

FILE: T:\Orb\ORB Job Files\16--210--TITAN--Highlands North\Block\CAD Files\Construction Documents\18xxx\4th Submittal\16210 A110 Site Plan.dwg USER: jps DATE: Aug. 03 2018 TIME: 03:18 pm

LIGHTING LEGEND

- LED POLE LIGHT. +15' T.O.F. TYPE AS SHOWN ON PLAN.
- LED POST TOP LIGHT. +15' T.O.F. OR UNLESS NOTED OTHERWISE ON PLAN. TYPE AS SHOWN ON PLAN.
- LED CARPORT LIGHT. TYPE 'CP'.
- ⊕ LED WALL MINI WALL PACK. +10' B.O.F. TYPE 'WP'.
- † LED WALL SCONCE. DECORATIVE. +6' B.O.F. TYPE 'WS'.

LEGEND

- PROPERTY LINE
- ① BUILDING NUMBER
- ⬇️ NO. OF PARKING SPACES NO. OF COVERED SPACES
- ♿️ ACCESSIBLE PARKING SPACE OR ANSI TYPE 'A' DWELLING UNIT
- T TRANSFORMER LOCATION
- WM WATER METER LOCATION
- ⚡️ FIRE HYDRANT
- ⊕ GAS METER LOCATION
- ⊕ REMOTE F.D.C. LOCATION

DEVELOPMENT DATA

NET SITE AREA:
2.3939 ACRES (104,278 S.F.)

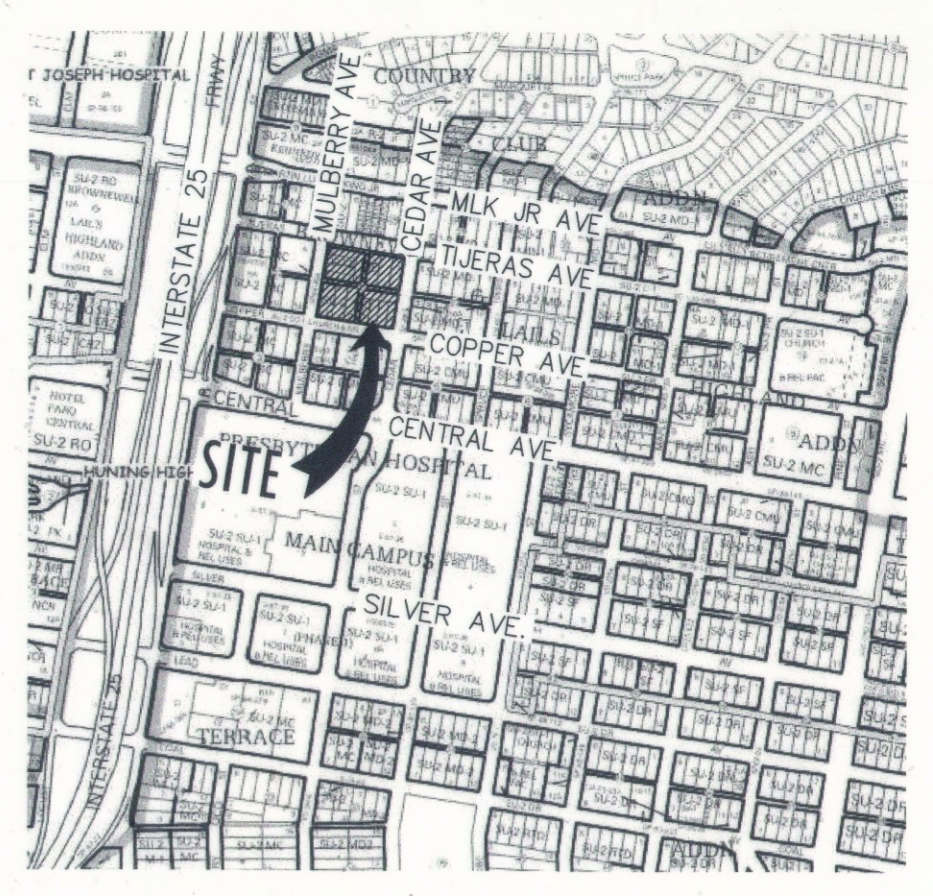
ZONING AND LAND USE:
EXISTING: R-MH
LAND USE: MULTI-FAMILY RESIDENTIAL

BUILDING HEIGHT:
ALLOWED: 65'-0"
PROPOSED: 17'-6" / 63'-5"

