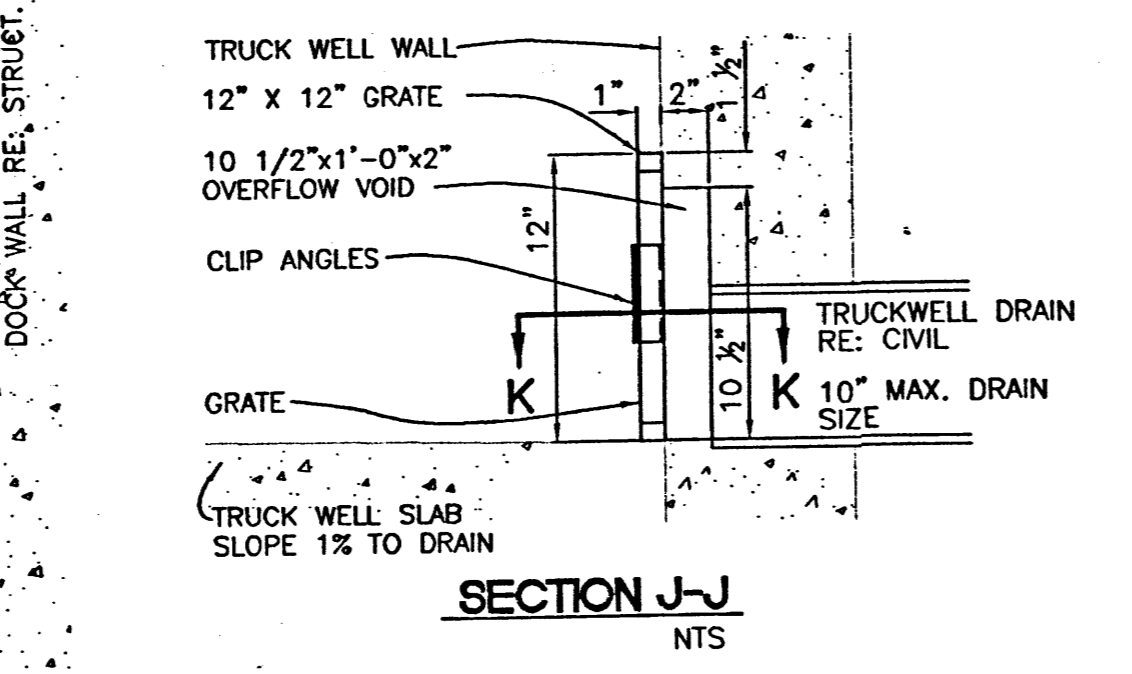
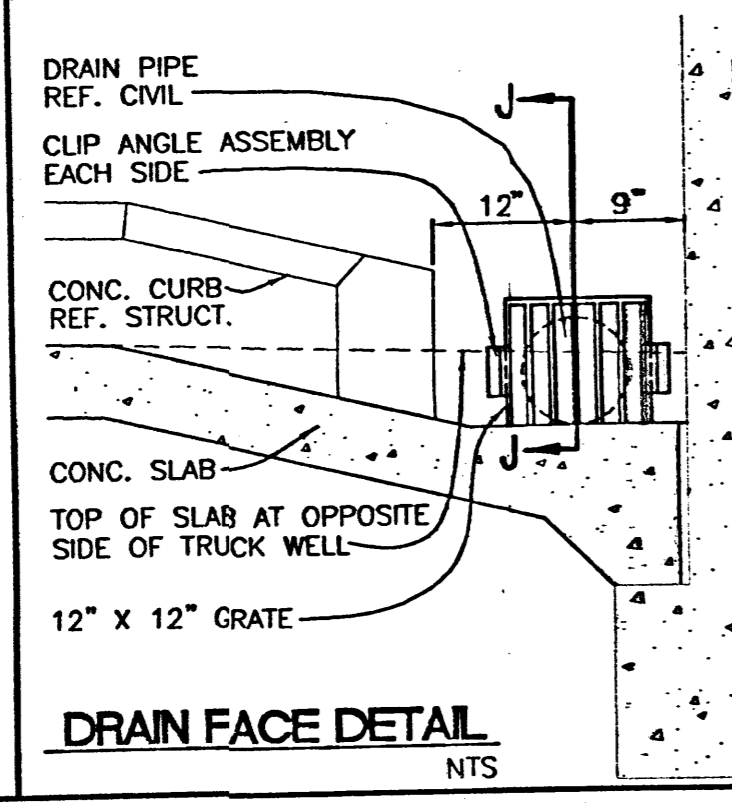
CAUTION: EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION: 835-02 GRADING AND DRAINAGE PLAN SHEET "B"	DRAWN BY JDN
			DATE 06-08-01
			9929WCR1.DWG
			SHEET # 6
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100			JOB # 990029W



- NOTES:**
- CONCRETE TO BE 4,000 PSI AND STEEL TO BE GRADE 60.
 - ALL SUBGRADE AND BACKFILL PLACED AT 95% MODIFIED PROCTOR. MOISTURE AT OPTIMUM TO PLUS 3% OF OPTIMUM.

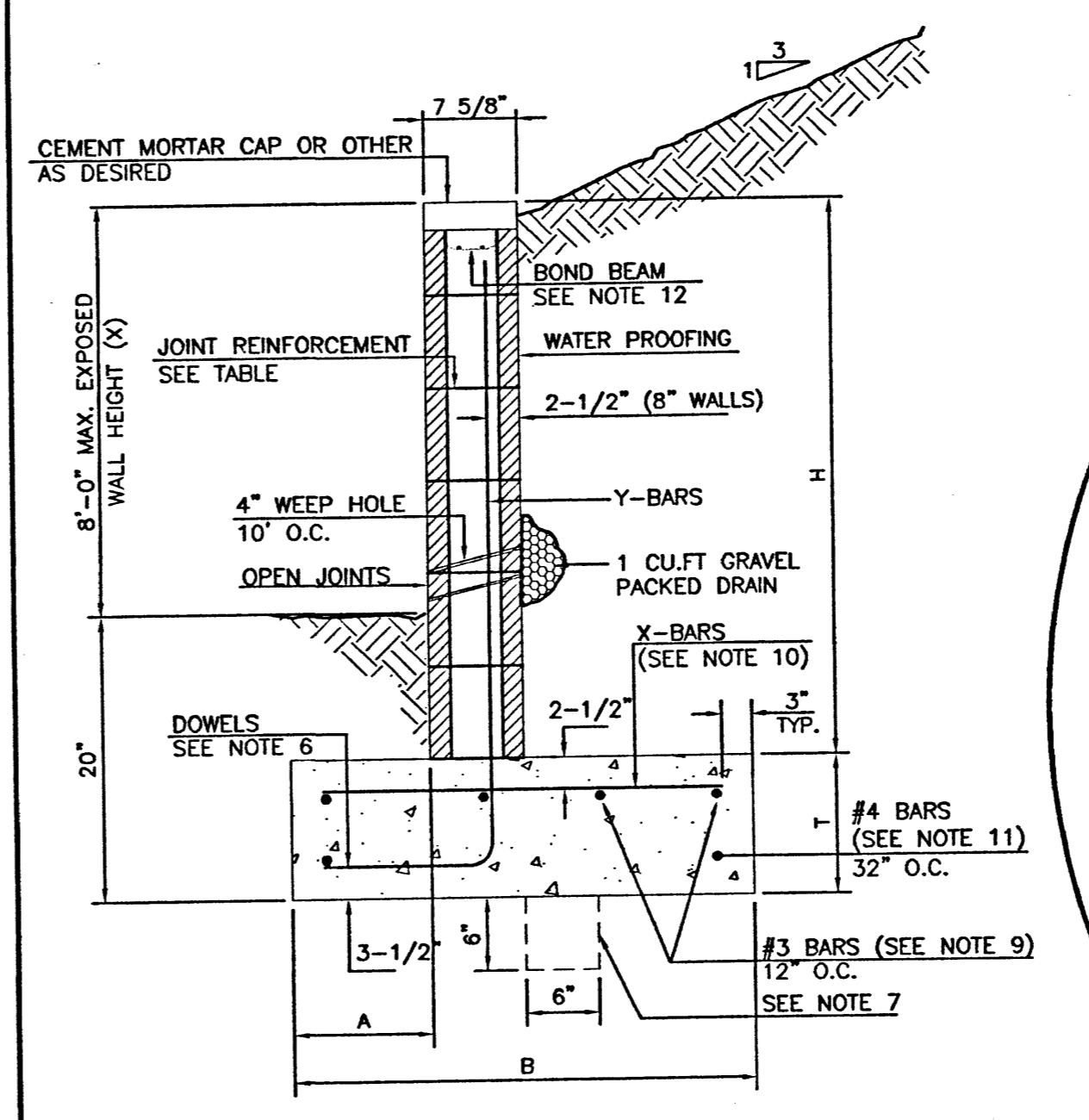


CHANNEL CONNECTION DETAILS

DRAIN FACE DETAIL

SECTION J-J

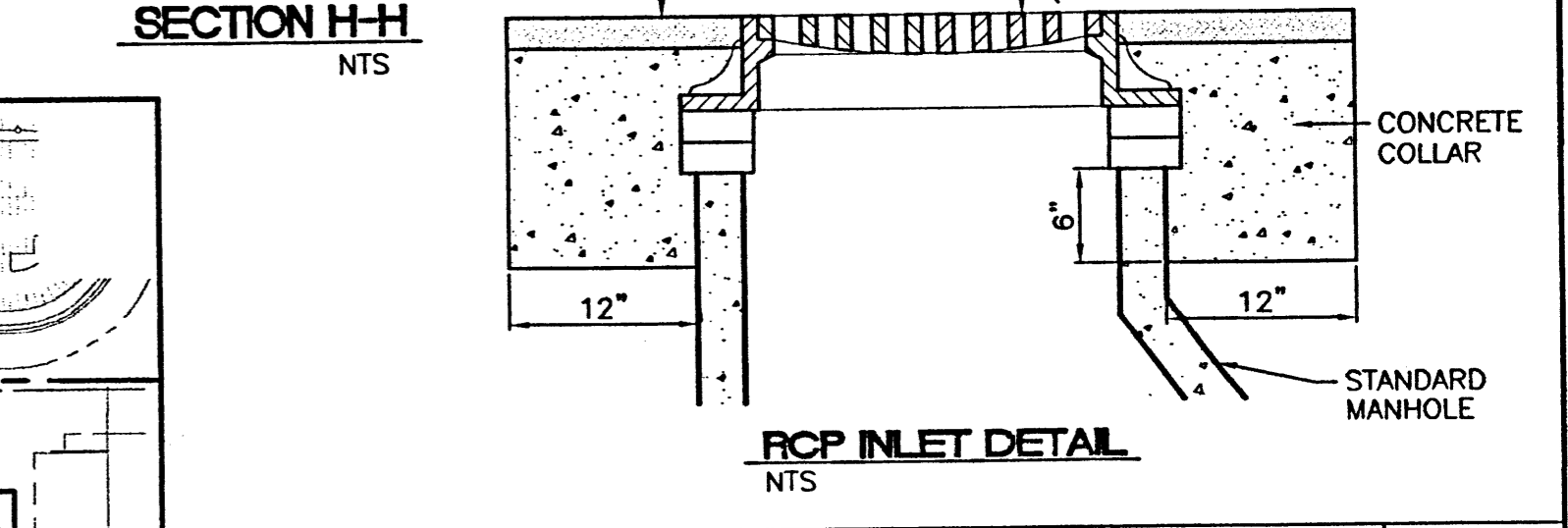
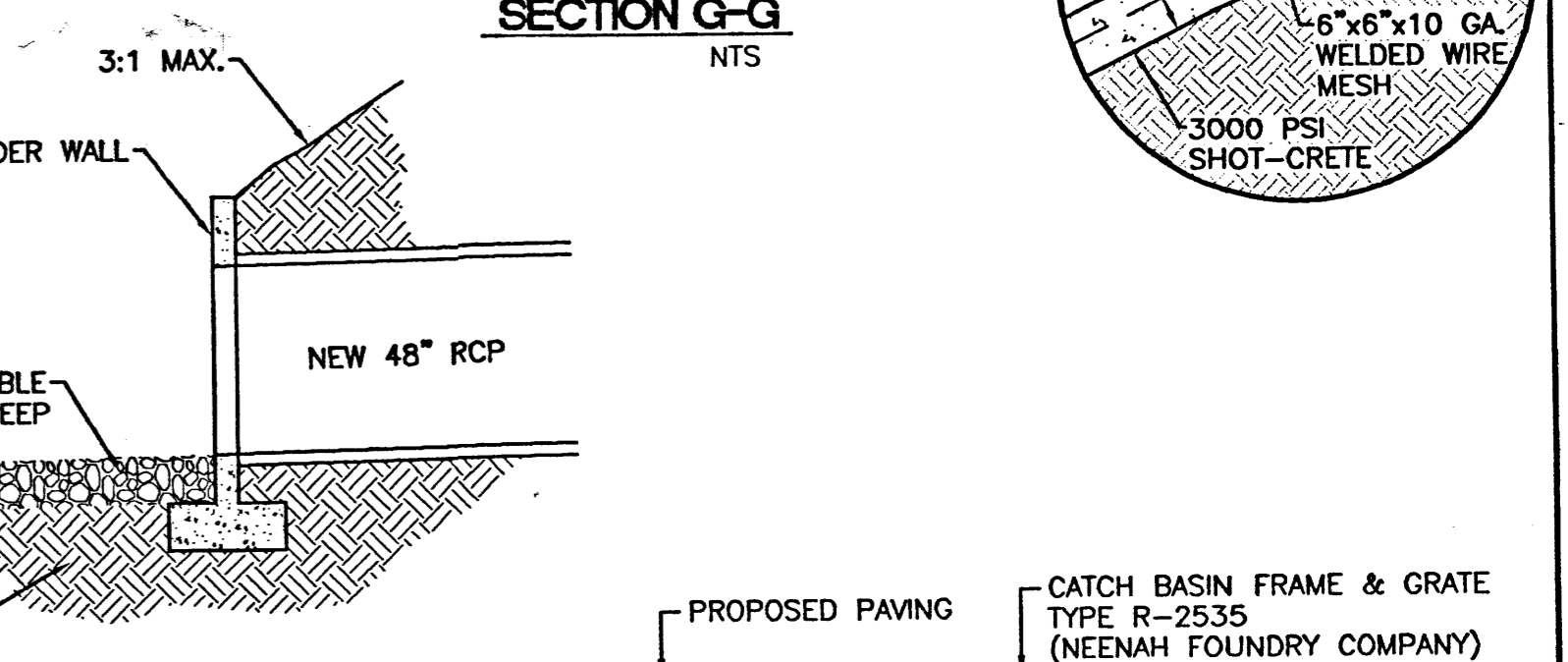
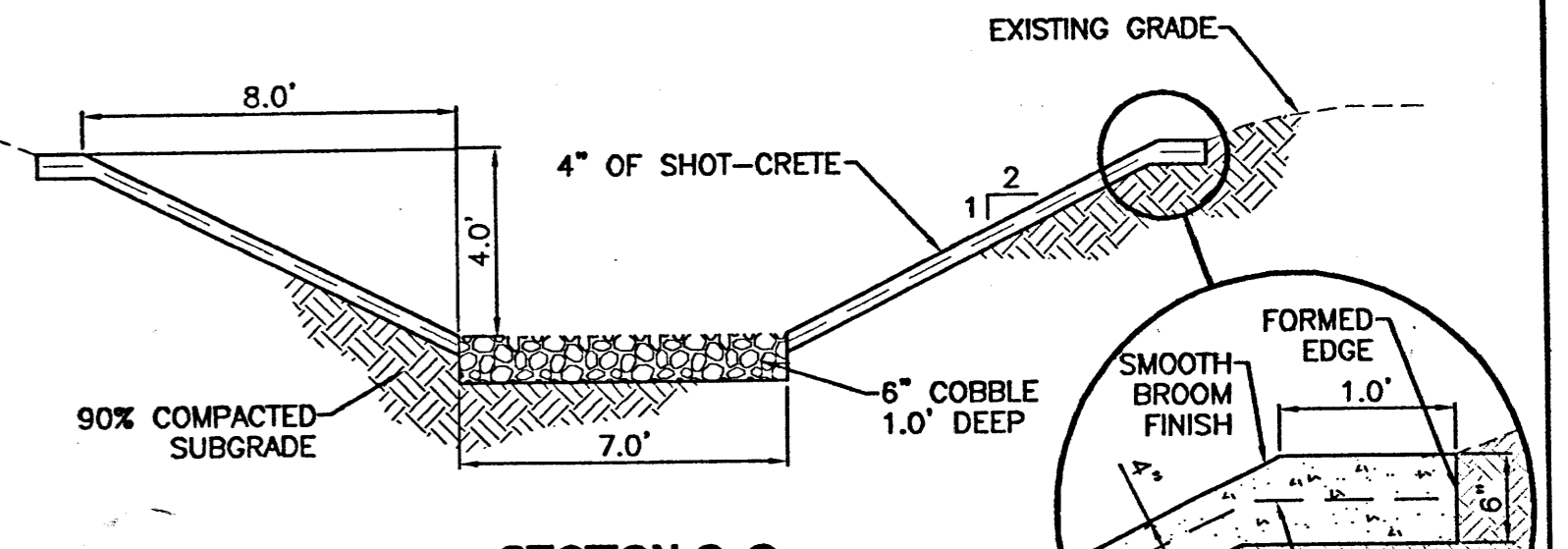
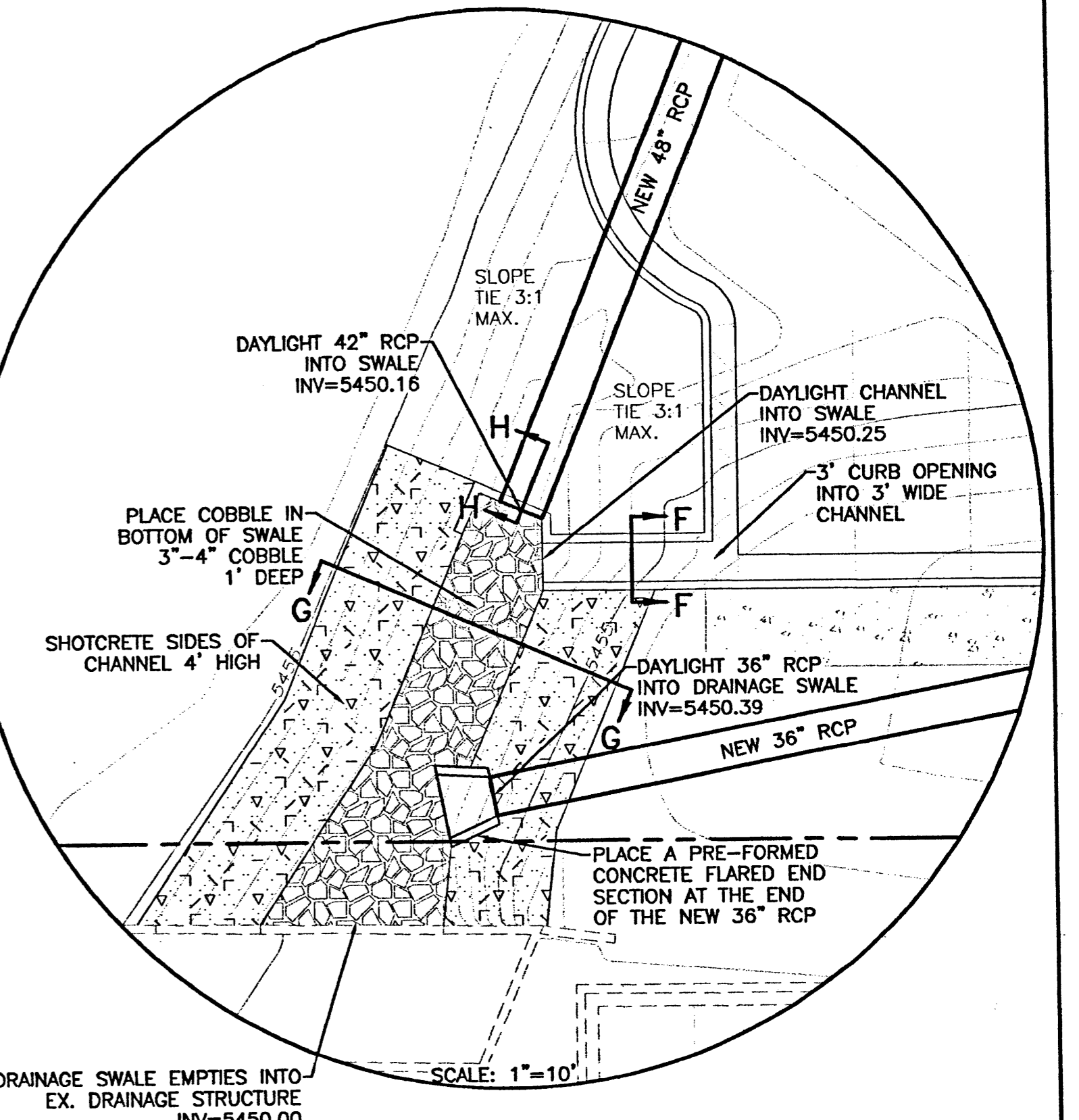
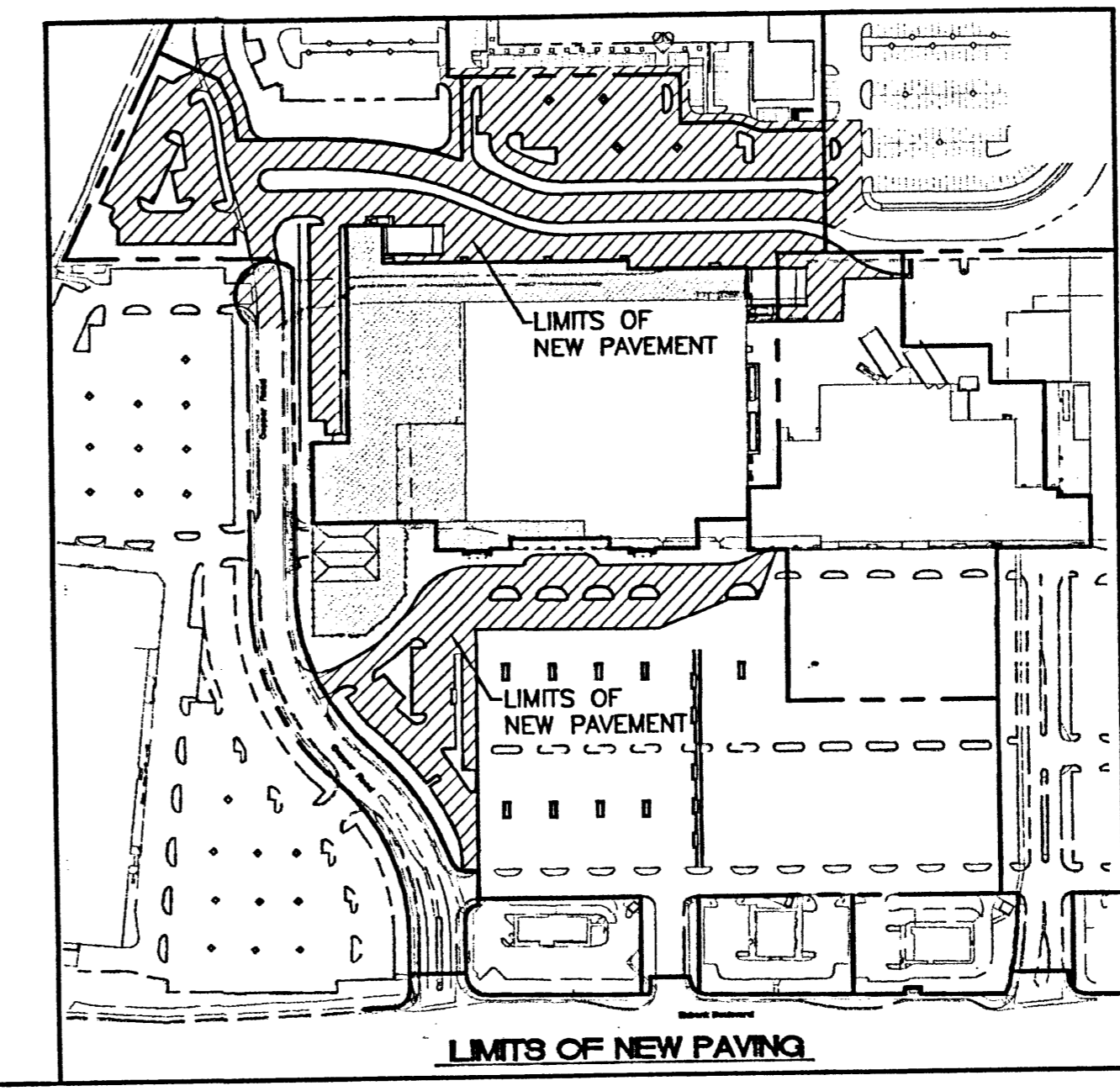
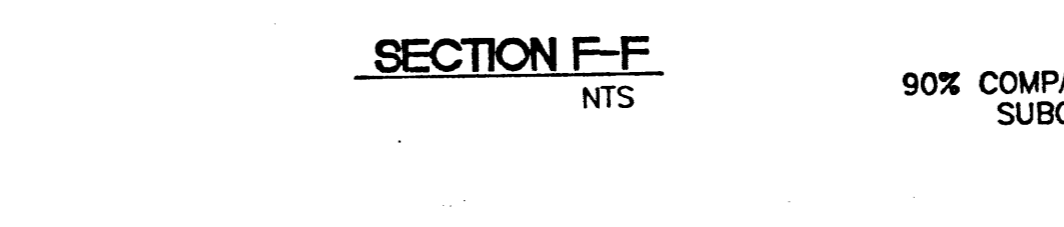
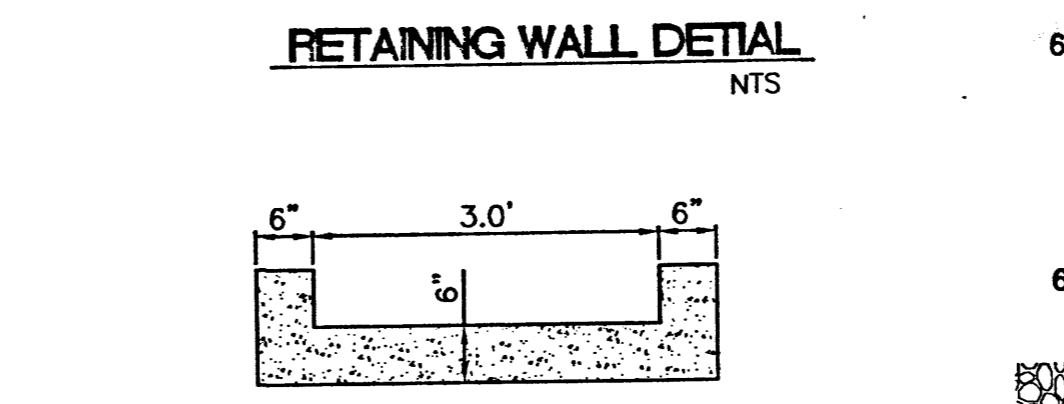
DOCK DRAIN DETAILS



8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	ft.-in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @ 32" O.C.	#3 @ 27" O.C.
2'-8"	1'-9"	8"	2'-4"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @ 32" O.C.	#3 @ 27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @ 32" O.C.	#3 @ 27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @ 16" O.C.	#4 @ 30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @ 24" O.C.	#4 @ 25" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
 - X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
 - #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

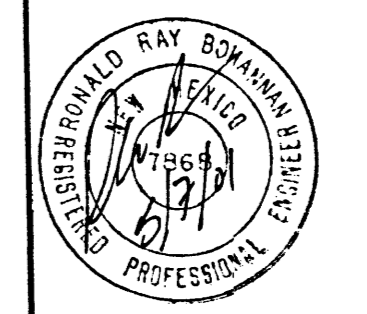


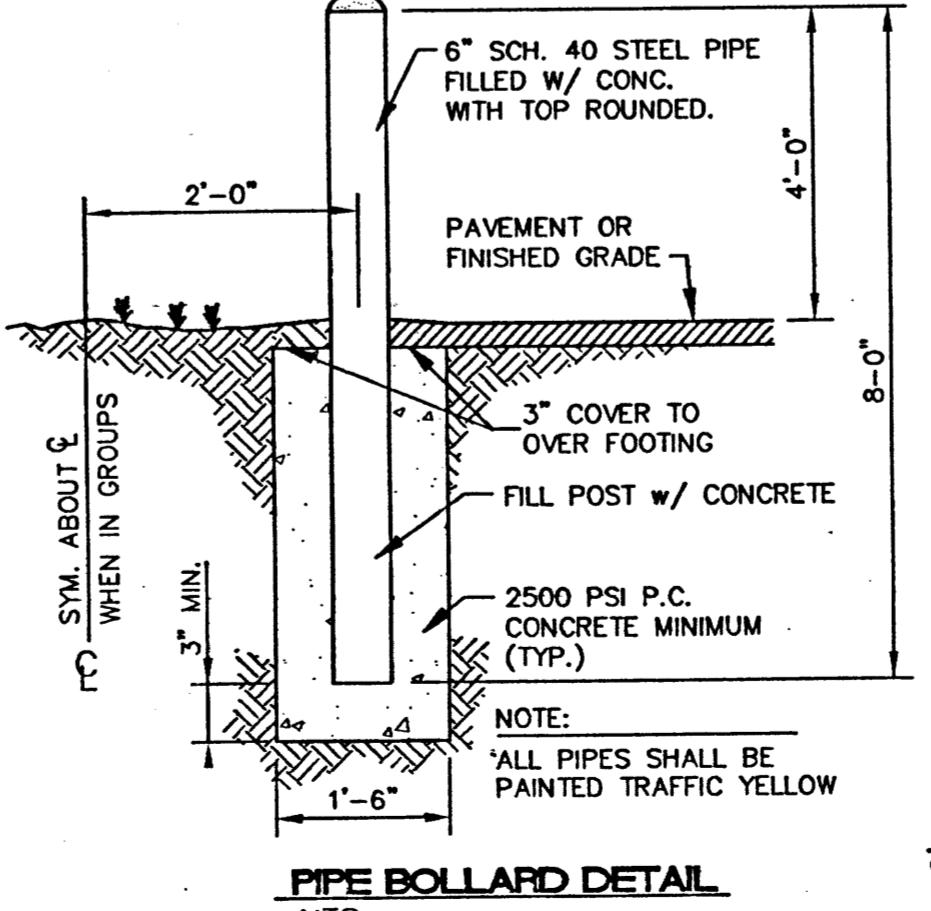
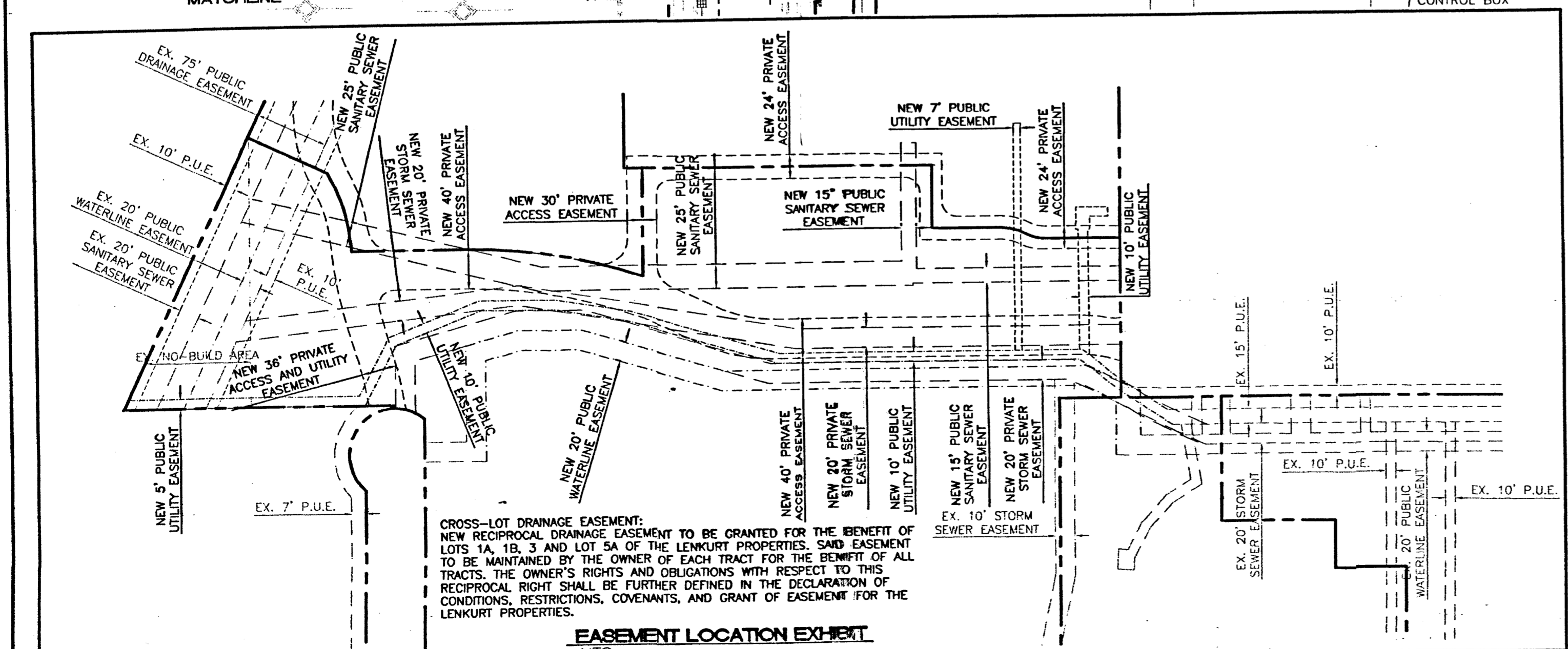
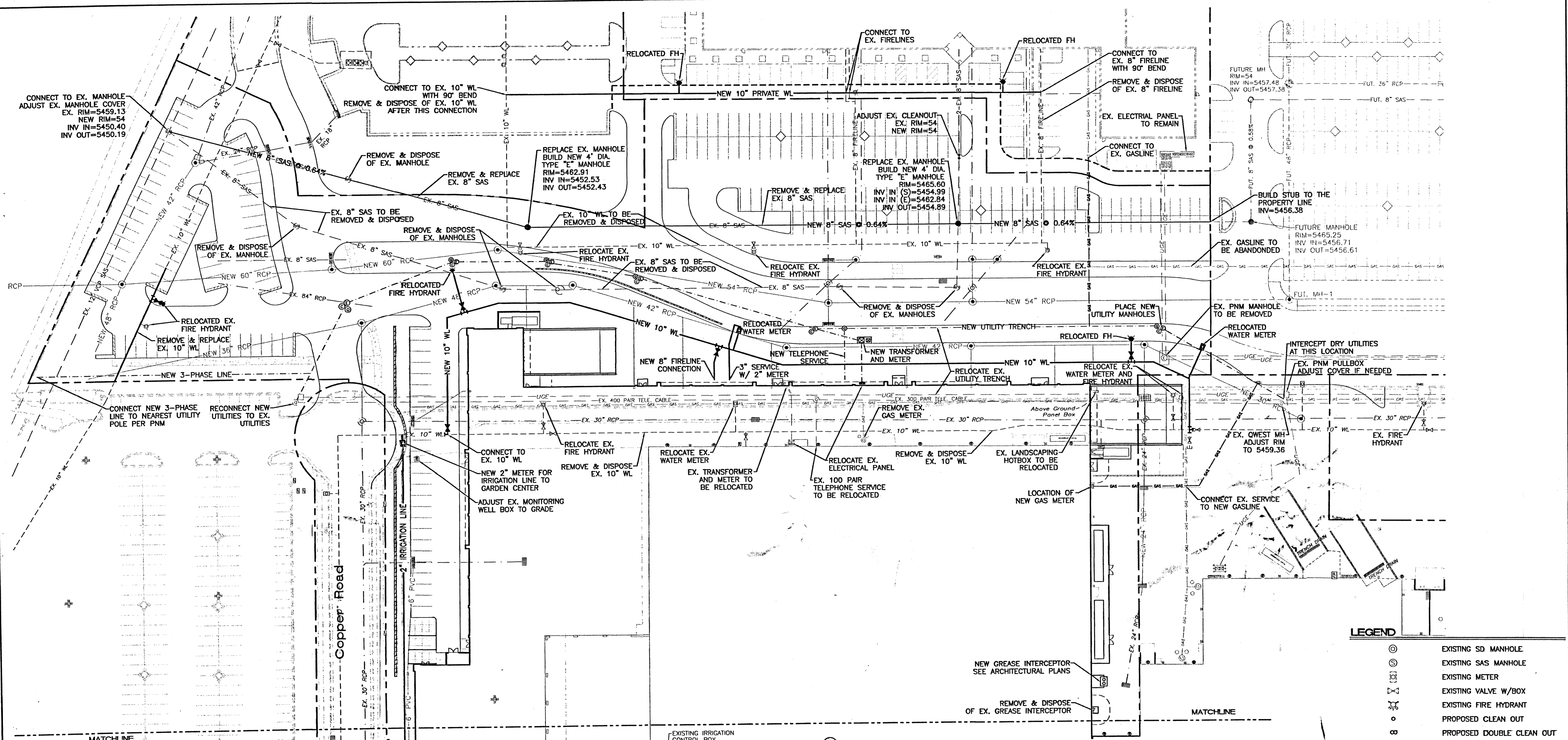
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		DRAWN BY JDN	
DATE		04-26-01	
JOB #		9929WDET.DWG	
SHEET #		7	
JOB #		990029W	

ALBUQUERQUE WAL-MART EXPANSION: 835-02

DETAIL SHEET

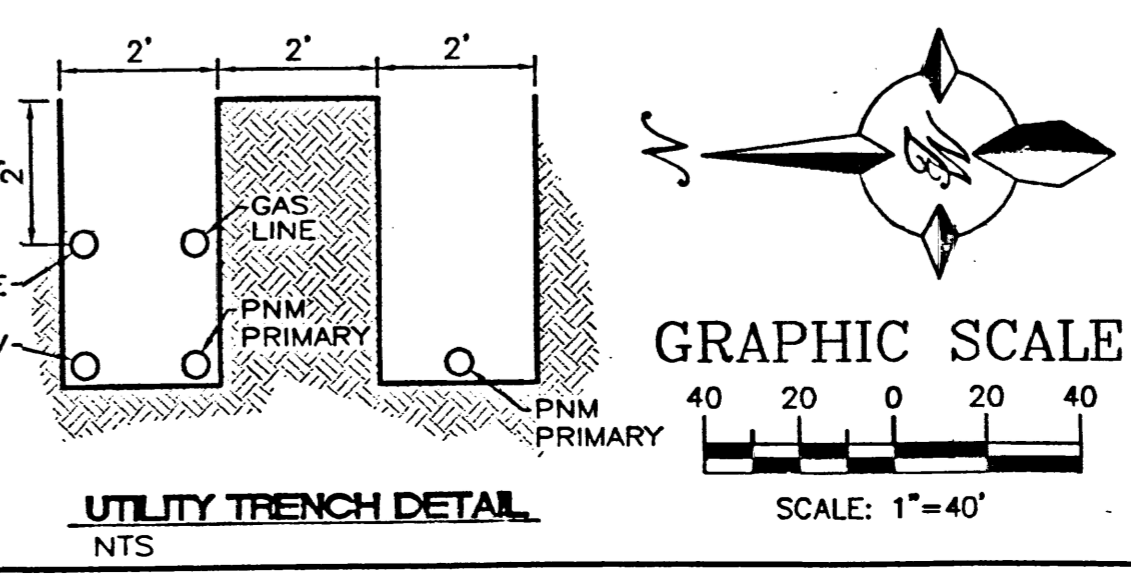
TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100





- GENERAL NOTES:**
- 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
 - ALL PIPE MATERIAL TO BE USED PER UPC.

