



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Gina Kelly w/ SGA Design Group		Phone: (918)587-8602, ext 299
Address: 1437 S Boulder Ave - Ste. 550		Email: ginak@sgadesigngroup.com
City: Tulsa	State: OK	Zip: 74119
Professional/Agent (if any): Travis Hager w/ SGA Design Group		Phone: (918)587-8600
Address: 1437 S Boulder Ave - Ste. 550		Email: travish@sgadesigngroup.com
City: Tulsa	State: OK	Zip: 74119
Proprietary Interest in Site: Architect	List all owners: Walmart	

BRIEF DESCRIPTION OF REQUEST

Updating the exterior paint to follow the owner's guideline regarding the exterior colors, sheet updates and signage note updates.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: B1A1A	Block: 0000	Unit:
Subdivision/Addition: TOWNE PARK PLAZA	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): K21	Existing Zoning: MX-L	Proposed Zoning: MX-L
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 17.9414

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 400 Eubank Blvd NE Between: Eubank Blvd NE and: Copper Ave NE

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

AA - SI-2022-00847

Signature:	Date: 07/28/22
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project #		

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled


ALTERNATIVE SIGNAGE PLAN


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 07/28/2022
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	



SGA Design Group

July 28, 2022

Jay Rodenbeck, Planning Manager
City of Albuquerque Planning Department Land
Development Coordination
600 Second Street NW
Albuquerque, NM 87109

Re. Walmart #835.275 located at: 400 Eubank Blvd NE – PR2

The scope of work for this Administrative Amendment re\view is the for updating of the previous AA#-**SI-2022-00847** for the Walmart building/site signage along with the gas canopy & building to the new updated font and new branding signage.

As per IDO 1416-4(Z)(1)(a): The Planning Director may grant minor amendments that meet the following requirements:

1. Per approved AA#SI-2022-00847, the change with this submittal is just rearranging the same colors on the building to blend better with the owner's guidelines and note clarifications.
 - I have included the narrative to show what the exact changes are for both the A2 & A2.1 plan sheets.
2. The requested change is within the thresholds for minor amendments established in Table 6-4-4, and less than a 10% change from the previously approved AA.
3. The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.
4. It is understood that no deviations, variances, or waivers shall be granted for minor amendments.

The impact to the site will be minimal and I am also submitting the Construction Documents with the Building Department today.

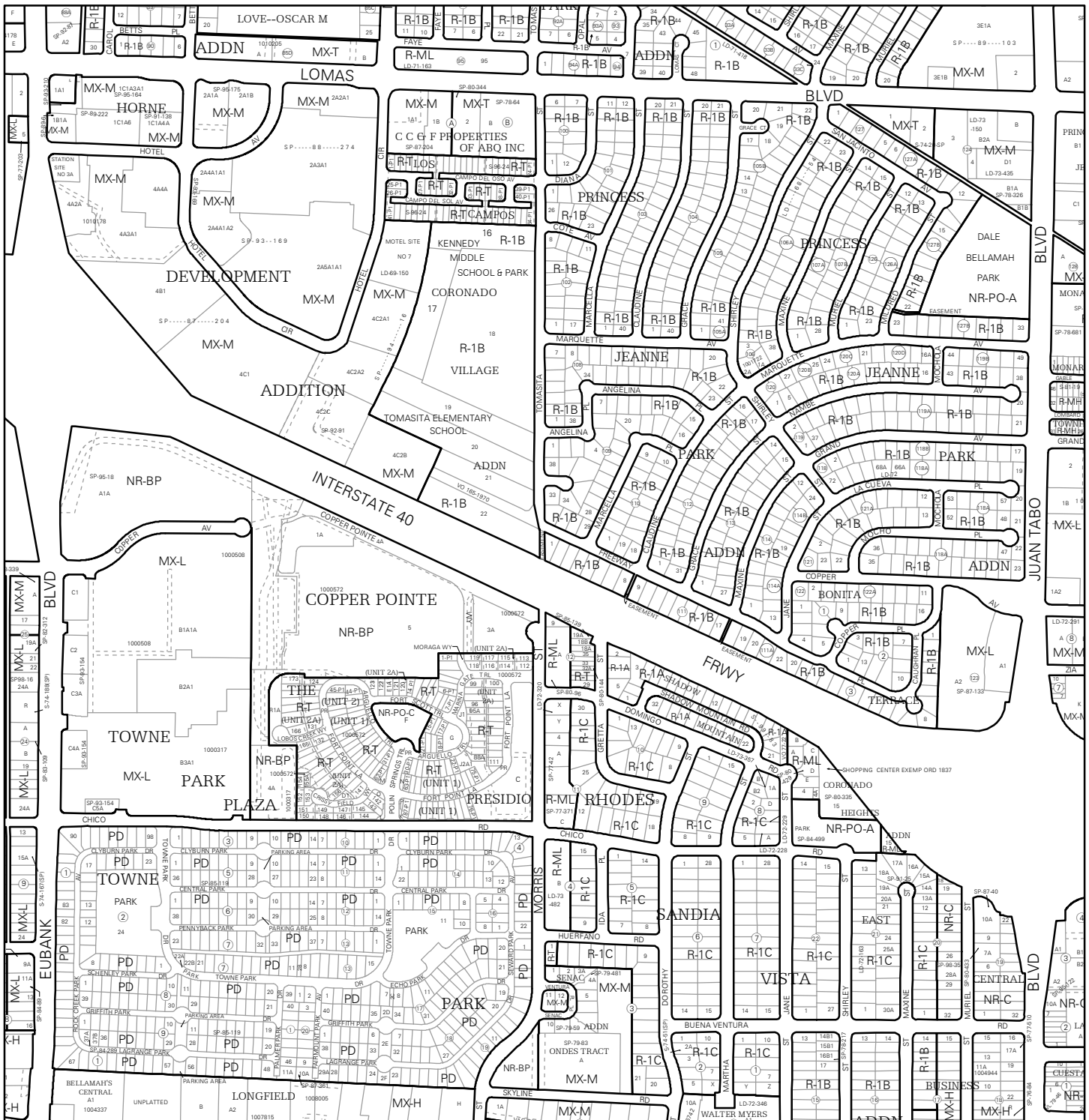
If you have any questions, please do not hesitate to contact me. Thank you,



Gina Kelly
SGA Design Group
1437 S Boulder Ave-Ste. 550
Tulsa, OK 74119 ginak@sgadesigngroup.com

Page 1 of 1

SGA Design Group, Inc.
1437 South Boulder, Suite 550, Tulsa, OK 74119.3609
p: 918.587.8600 f: 916.587.0601
www.sgadesigngroup.com



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
K-21-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Feet
0 250 500 1,000

LETTER OF AUTHORIZATION

January 21, 2021

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

To Whom It May Concern:

I hereby authorize: Gina Kelly
SGA Design Group
1437 South Boulder, Suite 550
Tulsa, OK 74119
(918) 587-8600

To act as the agent on your behalf before the City of Albuquerque, NM for all the Walmart Stores that assigned to SGA Design Group within the jurisdiction of Albuquerque, NM.

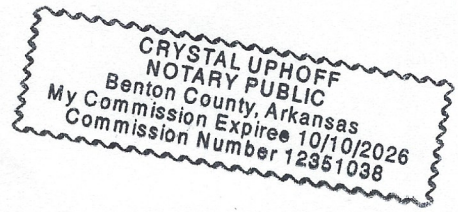
Dren Bailess
Signature

Dren Bailess 1/21/2021
Print Name Date

State of: Arkansas
County of: Benton

Subscribed and sworn to before me this 21 day of January, 2021.

Notary Public *Crystal Uphoff*
My Commission Expires 10-10-2026



WALMART STORES, INC. STORE NO. 0835-275	06/02/22
PROJECT: ALBUQUERQUE, NM	PLAN REVISION #2
PROJECT NO. 21694016	

SCOPE: The scope of this **Plan Revision** is to revise the originally issued contract documents of **Albuquerque, NM** dated **04/27/22**, and all subsequent contract modifications, to reflect the following:

SUMMARY OF CHANGES:

Description: This Plan Revision consists of Drawing Sheets **A2 and A2.1** dated **06/02/22**. No specification changes.

Vendors affected by this Plan Revision per sheet OS1: **N/A**

This description is for information only and does not supersede vendor responsibility to verify drawing information.

- **(CI)** Change Initiatives:
 - 1) **CI 31046 – Elevation Review Tracker**

SHEET A2 – EXTERIOR ELEVATIONS

DETAIL 1 – FRONT ELEVATION

1. Revise location and paint extents at Outdoor sign. **(CI1)**
2. Relocate address sign with associated dimensions. **(CI1)**
3. Add note for clay tile scope of work at entrances. **(CI1)**
4. Revise extents of P134E at main badge **(CI1)**
5. Graphically add covered walkway to elevation and add associated notes. **(CI1)**

DETAIL 2 – LEFT ELEVATION

1. Add note for clay tile scope of work. **(CI1)**

DETAIL 3 – REAR ELEVATION

1. Add note for clay tile scope of work. **(CI1)**
2. Add paint keynotes as noted. **(CI1)**

DETAIL 4 – RIGHT ELEVATION

1. Graphically add covered walkway to elevation. **(CI1)**
2. Add note about fencing clarification. **(CI1)**
3. Add note for slat replacement. **(CI1)**
4. Add note for clay tile scope of work. **(CI1)**

DETAIL 7 – GR VESTIBULE SIDE ELEVATION

1. Add paint finish as noted. **(CI1)**

DETAIL 8 – GM VESTIBULE SIDE ELEVATION

1. Add paint finish as noted. **(CI1)**

DETAIL 9 – GARDEN CENTER

1. Add elevation to sheet. **(CI1)**

SHEET NOTES

1. Revise note 10. **(CI1)**

SHEET A2.1 – EXTERIOR SIGNAGE

DETAIL 6 – 2'-0" SIGNAGE

1. Revise detail title from "2'-6" SGIANGE" to "2'-6" SIGNAGE". **(CI1)**
2. Revise Outdoor sign with associated notes from 2'-0" to 2'-6". **(CI1)**

WALMART STORES, INC. STORE NO. 0835-275	06/02/22
PROJECT: ALBUQUERQUE, NM	PLAN REVISION #2
PROJECT NO. 21694016	

DETAIL 11 – WALL PANEL SECTION (V1)

1. Revise section to reflect proper elevation for bolt on sign aligning with existing wall height. **(C11)**

NEW SIGNAGE SCHEDULE

1. Revise Outdoor sign size to 2'-0". **(C11)**

EXISTING SIGNAGE SCHEDULE

1. Revise all information to correspond with current existing conditions. **(C11)**

END OF NARRATIVE

STIPULATION FOR REUSE: THIS DRAWING IS PROVIDED FOR THE EXCLUSIVE USE OF THE CLIENT. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SGA DESIGN GROUP, P.C.