DENSITY:
PROPOSED: 92 D.U./2.39 AC = 38.49 DU/ACRE

SETBACKS:

FRONTAGE	REAR	SIDES
REQUIRED: MAX. 10' ALONG 70%	15'	0'
PROVIDED: 10' - MULBERRY ST	6'/9'	10' AT COPPER AVE. 6'/9' AT TIJERAS AVE.



VICINITY MAP
NOT TO SCALE

KEYNOTES

1. 9'x16' PARKING SPACE WITH 2' OVERHANG, SEE DETAIL 01/A1.20. TYPICAL.
2. 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG, SEE DETAIL 05/A1.20.
3. ACCESSIBLE GARAGE SPACE.
4. ACCESSIBLE DRIVEWAY CROSSING PAINTED MARKING.
5. CARPORT PARKING STRUCTURE, SEE DETS. 06, 09/A1.20.
6. TRASH ENCLOSURE WITH 15 C.Y. COMPACTOR SURROUNDED BY 8' CMU WALL PAINTED TO MATCH BUILDING, SEE DET 14/A1.20.
7. ELECTRONIC ENTRY GATE, EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 28/A1.21.
8. RESIDENT ONLY REMOTE CONTROL ENTRY GATE, EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 28/A1.21.
9. PEDESTRIAN ENTRY GATE, SEE DETAIL 23/A1.21.
10. POOL GATE, SEE DETAIL 24/A1.21.
11. CMU PERIMETER WALL, SEE DETAIL 16/A1.21.
12. WROUGHT IRON POOL FENCE, SEE DETAIL 19/A1.21.
13. CMU POOL WALL, SEE DETAIL 16/A1.21.
14. 6' SIDEWALK CONNECTING TO PUBLIC WAYS, GRAY CONCRETE COLOR.
15. 4' SIDEWALK, TYPICAL ON SITE, GRAY CONCRETE COLOR.
16. 6' SIDEWALK, TYPICAL AT PARKING AREA, GRAY CONCRETE COLOR, SEE DETAIL 09/A1.20.
17. 6' EXTERIOR SIDEWALK AROUND SITE, GRAY CONCRETE COLOR.
18. 6' SIDEWALK AT STAIR APPROACH, GRAY CONCRETE COLOR, TYPICAL.
19. BICYCLE PARKING RACK FOR 4 BICYCLES, SEE DET. 4/A1.14.
20. CMU RETAINING WALL W/6' FENCE ABOVE, SEE DET. 17/A1.21.
21. 4' CMU WALL WITH 2' FENCE ABOVE, SEE DETAIL 27/A1.21.
22. 35'x35' VISIBILITY TRIANGLE AT STREET CORNER.
23. 11'x11' SIGHT VISIBILITY TRIANGLE AT DRIVEWAY ENTRY.
24. ENHANCED PAVING AT MAIN ENTRY AUTO COURT.
25. FLUSH CURB WITH PAVING AT MAIN ENTRY AUTO COURT, PROVIDE POTS AND WHEEL STOP FOR VEHICULAR WAYFINDING.
26. FIRE RISER LOCATION, SEE BUILDING PLANS.
27. ELECTRICAL EQUIPMENT, PER ELECTRICAL.
28. ENTRY MONUMENT SIGN, PER DETAIL 29/A1.21.
29. ACCESSIBLE RAMP, PER DETAIL 8/A1.22.
30. POOL LIFT, PER DET. 43/A1.22.
31. 5'x8' MOTORCYCLE PARKING SPACE.