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

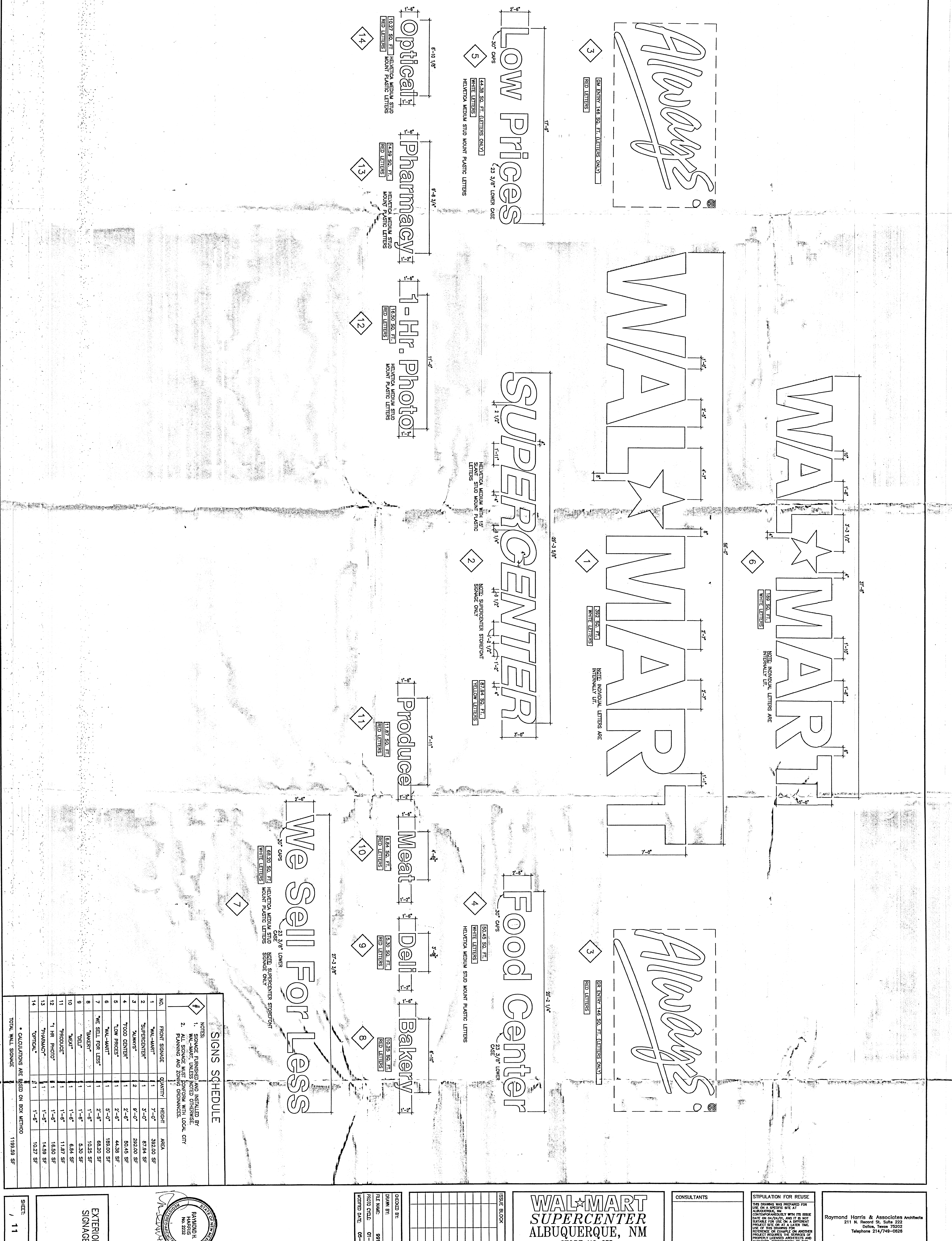


LEGEND

⊙	EXISTING SD MANHOLE
⊗	EXISTING SAS MANHOLE
⊠	EXISTING METER
⊞	EXISTING VALVE W/BOX
⊕	EXISTING FIRE HYDRANT
○	PROPOSED CLEAN OUT
⊗	PROPOSED DOUBLE CLEAN OUT
---	EX. 8" SAS
---	EX. 16" WL
---	EXISTING WATER LINE
---	EXISTING CURB & GUTTER
---	4" SD
---	PROPOSED SANITARY SEWER LINE
---	8" SAS
---	PROPOSED SANITARY SEWER LINE
---	8" WL
---	PROPOSED WATERLINE
---	BOUNDARY LINE

NO.	DATE	REMARKS	BY
REVISIONS			

ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION: 835-02 MASTER UTILITY PLAN SHEET 'B'	DRAWN BY JDN
		DATE 06-08-01
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	9929MU.DWG SHEET # 9 JOB # 990029W



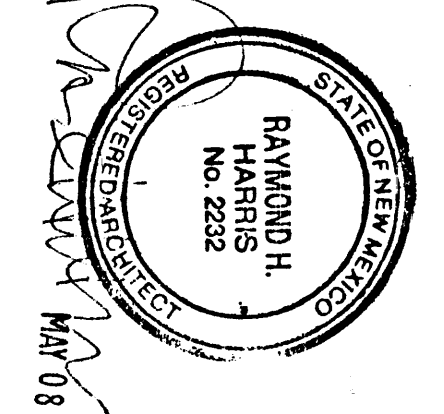
SIGNS SCHEDULE

NOTES:
 1. SIGNAGE FINISHED AND INSTALLED BY WAL-MART, UNLESS NOTED OTHERWISE.
 2. ALL SIGNAGE MUST CONFORM WITH LOCAL CITY PLANNING AND ZONING ORDINANCES.

NO.	FRONT SIGNAGE	QUANTITY	HEIGHT	AREA
1	"WAL-MART"	1	7'-0"	392.00 SF
2	"SUPERCENTER"	1	3'-0"	67.94 SF
3	"ALWAYS"	2	8'-0"	292.00 SF
4	"LOW PRICES"	1	2'-6"	50.45 SF
5	"WAL-MART"	1	2'-6"	44.38 SF
6	"WE SELL FOR LESS"	1	3'-0"	189.00 SF
7	"BAKERY"	1	1'-6"	68.20 SF
8	"DELI"	1	1'-6"	5.30 SF
9	"MEAT"	1	1'-6"	6.84 SF
10	"PRODUCE"	1	1'-6"	11.87 SF
11	"1 HR PHOTO"	1	1'-6"	16.50 SF
12	"OPTICAL"	1	1'-6"	14.59 SF
13	"PHARMACY"	1	1'-6"	10.27 SF
14	"FOOD CENTER"	1	1'-6"	10.27 SF

TOTAL WALL SIGNAGE 1199.59 SF

* CALCULATIONS ARE BASED ON BOX METHOD



ORDERED BY:
 DRAWN BY:
 FILE NAME: 99130A1
 PROJECT CODE: 01-28-01
 ISSUED DATE: 06-07-01

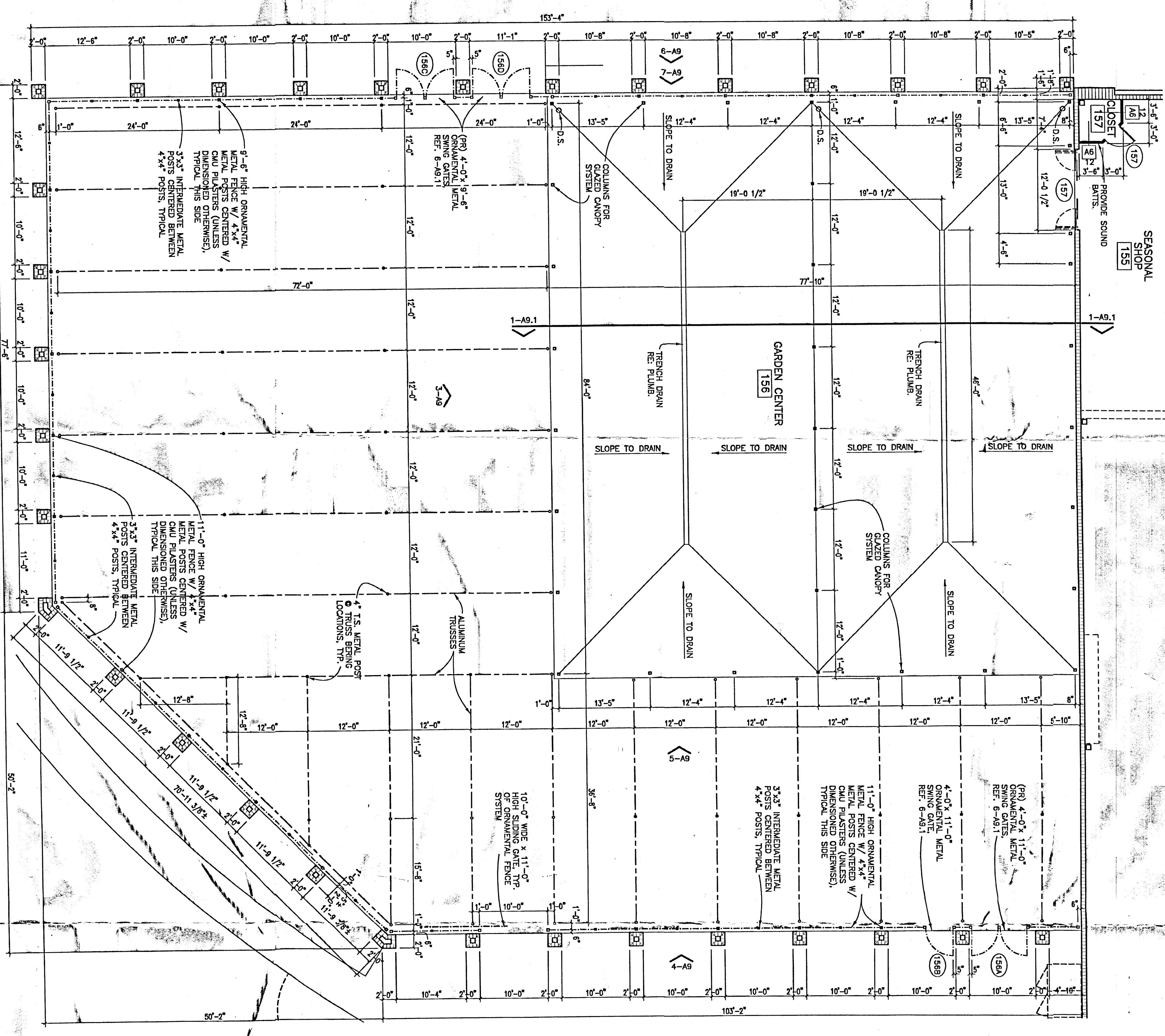
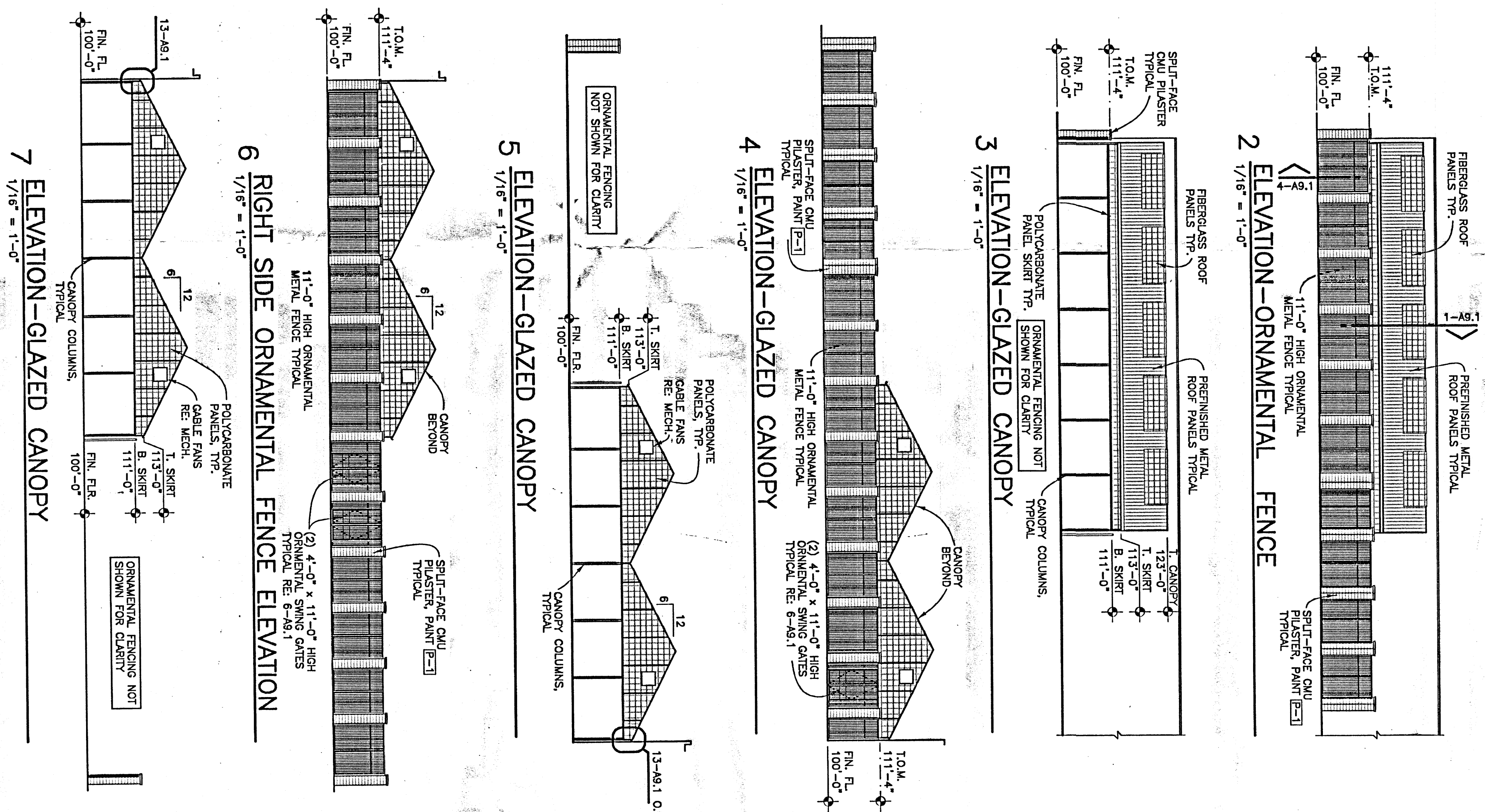
ISSUE BLOCK

WALMART SUPERCENTER
 ALBUQUERQUE, NM
 STORE NO. 835
 JOB NUMBER: 99130 | PROTO: 102

CONSULTANTS

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT ALBUQUERQUE, NM. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR REUSE OF THIS DRAWING FOR ANY OTHER PROJECT. REUSE OF THIS DRAWING MAY BE CONTRARY TO THE LAW.

Raymond Harris & Associates Architects
 211 N. Record St., Suite 222
 Dallas, Texas 75202
 Telephone 214/748-0028

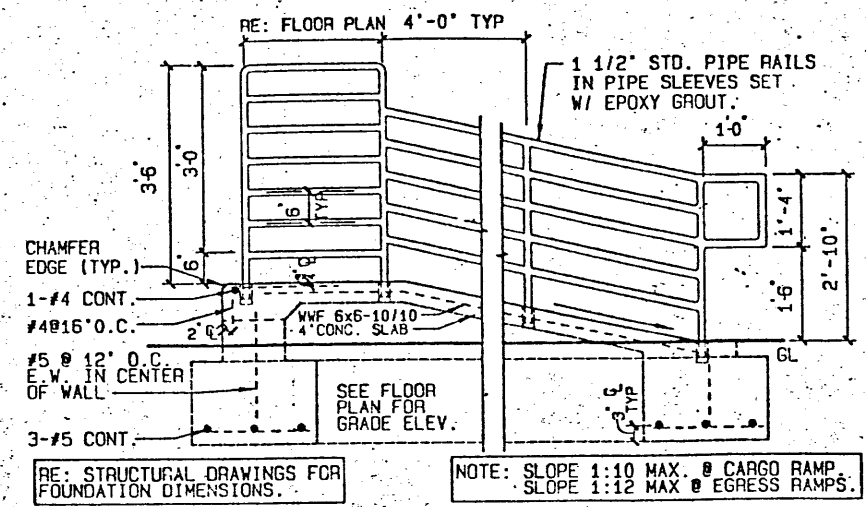


- GARDEN CENTER NOTES**
1. GARDEN CENTER CANOPY VENTILATION: CANOPY MANUFACTURER TO PROVIDE FOR PROPER AIR FLOW AND VENTILATION. DRAWINGS FOR QUANTITY, SIZE, AND LOCATION.
 2. GARDEN CENTER CANOPY VENTILATION: CANOPY MANUFACTURER TO PROVIDE FOR PROPER AIR FLOW AND VENTILATION. DRAWINGS FOR QUANTITY, SIZE, AND LOCATION.
 3. GARDEN CENTER CANOPY VENTILATION: CANOPY MANUFACTURER TO PROVIDE FOR PROPER AIR FLOW AND VENTILATION. DRAWINGS FOR QUANTITY, SIZE, AND LOCATION.
 4. GARDEN CENTER CANOPY VENTILATION: CANOPY MANUFACTURER TO PROVIDE FOR PROPER AIR FLOW AND VENTILATION. DRAWINGS FOR QUANTITY, SIZE, AND LOCATION.

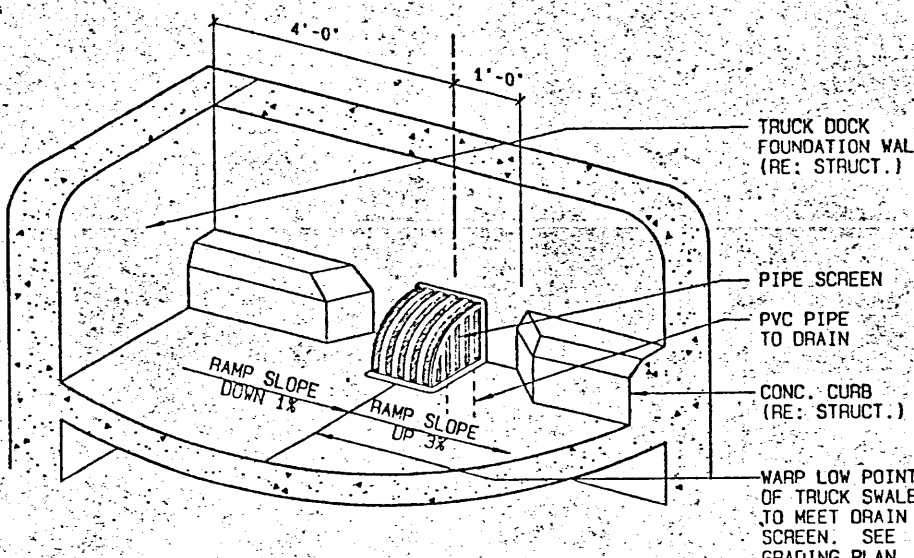
1 GARDEN CENTER PLAN
1/8" = 1'-0"

	WALMART SUPERCENTER ALBUQUERQUE, NM STORE NO. 835	CONSULTANTS	STIPULATION FOR REUSE THIS DRAWING WAS PREPARED FOR THE PROJECT AND SITE SPECIFIC. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.
	JOB NUMBER: 09150 PROJECT: 192	ISSUED DATES: 04-27-20	CHECKED BY: [] DRAWN BY: [] FILE NAME: 99150A9 PROJECT CODE: 01-25-20 ISSUED DATE: 04-27-20

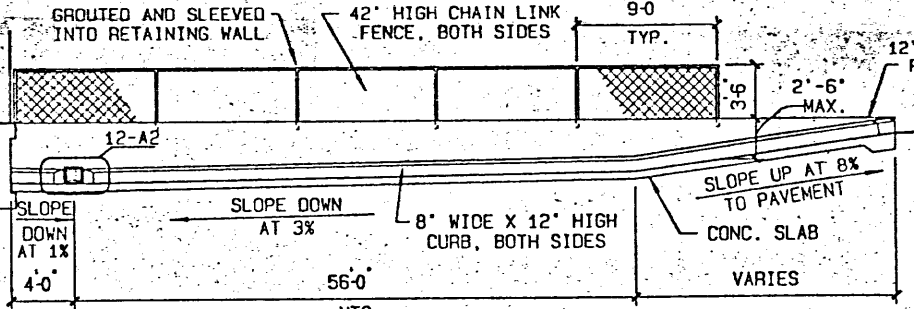
NO. 408 07/28/92



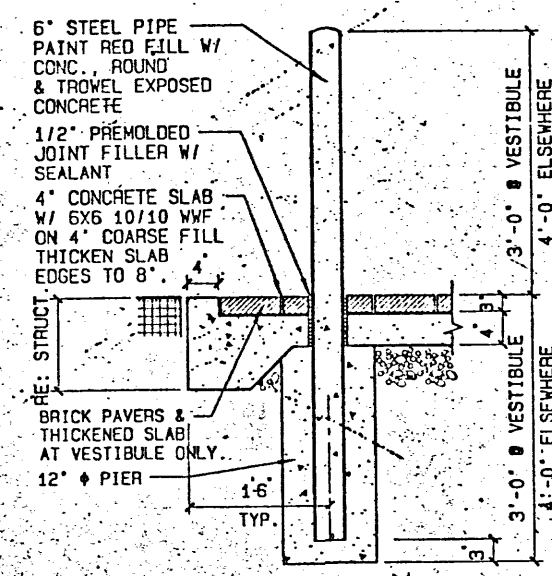
13 RAMP DETAIL
1/8" = 1'-0" RE: 1-A1



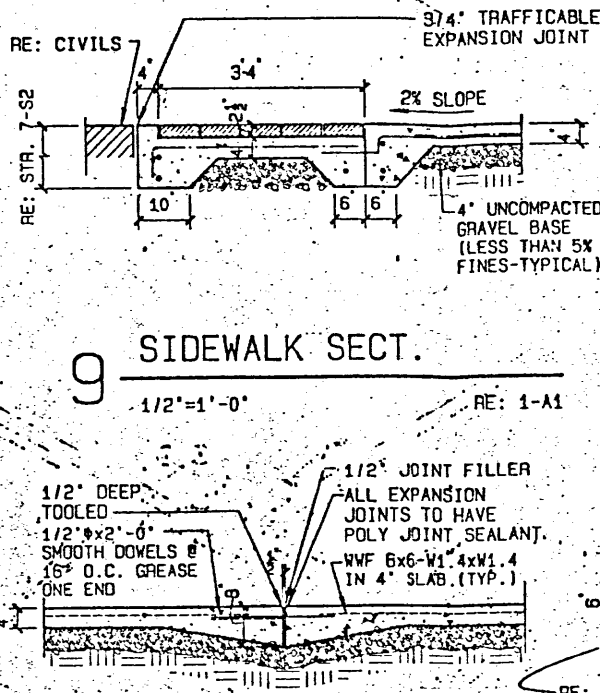
12 DRAIN DETAIL
1/2" = 1'-0" RE: 11-A2



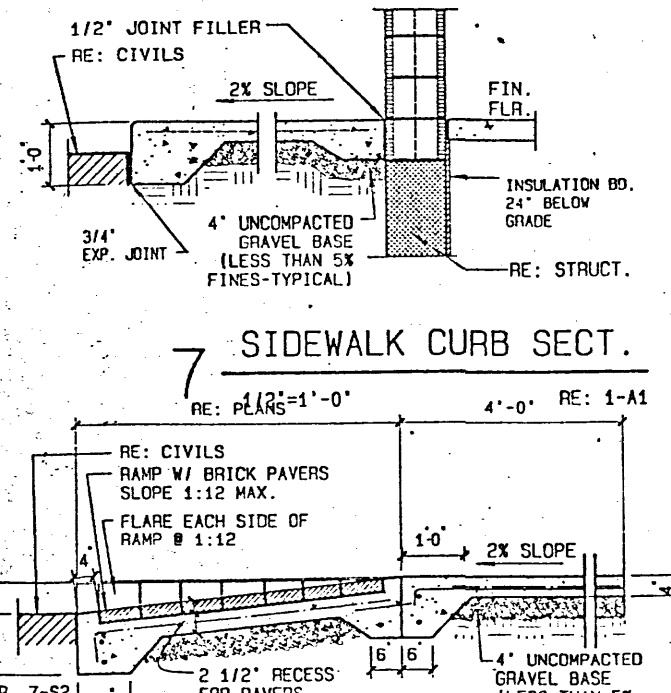
11 RAMP DETAIL
1/8" = 1'-0" RE: 1-A1



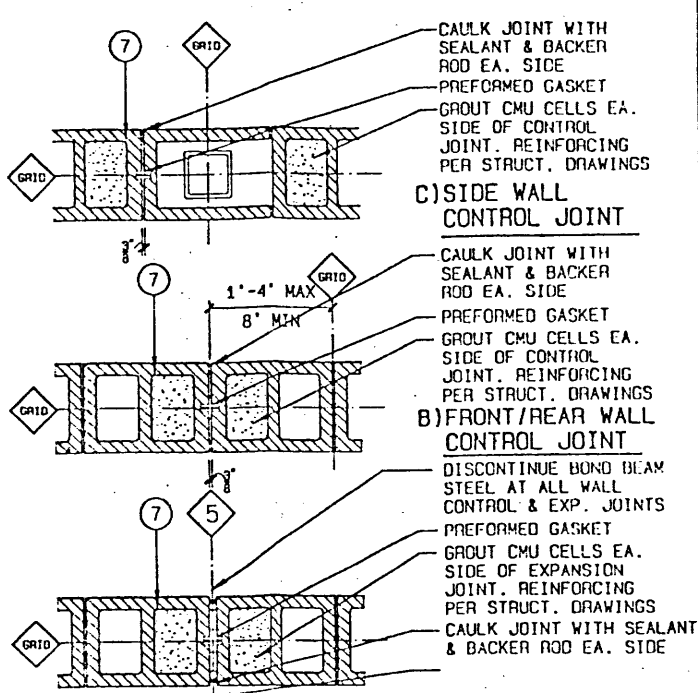
10 BOLLARD DETAIL
3/4" = 1'-0" RE: 1-A3



9 SIDEWALK SECT.
1/2" = 1'-0" RE: 1-A1

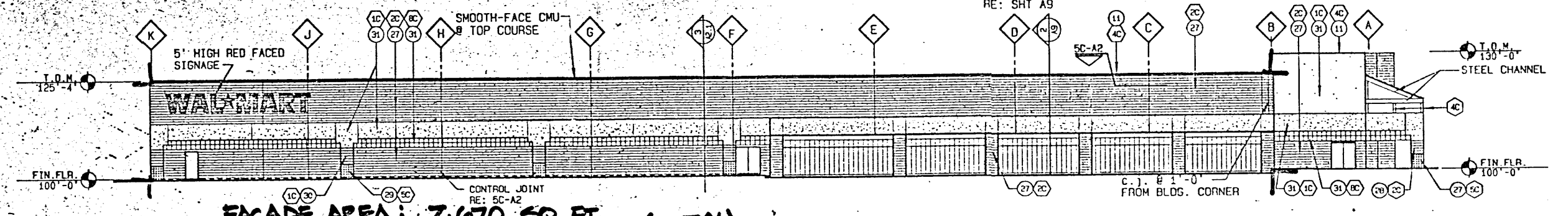


7 SIDEWALK CURB SECT.
RE: PLANS = 1'-0" RE: 1-A1

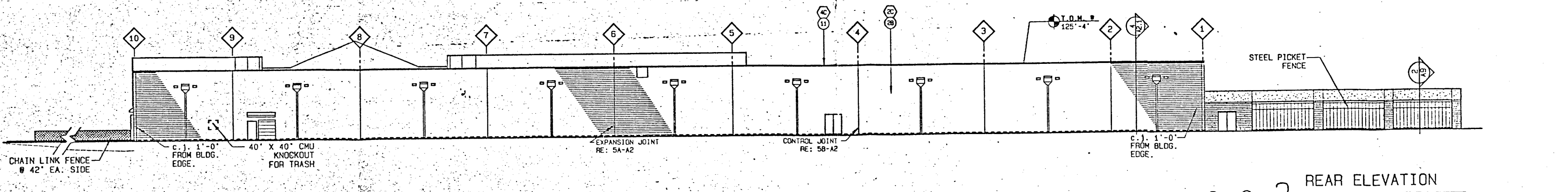
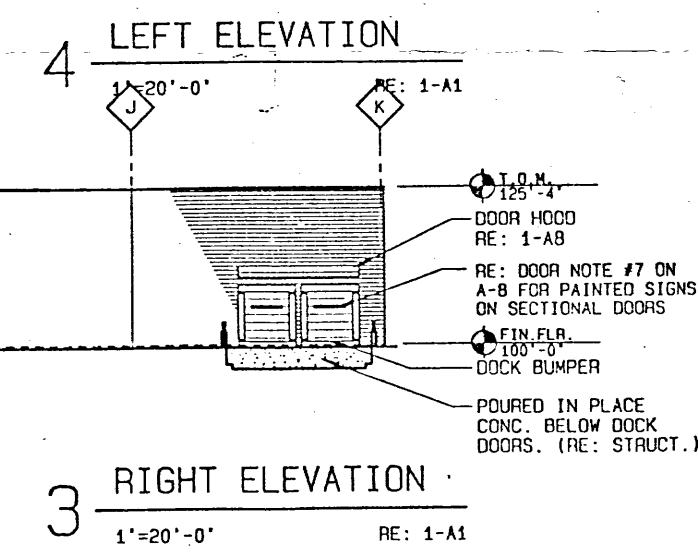


5 WALL CONTROL/EXP. JOINT
3/4" = 1'-0" RE: ELEVATIONS

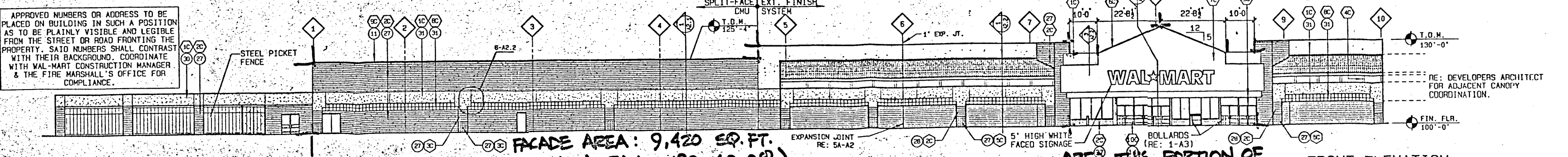
- KEYNOTES**
- STEEL GUTTER AND DOWNSPOUT (SECTION 07631).
 - NOT USED.
 - 12" CMU WALL (NORMAL WEIGHT UNITS FLOOR SLAB DOWN/LIGHT WEIGHT UNITS SLAB UP) FILL CELLS W/ MASONRY FILL INSULATION (SECTION 04220).
 - HORIZONTAL MASONRY REINFORCING. REFER STRUCTURAL (SECTION 04220).
 - ROOFING ON RIGID INSULATION (SECTION 07511).
 - METAL ROOF DECK AND FRAMING. REFER STRUCTURAL (SECTIONS 05120, 05210, AND 05311).
 - CMU WALL. REFER STRUCTURAL FOR REINFORCING AND BOND BEAM LOCATIONS.
 - 4" SIDEWALK W/ MEDIUM BROOM FINISH TYP. PAINT PAINT CURB RED 4" ON TOP AND 6" ON FACE. PROVIDE #4@16" WVF. 4" CONTROL JOINTS @ 8'-0" O.C. & EXP. JOINTS @ 48'-0" O.C. TOOL: ALL CONCRETE LINES IN CONTACT W/ EXPANSION JOINTS & INLG. SURFACES. SLOPE 1X AWAY FROM BLDG. (LINE: 1/4" FOR PAVING & VEST. AND 07620).
 - ACoustICAL CEILING (SECTION 09511).
 - REINFORCED CONCRETE SLAB ON GRADE. REFER STRUCTURAL (SECTION 03001).
 - MEMBRANE FLASHING OVER METAL FLASHING ON BASE FLASHING ON 3/4" PLYWOOD AND/OR 2X WOOD BLOCKING (SECTION 06100, 07511, AND 07620).
 - BASE FLASHING (SECTION 07511).
 - TREATED WOOD CANT (SECTION 07511).
 - ALUMINUM STOREFRONT (SECTION 09410).
 - METAL CANOPY SYSTEM (SECTION 07411).
 - WOOD CABINETS (SECTIONS 06200 & 09001).
 - GYPSUM BOARD ON 2X4 WOOD STUDS AT 16" O.C. (SECTIONS 06100 AND 09260).
 - EXTERIOR INSULATION AND FINISH SYSTEM ON GYP SHEATHING. (SECTION 07240).
 - BATT INSULATION (SECTION 07210).
 - FIRESTOPPING (SECTION 07270).
 - VERTICAL REINF. (TYP.) REF. TO STRUCTURAL NOTES
 - SPLIT-FACE CMU W/ TOOLED JOINTS. FILL CELLS W/ MASONRY FILL INSULATION. (SECTION 04220).
 - SMOOTH-FACE CMU W/ LIGHTLY TOOLED JOINTS. FILL CELLS W/ MASONRY FILL INSULATION. (SECTION 04220).
 - 4" SPLIT-FACE VENEER BLOCK (SINGLE SCORE) AT PILASTER. (SECT. 04220)
 - 4" SMOOTH-FACE VENEER BLOCK AT PILASTER. (SECT. 04220)
 - EXTERIOR INSULATION AND FINISH SYSTEM ON CMU ATTACHED PER MANUFACTURERS INSTRUCTIONS.



FACADE AREA: 7,670 SQ. FT. (2.5%)
SIGN AREA: 190 SQ. FT.



APPROVED NUMBERS OR ADDRESS TO BE PLACED ON BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL COORDINATE WITH THEIR BACKGROUND, COORDINATE WITH WAL-MART CONSTRUCTION MANAGER & THE FIRE MARSHAL'S OFFICE FOR COMPLIANCE.



FACADE AREA: 9,420 SQ. FT.
SIGN AREA: 190 (2.0%)

AREA THIS PORTION OF FACADE = 2,006 SQ. FT.
SIGN = 190 SQ. FT. (9.5%)

ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. 7-90-212
wall modification
As per approval
[Signature]
PLANNING DIRECTOR DATE

- EXTERIOR COLOR NOTES**
- GUTTERS, DOWNSPOUTS, EXPOSED METAL FLASHINGS, AND HOLLOW METAL DOORS TO MATCH BUILDING COLOR.
 - METAL CANOPY ROOF TO BE FINISHED WHITE ON TOP AND UNDERNEATH. REFER SPECIFICATIONS (SECTION 07411)
 - STEEL CANOPY GUTTER-BEAM AND STEEL COLUMNS TO MATCH SW 1504.
 - ALL EXTERIOR WALLS TO BE SEALED AND PAINTED REFER TO ELEVATIONS FOR SPECIFIC COLORS.

ELEVATIONS

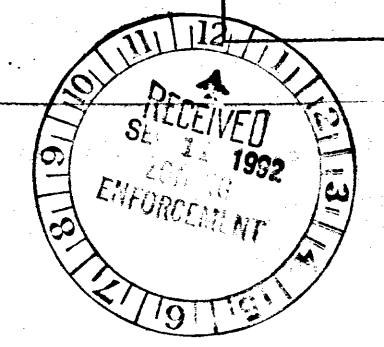
WAL-MART

BRAD L. LECHTENBERGER ARCHITECT OF RECORD W/ LICENSE NO. 216

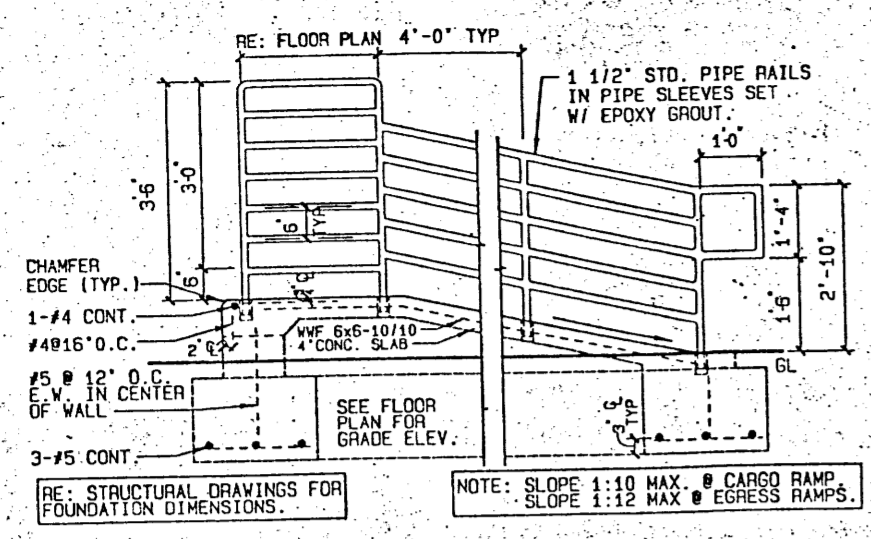
REVISIONS:

ALBUQUERQUE, NH
JOB NUMBER: 21342
DATE: 3/10/92
FACILITY PLAN: 1152
DRAWN BY: RR
O.C. CHECK BY: _____

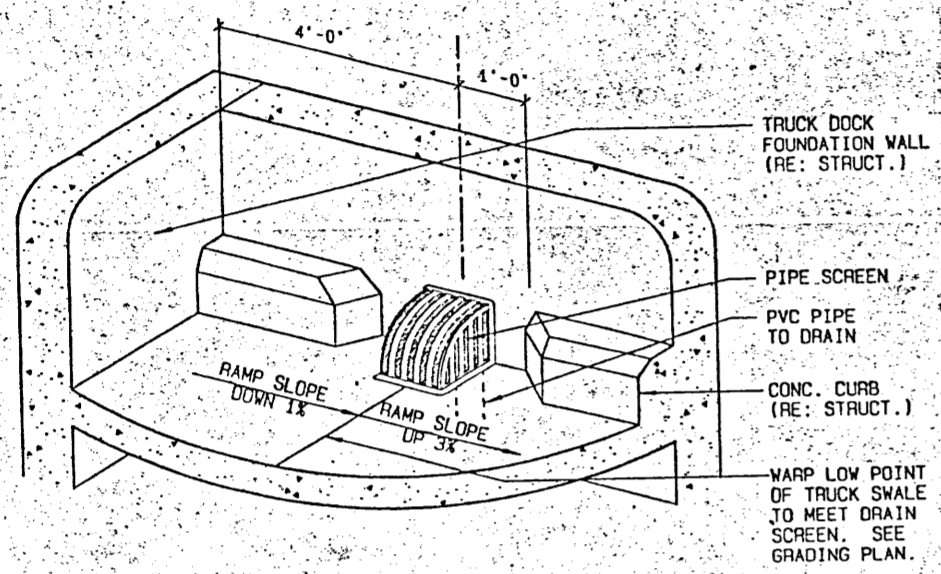
SHEET NUMBER: A2



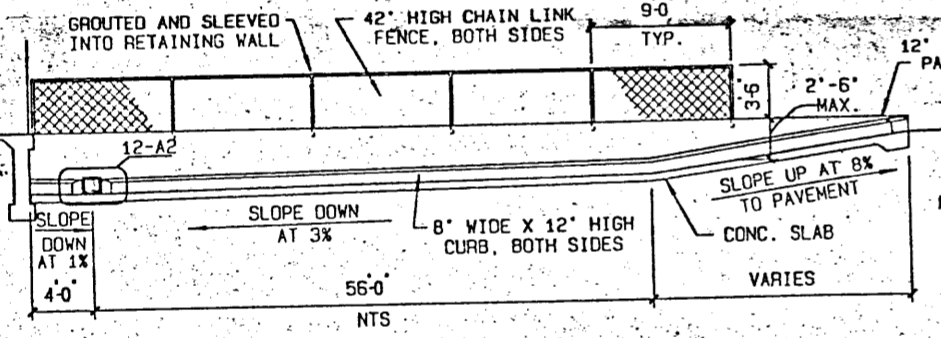
REV. 4pm 07/29/92



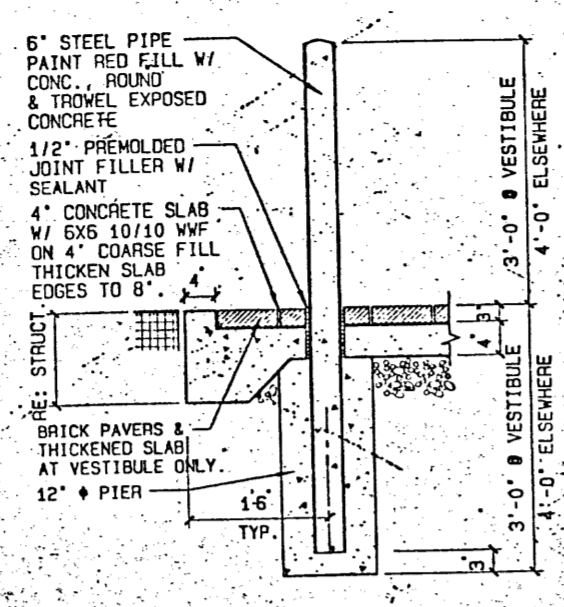
13 RAMP DETAIL
1/8" = 1'-0" RE: 1-A1



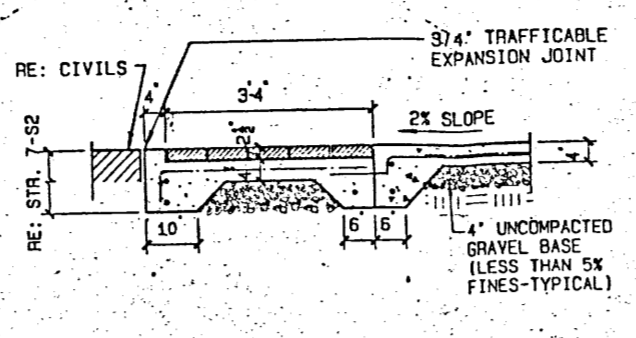
12 DRAIN DETAIL
1/2" = 1'-0" RE: 11-A2



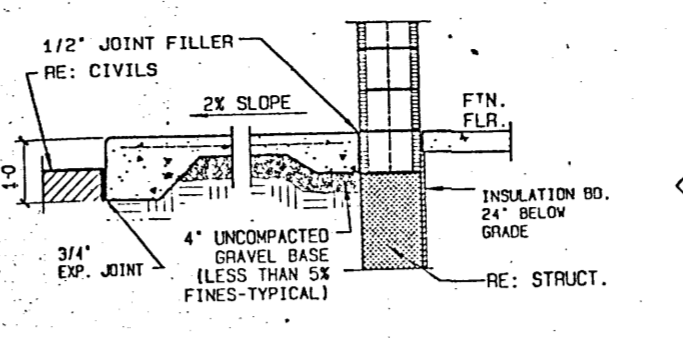
11 RAMP DETAIL
1/8" = 1'-0" RE: 1-A1



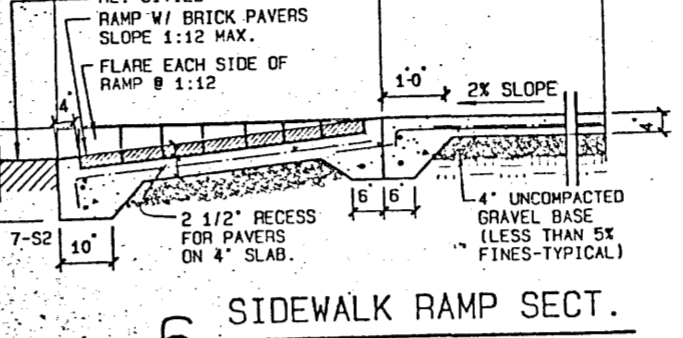
10 BOLLARD DETAIL
3/4" = 1'-0" RE: 1-A3



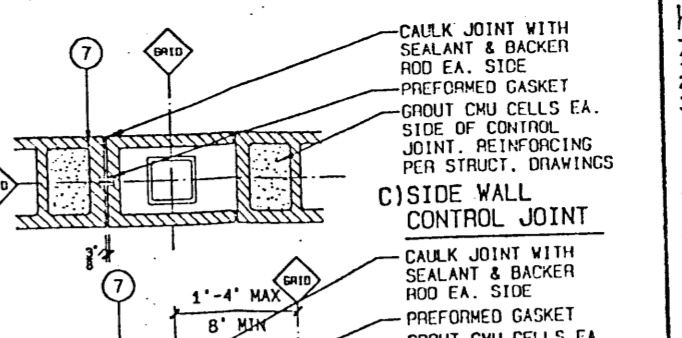
8 SIDEWALK EXP. JOINT
1/2" = 1'-0" RE: 1-A1



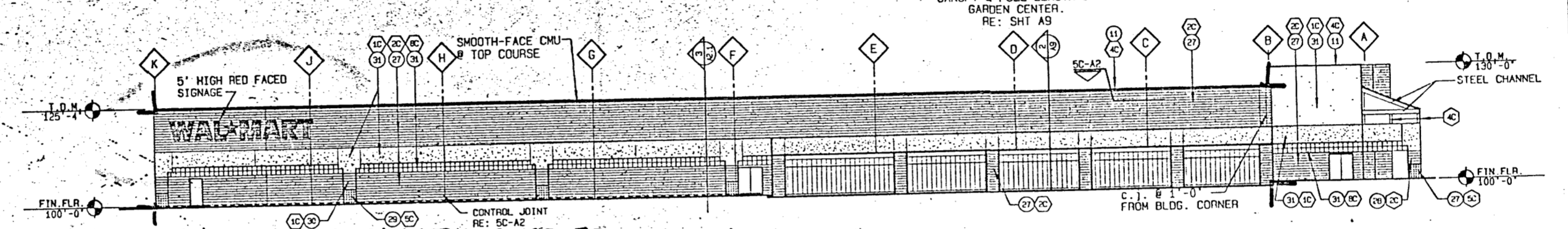
7 SIDEWALK CURB SECT.
RE: PLARS=1'-0" 4'-0" RE: 1-A1



6 SIDEWALK RAMP SECT.
1/2" = 1'-0" RE: 1-A1

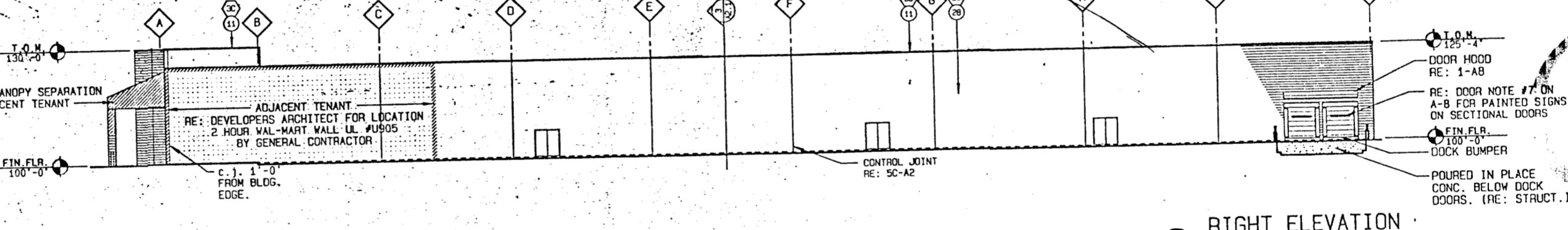


5 WALL CONTROL/EXP. JOINT
3/4" = 1'-0" RE: ELEVATIONS

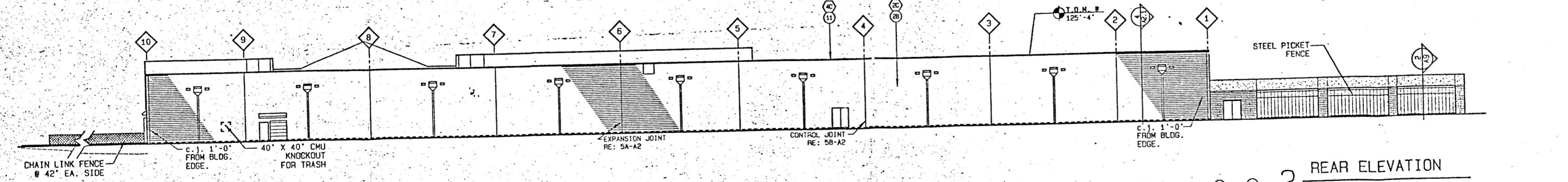


FACADE AREA: 7,670 SQ. FT. (2.5%)
SIGN AREA: 190 SQ. FT.

