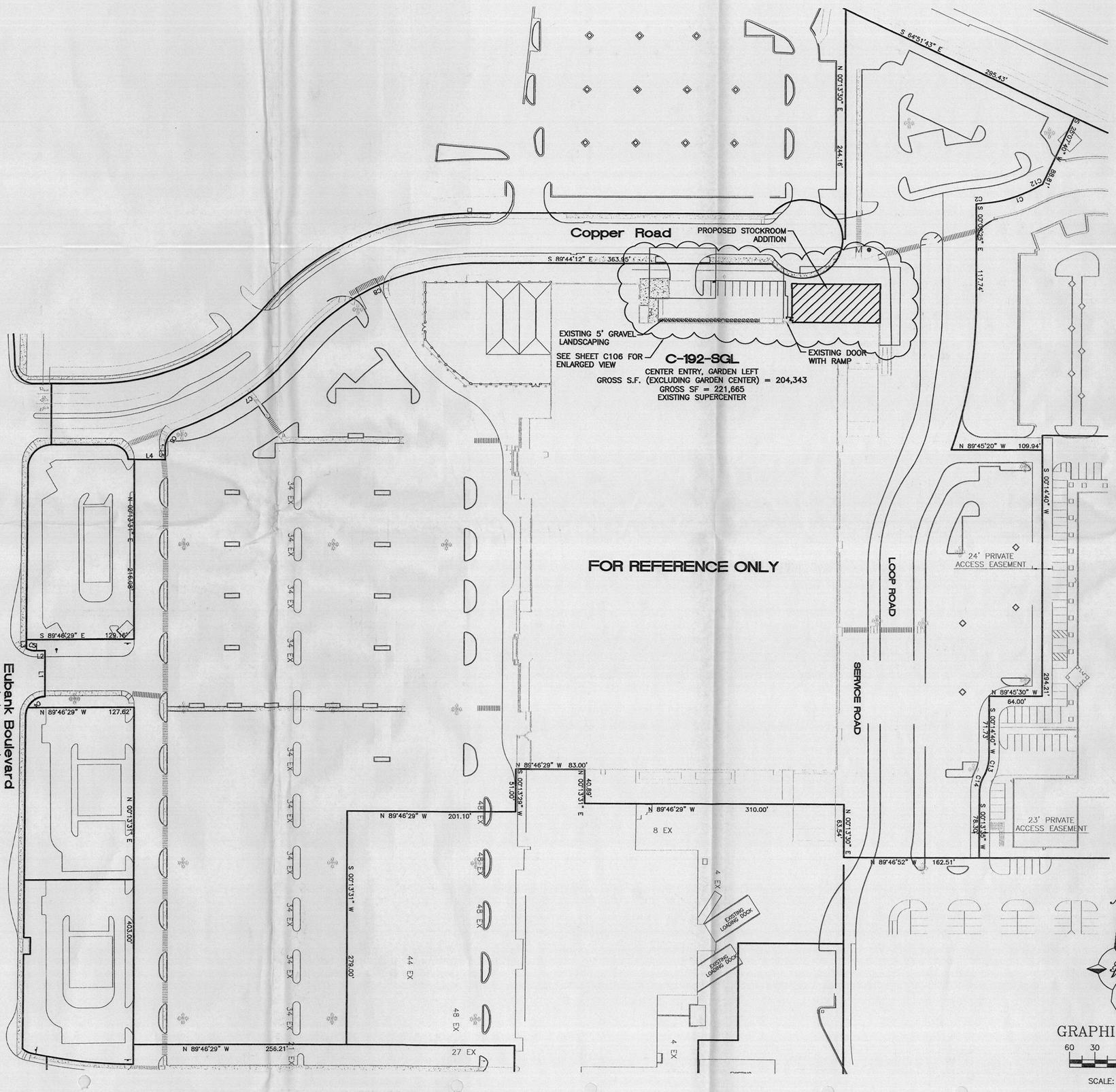
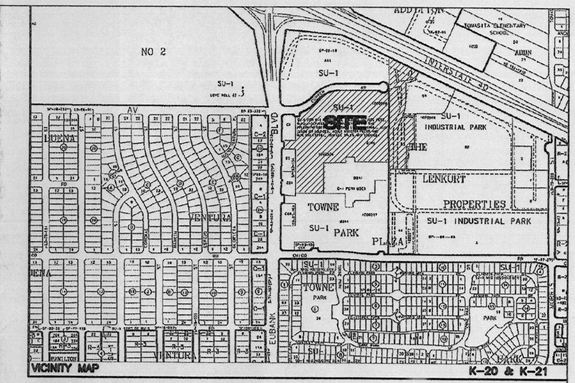




VICINITY MAP

LEGAL DESCRIPTION:
TRACT B-1A-1 AND B-2A-1 TOWNE PARK PLAZA

1000508

ADMINISTRATIVE AMENDMENT
File # 05-00325 Project # 1000508
Stockroom Addition
Bob Parker 4/29/05
APPROVED BY DATE

LEGEND

○	EXISTING SAS MANHOLE
EX. 8" SAS	EXISTING SANITARY SEWER LINE
	EXISTING FIRE HYDRANT
EX. 16" WL	EXISTING WATER LINE
◎	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
EX. 24" RCP	EXISTING STORM SEWER LINE
x x x x x	EXISTING FENCE
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING PERIMETER WALL
	EXISTING RETAINING WALL
5011	EXISTING CONTOUR
5010	EXISTING INDEX CONTOUR
• 5048.25	EXISTING SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY

ENGINEER'S SEAL
RONALD RAY BOHANNAN NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 7868
3/31/05

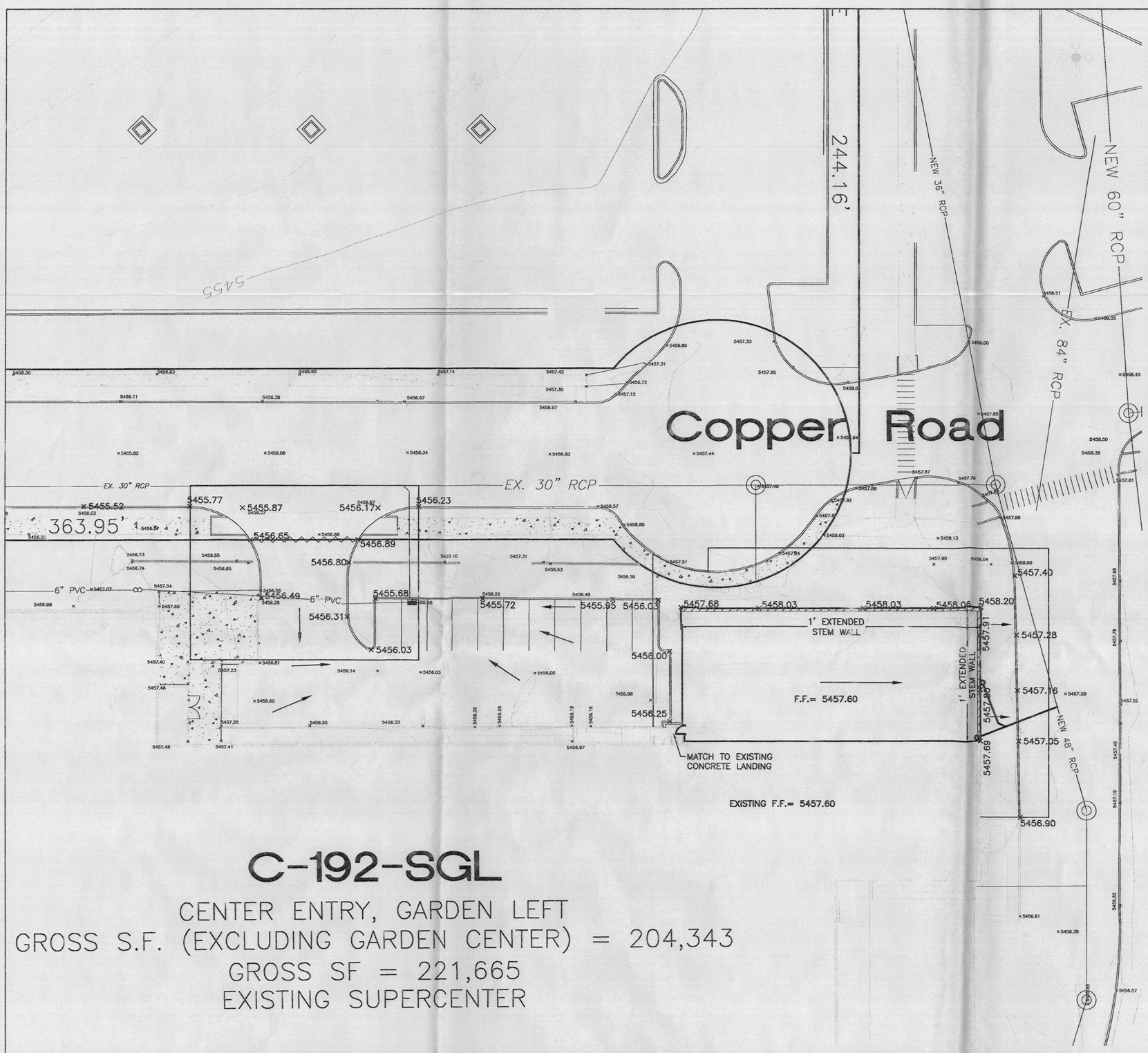
RONALD R. BOHANNAN
P.E. #7868

WAL-MART #835 STOCKROOM ADDITION

OVERALL SITE PLAN

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY EMT
DATE 03-30-05
2492-OVSPB-12-18-04
SHEET # C-105
JOB # 24092



C-192-SGL

CENTER ENTRY, GARDEN LEFT
GROSS S.F. (EXCLUDING GARDEN CENTER) = 204,343
GROSS SF = 221,665
EXISTING SUPERCENTER

FOUNDATION SUBSURFACE PREPARATION PROPOSED STOCKROOM ADDITION
EXISTING WAL-MART STORE #835
EUBANK BOULEVARD NE
ALBUQUERQUE, NEW MEXICO
TERRACON PROJECT NO. 66055005
02/02/05

UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 10 FEET BEYOND THE BUILDING ADDITION AND APPURTENANCES.

APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO DRAWING SHEET SP1), TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, PORCHES, RAMPS, STOOPS, TRUCK WELLS/DOCKS, COMPACTOR PAD, ETC. THE SUBBASE AND THE VAPOR BARRIER, WHERE REQUIRED, DO NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING ADDITION AND THE APPURTENANCES.

ESTABLISH THE FINAL SUBGRADE ELEVATION TO ALLOW FOR THE SLAB THICKNESS AND A 6 INCH SUBBASE FOR EXPOSED CONCRETE SLABS CONSISTING OF 4 INCH COARSE AGGREGATE AND 2 INCH FINE AGGREGATE. THE INTERIOR SLAB SUBBASE SHALL CONSIST OF 4 INCHES OF COARSE AGGREGATE MEETING THE GRADATION REQUIREMENTS OF OPEN GRADED BASE COURSE (OGBC) AS DEFINED BY NMDOT, SECTION 304 COVERED WITH 2 INCHES OF FINE AGGREGATE MEETING THE GRADATION REQUIREMENTS OF ASTM D-448, SIZE 10 AGGREGATE WITH 6 PERCENT TO 12 PERCENT PASSING THE NO. 200 SIEVE. THE EXTERIOR SLAB SUBBASE SHALL CONSIST OF 4 INCHES OF COARSE AGGREGATE MEETING THE GRADATION REQUIREMENT OF OGBC AS DEFINED BY NMDOT, SECTION 304 COVERED WITH 2 INCHES OF FINE AGGREGATE MEETING THE GRADATION REQUIREMENTS OF ASTM D-448, SIZE 10 AGGREGATE WITH 6 PERCENT TO 12 PERCENT PASSING THE NO. 200 SIEVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED.

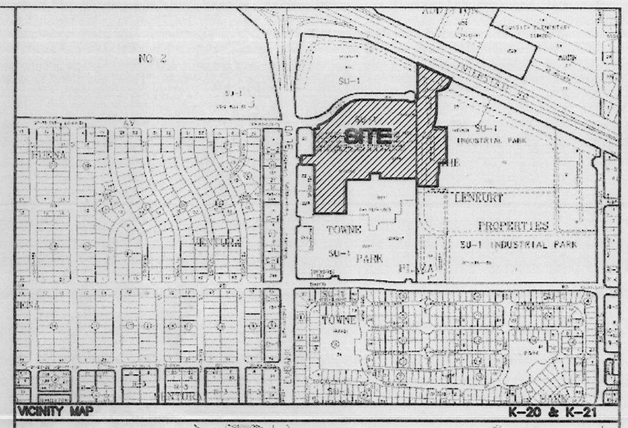
REMOVE EXISTING ASPHALT AND DELETERIOUS MATERIALS, ECT., FROM THE BUILDING ADDITION AREA. UPON REMOVAL OF SURFACE MATERIALS, EXISTING SOILS SHOULD BE REMOVED WITHIN THE LIMITS OF THE BUILDING FOOTPRINT AND 42 INCHES BEYOND THE OUTSIDE EDGE OF PERIMETER FOOTINGS. UPON REMOVAL OF THE EXISTING SOILS, THE SPREAD FOUNDATIONS SHOULD BEAR ON A MINIMUM OF 5 FEET OF ENGINEERED FILL AND THE INTERIOR SLABS SHOULD BEAR ON A MINIMUM OF 2 FEET OF ENGINEERED FILL. PROOFROLL EXPOSED SUBGRADE. REMOVE AND REPLACE UNSUITABLE AREAS AND BACKFILL OVEREXCAVATION WITH SUITABLE MATERIAL. SUBGRADE AND ENGINEERED FILL MATERIAL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS AND SHALL MEET THE FOLLOWING REQUIREMENTS:

FILL WITHIN LIMITS OF BUILDING PAD P.I. L.L.
12 MAX. 35 MAX.
MAX PARTICLE SIZE (ASTM C136)
3" 100
No. 4 Sie50-100
No. 200 Sieve.....50 (max)

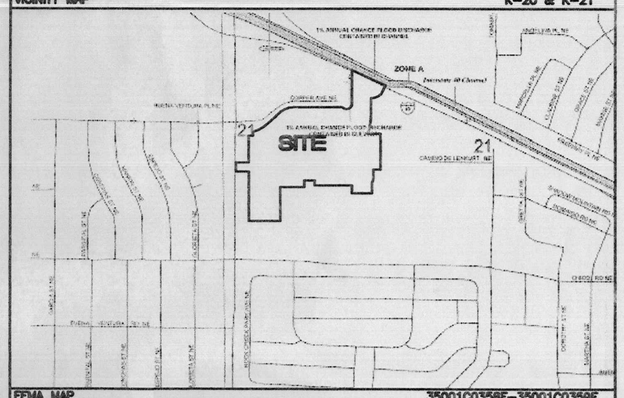
THE SUBGRADE MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 10 INCHES IN THICKNESS IF SOIL HAS NO PI AND 8 INCHES FOR SOILS WITH PI AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) AT A MOISTURE CONTENT WITHIN 1 PERCENT BELOW TO 3 PERCENT ABOVE THE OPTIMUM FOR SOILS WITH A PLASTICITY INDEX GREATER THAN 5 AND AT A MOISTURE CONTENT WITHIN 3 PERCENT BELOW TO 3 PERCENT ABOVE THE OPTIMUM FOR ALL OTHER SOILS. THE CONTRACTOR SHOULD ACKNOWLEDGE BOTH COMPACTION AND SOIL MOISTURE CONTENT REQUIREMENTS MUST BE MET TO ACHIEVE A SUITABLE ENGINEERED FILL.

THE FOUNDATION SYSTEM SHALL BE ISOLATED SPREAD FOOTINGS AT COLUMNS AND CONTINUOUS SPREAD FOOTINGS AT WALLS.

THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT, INFORMATION COVERED IN THIS PREPARATION SHALL TAKE PRECEDENCE OVER THE WAL-MART SPECIFICATION. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION. THIS INFORMATION WAS TAKEN FROM A GEOTECHNICAL REPORT PREPARED BY TERRACON, DATED FEBRUARY 1, 2005. (GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT A CONSTRUCTION SPECIFICATION).



VICINITY MAP K-20 & K-21



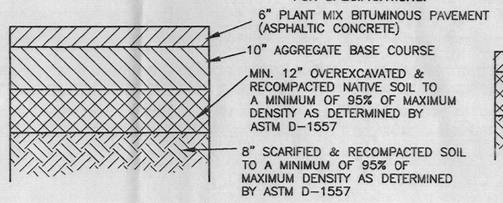
FEMA MAP 35001C0356F-35001C0358F

LEGAL DESCRIPTION:
TRACT B-1A-1 AND B-2A-1 TOWNE PARK PLAZA

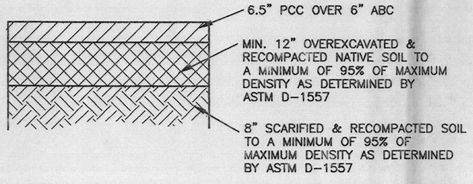
LEGEND

○	EXISTING SAS MANHOLE
EX. 8" SAS	EXISTING SANITARY SEWER LINE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
EX. 16" WL	EXISTING WATER LINE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
EX. 24" RCP	EXISTING STORM SEWER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING PERIMETER WALL (PLINE WIDTH 1)
	EXISTING RETAINING WALL (PLINE WIDTH 1)
5050	EXISTING CONTOUR
5010	EXISTING INDEX CONTOUR
• 5048.25	EXISTING SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	EXISTING LOT LINES
	SETBACK LINE
	GRADE BREAK
	PERIMETER WALL
	RETAINING WALL

NOTE: REFER TO GEOTECHNICAL REPORTS FOR SPECIFICATIONS.



ASPHALTIC CONCRETE PAVING SECTION
NTS

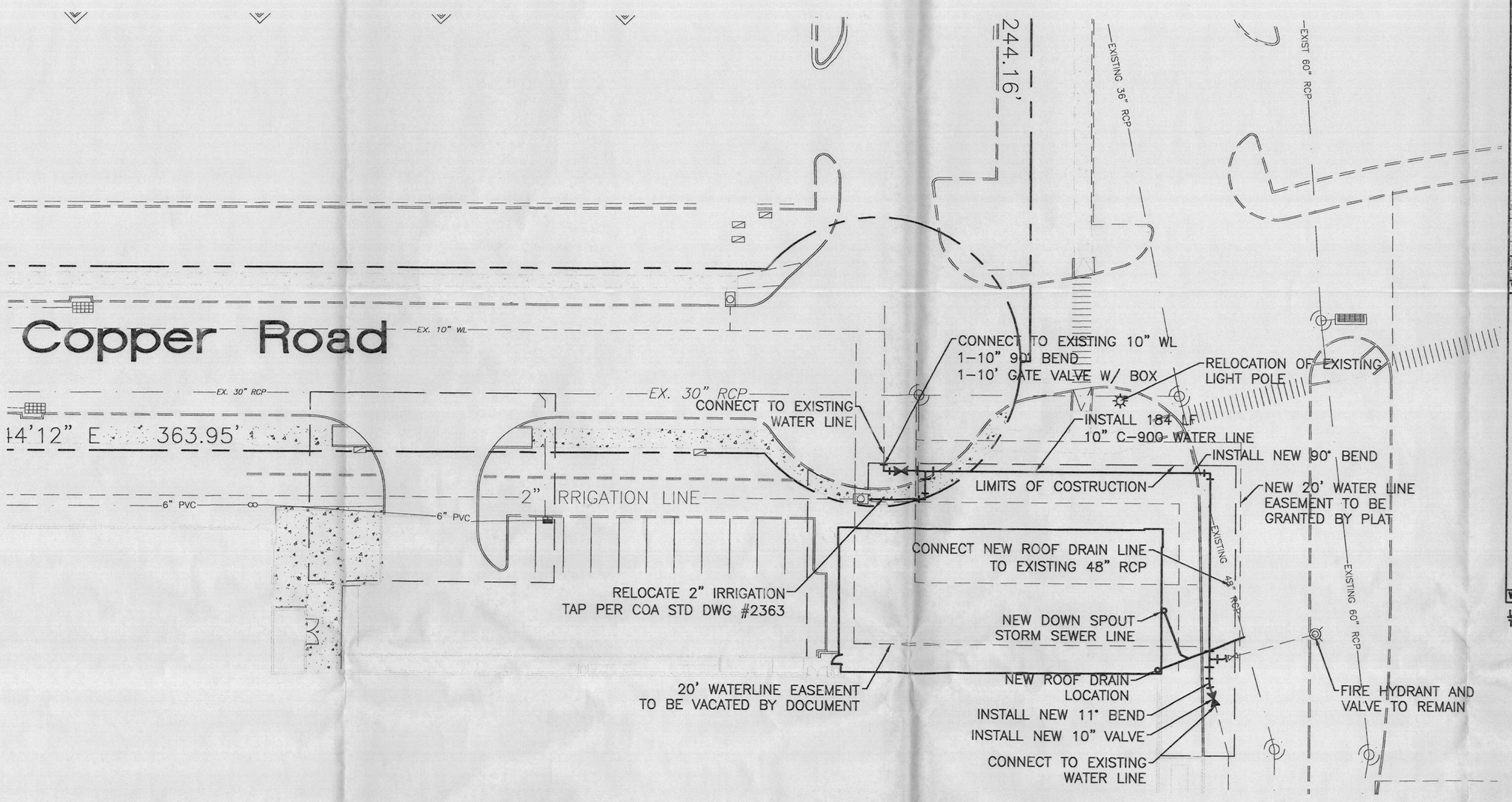


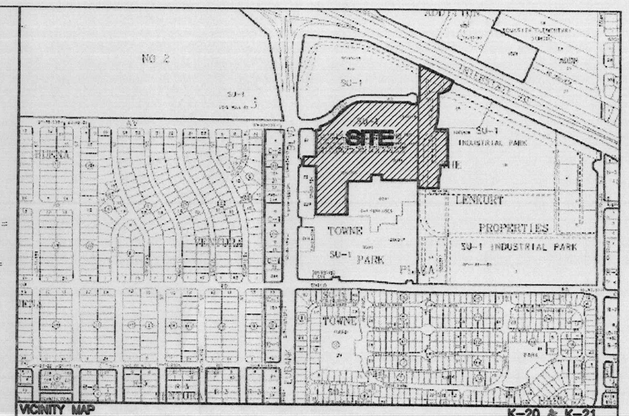
PORTLAND CEMENT PAVING SECTION
NTS

HEAVY DUTY PAVEMENT

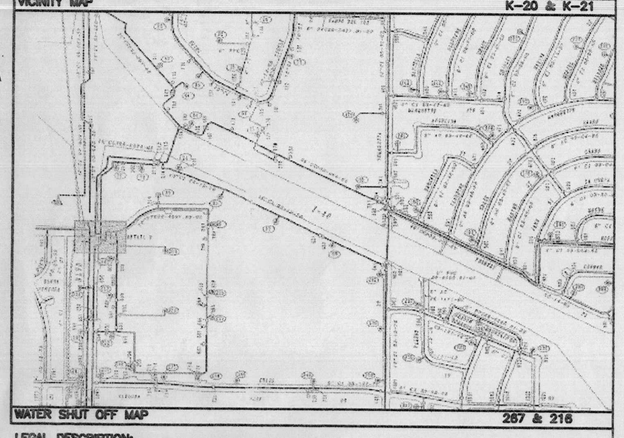
GRAPHIC SCALE
20 10 0 10 20
SCALE: 1"=20'

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	WAL-MART #835 STOCKROOM ADDITION GRADING AND DRAINAGE PLAN ENLARGED	DRAWN BY EMT DATE 02-04-05 2492-GRB-12-18-04
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # C-107 JOB # 24092





VICINITY MAP K-20 & K-21



WATER SHUT OFF MAP 287 & 216

LEGAL DESCRIPTION:
TRACT B-1A-1 AND B-2A-1 TOWNE PARK PLAZA

NOTES:

1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

GENERAL NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
9. INSTALLATION OF WATER LINE VALVES SHALL BE COORDINATED WITH WAL-MART STORE MANAGER FOR SHUT DOWN TIME.