CONSULTANTS:

Walmart
ALBUQUERQUE, NM
400 EUBANK BLVD NE
STORE NO: 835-275
JOB NUMBER: 21899016 PROJECT: PROTO.

ISSUE BLOCK		
1	PR #2	06/02/22

CHECKED BY: AT RO/AVT
DRAWN BY: KFB
PROTO CYCLE: 02/25/22
DOCUMENT DATE: 04/27/22

THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF SGA DESIGN GROUP. THIS ELECTRONIC DOCUMENT IS RELEASED FOR THE PURPOSE OF REFERENCE, COORDINATION AND/OR FACILITY MANAGEMENT. THIS DRAWING SHALL NOT BE CONSIDERED FINAL OR COMPLETE UNLESS IT IS SIGNED AND SEALED BY THE ARCHITECT.



EXTERIOR ELEVATIONS

SHEET: **A2**

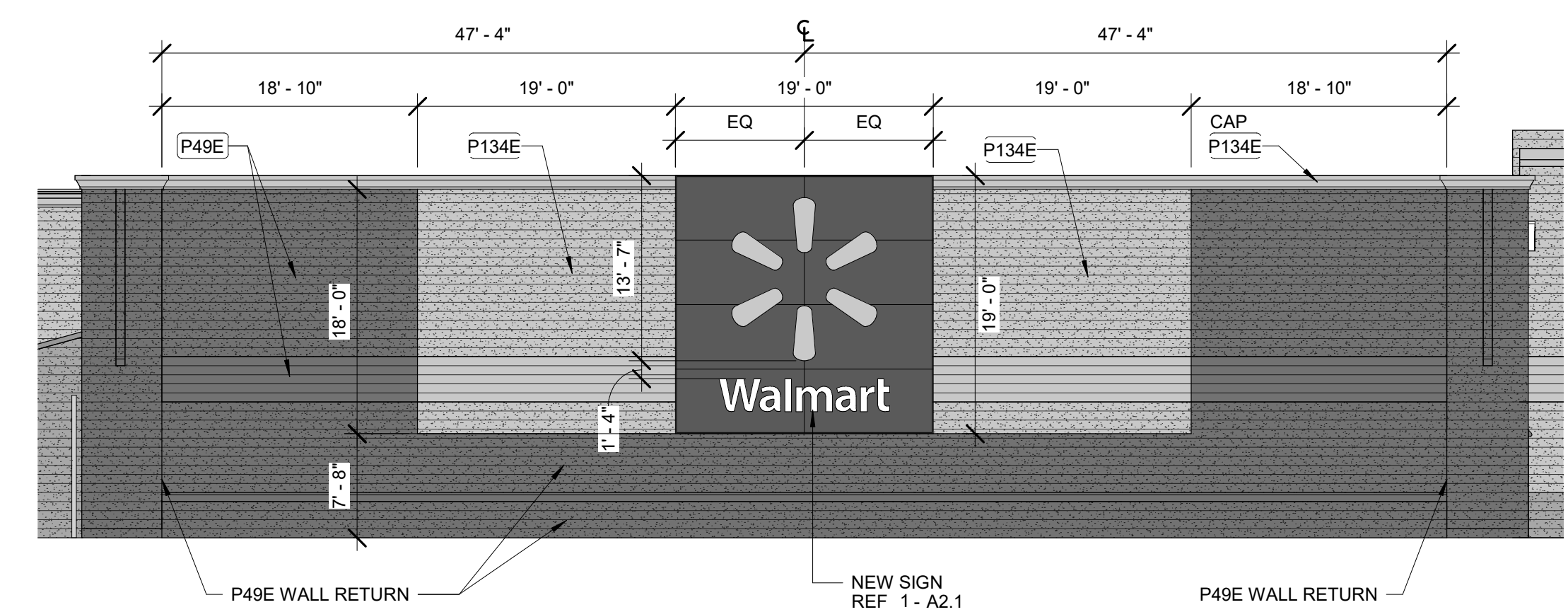
COLOR LEGEND	
P5E	SAFETY YELLOW
P33E	CREAM
P49E	DARK GRAY
P134E	LIGHT GRAY
P135E	MEDIUM GRAY
P200	DURAND® BRONZE SW#7248
P81E	BLACK
ETR	EXISTING TO REMAIN

SHEET NOTES	
1.	PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS. TO MATCH ADJACENT AS REQUIRED.
2.	REFER TO DETAILS ON SHEET A2-1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
3.	RESURFACE EXISTING EIFS WHERE SHOWN (HATCHED AREAS)
4.	PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT (ID) LOGO SIGN(S), COORDINATE SCOPE OF WORK WITH WALMART CM.
5.	IF PAINTING ADJACENT WALLS PAINT HOLLOW METAL STEEL DOORS, FRAMES, AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL TO MATCH ADJACENT BUILDING COLOR UNO.
6.	PAINT ANY ROOFTOP GAS PIPING [P5E] WHERE EXTERIOR WALL IS BEING PAINTED. GAS PIPE ALONG SIDE WALL TO GRADE SHOULD MATCH ADJACENT BUILDING. DO NOT PAINT METER OR VALVES.
7.	IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL.
8.	WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK [P33E] DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED.
9.	INSTALL GRAY BOLLARD COVERS AT ALL ENTRANCE BOLLARDS. PAINT ALL SAFETY BOLLARDS [P5E]. PAINT ALL OTHER PAINTED/DECORATIVE BOLLARDS [P135E].
10.	PAINT SECURITY WALL-PACK HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LENSES.
11.	DO NOT PAINT LED WALL PACK HOUSINGS
12.	DO NOT PAINT QUIK BRYK, STONE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS
13.	AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, REMOVE AND PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR. REF SPEC 0900.
14.	ROOFING MATERIAL CAN NOT BE PAINTED AND NEEDS TO BE REPAIRED IN SPOTS THAT ARE VISIBLY DAMAGED

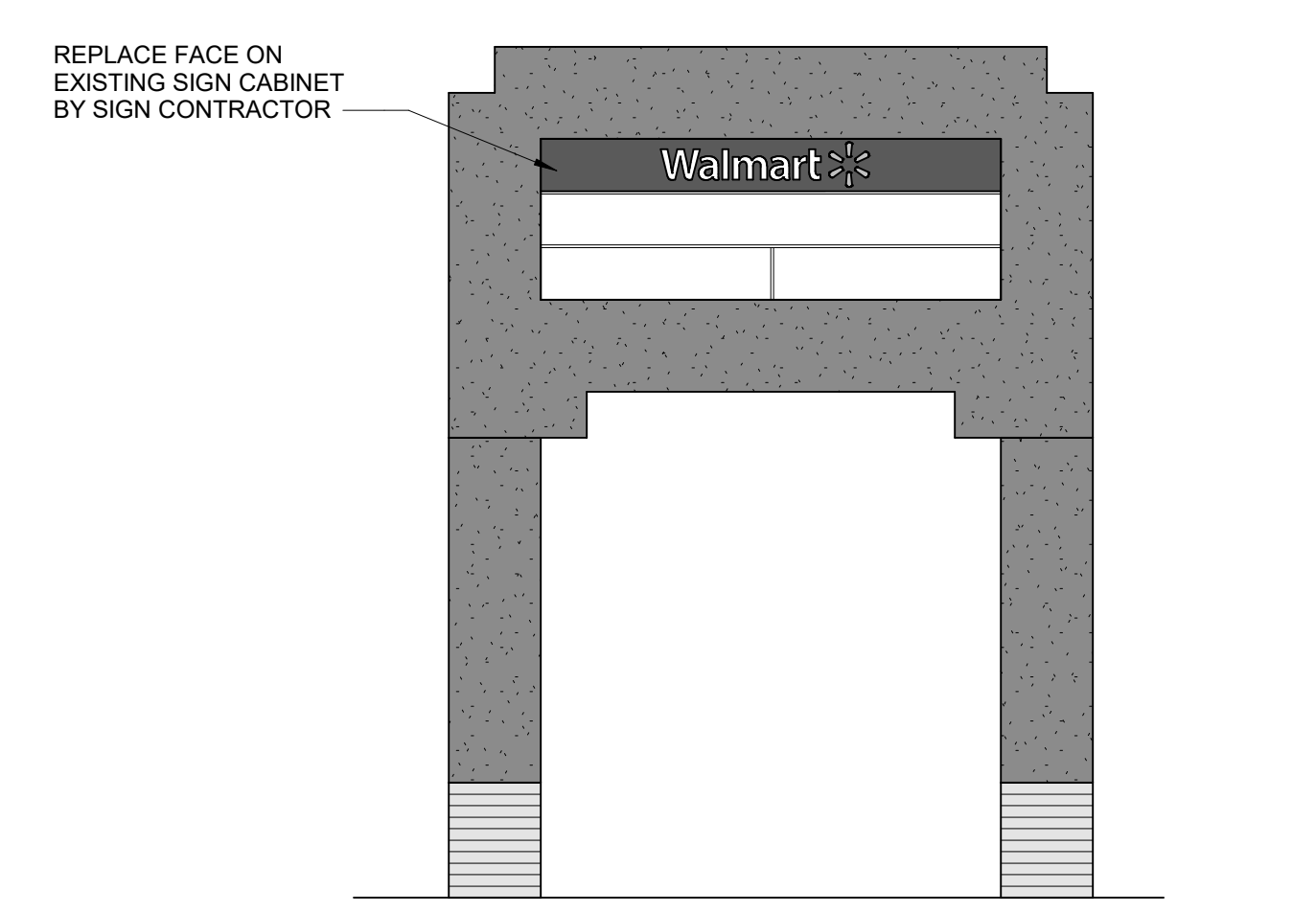
DEMOLITION NOTES	
1.	REMOVE EXTERIOR TENANT SIGNS. COORDINATE REMOVAL WITH WALMART CM AND TENANT PRIOR TO BEGINNING WORK. DELIVER REMOVED TENANT SIGNS TO TENANT.
2.	REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.