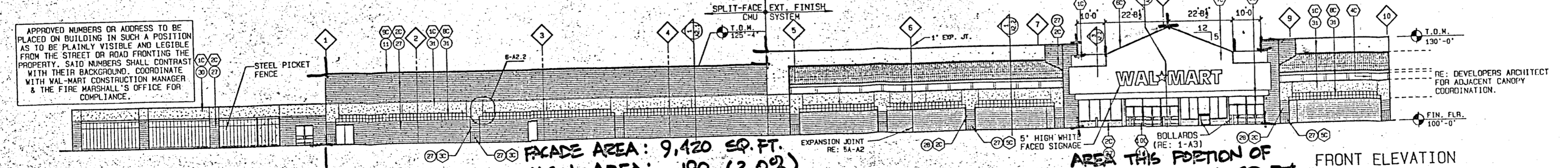
4 LEFT ELEVATION
1" = 20'-0" RE: 1-A1



3 RIGHT ELEVATION
1" = 20'-0" RE: 1-A1



2 REAR ELEVATION
1" = 20'-0" RE: 1-A1



FACADE AREA: 9,420 SQ. FT.
SIGN AREA: 190 (2.0%)

AREA THIS PORTION OF FACADE = 2,006 SQ. FT.
SIGN = 190 SQ. FT. (9.5%)

FRONT ELEVATION
1" = 20'-0" RE: 1-A1

- KEYNOTES:**
- STEEL GUTTER AND DOWNSPOUT (SECTION 07631).
 - NOT USED.
 - 12" CMU WALL (NORMAL WEIGHT UNITS FLOOR SLAB DOWN/LIGHT WEIGHT UNITS SLAB UP) FILL CELLS W/ MASONRY FILL INSULATION (SECTION 04220).
 - HORIZONTAL MASONRY REINFORCING. REFER STRUCTURAL (SECTION 04220).
 - ROOFING ON RIGID INSULATION (SECTION 07511).
 - METAL ROOF DECK AND FRAMING. REFER STRUCTURAL (SECTIONS 05120, 05210, AND 05311).
 - CMU WALL. REFER STRUCTURAL FOR REINFORCING AND BOND BEAM LOCATIONS.
 - 4" SIDEWALK W/ MEDIUM BOND FINISH TYP. PAINT PAINT CURB RED 4" ON TOP AND 6" ON FACE. PROVIDE 6x6, 11.4x11.4 W.V.F. & CONTROL JOINTS @ 8'-0" OC & EXP. JOINTS @ 48'-0" O.C.. TOOL ALL CONCRETE LIKE'S IN CONTACT W/ EXPANSION JOINTS & 18" DIA. SURFACES. SLOPE 1% AWAY FROM BLDG. (RE: 1/43 FOR PAVING @ VEST. AND 07620).
 - ACoustICAL CEILING (SECTION 09511).
 - REINFORCED CONCRETE SLAB ON GRADE. REFER STRUCTURAL (SECTION 03300).
 - MEMBRANE FLASHING OVER METAL FLASHING ON BASE FLASHING ON 3/4" PLYWOOD AND/OR 2X WOOD BLOCKING (SECTION 06100, 07511, AND 07620).
 - BASE FLASHING (SECTION 07511).
 - TREATED WOOD CANT (SECTION 07511).
 - ALUMINUM STOREFRONT (SECTION 08410).
 - METAL CANOPY SYSTEM (SECTION 07411).
 - WOOD CABINETS (SECTIONS 06200 & 09900).
 - GYPSON BOARD ON 2x4 WOOD STUDS AT 16" O.C. (SECTIONS 06100 AND 09260).
 - EXTERIOR INSULATION AND FINISH SYSTEM ON GYP SHEATHING. (SECTION 07240).
 - BATT INSULATION (SECTION 07210).
 - FIRESTOPPING (SECTION 07270).
 - VERTICAL REINF. (TYP.)
 - REF. TO STRUCTURAL NOTES
 - SPLIT-FACE CMU W/ TOOLED JOINTS. FILL CELLS W/ MASONRY FILL INSULATION. (SECTION 04220).
 - SMOOTH-FACE CMU W/ LIGHTLY TOOLED JOINTS. FILL CELLS W/ MASONRY FILL INSULATION. (SECTION 04220).
 - 4" SPLIT-FACE VENEER BLOCK (SINGLE SCORE) AT PILASTER. (SECT. 04220)
 - 4" SMOOTH-FACE VENEER BLOCK AT PILASTER. (SECT. 04220)
 - EXTERIOR INSULATION AND FINISH SYSTEM ON CMU ATTACHED PER MANUFACTURERS INSTRUCTIONS.

ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. 7-90-212
W. L. Lecheneberger
As per approval request
W. L. Lecheneberger
PLANNING DIRECTOR DATE

- EXTERIOR COLOR NOTES**
- GUTTERS, DOWNSPOUTS, EXPOSED METAL FLASHINGS, AND HOLLOW METAL DOORS TO MATCH BUILDING COLOR.
 - METAL CANOPY ROOF TO BE FINISHED WHITE ON TOP AND UNDERNEATH. REFER SPECIFICATIONS (SECTION 07411)
 - STEEL CANOPY GUTTER-BEAM AND STEEL COLUMNS TO MATCH SW 1504.
 - ALL EXTERIOR WALLS TO BE SEALED AND PAINTED. REFER TO ELEVATIONS FOR SPECIFIC COLORS.

ELEVATIONS
WAL-MART

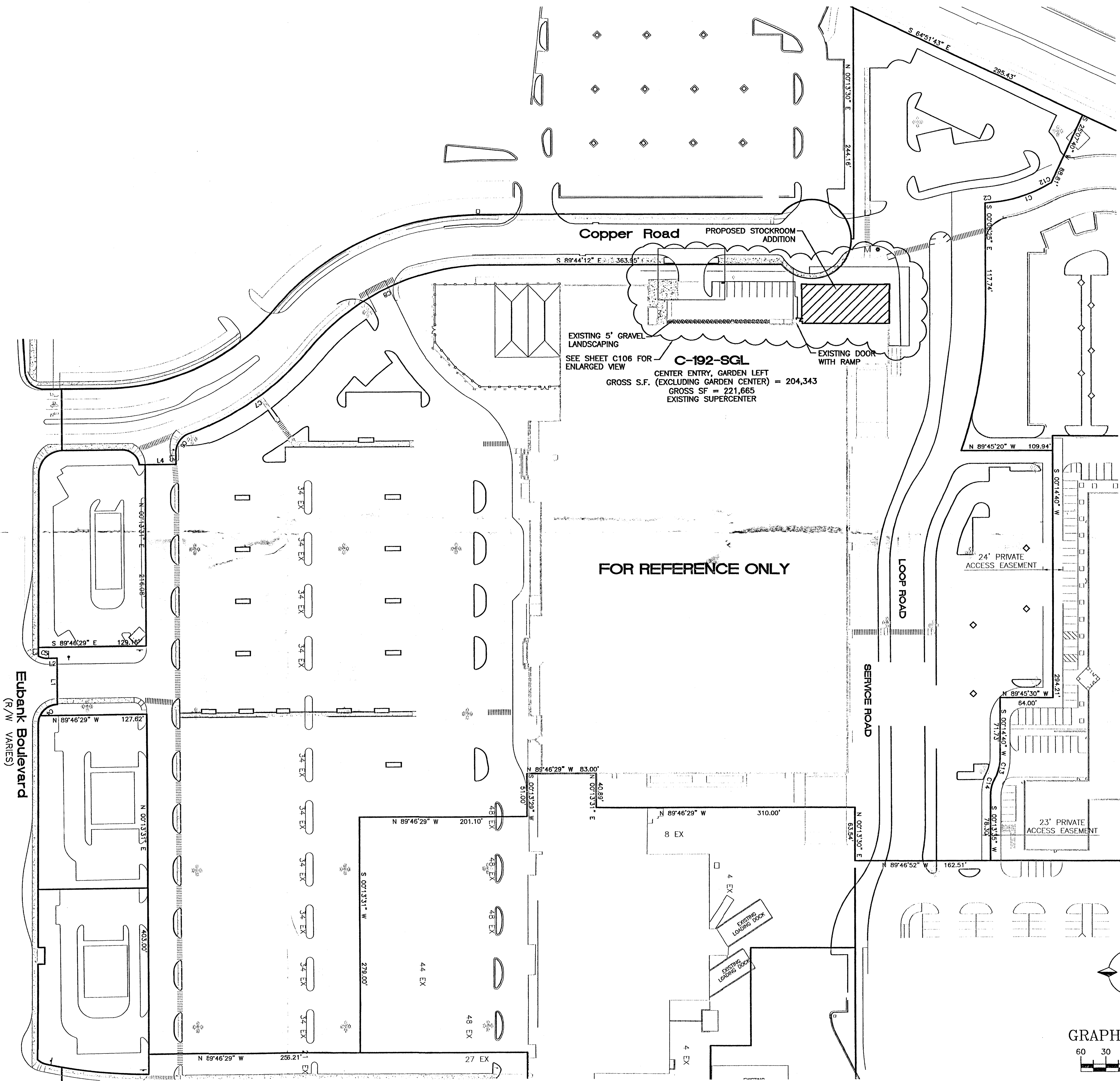
REVISIONS:

BRAD L. LECHENEGER
ARCHITECT OF RECORD
W LICENSE NO. 218

ALBUQUERQUE, NM
JOB NUMBER: 21342
DATE: 3/09/92
FACILITY PLAN: 1152
DRAWN BY: FR
O.C. CHECK BY: _____

SHEET NUMBER: **A2**

WAL-MART AT 1100 S. GARDEN



Copper Road PROPOSED STOCKROOM ADDITION

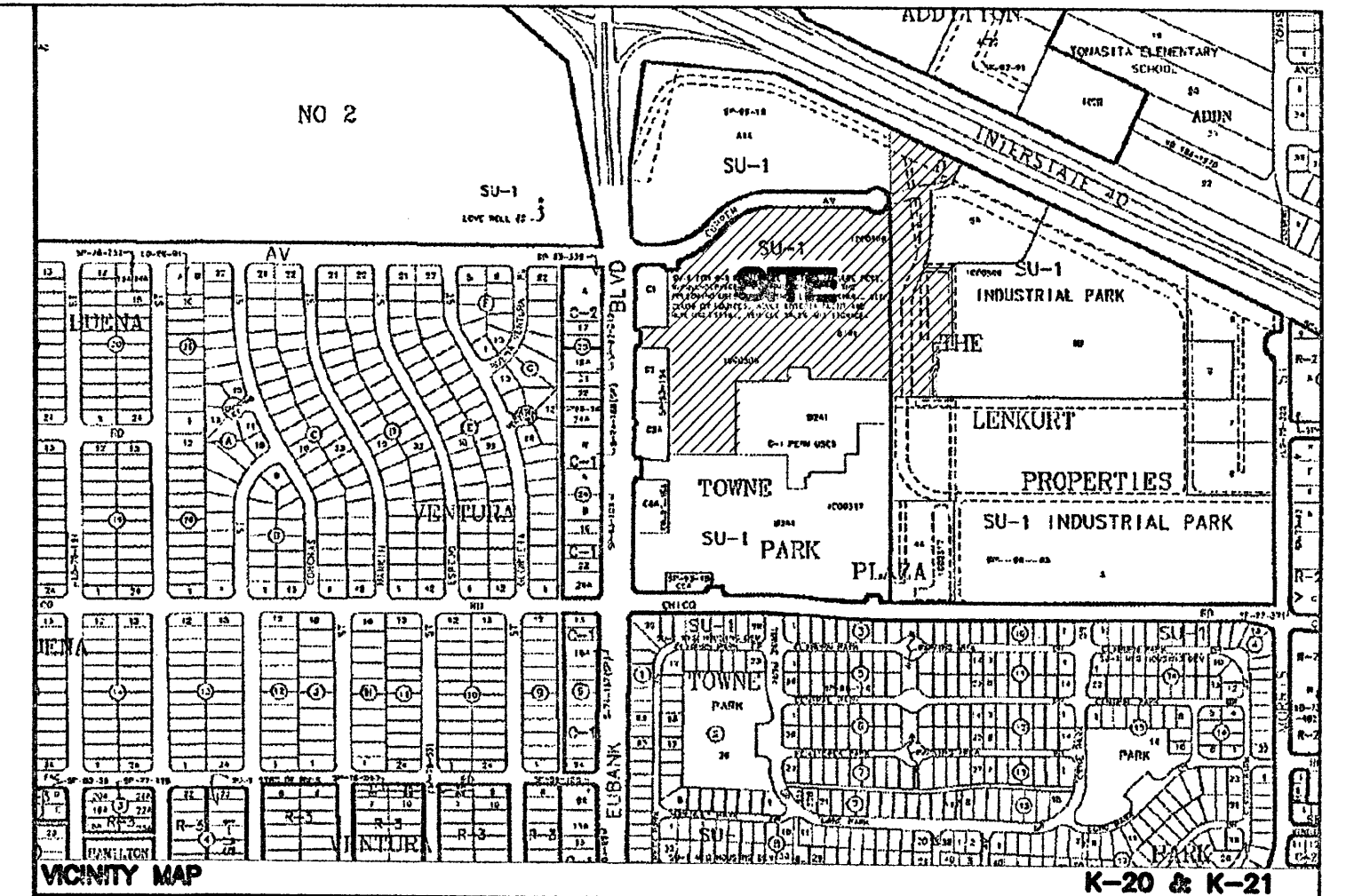
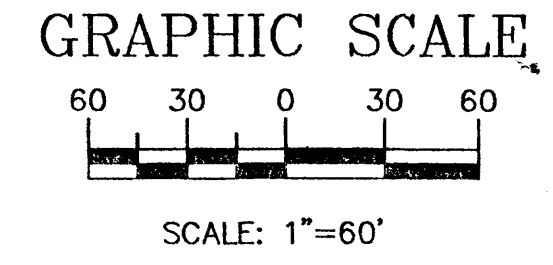
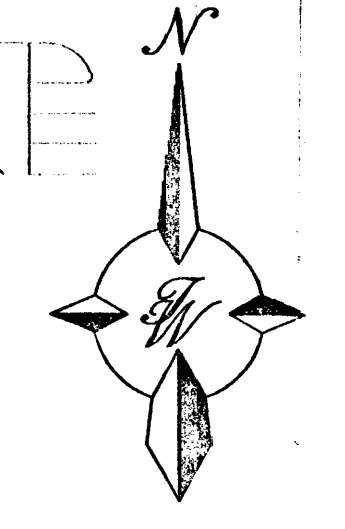
EXISTING 5' GRAVEL LANDSCAPING
 SEE SHEET C106 FOR ENLARGED VIEW
C-192-SGL
 CENTER ENTRY, GARDEN LEFT
 GROSS S.F. (EXCLUDING GARDEN CENTER) = 204,343
 GROSS SF = 221,665
 EXISTING SUPERCENTER

FOR REFERENCE ONLY

Eubank Boulevard
 (R/W VARIES)

ADMINISTRATIVE AMENDMENT
 #05-00325 Project #1000508
 Stockroom Addition
 Approved by: *Bob Pank* 4/29/05
 DATE

- LEGEND**
- EXISTING SAS MANHOLE
 - - - EX. 8" SAS - - - EXISTING SANITARY SEWER LINE
 - ⊕ EXISTING FIRE HYDRANT
 - - - EX. 16" WL - - - EXISTING WATER LINE
 - ⊙ EXISTING STORM SEWER MANHOLE
 - ⊕ EXISTING STORM SEWER INLET
 - - - EX. 24" RCP - - - EXISTING STORM SEWER LINE
 - x x x x x x x x EXISTING FENCE
 - ===== EXISTING CURB & GUTTER
 - ===== EXISTING BOUNDARY LINE
 - ===== EASEMENT
 - ===== EXISTING SIDEWALK
 - ===== EXISTING PERIMETER WALL
 - ===== EXISTING RETAINING WALL
 - 5011 EXISTING CONTOUR
 - 5010 EXISTING INDEX CONTOUR
 - 5048.25 EXISTING SPOT ELEVATION
 - CENTERLINE
 - RIGHT-OF-WAY



LEGAL DESCRIPTION:
 TRACT B-1A-1 AND B-2A-1 TOWNE PARK PLAZA



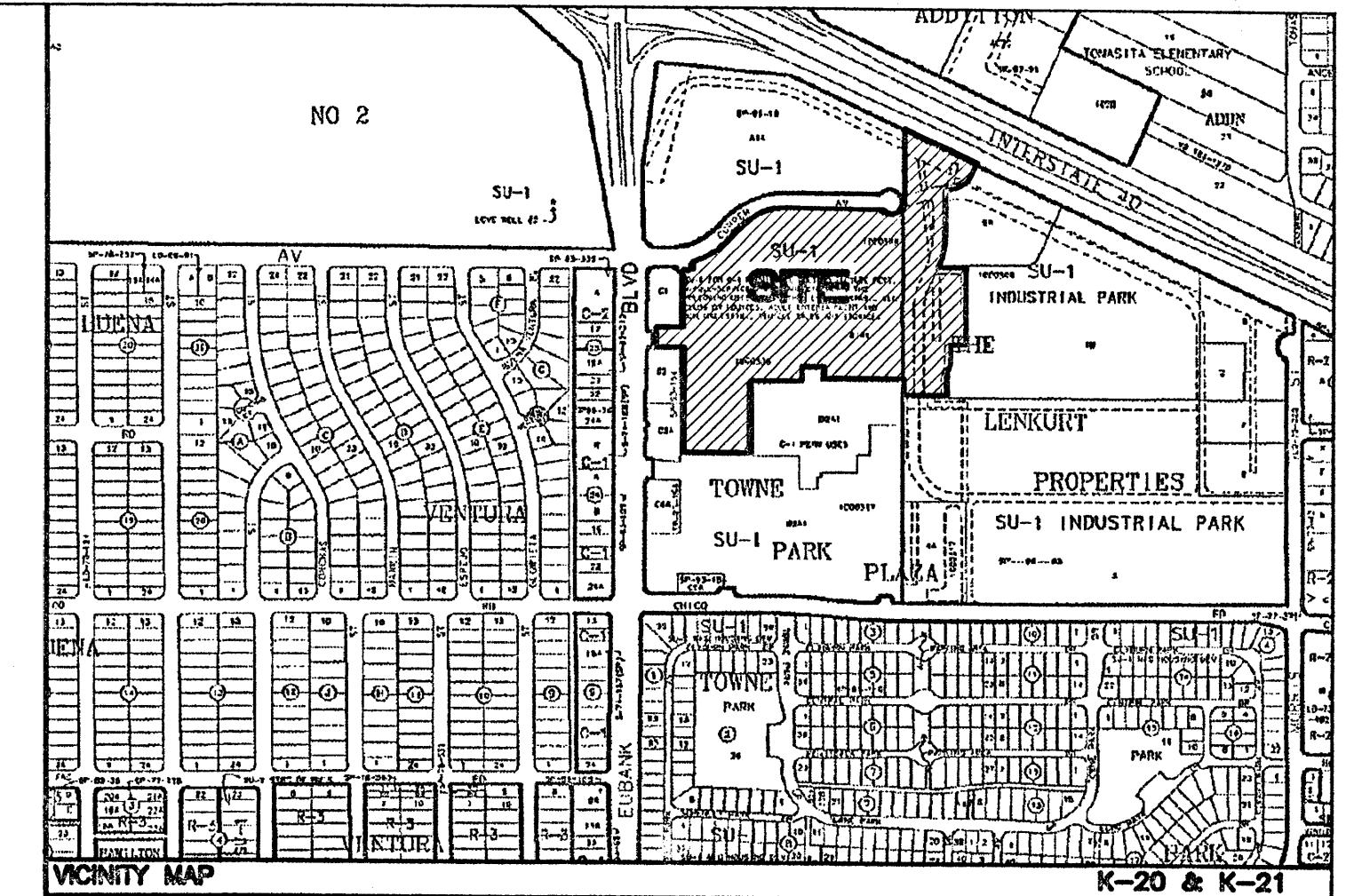
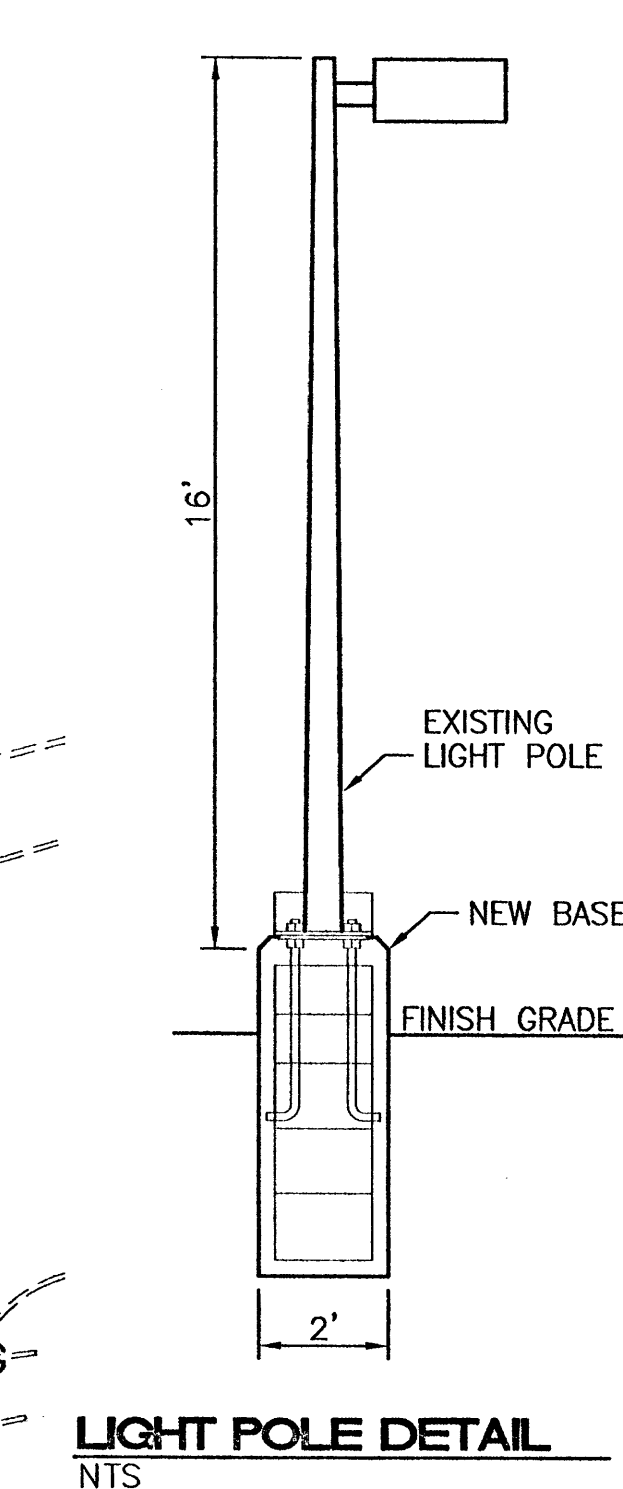
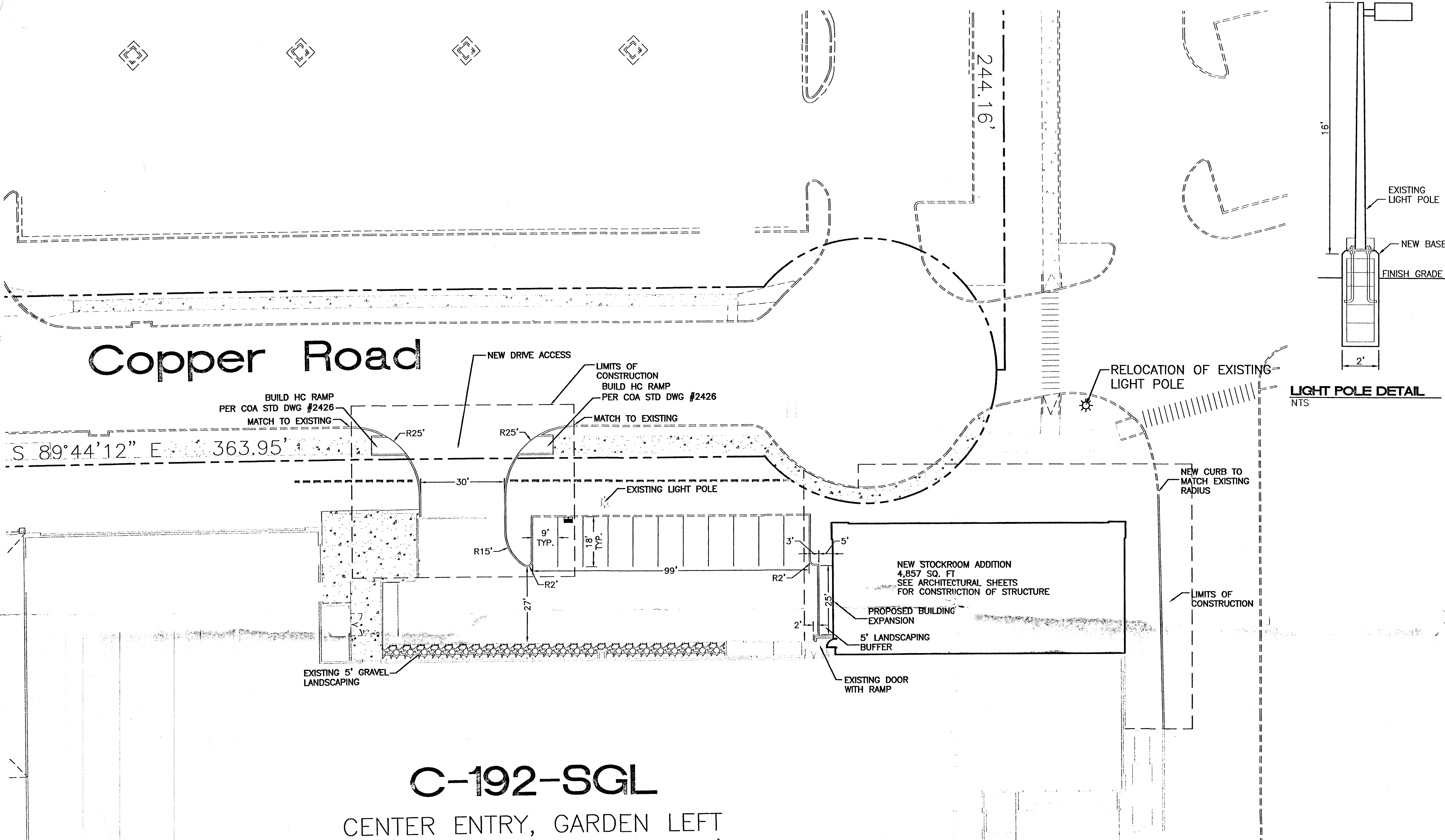
**WAL-MART #835
 STOCKROOM ADDITION**

OVERALL SITE PLAN

TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

ENGINEER'S SEAL
 DRAWN BY EMT
 DATE 03-30-05
 2492-01SPB-12-18-04
 SHEET # **C-105**
 JOB # 24052

Copper Road



LEGAL DESCRIPTION:
TRACT B-1A-1 AND B-2A-1 TOWNE PARK PLAZA

LEGEND

	EXISTING SAS MANHOLE
	EXISTING SANITARY SEWER LINE
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING PERIMETER WALL
	EXISTING RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY

C-192-SGL
 CENTER ENTRY, GARDEN LEFT
 GROSS S.F. (EXCLUDING GARDEN CENTER) = 204,343
 GROSS SF = 221,665
 EXISTING SUPERCENTER

SITE DATA

PROPOSED USAGE:	GENERAL RETAIL USE
LOT AREA:	780,729 SF (17.92 ACRES)
BUILDING AREA:	221,665 SF
STOCKROOM EXPANSION AREA:	4,857 SF
PARKING PROVIDED:	988 SPACES
PARKING REQUIRED:	958 SPACES
(INCLUDING EMPLOYEE)	
HC PARKING PROVIDED:	20 SPACES (INCLUDING 3 VAN ACCESSIBLE)
HC PARKING REQUIRED:	20 SPACES

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

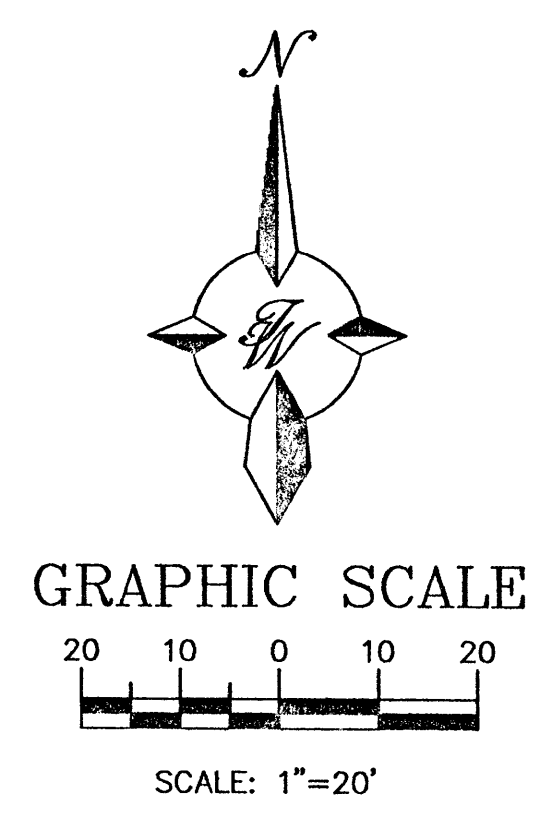
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

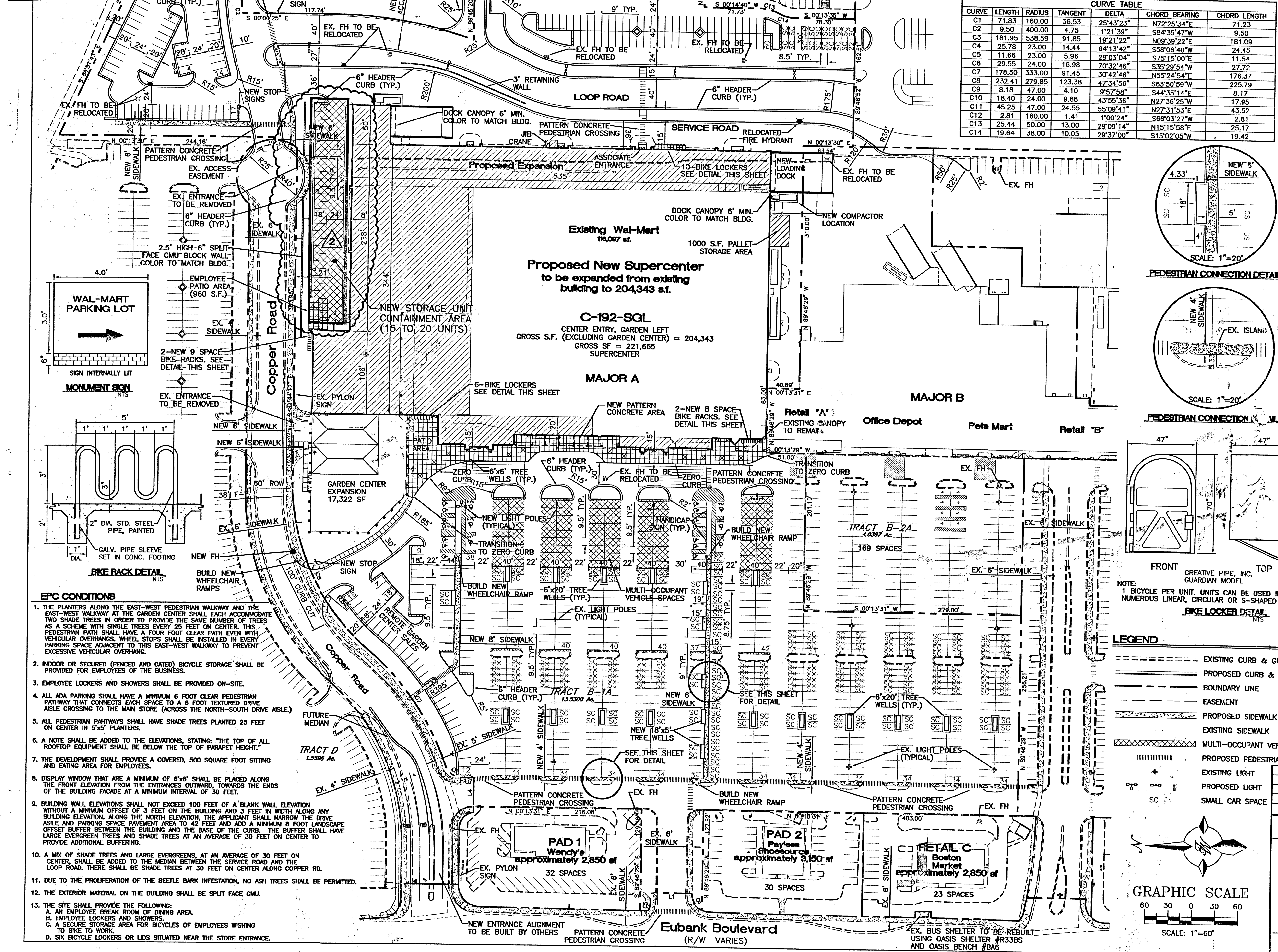
Traffic Engineer, Transportation Division	_____	Date	_____
Utilities Development	_____	Date	_____
Parks & Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

* Environmental Health, if necessary
12/16/03



 RONALD R. BOHANNAN P.E. #1868	ENGINEER'S SEAL WAL-MART #835 STOCKROOM ADDITION	DRAWN BY EMT DATE 03-30-05
	SITE PLAN FOR BUILDING PERMIT	2492-OVSPB-12-18-04 SHEET # C-106
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 24002