RESTRAINED JOINT LENGTHS FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS (EACH SIDE)

SIZE	HORIZONTAL BENDS				VALVES
	90°	45°	22-1/2°	11-1/4°	DEAD END
12	15	6	3	1	34
10	13	5	3	1	29
8	11	4	2	1	24
6	8	3	2	1	18
4	6	2	1	N/A	13

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1999), FOR LOCATION OF EXISTING UTILITIES. THREE WORKING DAYS PRIOR
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
9. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
10. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
11. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
12. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
13. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
14. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
15. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
16. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

LEGEND

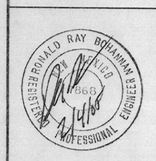
	EXISTING SAS MANHOLE
EX. 8" SAS	EXISTING SANITARY SEWER LINE
	EXISTING METER
	EXISTING VALVE W/BOX
	VALVE W/BOX
	EXISTING FIRE HYDRANT
EX. 16" WL	EXISTING WATER LINE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
EX. 24" RCP	EXISTING STORM SEWER LINE
x x x x x	EXISTING FENCE
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING PERIMETER WALL
	EXISTING RETAINING WALL
5010	EXISTING CONTOUR
5010	EXISTING INDEX CONTOUR
5048.25	EXISTING SPOT ELEVATION
	STREET LIGHT
	CENTERLINE
	RIGHT-OF-WAY
	SETBACK LINE
	GRADE BREAK

N

GRAPHIC SCALE
20 10 0 10 20
SCALE: 1"=20'

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL



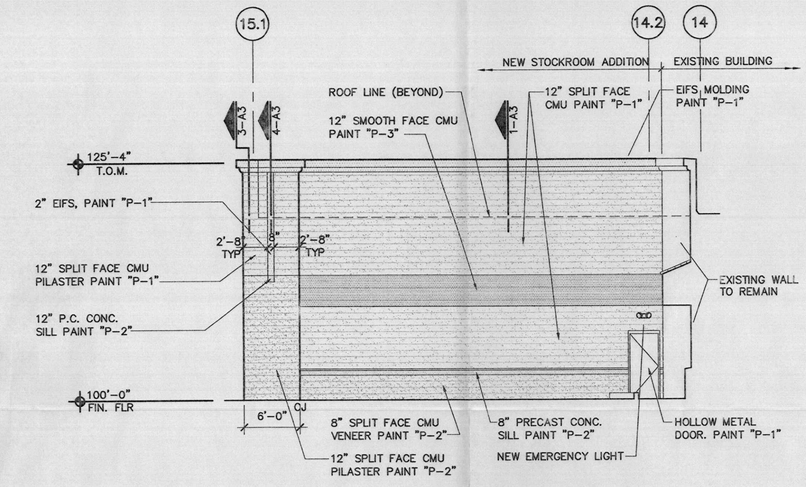
RONALD R. BOHANNAN
P.E. #7868

WAL-MART #835
STOCKROOM ADDITION

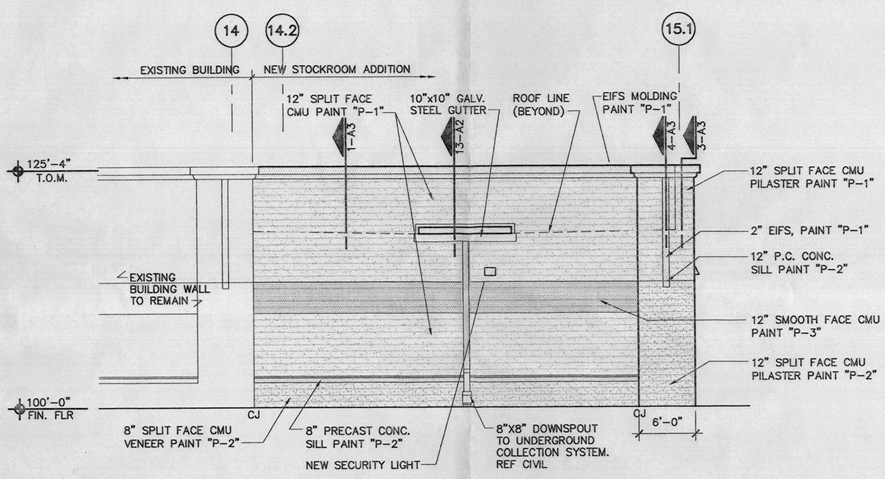
MASTER UTILITY PLAN

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

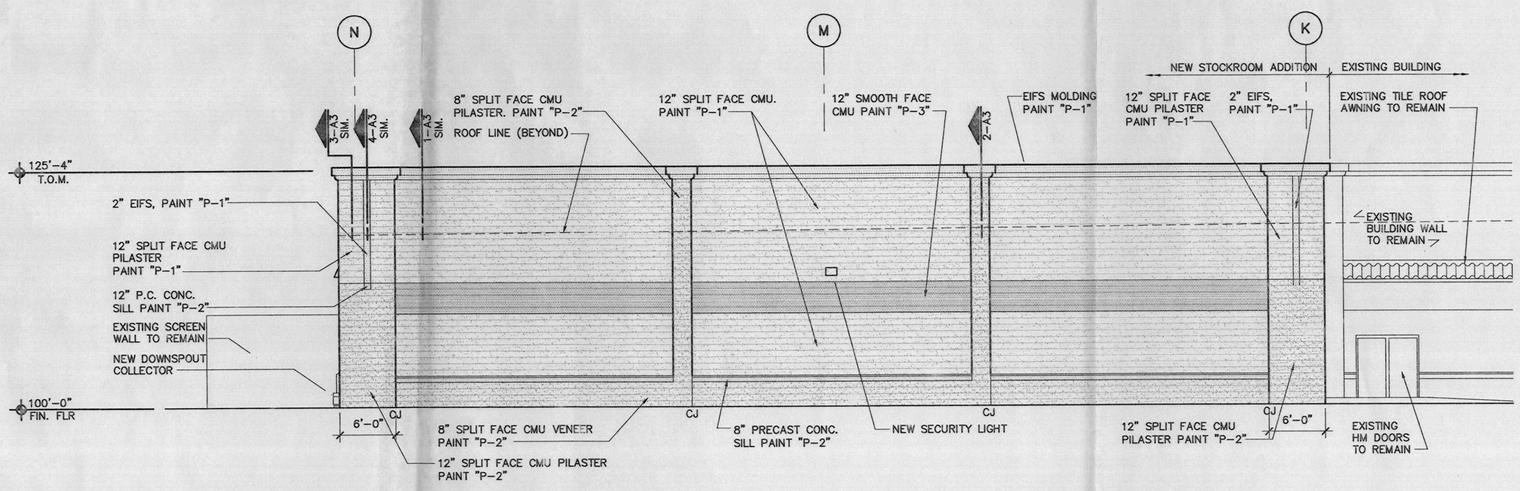
DRAWN BY EMT
DATE 02-04-05
2492-MUB-12-18-04.dwg
SHEET # C-108
JOB # 24092



3 FRONT ELEVATION
1/8"=1'-0"



2 REAR ELEVATION
1/8"=1'-0"



1 LEFT SIDE ELEVATION
1/8"=1'-0"

Raymond Harris & Associates Architects
211 N. Record Street, Suite 222
Dallas, Texas 75202
Telephone 214/749-0626

STIPULATION FOR REUSE

THIS DRAWING WAS PREPARED FOR USE IN THE CITY OF ALBUQUERQUE, NM JURISDICTIONALLY WITH ITS ISSUE DATE ON 02/11/05, AND IT IS NOT ADAPTABLE TO OTHER JURISDICTIONS OR PROJECT SITE OR AT A LATER TIME. SUCH USE WITHOUT ADAPTATION OR REFERENCE OR EXAMPLE ON ANOTHER PROJECT IS PROHIBITED WITHOUT THE PROPER, LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART FOR USE ON PROJECT IS NOT AUTHORIZED AND WILL BE CONSTRUED TO BE A TAKING.

WAL★MART
STOCKROOM ADDITION
ALBUQUERQUE, NM
STORE NO. 835
JOB NUMBER: 04940

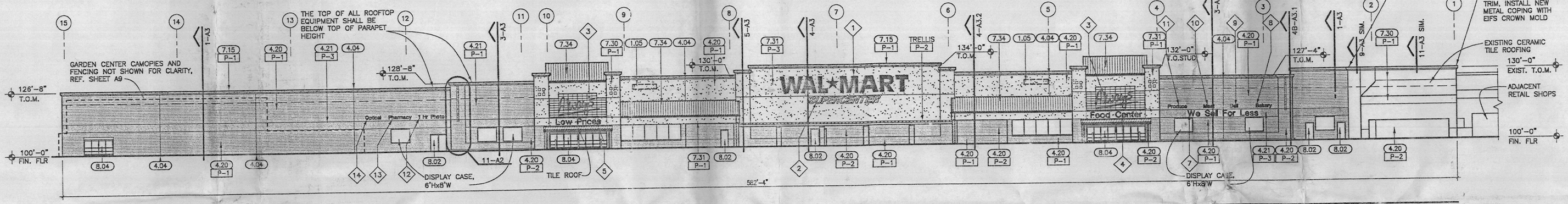
ISSUE BLOCK

	02/11/05	PERMIT ISSUE

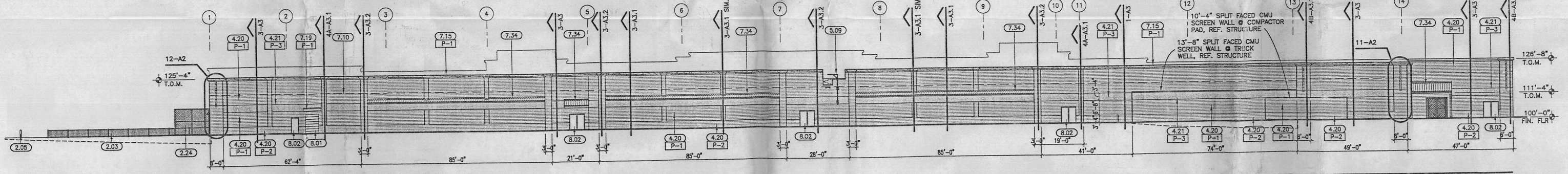
CHECKED BY:	RH
DRAWN BY:	BC/SH
DOCUMENT DATE:	02/11/05

ELEVATIONS, DETAILS AND SCHEDULES

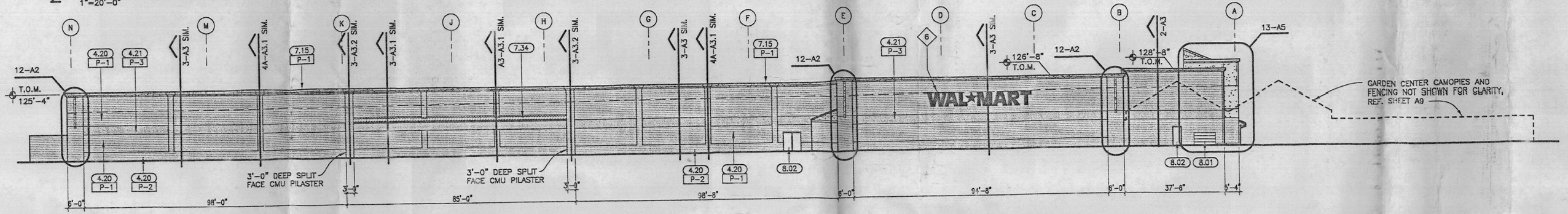
SHEET: A4



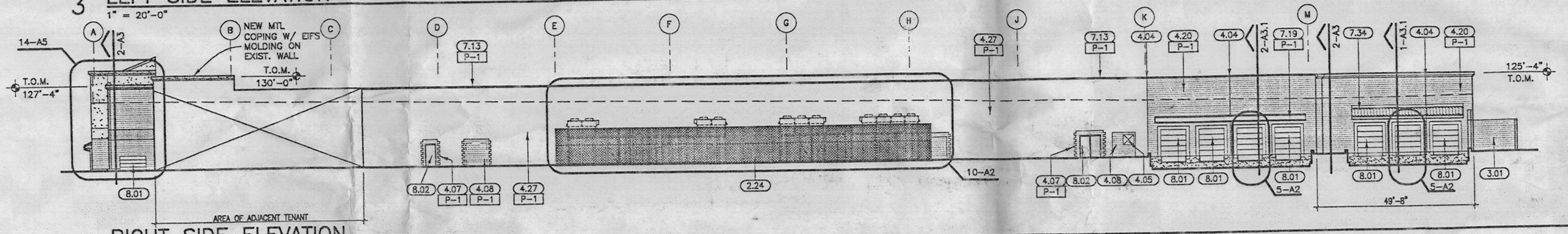
1 FRONT ELEVATION
1"=20'-0"



2 REAR ELEVATION
1"=20'-0"



3 LEFT SIDE ELEVATION
1" = 20'-0"



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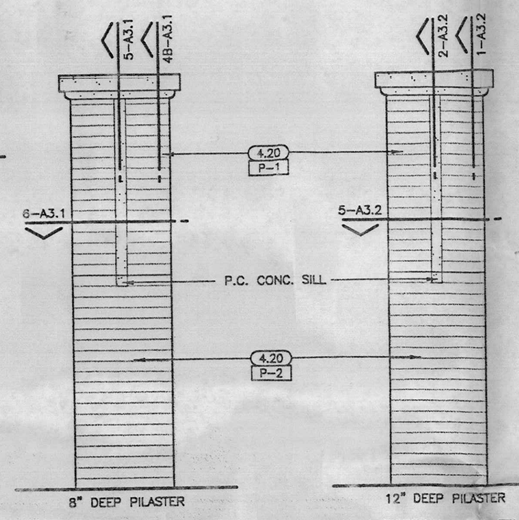
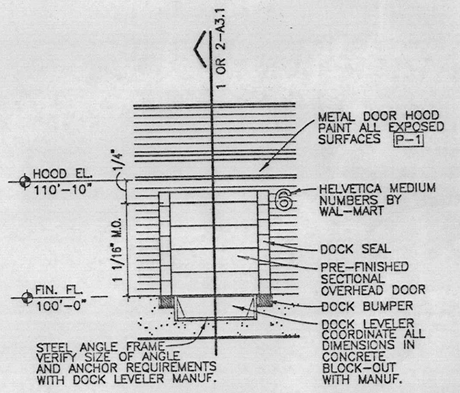
1" = 20'-0"

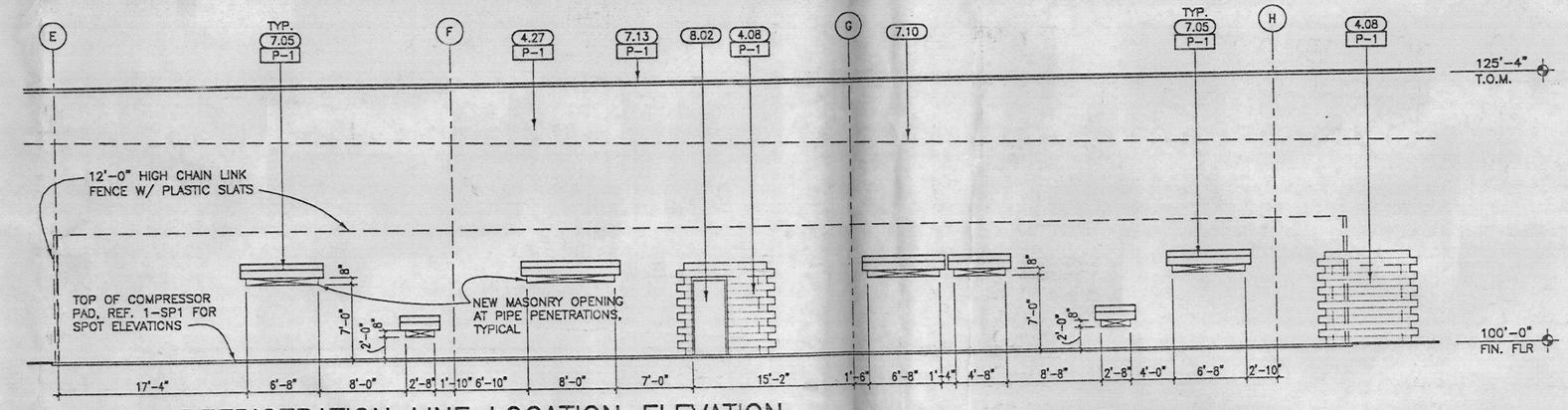


11 PILASTER ELEV.
3/16" = 1'-0"

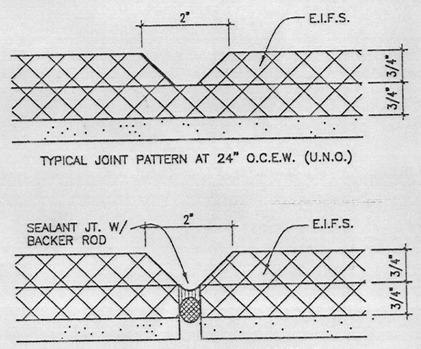
12 PILASTER ELEV.
3/16" = 1'-0"



5 DOCK DOOR ELEVATION
1/8" = 1'-0"

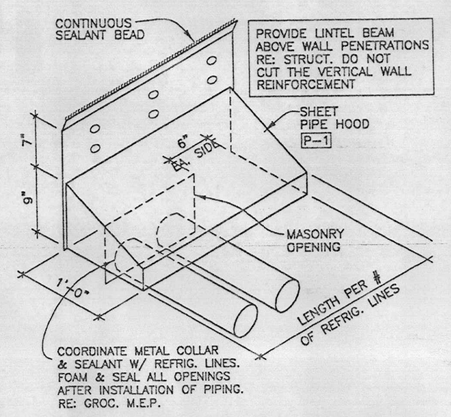


10 REFRIGERATION LINE LOCATION ELEVATION
1/8" = 1'-0"

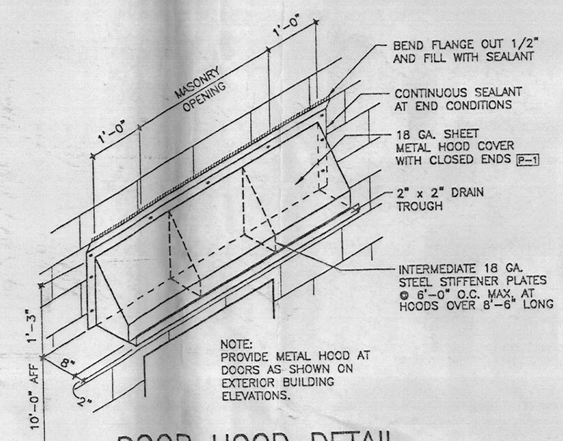


6 E.I.F.S. JOINT DETAILS
HALF SIZE

7 NOT USED



8 REFRIGERATION LINE HOOD
N.T.S.



9 DOOR HOOD DETAIL
N.T.S.

KEYNOTES

1.01 SIGNAGE FURNISHED AND INSTALLED BY WAL-MART (TYPICAL).
1.02 EXISTING SIGNAGE TO BE REMOVED BY WAL-MART, CONTRACTOR TO REMOVE ALL REMAINING FASTENING DEVICES AND PATCH WALL TO MATCH ADJACENT WALL.
1.03 EXISTING SIGNAGE TO BE REPLACED WITH NEW BY WAL-MART (EXISTING NOT SHOWN).
1.05 ILLUMINATED TENANT SIGN TO BE PLACED AS INDICATED. TENANT SHALL BE RESPONSIBLE FOR ALL INSTALLATIONS, PERMIT COSTS AND SIGN COSTS.
2.03 42" HIGH CHAIN LINK FENCE WITH POSTS AT MAX. 9'-0" O.C.
2.04 11'-0" HIGH CHAIN LINK FENCE WITH PLASTIC SCREENING SLATS INSTALLED VERTICALLY, SLAT COLOR TO MATCH ADJ. BUILDING COLOR.
2.05 BOLLARD, REF. 1-SP2.
2.06 BOLLARD, REF. 2-SP2, (FOR REQUIRED PLACEMENT).
2.24 12'-0" HIGH CHAIN LINK FENCE WITH PLASTIC SCREENING SLATS INSTALLED VERTICALLY, SLAT COLOR TO MATCH ADJ. BUILDING COLOR.
3.01 CONCRETE RETAINING WALL, CURB AND GUARD RAIL AT TRUCK WELL, REF. 2S-SP2.
3.04 FOUNDATION, REF. STRUCTURAL.
3.05 8"x8" CONCRETE CURB, REF. 1S-SP2.
4.03 EXPANSION JOINT (E.J.).
4.04 MASONRY CONTROL JOINT (C.J.), TYPICAL (RE: NOTE 5).
4.05 40"x40" MAS. OPENING AT TRASH COMPACTOR, BOTTOM OF OPENING AT 48" A.F.F.
4.07 TOOTH IN NEW CMU JAMB UNITS AT NEW OPENING, MATCH ADJACENT CMU.
4.08 INFILL EXISTING OPENING WITH NEW CMU, MATCH ADJACENT CMU SIZE, TYPE AND FINISH.
4.20 8" SPLIT FACE CMU, PAINT.
4.21 8" SMOOTH FACE CMU, PAINT.
4.27 EXISTING CMU, PAINT.
4.30 PARAPET AT FRONT WALL BEYOND.
5.09 ROOF ACCESS WITH PARAPET DOOR AND JIB CRANE, REF. 1 & 2 A3.3 JIB CRANE HOIST ASEMBLY FURNISHED BY WAL-MART & INSTALLED BY CONTRACTOR.
7.05 SHEET STEEL REFRIGERATION LINE HOOD, PAINT. RE: 8-A2
7.10 ROOF LINE BEYOND PARAPET.
7.13 EXISTING METAL EDGE TRIM, PAINT.
7.14 METAL EDGE TRIM, PAINT.
7.15 METAL COPING WITH EIFS CROWN MOLD, PAINT
7.19 METAL DOOR HOOD, REF. 9-A2, PAINT.
7.21 SHEETMETAL HOOD, REF. 1&2-A3.1, PAINT.
7.30 EXISTING EXTERIOR INSULATION FINISH SYSTEM (EIFS)
7.31 EXTERIOR INSULATION FINISH SYSTEM (EIFS), REF. 6-A2
7.32 EXISTING METAL CANOPY.
7.33 METAL CANOPY, RE: STRUCT.
7.34 CERAMIC ROOF TILE (ROYAL BLUE)
7.90 STANDING SEAM METAL ROOF.
8.01 SECTIONAL OVERHEAD DOOR.
8.02 HOLLOW METAL DOOR AND FRAME, PAINT.
8.04 BREAKAWAY SLIDING ALUMINUM ENTRANCE DOORS.

COLOR SCHEDULE

P-1	MATCH DRYVIT COLOR #12 (SANDLEWOOD BEIGE)
P-2	MATCH SW #1027 (BROWN)
P-3	MATCH SW# 1504 (BLUE)

RE: SPECIFICATIONS FOR ADDITIONAL INFORMATION.

GENERAL NOTES

1. ALL SIGNAGE BY WAL-MART.
2. ALL NEW EXTERIOR MASONRY WALLS SHALL BE PAINTED WITH MASONRY WATERPROOF SYSTEM (RE: SPECS.). PAINT COLOR BANDS ON MASONRY (RE: SPECS.). PAINT COLOR BANDS ON E.I.F.S. (RE: SPECS.). PAINT EXISTING WALLS WHERE NOTED.
3. PAINT EXISTING EXTERIOR H.M. DOORS, FRAMES, METAL DOOR HOODS, RAILINGS, PIPE COLUMNS, AND EDGE TRIM. MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE.
4. MASONRY CONTROL JOINTS "C.J." MAX. 40'-0" O.C. RE: SHEET A5 FOR ADDITIONAL C.J. CONDITIONS.
5. NEW OPENINGS AT EXISTING CMU WALLS, TOOTH-IN NEW CMU TO MATCH EXISTING. PAINT TO MATCH ADJACENT BUILDING COLOR.
6. PAINT ALL NEW AND EXISTING E.I.F.S.
7. INSTALL SEALANT AT EXTERIOR WALL EXPANSION & CONTROL JOINTS, & APPLY EXT. WALL SPECIAL COATINGS (RE: SPECS.) PRIOR TO INSTALLATION OF GUTTERS & DOWNSPOUTS.
8. CONTRACTOR TO RETAIN SAMPLES OF ALL EXISTING EXTERIOR COLORS AND FINISHES AT START OF CONSTRUCTION. VERIFY THAT NEW COLORS AND FINISHES MATCH EXISTING.