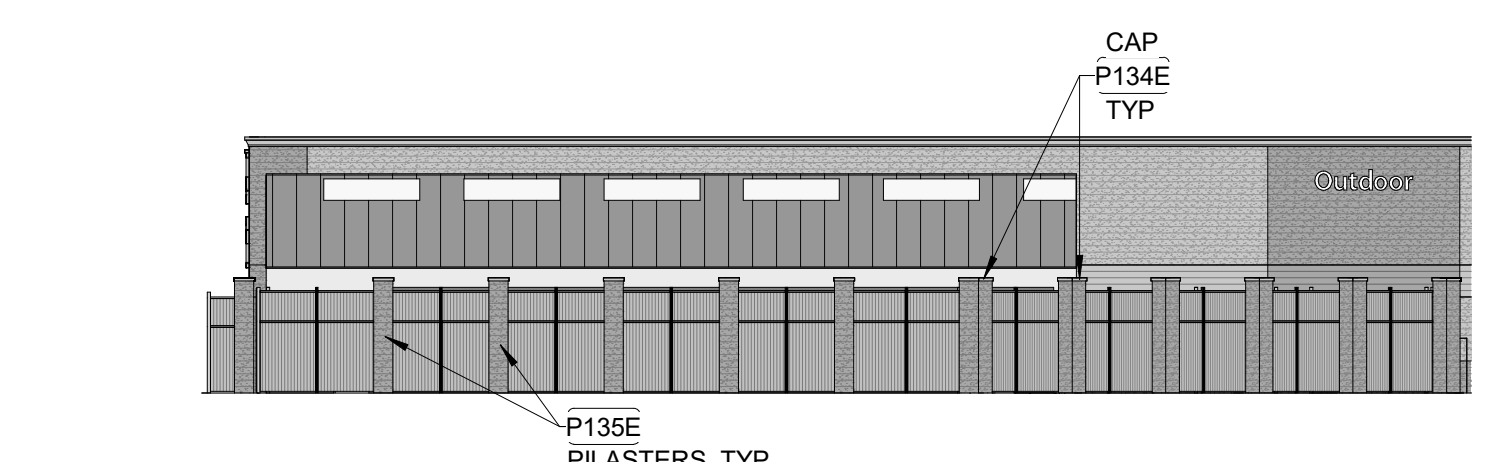
(8) GM VESTIBULE SIDE ELEVATION 1" = 10'-0"
(7) GR VESTIBULE SIDE ELEVATION 1" = 10'-0"



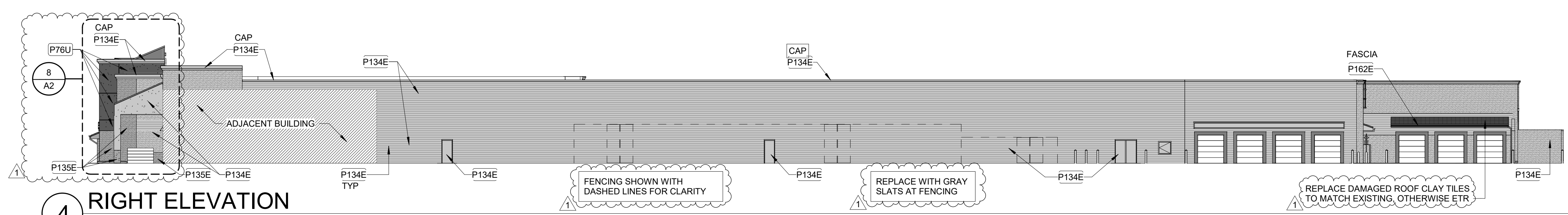
(6) LEFT ELEVATION - ENLARGED SIGNAGE 1" = 10'-0"



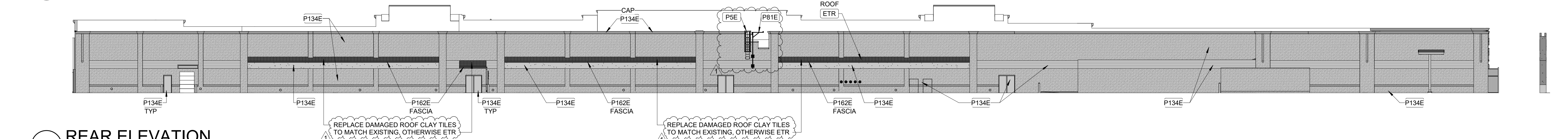
(5) EXISTING FREESTANDING SIGN 3/16" = 1'-0"



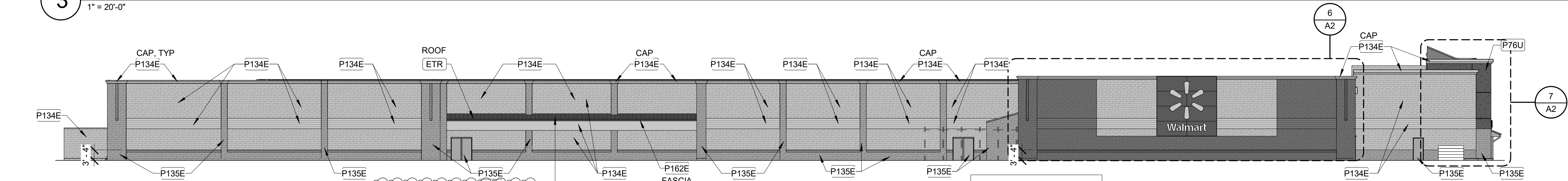
(9) GARDEN CENTER 1" = 20'-0"



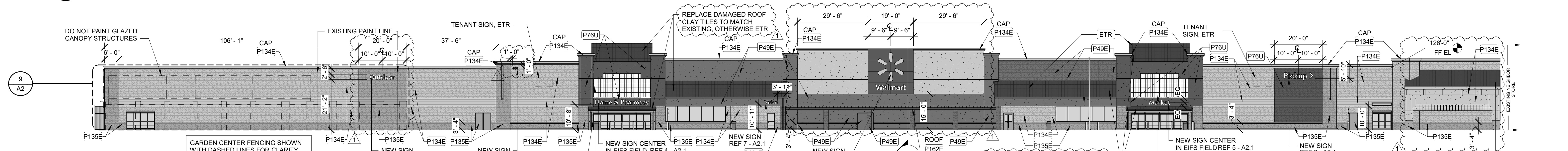
(4) RIGHT ELEVATION 1" = 20'-0"



(3) REAR ELEVATION 1" = 20'-0"



(2) LEFT ELEVATION 1" = 20'-0"