1000.508 ADMINISTRATIVE
 DEVELOPMENT PLAN AMENDMENT
 FILE NO. AA-01605
 02 AM 0
 10/31/02
 PLANNING DIRECTOR

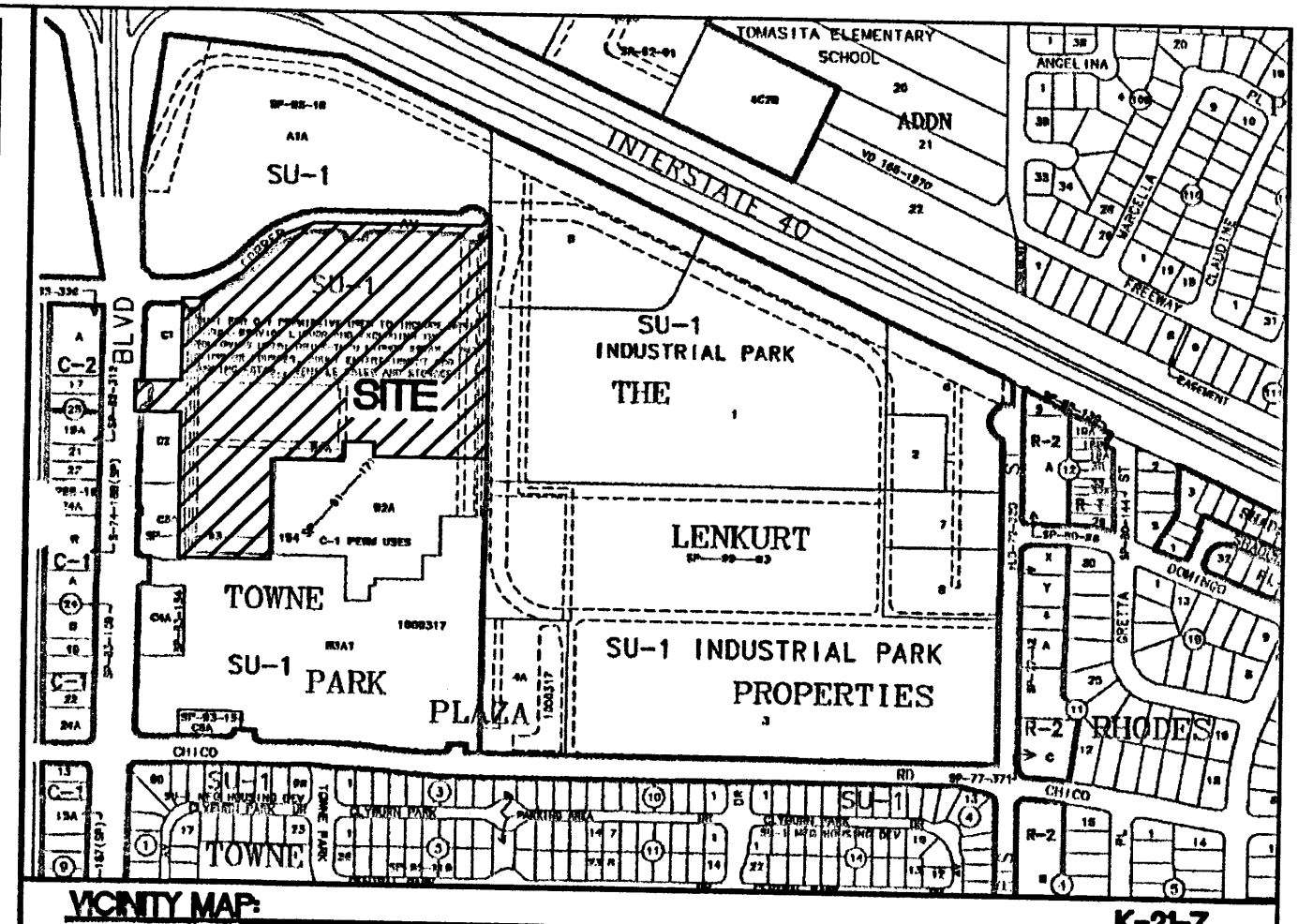


LINE TABLE

LINE	LENGTH	BEARING
L1	54.00	N00°13'31"E
L2	11.17	N89°46'30"W
L3	10.11	N00°42'08"E
L4	37.00	S89°46'29"E
L5	14.38	N00°13'31"E
L6	49.16	S89°46'29"E
L7	13.24	N00°26'10"E
L8	2.96	S89°45'51"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	71.83	160.00	36.53	25°43'23"	N72°25'34"E	71.23
C2	9.50	400.00	4.75	12°1'59"	S84°35'47"W	9.50
C3	181.95	538.59	91.85	19°21'22"	N09°39'22"E	181.09
C4	25.78	23.00	14.44	64°13'42"	S58°08'40"W	24.45
C5	11.66	23.00	5.96	29°03'04"	S75°15'00"W	11.54
C6	29.55	24.00	16.98	70°32'46"	S35°29'54"W	27.72
C7	178.50	333.00	91.45	30°42'46"	N55°24'54"E	176.37
C8	232.41	279.85	123.38	47°34'56"	S63°50'59"W	225.79
C9	8.18	47.00	4.10	9°57'58"	S44°35'14"E	8.17
C10	18.40	24.00	9.68	43°55'36"	N27°36'25"W	17.95
C11	45.25	47.00	24.55	55°09'41"	N27°31'53"E	43.52
C12	2.81	160.00	1.41	1°00'24"	S66°03'27"W	2.81
C13	25.44	50.00	13.00	29°09'14"	N15°15'58"E	25.17
C14	19.64	38.00	10.05	29°37'00"	S15°02'05"W	19.42



LEGAL DESCRIPTION
 TRACT B-1A TOWN PARKE PLAZA

PROPOSED SITE DATA

PROPOSED USAGE: RETAIL

LOT AREA: 54.00 AC
 EXISTING LOT AREA: 13.5432 AC
 LOTS 1 & 5 EXPANSION: 4.3749 AC
 TOTAL LOT AREA: 17.9181 AC

BUILDING AREA: 116,097 SF
 EXISTING BUILDING: 88,246 SF
 PROPOSED BUILDING EXPANSION: 17,322 SF
 PROPOSED GARDEN CENTER BUILDING: 17,322 SF
 TOTAL BUILDING AREA: 221,665 SF

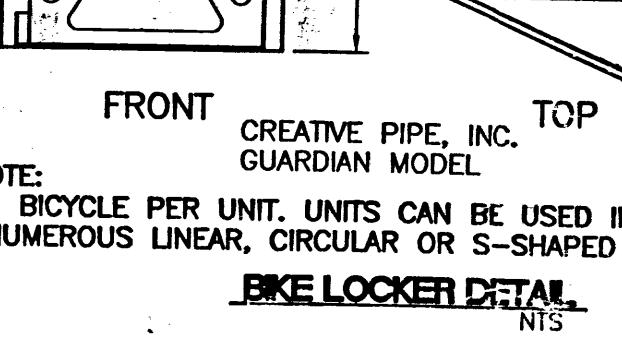
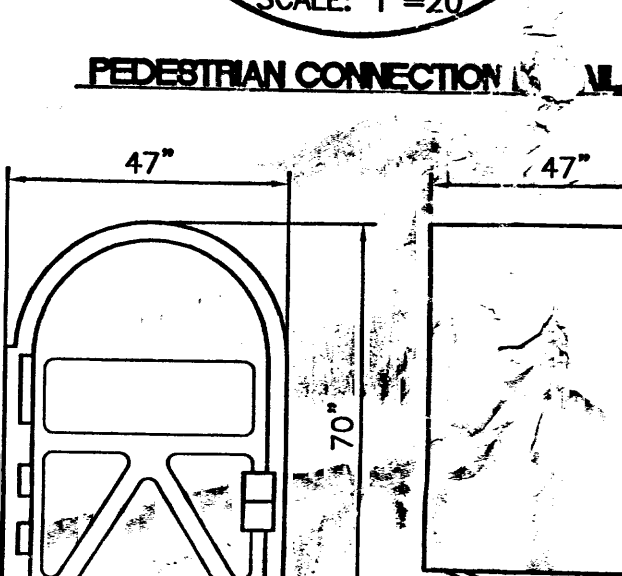
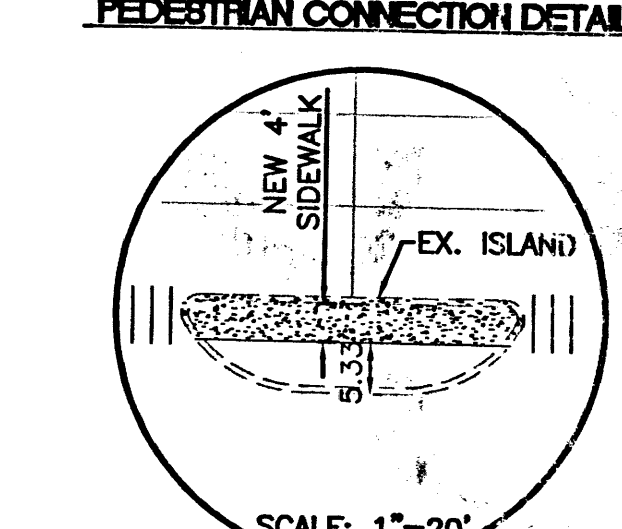
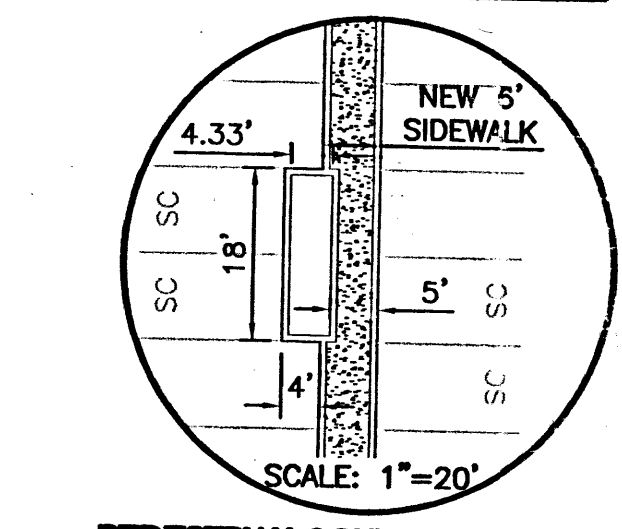
FLOOR AREA RATIO:
 EXISTING BUILDING: 0.20
 WITH PROPOSED BUILDING EXPANSION: 0.28

PARKING CALCULATIONS:
 PARKING REQUIRED FOR EX. BUILDING: 580 SPACES
 10% BUS CREDIT: -58 SPACES
 5% EXISTING BUS SHELTER: -29 SPACES
 TOTAL PARKING REQUIRED: 493 SPACES
 TOTAL PARKING PROVIDED FOR EX. BUILDING: 908 SPACES

PARKING REQUIRED FOR BUILDING W/EXPANSIONS: 1108 SPACES
 10% BUS CREDIT: -111 SPACES
 5% EXISTING BUS SHELTER: -55 SPACES
 TOTAL PARKING REQUIRED: 942 SPACES
 TOTAL PARKING PROVIDED FOR BLDG. W/ EXP.: 1005 SPACES

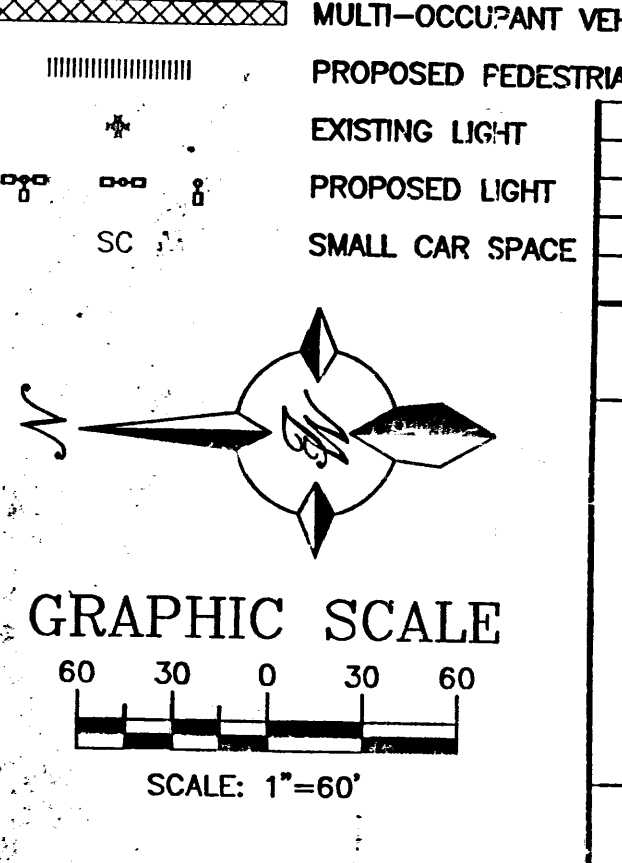
HC PARKING REQUIRED: 20 SPACES
 HC PARKING PROVIDED: 20 SPACES
 8 SPACES VAN ACCESSIBLE

BIKE SPACE CALCULATIONS:
 SPACES REQUIRED (CAR SPACES/20): 50 SPACES
 SPACES PROVIDED: 50 SPACES



LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- MULTI-OCCUPANT VEHICLE SPACES
- PROPOSED PEDESTRIAN CONNECTION
- EXISTING LIGHT
- PROPOSED LIGHT
- SMALL CAR SPACE



- EPC CONDITIONS**
- THE PLANTERS ALONG THE EAST-WEST PEDESTRIAN WALKWAY AND THE EAST-WEST WALKWAY AT THE GARDEN CENTER SHALL EACH ACCOMMODATE TWO SHADE TREES IN ORDER TO PROVIDE THE SAME NUMBER OF TREES AS A SCHEME WITH SINGLE TREES EVERY 25 FEET ON CENTER. THIS PEDESTRIAN PATH SHALL HAVE A FOUR FOOT CLEAR PATH EVEN WITH VEHICULAR OVERHANGS. WHEEL STOPS SHALL BE INSTALLED IN EVERY PARKING SPACE ADJACENT TO THIS EAST-WEST WALKWAY TO PREVENT EXCESSIVE VEHICULAR OVERHANG.
 - INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
 - EMPLOYEE LOCKERS AND SHOWERS SHALL BE PROVIDED ON-SITE.
 - ALL ADA PARKING SHALL HAVE A MINIMUM 6 FOOT CLEAR PEDESTRIAN PATHWAY THAT CONNECTS EACH SPACE TO A 6 FOOT TEXTURED DRIVE ASLE CROSSING TO THE MAIN STORE (ACROSS THE NORTH-SOUTH DRIVE ASLE).
 - ALL PEDESTRIAN PATHWAYS SHALL HAVE SHADE TREES PLANTED 25 FEET ON CENTER IN 5'x5' PLANTERS.
 - A NOTE SHALL BE ADDED TO THE ELEVATIONS, STATING: "THE TOP OF ALL ROOF TOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET HEIGHT."
 - THE DEVELOPMENT SHALL PROVIDE A COVERED, 500 SQUARE FOOT SITTING AND EATING AREA FOR EMPLOYEES.
 - DISPLAY WINDOW THAT ARE A MINIMUM OF 6'x8' SHALL BE PLACED ALONG THE FRONT ELEVATION FROM THE ENTRANCES OUTWARD, TOWARDS THE ENDS OF THE BUILDING FACADE AT A MINIMUM INTERVAL OF 30 FEET.
 - BUILDING WALL ELEVATIONS SHALL NOT EXCEED 100 FEET OF A BLANK WALL ELEVATION WITHOUT A MINIMUM OFFSET OF 3 FEET ON THE BUILDING AND 3 FEET IN WIDTH ALONG ANY BUILDING ELEVATION. ALONG THE NORTH ELEVATION, THE APPLICANT SHALL NARROW THE DRIVE ASLE AND PARKING SPACE PAVEMENT AREA TO 42 FEET AND ADD A MINIMUM 8 FOOT LANDSCAPE OFFSET BUFFER BETWEEN THE BUILDING AND THE BASE OF THE CURB. THE BUFFER SHALL HAVE LARGE EVERGREEN TREES AND SHADE TREES AT AN AVERAGE OF 30 FEET ON CENTER TO PROVIDE ADDITIONAL BUFFERING.
 - A MIX OF SHADE TREES AND LARGE EVERGREENS, AT AN AVERAGE OF 30 FEET ON CENTER, SHALL BE ADDED TO THE MEDIAN BETWEEN THE SERVICE ROAD AND THE LOOP ROAD. THERE SHALL BE SHADE TREES AT 30 FEET ON CENTER ALONG COPPER RD.
 - DUE TO THE PROLIFERATION OF THE BEETLE BARK INFESTATION, NO ASH TREES SHALL BE PERMITTED.
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 - THE SITE SHALL PROVIDE THE FOLLOWING:
 - AN EMPLOYEE BREAK ROOM OF DINING AREA.
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 - A SECURE STORAGE AREA FOR BICYCLES OF EMPLOYEES WISHING TO BIKE TO WORK.
 - SIX BICYCLE LOCKERS OR LIDS SITUATED NEAR THE STORE ENTRANCE.

SHOPPING CENTER PARKING RATIO

	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
WAL-MART W/ EXP. & GARDEN CENTER	1005	221,665 SF	4.53
EXISTING WAL-MART	908	116,097 SF	7.82

CASE NUMBER:
 This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice of Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Department	Date
Traffic Engineer, Transportation Division	
Parks & General Services Department	
Public Works, Water Utilities Division	
City Engineer, Engineering Division / AMAFCA	
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo County Planning Division	
Solid Waste	

PLNZ (10706) 4/96

REVISIONS

NO.	DATE	REMARKS	BY
2	10/14/02	ADDED NEW STORAGE UNIT AREA	BDG
1	05-14-02	ADD REMOTE GARDEN SALES AREA	RRB

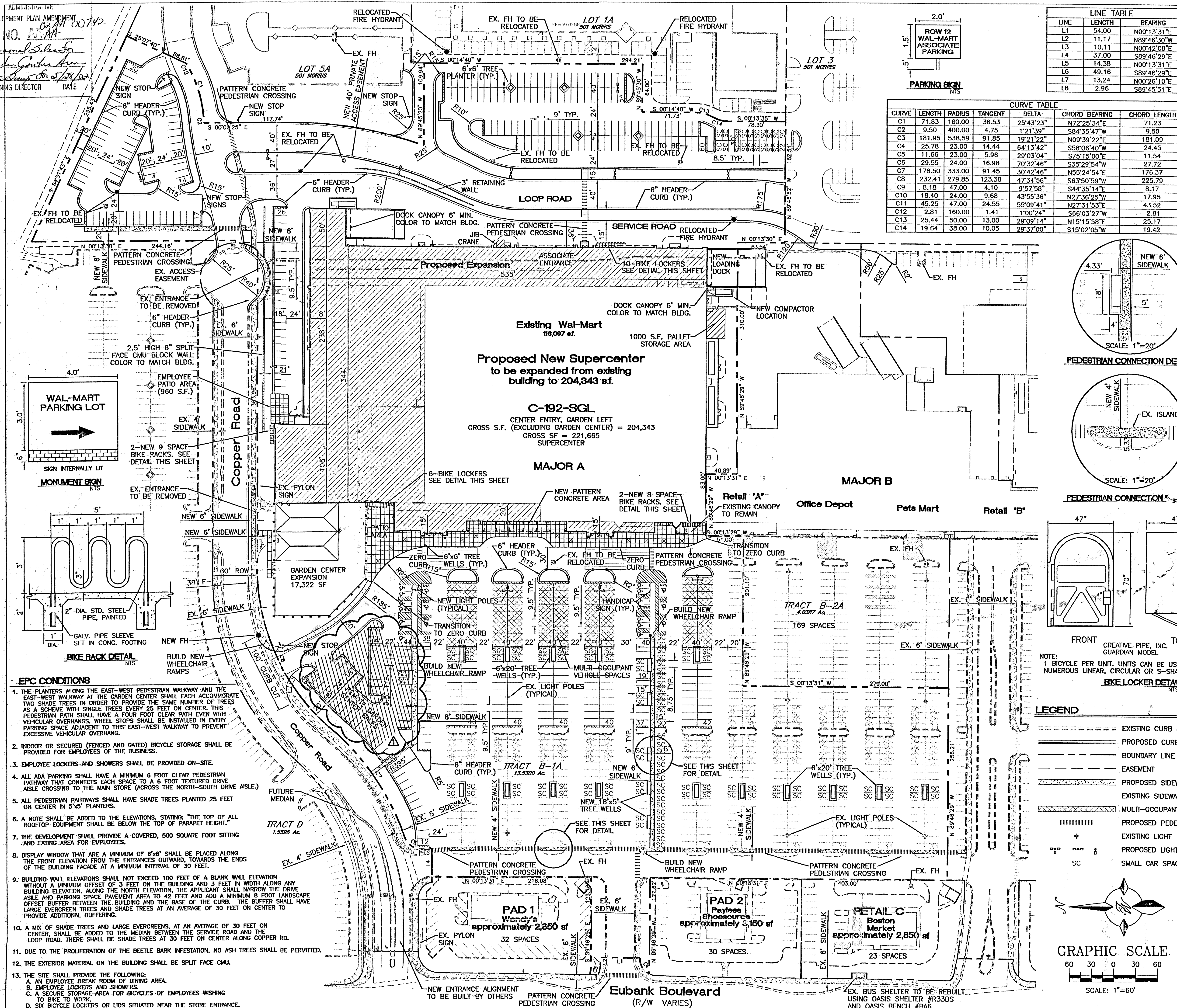
ENGINEER'S SEAL
 RONALD R. BOHANNAN
 P.E. #7868

ALBUQUERQUE WAL-MART EXPANSION- 835-02
30 DAY CONDITIONAL USE PERMIT / SEASONAL STORAGE AREA

TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

DRAWN BY BDG
DATE 10/15/02
9929WAA-1.DWG
SHEET # 1
JOB # 990029W

ADMINISTRATIVE
 DEVELOPMENT PLAN AMENDMENT
 FILE NO. **AM 00742**
James S. ...
 PLANNING DIRECTOR DATE

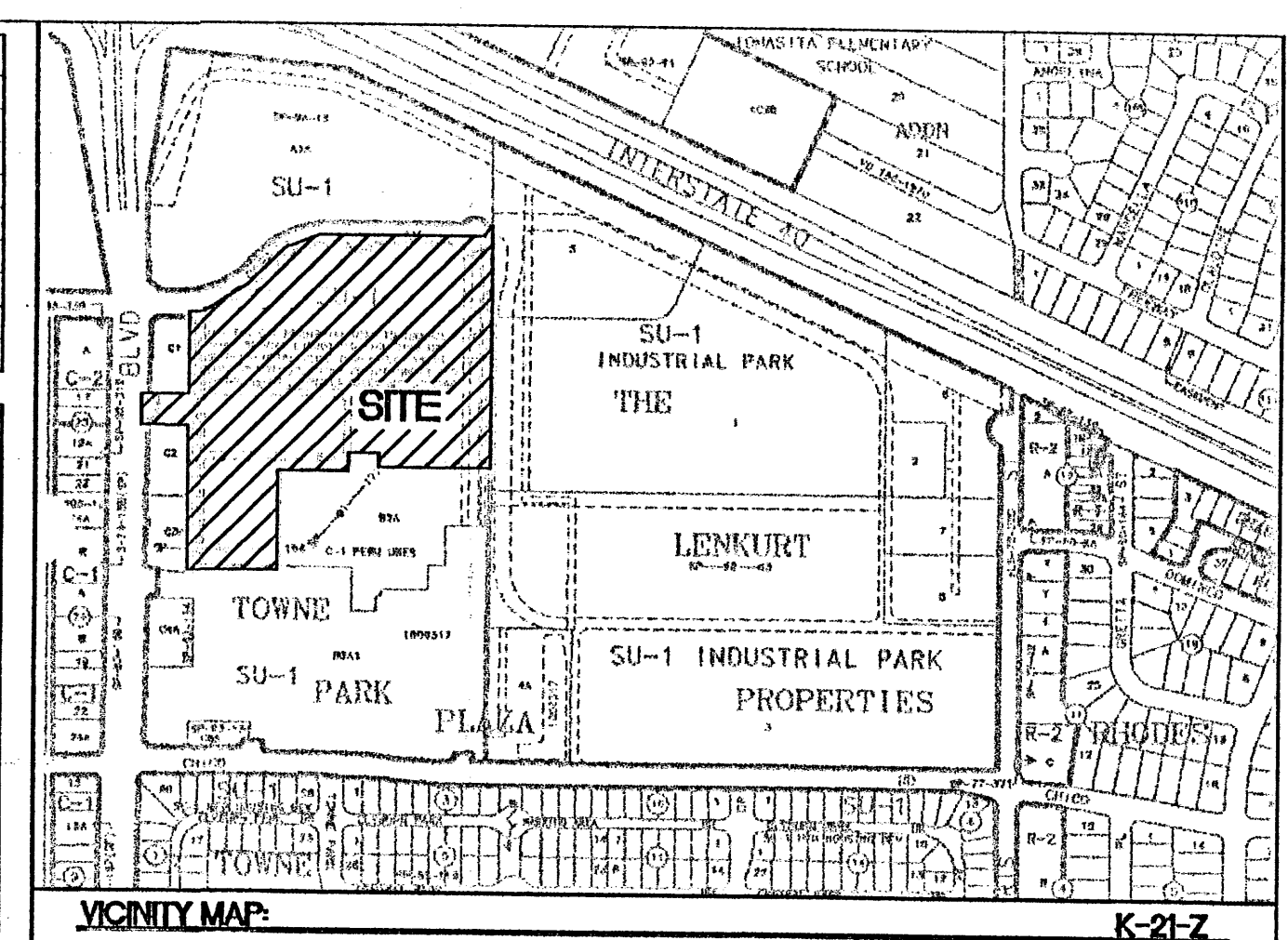


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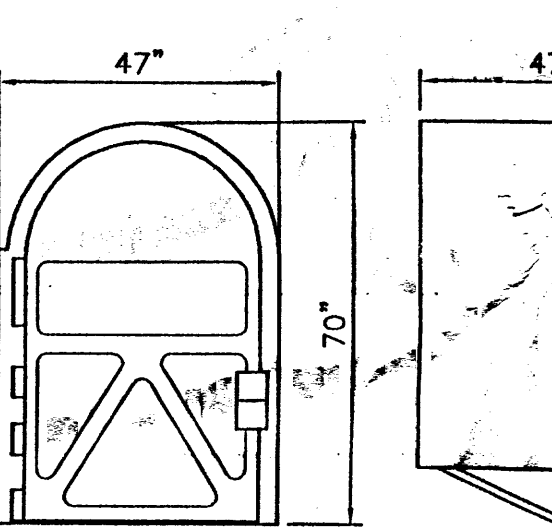
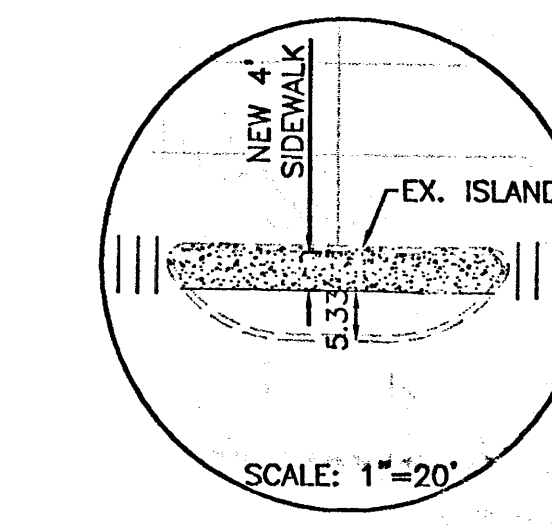
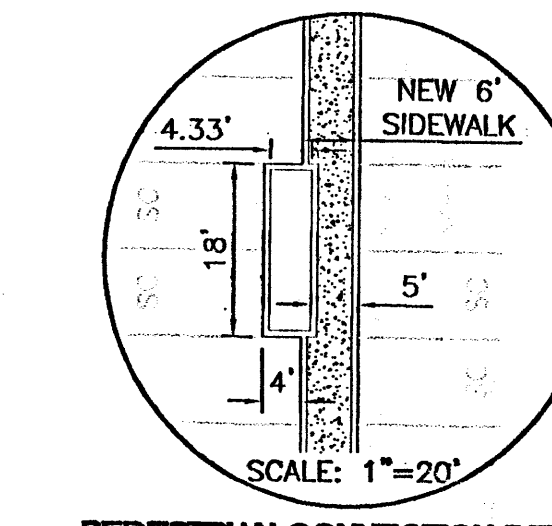
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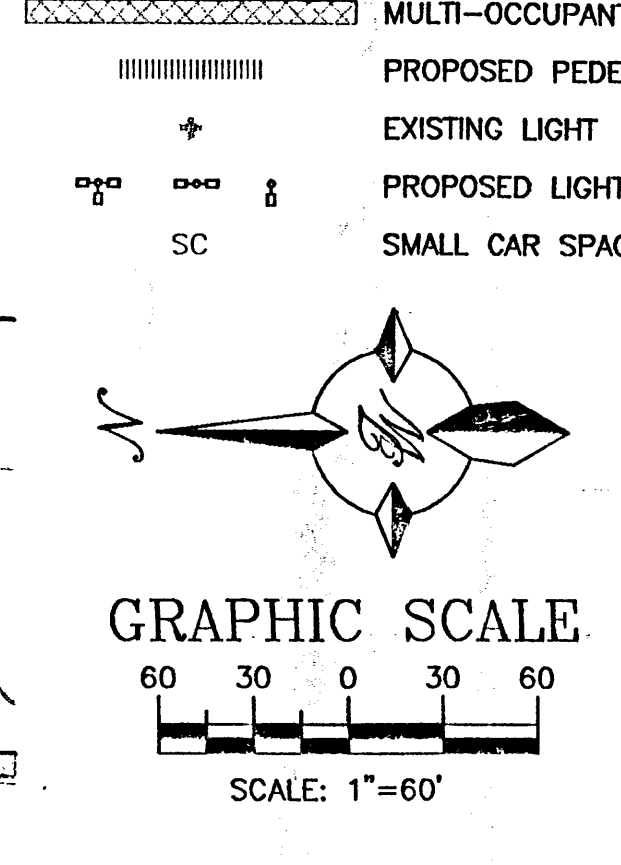
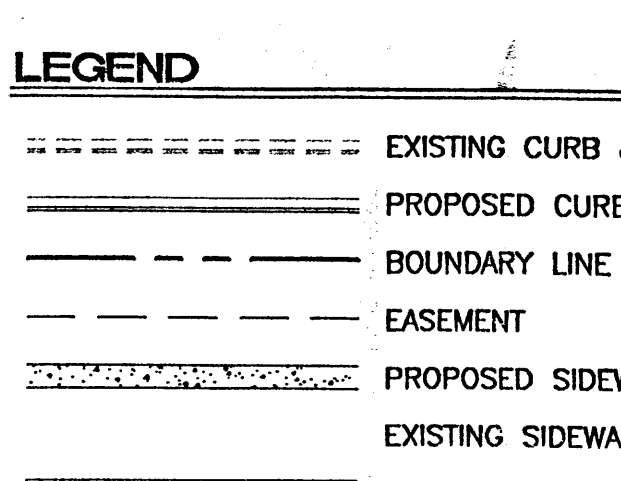
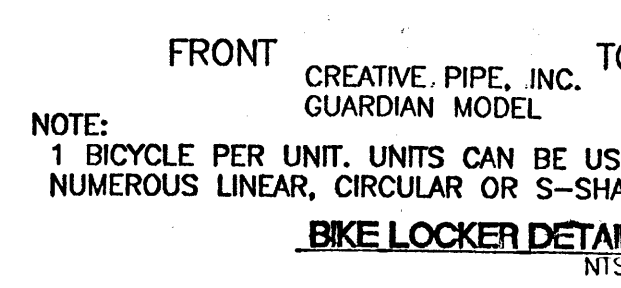
LEGAL DESCRIPTION:
 TRACT B-1A TOWN PARKE PLAZA

PROPOSED SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	
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	8 SPACES VAN ACCESSIBLE
BIKE SPACE CALCULATIONS:	
SPACES REQUIRED (CAR SPACES/20):	50 SPACES
SPACES PROVIDED:	50 SPACES



- EPC CONDITIONS**
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 - B. EMPLOYEE LOCKERS AND SHOWERS.
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SHOPPING CENTER PARKING RATIO

	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
WAL-MART W/ EXP. & GARDEN CENTER	1005	221,665 SF	4.53
EXISTING WAL-MART	908	116,097 SF	7.82

CASE NUMBER:

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division	Date
Solid Waste	Date

PLNZ (10706) 4/96

REVISIONS

NO.	DATE	REMARKS	RRB	BY
05-14-02		ADD REMOTE GARDEN SALES AREA		

ENGINEER'S SEAL

ALBUQUERQUE WAL-MART EXPANSION: 835-02 ADMINISTRATIVE AMENDMENT

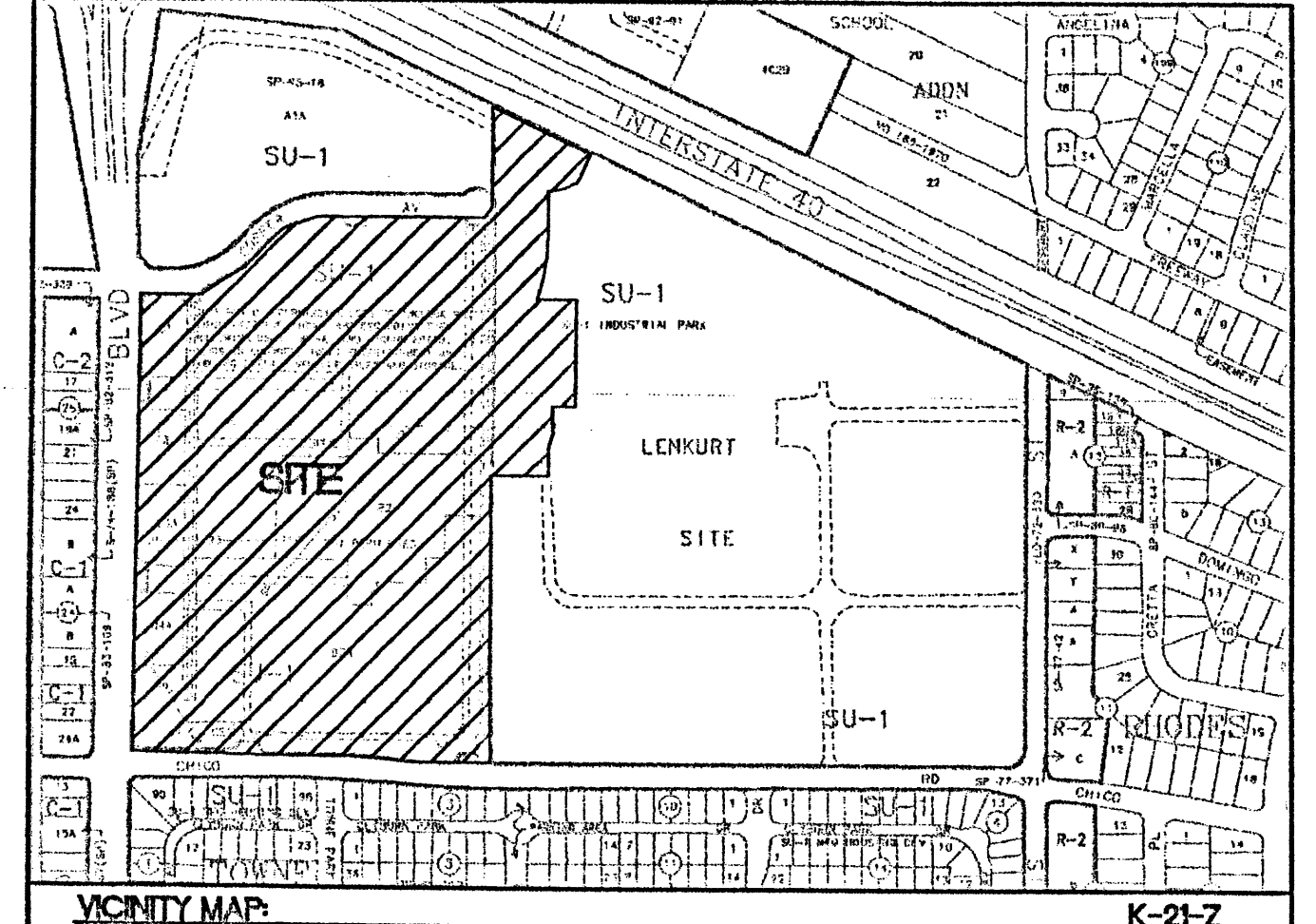
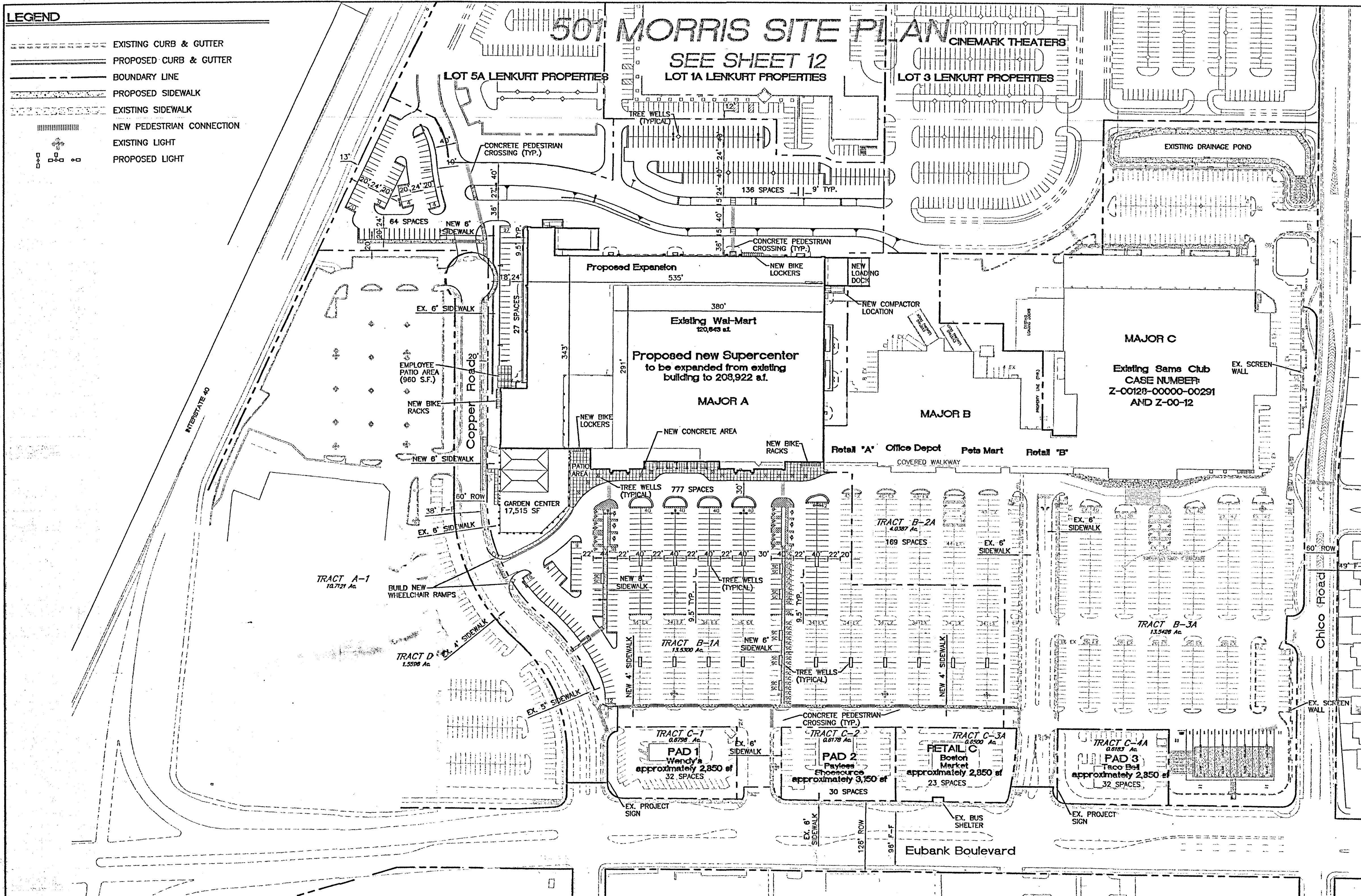
TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

DRAWN BY: JDN
DATE: 05-14-02
9929WAL.DWG
SHEET #: 3
JOB #: 990029W

RONALD R. BOHANNAN
 P.E. #7868

LEGEND

---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	BOUNDARY LINE
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK
---	NEW PEDESTRIAN CONNECTION
---	EXISTING LIGHT
---	PROPOSED LIGHT



- SITE PLAN NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
 - CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF WAL-MART.
 - THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS, PORCH AND RAMP LOCATIONS.
 - GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS.
 - CONTRACTOR SHALL PROVIDE PIPE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES IN DRIVE AREA, AS WELL AS, TO PROTECT ALL ACCESSIBLE SIGNS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECS. FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE, PRIMARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS, COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF TIE-INS/ CONNECTIONS TO THEIR FACILITIES.
 - CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
 - CONTRACTOR SHALL TOUCH-UP PAINT ALL LIGHT POLE BASES, FIRE HYDRANTS, CART CORNERS, PIPE BOLLARDS, AND CURBS WHICH ARE CURRENTLY PAINTED.
 - STEWKOR FOR THIS PROJECT SHALL MEET OR EXCEED THE "WAL-MART SITEWORK SPECIFICATIONS".
 - CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, CONCRETE IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES, AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.
 - CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
 - ALL PAINT USED FOR PARKING STRIPING SHALL BE PER WAL-MART SPECIFICATIONS.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 - DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO REFER TO LANDSCAPING AND IRRIGATION PLAN FOR RELOCATIONS, AND ADDITIONS TO SUCH.
 - EXISTING ACCESSIBLE PARKING SIGNS TO BE REUSED WHEN POSSIBLE. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING SIGNS NEEDED. ALL ACCESSIBLE SIGNS SHALL BE BUILT INSIDE PIPE BOLLARD PER DETAIL LOCATED ON DETAIL SHEET.
 - EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAIRED TRAFFIC YELLOW.
 - CONTRACTOR IS RESPONSIBLE FOR RELOCATING AND/OR PLACING PEDESTRIAN CROSSING SIGNS IN NEW LOCATION AS INDICATED ON PLANS. CONTRACTOR TO VERIFY EXACT NUMBER OF SIGNS REQUIRED.
 - ALL EXISTING PAINT STRIPING TO BE REMOVED FIRST. CONTRACTOR WILL THEN RESEAL THE PARKING LOT WITH AN APPROVED SEALER PER SPECIFICATION WHEN REQUIRED (COORDINATE WITH THE WAL-MART CONSTRUCTION MANAGER). THE PARKING LOT WILL BE RESTRIPED WITH 2 COATS OF PAINT PER THE PLANS AND SPECIFICATIONS. THIS WORK MUST BE COORDINATED WITH THE CONSTRUCTION MANAGER. THE PARKING LOT MUST BE DONE IN SECTIONS SO THAT IT DOES NOT INTERRUPT THE STORE OPERATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
 - REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL ROUTING.
 - ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
 - NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (I.e. SHOE BOX) TO MINIMIZE FLIGHT LIGHT.
 - INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
 - BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE.
 - EXISTING BUS ROUTE IS ON EUBANK BOULEVARD AND NOT ON SITE.