GENERAL NOTES

1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
2. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
3. PROVIDE NEW CURB AND GUTTER WITH ON STREET PARKING ON ALL 4 SIDES PER STD. DWG. 2415A, 2418, 2406 & ANY OTHER THAT MAY APPLY. ALL UNUSED CURB CUTS SHALL BE REPLACED WITH NEW CURB & GUTTER AND SIDEWALKS.
4. SIGNAGE WILL BE REGULATED BY THE APPROVED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT. THE MAIN BUILDING WILL CONTAIN NO MORE THAN TWO BUILDING-MOUNTED BLADE SIGNS THAT WILL NOT EXCEED 50 SQUARE FEET IN AREA EACH. NO MORE THAN FOUR WALL-MOUNTED OR MONUMENT SIGNS WILL BE LOCATED ON THE PERIMETER OF THE SITE AND WILL NOT EXCEED 100 SQUARE FEET IN AREA EACH. SIGNAGE MAY BE APPROVED ADMINISTRATIVELY AS LONG AS IT FOLLOWS THESE REQUIREMENTS.
5. POOL, SPA AND EQUIPMENT SHALL BE SUBMITTED AND REVIEWED UNDER SEPARATE PERMIT.

PROJECT NUMBER: PR-2018-001333

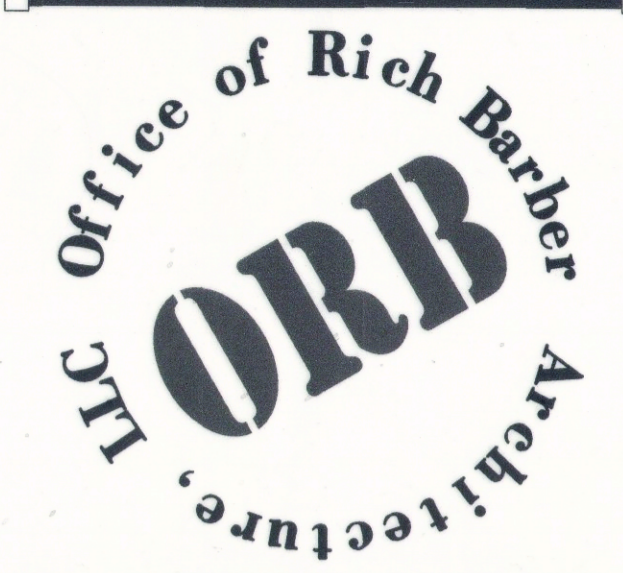
Application Number: SI-2018-00069

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

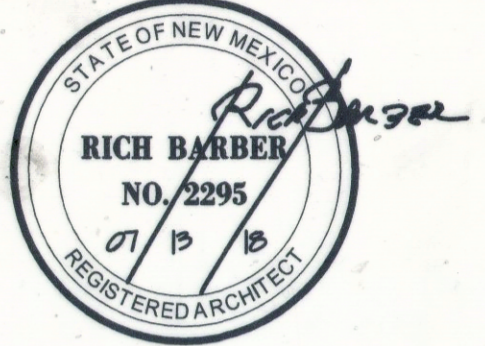
DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Rosario</i> Traffic Engineering, Transportation Division	4/22/18
<i>Thiele</i> ABCWA	10-16-18
<i>Sambora</i> Parks and Recreation Department	8/22/18
<i>James P. Taylor</i> City Engineer/Hydrology	8/22/2018
<i>William</i> Code Enforcement	22-AUG-2018
<i>NIA</i> Environmental Health Department (conditional)	Date
<i>NIA</i> Solid Waste Management	Date
<i>DRB</i> Chairperson, Planning Department	10-16-18