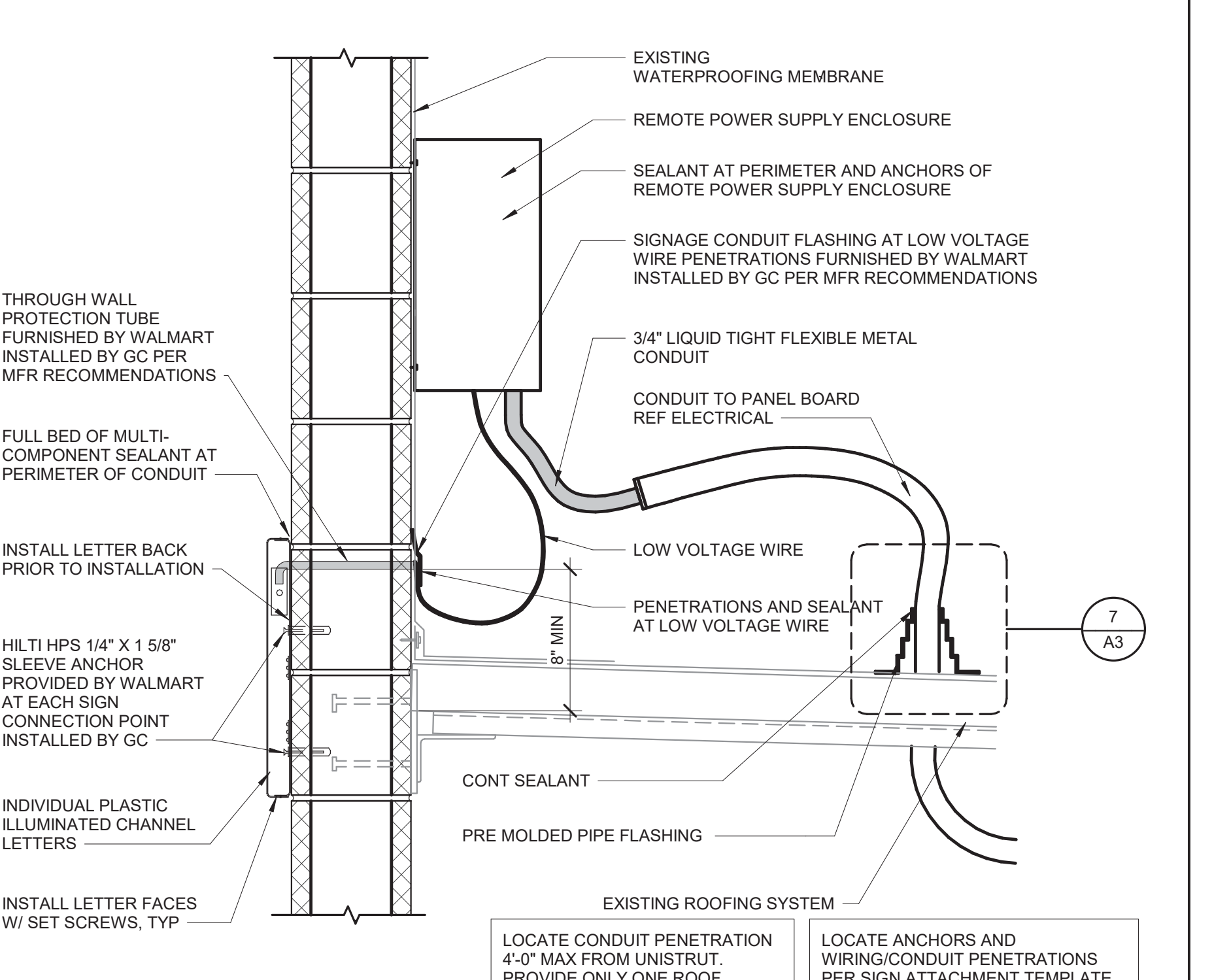
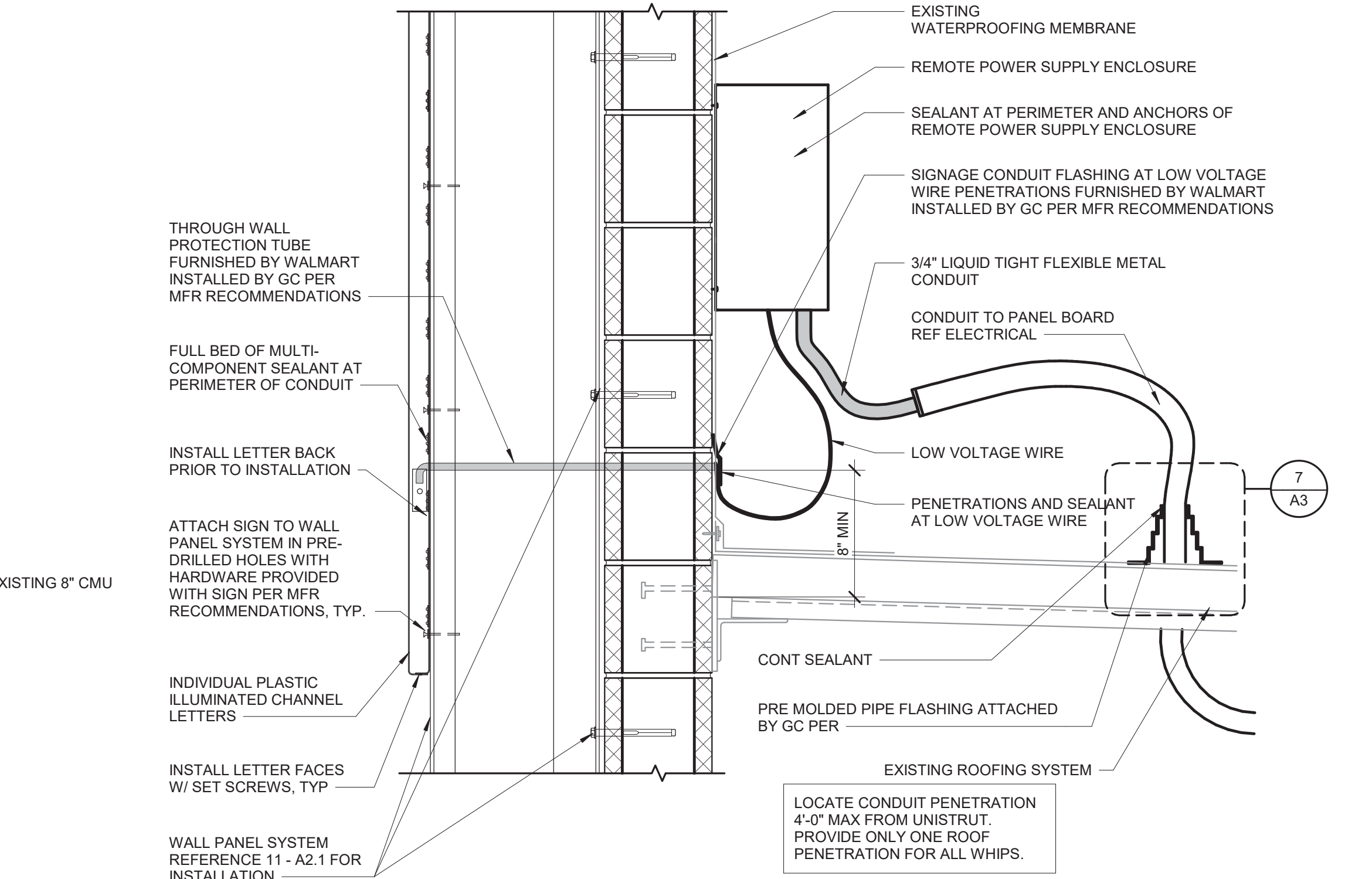
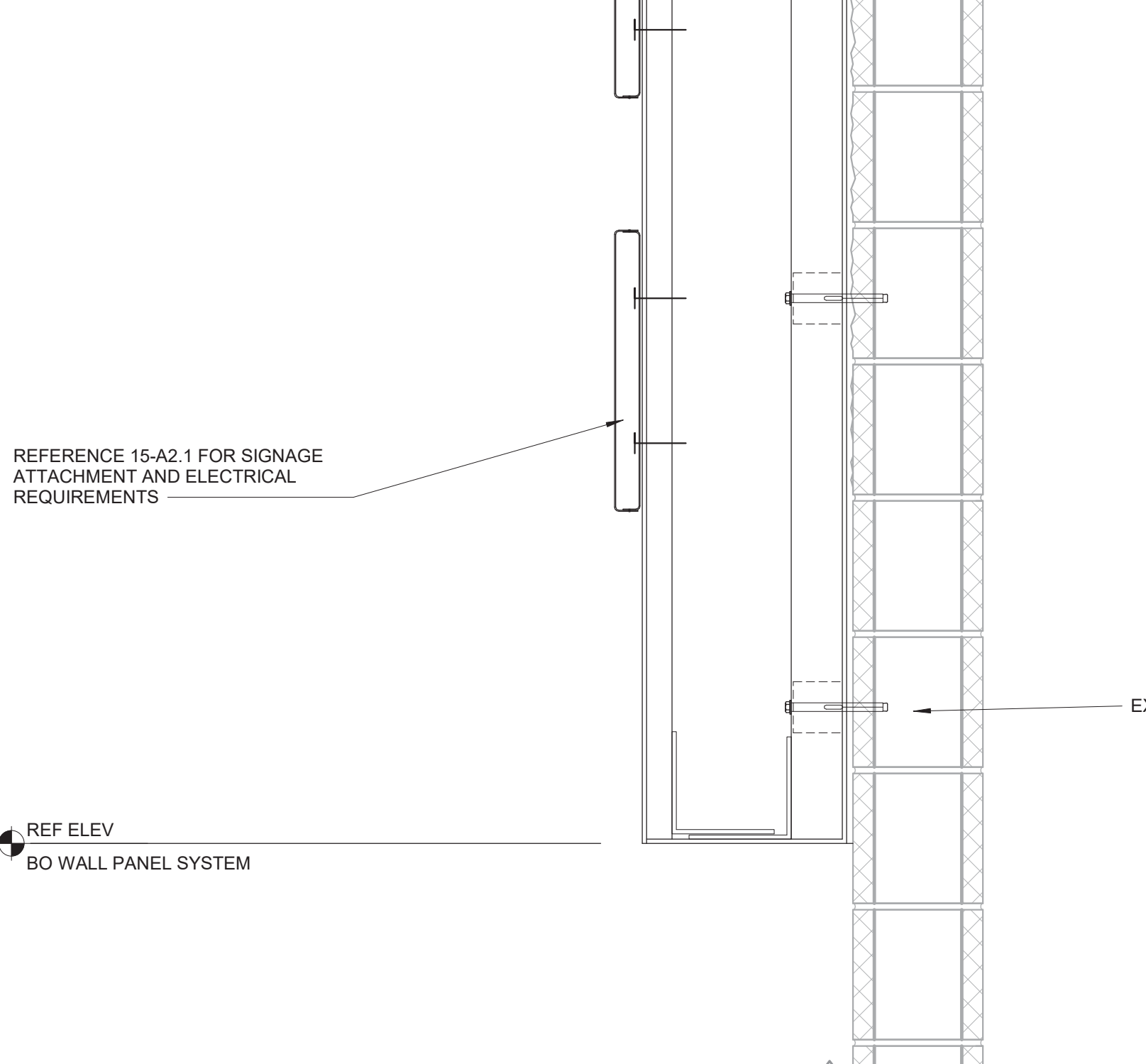
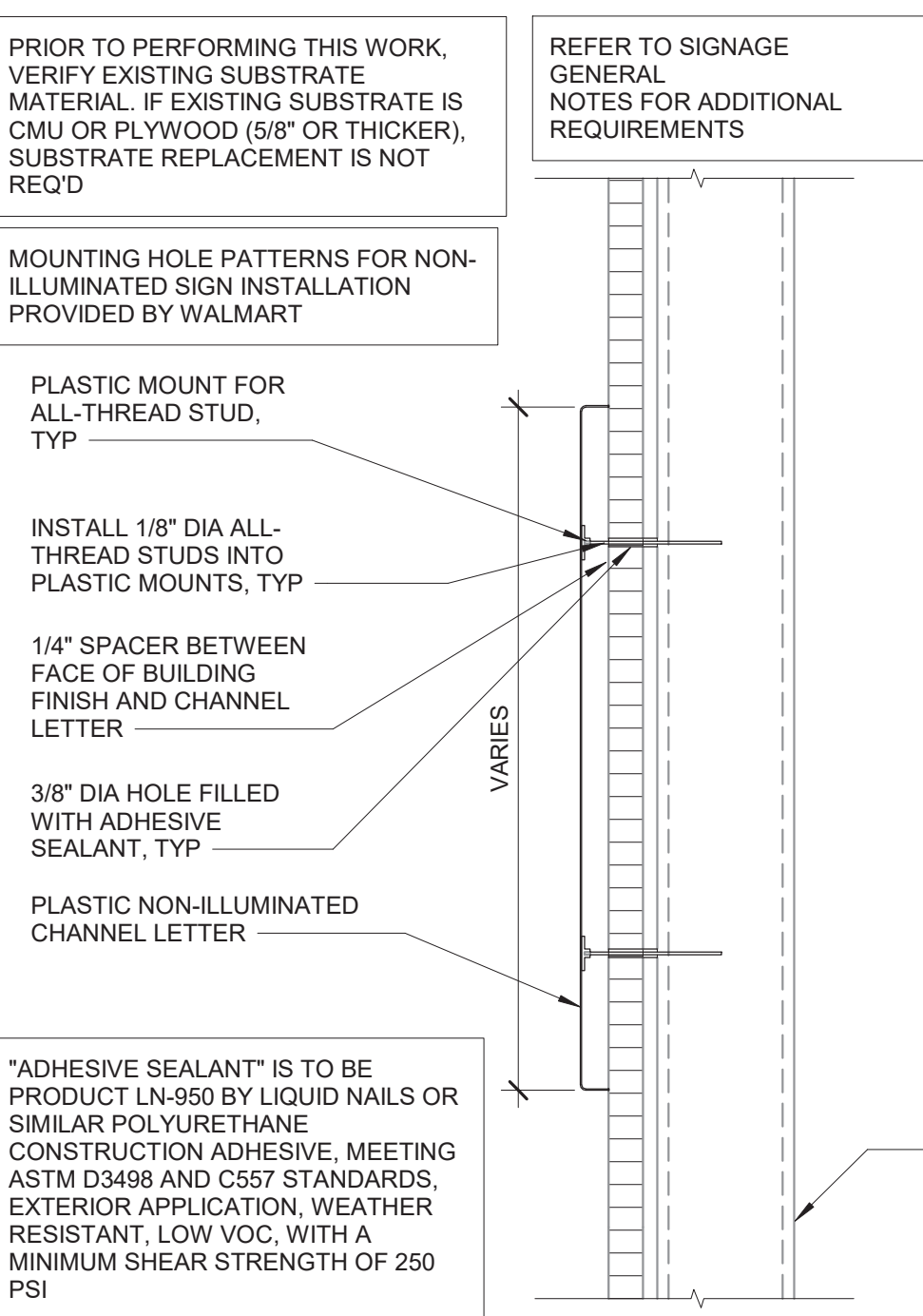
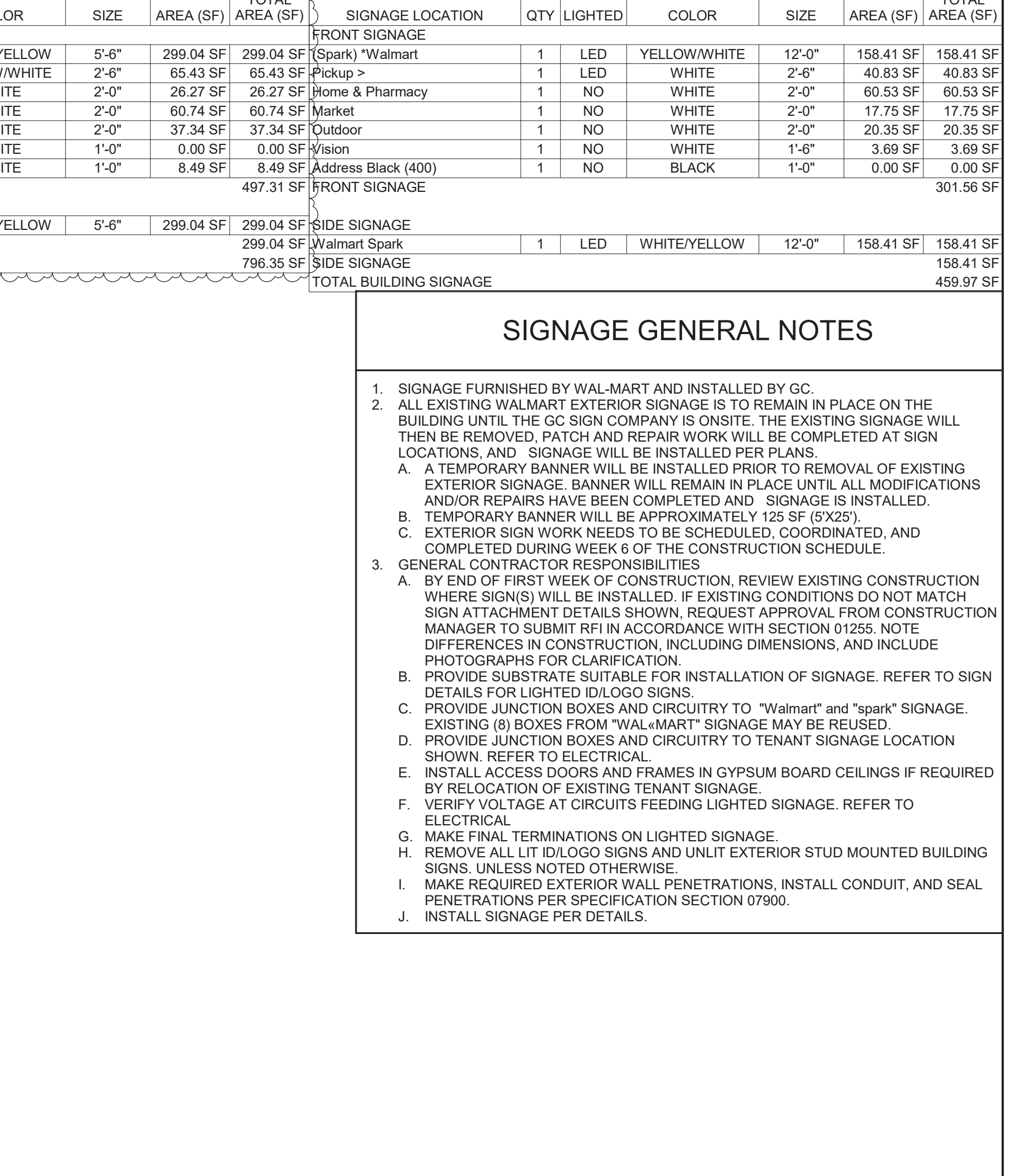
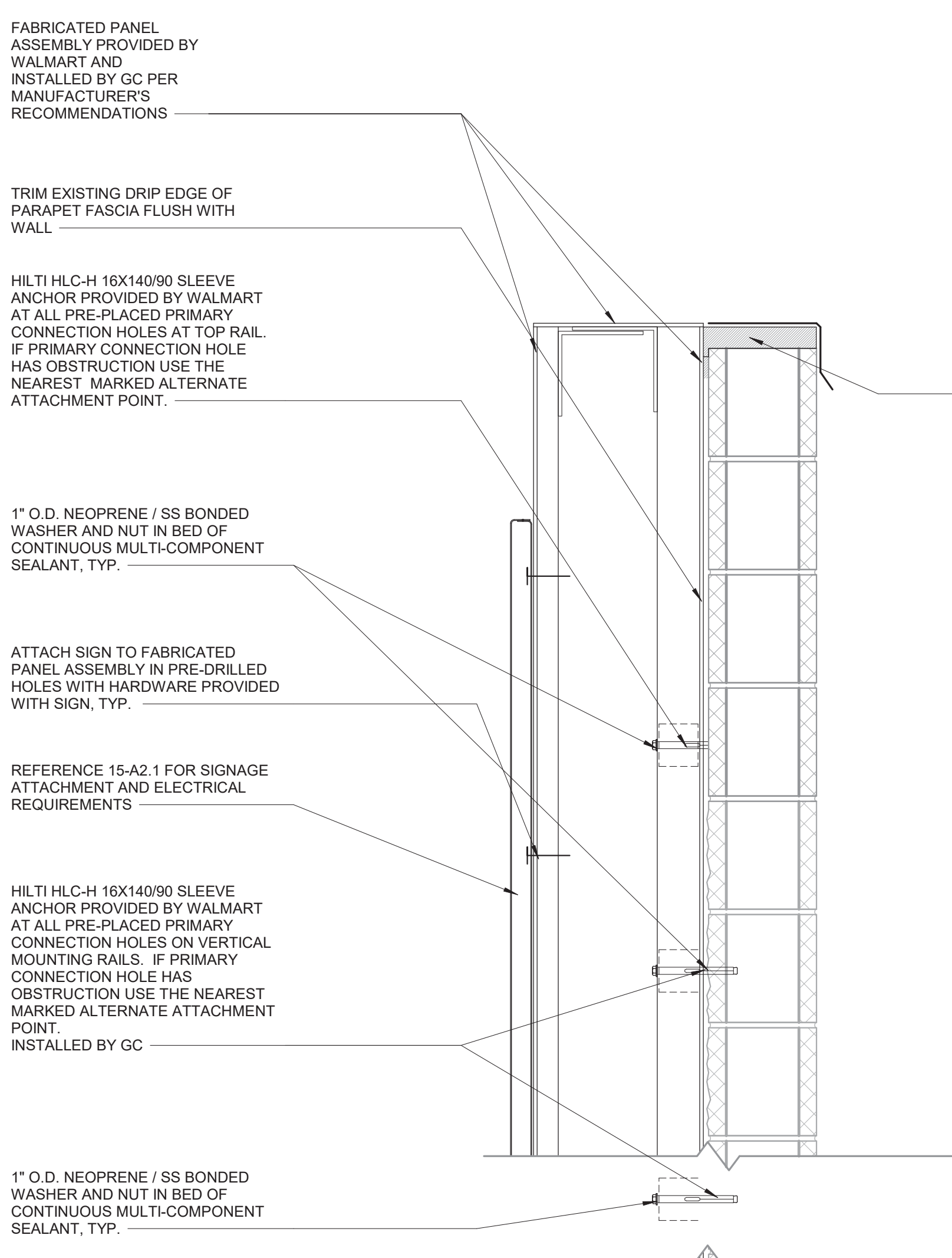
(1) FRONT ELEVATION 1" = 20'-0"