EXISTING SITE DATA

TRACT	LOT AREA	USE	BUILDING AREA	F.A.R.	PARKING REQUIRED*	MINUS 10% BUS CREDIT	MINUS 5% BUS SHELTER	PARKING PROVIDED	MAX. BLDG. HEIGHT	MIN. BLDG. SETBACK
B-1A	13.5432 Ac.	WAL-MART	116,097 SF	0.1968	580 (16 HANDICAP)	522	493	908 (20 HANDICAP)	40.0'	15.0'
B-2A	4.0387 Ac.	RETAIL SHOPS	49,920 SF	0.2838	250 (8 HANDICAP)	225	212	250 (8 HANDICAP)	40.0'	15.0'
B-3A	13.2455 Ac.	SAM'S CLUB	136,082 SF	0.2359	681 (16 HANDICAP)	613	579	680 (16 HANDICAP)	40.0'	15.0'
C-1	0.6798 Ac.	WENDY'S	2,850 SF	0.0962	26 (2 HANDICAP)	23	22	32 (2 HANDICAP)	40.0'	15.0'
C-2	0.6178 Ac.	PAYLESS	3,150 SF	0.1171	16 (1 HANDICAP)	14	13	30 (2 HANDICAP)	40.0'	15.0'
C-3A	0.6500 Ac.	BOSTON MARKET	2,850 SF	0.1007	19 (1 HANDICAP)	17	16	23 (2 HANDICAP)	40.0'	15.0'
C-4A	0.6183 Ac.	TACO BELL	2,850 SF	0.1058	20 (1 HANDICAP)	18	17	32 (2 HANDICAP)	40.0'	15.0'
OVERALL	33.3933 Ac.	SHOPPING CENTER	313,799 SF	0.2157	1,592 (45 HANDICAP)	1,432	1,352	1,955 (52 HANDICAP)	40.0'	15.0'

SITE DATA W/ WAL-MART EXPANSION

TRACT	LOT AREA	USE	BUILDING AREA	F.A.R.	PARKING REQUIRED*	MINUS 10% BUS CREDIT	MINUS 5% BUS SHELTER	PARKING PROVIDED	MAX. BLDG. HEIGHT	MIN. BLDG. SETBACK
B-1A	17.9181 Ac.	SUPER WAL-MART	221,665 SF	0.2840	1,108 (20 HANDICAP)	997	942	1,005 (20 HANDICAP)	40.0'	15.0'
B-2A	4.0387 Ac.	RETAIL SHOPS	49,920 SF	0.2838	250 (8 HANDICAP)	225	212	250 (8 HANDICAP)	40.0'	15.0'
B-3A	13.2455 Ac.	SAM'S CLUB	136,082 SF	0.2359	681 (16 HANDICAP)	613	579	680 (16 HANDICAP)	40.0'	15.0'
C-1	0.6798 Ac.	WENDY'S	2,850 SF	0.0962	26 (2 HANDICAP)	23	22	32 (2 HANDICAP)	40.0'	15.0'
C-2	0.6178 Ac.	PAYLESS	3,150 SF	0.1171	16 (1 HANDICAP)	14	13	30 (2 HANDICAP)	40.0'	15.0'
C-3A	0.6500 Ac.	BOSTON MARKET	2,850 SF	0.1007	19 (1 HANDICAP)	17	16	23 (2 HANDICAP)	40.0'	15.0'
C-4A	0.6183 Ac.	TACO BELL	2,850 SF	0.1058	20 (1 HANDICAP)	18	17	32 (2 HANDICAP)	40.0'	15.0'
OVERALL	37.7682 Ac.	SHOPPING CENTER	419,357 SF	0.2549	2,120 (49 HANDICAP)	1,907	1,801	2,052 (52 HANDICAP)	40.0'	15.0'

* PARKING CALCULATIONS
 RETAIL STORES: 1 SPACE PER 200 SF OF LEASEABLE AREA.
 RESTAURANTS: WENDY'S: 104 SEATS / 4 PEOPLE PER CAR.
 BOSTON MARKET: 76 SEATS / 4 PEOPLE PER CAR.
 TACO BELL: 80 SEATS / 4 PEOPLE PER CAR.

SHEET INDEX

- TOWN PARK PLAZA**
- AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA
 - APPROVED AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA (PROJECT #1000317) (FOR REFERENCE ONLY)
 - SITE PLAN FOR BUILDING PERMIT (WAL-MART EXPANSION)
 - LANDSCAPING PLAN
 - GRADING AND DRAINAGE PLAN SHEET "A"
 - GRADING AND DRAINAGE PLAN SHEET "B"
 - DETAIL SHEET
 - MASTER UTILITY PLAN SHEET "A"
 - MASTER UTILITY PLAN SHEET "B"
 - BUILDING ELEVATIONS
 - SIGNAGE ELEVATIONS
 - GARDEN CENTER ELEVATIONS
- 501 MORRIS**
- AMENDED SITE PLAN FOR SUBDIVISION FOR LENKURT PROPERTIES
 - APPROVED SITE PLAN FOR SUBDIVISION FOR LENKURT PROPERTIES (Z-90-21-2) (FOR REFERENCE ONLY)

EPC 00128-00000-01192

PROJECT NUMBER: 01450-00000-00129

This plan is consistent with the specific site development plan approval by the Environmental Quality Commission (EQC) on 10/13/01 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

T. J. ...
 Traffic Engineer, Transportation Division
 Date: 6/13/01

...
 Parks & General Services Department
 Date: 6/13/01

...
 Public Works, Water Utilities Division
 Date: 8-28-01

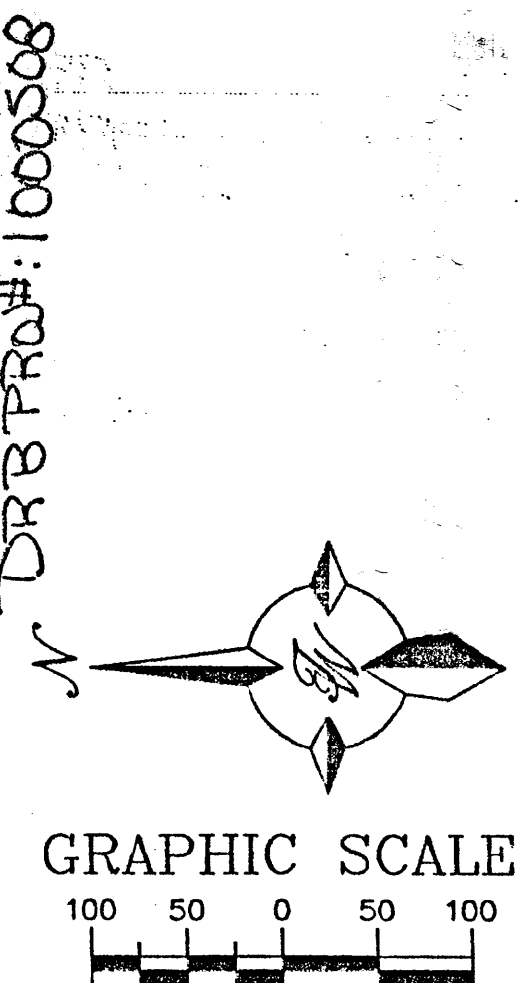
...
 City Engineer, Engineering Division / AMAFCA
 Date: 8-16-01

...
 Solid Waste
 Date: 9/13/01

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

...
 City Planner, Albuquerque / Bernalillo
 Planning Division
 Date: 9/13/01

PLN2 (10706) 4/96

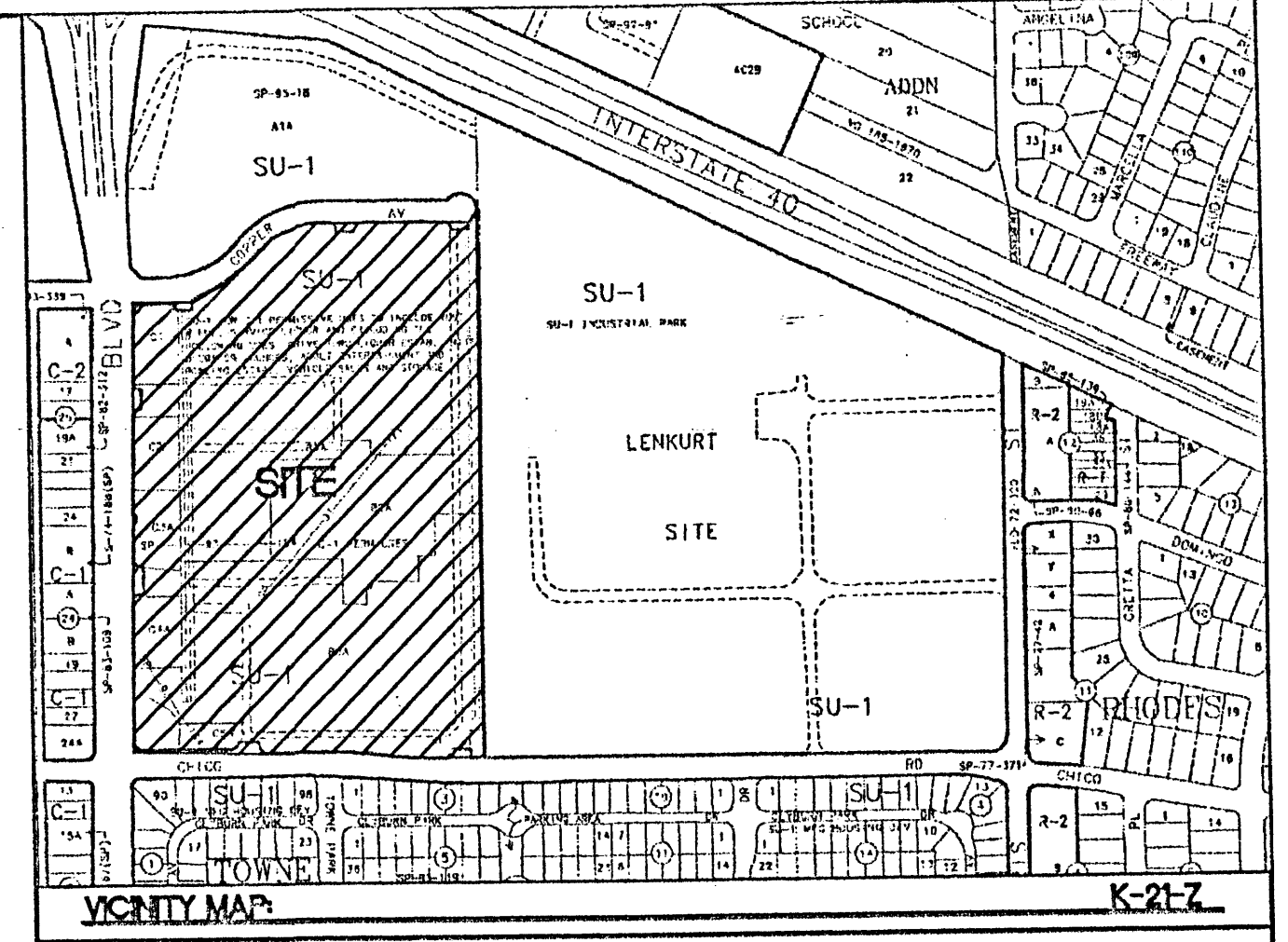
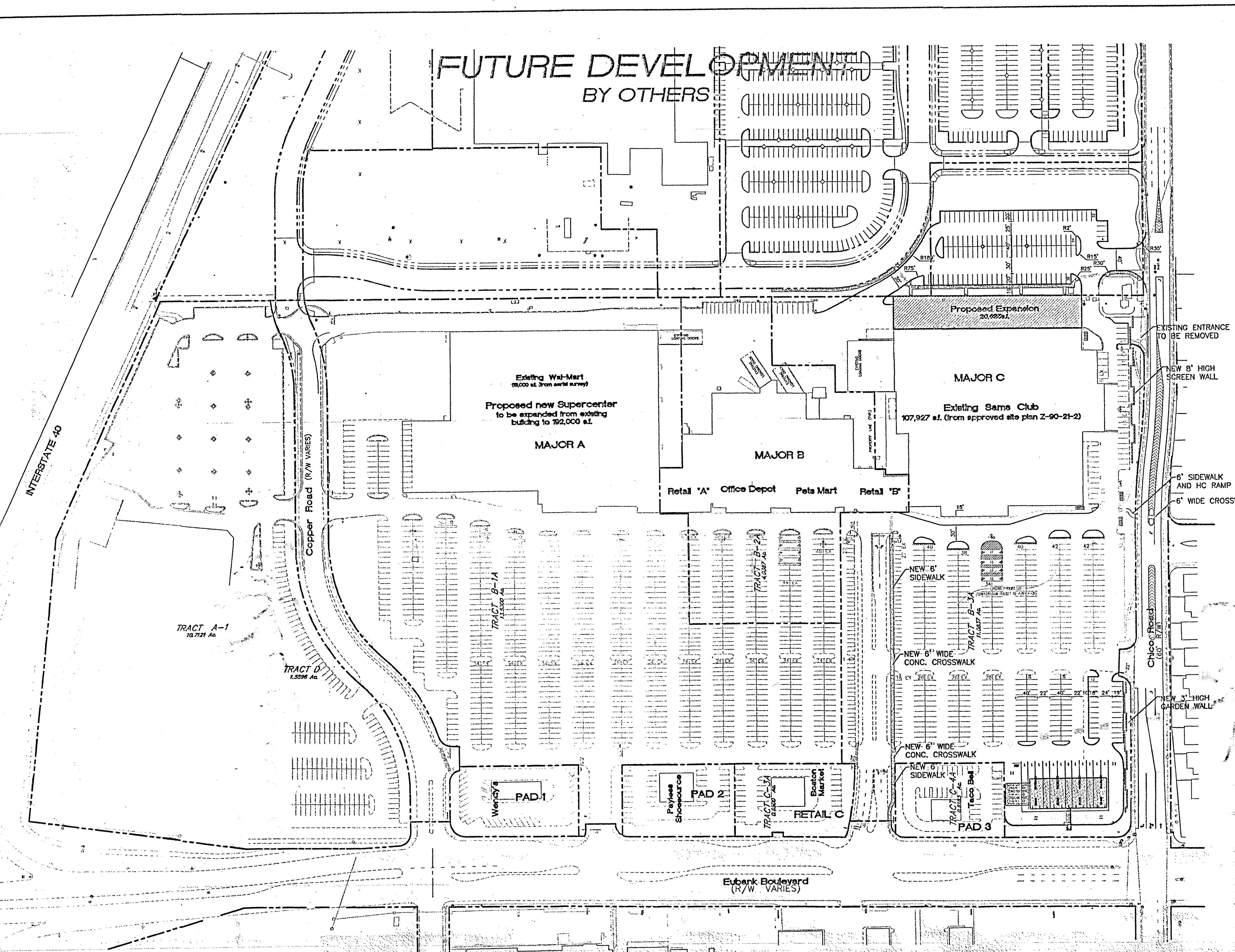


LEGAL DESCRIPTION
 TRACTS A-1, B-1A, B-2A, B-3A C-1A, C-2A, C-3A, C-4A AND TRACT D OF TOWNE PARK PLAZA

ZONING
 SU-1 FOR C-1 PERMISSIVE USES TO INCLUDE RESTAURANT WITH FULL SERVICE LIQUOR AND EXCLUDING THE FOLLOWING USES: DRIVE-THRU LIQUOR ESTABLISHMENTS, NIGHT CLUBS OR LOUNGES, ADULT ENTERTAINMENT ESTABLISHMENTS, AND VEHICLE SALES AND STORAGE.

	<p>ALBUQUERQUE WAL-MART EXPANSION AMENDED SITE PLAN FOR SUBDIVISION</p> <p>TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100</p>	DRAWN BY JDN DATE 06-08-01 9929WSP51.DWG
		SHEET # 1 JOB # 990029W

FUTURE DEVELOPMENT BY OTHERS



LEGAL DESCRIPTION:
TRACT B-3A LENKURT SITE

PROPOSED SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	11.0837 ACRE
EXISTING LOT AREA:	11.0837 AC
LOT 4 EXPANSION:	2.1618 AC
TOTAL LOT AREA:	13.2455 AC
BUILDING AREA:	111,434 SF
EXISTING BUILDING:	21,758 SF
PROPOSED BUILDING EXPANSION:	136,082 SF
TOTAL BUILDING AREA:	
PARKING REQUIRED W/EXPANSION	680 SPACES
PARKING LOST DUE TO EXP. & GAS STATION	151 SPACES
NEW PARKING PROVIDED	154 SPACES
TOTAL PARKING PROVIDED IN BACK	121 SPACES
TOTAL PARKING PROVIDED ON SIDES	46 SPACES
TOTAL PARKING PROVIDED IN FRONT	516 SPACES
TOTAL PARKING PROVIDED	680 SPACES
HC PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	16 SPACES
	2 SPACES VAN ACCESSIBLE

SHOPPING CENTER PARKING RATIO

	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
SAM'S CLUB w/EXP. & GAS STATION	683	128,612 SF	5.31
EXISTING SAM'S CLUB	702	107,927 SF	6.50

GENERAL NOTES:
1. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.

PROJECT # 1000317
CASE NUMBER: Z-00128-00000-00291 AND Z-00-12

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 7/19/00 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

<i>Rickl D. Dark</i>	7-19-00
Traffic Engineer, Transportation Division	Date
<i>Blair E. Corderia</i>	7-19-00
Parks & General Services Department	Date
<i>Rose J. Khan</i>	7-19-00
Public Works, Water Utilities Division	Date
<i>Amend M. ...</i>	1/19/01
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

<i>...</i>	1/20/01
City Planner, Albuquerque / Bernalillo County Planning Division	Date
<i>...</i>	12-12-00
Solid Waste	Date

PLNZ (10706) 4/96

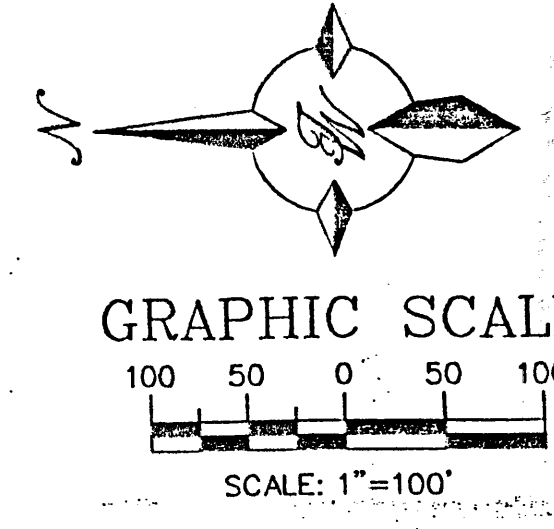
EXISTING PARKING DATA (from approved site plan Z-90-21-2)

BUILDING SIZE	PARKING REQUIRED *	PARKING PROVIDED
MAJOR A	603	921
MAJOR B	250	203
MAJOR C	540	702
RETAIL A	32	0
RETAIL B	39	0
RETAIL C	40	130
PAD 1-4	143	
TOTAL	1645	1956
OVERALL RATIO:	5.01:1	5.951
MAJOR C EXPANSION	103	43
TOTAL	1748	1999
OVERALL RATIO W/EXPANSIONS:		5.72

* CALCULATED AT 1 PARKING SPACE PER 200 SF OF LEASEABLE SPACE.

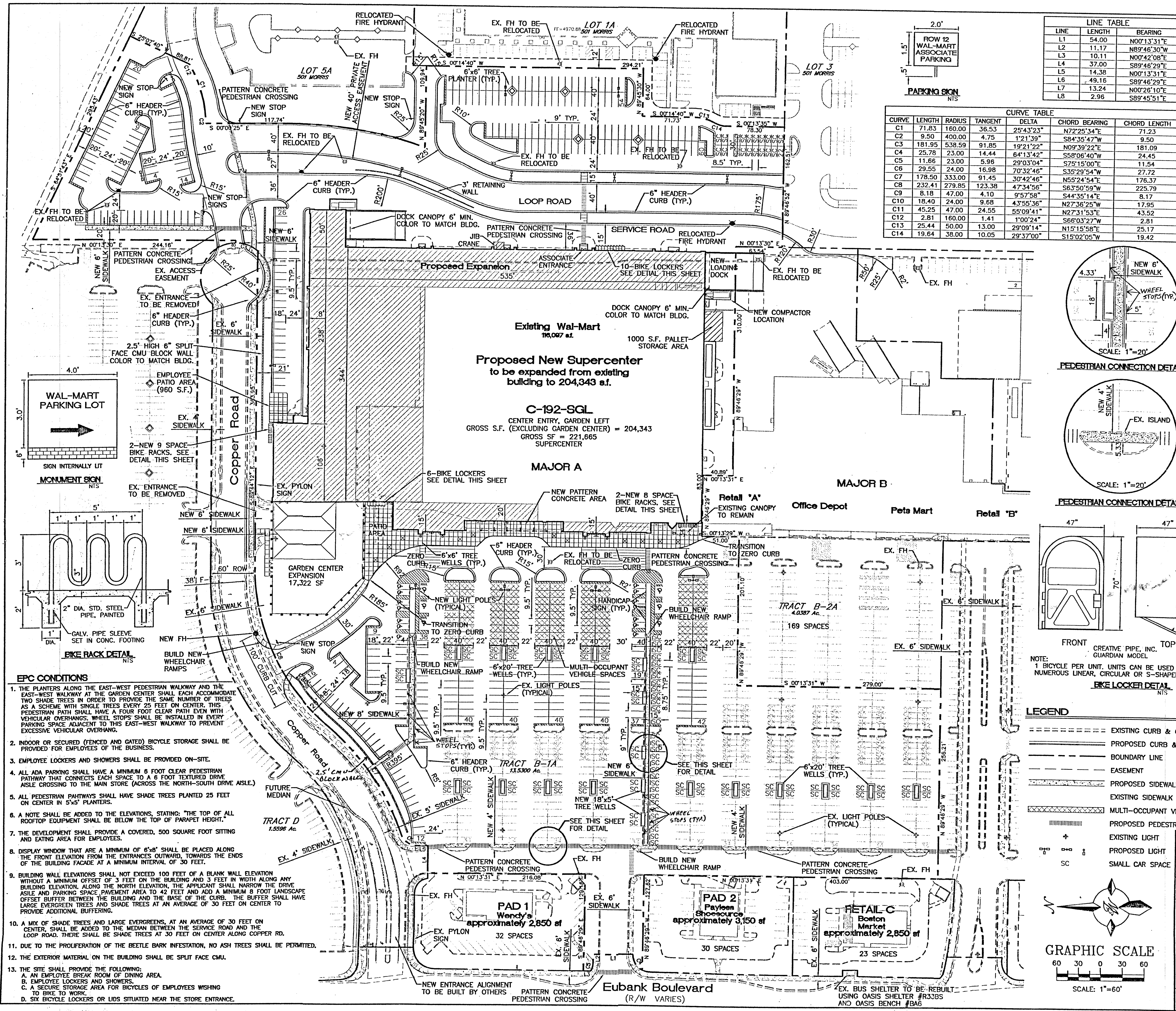
SHEET INDEX

- TOWN PARK PLAZA**
- AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA
 - APPROVED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA (Z-90-21-2) (FOR REFERENCE ONLY)
 - SITE PLAN FOR BUILDING PERMIT (SAM'S CLUB EXPANSION)
 - LANDSCAPING PLAN
 - MASTER UTILITY PLAN
 - GRADING AND DRAINAGE PLAN
 - BUILDING ELEVATIONS
- 501 MORRIS**
- AMENDED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS
 - APPROVED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS (Z-90-21-2) (FOR REFERENCE ONLY)
- SERVICE STATION**
- SITE PLAN FOR BUILDING PERMIT
 - GRADING AND DRAINAGE PLAN
 - ELEVATIONS



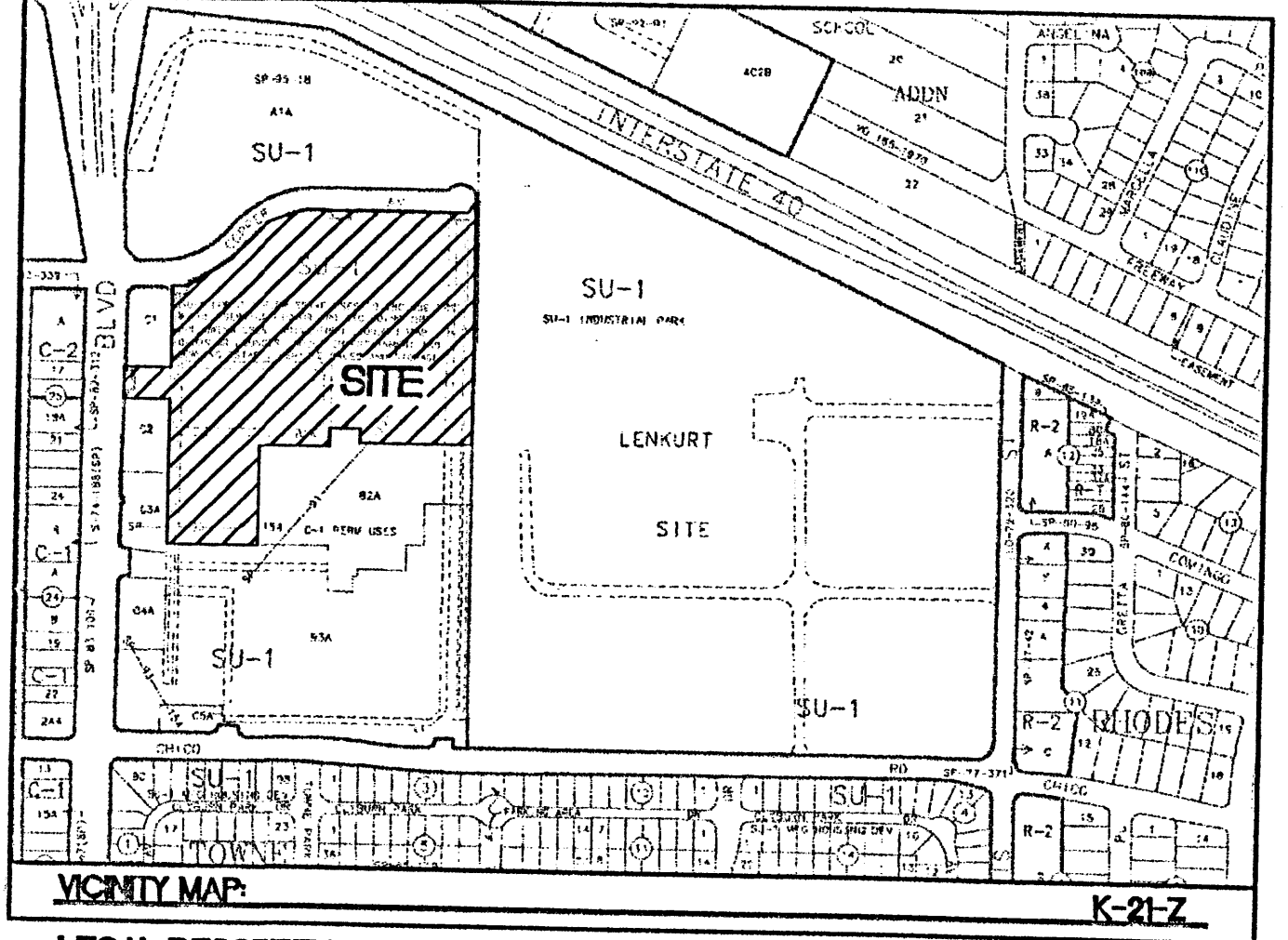
FOR REFERENCE ONLY

ENGINEER'S SEAL	ALBUQUERQUE SAM'S EXPANSION AND GAS STATION	DRAWN BY BDG
<i>Ronald R. Bohannan</i>	AMENDED SITE PLAN FOR SUBDIVISION	DATE 7-07-00
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	9929SPS.DWG
		SHEET # 2
		JOB # 990029



LINE	LENGTH	BEARING
L1	54.00	N00°13'31"E
L2	11.17	N89°46'30"W
L3	10.11	N00°42'08"E
L4	37.00	S89°46'29"E
L5	14.38	N00°13'31"E
L6	49.16	S89°46'29"E
L7	13.24	N00°26'10"E
L8	2.96	S89°45'51"E

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	71.83	160.00	36.53	25°43'23"	N72°25'34"E	71.23
C2	9.50	400.00	4.75	1°21'39"	S84°35'47"W	9.50
C3	181.95	538.59	91.85	19°21'22"	N09°39'22"E	181.09
C4	25.78	23.00	14.44	64°13'42"	S58°06'40"W	24.45
C5	11.66	23.00	5.98	29°03'04"	S75°15'00"E	11.54
C6	29.55	24.00	16.98	70°32'46"	S39°29'54"W	27.72
C7	178.50	333.00	91.45	30°42'46"	N55°24'54"E	176.37
C8	232.41	279.85	123.38	47°34'56"	S63°50'59"W	225.79
C9	8.18	47.00	4.10	9°57'58"	S44°35'14"E	8.17
C10	18.40	24.00	9.68	43°55'36"	N27°31'53"E	17.95
C11	45.25	47.00	24.55	55°09'41"	N27°31'53"E	43.52
C12	2.81	160.00	1.41	1°00'24"	S66°03'27"W	2.81
C13	25.44	50.00	13.00	29°09'14"	N15°15'58"E	25.17
C14	19.64	38.00	10.05	29°37'00"	S15°02'05"W	19.42



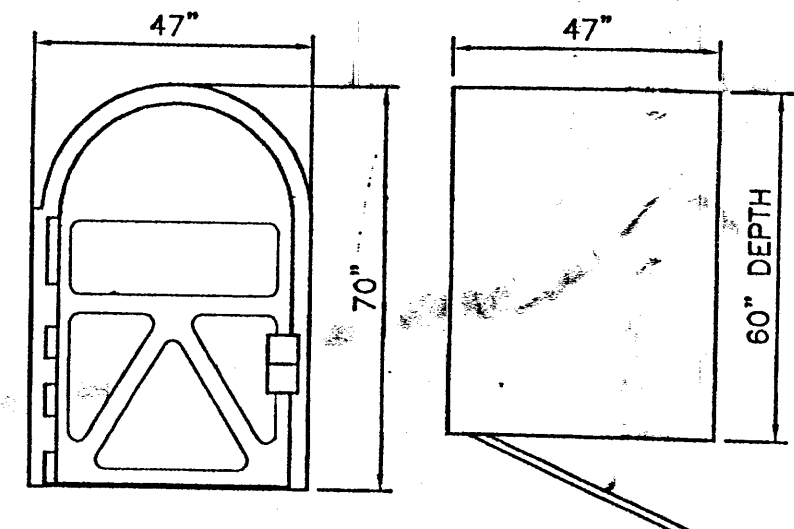
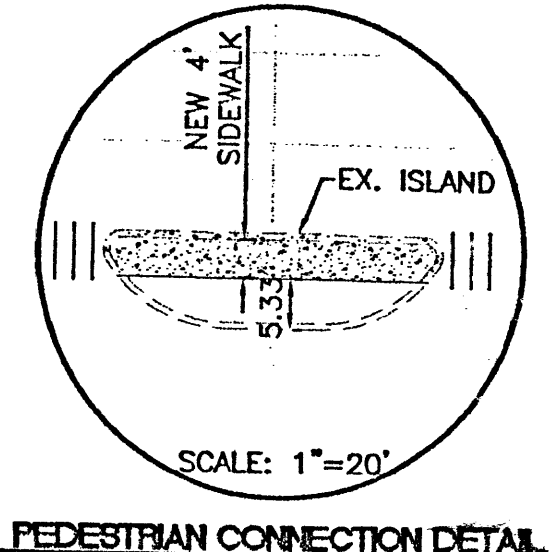
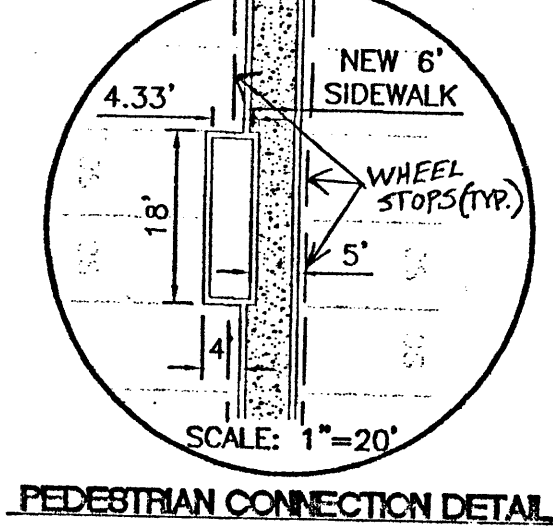
LEGAL DESCRIPTION
TRACT B-1A TOWN PARKE PLAZA

PROPOSED SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	
EXISTING LOT AREA:	13.5432 AC
LOTS 1 & 5 EXPANSION:	4.3749 AC
TOTAL LOT AREA:	17.9181 AC
BUILDING AREA:	
EXISTING BUILDING:	116,097 SF
PROPOSED BUILDING EXPANSION:	88,246 SF
PROPOSED GARDEN CENTER BUILDING:	17,322 SF
TOTAL BUILDING AREA:	221,665 SF
FLOOR AREA RATIO:	
EXISTING BUILDING:	0.20
WITH PROPOSED BUILDING EXPANSION:	0.28
PARKING CALCULATIONS:	
PARKING REQUIRED FOR EX. BUILDING:	580 SPACES
10% BUS CREDIT:	-58 SPACES
5% EXISTING BUS SHELTER:	-29 SPACES
TOTAL PARKING REQUIRED:	493 SPACES
TOTAL PARKING PROVIDED FOR EX. BUILDING:	908 SPACES
PARKING REQUIRED FOR BUILDING W/EXPANSIONS:	1108 SPACES
10% BUS CREDIT:	-111 SPACES
5% EXISTING BUS SHELTER:	-55 SPACES
TOTAL PARKING REQUIRED:	942 SPACES
TOTAL PARKING PROVIDED FOR BLDG. W/ EXP.:	1005 SPACES
HC PARKING REQUIRED:	20 SPACES
HC PARKING PROVIDED:	20 SPACES
BIKE SPACE CALCULATIONS:	
SPACES REQUIRED (CAR SPACES/20):	50 SPACES
SPACES PROVIDED:	50 SPACES

SHOPPING CENTER PARKING RATIO

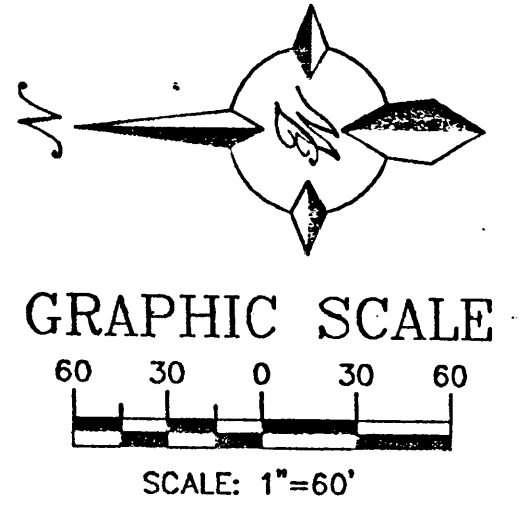
WAL-MART W/ EXP. & GARDEN CENTER	NO. OF SPACES	BUILDING AREA	RATIO/1000 SQ.F.
1005	221,665 SF	4.53	
EXISTING WAL-MART	908	116,097 SF	7.82



NOTE: 1 BICYCLE PER UNIT. UNITS CAN BE USED INDIVIDUALLY OR IN NUMEROUS LINEAR, CIRCULAR OR S-SHAPED CONFIGURATIONS

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- MULTI-OCCUPANT VEHICLE SPACES
- PROPOSED PEDESTRIAN CONNECTION
- EXISTING LIGHT
- PROPOSED LIGHT
- SMALL CAR SPACE



- EPC CONDITIONS**
1. THE PLANTERS ALONG THE EAST-WEST PEDESTRIAN WALKWAY AND THE EAST-WEST WALKWAY AT THE GARDEN CENTER SHALL EACH ACCOMMODATE TWO SHADE TREES IN ORDER TO PROVIDE THE SAME NUMBER OF TREES AS A SCHEME WITH SINGLE TREES EVERY 25 FEET ON CENTER. THIS PEDESTRIAN PATH SHALL HAVE A FOUR FOOT CLEAR PATH EVEN WITH VEHICULAR OVERHANGS; WHEEL STOPS SHALL BE INSTALLED IN EVERY PARKING SPACE ADJACENT TO THIS EAST-WEST WALKWAY TO PREVENT EXCESSIVE VEHICULAR OVERHANGS.
 2. INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
 3. EMPLOYEE LOCKERS AND SHOWERS SHALL BE PROVIDED ON-SITE.
 4. ALL ADA PARKING SHALL HAVE A MINIMUM 6 FOOT CLEAR PEDESTRIAN PATHWAY THAT CONNECTS EACH SPACE TO A 8 FOOT TEXTURED DRIVE AISLE CROSSING TO THE MAIN STORE (ACROSS THE NORTH-SOUTH DRIVE AISLE).
 5. ALL PEDESTRIAN PATHWAYS SHALL HAVE SHADE TREES PLANTED 25 FEET ON CENTER IN 5'x5' PLANTERS.
 6. A NOTE SHALL BE ADDED TO THE ELEVATIONS, STATING: "THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET HEIGHT."
 7. THE DEVELOPMENT SHALL PROVIDE A COVERED, 500 SQUARE FOOT SITTING AND EATING AREA FOR EMPLOYEES.
 8. DISPLAY WINDOW THAT ARE A MINIMUM OF 6'x8' SHALL BE PLACED ALONG THE FRONT ELEVATION FROM THE ENTRANCES OUTWARD, TOWARDS THE ENDS OF THE BUILDING FACADE AT A MINIMUM INTERVAL OF 30 FEET.
 9. BUILDING WALL ELEVATIONS SHALL NOT EXCEED 100 FEET OF A BLANK WALL ELEVATION WITHOUT A MINIMUM OFFSET OF 3 FEET ON THE BUILDING AND 3 FEET IN WIDTH ALONG ANY BUILDING ELEVATION. ALONG THE NORTH ELEVATION, THE APPLICANT SHALL NARROW THE DRIVE AISLE AND PARKING SPACE PAVEMENT AREA TO 42 FEET AND ADD A MINIMUM 8 FOOT LANDSCAPE OFFSET BUFFER BETWEEN THE BUILDING AND THE BASE OF THE CURB. THE BUFFER SHALL HAVE LARGE EVERGREEN TREES AND SHADE TREES AT AN AVERAGE OF 30 FEET ON CENTER TO PROVIDE ADDITIONAL BUFFERING.
 10. A MIX OF SHADE TREES AND LARGE EVERGREENS, AT AN AVERAGE OF 30 FEET ON CENTER SHALL BE ADDED TO THE MEDIAN BETWEEN THE SERVICE ROAD AND THE LOOP ROAD. THERE SHALL BE SHADE TREES AT 30 FEET ON CENTER ALONG COPPER RD.
 11. DUE TO THE PROLIFERATION OF THE BEETLE BARK INFESTATION, NO ASH TREES SHALL BE PERMITTED.
 12. THE EXTERIOR MATERIAL ON THE BUILDING SHALL BE SPLIT FACE CMU.
 13. THE SITE SHALL PROVIDE THE FOLLOWING:
 - A. AN EMPLOYEE BREAK ROOM OF DINING AREA.
 - B. EMPLOYEE LOCKERS AND SHOWERS.
 - C. A SECURE STORAGE AREA FOR BICYCLES OF EMPLOYEES WISHING TO BIKE TO WORK.
 - D. SIX BICYCLE LOCKERS OR LIDS SITUATED NEAR THE STORE ENTRANCE.