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NWC CEDAR ST AND COPPER AVE
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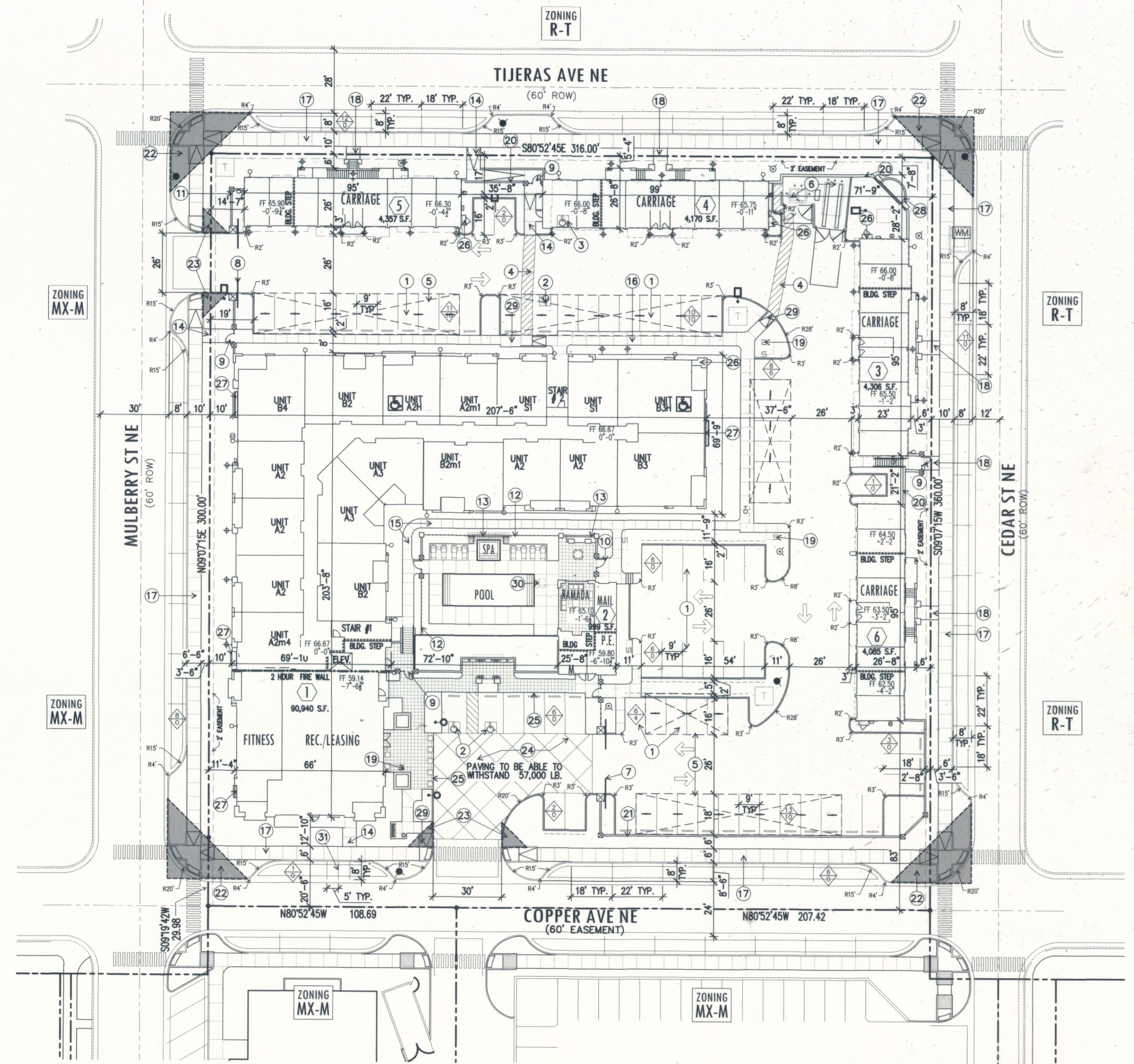
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REVISIONS