Raymond Harris & Associates Architects
211 N. Roosevelt St., Suite 1
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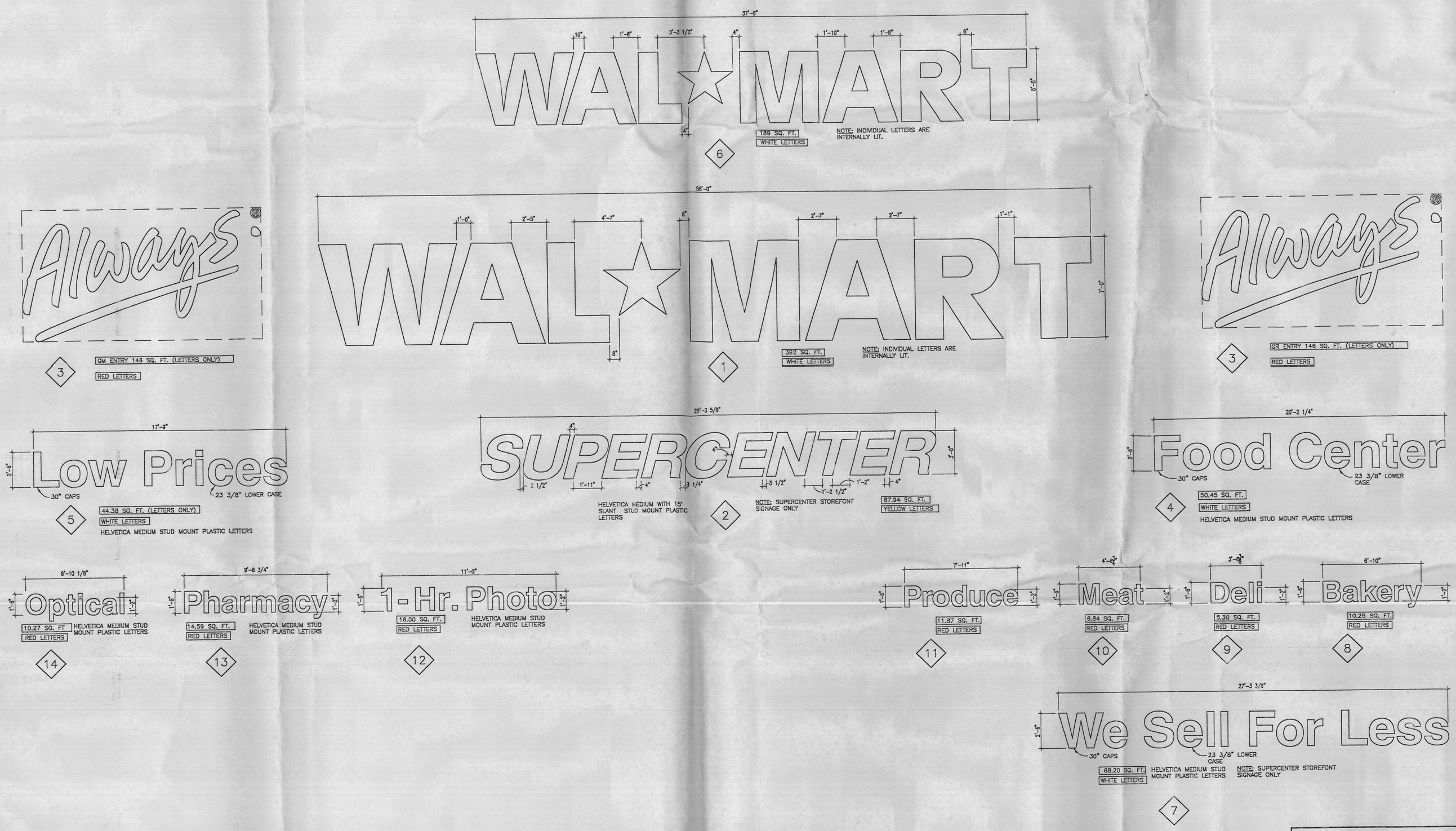
PROTO CYCLE:	01-26-01
MODIFIED DATE:	04-27-01

STATE OF NEW MEXICO
RAYMOND H. HARRIS
No. 2232
REGISTERED ARCHITECT
MAY 08 2001

EXTERIOR ELEVATIONS

SHEET: 10



SIGNS SCHEDULE

NOTES:
1. SIGNAGE FURNISHED AND INSTALLED BY WAL-MART, UNLESS NOTED OTHERWISE.
2. ALL SIGNAGE MUST CONFORM WITH LOCAL CITY PLANNING AND ZONING ORDINANCES.

NO.	FRONT SIGNAGE	QUANTITY	HEIGHT	AREA
1	"WAL-MART"	1	7'-0"	392.00 SF
2	"SUPERCENTER"	1	3'-0"	87.94 SF
3	"ALWAYS"	2	9'-0"	292.00 SF
4	"FOOD CENTER"	1	2'-6"	50.45 SF
5	"LOW PRICES"	1	2'-6"	44.38 SF
6	"WAL-MART"	1	5'-0"	189.00 SF
7	"WE SELL FOR LESS"	1	2'-6"	68.20 SF
8	"BAKERY"	1	1'-6"	10.25 SF
9	"DELI"	1	1'-6"	5.30 SF
10	"MEAT"	1	1'-6"	6.84 SF
11	"PRODUCE"	1	1'-6"	11.87 SF
12	"1 HR PHOTO"	1	1'-6"	16.50 SF
13	"PHARMACY"	1	1'-6"	14.59 SF
14	"OPTICAL"	1	1'-6"	10.27 SF
* CALCULATIONS ARE BASED ON BOX METHOD				
TOTAL WALL SIGNAGE				1199.59 SF

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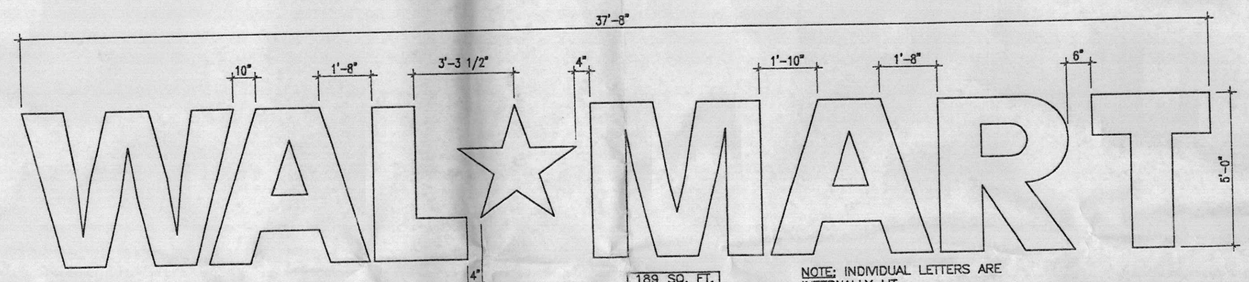
PROTO CYCLE:	01-26-01
MODIFIED DATE:	05-07-01

STATE OF NEW MEXICO
RAYMOND H. HARRIS
No. 2232
REGISTERED ARCHITECT
MAY 08 2

EXTERIOR SIGNAGE

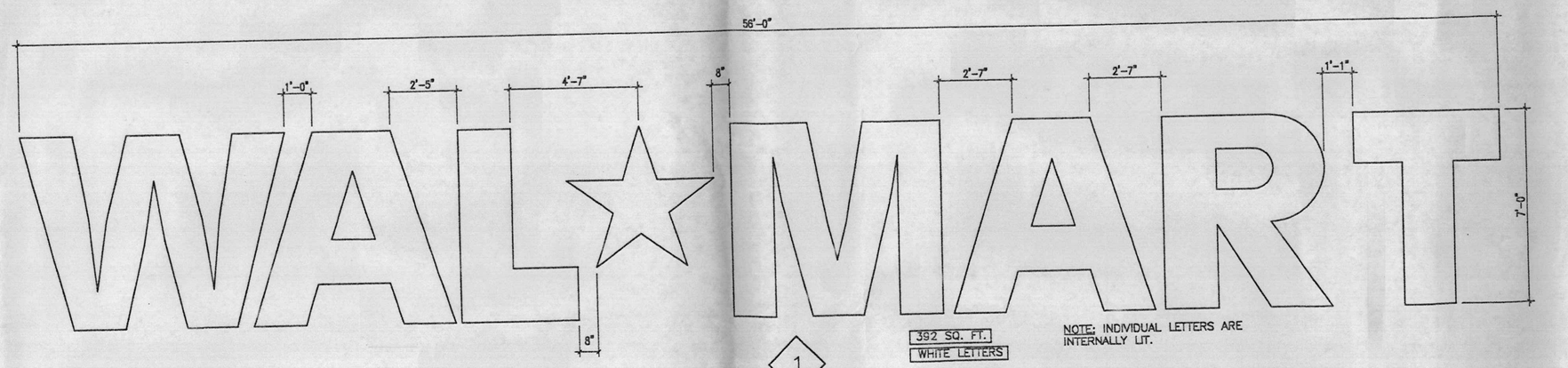
SHEET: 11



189 SQ. FT.
WHITE LETTERS

NOTE: INDIVIDUAL LETTERS ARE INTERNALLY LIT.

6



392 SQ. FT.
WHITE LETTERS

NOTE: INDIVIDUAL LETTERS ARE INTERNALLY LIT.

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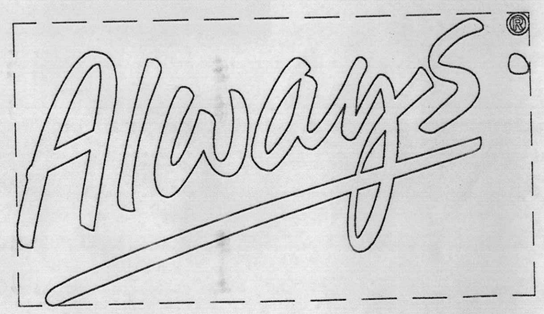
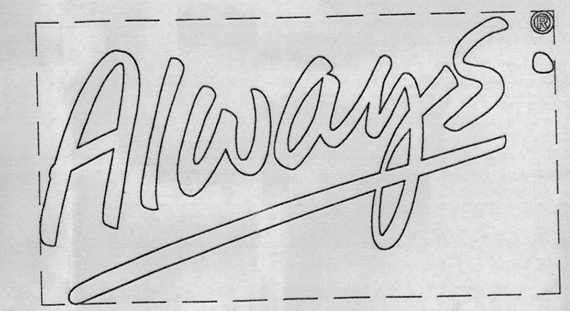


3

GM ENTRY 146 SQ. FT. (LETTERS ONLY)

RED LETTERS



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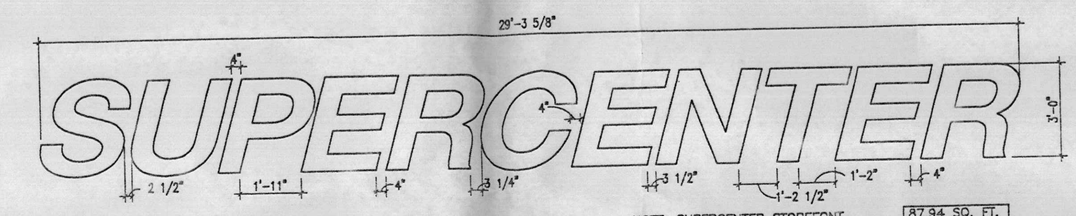
GR ENTRY 146 SQ. FT. (LETTERS ONLY)

RED LETTERS



HELVETICA MEDIUM WITH 15° SLANT STUD MOUNT PLASTIC LETTERS

NOTE: SUPERCENTER STOREFONT SIGNAGE ONLY

87.94 SQ. FT.
YELLOW LETTERS

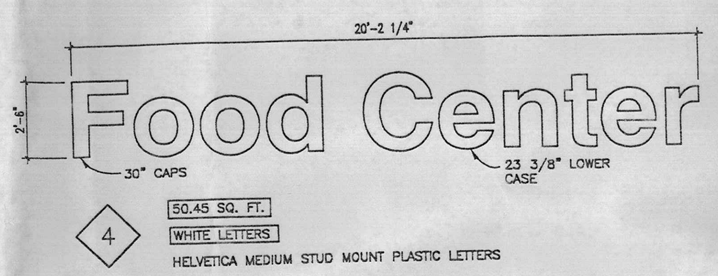
2

44.38 SQ. FT. (LETTERS ONLY)

WHITE LETTERS

HELVETICA MEDIUM STUD MOUNT PLASTIC LETTERS

5

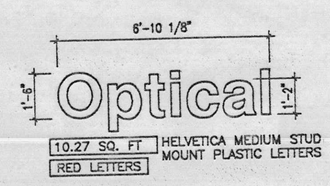


50.45 SQ. FT.

WHITE LETTERS

HELVETICA MEDIUM STUD MOUNT PLASTIC LETTERS

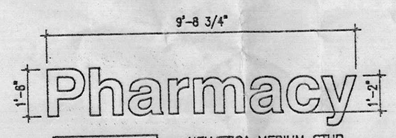
4



10.27 SQ. FT.
RED LETTERS

HELVETICA MEDIUM STUD MOUNT PLASTIC LETTERS

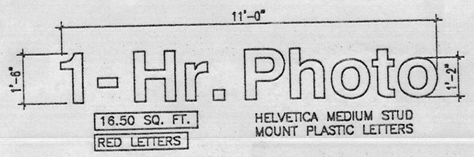
14



14.59 SQ. FT.
RED LETTERS

HELVETICA MEDIUM STUD MOUNT PLASTIC LETTERS

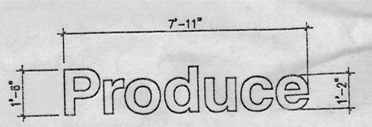
13



16.50 SQ. FT.
RED LETTERS

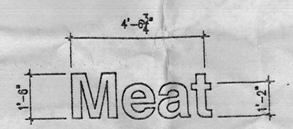
HELVETICA MEDIUM STUD MOUNT PLASTIC LETTERS

12



11.87 SQ. FT.
RED LETTERS

11



6.84 SQ. FT.
RED LETTERS

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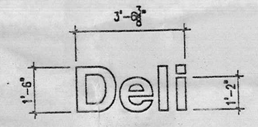
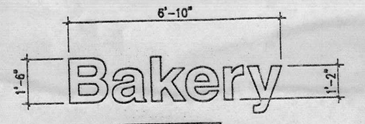


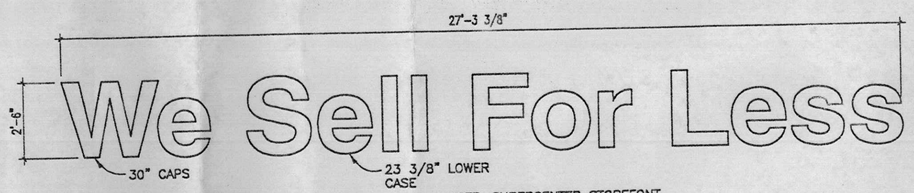
5.30 SQ. FT.
RED LETTERS

9



10.25 SQ. FT.
RED LETTERS

8



68.20 SQ. FT.
WHITE LETTERS

HELVETICA MEDIUM STUD MOUNT PLASTIC LETTERS

NOTE: SUPERCENTER STOREFONT SIGNAGE ONLY

7

SIGNS SCHEDULE

NOTES:
1. SIGNAGE FURNISHED AND INSTALLED BY WAL-MART, UNLESS NOTED OTHERWISE.
2. ALL SIGNAGE MUST CONFORM WITH LOCAL CITY PLANNING AND ZONING ORDINANCES.

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* CALCULATIONS ARE BASED ON BOX METHOD				
TOTAL WALL SIGNAGE				1199.59 SF

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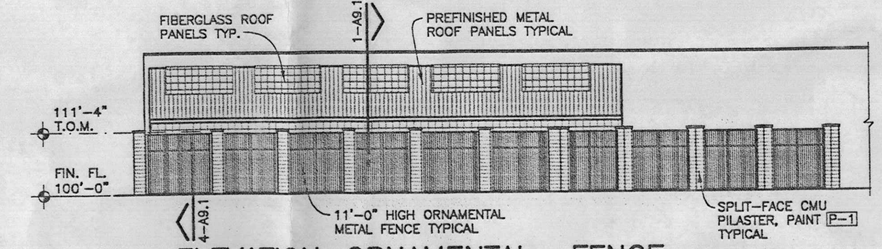
STATE OF NEW MEXICO
RAYMOND H. HARRIS
No. 2232
REGISTERED ARCHITECT

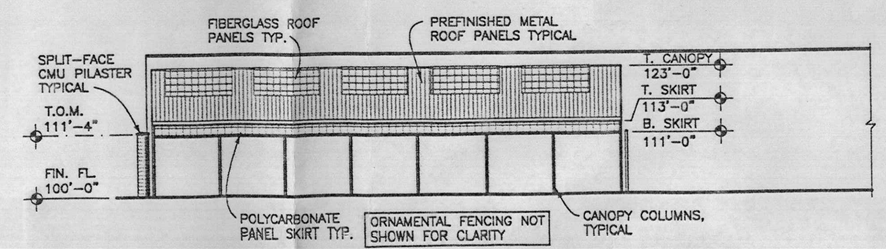
MAY 08 2

EXTERIOR SIGNAGE

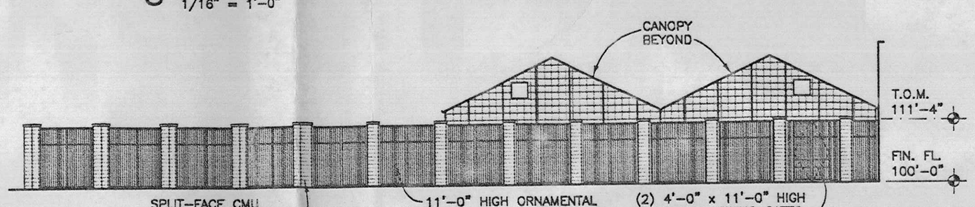
SHEET: 11



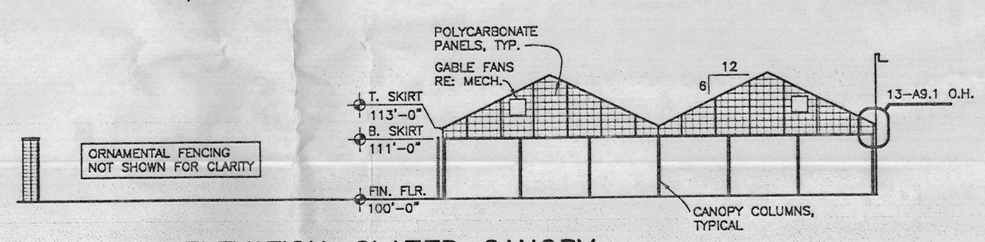
2 ELEVATION–ORNAMENTAL FENCE
1/16" = 1'-0"



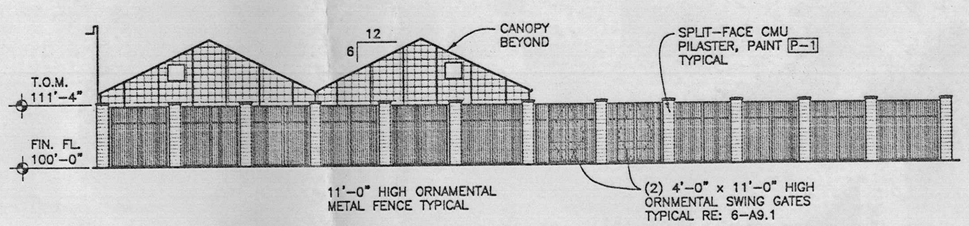
3 ELEVATION–GLAZED CANOPY
1/16" = 1'-0"



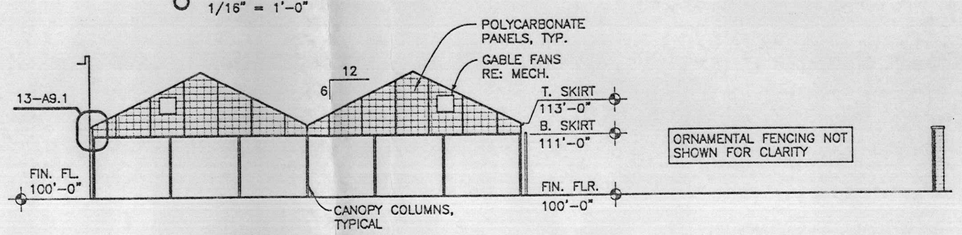
4 ELEVATION–GLAZED CANOPY
1/16" = 1'-0"



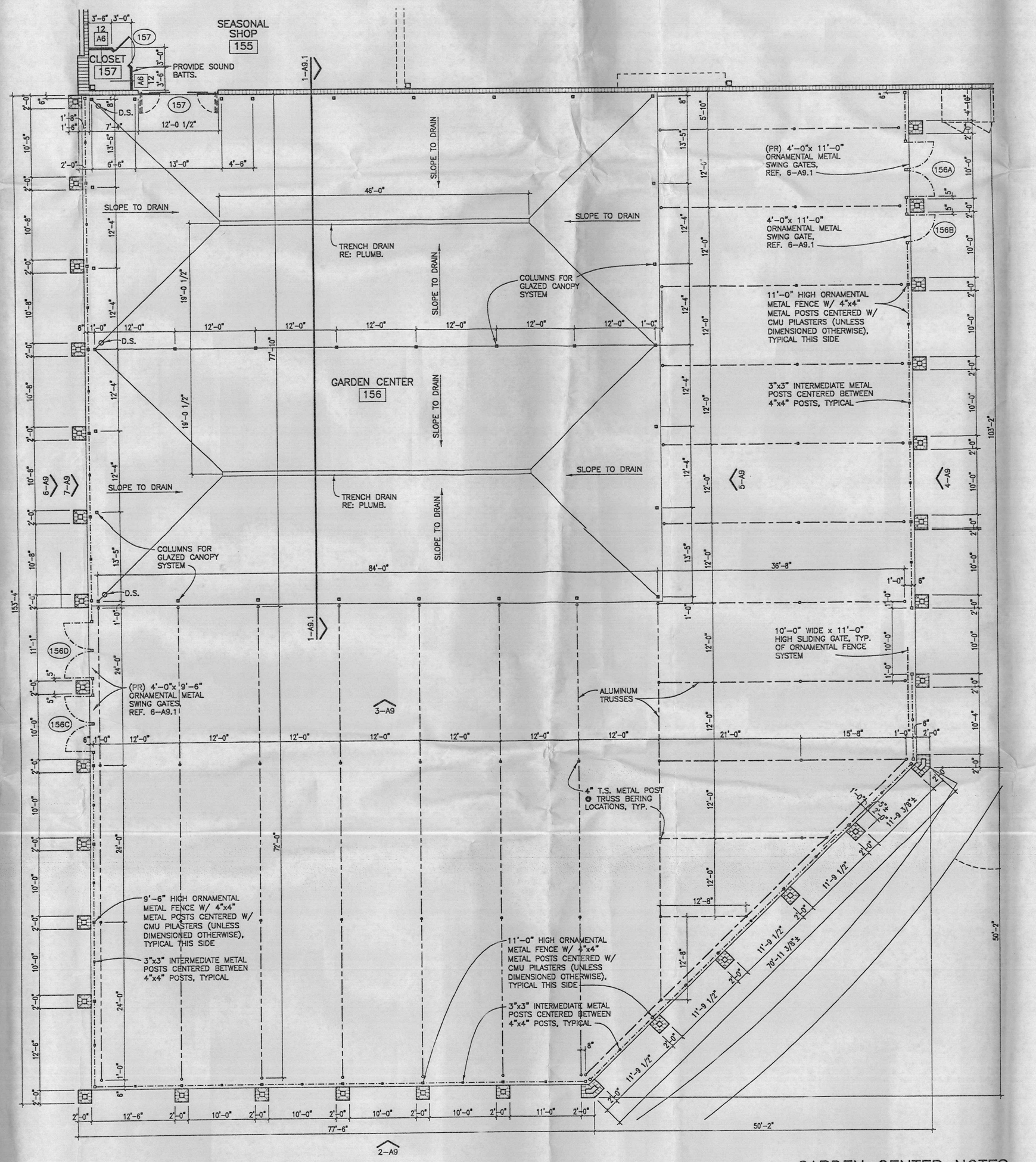
5 ELEVATION–GLAZED CANOPY
1/16" = 1'-0"



6 RIGHT SIDE ORNAMENTAL FENCE ELEVATION
1/16" = 1'-0"



7 ELEVATION–GLAZED CANOPY
1/16" = 1'-0"



1 GARDEN CENTER PLAN
1/8"=1'-0"

FOR ADDITIONAL INFORMATION REFER TO SHEET A4

GARDEN CENTER NOTES

1. SHADE CLOTH FABRIC, ALUMINUM TRUSSES, BRIDGING, CONNECTORS, BOLTS AND NYLON CORD TO BE PROVIDED BY WAL–MART AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH PROVIDING A COMPLETE INSTALLATION.
2. GARDEN CENTER GATES SHALL HAVE SIGNAGE: "TO BE KEPT OPEN DURING BUSINESS HOURS."
3. THE CONTRACTOR SHALL FIELD MODIFY ALL 1" ALUMINUM TRUSSES TO COORDINATE WITH GARDEN CENTER LAYOUT.
4. SHADE CLOTH FABRIC HAS A FLAME SPREAD OF 1 (0–25 FLAME SPREAD INDEX).