CASE NUMBER: 01450-0000-00029

This plan is consistent with the specific site development plan approved by the Engineering and Planning Commission (EPC) and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Richard J. Dault
Traffic Engineer, Transportation Division
Date: 6/13/01

Alfredo E. Padilla
Public Works, Water Utilities Division
Date: 6/13/01

Paul J. ...
City Engineer, Engineering Division / AMAFCA
Date: 9-10-01

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

...
City Planner, Albuquerque / Bernalillo County Planning Division
Date: 9/10/01

...
Solid Waste
Date: 8-16-01

PLNZ (10706) 4/96

REVISIONS

NO.	DATE	REMARKS	BY

ENGINEER'S SEAL

ALBUQUERQUE WAL-MART EXPANSION: 835-02

SITE PLAN FOR BUILDING PERMIT

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868

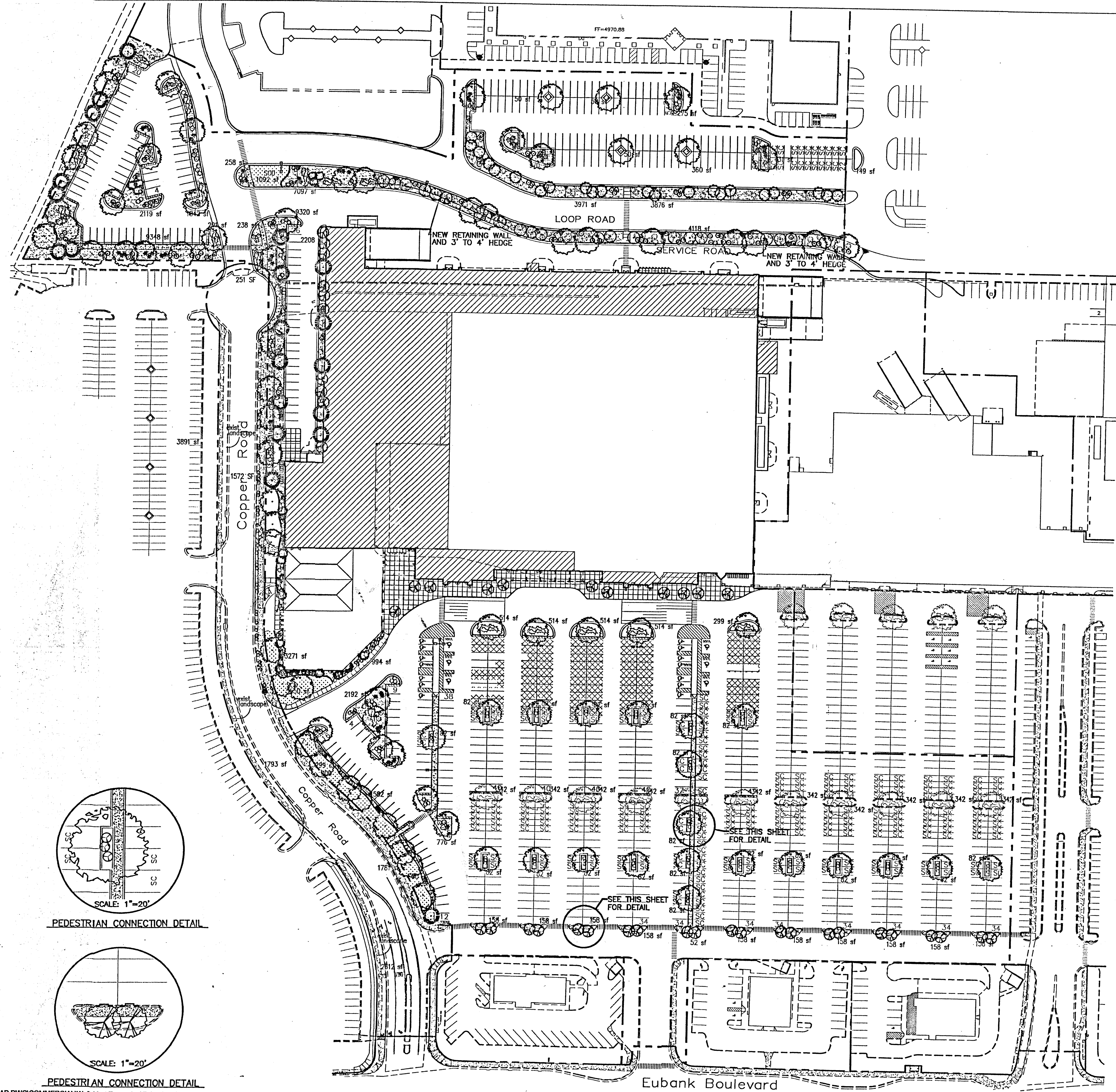
DRAWN BY: JDN

DATE: 06-08-01

9929WSP2.DWG

SHEET # 3

JOB # 990029W



PLANT LEGEND

- | | | |
|--|---|---|
| EXISTING LANDSCAPING | ○ | RUSSIAN SAGE (M) 125
Perovskia atriplicifolia
5 gal |
| HONEY LOCUST (H) 88
Gleditsia triacanthos
2 Cal | ○ | AUTUMN SAGE (M) 78
Salvia gregii
5 gal |
| LEYLANDI CYPRESS (M) 20
Cupressocyparis leylandii
15 GAL | ○ | CHAMISA (L) 158
Chrysothamnus nauseosus
1 gal |
| AUSTRIAN PINE (H) 13
Pinus nigra
6-8' | ○ | MAIDEN GRASS (M) 83
Miscanthus sinensis
5 gal |
| DESERT WILLOW (M) 22
Chilots linearis
15 GAL | ○ | WILDFLOWER 146
1 GAL |
| BRADFORD PEAR (M) 47
Pyrus edryana bradford
1 1/2' Cal | ○ | TAM JUNIPER (L) 51
Juniperus sabinia
5 gal |
| NEW MEXICO OLIVE (M) 16
Forestiera neomexicana
15 GAL | ○ | OVERSIZE GRAVEL & BOULDERS
3/4" SANTA ANA TAN GRAVEL
W/ FILTER FABRIC |
| APACHE PLUME (L) 21
Fallugia paradoxa
5 gal | ○ | SOD |
| POTENTILLA (M) 50
Potentilla fruticosa
5 gal | ○ | COMMERCIAL GRADE
STEEL EDGING |

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPM Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to relieve native seed.

LANDSCAPE CALCULATIONS

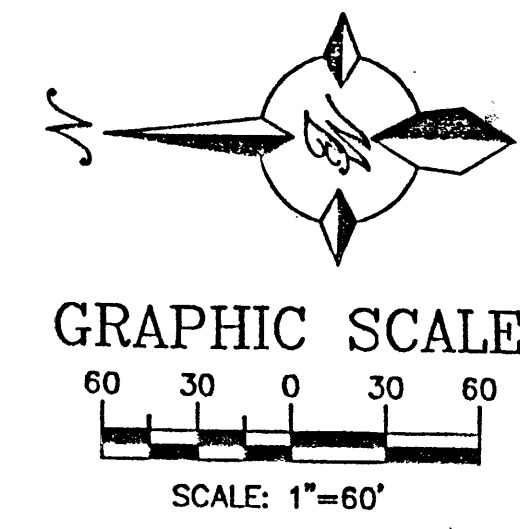
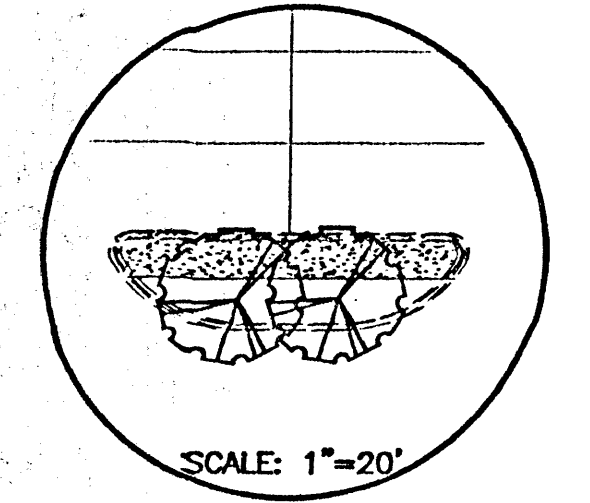
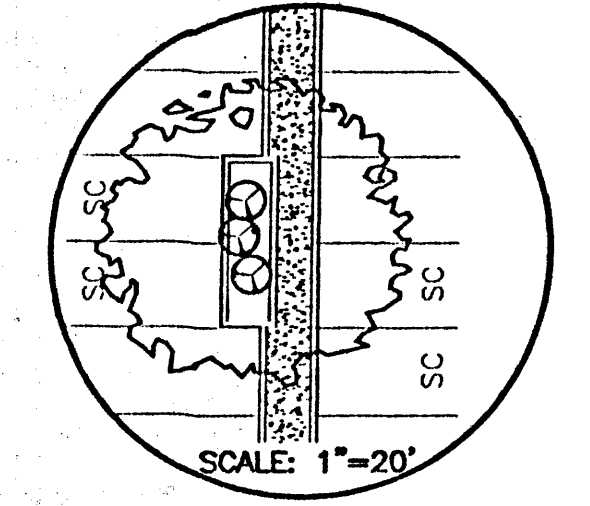
NET LANDSCAPE AREA		
TOTAL LOT AREA	772,881	square feet
TOTAL BUILDINGS AREA	216,020	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	554,861	square feet
LANDSCAPE REQUIREMENT	15	percent
TOTAL LANDSCAPE REQUIREMENT	83,199	square feet
TOTAL NEW LANDSCAPE PROVIDED	78,474	square feet
TOTAL REPLACEMENT SOD PROVIDED	11,722	square feet
TOTAL NEW BED PROVIDED	84,752	square feet
TOTAL EXISTING LANDSCAPE PROVIDED	11,865	square feet
TOTAL LANDSCAPE PROVIDED	88,339	square feet



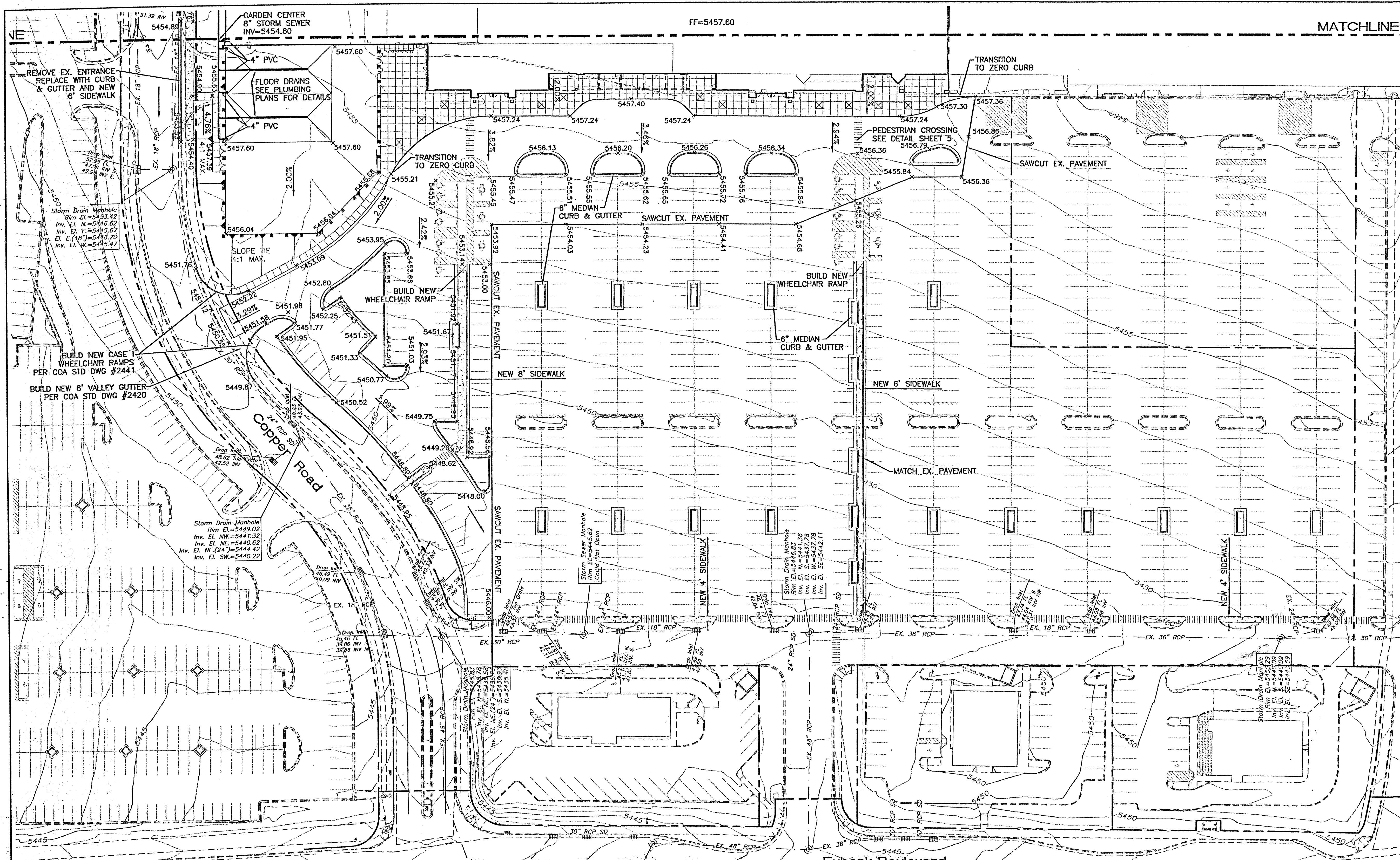
LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 it@hilltoplandscaping.com

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THE HILLTOP

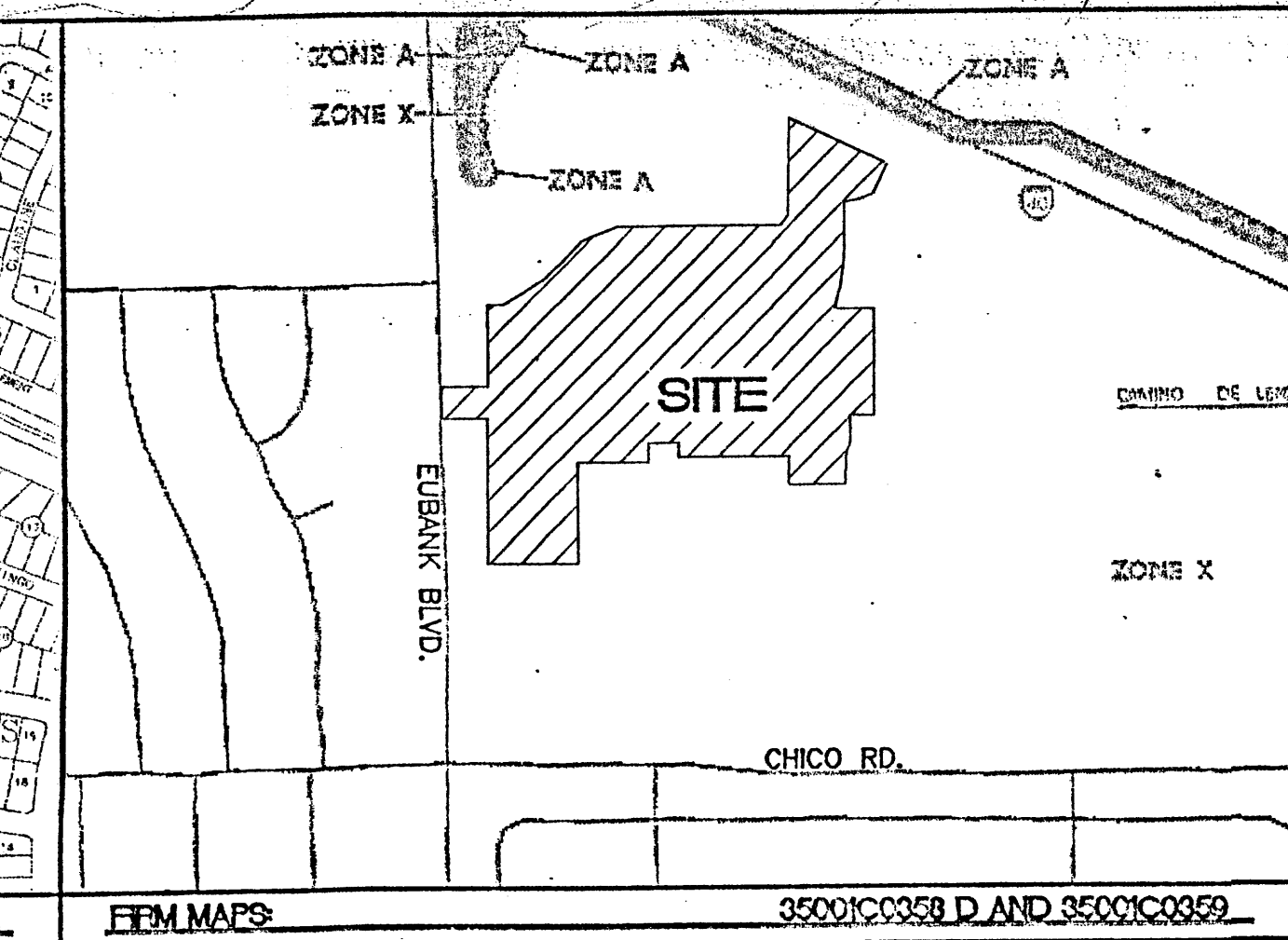
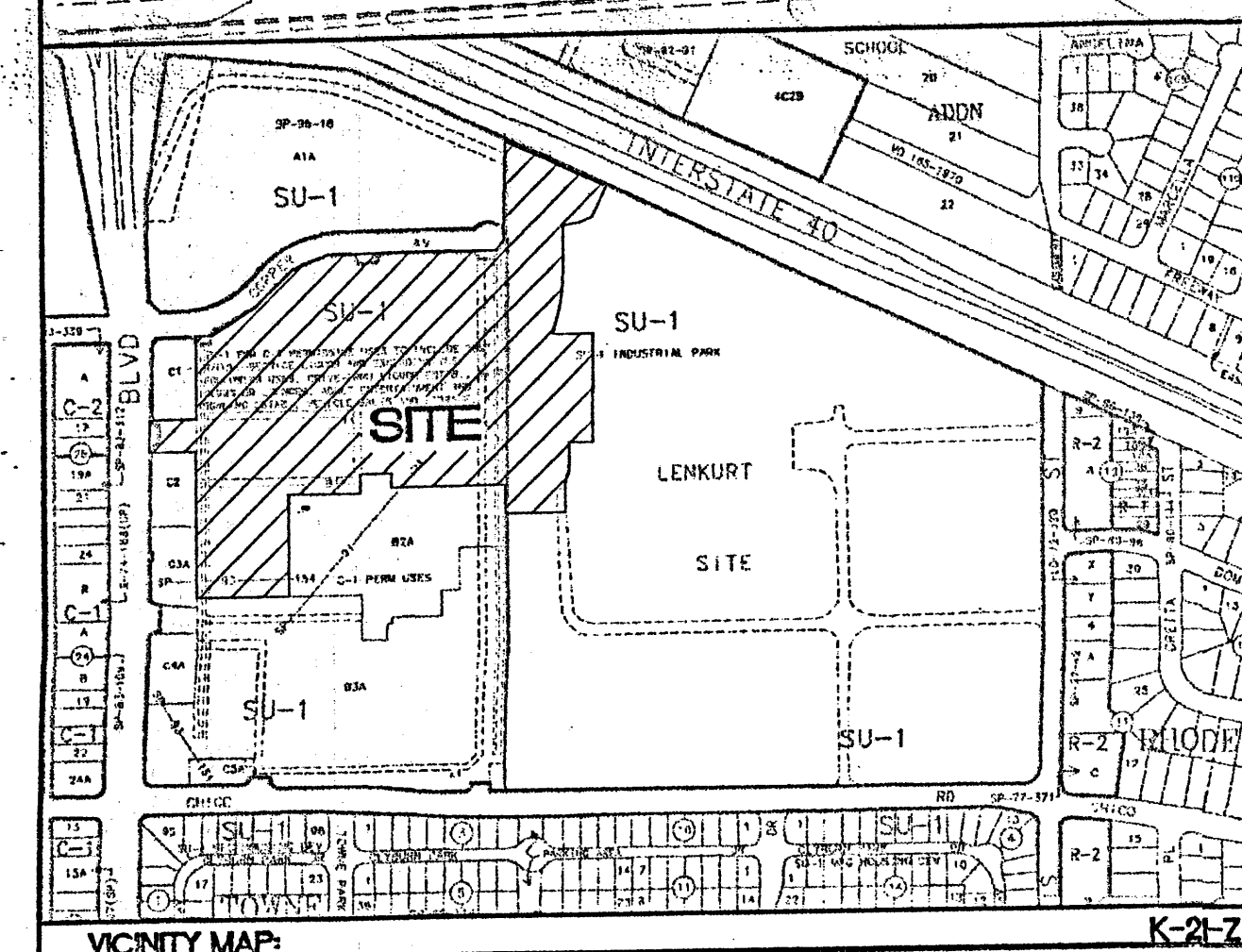
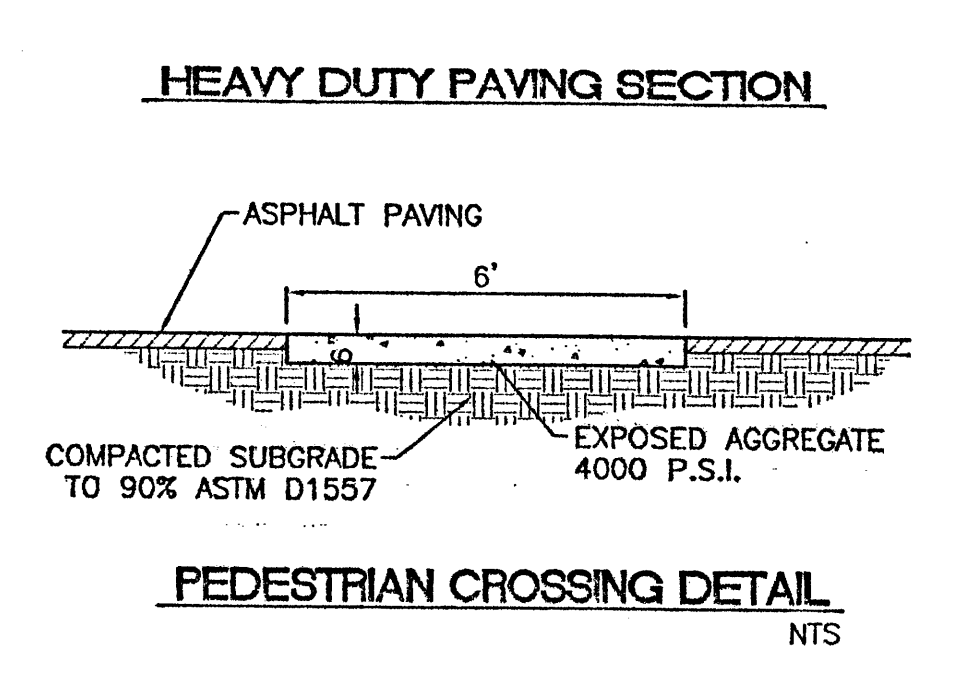
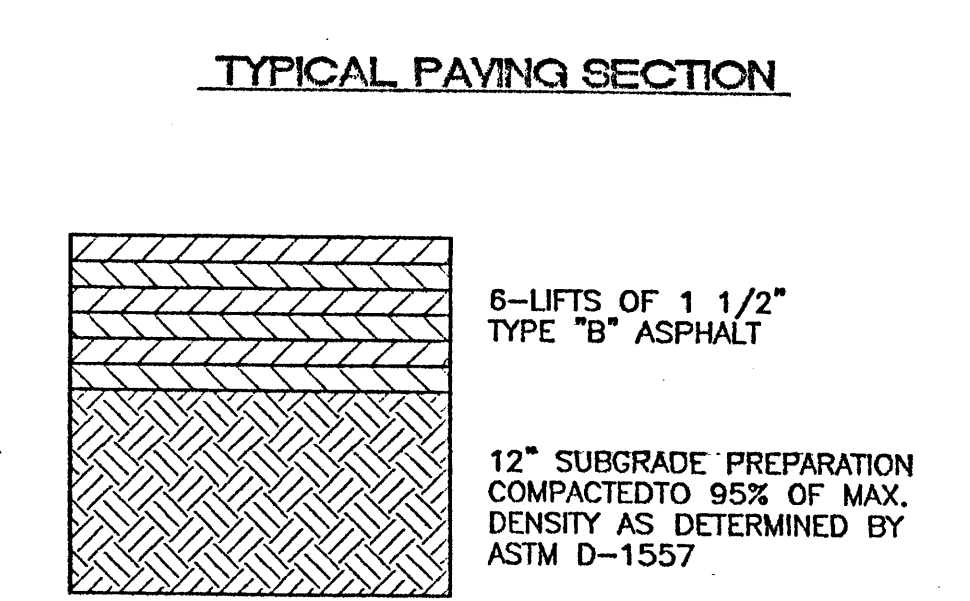
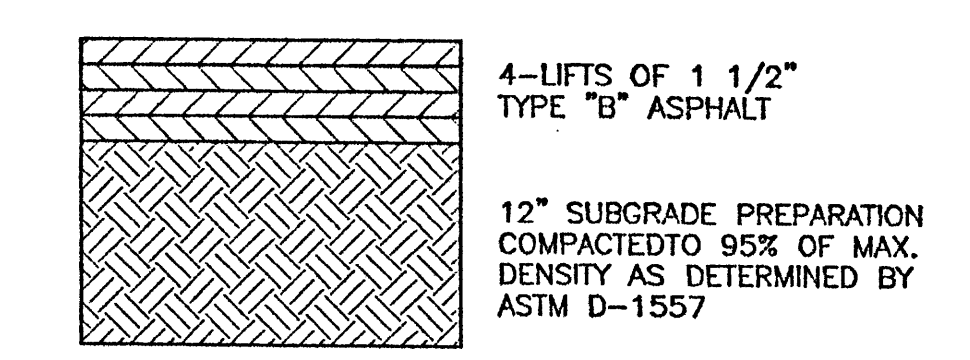


NO.	DATE	REMARKS	BY
REVISIONS			
LANDSCAPE ARCHITECT'S SEAL		ALBUQUERQUE WAL-MART EXPANSION: 835-02	DRAWN BY JDN
LANDSCAPING PLAN		DATE 04-10-01	
		9929WLP1.DWG	
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100		SHEET # 4	
JAMES DEFLO #0007		JOB # 990029W	



LEGEND

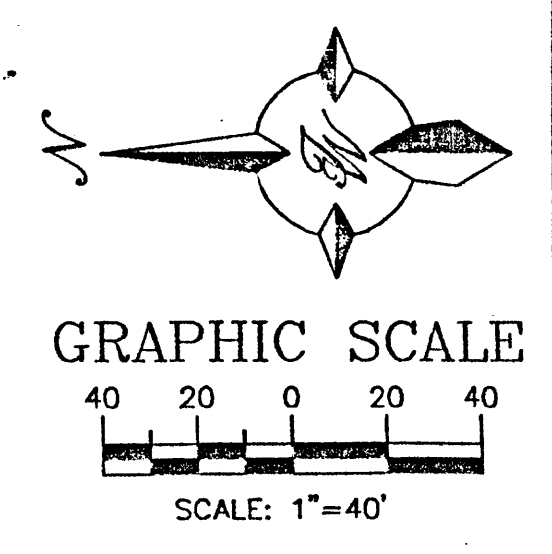
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SING. "C" INLET
	PROPOSED STORM SEWER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	FUTURE SIDEWALK
	PROPOSED PERIMETER WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FUTURE SPOT ELEVATION
	MATCH LINE



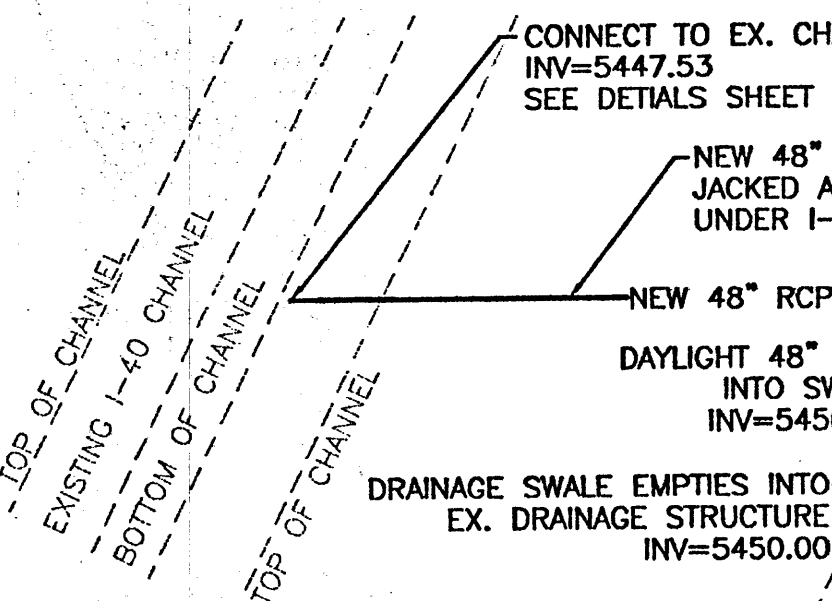
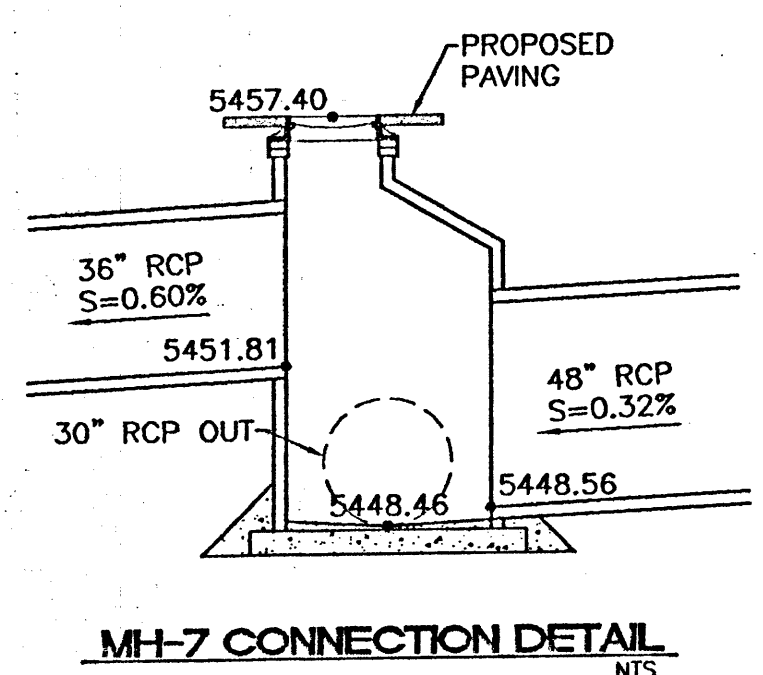
- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

- NOTES:**
- ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
 - ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
 - ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
 - ALL VALLEY GUTTERS TO BE BUILT PER COA STD DWG #2420.
 - SEE SHEET 7 FOR RCP INLET DETAIL.

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



ROUGH GRADING APPROVAL		DATE
NO.	DATE	REMARKS
REVISIONS		
ENGINEER'S SEAL		DATE
		9929WGR1.DWG
		SHEET #
ALBUQUERQUE WAL-MART EXPANSION: 835-02 GRADING AND DRAINAGE PLAN SHEET "A"		DRAWN BY JDN DATE 06-08-01 9929WGR1.DWG SHEET # 5 JOB # 990029W
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 990029W



STORM SEWER PIPE TABLE

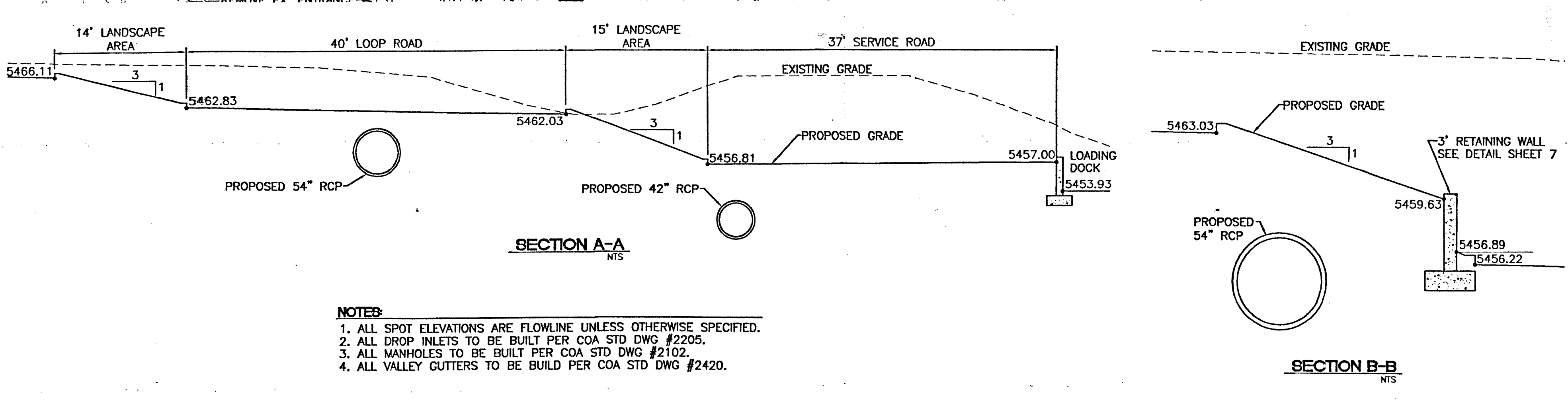
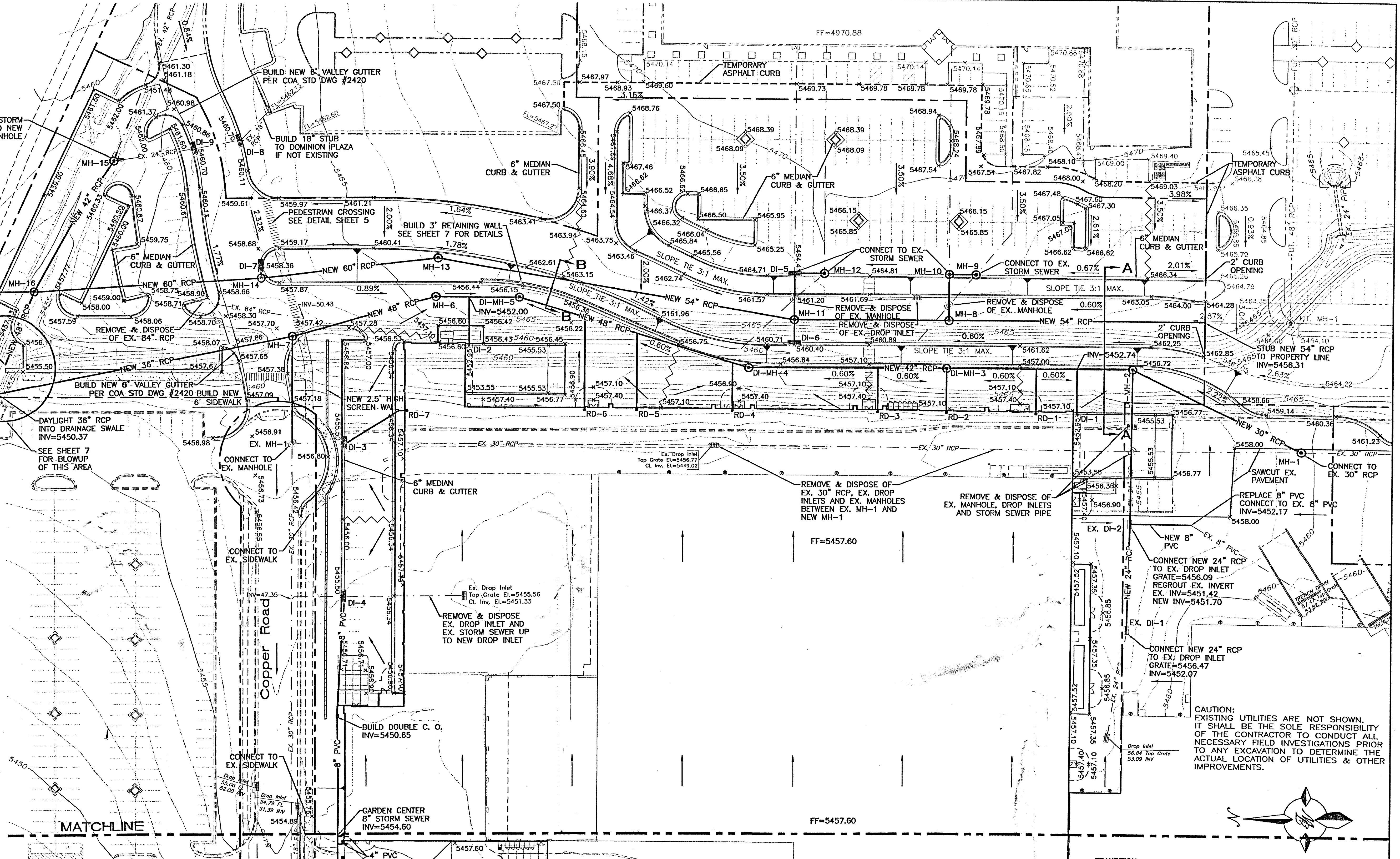
FROM	TO	SIZE	SLOPE
MH-1	DI-MH-2	30" RCP	0.47%
EX. DI-1	EX. DI-2	24" RCP	0.44%
EX. DI-2	DI-MH-2	24" RCP	0.44%
DI-1	DI-MH-2	8" PVC	0.60%
DI-MH-2	DI-MH-3	42" RCP	0.32%
DI-MH-3	DI-MH-4	42" RCP	0.32%
DI-MH-4	DI-MH-5	48" RCP	0.32%
DI-2	DI-5	8" PVC	2.48%
DI-MH-5	MH-6	48" RCP	0.32%
MH-6	MH-7	48" RCP	0.32%
MH-7	EX. MH-1	30" RCP	0.32%
DI-3	EX. MH-1	EX. 30" RCP	0.26%
DI-4	EX. MH-1	EX. 18" RCP	2.91%
FUT. MH-1	MH-8	54" RCP	0.58%
MH-9	MH-10	12" RCP	5.02%
MH-10	MH-8	12" RCP	17.10%
MH-8	MH-11	54" RCP	0.58%
MH-12	DI-5	8" PVC	8.42%
DI-5	MH-11	12" RCP	17.46%
DI-6	MH-11	24" RCP	4.90%
MH-11	MH-13	54" RCP	0.58%
MH-13	MH-14	60" RCP	0.58%
DI-7	MH-14	18" RCP	28.35%
MH-14	MH-16	60" RCP	0.58%
DI-8	DI-9	EX. 18" RCP	0.10%
DI-9	MH-15	EX. 24" RCP	0.53%
MH-15	MH-16	42" RCP	1.20%
MH-16	CHANNEL	48" RCP	0.58%
MH-16	SWALE	48" RCP	0.38%
MH-7	SWALE	36" RCP	0.60%

MANHOLE AND INLET TABLE

ITEM #	TYPE	RIM/GRATE	INV IN	INV OUT
EX. MH-1	EX. TYPE "E"	5457.75	5448.15	5448.05
MH-1	4" DIA. TYPE "E"	5459.70	5451.73	5451.63
DI-MH-2	RCP INLET*	5456.50	5451.15	5451.05
DI-MH-3	RCP INLET*	5456.72	5450.62	5450.52
DI-MH-4	6" RCP INLET*	5456.52	5450.06	5449.96
DI-MH-5	6" RCP INLET*	5455.95	5449.35	5449.25
MH-6	4" DIA. TYPE "E"	5456.73	5449.04	5448.94
MH-7	6" DIA. TYPE "E"	5457.40	5448.56	5448.46 (W)
SEE THIS SHEET FOR DETAIL				
FUT. MH-1	8" DIA. TYPE "E"	5464.50	5456.82	5456.72
MH-8	6" DIA. TYPE "E"	5461.62	5455.12	5455.02
MH-9	4" DIA. TYPE "E"	5465.50	5462.63	5462.53
MH-10	4" DIA. TYPE "E"	5465.36	5462.40 (E)	5461.36
			5461.46 (S)	
MH-11	6" DIA. TYPE "E"	5460.80	5454.30	5454.20
MH-12	4" DIA. TYPE "E"	5464.60	5462.60	5462.50
MH-13	6" DIA. TYPE "E"	5459.90	5452.53	5452.43
MH-14	6" DIA. TYPE "E"	5458.15	5451.61	5451.51
MH-15	8" DIA. TYPE "E"	5460.94	5452.00	5451.90
MH-16	12" DIA. TYPE "E"	5457.45	5450.45	5450.35
DI-1	DOCK DRAIN**	N/A	N/A	5452.95
DI-2	DOCK DRAIN**	N/A	N/A	5452.95
DI-3	SINGLE "C" INLET	5455.50	5451.50	5448.25
DI-4	SINGLE "C" INLET	5455.50	5448.60	5448.50
DI-5	SINGLE "C" INLET	5464.41	5462.35 (E)	5460.41
			5460.51 (S)	
DI-6	SINGLE "C" INLET	5459.28	N/A	5455.23
DI-7	SINGLE "C" INLET	5458.36	N/A	5454.36
DI-8	SINGLE "C" INLET	5460.70	5455.50	5455.40
DI-9	SINGLE "C" INLET	5460.70	5455.10	5455.00

ROOF DRAIN TABLE

ITEM #	TYPE	INV @ B.D.G.	INV @ RCP	SIZE	SLOPE
RD-1	ROOF DRAIN	5454.60	5453.30	10" PVC	3.76%
RD-2	ROOF DRAIN	5454.60	5453.00	10" PVC	4.67%
RD-3	ROOF DRAIN	5454.60	5452.84	10" PVC	5.18%
RD-4	ROOF DRAIN	5454.60	5452.42	10" PVC	5.85%
RD-5	ROOF DRAIN	5454.60	5452.16	10" PVC	4.08%
RD-6	ROOF DRAIN	5454.60	5452.00	10" PVC	3.60%
RD-7	ROOF DRAIN	5454.60	5451.50	10" PVC	5.69%



- NOTES**
1. ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
 2. ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
 3. ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
 4. ALL VALLEY GUTTERS TO BE BUILT PER COA STD DWG #2420.