EXISTING SIGNAGE SCHEDULE						
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart (Spark)	1	LED	WHITE/YELLOW	5'-6"	299.04 SF	299.04 SF
(Spark) Pickup	1	LED	YELLOW/WHITE	2'-0"	65.43 SF	65.43 SF
Grocery	1	NO	WHITE	2'-0"	26.27 SF	26.27 SF
Home & Pharmacy	1	NO	WHITE	2'-0"	60.74 SF	60.74 SF
Lawn & Garden	1	NO	WHITE	2'-0"	37.34 SF	37.34 SF
Address	1	NO	WHITE	1'-0"	0.00 SF	0.00 SF
Vision Center	1	NO	WHITE	1'-0"	8.49 SF	8.49 SF
FRONT SIGNAGE TOTAL						
					497.31 SF	497.31 SF
SIDE SIGNAGE						
Walmart (Spark)	1	LED	WHITE/YELLOW	5'-6"	299.04 SF	299.04 SF
SIDE SIGNAGE TOTAL						
					299.04 SF	299.04 SF
TOTAL BUILDING SIGNAGE					796.35 SF	796.35 SF

NEW SIGNAGE SCHEDULE						
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
(Spark) Walmart	1	LED	YELLOW/WHITE	12'-0"	158.41 SF	158.41 SF
(Spark) Pickup	1	LED	WHITE	2'-0"	40.83 SF	40.83 SF
Home & Pharmacy	1	NO	WHITE	2'-0"	60.53 SF	60.53 SF
Market	1	NO	WHITE	2'-0"	17.75 SF	17.75 SF
Outdoor	1	NO	WHITE	2'-0"	20.35 SF	20.35 SF
Vision	1	NO	WHITE	1'-0"	3.69 SF	3.69 SF
Address Black (400)	1	NO	BLACK	1'-0"	0.00 SF	0.00 SF
FRONT SIGNAGE TOTAL						
					301.56 SF	301.56 SF
SIDE SIGNAGE						
Walmart (Spark)	1	LED	WHITE/YELLOW	12'-0"	158.41 SF	158.41 SF
SIDE SIGNAGE TOTAL						
					158.41 SF	158.41 SF
TOTAL BUILDING SIGNAGE					459.97 SF	459.97 SF

SIGNAGE GENERAL NOTES

- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY GC.
- ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE GC SIGN COMPANY IS ON SITE. THE EXISTING SIGNAGE WILL THEN BE REMOVED, PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATIONS, AND SIGNAGE WILL BE INSTALLED PER PLANS.
- A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND SIGNAGE IS INSTALLED.
- TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5X25').
- EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE.
- GENERAL CONTRACTOR RESPONSIBILITIES
 - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
 - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO SIGN DETAILS FOR LIGHTED ID/LOGO SIGNS.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO "Walmart" and "spark" SIGNAGE. EXISTING (B) BOXES FROM WAL-MART SIGNAGE MAY BE REUSED.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO TENANT SIGNAGE LOCATION SHOWN. REFER TO ELECTRICAL.
 - INSTALL ACCESS DOORS AND FRAMES IN GYPSUM BOARD CEILINGS IF REQUIRED BY RELOCATION OF EXISTING TENANT SIGNAGE.
 - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
 - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
 - REMOVE ALL LT ID/LOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS, UNLESS NOTED OTHERWISE.
 - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
 - INSTALL SIGNAGE PER DETAILS.