CANOPY VENTILATION:

1. CANOPY MANUFACTURER TO PROVIDE FOR CANOPY VENTALATION. REFER TO MECH. DRAWINGS FOR QUANTITY, SIZE, AND LOCATION.

Raymond Harris & Associates Architects
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Dallas, Texas 75203
Telephone 214/948-0928

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CONSULTANTS

WAL★MART
SUPERCENTER
ALBUQUERQUE, NM
STORE NO. 835
JOB NUMBER: 99130 | PROTO: 192

ISSUE BLOCK

CHECKED BY:	
DRAWN BY:	
FILE NAME:	99130A9
PROTO CYCLE:	01-26-01
MODIFIED DATE:	04-27-01

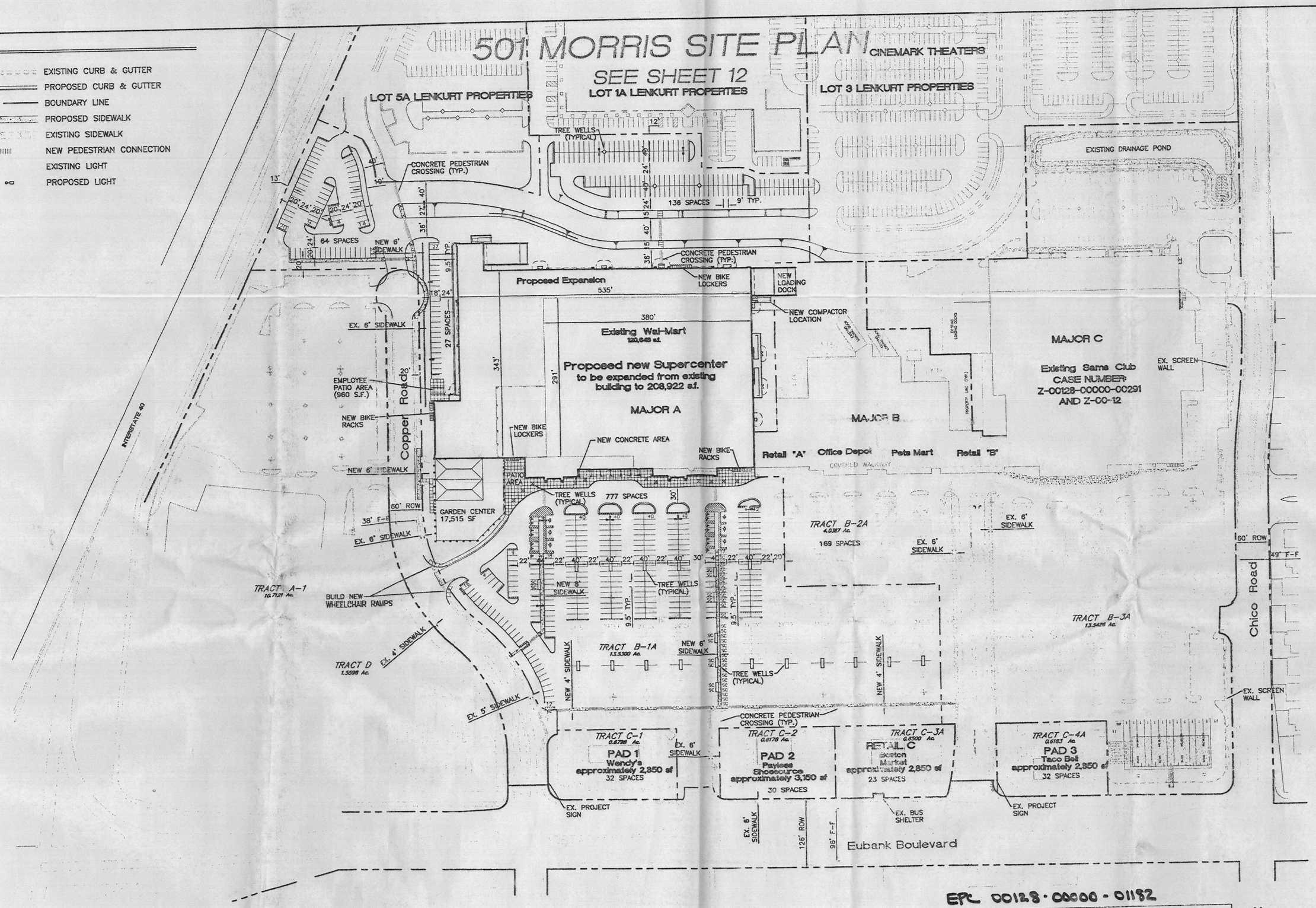
STATE OF NEW MEXICO
RAYMOND H. HARRIS
No. 2232
REGISTERED ARCHITECT
MAY 08 20

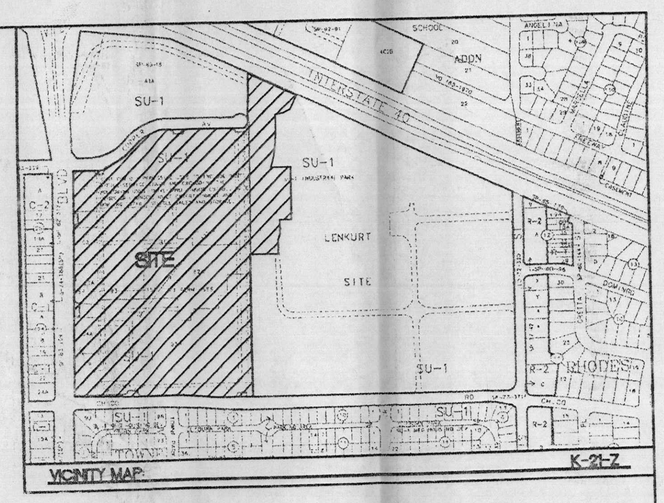
GARDEN CENTER PLAN & DETAILS

SHEET: 12

501 MORRIS SITE PLAN

SEE SHEET 12





SITE PLAN NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
2. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
3. CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF WAL-MART.
4. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS, PORCH AND RAMP LOCATIONS.
6. GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS.
7. CONTRACTOR SHALL PROVIDE PIPE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES IN DRIVE AREA, AS WELL AS, TO PROTECT ALL ACCESSIBLE SIGNS.
8. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECS. FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE, SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS, COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF TIE-INS/ CONNECTIONS TO THEIR FACILITIES.
9. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
10. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
11. CONTRACTOR SHALL TOUCH-UP PAINT ALL LIGHT POLE BASES, FIRE HYDRANTS, CART CORRALS, PIPE BOLLARDS, AND CURBS WHICH ARE CURRENTLY PAINTED. COST SHALL BE INCLUDED IN THE BASE BID.
12. SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "WAL-MART SITEWORK SPECIFICATIONS".
13. CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES, AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.
14. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
15. ALL PAINT USED FOR PARKING STRIPING SHALL BE PER WAL-MART SPECIFICATIONS.
16. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
17. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
18. CONTRACTOR TO REFER TO LANDSCAPING AND IRRIGATION PLAN FOR RELOCATIONS, AND ADDITIONS TO SUCH.
19. EXISTING ACCESSIBLE PARKING SIGNS TO BE REUSED WHEN POSSIBLE. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING SIGNS NEED. ALL ACCESSIBLE SIGNS SHALL BE BUILT INSIDE PIPE BOLLARD PER DETAIL LOCATED ON DETAIL SHEET.
20. EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
21. CONTRACTOR IS RESPONSIBLE FOR RELOCATING AND/OR PLACING PEDESTRIAN CROSSING SIGNS IN NEW LOCATION AS INDICATED ON PLANS. CONTRACTOR TO VERIFY EXACT NUMBER OF SIGNS REQUIRED.
22. ALL EXISTING PAINT STRIPING TO BE REMOVED FIRST. CONTRACTOR WILL THEN RESEAL THE PARKING LOT WITH AN APPROVED SEALER PER SPECIFICATION WHEN REQUIRED (COORDINATE WITH THE WAL-MART CONSTRUCTION MANAGER). THE PARKING LOT WILL BE RESTRIPED WITH 2 COATS OF PAINT PER THE PLANS AND SPECIFICATIONS. THIS WORK MUST BE COORDINATED WITH THE CONSTRUCTION MANAGER. THE PARKING LOT MUST BE DONE IN SECTIONS SO THAT IT DOES NOT INTERRUPT THE STORE OPERATIONS.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
24. REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL ROUTING.
25. ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
26. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
27. INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
28. BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE.
29. EXISTING BUS ROUTE IS ON EUBANK BOULEVARD AND NOT ON SITE.

EXISTING SITE DATA

TRACT	LOT AREA	USE	BUILDING AREA	F.A.R.	PARKING REQUIRED*	MINUS 10% BUS CREDIT	MINUS 5% BUS SHELTER	PARKING PROVIDED	MAX. BLDG. HEIGHT	MIN. BLDG. SETBACK
B-1A	13.5432 Ac.	WAL-MART	116,097 SF	0.1968	580 (16 HANDICAP)	522	493	908 (20 HANDICAP)	40.0'	15.0'
B-2A	4.0387 Ac.	RETAIL SHOPS	49,920 SF	0.2838	250 (8 HANDICAP)	225	212	250 (8 HANDICAP)	40.0'	15.0'
B-3A	13.2455 Ac.	SAM'S CLUB	136,082 SF	0.2359	681 (16 HANDICAP)	613	579	680 (16 HANDICAP)	40.0'	15.0'
C-1	0.6798 Ac.	WENDY'S	2,850 SF	0.0962	26 (2 HANDICAP)	23	22	32 (2 HANDICAP)	40.0'	15.0'
C-2	0.6178 Ac.	PAYLESS	3,150 SF	0.1171	16 (1 HANDICAP)	14	13	30 (2 HANDICAP)	40.0'	15.0'
C-3A	0.6500 Ac.	BOSTON MARKET	2,850 SF	0.1007	19 (1 HANDICAP)	17	16	23 (2 HANDICAP)	40.0'	15.0'
C-4A	0.6183 Ac.	TACO BELL	2,850 SF	0.1058	20 (1 HANDICAP)	18	17	32 (2 HANDICAP)	40.0'	15.0'
OVERALL	33.3933 Ac.	SHOPPING CENTER	313,799 SF	0.2157	1,592 (45 HANDICAP)	1,432	1,352	1,955 (52 HANDICAP)	40.0'	15.0'

SITE DATA W/ WAL-MART EXPANSION

TRACT	LOT AREA	USE	BUILDING AREA	F.A.R.	PARKING REQUIRED*	MINUS 10% BUS CREDIT	MINUS 5% BUS SHELTER	PARKING PROVIDED	MAX. BLDG. HEIGHT	MIN. BLDG. SETBACK
B-1A	17.9181 Ac.	SUPER WAL-MART	221,665 SF	0.2840	1,108 (20 HANDICAP)	997	942	1,005 (20 HANDICAP)	40.0'	15.0'
B-2A	4.0387 Ac.	RETAIL SHOPS	49,920 SF	0.2838	250 (8 HANDICAP)	225	212	250 (8 HANDICAP)	40.0'	15.0'
B-3A	13.2455 Ac.	SAM'S CLUB	136,082 SF	0.2359	681 (16 HANDICAP)	613	579	680 (16 HANDICAP)	40.0'	15.0'
C-1	0.6798 Ac.	WENDY'S	2,850 SF	0.0962	26 (2 HANDICAP)	23	22	32 (2 HANDICAP)	40.0'	15.0'
C-2	0.6178 Ac.	PAYLESS	3,150 SF	0.1171	16 (1 HANDICAP)	14	13	30 (2 HANDICAP)	40.0'	15.0'
C-3A	0.6500 Ac.	BOSTON MARKET	2,850 SF	0.1007	19 (1 HANDICAP)	17	16	23 (2 HANDICAP)	40.0'	15.0'
C-4A	0.6183 Ac.	TACO BELL	2,850 SF	0.1058	20 (1 HANDICAP)	18	17	32 (2 HANDICAP)	40.0'	15.0'
OVERALL	37.7682 Ac.	SHOPPING CENTER	419,357 SF	0.2549	2,120 (49 HANDICAP)	1,907	1,801	2,052 (52 HANDICAP)	40.0'	15.0'

* PARKING CALCULATIONS
RETAIL STORES: 1 SPACE PER 200 SF OF LEASEABLE AREA.
RESTAURANTS: WENDY'S: 104 SEATS / 4 PEOPLE PER CAR.
BOSTON MARKET: 76 SEATS / 4 PEOPLE PER CAR.
TACO BELL: 80 SEATS / 4 PEOPLE PER CAR.

SHEET INDEX

TOWN PARK PLAZA
1. AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA
2. APPROVED AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA (PROJECT #1000317) (FOR REFERENCE ONLY)
3. SITE PLAN FOR BUILDING PERMIT (WAL-MART EXPANSION)
4. LANDSCAPING PLAN
5. GRADING AND DRAINAGE PLAN SHEET "A"
6. GRADING AND DRAINAGE PLAN SHEET "B"
7. DETAIL SHEET
8. MASTER UTILITY PLAN SHEET "A"
9. MASTER UTILITY PLAN SHEET "B"
10. BUILDING ELEVATIONS
11. SIGNAGE ELEVATIONS
12. GARDEN CENTER ELEVATIONS

501 MORRIS
13. AMENDED SITE PLAN FOR SUBDIVISION FOR LENKURT PROPERTIES
14. APPROVED SITE PLAN FOR SUBDIVISION FOR LENKURT PROPERTIES (Z-90-21-2) (FOR REFERENCE ONLY)

EPC 00128-00000-01182

PROJECT NUMBER: 01150-00000-00639

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on DEC 14 2000 and that the findings and conditions in the Official Notice Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division — 6-13-01 Date

Parks & General Services Department — 6/13/01 Date

Public Works, Water Utilities Division — 6/13/01 Date

City Engineer, Engineering Division / AMAFCA — 8-28-01 Date

Solid Waste — 8-16-01 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Planning Division — 9/18/01 Date

PLNZ (10706) 4/96

PROJECT # 1000508

DRB PROJ#: 1000508

"FOR CLIENT"

LEGAL DESCRIPTION:

TRACTS A-1, B-1A, B-2A, B-3A C-1A, C-2A, C-3A, C-4A AND TRACT D OF TOWNE PARKE PLAZA

ZONING:

SU-1 FOR C-1 PERMISSIVE USES TO INCLUDE RESTAURANT WITH FULL SERVICE LIQUOR AND EXCLUDING THE FOLLOWING USES: DRIVE-THRU LIQUOR ESTABLISHMENTS, NIGHT CLUBS OR LOUNGES, ADULT ENTERTAINMENT ESTABLISHMENTS, AND VEHICLE SALES AND STORAGE.

GRAPHIC SCALE
100 50 0 50 100
SCALE: 1"=100'

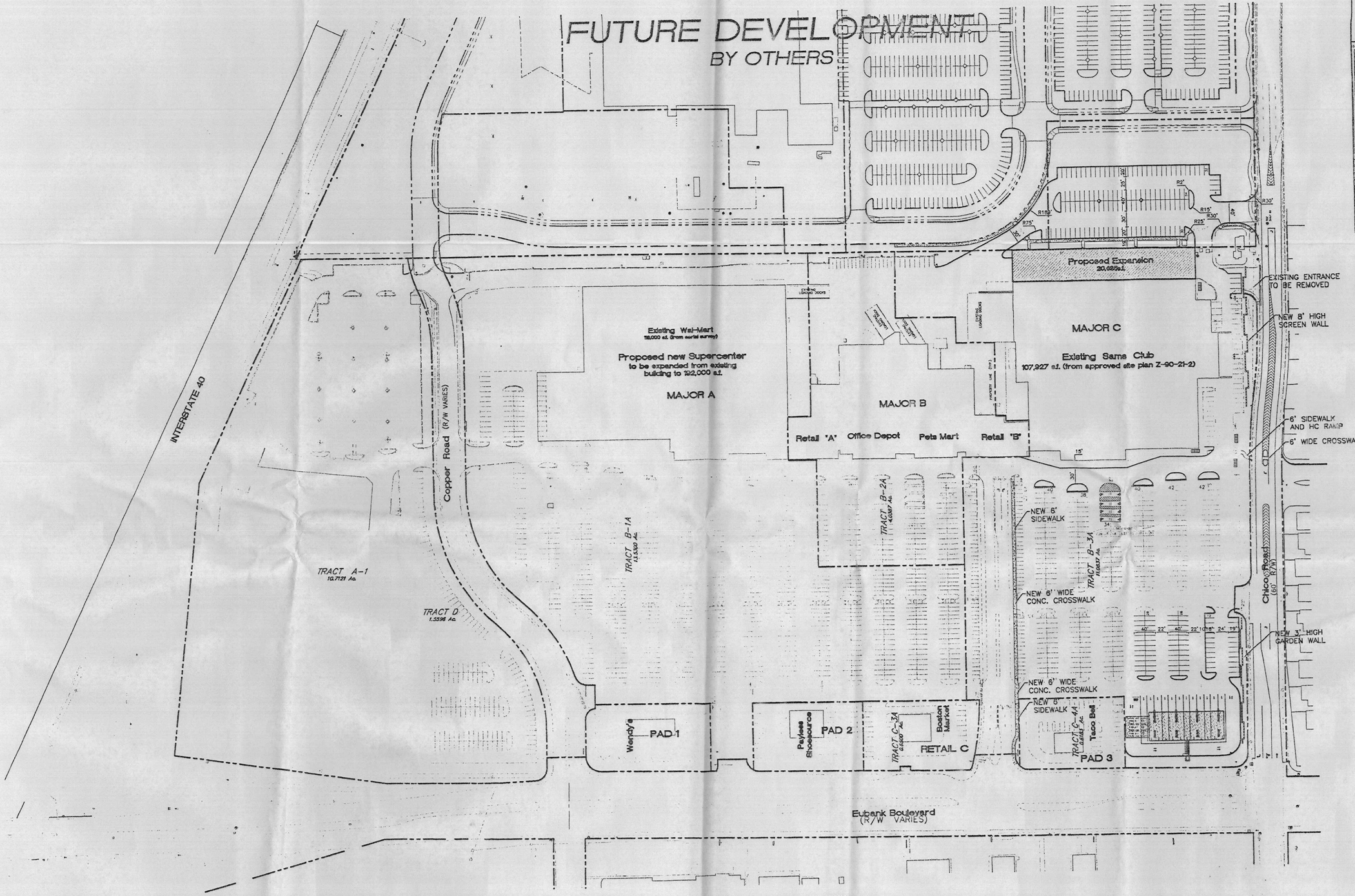
ENGINEER'S SEAL

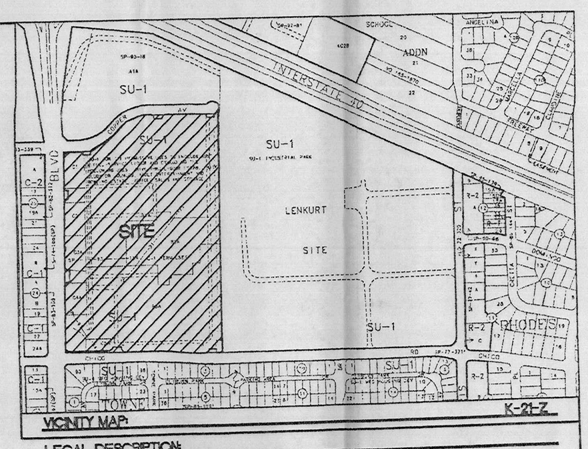
RONALD R. BOHANNAN
P.E. #7868

ALBUQUERQUE
WAL-MART EXPANSION
AMENDED SITE PLAN FOR SUBDIVISION

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY JDN
DATE 06-08-01
9929WSPS1.DWG
SHEET # 1
JOB # 990029W





VICINITY MAP

LEGAL DESCRIPTION:

TRACT B-3A LENKURT SITE

PROPOSED SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	11.0837 ACRE
EXISTING LOT AREA:	11.0837 AC
LOT 4 EXPANSION:	2.1618 AC
TOTAL LOT AREA	13.2455 AC
BUILDING AREA:	
EXISTING BUILDING:	111,434 SF
PROPOSED BUILDING EXPANSION:	21,758 SF
TOTAL BUILDING AREA:	136,082 SF
PARKING REQUIRED W/EXPANSION	680 SPACES
PARKING LOST DUE TO EXP. & GAS STATION	151 SPACES
NEW PARKING PROVIDED	154 SPACES
TOTAL PARKING PROVIDED IN BACK	121 SPACES
TOTAL PARKING PROVIDED ON SIDES	48 SPACES
TOTAL PARKING PROVIDED IN FRONT	516 SPACES
TOTAL PARKING PROVIDED	680 SPACES
HC PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	16 SPACES 2 SPACES VAN ACCESSIBLE

SHOPPING CENTER PARKING RATIO

	NO. of SPACES	BUILDING AREA	RATIO/1000 sq.ft.
SAM'S CLUB w/EXP. & GAS STATION	683	128,612 SF	5.31
EXISTING SAM'S CLUB	702	107,927 SF	6.50

GENERAL NOTES:

1. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.

PROJECT # 1000317

CASE NUMBER: Z-00128-00000-00291 AND Z-00-12

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [illegible] and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division — Date 7-19-00

Parks & ~~General Services~~ Department — Date 7-19-00

Public Works, Water Utilities Division — Date 7-19-00

City Engineer, Engineering Division / AMAFCA — Date 1/19/01

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division — Date 1/22/01

Solid Waste — Date 12-12-00

PLNZ (10706) 4/96

EXISTING PARKING DATA (from approved site plan Z-90-21-2)

	BUILDING SIZE	PARKING REQUIRED *	PARKING PROVIDED
MAJOR A	120,643	603	921
MAJOR B	49,920	250	203
MAJOR C	107,927	540	702
RETAIL A	6,240	32	0
RETAIL B	7,727	39	0
RETAIL C	8,000	40	130
PAD 1-4	28,500	143	
TOTAL	328,957	1645	1956
OVERALL RATIO:		5.01:1	5.951
MAJOR C EXPANSION	20,685	103	43
TOTAL	349,642	1748	1999
OVERALL RATIO W/EXPANSIONS:			5.72

* CALCULATED AT 1 PARKING SPACE PER 200 SF OF LEASEABLE SPACE.