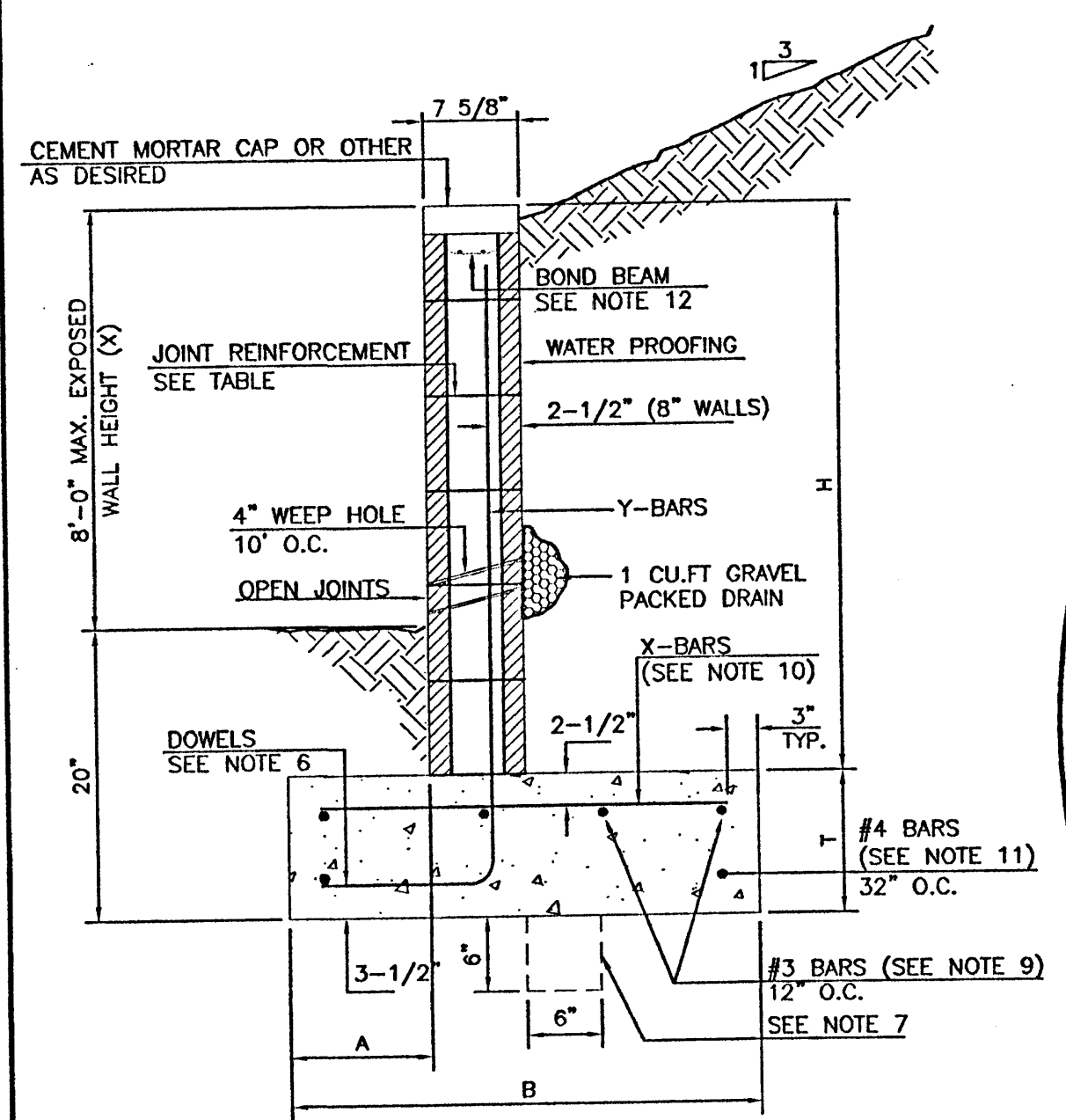
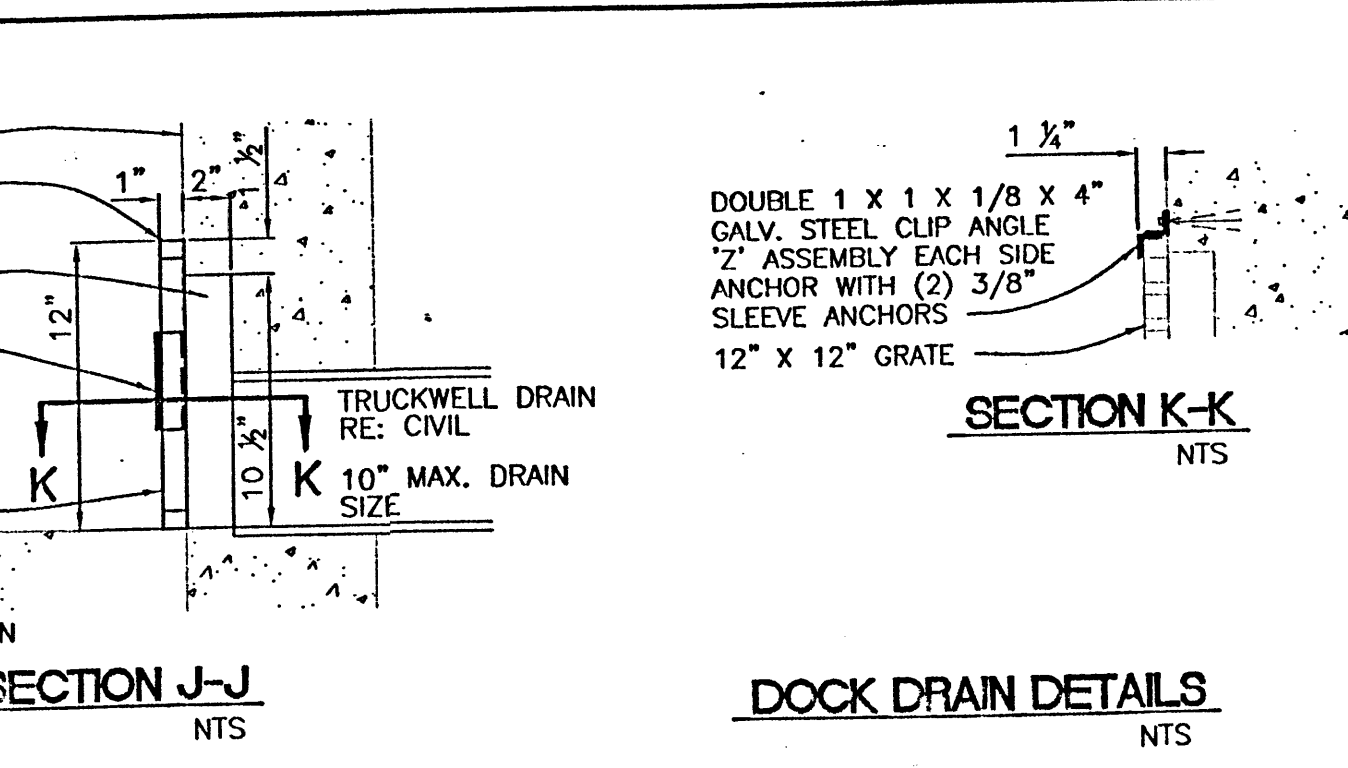
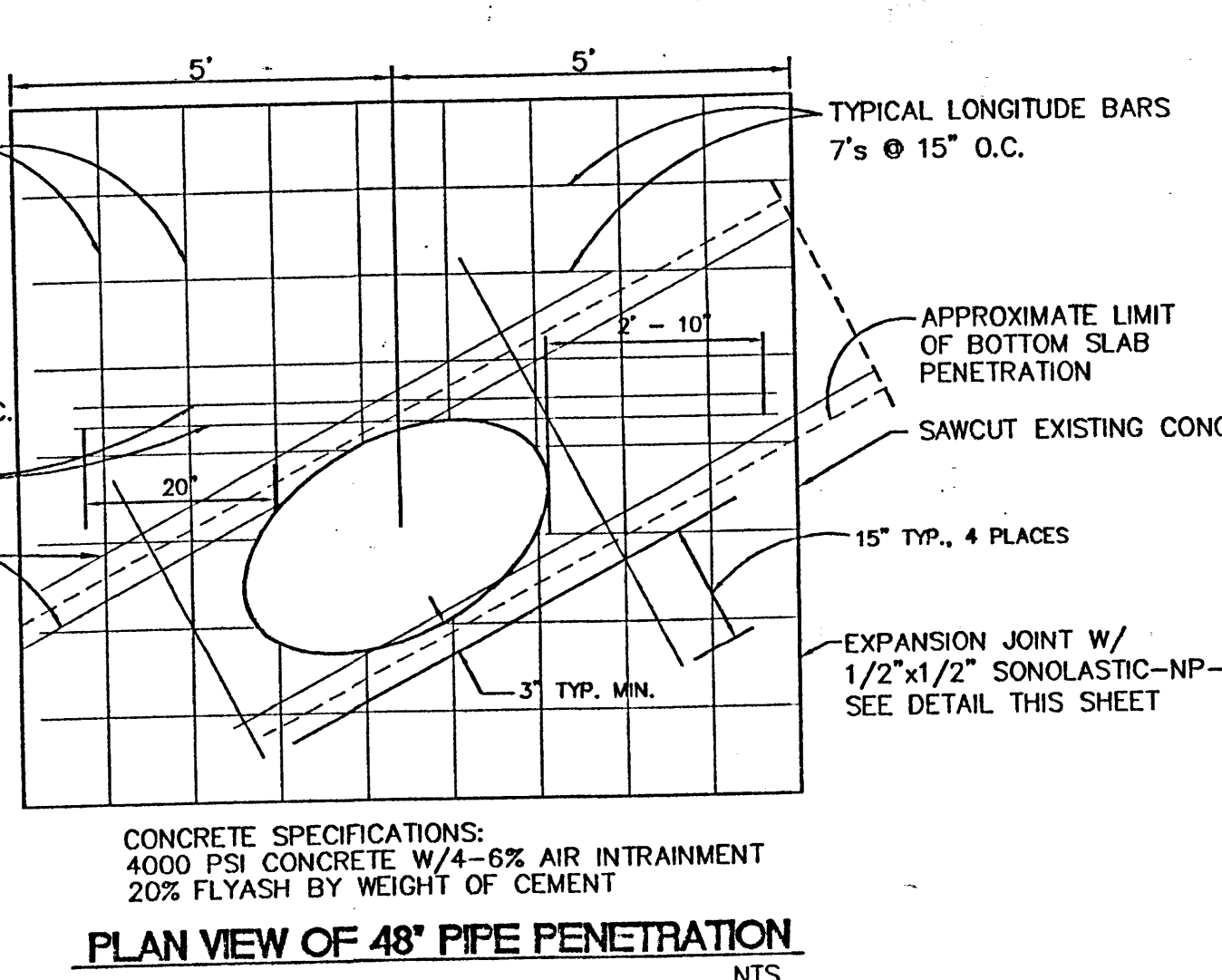
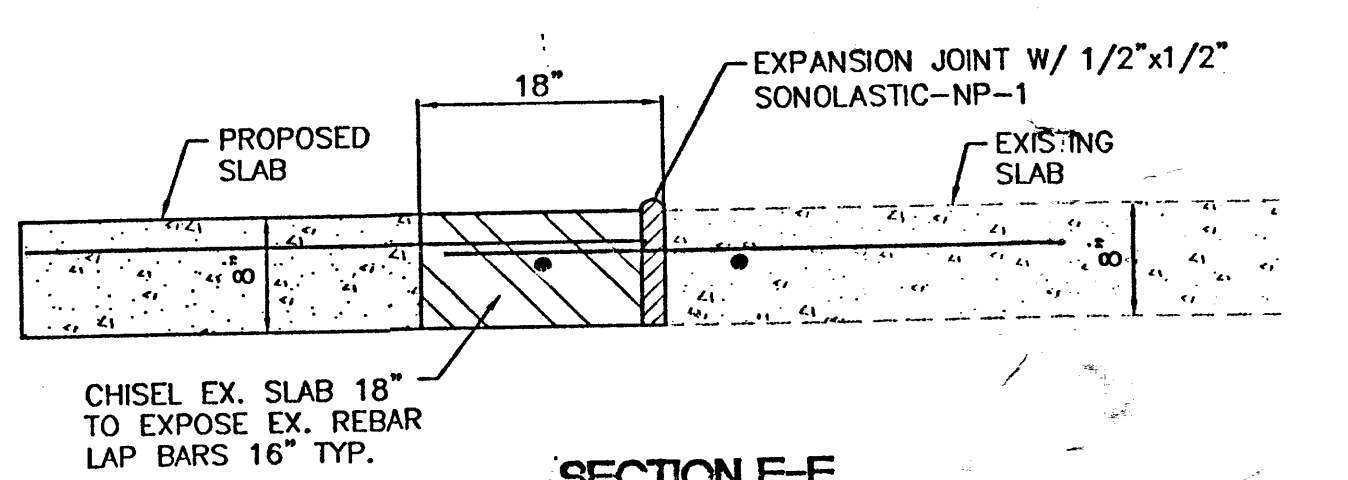
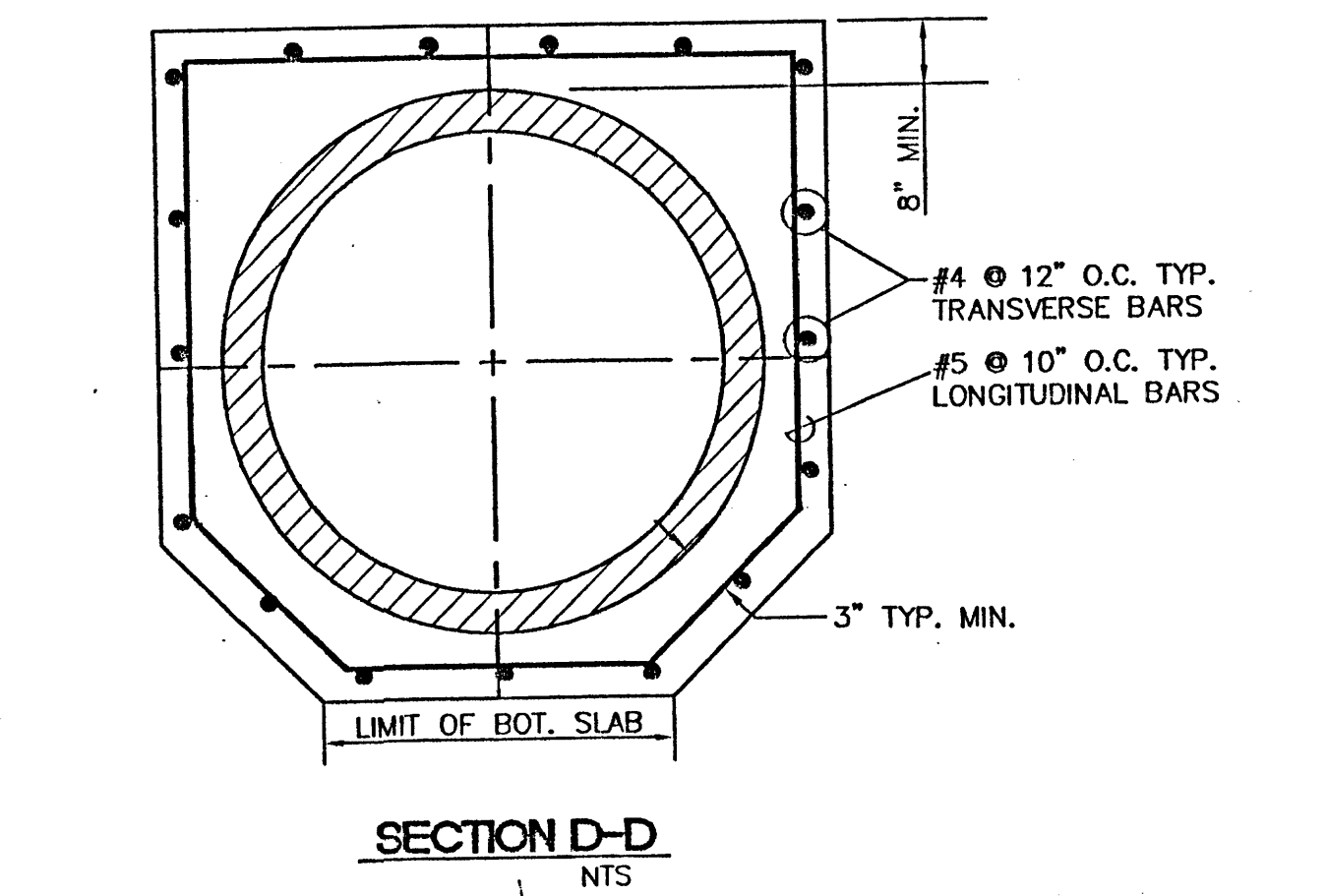
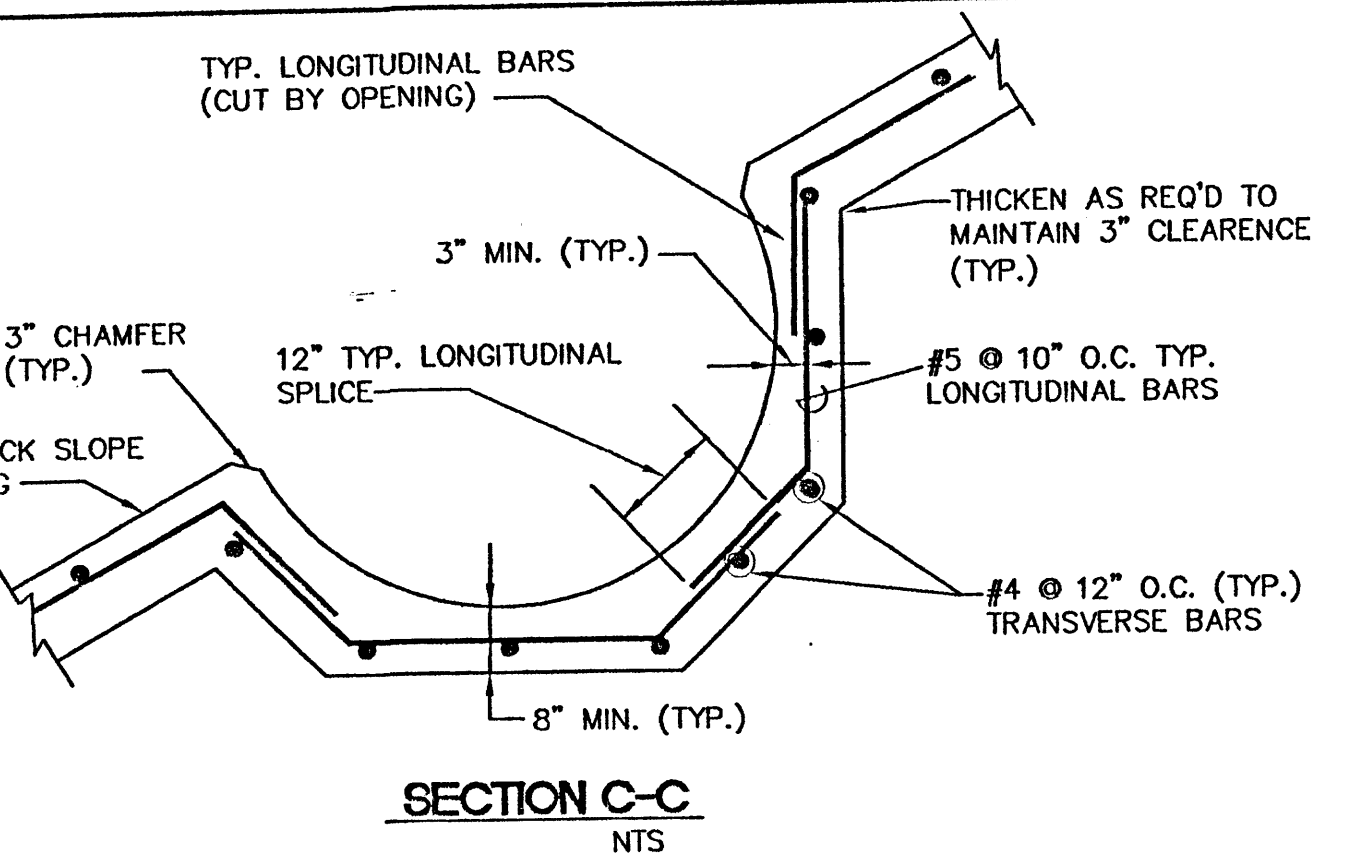
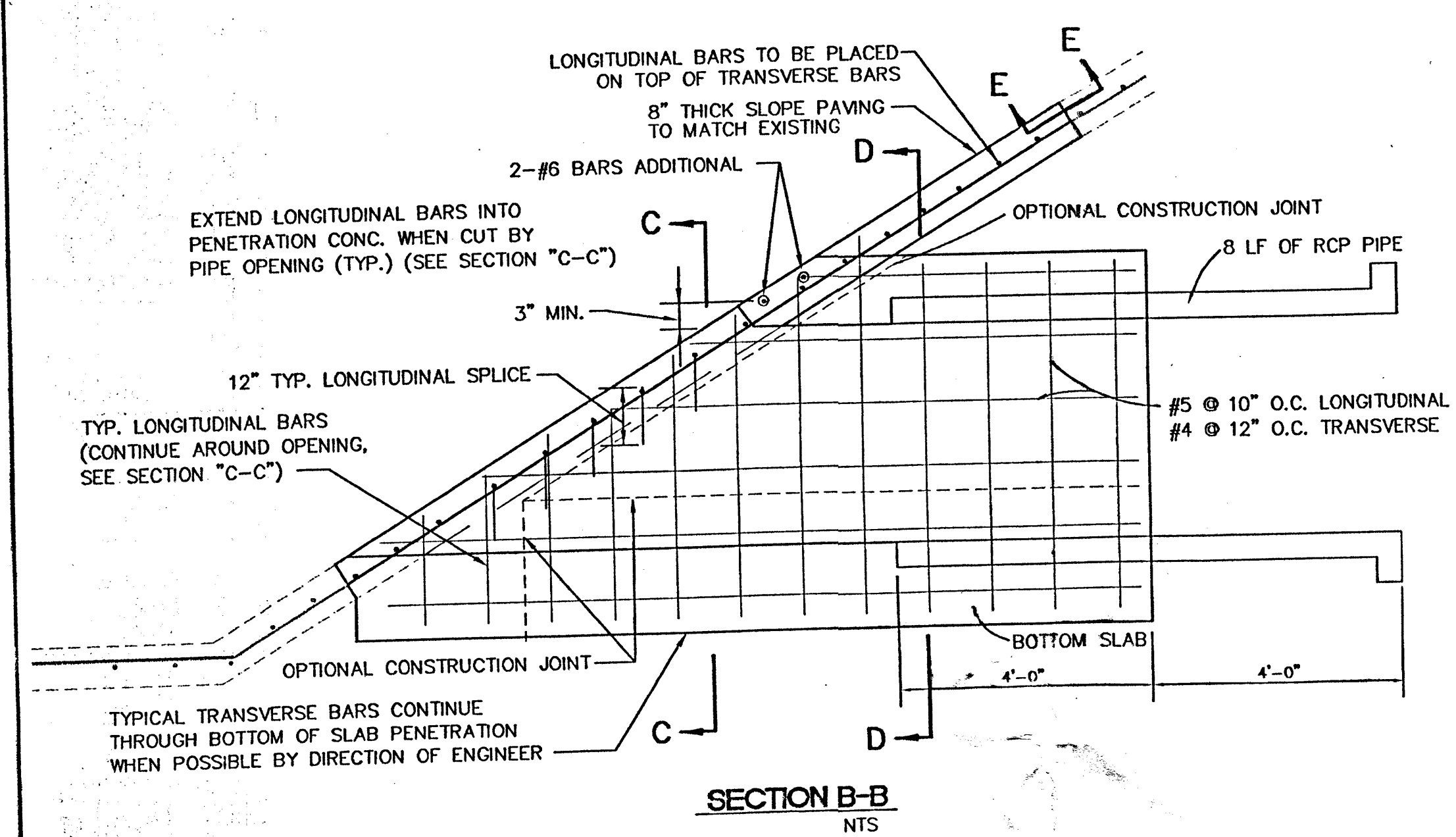
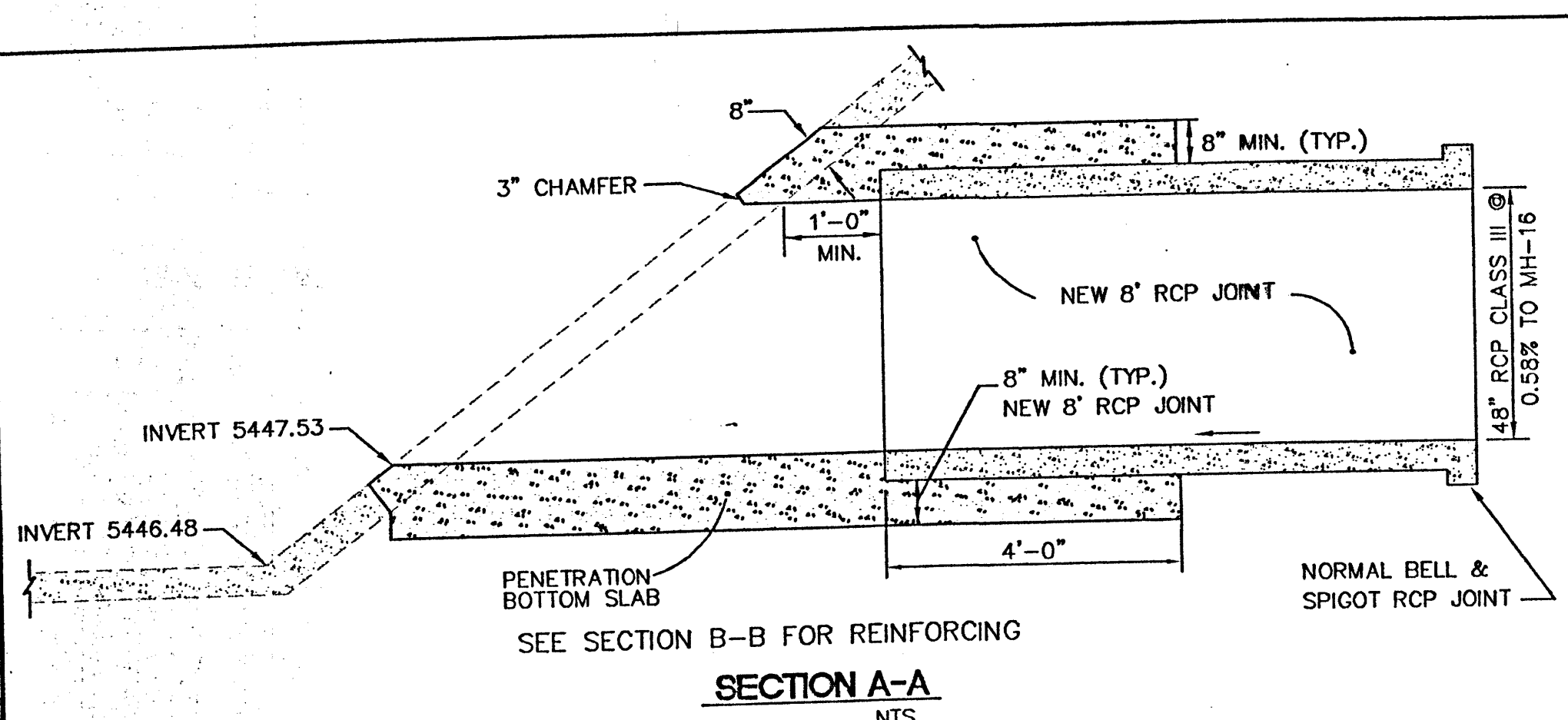
NO.	DATE	REMARKS	BY
REVISIONS			

ENGINEER'S SEAL: RONALD R. BOHANNAN, P.E. #7868

ALBUQUERQUE WAL-MART EXPANSION: 835-02 GRADING AND DRAINAGE PLAN SHEET "B"

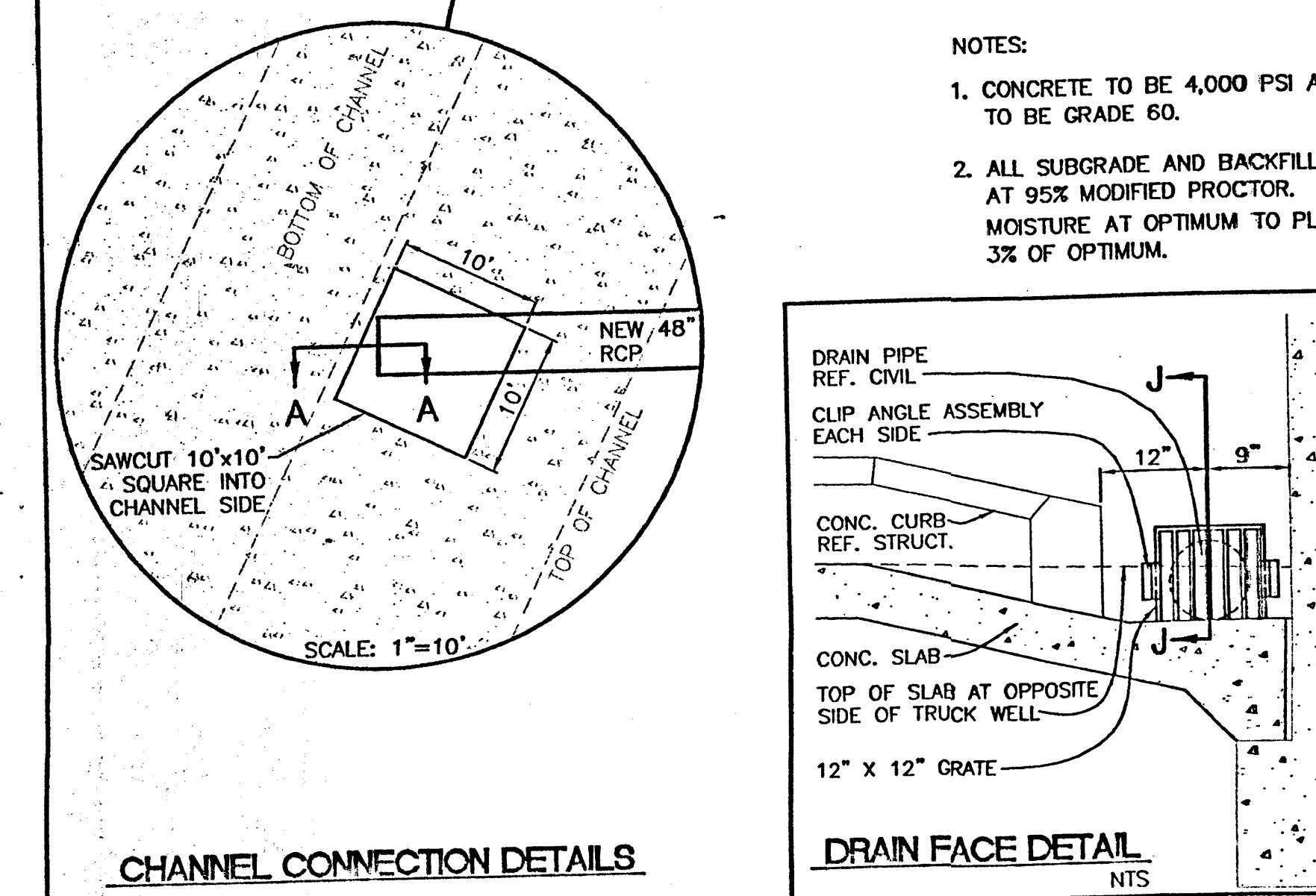
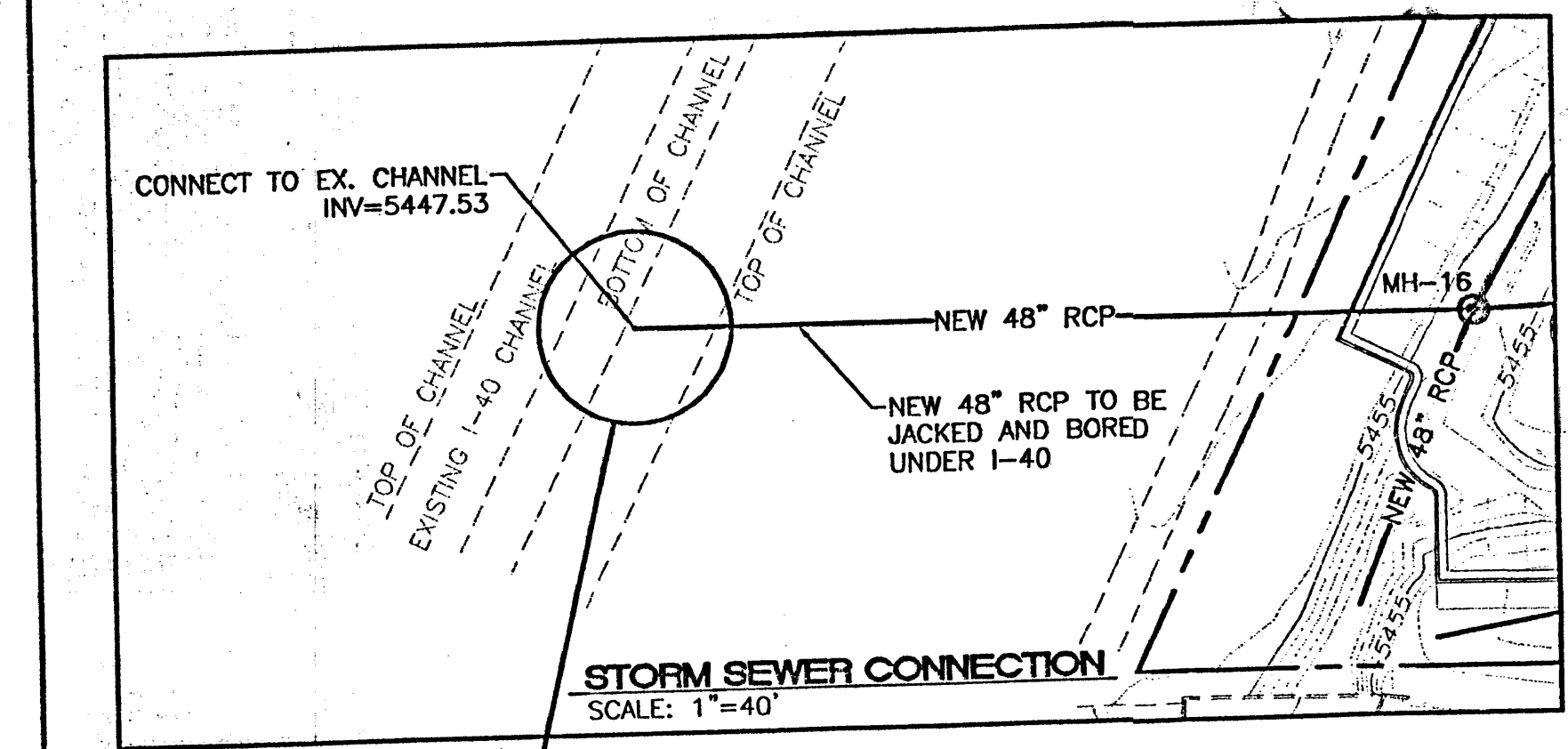
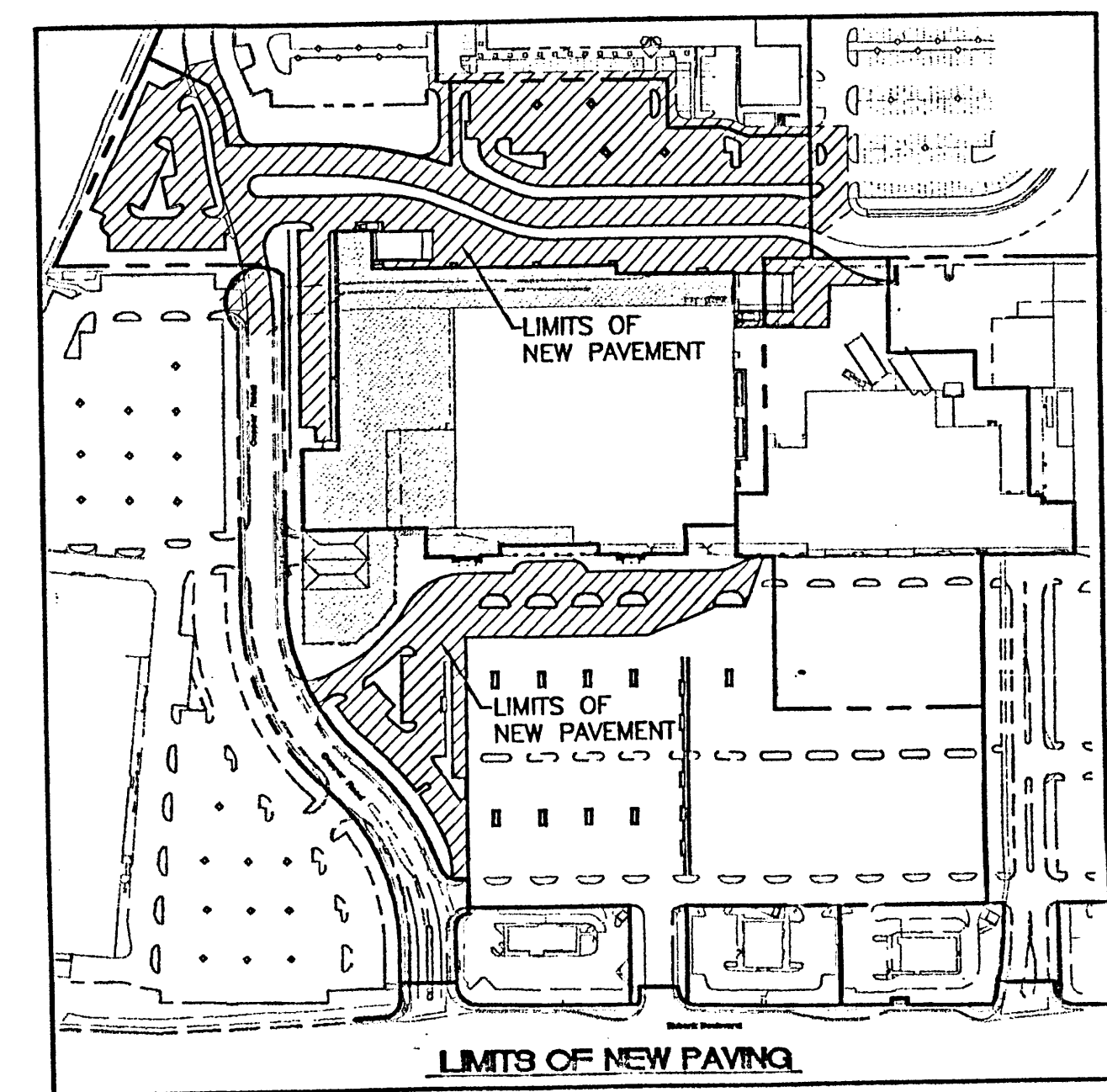
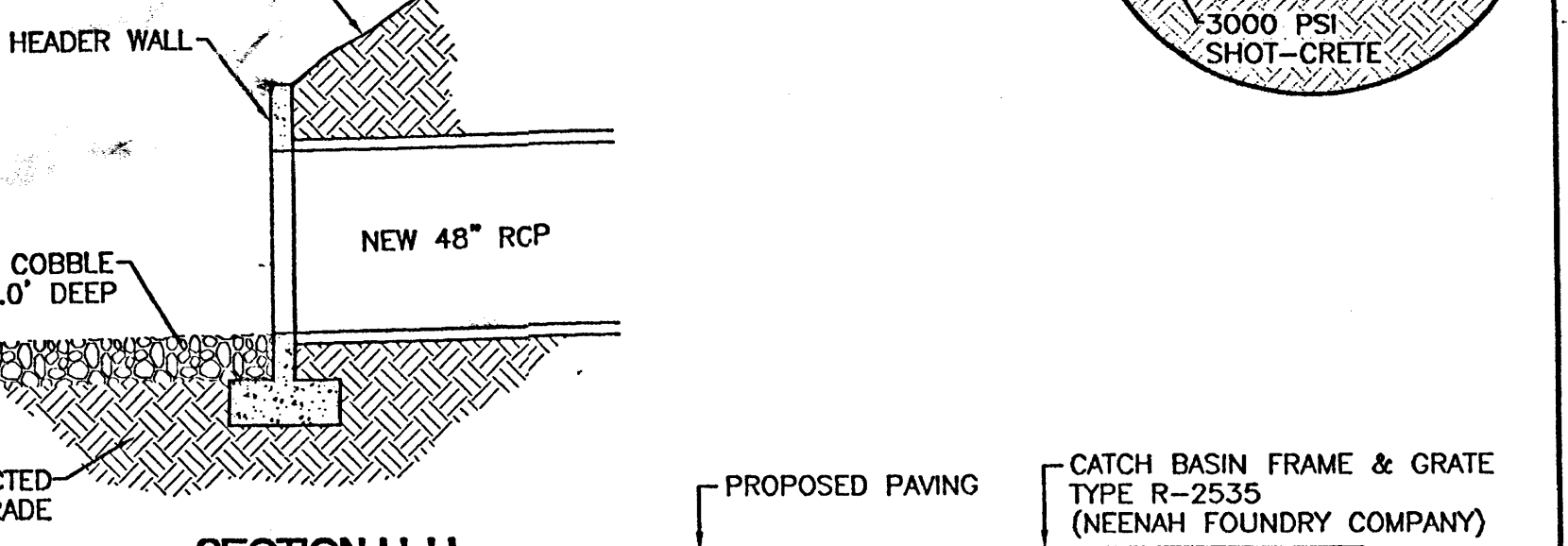
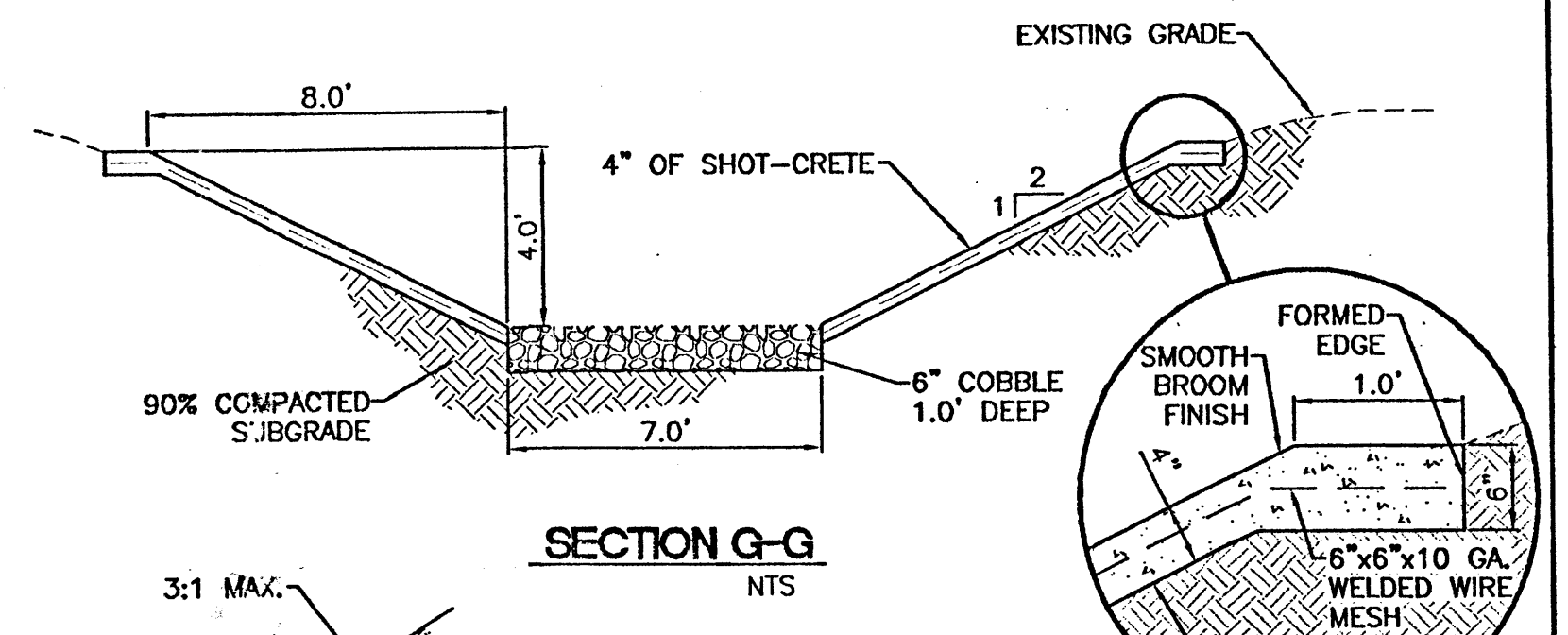
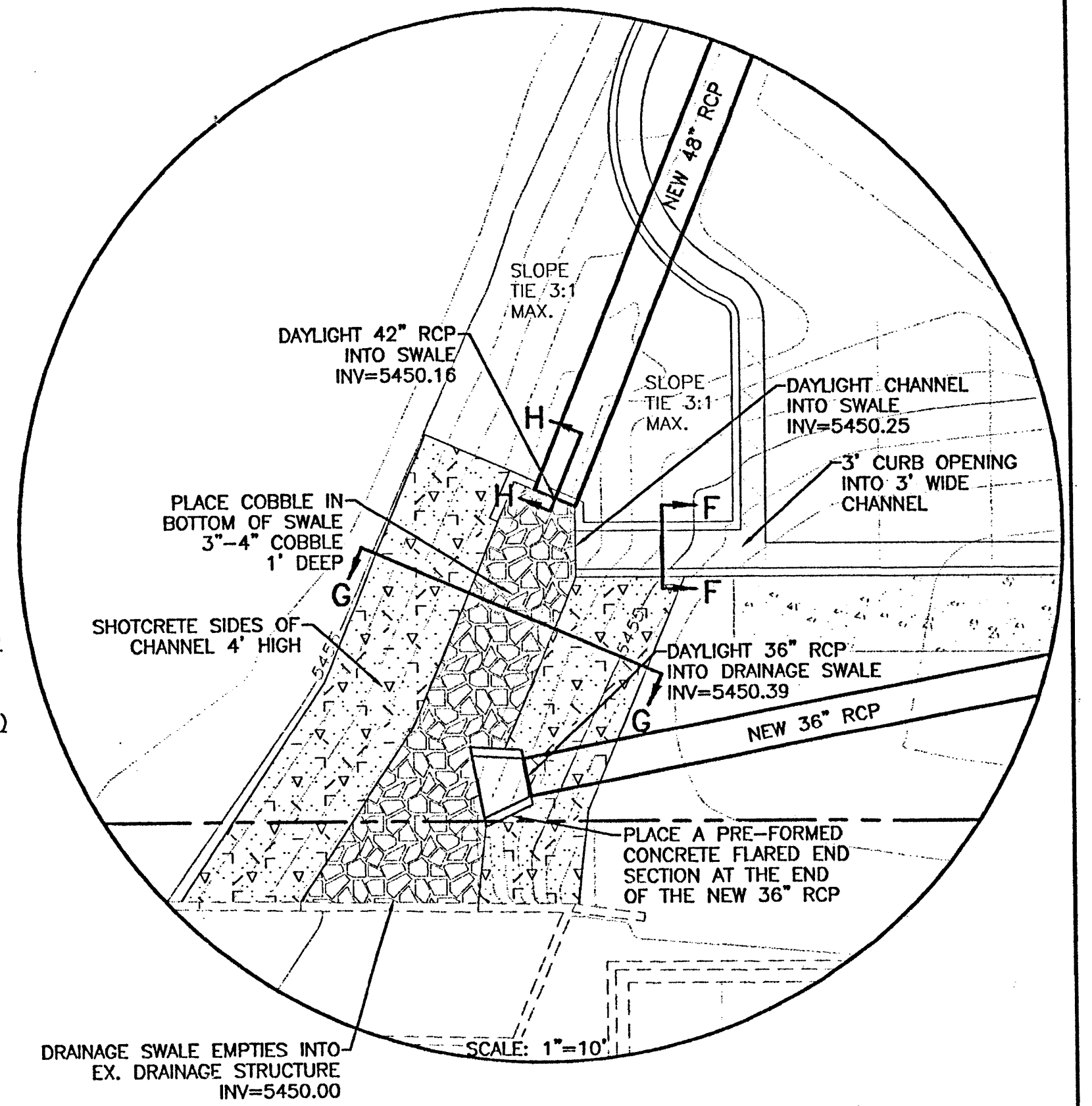
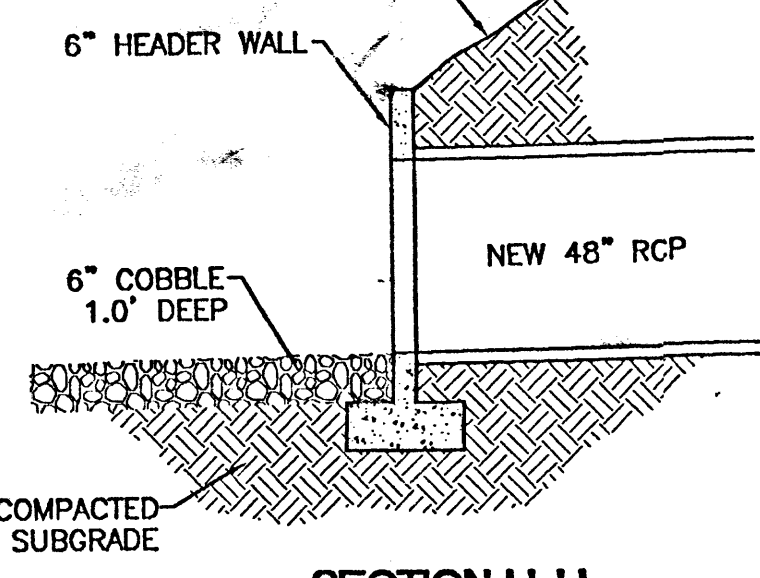
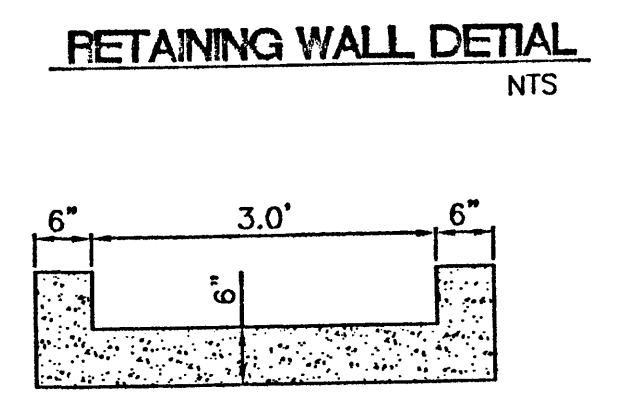
TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)958-3100