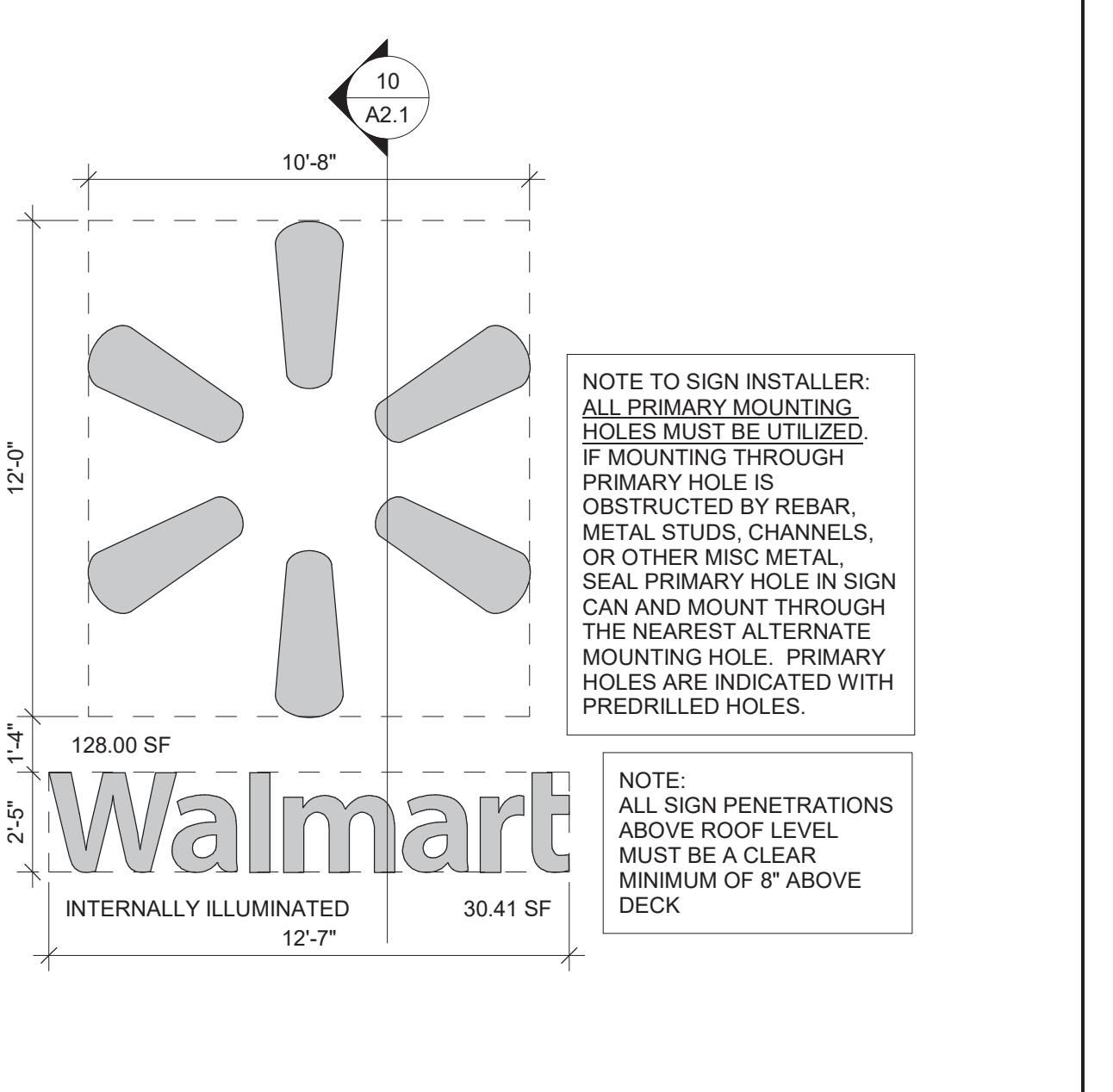
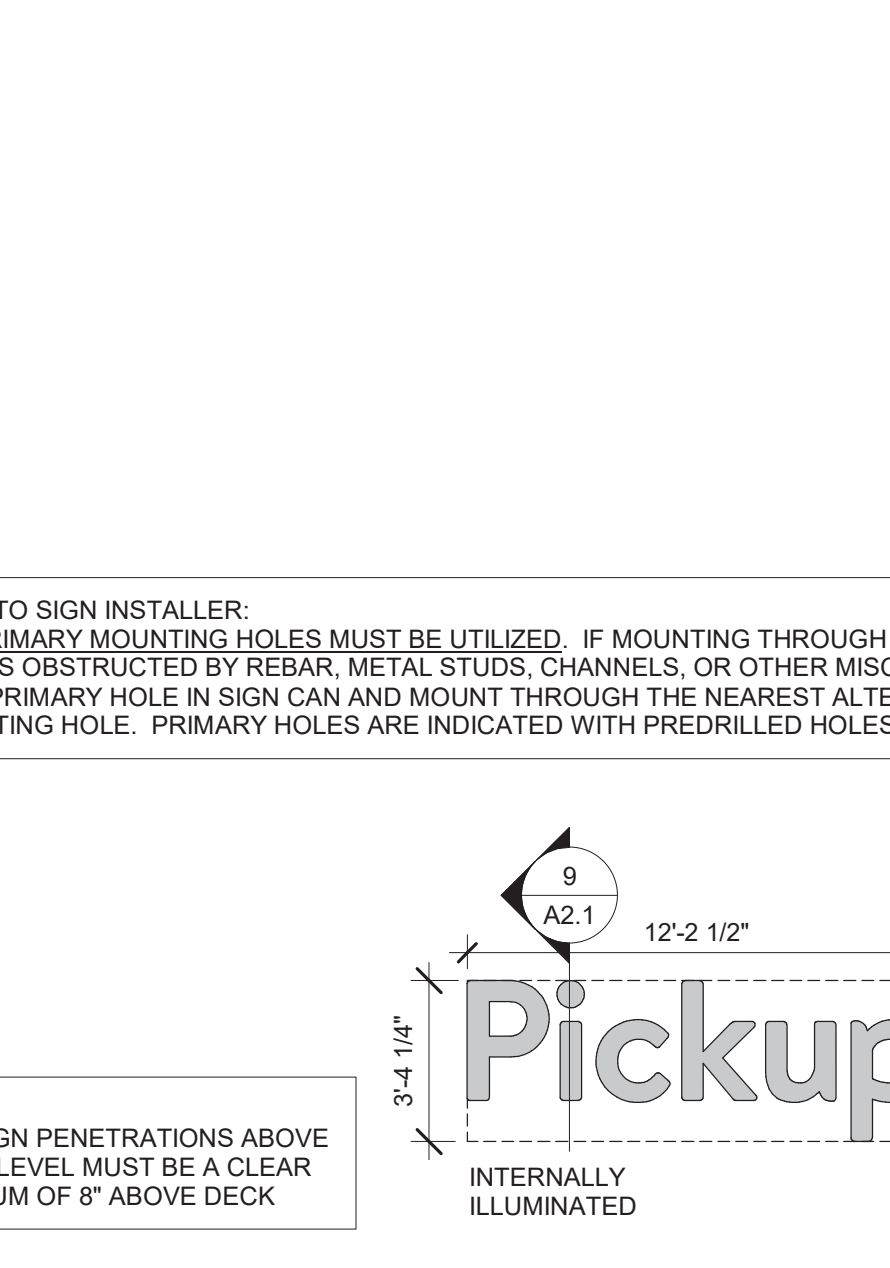
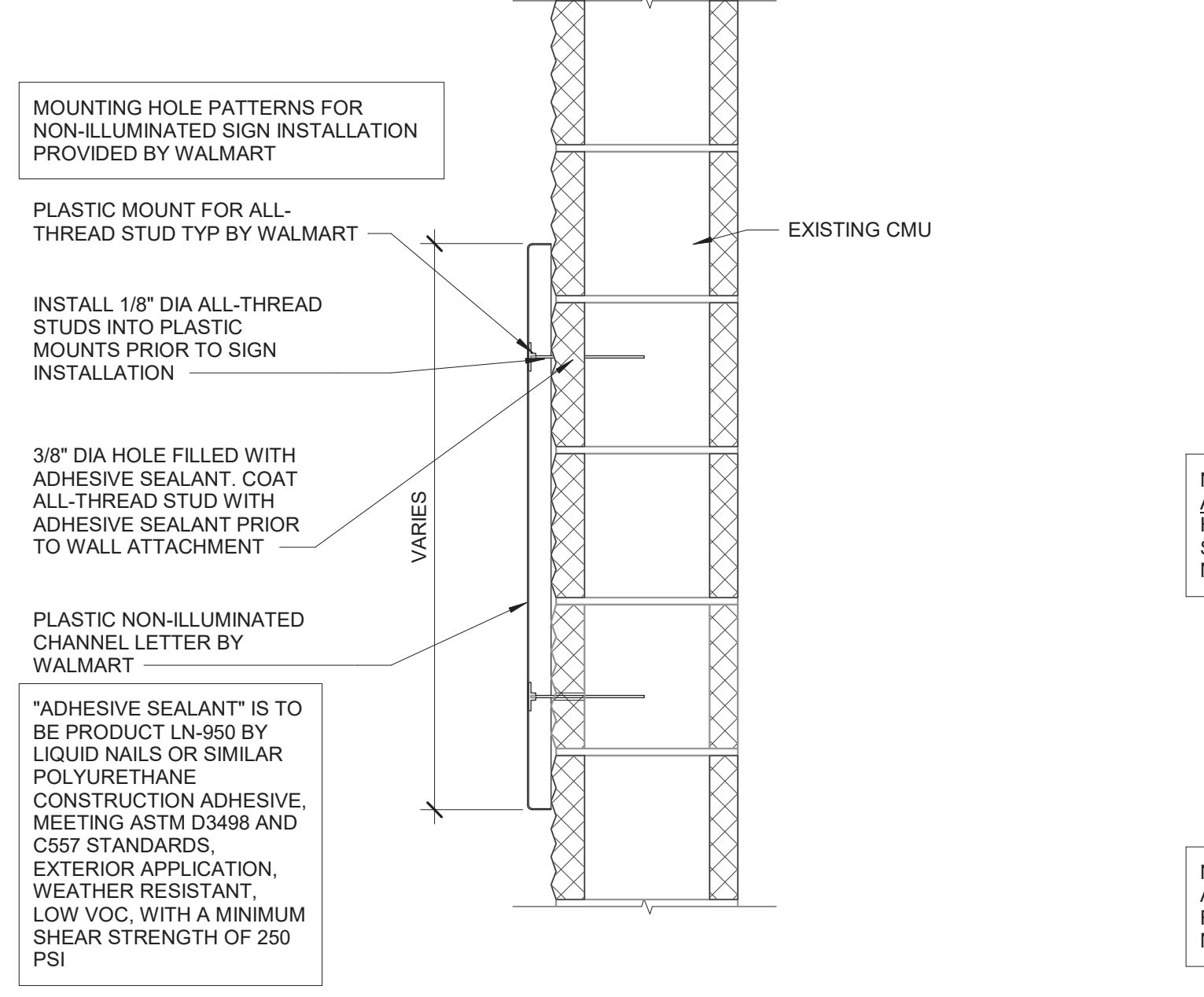
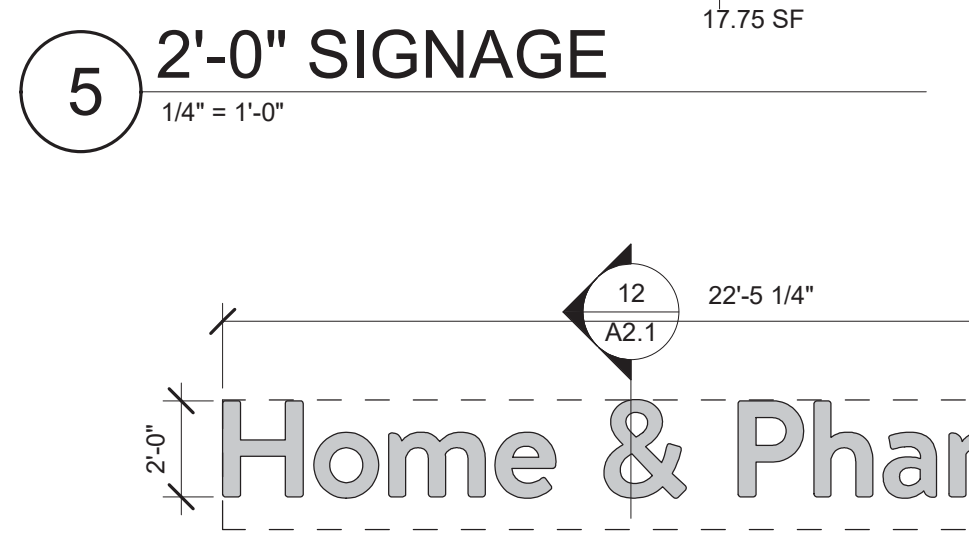
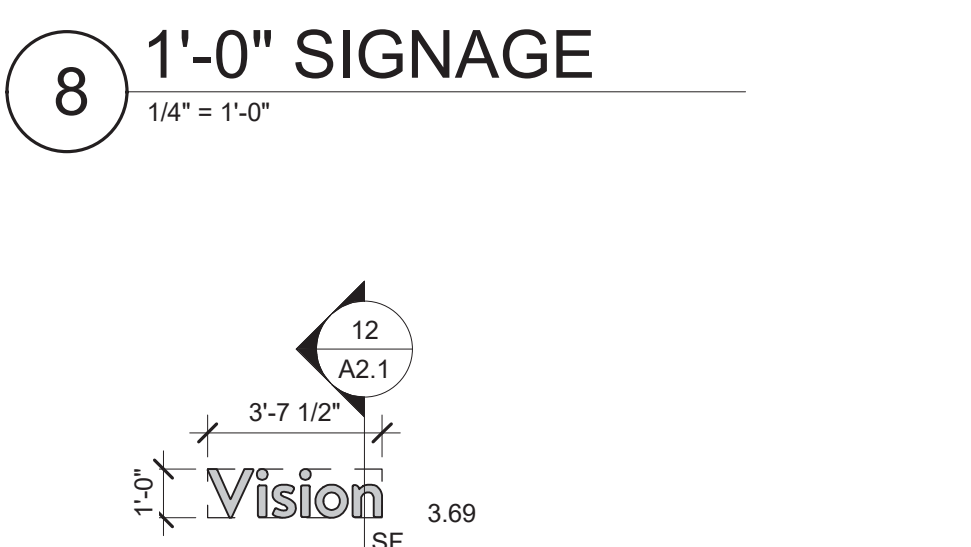
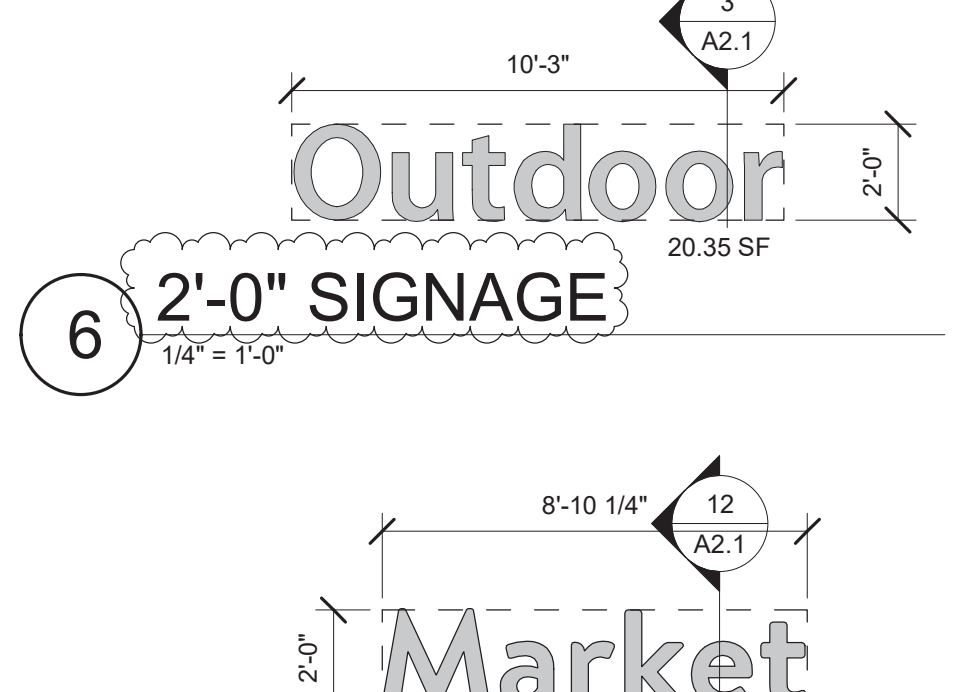
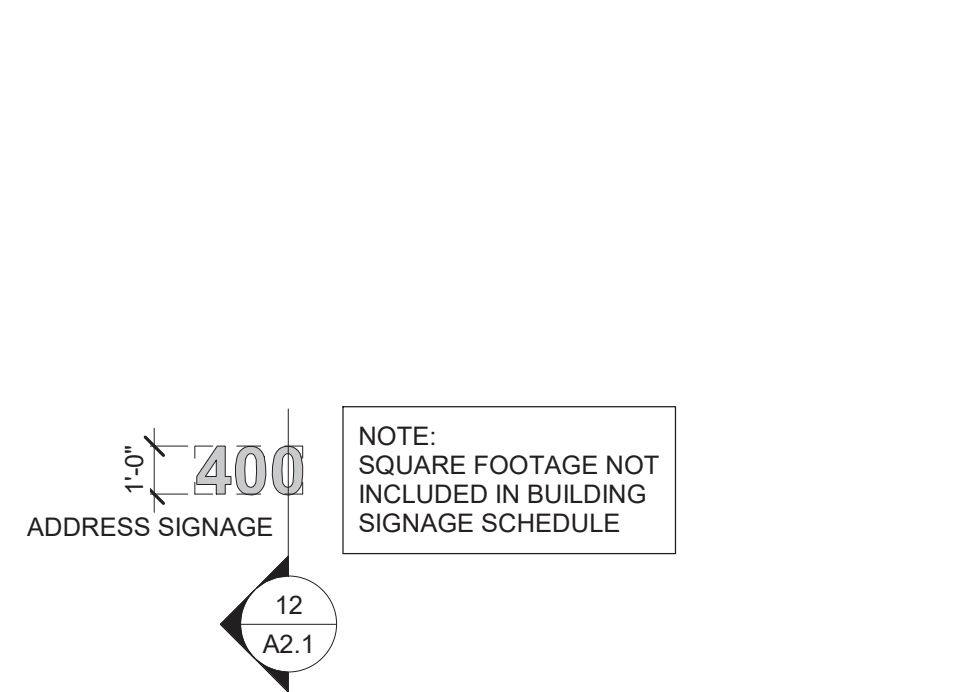