SHEET INDEX

TOWN PARK PLAZA
1. AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA
2. APPROVED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA (Z-90-21-2) (FOR REFERENCE ONLY)
3. SITE PLAN FOR BUILDING PERMIT (SAM'S CLUB EXPANSION)
4. LANDSCAPING PLAN
5. MASTER UTILITY PLAN
6. GRADING AND DRAINAGE PLAN
7. BUILDING ELEVATIONS

501 MORRIS
8. AMENDED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS
9. APPROVED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS (Z-90-21-2) (FOR REFERENCE ONLY)

SERVICE STATION
10. SITE PLAN FOR BUILDING PERMIT
11. GRADING AND DRAINAGE PLAN
12. ELEVATIONS

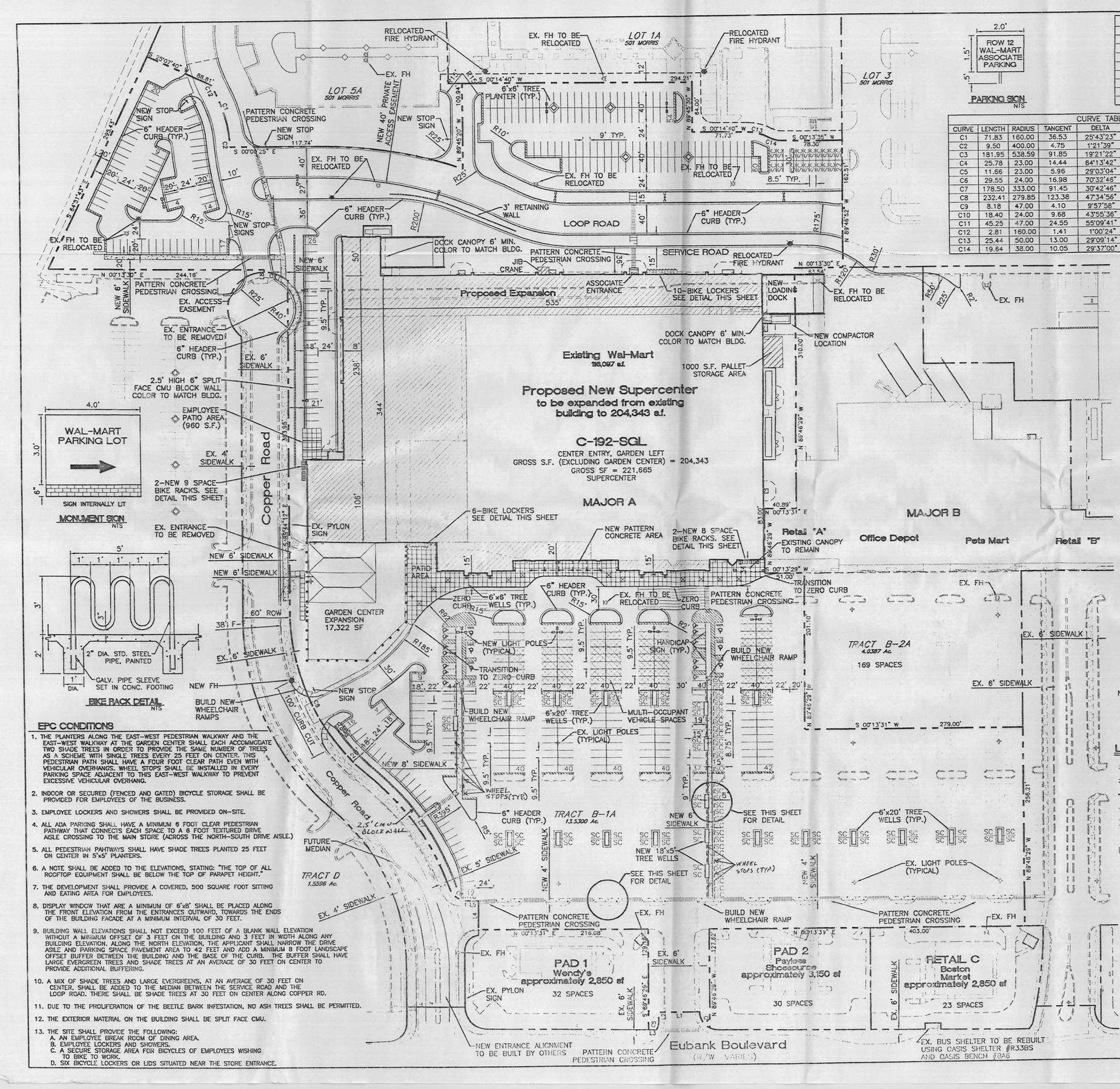
GRAPHIC SCALE

100 50 0 50 100

SCALE: 1"=100'

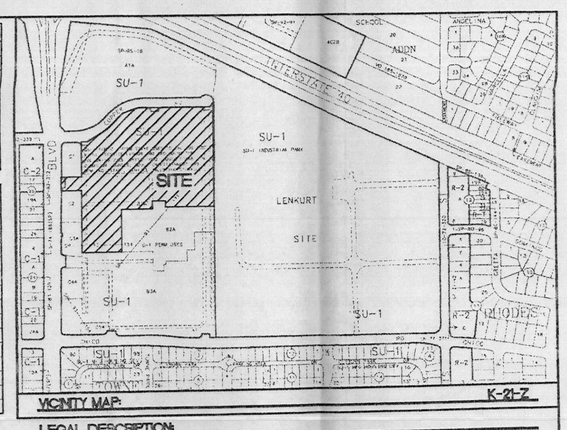
FOR REFERENCE ONLY

ENGINEER'S SEAL	ALBUQUERQUE SAM'S EXPANSION AND GAS STATION	DRAWN BY BDG
	AMENDED SITE PLAN FOR SUBDIVISION	DATE 7-07-00
		9929SPS.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 2
RONALD R. BOHANNAN P.E. #7868		JOB # 990029



LINE TABLE		
LINE	LENGTH	BEARING
L1	54.00	N00°13'31"E
L2	11.17	N89°46'30"W
L3	10.11	N00°42'08"E
L4	37.00	S89°46'29"E
L5	14.38	N00°13'31"E
L6	49.16	S89°46'29"E
L7	13.24	N00°26'10"E
L8	2.96	S89°45'51"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	71.83	160.00	36.53	25°43'23"	N72°25'34"E	71.23
C2	9.50	400.00	4.75	1°21'39"	S84°35'47"W	9.50
C3	181.95	538.59	91.85	19°21'22"	N09°39'22"E	181.09
C4	25.78	23.00	14.44	64°13'42"	S58°06'40"W	24.45
C5	11.66	23.00	5.96	29°03'04"	S75°15'00"E	11.54
C6	29.55	24.00	16.98	70°32'46"	S35°29'54"W	27.72
C7	178.50	333.00	91.45	30°42'46"	N55°24'54"E	176.37
C8	232.41	279.85	123.38	47°34'56"	S63°50'59"W	225.79
C9	8.18	47.00	4.10	9°57'58"	S44°35'14"E	8.17
C10	18.40	24.00	9.68	43°55'36"	N27°36'25"W	17.95
C11	45.25	47.00	24.55	55°09'41"	N27°31'53"E	43.52
C12	2.81	160.00	1.41	1°00'24"	S66°03'27"W	2.81
C13	25.44	50.00	13.00	29°09'14"	N15°15'58"E	25.17
C14	19.64	38.00	10.05	29°37'00"	S15°02'05"W	19.42



VICINITY MAP: K-21-Z

LEGAL DESCRIPTION:
TRACT B-1A TOWN PARKE PLAZA

PROPOSED SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	
EXISTING LOT AREA:	13.5432 AC
LOTS 1 & 5 EXPANSION:	4.3749 AC
TOTAL LOT AREA	17.9181 AC
BUILDING AREA:	
EXISTING BUILDING:	116,097 SF
PROPOSED BUILDING EXPANSION:	88,246 SF
PROPOSED GARDEN CENTER BUILDING:	17,322 SF
TOTAL BUILDING AREA:	221,665 SF
FLOOR AREA RATIO:	
EXISTING BUILDING:	0.20
WITH PROPOSED BUILDING EXPANSION:	0.28
PARKING CALCULATIONS:	
PARKING REQUIRED FOR EX. BUILDING:	580 SPACES
10% BUS CREDIT:	-58 SPACES
5% EXISTING BUS SHELTER:	-29 SPACES
TOTAL PARKING REQUIRED:	493 SPACES
TOTAL PARKING PROVIDED FOR EX. BUILDING:	908 SPACES
PARKING REQUIRED FOR BUILDING W/EXPANSIONS:	1108 SPACES
10% BUS CREDIT:	-111 SPACES
5% EXISTING BUS SHELTER:	-55 SPACES
TOTAL PARKING REQUIRED:	942 SPACES
TOTAL PARKING PROVIDED FOR BLDG. W/ EXP.:	1005 SPACES
HC PARKING REQUIRED:	20 SPACES
HC PARKING PROVIDED:	20 SPACES 8 SPACES VAN ACCESSIBLE
BIKE SPACE CALCULATIONS:	
SPACES REQUIRED (CAR SPACES/20):	50 SPACES
SPACES PROVIDED:	50 SPACES

SHOPPING CENTER PARKING RATIO

	NO. of SPACES	BUILDING AREA	RATIO/1000 sq.ft.
WAL-MART W/ EXP. & GARDEN CENTER	1005	221,665 SF	4.53
EXISTING WAL-MART	908	116,097 SF	7.82

CASE NUMBER: 01450-00000-00628

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on June 15, 2000 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN:

Traffic Engineer, Transportation Division — 6/13/01 Date

Parks & General Services Department — 6/13/01 Date

Public Works, Water Utilities Division — 6/13/01 Date

City Engineer, Engineering Division / AMAFCA — 9-10-01 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / ~~Bernalillo County~~ Planning Division — 9/7/01 Date

Solid Waste — 8-16-01 Date

PLNZ (10706) 4/96

DRB PROJ #: 1000508

EPC 00128-00000-01183

EPC CONDITIONS

1. THE PLANTERS ALONG THE EAST-WEST PEDESTRIAN WALKWAY AND THE EAST-WEST WALKWAY AT THE GARDEN CENTER SHALL EACH ACCOMMODATE TWO SHADE TREES IN ORDER TO PROVIDE THE SAME NUMBER OF TREES AS A SCHEME WITH SINGLE TREES EVERY 25 FEET ON CENTER. THIS PEDESTRIAN PATH SHALL HAVE A FOUR FOOT CLEAR PATH EVEN WITH VEHICULAR OVERHANGS. WHEEL STOPS SHALL BE INSTALLED IN EVERY PARKING SPACE ADJACENT TO THE EAST-WEST WALKWAY TO PREVENT EXCESSIVE VEHICULAR OVERHANG.
2. INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
3. EMPLOYEE LOCKERS AND SHOWERS SHALL BE PROVIDED ON-SITE.
4. ALL ADA PARKING SHALL HAVE A MINIMUM 6 FOOT CLEAR PEDESTRIAN PATHWAY THAT CONNECTS EACH SPACE TO A 6 FOOT TEXTURED DRIVE AISLE CROSSING TO THE MAIN STORE (ACROSS THE NORTH-SOUTH DRIVE AISLE.)
5. ALL PEDESTRIAN PAHTWAYS SHALL HAVE SHADE TREES PLANTED 25 FEET ON CENTER IN 5'x5' PLANTERS.
6. A NOTE SHALL BE ADDED TO THE ELEVATIONS, STATING: "THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET HEIGHT."
7. THE DEVELOPMENT SHALL PROVIDE A COVERED, 500 SQUARE FOOT SITTING AND EATING AREA FOR EMPLOYEES.
8. DISPLAY WINDOW THAT ARE A MINIMUM OF 6'x8' SHALL BE PLACED ALONG THE FRONT ELEVATION FROM THE ENTRANCES OUTWARD, TOWARDS THE ENDS OF THE BUILDING FACADE AT A MINIMUM INTERVAL OF 30 FEET.
9. BUILDING WALL ELEVATIONS SHALL NOT EXCEED 100 FEET OF A BLANK WALL ELEVATION WITHOUT A MINIMUM OFFSET OF 3 FEET ON THE BUILDING AND 3 FEET IN WIDTH ALONG ANY BUILDING ELEVATION. ALONG THE NORTH ELEVATION, THE APPLICANT SHALL NARROW THE DRIVE ASILE AND PARKING SPACE PAVEMENT AREA TO 42 FEET AND ADD A MINIMUM 8 FOOT LANDSCAPE OFFSET BUFFER BETWEEN THE BUILDING AND THE BASE OF THE CURB. THE BUFFER SHALL HAVE LARGE EVERGREEN TREES AND SHADE TREES AT AN AVERAGE OF 30 FEET ON CENTER TO PROVIDE ADDITIONAL BUFFERING.
10. A MIX OF SHADE TREES AND LARGE EVERGREENS, AT AN AVERAGE OF 30 FEET ON CENTER, SHALL BE ADDED TO THE MEDIAN BETWEEN THE SERVICE ROAD AND THE LOOP ROAD. THERE SHALL BE SHADE TREES AT 30 FEET ON CENTER ALONG COPPER RD.
11. DUE TO THE PROLIFERATION OF THE BEETLE BARK INFESTATION, NO ASH TREES SHALL BE PERMITTED.
12. THE EXTERIOR MATERIAL ON THE BUILDING SHALL BE SPLIT FACE CMU.
13. THE SITE SHALL PROVIDE THE FOLLOWING:
    A. AN EMPLOYEE BREAK ROOM OF DINING AREA.
    B. EMPLOYEE LOCKERS AND SHOWERS.
    C. A SECURE STORAGE AREA FOR BICYCLES OF EMPLOYEES WISHING TO BIKE TO WORK.
    D. SIX BICYCLE LOCKERS OR LIDS SITUATED NEAR THE STORE ENTRANCE.

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- MULTI-OCCUPANT VEHICLE SPACES
- PROPOSED PEDESTRIAN CONNECTION
- EXISTING LIGHT
- PROPOSED LIGHT
- SMALL CAR SPACE (SC)

NO.	DATE	REMARKS	BY

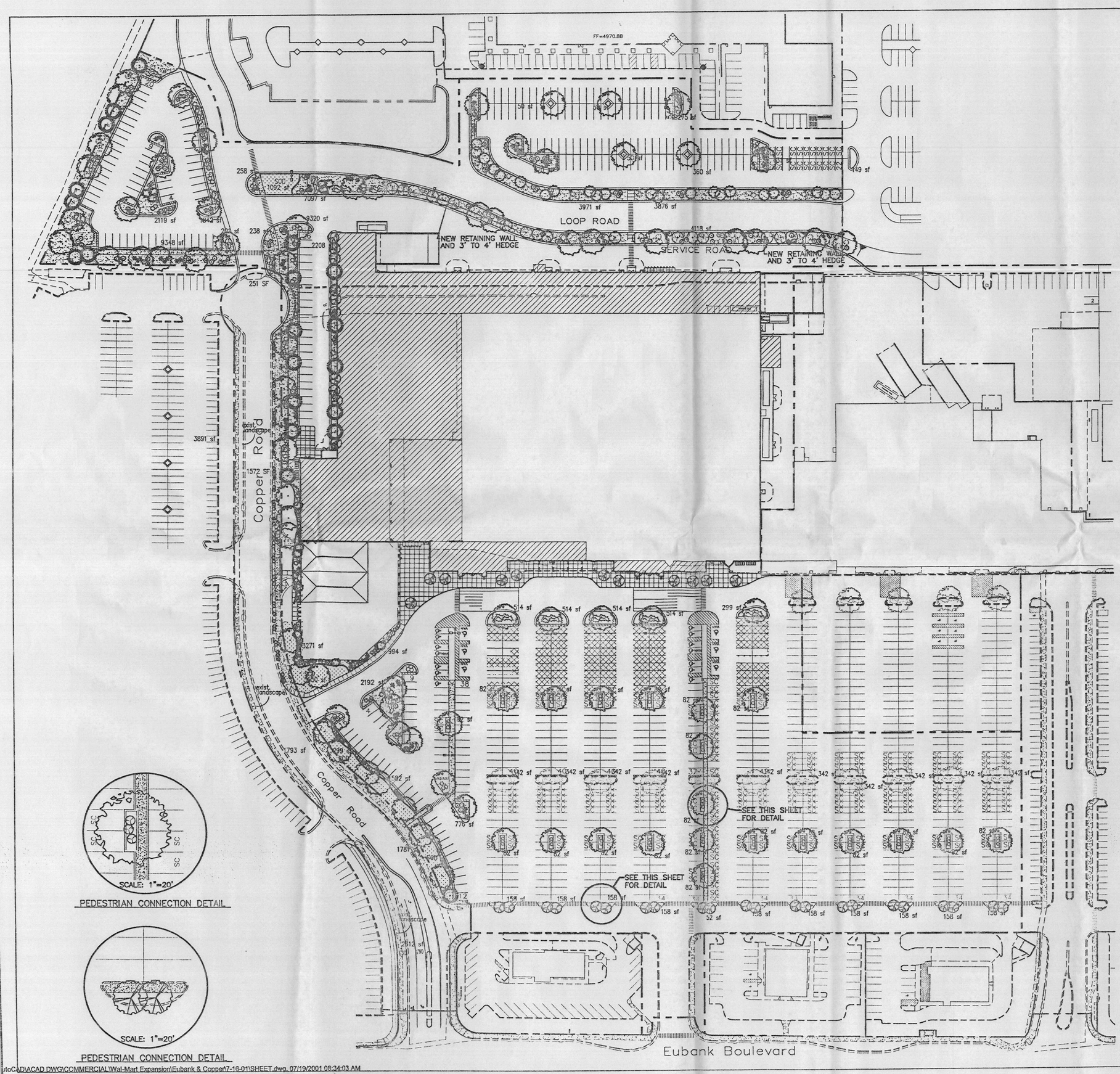
REVISIONS

ENGINEER'S SEAL — RONALD R. BOHANNAN P.E. #7868

ALBUQUERQUE
WAL-MART
EXPANSION: 835-02
SITE PLAN FOR
BUILDING PERMIT

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY: JDN
DATE: 06-08-01
9929WSP2.DWG
SHEET #: 3
JOB #: 990029W



PEDESTRIAN CONNECTION DETAIL

PEDESTRIAN CONNECTION DETAIL

PLANT LEGEND

	EXISTING LANDSCAPING	
	HONEY LOCUST (H) 88 Gleditsia triacanthos 2" Cal	
	LEYLANDII CYPRESS(M) 20 Cupressocyparis leylandii 15 GAL	
	AUSTRIAN PINE (H) 13 Pinus nigra 6-8'	
	DESERT WILLOW (M) 22 Chilosis linearis 15 GAL	
	BRADFORD PEAR (M) 47 Pyrus caleryana bradford 1 1/2" Cal	
	NEW MEXICO OLIVE (M) 16 Forestiera neomexicana 15 GAL	
	APACHE PLUME (L) 21 Fallugia paradoxa 5 gal	
	POTENTILLA (M) 50 Potentilla fruticosa 5 gal	
	RUSSIAN SAGE (M) 125 Perovskia atriplicifolia 5 gal	
	AUTUMN SAGE (M) 78 Salvia gregii 5 gal	
	CHAMISA (L) 158 Chrysothamnus nauseosis 1 gal	
	MAIDEN GRASS (M) 83 Miscanthus sinensis 5 gal	
	WILDFLOWER 146 1 GAL	
	TAM JUNIPER (L) 51 Juniperus sabina 5 gal	
	OVERSIZE GRAVEL & BOULDERS	
	3/4" SANTA ANA TAN GRAVEL W/ FILTER FABRIC	
	SOD	
	COMMERCIAL GRADE STEEL EDGING	

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPM Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day , to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to recieve native seed.

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA

TOTAL LOT AREA	772,881	square feet
TOTAL BUILDINGS AREA	216,020	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	554,661	square feet
LANDSCAPE REQUIREMENT	15	percent
TOTAL LANDSCAPE REQUIREMENT	83,199	square feet
TOTAL NEW LANDSCAPE PROVIDED	76,474	square feet
TOTAL REPLACEMENT SOD PROVIDED	11,722	square feet
TOTAL NEW BED PROVIDED	64,752	square feet
TOTAL EXISTING LANDSCAPE PROVIDED	11,865	square feet
TOTAL LANDSCAPE PROVIDED	88,339	square feet

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
it@hilltoplandscaping.com

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THE HILLTOP

GRAPHIC SCALE

60 30 0 30 60

SCALE: 1"=60'

NO.	DATE	REMARKS	BY

REVISIONS

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON 0007 REGISTERED LANDSCAPE ARCHITECT

7-17-01

JAMES DEFLON #0007

ALBUQUERQUE WAL-MART EXPANSION: 835-02

LANDSCAPING PLAN

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY JDN

DATE 04-10-01

9929WLP1.DWG

SHEET # 4

JOB # 990029W

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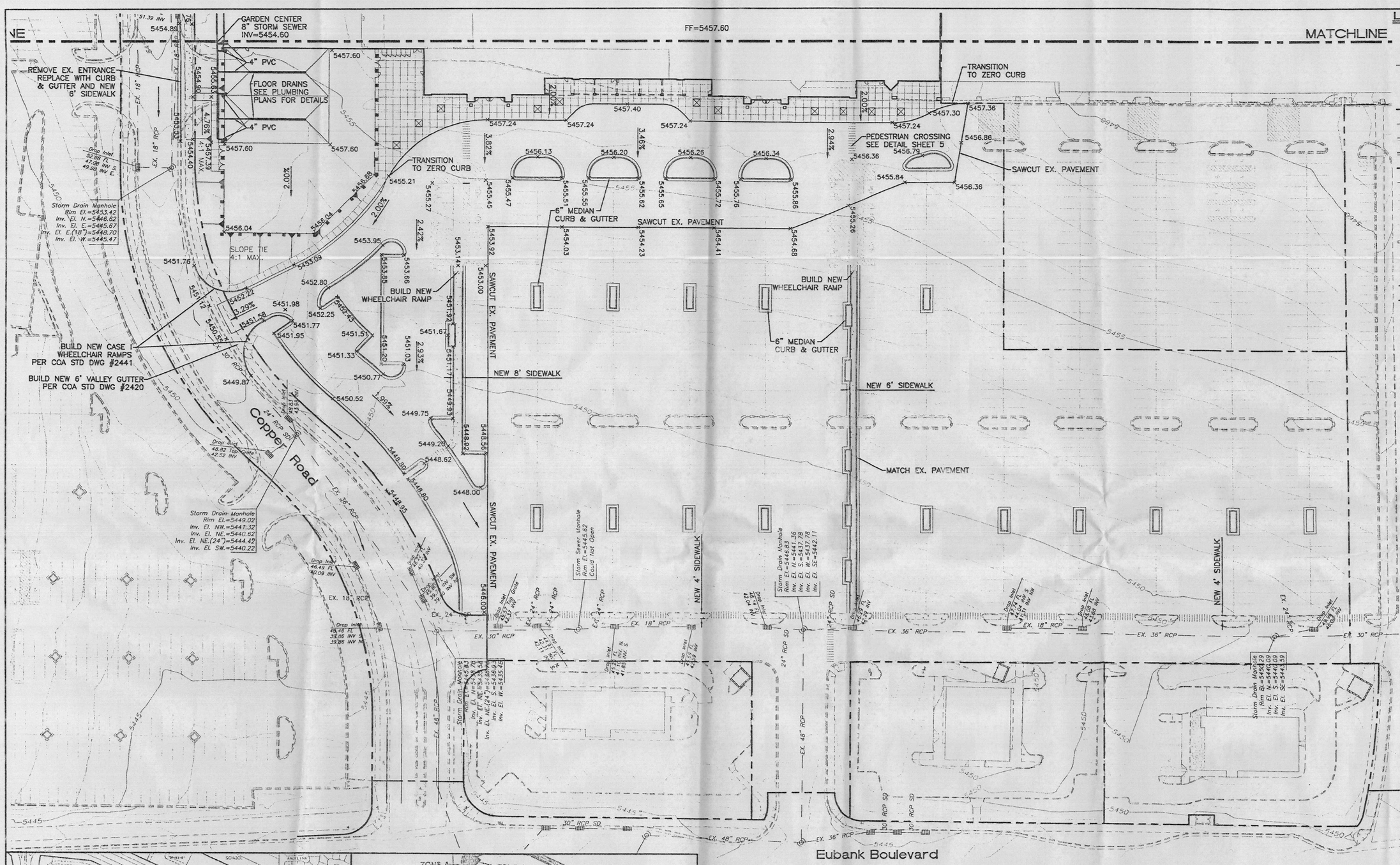
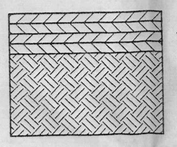
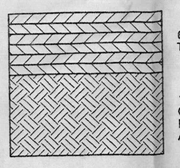


LEGEND

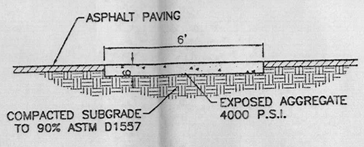
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER INLET
- EX. 24" RCP — EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED SNGL. "C" INLET
- 24" RCP — PROPOSED STORM SEWER LINE
- EXISTING FENCE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- FUTURE SIDEWALK
- PROPOSED PERIMETER WALL
- EXISTING CONTOUR
- 5010 — EXISTING INDEX CONTOUR
- 5011 — PROPOSED CONTOUR
- 5010 — PROPOSED INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- × 5048.25 — EXISTING SPOT ELEVATION
- × 5048.25 — PROPOSED SPOT ELEVATION
- × 5048.25 — FUTURE SPOT ELEVATION
- MATCH LINE



TYPICAL PAVING SECTION

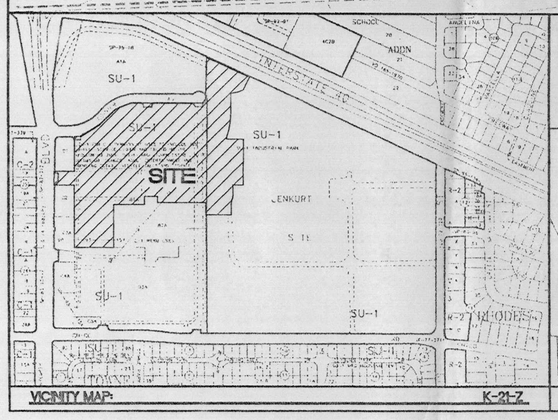


HEAVY DUTY PAVING SECTION

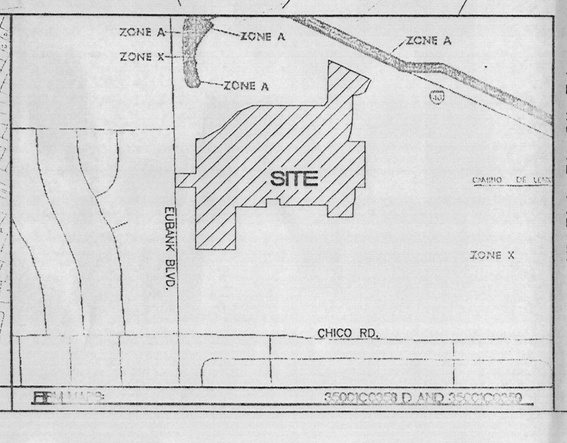


PEDESTRIAN CROSSING DETAIL

NTS



VICINITY MAP: K-21-Z



FIRM MAP: 350010C0328 D AND 350010C0329

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

NOTES:

1. ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
2. ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
3. ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
4. ALL VALLEY GUTTERS TO BE BUILD PER COA STD DWG #2420.
5. SEE SHEET 7 FOR RCP INLET DETAIL.