DRAWN BY: JDN
DATE: 06-08-01
9929WGR1.DWG
SHEET # 6
JOB # 990029W

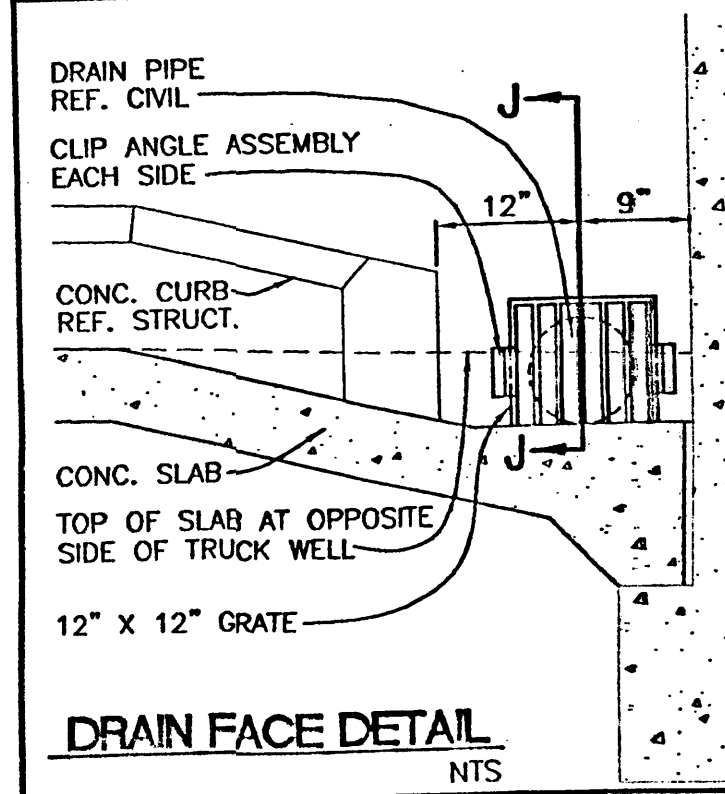


H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @ 32" O.C.	
2'-8"	1'-9"	8"	2'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @ 32" O.C.	#3 @ 27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
4'-8"	3'-10"	10"	2'-9"	10"	#5 @ 32" O.C.	#3 @ 27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @ 16" O.C.	#4 @ 30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @ 24" O.C.	#4 @ 25" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0" USE EITHER EXPANSION JOINTS ON 20" CENTERS OR PLASTERS EVERY 16".
 - #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
 - X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
 - #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



- NOTES:**
- CONCRETE TO BE 4,000 PSI AND STEEL TO BE GRADE 60.
 - ALL SUBGRADE AND BACKFILL PLACED AT 95% MODIFIED PROCTOR. MOISTURE AT OPTIMUM TO PLUS 3% OF OPTIMUM.



NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION: 835-02	DRAWN BY JDN
		DETAIL SHEET	DATE 04-26-01
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100			9929WDET.DWG
			SHEET # 7
			JOB # 990029W

Site Data for Building Purposes

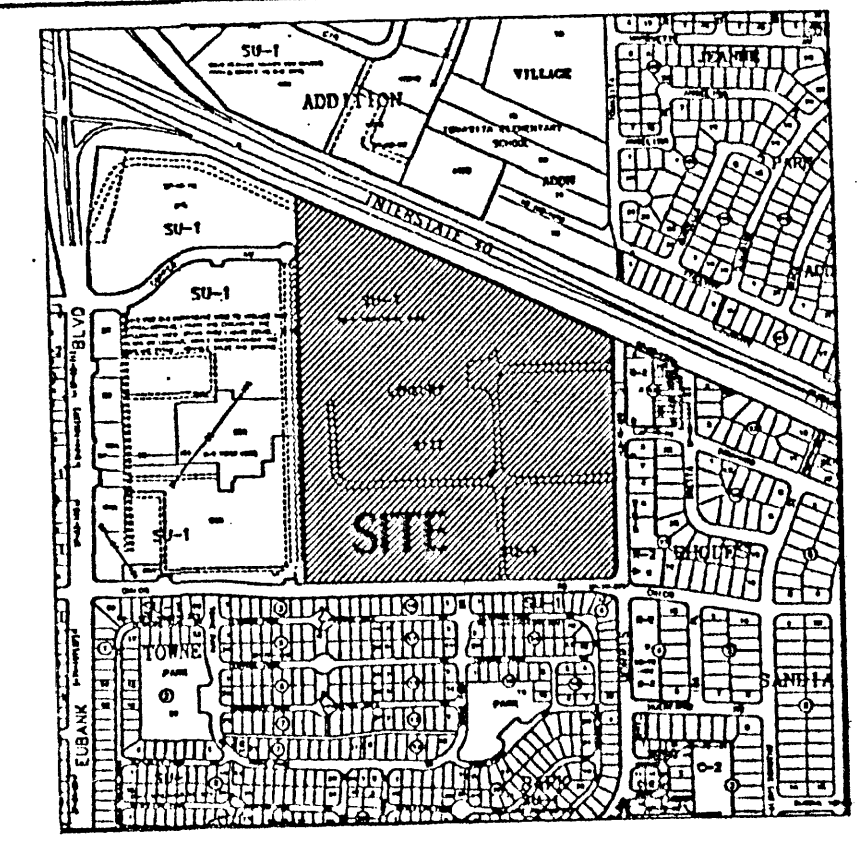
TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
HAZARD SURFACE AREA:	708,925 SF	75%
LANDSCAPED AREA:	138,389 SF	15%

LANDSCAPE AREA REQUIREMENTS	
NET LOT AREA:	(943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)
LANDSCAPE REQUIREMENT (15%):	127,108 SF
LANDSCAPE PROVIDED:	138,389 SF

PROPOSED USE:	AMUSEMENT; MOVIE THEATRE
BUILDING AREAS:	55,600 SF
SEATING AREAS:	17,200 SF
SUPPORT AREAS:	18,700 SF
CIRCULATION SPACE:	18,700 SF
TOTAL NET AREA:	91,500 SF
TOTAL GROSS AREA:	96,000 SF

PARKING SPACES:	1 PER 4.0 SEATS (450 SEATS) = 1213 SPACES
PARKING DESIRED:	1 PER 3.0 SEATS (450 SEATS) = 1500 SPACES
PARKING PROVIDED:	1 PER 3.3 SEATS (450 SEATS) = 1461 SPACES
H.C. PARKING REQUIRED:	25 SPACES
H.C. PARKING PROVIDED:	27 SPACES

BICYCLE PARKING:	1:20 REQUIRED FOR AUTOS = 75 SPACES
PARKING PROVIDED:	84 SPACES



Vicinity Map

Keyed Notes for Building Purposes

1. ASPHALT PAVING.
2. 6" CURB TREE PLANTER, TYP.
3. 6" WIDE CONCRETE SIDEWALK.
4. CONCRETE PAVING.
5. ENTRY.
6. EARTHSTONE REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 3.
7. LIGHT POLE, TYP, REFER TO ELEVATION 2, SHEET 7.
8. NOT USED.
9. 35' CLEAR SIGN TRIANGLE, TYP.
10. PEDESTRIAN CROSSING, SCORED COLORED CONCRETE.
11. H.C. ACCESSIBLE RAMP, TYP.
12. LANDSCAPE AREA.
13. EDGE BACK PAVING FOR 42' EACH SIDE, REFER TO ELEVATION 3, SHEET 7.
14. 9'X20' TYPICAL STRIPED PARKING SPACE.
15. BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
16. PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
17. SERVICE/DELIVERY AREA.
18. TREE GRATES.
19. SPEED TABLES, TYP.
20. BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
21. 12" WIDE TREE-LINED PEDESTRIANWAY WITH PARKING AREA.
22. CONCRETE PARKING STOPS, TYPICAL.
23. MAX FINISH GRADE VIA COPPER AVENUE.

General Notes for Building Purposes

1. AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FEATURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
2. AREA LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINAIRE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINAIRE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

Legend

- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 18" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 18" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- BUILDING MOUNTED SITE LIGHTING, 18" CUT OFF, FORWARD THROW, 250W HPS FIXTURE @ 18" ABOVE GRADE.
- 12" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 18" CUT OFF, FORWARD THROW 150W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER:
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS AND RECREATION	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMFCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.	DATE
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLUZ (10700) 4/98	

Facility Re-utilization:
501 Morris
Albuquerque, New Mexico
7/28/98

Site Plan
REVISED 10/17/98
REVISED 9/22/98
REVISED 9/19/98
REVISED 1/25/99
REVISED 12/29/98
REVISED 9/2/98
REVISED 8/31/98

ENGINEER'S SEAL
501 MORRIS
ADMINISTRATIVE AMENDMENT
DRAWN BY JDN
DATE 09-19-00
AMENDSP1.DWG
SHEET # 13
JOB # 990029W

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868

Lot Summary

Lot No.	Acres	Use	Building Area	F.A.R.	Max. Bldg. Ht.	Min. Building Setbacks			
						North	South	East	West
1	12.98	OFFICE/MANUFACTURING	200,000	38	40'	75'	20'	20'	20'
2	0.87	RESTAURANT	8,000	18	20'	20'	20'	20'	20'
2A	2.47	RESTAURANT	12,000	11	26'	20'	20'	120'	20'
2B	1.37	RESTAURANT	6,000	10	26'	20'	20'	120'	20'
2C	1.67	RESTAURANT	6,000	108	26'	20'	20'	120'	20'
3	21.66	AMUSEMENT	96,000	10	72'	40'	120'	120'	20'
4	2.47	RESTAURANT	8,000	18	20'	20'	20'	20'	20'
5	4.37	RETAIL PARKING	NONE	N/A	N/A	75'	20'	20'	20'
5B	2.82	HOTEL/RESTAURANT	39,000	32	84'	75'	20'	20'	20'
Totals	48.09		365,000	37					

DRB Submittal for Case Z-98-114:
IP Master Plan/Site Plan for Subdivision

Legal Description

BEING A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDARY ON THE WEST BY TRACT A-1-A, TOWNE PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REFLECT OF TOWNE PARK PLAZA; ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40; ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept

THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

Land Utilization

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE OR CONDITIONAL USES UNDER THE ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A F.A.R. OF 0.19.

GENERAL NOTES

1. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
2. DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
3. LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
4. ALL H.C. RAMPS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
5. SHARED 6' WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PERMETER PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THIS SHEET.
6. RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE.
7. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
8. NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY TO THE NEIGHBORHOOD AND BE OF HIGHER ARCHITECTURAL QUALITY.
9. LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOEBOX FIXTURE.
10. THERE SHALL BE 35' CLEAR SIGN TRIANGLES AT ALL INTERSECTIONS.
11. PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
12. SIGNAGE SHALL BE PROMINENT TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
13. NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
14. AN 8' HIGH BEAM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
15. NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THIS PLAN SHALL BE ALLOWED ON CHICO OR MORRIS STREETS.
16. NO DRIVEWAYS SHALL BE ALLOWED.
17. ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5B, AND 2C SHALL HAVE LETTERS OF 3" HIGH MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 3 SHALL HAVE LETTERS OF 4" HIGH MAX.
18. THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
19. NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
20. UP LIGHTING OF SIGNAGE SHALL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS (CONDITIONS 3 & 11).
21. POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. (CONDITION 4)
22. OFF-PREMISE BUILDING SIGNAGE WILL NOT BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 8)
23. CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 8)
24. SIGN STORAGE SHALL BE PROVIDED AS FOLLOWS: PADS LESS THAN 10,000 SF 3" MAX PADS GREATER THAN 10,000 SF 4" MAX.
25. MAXIMUM LETTER SIZE ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: PADS LESS THAN 10,000 SF 3" MAX PADS GREATER THAN 10,000 SF 4" MAX.
26. BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 13)
27. THE PARKING ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MINIMUM AS THE MAXIMUM PER THE DESIGNATED USE. (CONDITION 13)
28. STREET TREES ALONG CHICO AND MORRIS SHALL BE SPECIALLY SELECTED TO MATCH THE EXISTING BUILDINGS. (CONDITION 14)
29. ALL HAZARD UNITS WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDINGS. (CONDITION 14)
30. ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PADS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE PAD WITH THE EXCEPTION OF LOT 2C. (CONDITION 10)
31. LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
32. CONNECTION TO THE EXISTING TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

Alternate Entry at Copper Ave.



Eubank Boulevard

Copper Avenue (60' R.O.W.)

Interstate 40 (250' R.O.W.)

Chico Street (60' R.O.W.)

Morris Street (60' R.O.W.)

SU-1

SU-1

SU-1

Lot A
4.37 Acres
Retail Parking

Lot 1
12.86 ± Acres
Office/Manufacturing
.30 F.A.R. max
Maximum Bldg. Ht. = 47'

Lot 2A
2.47 Acres
Restaurant
1.37 F.A.R. max
Maximum Bldg. Ht. = 26'

Lot 2B
1.37 Acres
Restaurant
1.0 F.A.R. max
Maximum Bldg. Ht. = 26'

Lot 2C
1.67 Acres
Restaurant
1.67 F.A.R. max
Maximum Bldg. Ht. = 26'

Lot 3
21.66 ± Acres
Movie Theater
.35 F.A.R. max; Maximum Bldg. Ht. = 72'

CONNECTION TO EXISTING TRAIL SYSTEM

LOCATION OF TRAIL ROAD ABOVE-GRADE EASEMENT

H.C. PARKING SPACES SHALL BE LOCATED NEXT TO BUILDING ENTRIES

EXISTING PEDESTRIAN CROSSING

EXISTING BIKE PATH

CONNECTION TO EXISTING TRAIL SYSTEM

NEW C.O.A. SIGN AT THE END OF MORRIS

6" WIDE MENDING SIDEWALK

PEDESTRIAN CROSSING - PAVING (BEFORE FROM ASPHALT)

8" HIGH LANDSCAPED BERM FOR PARKING LIGHT AND SOUND SCREENING

6" TREELINED SIDEWALK INTERNAL TO SITE AND ALONG PERMETER

20' BUILDING SETBACK, TYP.

100'X1000' P.M. ELECTRIC EASEMENT

40' NO-BUILD EASEMENT

100'X1000' P.M. ELECTRIC EASEMENT

EXISTING P.M. SUBSTATION

40'X70' P.M. ELECTRIC EASEMENT

EXISTING P.M. SUBSTATION

120' BUILDING SETBACK

40' LANDSCAPE EASEMENT

10' UTILITY EASEMENT

120' BUILDING SETBACK

40' LANDSCAPE EASEMENT

10' UTILITY EASEMENT

6" TREELINED SIDEWALK INTERNAL TO SITE AND ALONG PERMETER

20' BUILDING SETBACK, TYP.

100'X1000' P.M. ELECTRIC EASEMENT

40' NO-BUILD EASEMENT

100'X1000' P.M. ELECTRIC EASEMENT

EXISTING P.M. SUBSTATION

40'X70' P.M. ELECTRIC EASEMENT

EXISTING P.M. SUBSTATION

120' BUILDING SETBACK

40' LANDSCAPE EASEMENT

10' UTILITY EASEMENT

120' BUILDING SETBACK

40' LANDSCAPE EASEMENT

10' UTILITY EASEMENT

10' WIDE CONCRETE PEDESTRIAN PATH WITH SHADE TREES IN 30' PLANTERS AT 25' ON CENTER (TO BE INCLUDED IN LOT 1 DEVELOPMENT)

20' BUILDING SETBACK

100'X1000' P.M. ELECTRIC EASEMENT

40' NO-BUILD EASEMENT

100'X1000' P.M. ELECTRIC EASEMENT

EXISTING P.M. SUBSTATION

40'X70' P.M. ELECTRIC EASEMENT

EXISTING P.M. SUBSTATION

120' BUILDING SETBACK

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100'X1000' P.M. ELECTRIC EASEMENT

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100'X1000' P.M. ELECTRIC EASEMENT

EXISTING P.M. SUBSTATION

40'X70' P.M. ELECTRIC EASEMENT

EXISTING P.M. SUBSTATION

120' BUILDING SETBACK

40' LANDSCAPE EASEMENT

10' UTILITY EASEMENT

120' BUILDING SETBACK

Site Data for Building Purposes

TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
HARD SURFACE AREA:	778,295 SF	83%
LANDSCAPE AREA:	138,389 SF	15%

LANDSCAPE AREA REQUIREMENTS
 NET LOT AREA (943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)
 LANDSCAPE REQUIREMENT (15%): 127,108 SF
 LANDSCAPE PROVIDED: 138,389 SF

PROPOSED USE: AMUSEMENT, MOVIE THEATRE

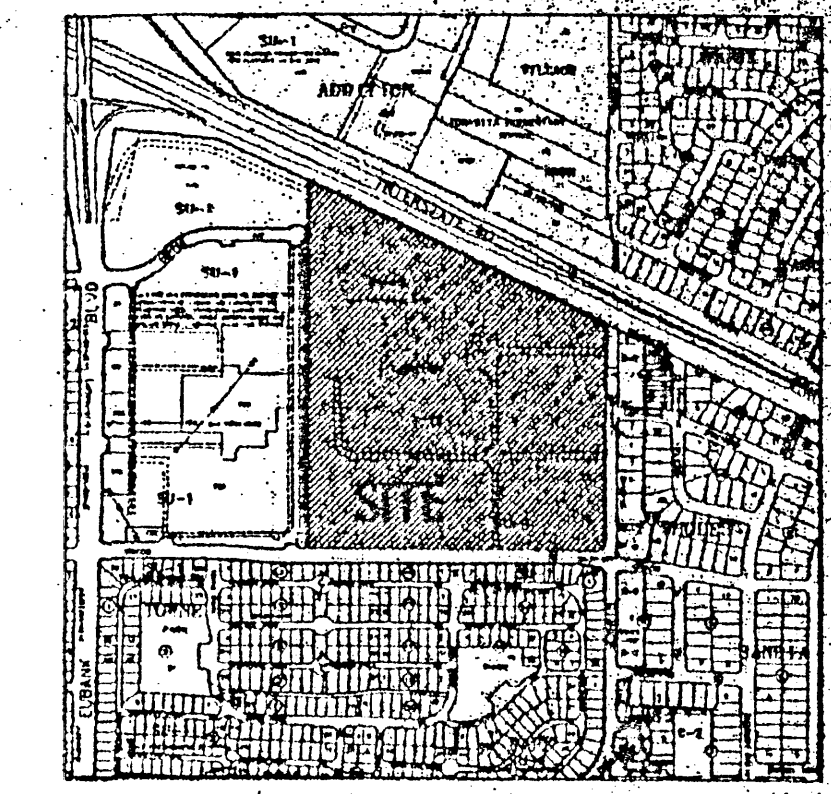
BUILDING AREAS:	55,600 SF
SEATING AREAS:	17,200 SF
SUPPORT AREAS:	18,700 SF
CIRCULATION SPACES:	18,700 SF

TOTAL NET AREA: 91,500 SF
 TOTAL GROSS AREA: 96,000 SF

PARKING SPACES:	1 PER 4.0 SEATS (4850 SEATS) = 1,213 SPACES
PARKING REQUIRED:	1 PER 3.0 SEATS (4850 SEATS) = 1,617 SPACES
PARKING PROVIDED:	1 PER 3.3 SEATS (4850 SEATS) = 1,467 SPACES

H.C. PARKING REQUIRED: 25 SPACES
 H.C. PARKING PROVIDED: 27 SPACES

BICYCLE PARKING
 PARKING REQUIRED: 1:20 REQUIRED FOR AUTOS = 75 SPACES
 PARKING PROVIDED: 84 SPACES



Vicinity Map
K-21-Z

Keyed Notes for Building Purposes

1. ASPHALT PAVING.
2. 6" CURB TREE PLANTER, TYP.
3. 6" WIDE CONCRETE SIDEWALK.
4. CONCRETE PAVING.
5. ENTRY.
6. EXISTING REFUSE ENCLOSURE TO MATCH BUILDING COLOR. REFER TO ELEVATION 1, SHEET.
7. LIGHT PYLE, TYP. REFER TO ELEVATION 2, SHEET 7.
8. NOT USED.
9. 15' CLEAR SIGN TRIANGLE, TYP.
10. PEDESTRIAN CROSSING, SOURED CALICED CONCRETE.
11. H.C. ACCESSIBLE RAMP, TYP.
12. LANDSCAPE AREA.
13. BICYCLE BACK PARKING FOR 12 EACH SIDE. REFER TO ELEVATION 3, SHEET 7.
14. 9"X10" TYPICAL STRIPPED PARKING SPACE.
15. BUILDING MOUNTED LIGHTING. REFER TO LEGEND, THIS SHEET.
16. PEDESTRIAN SCALED LIGHTING. REFER TO LEGEND, THIS SHEET.
17. SERVICE/DELIVERY AREA.
18. TREE SPACES.
19. SPEED TABLES, TYP.
20. BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
21. 12" WIDE TREATED WOODEN WALKWAY WITHIN PARKING AREA.
22. CONCRETE PARKING STOPS, TYPICAL.
23. WAY FINDING SIGNAGE VIA COPPER AVENUE.

General Notes for Building Purposes

1. AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE, TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
2. AREA LIGHTING SHALL NOT HAVE AN OFF-SHORE LUMINAIRE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINAIRE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL PERFORMED UTILITY INFORMATION.

Legend

- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FUTURE. REFER TO ELEVATION 3, SHEET 7.
- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FUTURE. REFER TO ELEVATION 3, SHEET 7.
- BUILDING MOUNTED SITE LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HPS FUTURE @ 18" ARCADE SPACED.
- 12" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 14" CUT OFF, FORWARD THROW 150W HPS FUTURE. REFER TO ELEVATION 1, SHEET 1.

CASE NUMBER: Z-98-114
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE FINDINGS AND CONDITIONS IN THE ORIGINAL NOTICE OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
DESIGN AND DEVELOPMENT, CIVIL	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / MAPS	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	DATE
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE

FOR REFERENCE ONLY

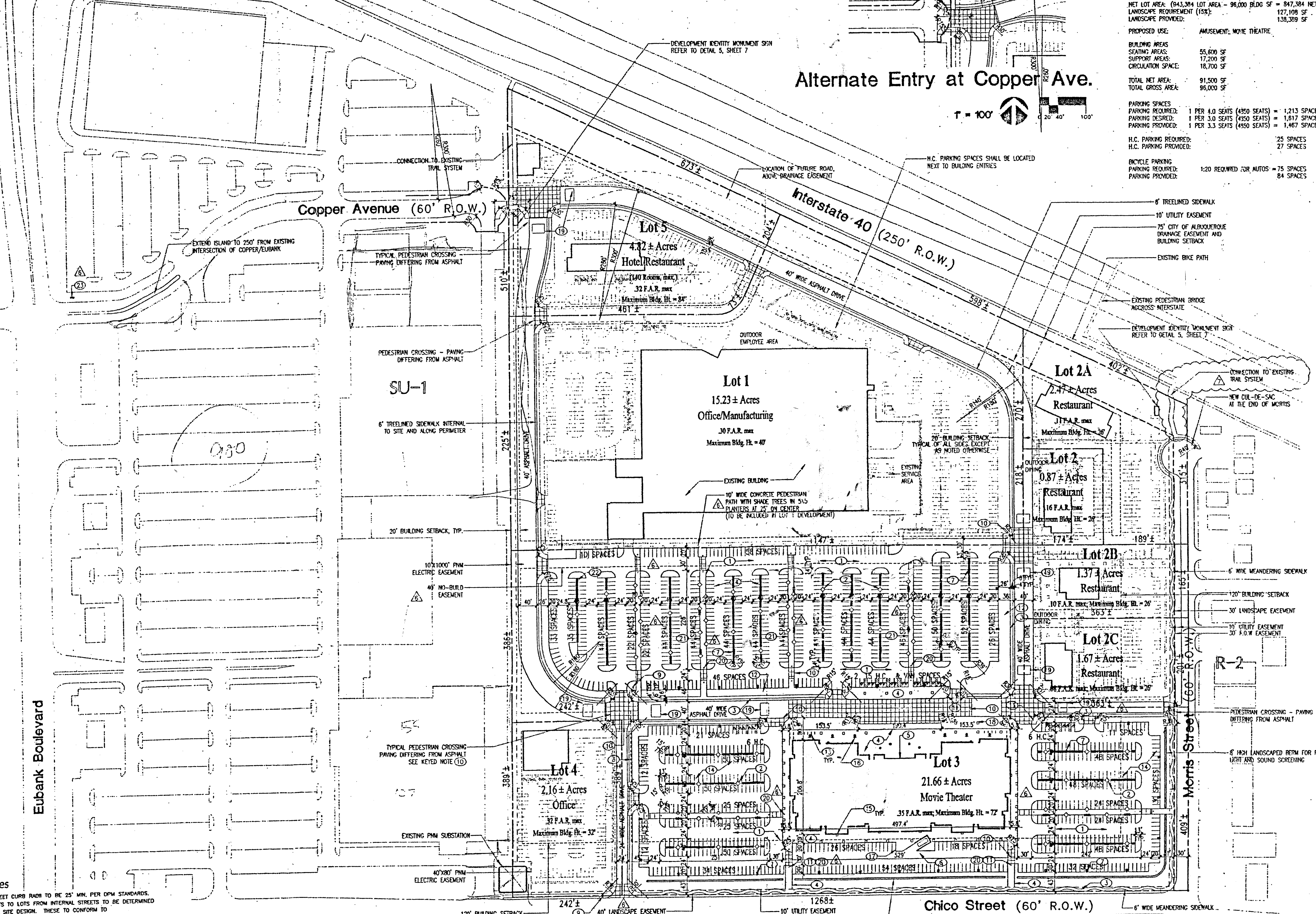
Facility Re-utilization:
501 Morris
 Albuquerque, New Mexico

7/28/98
 REVISION 10/7/98
 REVISION 9/22/98
 REVISION 9/16/98
 REVISION 1/25/99
 REVISION 9/2/98
 REVISION 12/29/98
 REVISION 8/31/98

ISAACSON & ARPFMAN, P.A.
 Consulting Engineering Associates
 128 Morris Street N.E.
 Albuquerque, New Mexico

Dekker/Perich/Sabatini
 architect • interior • planning • graphic design
 8801 Jefferson N.E., Suite 100 Albuquerque, NM 98112
 505 761-9700
 505 761-4222

Alternate Entry at Copper Ave.



- General Notes**
1. ALL INTERNAL STREET CURB RAIN TO BE 25" MIN. PER DPM STANDARDS.
 2. DURING INDIVIDUAL SITE DESIGN, THESE TO CONFORM TO DPM STANDARDS.
 3. LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
 4. ALL H.C. RAMPS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
 5. 6" WIDE SPECIAL PAVED, PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PERMETER PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT AS INDICATED ON THE PLAN, THIS SHEET.
 6. RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE.
 7. REFER TO THE PLAN, THIS SHEET, FOR CONSTRUCTION LOCATIONS AND TYPES.
 8. NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL REFLECT ARCHITECTURALLY, LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SIGNAGE FIXTURE.
 9. THERE SHALL BE 30' CLEAR SIGN TRIANGLES AT ALL INTERSECTIONS.
 10. PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
 11. SIGNAGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
 12. SIGNAGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
 13. SIGNAGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
 14. AN 8' HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
 15. NO BROWNSHIPS OR RESTAURANTS WILL BE ALLOWED.
 16. NO BROWNSHIPS OR RESTAURANTS WILL BE ALLOWED.
 17. ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE SET FOLLOWS: NO SIGNAGE FINING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5B, AND 2C SHALL HAVE LETTERS OF 3" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4" HIGH, MAX. THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 2A, 2B, 2C, 4, AND 5.
 18. THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 2A, 2B, 2C, 4, AND 5.
 19. NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
 20. THE LOCATION OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
 21. POLY MOUNTED SIGNAGE WILL NOT BE ALLOWED. (CONDITION 4)
 22. CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 8)
 23. SIGNAGE SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET (WITHIN EACH ESTABLISHMENT). (CONDITION 9)
 24. SIGNAGE SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET (WITHIN EACH ESTABLISHMENT). (CONDITION 9)
 25. MAXIMUM LETTER SIZE ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: PADS LESS THAN 10,000 SF - MAX 3" HIGH; GREATER THAN 10,000 SF - MAX 4" HIGH.
 26. BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 13)
 27. THE PARKING ALLOWED ON THIS SITE SHALL BE LIMITED TO THE MINIMUM AS DESCRIBED IN THE ZONING CODE. (CONDITION 13)
 28. STREET TREES ALONG CHICO AND 1/2" RADIUS SHALL BE STAGNORANS, 3 1/2" CALIPER, JUN. (CONDITION 14)
 29. ALL LAND UNITS WILL BE SECURED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT INCLUDING THE EXISTING BUILDING. (CONDITION 14)
 30. ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE BLDGS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE BLDGS. (CONDITION 15)
 31. THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID RAMP.
 32. CONNECTION TO THE EXISTING TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT CURB AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHEAST CORNER JUST INSIDE THE WEST PROPERTY LINE.

Legal Description

BEING A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWNIE PARK PLAZA AND BY TRACTS B-1-A, B-2-A AND B-3-A, REPLAT OF TOWNIE PARK PLAZA, ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40, ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept

THE PLAN FOR THE 504 ACRES SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

Land Utilization

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE ON THE LOTS UNDER THE ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A F.M. OF 0.19.

Lot Summary

Lot No.	Acres	Use	Building SF	F.A.R.	F.L.R.	Min. Ht.	Minimum Building Setbacks			
							North	South	East	West
1	15.23	OFFICE/MANUFACTURING	200,000	.30	40'	25'	20'	20'	20'	20'
2	0.87	RESTAURANT	6,000	.16	28'	20'	20'	20'	20'	20'
2A	2.47	RESTAURANT	12,000	.11	28'	20'	20'	120'	20'	20'
2B	1.37	RESTAURANT	6,000	.10	28'	20'	20'	120'	20'	20'
2C	1.67	RESTAURANT	6,000	.08	28'	20'	20'	120'	20'	20'
3	21.66	AMUSEMENT	96,000	.10	72'	40'	120'	120'	20'	20'
4	2.16	OFFICE	30,000	.52	32'	20'	120'	20'	20'	20'
5	4.82	HOTEL/RESTAURANT	68,000	.32	84'	75'	20'	20'	20'	20'
Totals	50.28		424,000	.19						

F.A.R. = FLOOR AREA RATIO
 NOTE: BUILDING SQUARE FOOTAGES MAY BE HIGHER, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN MITIGATION FOR SHADY EFFECTS.

Contents:

- Sheet 1. Site Development Plan for Subdivision
- Sheet 3. Landscaping Plan
- Sheet 4. Conceptual Grading and Drainage Plan
- Sheet 6. Master Utility Plan
- Sheet 8. Design Guidelines

**DRB Submittal for Case Z-98-114:
 IP Master Plan/Site Plan for Subdivision**

400 EUBANK SE