12 SIGN ATTACHMENT AT EIFS AND METAL STUD WALL
1 1/2" = 1'-0"

11 WALL PANEL SECTION
1 1/2" = 1'-0"

10 SIGNAGE ATTACHMENT (V1)
1 1/2" = 1'-0"

9 SIGNAGE ATTACHMENT
1 1/2" = 1'-0"



7 1'-6\" SIGNAGE
1/4\" = 1'-0"

4 2'-0\" SIGNAGE
1/4\" = 1'-0"

3 SIGN ATTACHMENT AT CMU WALL
1 1/2\" = 1'-0"

2 2'-6\" PICKUP ARROW RIGHT
1/4\" = 1'-0"

1 12'-0\" WALMART SIGN
1/4\" = 1'-0"

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CONSULTANTS: WALMART

Walmart
ALBUQUERQUE, NM
400 EUBANK BLVD NE
STORE NO: B35-275
JOB NUMBER: 21894016 | PHOTO: 1932

ISSUE BLOCK

1	PR #2	06/02/22

CHECKED BY: AT ROJAT
DRAWN BY: KFB
PROTO CYCLE: 02/25/22
DOCUMENT DATE: 04/27/22

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STATE OF NEW MEXICO
TRAVIS R. HAGER
No. 6148
REGISTERED ARCHITECT
06/02/2022

EXTERIOR SIGNAGE
SHEET: A2.1


ADMINISTRATIVE AMENDMENT

FILE #: SI-2022-00847

PROJECT #: PR-2018-001320

Reduction of signage square footage from 749.57 SF to 459.97 SF; Updates to

paint (to relocate current Pickup w/ Spark sign and match branding).



Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of Albuquerque,
ou=Planning Department, email=jmaranda@cabq.gov, c=US
Date: 2022.06.14 14:41:43 -06'00'

6/14/2022

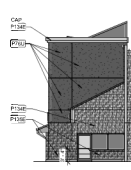
APPROVED BY

DATE

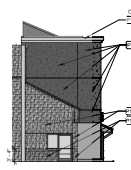
DEMOLITION NOTES	
1.	REMOVE EXTERIOR TENANT BRACK COORDINATE
2.	REMOVE EXTERIOR TENANT BRACK AND REMOVE FROM TO BE REINSTALLED, BRACK REMOVE FROM TENANT BRACK TO REMAIN
3.	REMOVE EXTERIOR TENANT BRACK AND REMOVE FROM TO BE REINSTALLED, BRACK REMOVE FROM TENANT BRACK TO REMAIN
4.	REMOVE EXTERIOR TENANT BRACK AND REMOVE FROM TO BE REINSTALLED, BRACK REMOVE FROM TENANT BRACK TO REMAIN
5.	REMOVE EXTERIOR TENANT BRACK AND REMOVE FROM TO BE REINSTALLED, BRACK REMOVE FROM TENANT BRACK TO REMAIN
6.	REMOVE EXTERIOR TENANT BRACK AND REMOVE FROM TO BE REINSTALLED, BRACK REMOVE FROM TENANT BRACK TO REMAIN
7.	REMOVE EXTERIOR TENANT BRACK AND REMOVE FROM TO BE REINSTALLED, BRACK REMOVE FROM TENANT BRACK TO REMAIN
8.	REMOVE EXTERIOR TENANT BRACK AND REMOVE FROM TO BE REINSTALLED, BRACK REMOVE FROM TENANT BRACK TO REMAIN

COLOR LEGEND	
1.	WALMART SIGNAGE
2.	WALMART SIGNAGE
3.	WALMART SIGNAGE
4.	WALMART SIGNAGE
5.	WALMART SIGNAGE
6.	WALMART SIGNAGE
7.	WALMART SIGNAGE
8.	WALMART SIGNAGE

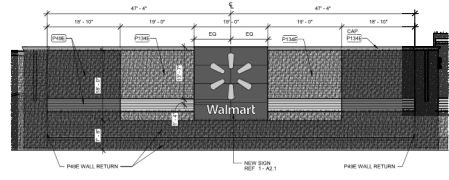
SHEET NOTES	
1.	PATCH AND REPAIR EXTERIOR WALL SURFACES
2.	REMOVE EXTERIOR TENANT BRACK AND REMOVE FROM TO BE REINSTALLED, BRACK REMOVE FROM TENANT BRACK TO REMAIN
3.	REMOVE EXTERIOR TENANT BRACK AND REMOVE FROM TO BE REINSTALLED, BRACK REMOVE FROM TENANT BRACK TO REMAIN
4.	REMOVE EXTERIOR TENANT BRACK AND REMOVE FROM TO BE REINSTALLED, BRACK REMOVE FROM TENANT BRACK TO REMAIN
5.	REMOVE EXTERIOR TENANT BRACK AND REMOVE FROM TO BE REINSTALLED, BRACK REMOVE FROM TENANT BRACK TO REMAIN
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8.	REMOVE EXTERIOR TENANT BRACK AND REMOVE FROM TO BE REINSTALLED, BRACK REMOVE FROM TENANT BRACK TO REMAIN



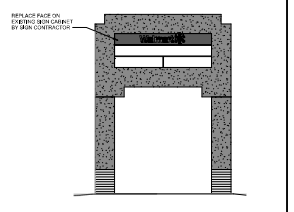
8 GM VESTIBULE SIDE ELEVATION
T=1'-2 1/2"



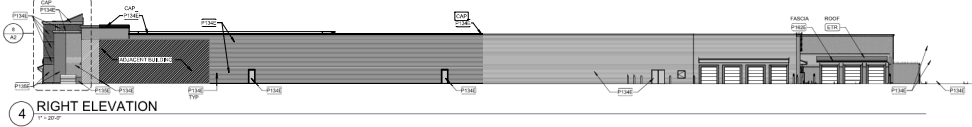
7 GR VESTIBULE SIDE ELEVATION
T=1'-2 1/2"



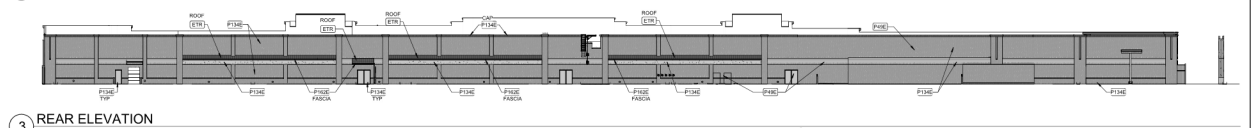
6 LEFT ELEVATION - ENLARGED SIGNAGE
T=1'-10"



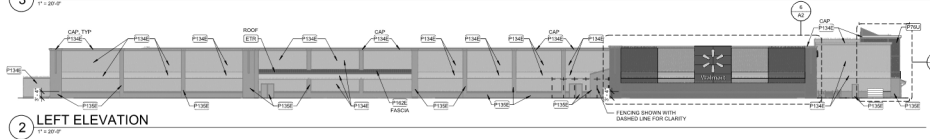
5 EXISTING FREESTANDING SIGN
SHP=1'-10"



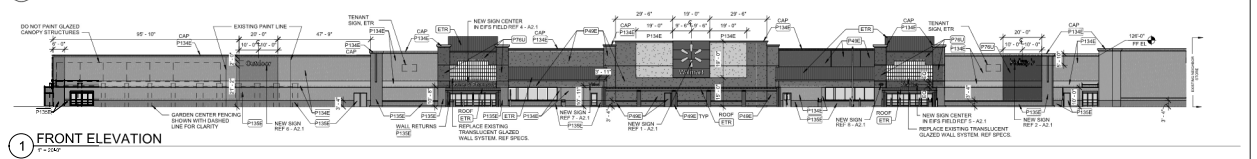
4 RIGHT ELEVATION
T=2'-0"



3 REAR ELEVATION
T=1'-2 1/2"



2 LEFT ELEVATION
T=1'-10"



1 FRONT ELEVATION
T=2'-10"

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Fax: 970.221.8881
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Walmart ALBUQUERQUE, NM
STORE NO. 5232
STORE ADDRESS: 13000 W. CENTRAL AVENUE, ALBUQUERQUE, NM 87119

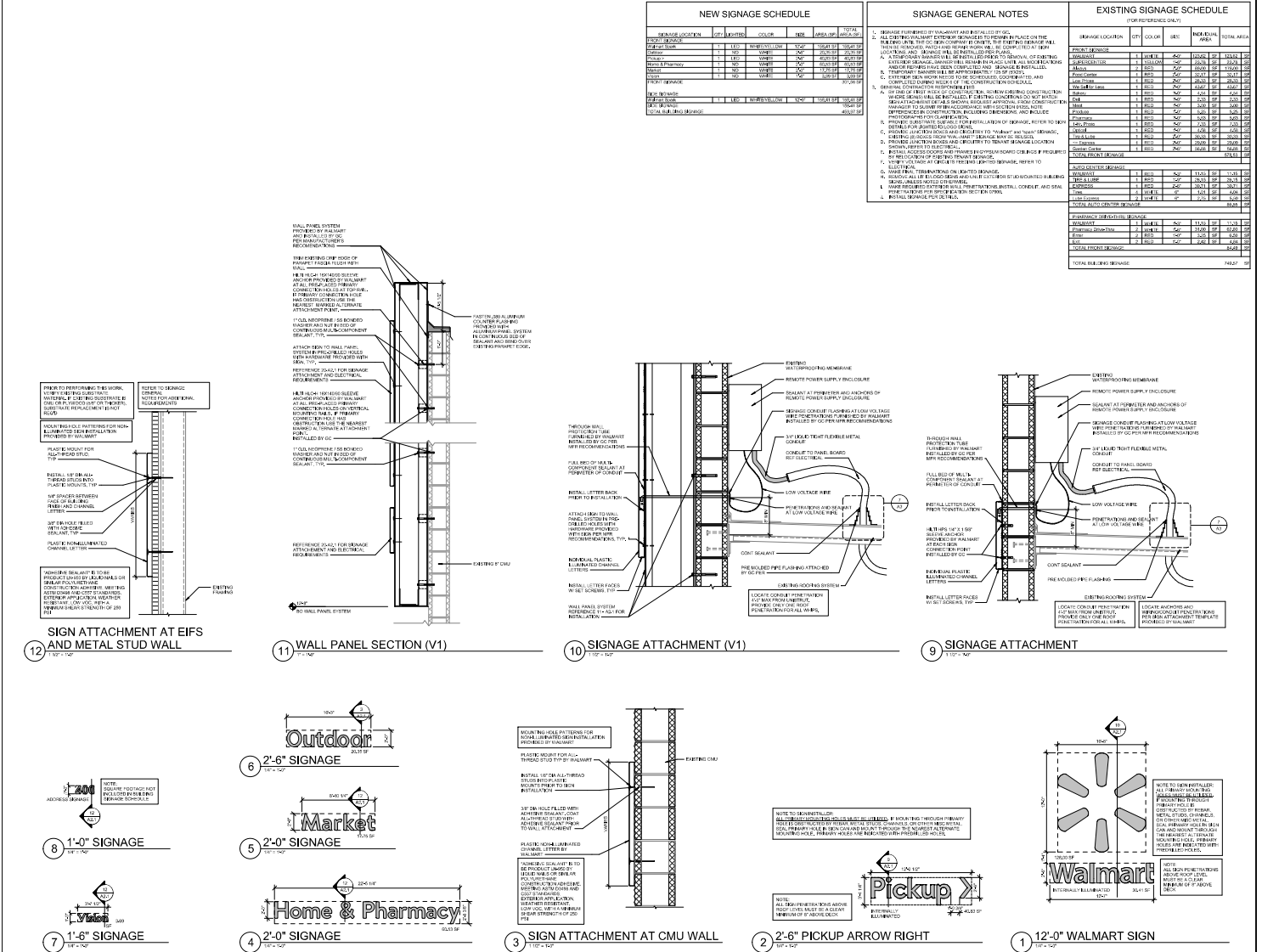
ISSUE BLOCK

NO.	DESCRIPTION	DATE

CHECKED BY: **TRAVIS R. HANSEN**
DRAWN BY: **TRAVIS R. HANSEN**
DATE: **04/27/2022**

EXTERIOR ELEVATIONS

SHEET A2



NEW SIGNAGE SCHEDULE

SIGNAGE LOCATION	LETTER HEIGHT	COLOR	AREA (SQ FT)	TOTAL AREA (SQ FT)
OUTDOOR	2'-0"	WHITE	35.31	35.31
MARKET	2'-0"	WHITE	35.31	70.62
HOME & PHARMACY	2'-0"	WHITE	35.31	105.93
PICKUP	2'-6"	WHITE	35.31	141.24
WALMART	12'-0"	WHITE	35.31	176.55
TOTAL NEW SIGNAGE				428.41

SIGNAGE GENERAL NOTES

- REMOVE EXISTING SIGNAGE AND REINSTALL AS SHOWN.
- ALL SIGNAGE SHALL BE INSTALLED TO BE VIEWED FROM THE FRONT OF THE SIGNAGE AND SHALL BE MAINTAINED IN THE BEST CONDITION AT ALL TIMES.
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EXISTING SIGNAGE SCHEDULE

SIGNAGE LOCATION	LETTER HEIGHT	COLOR	AREA (SQ FT)	TOTAL AREA (SQ FT)
OUTDOOR	2'-0"	WHITE	35.31	35.31
MARKET	2'-0"	WHITE	35.31	70.62
HOME & PHARMACY	2'-0"	WHITE	35.31	105.93
PICKUP	2'-6"	WHITE	35.31	141.24
WALMART	12'-0"	WHITE	35.31	176.55
TOTAL EXISTING SIGNAGE				428.41

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Walmart ALBUQUERQUE, NM

ISSUE BLOCK

EXTERIOR SIGNAGE

A2.1