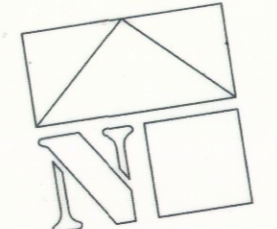
DRB SUBMITTAL
DATE: AUGUST 03, 2018 ORB # 16-210

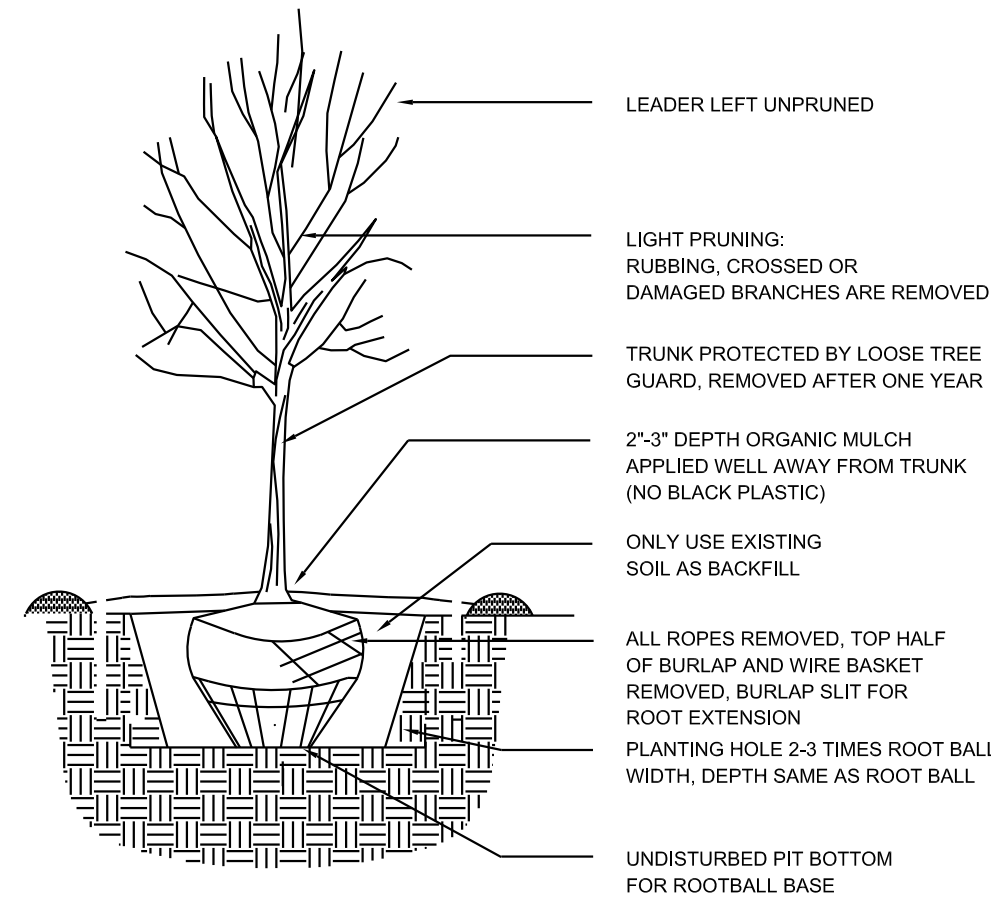