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

GRAPHIC SCALE
40 20 0 20 40
SCALE: 1"=40'

ROUGH GRADING APPROVAL — DATE

NO.	DATE	REMARKS	BY

REVISIONS

ENGINEER'S SEAL

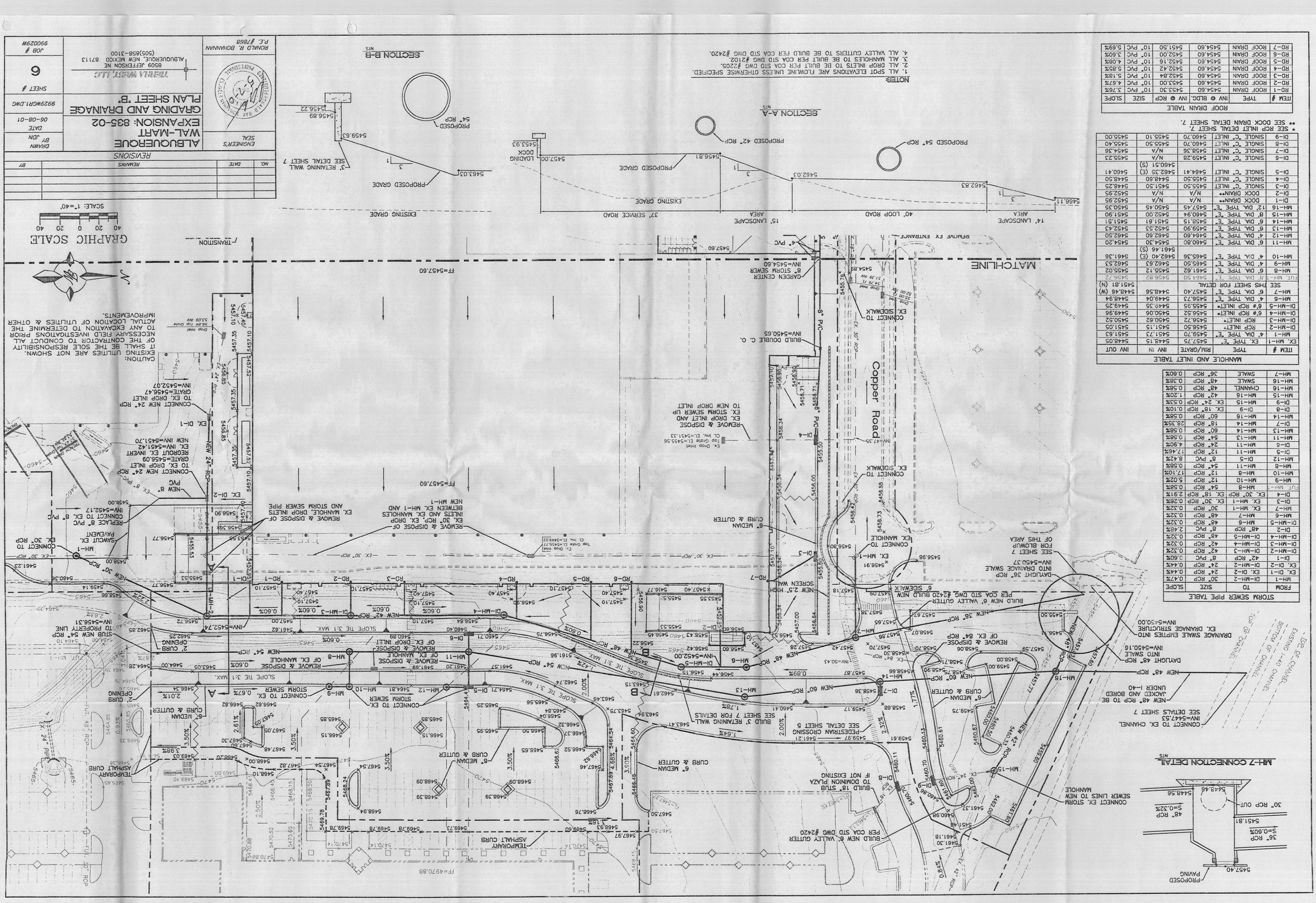
RONALD R. BOHANNAN
P.E. #7868

ALBUQUERQUE
WAL-MART
EXPANSION: 835-02

GRADING AND DRAINAGE
PLAN SHEET "A"

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY JDN
DATE 06-08-01
9929WGR1.DWG
SHEET # 5
JOB # 990029W

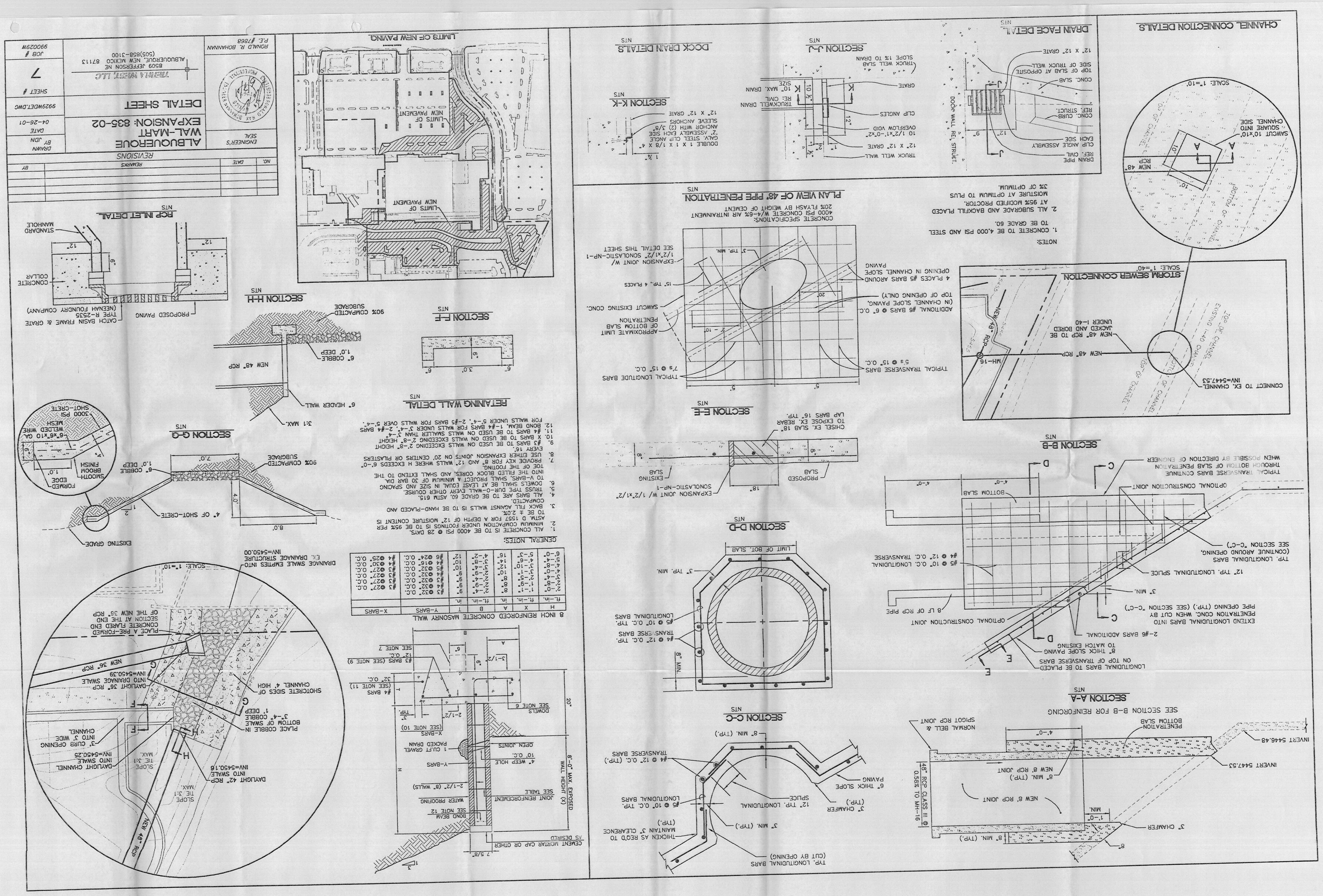


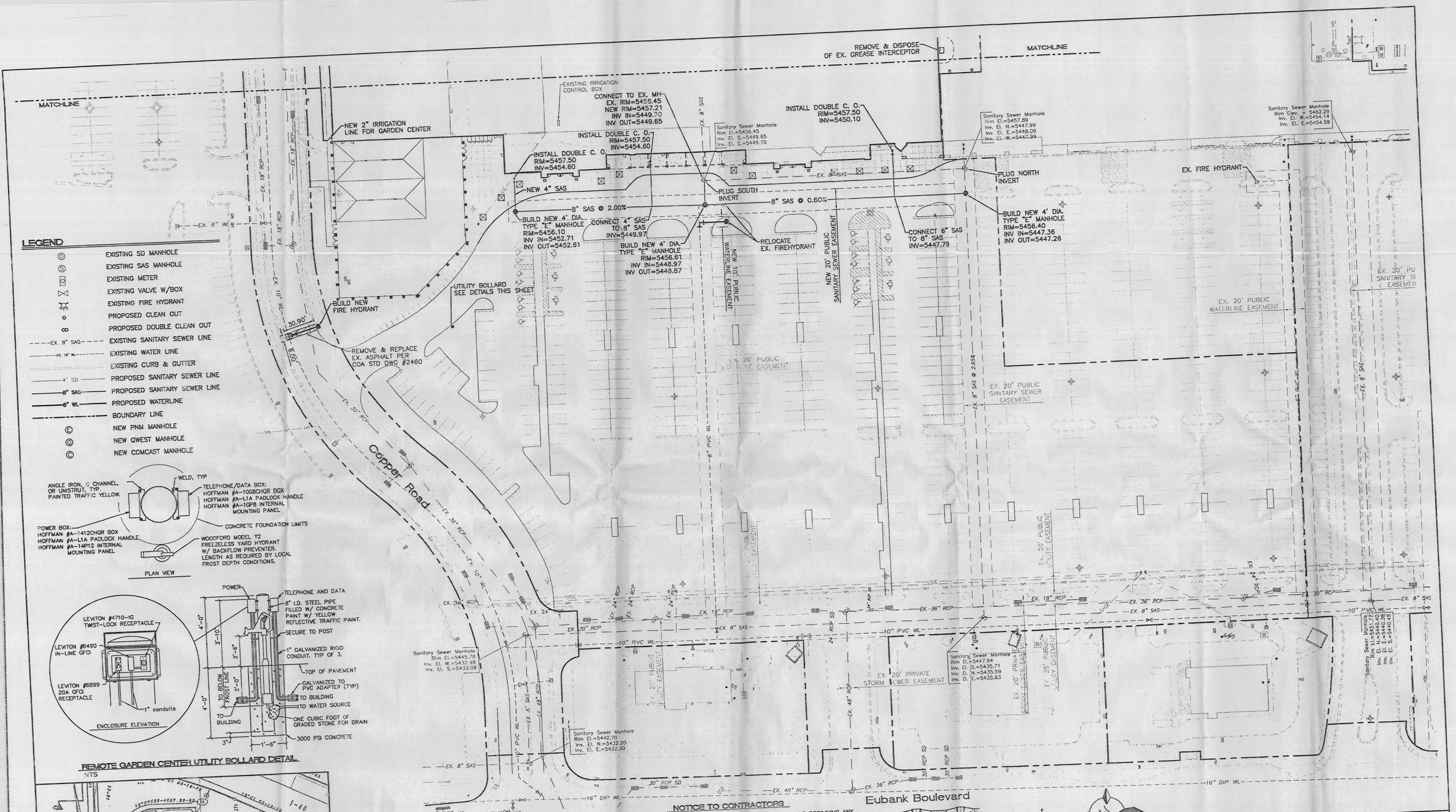
ROOF DRAIN TABLE					
ITEM #	TYPE	INV @ BLDG.	INV @ RCP	SIZE	SLOPE
RD-1	ROOF DRAIN	5454.60	5453.30	10" PVC	3.76%
RD-2	ROOF DRAIN	5454.60	5453.00	10" PVC	4.87%
RD-3	ROOF DRAIN	5454.60	5452.84	10" PVC	5.18%
RD-4	ROOF DRAIN	5454.60	5452.42	10" PVC	5.85%
RD-5	ROOF DRAIN	5454.60	5452.16	10" PVC	4.08%
RD-6	ROOF DRAIN	5454.60	5452.00	10" PVC	3.60%
RD-7	ROOF DRAIN	5454.60	5451.50	10" PVC	5.69%

* SEE RCP INLET DETAIL SHEET 7.
** SEE DOCK DRAIN DETAIL SHEET 7.

MANHOLE AND INLET TABLE			
ITEM #	TYPE	RIM/GRATE	INV IN	INV OUT
EX. MH-1	EX. TYPE "E"	5457.75	5448.15	5448.05
MH-1	4' DIA. TYPE "E"	5459.70	5451.73	5451.63
DI-MH-2	RCP INLET*	5456.50	5451.15	5451.05
DI-MH-3	RCP INLET*	5456.72	5450.62	5450.52
DI-MH-4	6'Ø RCP INLET*	5456.52	5450.05	5449.96
DI-MH-5	6'Ø RCP INLET*	5455.93	5449.55	5449.25
MH-6	4' DIA. TYPE "E"	5456.73	5449.04	5448.94
MH-7	6' DIA. TYPE "E"	5457.40	5448.56	5448.46 (W)
SEE THIS SHEET FOR DETAIL				5451.81 (N)
MH-8	6' DIA. TYPE "E"	5461.62	5455.12	5455.02
MH-9	4' DIA. TYPE "E"	5465.50	5462.63	5462.53
MH-10	4' DIA. TYPE "E"	5465.36	5462.40 (E)	5461.36
			5461.46 (S)	
MH-11	6' DIA. TYPE "E"	5460.80	5454.30	5454.20
MH-12	4' DIA. TYPE "E"	5464.60	5462.60	5462.50
MH-13	6' DIA. TYPE "E"	5459.90	5452.55	5452.45
MH-14	6' DIA. TYPE "E"	5458.15	5451.61	5451.51
MH-15	8' DIA. TYPE "E"	5460.94	5452.00	5451.90
MH-16	12' DIA. TYPE "E"	5457.45	5450.45	5450.35
DI-1	DOCK DRAIN**	N/A	N/A	5452.95
DI-2	DOCK DRAIN**	N/A	N/A	5452.95
DI-3	SINGLE "O" INLET	5455.50	5451.50	5448.25
DI-4	SINGLE "O" INLET	5455.50	5448.60	5448.50
DI-5	SINGLE "O" INLET	5464.41	5462.35 (E)	5460.41
			5460.51 (S)	
DI-6	SINGLE "O" INLET	5459.28	N/A	5455.23
DI-7	SINGLE "O" INLET	5458.36	N/A	5454.36
DI-8	SINGLE "O" INLET	5460.70	5455.50	5455.40
DI-9	SINGLE "O" INLET	5460.70	5455.10	5455.00

STORM SEWER PIPE TABLE				
FROM	TO	SIZE	SLOPE
MH-1	DI-MH-2	30" RCP	0.4%
EX. DI-1	EX. DI-2	24" RCP	0.44%
EX. DI-2	DI-MH-2	24" RCP	0.44%
DI-1	42" RCP	8" PVC	0.60%
DI-MH-2	DI-MH-3	42" RCP	0.32%
DI-MH-3	DI-MH-4	42" RCP	0.32%
DI-MH-4	DI-MH-5	48" RCP	0.32%
DI-2	48" RCP	8" PVC	2.48%
DI-MH-5	MH-6	48" RCP	0.32%
MH-6	MH-7	48" RCP	0.32%
MH-7	EX. MH-1	30" RCP	0.32%
DI-3	EX. MH-1	30" RCP	0.26%
EX. MH-1	DI-4	30" RCP	2.91%
DI-4	EX. 30" RCP	EX. 18" RCP	0.10%
DI-8	DI-9	18" RCP	0.10%
MH-14	MH-16	60" RCP	0.58%
DI-7	MH-14	18" RCP	28.35%
MH-13	MH-14	60" RCP	0.58%
MH-11	MH-13	54" RCP	0.58%
DI-6	MH-11	24" RCP	4.90%
DI-5	MH-11	12" RCP	17.46%
MH-12	DI-5	8" PVC	8.42%
MH-8	MH-11	54" RCP	0.58%
MH-10	MH-8	12" RCP	17.10%
MH-9	MH-10	12" RCP	5.02%
OUT MH-1	MH-8	54" RCP	0.58%
DI-4	EX. 30" RCP	EX. 18" RCP	2.91%
DI-3	EX. MH-1	EX. 30" RCP	0.26%
MH-7	EX. MH-1	30" RCP	0.32%
MH-6	MH-7	48" RCP	0.32%
DI-MH-5	MH-6	48" RCP	0.32%
DI-2	48" RCP	8" PVC	2.48%
DI-MH-4	DI-MH-5	48" RCP	0.32%
DI-MH-3	DI-MH-4	42" RCP	0.32%
DI-MH-2	DI-MH-3	42" RCP	0.32%
DI-1	42" RCP	8" PVC	0.60%
EX. DI-2	DI-MH-2	24" RCP	0.44%
EX. DI-1	EX. DI-2	24" RCP	0.44%
MH-1	DI-MH-2	30" RCP	0.4%


CHANNEL CONNECTION DETAILS
DRAIN FACE DETAIL
NTS
DRAIN PIPE REF: CIVIL
CLIP ANGLE ASSEMBLY EACH SIDE
CONC. CURB REF: STRUCT.
CONC. SLAB
TOP OF SLAB AT OPPOSITE SIDE OF TRUCK WELL
12" X 12" GRATE
DOCK WALL REF: STRUCT.
SECTION J-J
NTS
TRUCK WELL WALL
12" X 12" GRATE
10 1/2"X1'-0"X2" OVERFLOW VOID
CLIP ANGLES
TRUCKWELL DRAIN REF: CIVIL
10" MAX. DRAIN SIZE
GRATE
TRUCK WELL SLAB SLOPE 1% TO DRAIN
DOCK DRAIN DETAILS
NTS
SECTION K-K
NTS
DOUBLE 1 X 1 X 1/8 X 4' GALV. STEEL CLIP ANGLE 'Z' ASSEMBLY EACH SIDE ANCHOR WITH (2) 3/8" SLEEVE ANCHORS
12" X 12" GRATE
SCALE: 1"=10'
SAWCUT 10'x10' SQUARE INTO CHANNEL SIDE
NEW 48" RCP
BOTTOM OF CHANNEL
TOP OF CHANNEL
STORM SEWER CONNECTION
SCALE: 1"=40'
CONNECT TO EX. CHANNEL INV=5447.53
NEW 48" RCP
NEW 48" RCP TO BE JACKED AND BORED UNDER I-40
MH-16
NEW 48" RCP
TOP OF CHANNEL
TOP OF I-40 CHANNEL
EXISTING I-40 CHANNEL
NOTES:
1. CONCRETE TO BE 4,000 PSI AND STEEL TO BE GRADE 60.
2. ALL SUBGRADE AND BACKFILL PLACED AT 95% MODIFIED PROCTOR, MOISTURE AT OPTIMUM TO PLUS 3% OF OPTIMUM.
PLAN VIEW OF 48" PIPE PENETRATION
NTS
CONCRETE SPECIFICATIONS:
4000 PSI CONCRETE W/4-6% AIR INTRAINMENT
20% FLYASH BY WEIGHT OF CEMENT
TYPICAL TRANSVERSE BARS 5's @ 15" O.C.
TYPICAL LONGITUDE BARS 7's @ 15" O.C.
APPROXIMATE LIMIT OF BOTTOM SLAB PENETRATION
ADDITIONAL #6 BARS @ 6" O.C. (IN CHANNEL SLOPE PAVING, TOP OF OPENING ONLY)
SAWCUT EXISTING CONC.
15" TRP., 4 PLACES
4 PLACES #5 BARS AROUND OPENING IN CHANNEL SLOPE PAVING
EXPANSION JOINT W/ 1/2"x1/2" SONOLASTIC-NP-1 SEE DETAIL THIS SHEET
3" TRP. MIN.
SECTION E-E
NTS
CHISEL EX. SLAB 18" TO EXPOSE EX. REBAR LAP BARS 16" TYP.
PROPOSED SLAB
EXISTING SLAB
EXPANSION JOINT W/ 1/2"x1/2" SONOLASTIC-NP-1
SECTION B-B
NTS
TYPICAL TRANSVERSE BARS CONTINUE THROUGH BOTTOM OF SLAB PENETRATION WHEN POSSIBLE BY DIRECTION OF ENGINEER
OPTIONAL CONSTRUCTION JOINT
BOTTOM SLAB
TYP. LONGITUDINAL BARS (CONTINUE AROUND OPENING, SEE SECTION "C-C")
12" TYP. LONGITUDINAL SPLICE
#5 @ 10" O.C. LONGITUDINAL
#4 @ 12" O.C. TRANSVERSE
3" MIN.
EXTEND LONGITUDINAL BARS INTO PENETRATION CONC. WHEN CUT BY PIPE OPENING (TYP.) (SEE SECTION "C-C")
OPTIONAL CONSTRUCTION JOINT
8 LF OF RCP PIPE
2-#6 BARS ADDITIONAL
LONGITUDINAL BARS TO BE PLACED ON TOP OF TRANSVERSE BARS
8" THICK SLOPE PAVING TO MATCH EXISTING
SECTION D-D
NTS
LIMIT OF BOT. SLAB
3" TYP. MIN.
#4 @ 12" O.C. TYP. TRANSVERSE BARS
#5 @ 10" O.C. TYP. LONGITUDINAL BARS
8" MIN.
SECTION C-C
NTS
8" MIN. (TYP.)
TYP. LONGITUDINAL BARS (CUT BY OPENING)
THICKEN AS REQ'D TO MAINTAIN 3" CLEARENCE (TYP.)
3" MIN. (TYP.)
#4 @ 12" O.C. (TYP.) TRANSVERSE BARS
3" CHAMFER (TYP.)
12" TYP. LONGITUDINAL SPLICE
#5 @ 10" O.C. TYP. LONGITUDINAL BARS
6" THICK SLOPE PAVING
SECTION A-A
NTS
SEE SECTION B-B FOR REINFORCING
NORMAL BELL & SPIGOT RCP JOINT
PENETRATION BOTTOM SLAB
INVERT 5446.48
INVERT 5447.53
48" RCP CLASS III @ 0.58% TO MH-16
NEW 8' RCP JOINT
8" MIN. (TYP.)
NEW 8' RCP JOINT
3" CHAMFER
8" MIN. (TYP.)
LIMITS OF NEW PAVING
LIMITS OF NEW PAVEMENT
LIMITS OF NEW PAVEMENT
SECTION F-F
NTS
6" COBBLE 1.0' DEEP
NEW 48" RCP
6" HEADER WALL
3:1 MAX.
90% COMPACTED SUBGRADE
SECTION H-H
NTS
CATCH BASIN FRAME & GRATE TYPE R-2535 (NEENAH FOUNDRY COMPANY)
PROPOSED PAVING
CONCRETE COLLAR
STANDARD MANHOLE
RCP INLET DETAIL
NTS
RETAINING WALL DETAIL
NTS
6" HEADER WALL
3:1 MAX.
GENERAL NOTES:
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. ALL CONCRETE IN UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. ALL BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
10. X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
11. #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4
12. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".
8 INCH REINFORCED CONCRETE MASONRY WALL
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#3 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @16" O.C.	#3 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.
SECTION G-G
NTS
FORMED EDGE
SMOOTH BROOM FINISH
6"x6"x10 GA. WELDED WIRE MESH
3000 PSI SHOT-CRETE
6" COBBLE 1.0' DEEP
90% COMPACTED SUBGRADE
4" OF SHOT-CRETE
EXISTING GRADE
SCALE: 1"=10'
DRAINAGE SWALE EMPTIES INTO EX. DRAINAGE STRUCTURE INV=5450.00
PLACE A PRE-FORMED CONCRETE FLARED END SECTION AT THE END OF THE NEW 36" RCP
NEW 36" RCP
DAYLIGHT 36" RCP INTO DRAINAGE SWALE INV=5450.39
SHOTCRETE SIDES OF CHANNEL 4' HIGH
PLACE COBBLE IN BOTTOM OF SWALE 3"-4" COBBLE 1' DEEP
3" CURB OPENING INTO 3' WIDE CHANNEL
DAYLIGHT CHANNEL INTO SWALE INV=5450.25
SLOPE TIE 3:1 MAX.
DAYLIGHT 42" RCP INTO SWALE INV=5450.16
NEW 48" RCP
SLOPE TIE 3:1 MAX.
CEMENT MORTAR CAP OR OTHER AS DESIRED
BOND BEAM SEE NOTE 12
JOINT REINFORCEMENT SEE TABLE
WATER PROOFING
2-1/2" (8" WALLS)
4" WEEP HOLE 10' O.C.
Y-BARS
1 CUFT GRAVEL PACKED DRAIN
OPEN JOINTS
X-BARS (SEE NOTE 10)
DOWELS SEE NOTE 6
#3 BARS (SEE NOTE 9) 12" O.C.
#4 BARS (SEE NOTE 11) 32" O.C.
SEE NOTE 7
8'-0" MAX. EXPOSED WALL HEIGHT (X)
ROMALD R. BOHANNAN
P.E. #7868
ALBUQUERQUE WALL-MART EXPANSION: 835-02
DETAIL SHEET
TRISHA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100
DRAWN BY JDN
DATE 04-26-01
992WDET.DWG
SHEET # 7
JOB # 990029W
REVISIONS
NO. DATE REMARKS BY
ENGINEER'S SEAL