A1.10
SITE PLAN



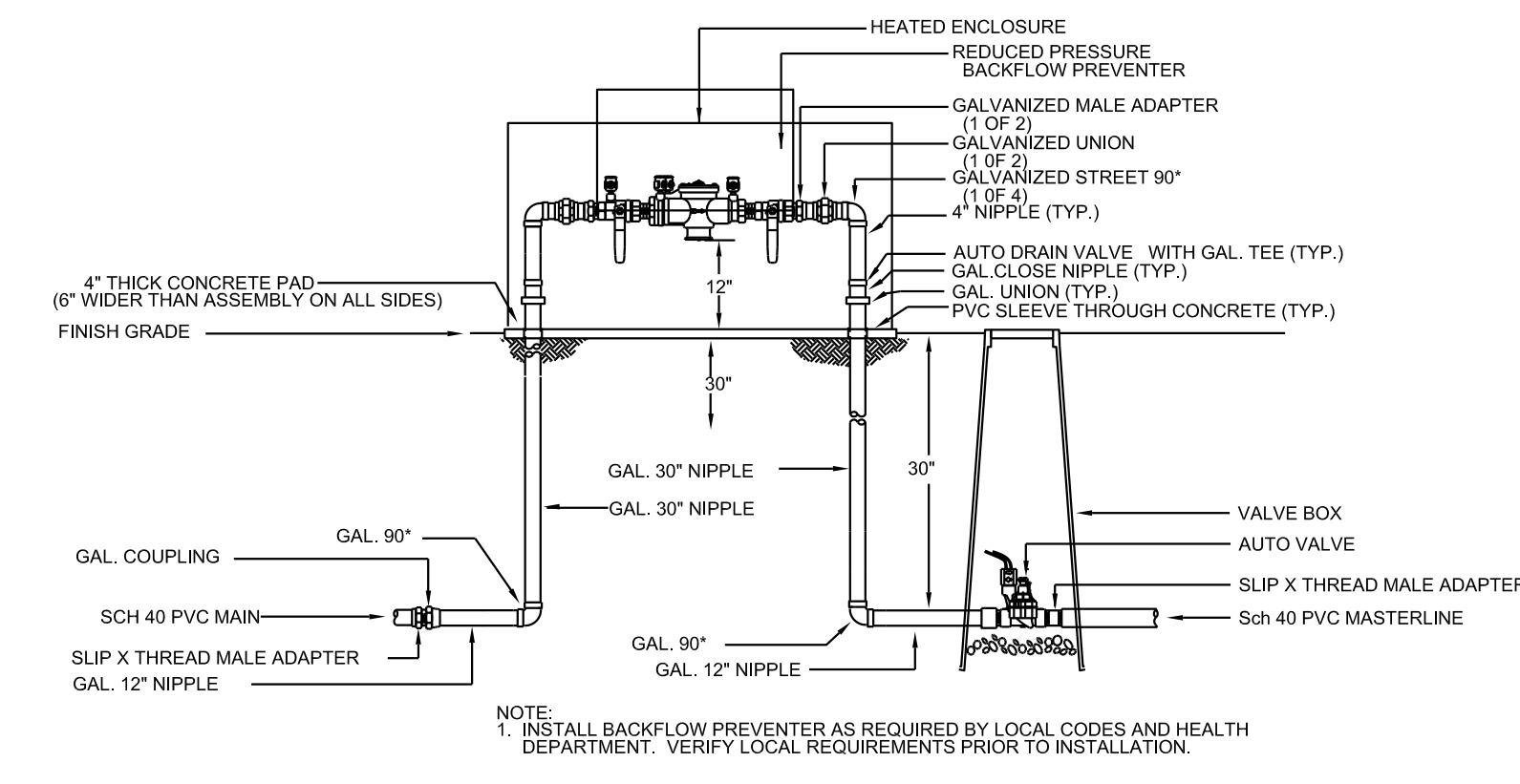
SITE PLAN

SCALE: 1" = 30'-0"