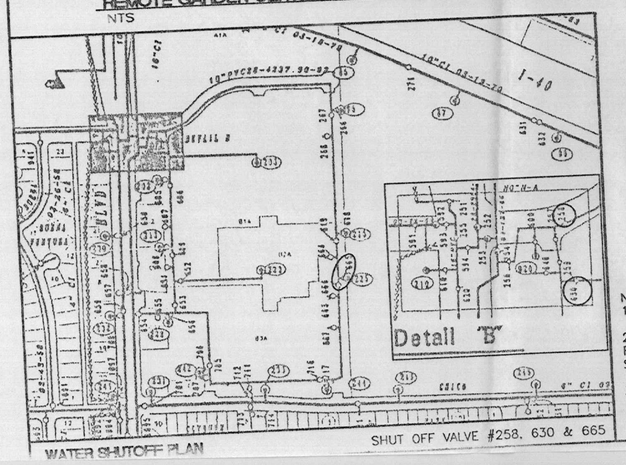


LEGEND

- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- PROPOSED CLEAN OUT
- PROPOSED DOUBLE CLEAN OUT
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. 16" WL — EXISTING WATER LINE
- EXISTING CURB & GUTTER
- 4" SD — PROPOSED SANITARY SEWER LINE
- 8" SAS — PROPOSED SANITARY SEWER LINE
- 8" WL — PROPOSED WATERLINE
- BOUNDARY LINE
- NEW PNM MANHOLE
- NEW QWEST MANHOLE
- NEW COMCAST MANHOLE

REMOTE GARDEN CENTER UTILITY BOLLARD DETAIL

NTS



WATER SHUTOFF PLAN

SHUT OFF VALVE #258, 630 & 665

CAUTION:

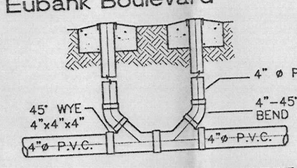
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

NOTES:

1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE PLAN ON THE LEFT.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING



TYPICAL DOUBLE CLEANOUT DETAIL

NTS

NO.	DATE	REMARKS	BY

REVISIONS

ENGINEER'S SEAL

RONALD R. BOHANNAN P.E. #7868

ALBUQUERQUE WAL-MART EXPANSION: 835-02

MASTER UTILITY PLAN SHEET "A"

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY	JDN
DATE	06-08-01
	9929WMU.DWG
SHEET #	8
JOB #	990029W

CONNECT TO EX. MANHOLE
ADJUST EX. MANHOLE COVER
EX. RIM=5459.13
NEW RIM=54
INV IN=5450.40
INV OUT=5450.19

CONNECT TO EX. 10" WL WITH 90° BEND
REMOVE & DISPOSE OF EX. 10" WL AFTER THIS CONNECTION

RELOCATED FH

NEW 10" PRIVATE WL

CONNECT TO EX. FIRELINES

RELOCATED FH

CONNECT TO EX. 8" FIRELINE WITH 90° BEND
REMOVE & DISPOSE OF EX. 8" FIRELINE

EX. ELECTRIAL PANEL TO REMAIN

CONNECT TO EX. GASLINE

FUTURE MH
RIM=54
INV IN=5457.48
INV OUT=5457.38

REMOVE & DISPOSE OF EX. MANHOLE

REMOVE & REPLACE EX. 8" SAS

REPLACE EX. MANHOLE
BUILD NEW 4' DIA. TYPE "E" MANHOLE
RIM=5462.91
INV IN=5452.53
INV OUT=5452.43

ADJUST EX. CLEANOUT
EX. RIM=54
NEW RIM=54

REPLACE EX. MANHOLE
BUILD NEW 4' DIA. TYPE "E" MANHOLE
RIM=5465.60
INV IN (S)=5454.99
INV IN (E)=5462.84
INV OUT=5454.89

REMOVE & REPLACE EX. 8" SAS

NEW 8" SAS @ 0.64%

BUILD STUB TO THE PROPERTY LINE
INV=5456.38

FUTURE MANHOLE
RIM=5465.25
INV IN=5456.71
INV OUT=5456.61

EX. 8" SAS TO BE REMOVED & DISPOSED

EX. 10" WL TO BE REMOVED & DISPOSED

REMOVE & DISPOSE OF EX. MANHOLES

EX. GASLINE TO BE ABANDONDED

REMOVE & DISPOSE OF EX. MANHOLE

RELOCATE EX. FIRE HYDRANT

EX. 8" SAS TO BE REMOVED & DISPOSED

RELOCATED FIRE HYDRANT

RELOCATE EX. FIRE HYDRANT

RELOCATE EX. FIRE HYDRANT

REMOVE & DISPOSE OF EX. MANHOLES

PLACE NEW UTILITY MANHOLES

EX. PNM MANHOLE TO BE REMOVED

RELOCATED WATER METER

RELOCATED EX. FIRE HYDRANT

REMOVE & REPLACE EX. 10" WL

RELOCATED WATER METER

NEW UTILITY TRENCH

RELOCATED FH

INTERCEPT DRY UTILITIES AT THIS LOCATION

EX. PNM PULLBOX ADJUST COVER IF NEEDED

NEW TELEPHONE SERVICE

NEW TRANSFORMER AND METER

NEW 8" FIRELINE CONNECTION

3" SERVICE W/ 2" METER

RELOCATE EX. UTILITY TRENCH

RELOCATE EX. WATER METER AND FIRE HYDRANT

NEW 3-PHASE LINE

CONNECT NEW 3-PHASE LINE TO NEAREST UTILITY POLE PER PNM

RECONNECT NEW UTILITIES TO EX. UTILITIES

REMOVE EX. GAS METER

Above Ground Panel Box

EX. QWEST MH ADJUST RIM TO 5459.36

EX. FIRE HYDRANT

CONNECT TO EX. 10" WL

RELOCATE EX. FIRE HYDRANT

RELOCATE EX. WATER METER

REMOVE & DISPOSE EX. 10" WL

EX. TRANSFORMER AND METER TO BE RELOCATED

RELOCATE EX. ELECTRICAL PANEL

EX. 100 PAIR TELEPHONE SERVICE TO BE RELOCATED

REMOVE & DISPOSE EX. 10" WL

EX. LANDSCAPING HOTBOX TO BE RELOCATED

LOCATION OF NEW GAS METER

CONNECT EX. SERVICE TO NEW GASLINE

NEW 2" METER FOR IRRIGATION LINE TO GARDEN CENTER

ADJUST EX. MONITORING WELL BOX TO GRADE

Copper Road

NEW GREASE INTERCEPTOR SEE ARCHITECTURAL PLANS

REMOVE & DISPOSE OF EX. GREASE INTERCEPTOR

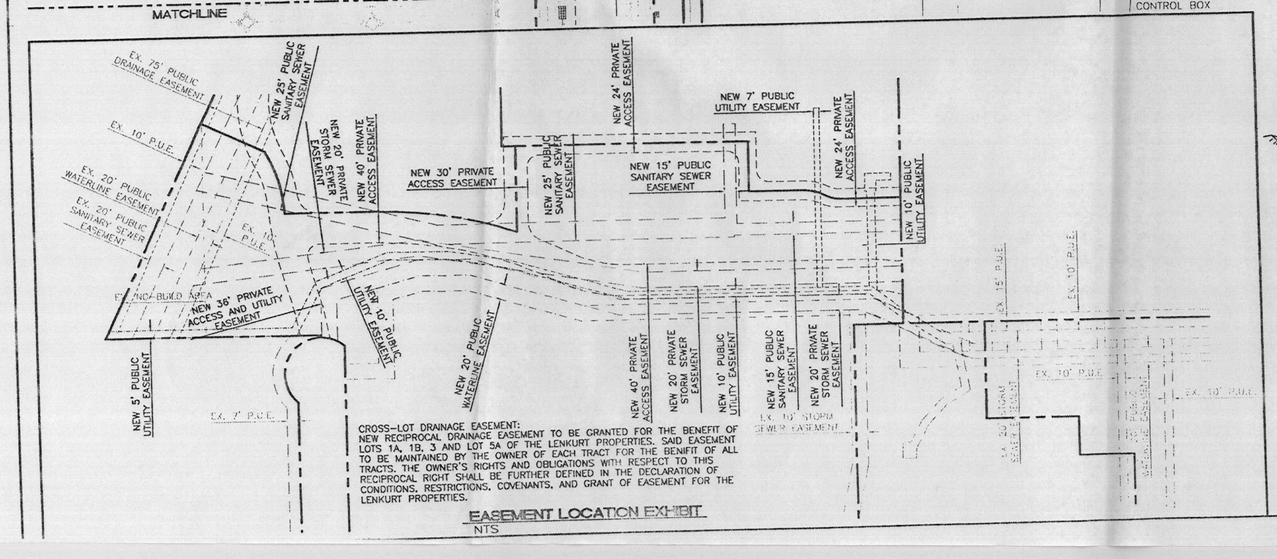
MATCHLINE

EXISTING IRRIGATION CONTROL BOX

MATCHLINE

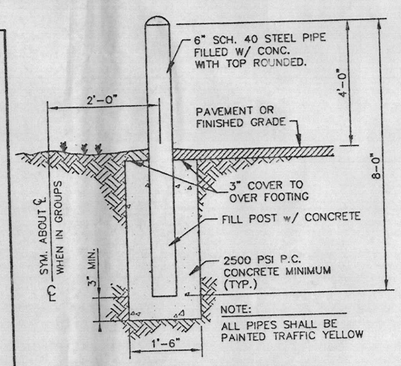
LEGEND

	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	PROPOSED CLEAN OUT
	PROPOSED DOUBLE CLEAN OUT
EX. 8" SAS	EXISTING SANITARY SEWER LINE
EX. 16" WL	EXISTING WATER LINE
	EXISTING CURB & GUTTER
4" SD	PROPOSED SANITARY SEWER LINE
8" SAS	PROPOSED SANITARY SEWER LINE
8" WL	PROPOSED WATERLINE
	BOUNDARY LINE



CROSS-LOT DRAINAGE EASEMENT:
NEW RECIPROCAL DRAINAGE EASEMENT TO BE GRANTED FOR THE BENEFIT OF LOTS 1A, 1B, 3 AND LOT 5A OF THE LENKURT PROPERTIES. SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. THE OWNER'S RIGHTS AND OBLIGATIONS WITH RESPECT TO THIS RECIPROCAL RIGHT SHALL BE FURTHER DEFINED IN THE DECLARATION OF CONDITIONS, RESTRICTIONS, COVENANTS, AND GRANT OF EASEMENT FOR THE LENKURT PROPERTIES.

EASEMENT LOCATION EXHIBIT
NTS



NOTE:
ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW

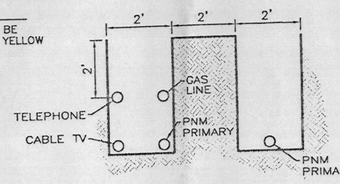
PIPE BOLLARD DETAIL
NTS

GENERAL NOTES:

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



UTILITY TRENCH DETAIL
NTS

GRAPHIC SCALE
40 20 0 20 40
SCALE: 1"=40'

NO.	DATE	REMARKS	BY

REVISIONS

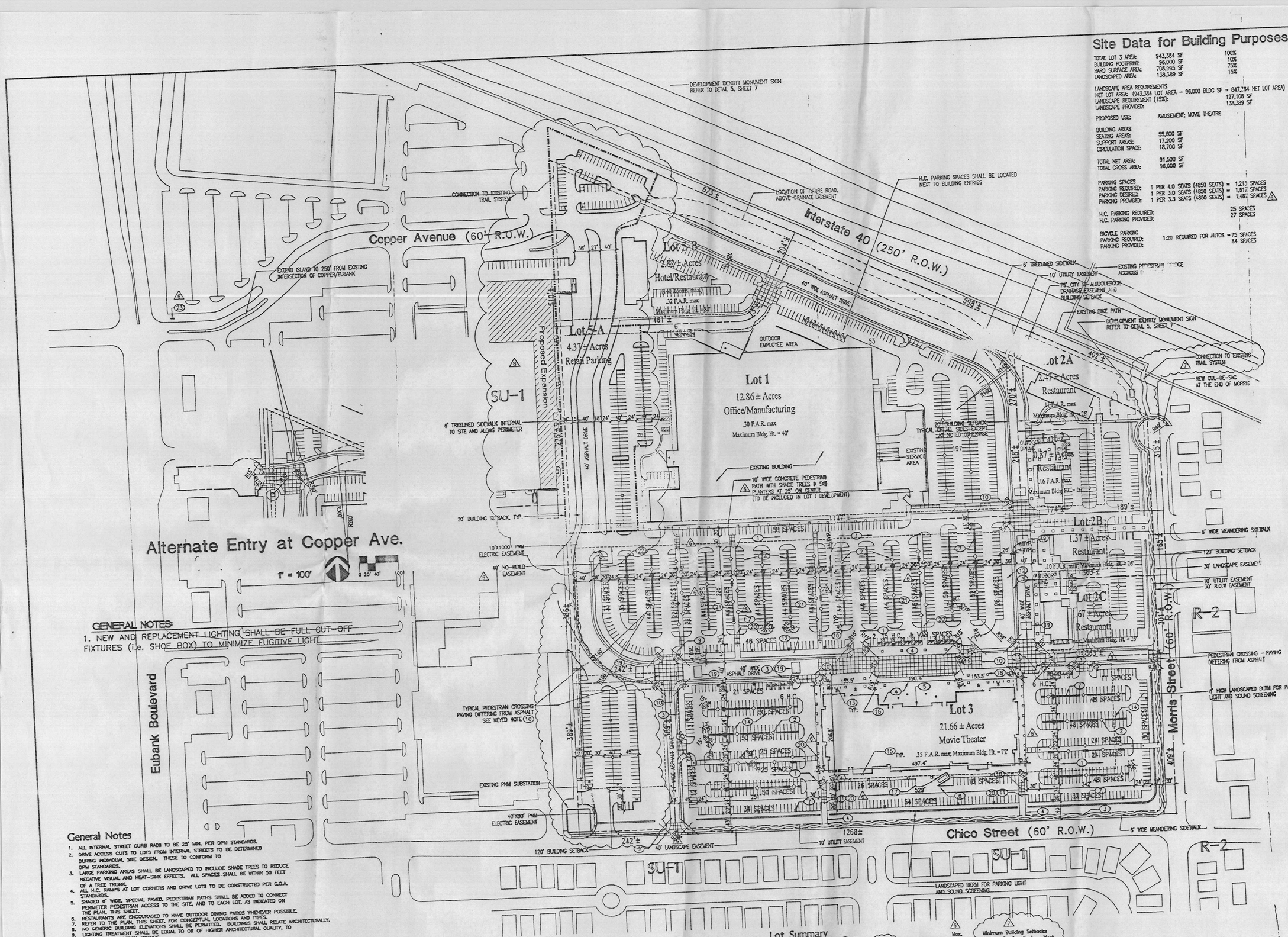
ENGINEER'S SEAL

RONALD R. BOHANNAN P.E. #7868

ALBUQUERQUE
WAL-MART
EXPANSION: 835-02
MASTER UTILITY PLAN
SHEET "B"

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY JDN
DATE 06-08-01
9929WMU.DWG
SHEET # 9
JOB # 990029W



Site Data for Building Purposes

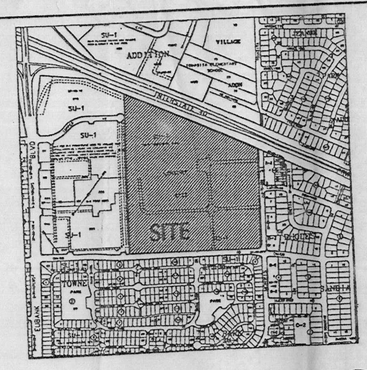
TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
HARD SURFACE AREA:	708,995 SF	75%
LANDSCAPED AREA:	138,389 SF	15%

LANDSCAPE AREA REQUIREMENTS
NET LOT AREA: (943,384 LOT AREA – 96,000 BLDG SF = 847,384 NET LOT AREA)
LANDSCAPE REQUIREMENT (15%): 127,108 SF
LANDSCAPE PROVIDED: 138,389 SF

PROPOSED USE: AMUSEMENT; MOVIE THEATRE

BUILDING AREAS	
SEATING AREAS:	55,600 SF
SUPPORT AREAS:	17,200 SF
CIRCULATION SPACE:	18,700 SF
TOTAL NET AREA:	91,500 SF
TOTAL GROSS AREA:	96,000 SF

PARKING SPACES		
PARKING REQUIRED:	1 PER 4.0 SEATS (4850 SEATS) =	1,213 SPACES
PARKING DESIRED:	1 PER 3.0 SEATS (4850 SEATS) =	1,617 SPACES
PARKING PROVIDED:	1 PER 3.3 SEATS (4850 SEATS) =	1,467 SPACES △3
H.C. PARKING REQUIRED:		25 SPACES
H.C. PARKING PROVIDED:		27 SPACES
BICYCLE PARKING		
PARKING REQUIRED:	1:20 REQUIRED FOR AUTOS =	75 SPACES
PARKING PROVIDED:		84 SPACES



Vicinity Map

K-21-Z

Keyed Notes for Building Purposes

1. ASPHALT PAVING.
2. 6' CURB TREE PLANTER, TYP.
3. 5' WIDE CONCRETE SIDEWALK.
4. CONCRETE PAVING.
5. ENTRY.
6. EARTHTONE REFUSE ENCLOSURE TO MATCH BUILDING COLOR. REFER TO ELEVATION 4, SHEET 7.
7. LIGHT POLE, TYP. REFER TO ELEVATION 2, SHEET 7.
8. NOT USED.
9. △5 35' CLEAR SIGHT TRIANGLE, TYP.
10. PEDESTRIAN CROSSING, SCORED COLORED CONCRETE.
11. H.C. ACCESSIBLE RAMP, TYP.
12. LANDSCAPE AREA.
13. BIKE RACK PARKING FOR 42 EACH SIDE. REFER TO ELEVATION 3, SHEET 7.
14. 9'X20' TYPICAL STRIPED PARKING SPACE.
15. BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
16. PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
17. SERVICE/DELIVERY AREA.
18. TREE GRATES
19. SPEED TABLES, TYP.
20. BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
21. 12' WIDE TREELINED PEDESTRIANWAY WITHIN PARKING AREA.
22. CONCRETE PARKING STOPS, TYPICAL.
23. WAY FINDING SIGNAGE VIA COPPER AVENUE.

General Notes for Building Purposes

1. AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
2. AREA LIGHTING SHALL NOT HAVE AN OFF-SHINE LUMINANCE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLANE SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

Legend

- 14' HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- 18' HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- BUILDING MOUNTED SITE LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HSP FIXTURE @ 18' ABOVE GRADE.
- 12' HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER:
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

	DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	
PARKS AND RECREATION	
PUBLIC WORKS, WATER UTILITIES DIVISION	
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA	
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.	
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	

PLNZ (10706) 4/98

ADMINISTRATIVE DEVELOPMENT PLAN AMENDMENT
FILE NO. AA- 00234 00000 0/313
PLANNING DIRECTOR — DATE

Facility Re-utilization:

501 Morris

Albuquerque, New Mexico

7/28/98

REVISED 10/7/98 △
REVISED 9/22/98 △
REVISED 9/19/00 △1
REVISED 9/16/98 △
REVISED 1/25/99 △
REVISED 9/2/98 △
REVISED 12/29/98 △
REVISED 8/31/98 △

Site Plan

T = 120'

0 20' 40' 100'

General Notes

1. ALL INTERNAL STREET CURB RADII TO BE 25' MIN. PER DPM STANDARDS.
2. DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
3. LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
4. ALL H.C. RAMPS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
5. SHADED 6' WIDE, SPECIAL PAVED, PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PERIMETER PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
6. RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE.
7. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
8. NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
9. LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOEBOX FIXTURE.
10. THERE SHALL BE 35' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
11. PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
12. SIGNAGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
13. NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
14. AN 8' HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
15. NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THIS PLAN SHALL BE ALLOWED ONTO CHICO OR MORRIS STREETS.
16. NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
17. ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5B, AND 2C SHALL HAVE LETTERS OF 3' HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4' HIGH, MAX.
18. THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
19. NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
20. NO UP LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
21. UP LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
22. POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. (CONDITION 3) △1
23. POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. (CONDITION 4)
24. OFF-PREMISE BILLBOARD SIGNS WILL NOT BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 6) △1
25. CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 6)
26. BIKE STORAGE WILL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET (WITHIN EACH ESTABLISHMENT. (CONDITION 8) △1
27. (MAXIMUM LETTER SIZE ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: PADS LESS THAN 10,000 SF 3' MAX; PADS GREATER THAN 10,000 SF 4' MAX. MAJOR BUILDINGS 3' MAX. (CONDITION 7)
28. BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 8)
29. BUILDING MOUNTED LIGHTS ON PAD SITES SHALL BE LIMITED TO THE MINIMUM IS THE MAXIMUM PER THE DESIGNATED USE. (CONDITION 13)
30. THE PARKING ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MINIMUM PER THE DESIGNATED USE. (CONDITION 14)
31. STREET TREES ALONG CHICO AND MORRIS SHALL BE SYCOMORES, 3 1/2" CALIPER, MIN. (CONDITION 15)
32. ALL HVAC UNITS WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 16)
33. ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PADS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE SITE WITH THE EXCEPTION OF LOT 3. (CONDITION 16)
34. LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W. △1
35. CONNECTION TO THE EXISTING BIKE TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE. △1

Legal Description

BEING A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWNE PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REPLAT OF TOWNE PARK PLAZA; ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40; ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept

THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

Land Utilization

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDING THEY ARE PERMISSIVE OR CONDITIONAL USES UNDER THE IP ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A FAR OF 0.19.

Lot Summary

Lot No.	Acres	Uses	Building GSF	F.A.R.*	Bldg. Ht.	Max. Bldg. Ht.	Minimum Building Setbacks North	South	East	West
1	12.86	OFFICE/MANUFACTURING	200,000	.36	40'	40'	75'	20'	20'	20'
2	0.87	RESTAURANT	6,000	.16	26'	26'	20'	20'	20'	20'
2A	2.47	RESTAURANT	12,000	.11	26'	26'	75'	20'	120'	20'
2B	1.37	RESTAURANT	6,000	.10	26'	26'	20'	20'	120'	20'
2C	1.67	RESTAURANT	6,000	.08	26'	26'	26'	20'	120'	20'
3	21.66	AMUSEMENT	96,000	.10	72'	72'	40'	120'	120'	20'
** 4	2.19	OFFICE	30,000	.32	26'	26'	20'	120'	20'	20'
5A	4.37	RETAIL PARKING	NONE	N/A	N/A	N/A	75'	20'	20'	20'
5B	2.82	HOTEL/RESTAURANT	39,000	.32	84'	84'	75'	20'	20'	20'
Totals	48.09		365,000	.17						

*F.A.R. = FLOOR AREA RATIO

** LOT 4 ELIMINATED & CHANGED TO DRAINAGE POND AND RETAIL INCORPORATED IN CASE: Z-0139-00000-00291 AND Z-00-12 TOWNE PARK SITE DEVELOPMENT PLAN

NOTE: BUILDING SQUARE FOOTAGES MAY BE HIGHER, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

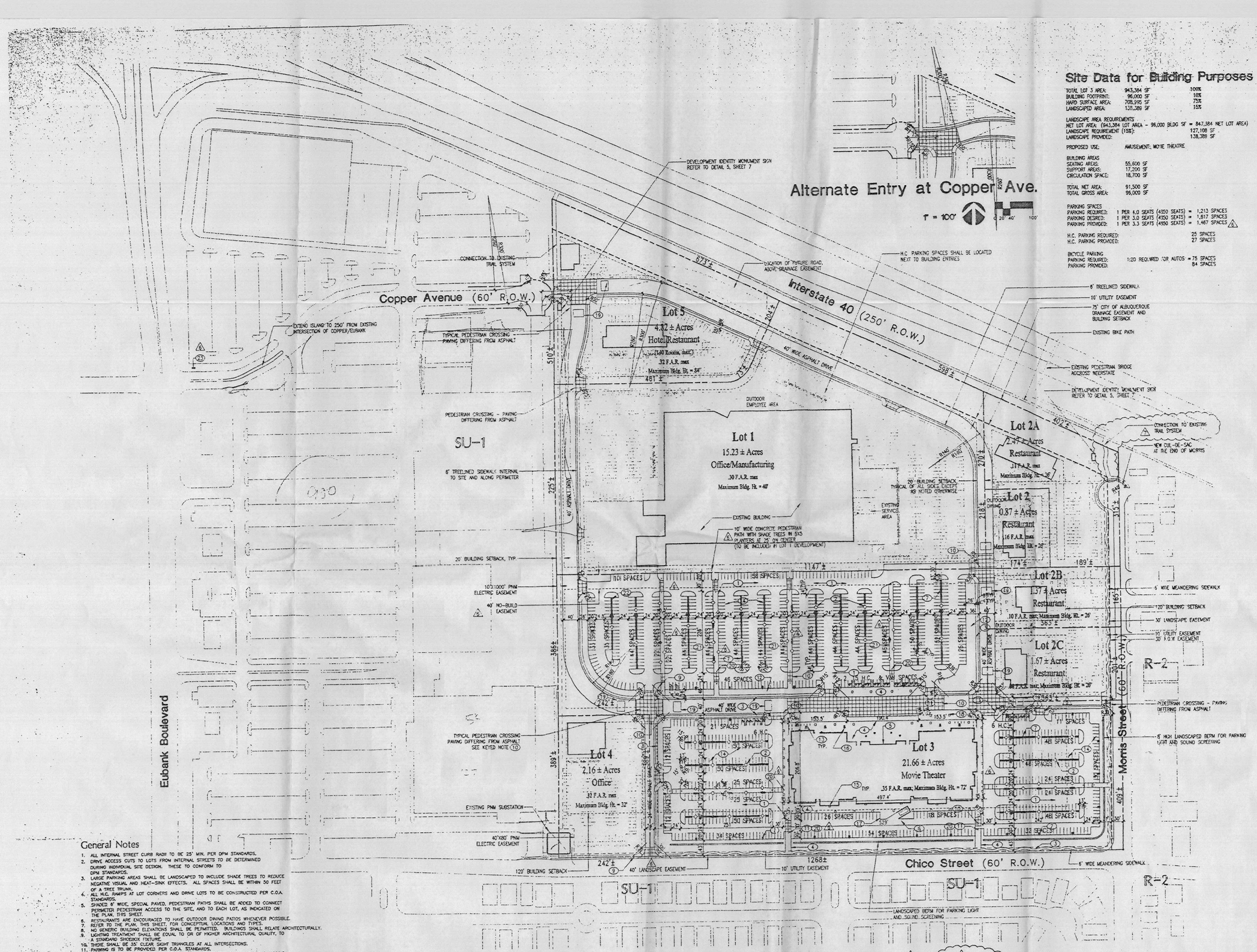
DRB Submittal for Case Z-98-114: IP Master Plan/Site Plan for Subdivision

ENGINEER'S SEAL	501 MORRIS
	ADMENISTRATIVE AMENDMENT
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100
RONALD R. BOHANNAN P.E. #7868	

DRAWN BY	JDN
DATE	09-19-00
	AMENDSP1.DWG
SHEET #	13
JOB #	990029W

FOR REFERENCE ONLY

Copy for Applicant



Site Data for Building Purposes

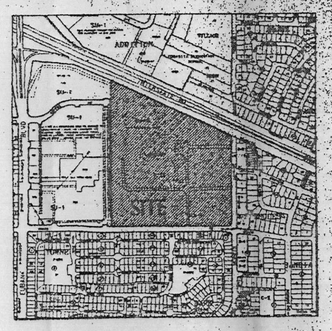
TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
HARD SURFACE AREA:	708,995 SF	75%
LANDSCAPED AREA:	138,389 SF	15%

LANDSCAPE AREA REQUIREMENTS
NET LOT AREA: (943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)
LANDSCAPE REQUIREMENT (15%): 127,108 SF
LANDSCAPE PROVIDED: 138,389 SF

PROPOSED USE: AMUSEMENT; MOVIE THEATRE

BUILDING AREAS	
SEATING AREAS:	55,600 SF
SUPPORT AREAS:	17,200 SF
CIRCULATION SPACE:	18,700 SF
TOTAL NET AREA:	91,500 SF
TOTAL GROSS AREA:	96,000 SF

PARKING SPACES		
PARKING REQUIRED:	1 PER 4.0 SEATS (4350 SEATS) =	1,213 SPACES
PARKING DESIRED:	1 PER 3.0 SEATS (4750 SEATS) =	1,817 SPACES
PARKING PROVIDED:	1 PER 3.3 SEATS (4950 SEATS) =	1,487 SPACES △3
H.C. PARKING REQUIRED:		25 SPACES
H.C. PARKING PROVIDED:		27 SPACES
BICYCLE PARKING		
PARKING REQUIRED:	1:20 REQUIRED FOR AUTOS =	75 SPACES
PARKING PROVIDED:		84 SPACES



Vicinity Map

K-21-Z

Keyed Notes for Building Purposes

1. ASPHALT PAVING.
2. 6" CURB TREE PLANTER, TYP.
3. 6' WIDE CONCRETE SIDEWALK.
4. CONCRETE PAVING.
5. ENTRY.
6. EARTHTONE REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7
7. LIGHT POLE, TYP., REFER TO ELEVATION 2, SHEET 7.
8. NOT USED.
9. 35' CLEAR SIGHT TRIANGLE, TYP
10. PEDESTRIAN CROSSING, SCORED COLORED CONCRETE.
11. H.C. ACCESSIBLE RAMP, TYP
12. LANDSCAPE AREA.
13. BIKE RACK PARKING FOR 42 EACH SIDE, REFER TO ELEVATION 3, SHEET 7
14. 9'x20' TYPICAL STRIPED PARKING SPACE
15. BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
16. PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
17. SERVICE/DELIVERY AREA.
18. TREE GRATES.
19. SPEED TABLES, TYP.
20. BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
21. 12' WIDE TREELINED PEDESTRIANWAY WITHIN PARKING AREA.
22. CONCRETE PARKING STOPS, TYPICAL.
23. WAY FINDING SIGNAGE VIA COPPER AVENUE.

General Notes for Building Purposes

1. AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
2. AREA LIGHTING SHALL NOT HAVE AN OFF-SHINE LUMINANCE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

Legend

PHC	18' HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7
HO	18' HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7
TP	BUILDING MOUNTED SITE LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HSP FIXTURE @ 18' ABOVE GRADE.
HO	12' HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 14" CUT OFF, FORWARD THROW 150W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7

CASE NUMBER: Z-98-114

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

TRAFFIC ENGINEER TRANSPORTATION DIVISION	DATE
DESIGN AND DEVELOPMENT, CIP	DATE
PUBLIC WORKS WATER UTILITIES DIVISION	DATE
CITY ENGINEER ENGINEERING DIVISION / AMAFCA	DATE

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED IN THE DEVELOPMENT PROCESS MANUAL

CITY PLANNER ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE

PLN2 (10/2001) 4/96

FOR REFERENCE ONLY

Facility Re-utilization:

501 Morris

7/28/98

Albuquerque, New Mexico

REVISED 10/7/98 △1
REVISED 9/22/98 △1
REVISED 9/16/98 △1
REVISED 1/25/99 △1 REVISED 9/2/98 △1
REVISED 12/29/98 △1 REVISED 8/31/98 △1

1" = 100'

Site Plan

0 20' 40' 100'

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

sheet 1

Dekker/Perich/Sabatini
architecture • interiors • planning • engineering
6801 Jefferson NE, Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222

General Notes

1. ALL INTERNAL STREET CURB RADII TO BE 25' MIN. PER DPM STANDARDS.
2. DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
3. LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
4. ALL H.C. RAMPS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
5. SHADED 8' WIDE, SPECIAL PAVED, PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PERIMETER PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
6. RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE.
7. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
8. NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
9. LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOEBOX FIXTURE.
10. THERE SHALL BE 35' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
11. PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
12. SIGNAGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
13. NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
14. AN 8' HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
15. NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THIS PLAN SHALL BE ALLOWED ONTO CHICO OR MORRIS STREETS.
16. NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
17. ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 3B, AND 2C SHALL HAVE LETTERS OF 3' HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4' HIGH, MAX.
18. THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
19. NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
20. UP LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
21. POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
22. OFF-PREMISE BILLBOARD SIGNS WILL NOT BE ALLOWED. (CONDITION 4)
23. CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 5)
24. ~~SIDEWALKS WILL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET (WITHIN EACH ESTABLISHMENT). (CONDITION 6)~~
25. ~~MAXIMUM LETTER SIZE ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: /PADS LESS THAN 10,000 SF 3' MAX. PADS LARGER THAN 10,000 SF 4' MAX. MAXIMUM HEIGHT 5' MAX. (CONDITION 7)~~
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31. LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
32. CONNECTION TO THE EXISTING BIKE TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE

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Lot Summary

Lot No.	Acres	Uses	Building GSF	F.A.R.*	△1 Max. Bldg. Ht.	△2 Minimum Building Setbacks North	South	East	West
1	15.23	OFFICE/MANUFACTURING	200,000	.30	40'	75'	20'	20'	20'
2	0.87	RESTAURANT	6,000	.16	28'	20'	20'	20'	20'
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2C	1.67	RESTAURANT	6,000	.08	28'	25'	20'	120'	20'
3	21.66	AMUSEMENT	96,000	.10	72'	40'	120'	120'	20'
4	2.16	OFFICE	30,000	.32	32'	20'	120'	20'	20'
5	4.82	HOTEL/RESTAURANT	88,000	.32	84'	75'	20'	20'	20'
Totals	50.26		424,000	.19					

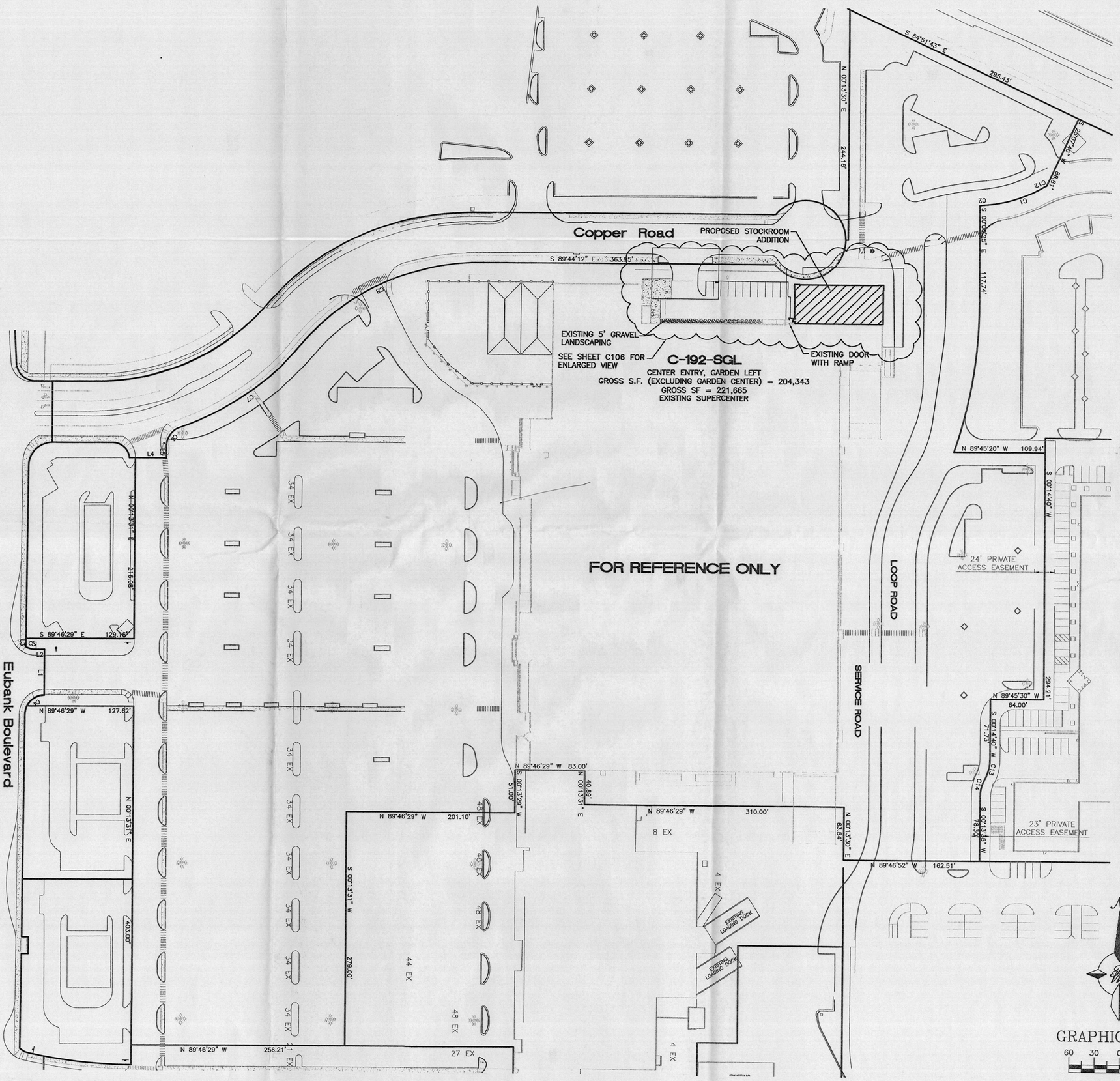
*F.A.R = FLOOR AREA RATIO

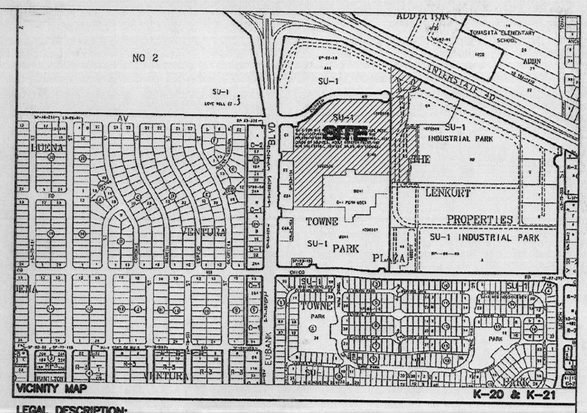
NOTE: BUILDING SQUARE FOOTAGES MAY BE HIGHER, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW

Contents:

Sheet 1 Site Development Plan for Subdivision
Sheet 3 Landscaping Plan
Sheet 4 Conceptual Grading and Drainage Plan
Sheet 6 Master Utility Plan
Sheet 8 Design Guidelines

DRB Submittal for Case Z-98-114: IP Master Plan/Site Plan for Subdivision





LEGAL DESCRIPTION:
TRACT B-1A-1 AND B-2A-1 TOWNE PARK PLAZA

ADMINISTRATIVE AMENDMENT
File # 05-00325 Project # 1000508
Stockroom Addition
APPROVED BY — DATE 4/29/05

LEGEND

	EXISTING SAS MANHOLE
EX. 8" SAS	EXISTING SANITARY SEWER LINE
	EXISTING FIRE HYDRANT
EX. 16" WL	EXISTING WATER LINE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
EX. 24" RCP	EXISTING STORM SEWER LINE
X X X Y X X	EXISTING FENCE
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING PERIMETER WALL
	EXISTING RETAINING WALL
5011	EXISTING CONTOUR
5010	EXISTING INDEX CONTOUR
• 5048.25	EXISTING SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY

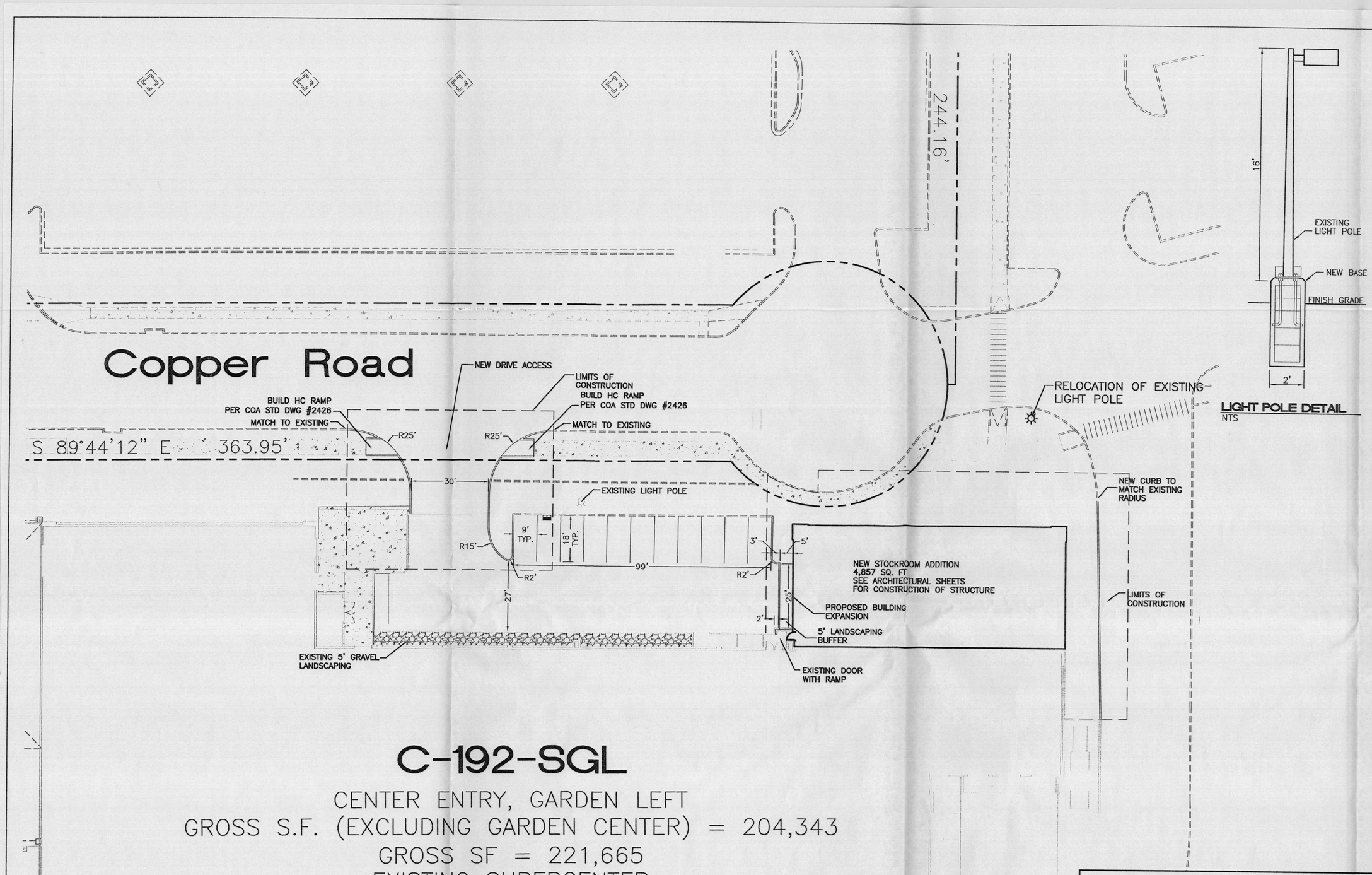
ENGINEER'S SEAL
RONALD RAY BOHANNAN REGISTERED PROFESSIONAL ENGINEER
RONALD R. BOHANNAN
P.E. #7868

WAL-MART #835 STOCKROOM ADDITION

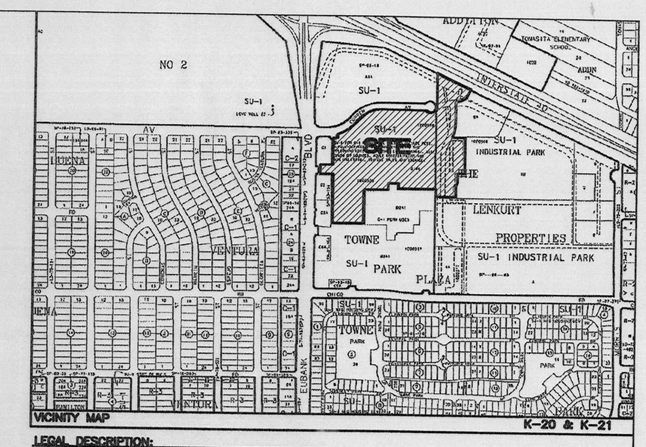
OVERALL SITE PLAN

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY EMT
DATE 03-30-05
2492-OVSPB-12-18-04
SHEET # C-105
JOB # 24092



LIGHT POLE DETAIL
NTS



LEGAL DESCRIPTION:
TRACT B-1A-1 AND B-2A-1 TOWNE PARK PLAZA

C-192-SGL

CENTER ENTRY, GARDEN LEFT
GROSS S.F. (EXCLUDING GARDEN CENTER) = 204,343
GROSS SF = 221,665
EXISTING SUPERCENTER

LEGEND

○	EXISTING SAS MANHOLE
EX. 8" SAS	EXISTING SANITARY SEWER LINE
	EXISTING FIRE HYDRANT
EX. 16" WL	EXISTING WATER LINE
	EXISTING STORM SEWER MANHOLE
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EX. 24" RCP	EXISTING STORM SEWER LINE
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	EXISTING BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING PERIMETER WALL
	EXISTING RETAINING WALL
5011	EXISTING CONTOUR
5010	EXISTING INDEX CONTOUR
· 5048.25	EXISTING SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY

SITE DATA

PROPOSED USAGE:	GENERAL RETAIL USE
LOT AREA:	780,729 SF (17.92 ACRES)
BUILDING AREA:	221,665 SF
STOCKROOM EXPANSION AREA:	4,857 SF
PARKING PROVIDED:	988 SPACES
PARKING REQUIRED: (INCLUDING EMPLOYEE)	958 SPACES
HC PARKING PROVIDED:	20 SPACES (INCLUDING 3 VAN ACESSIBLE)
HC PARKING REQUIRED:	20 SPACES

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary
12/16/03

GRAPHIC SCALE
20 10 0 10 20
SCALE: 1"=20'

ENGINEER'S SEAL	WAL-MART #835 STOCKROOM ADDITION	DRAWN BY EMT
	SITE PLAN FOR BUILDIG PERMIT	DATE 03-30-05
		2492-OVSPB-12-18-04
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # C-106
RONALD R. BOHANNAN P.E. #7868		JOB # 24002