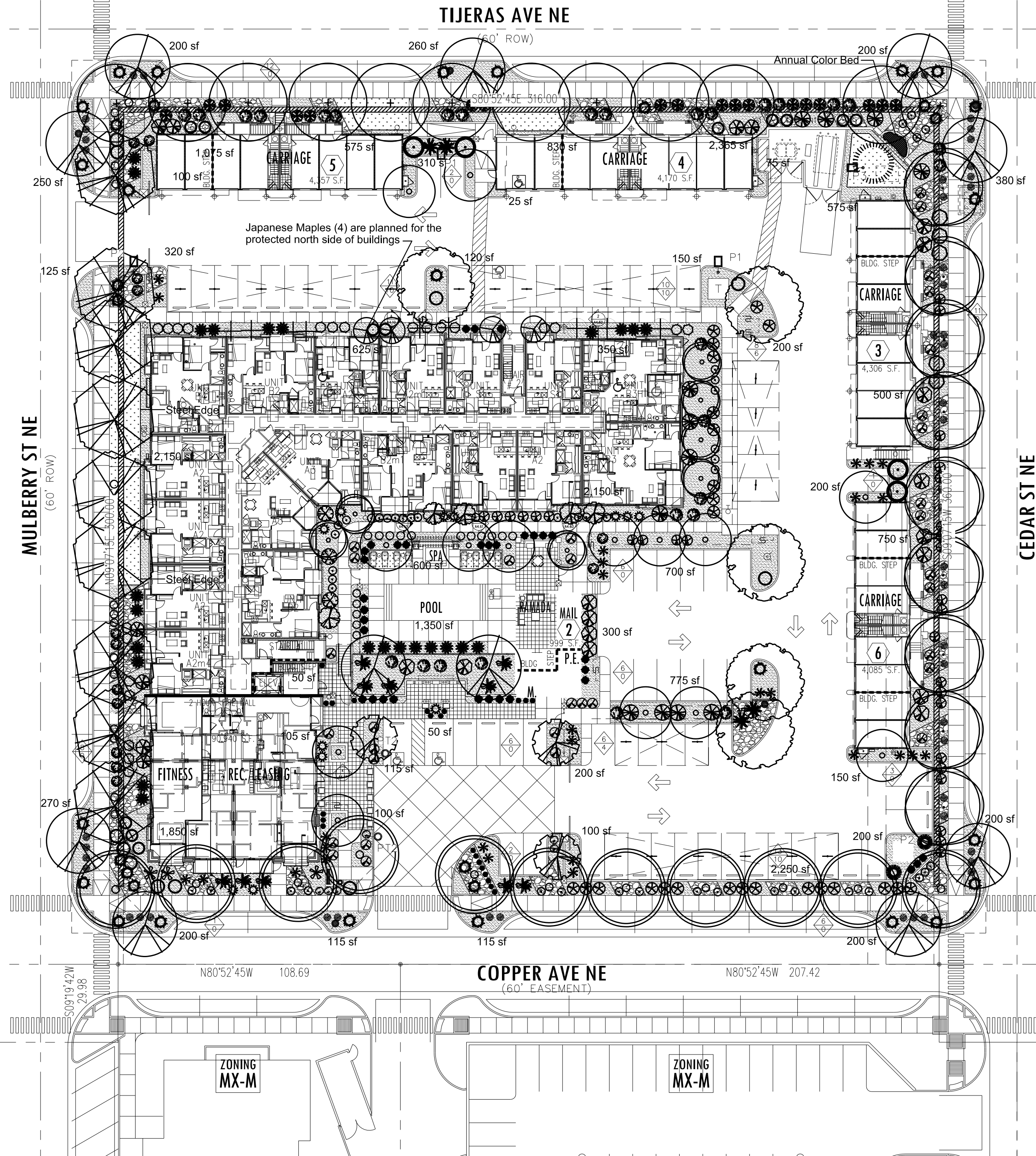




TREE PLANTING DETAIL



RP BACKFLOW/MASTER VALVE DETAIL



LANDSCAPE PLAN



SITE DATA

GROSS LOT AREA (5.4384 ac) 104,278 SF
 LESS BUILDING(S) 32,292 SF
 NET LOT AREA 71,986 SF

REQUIRED LANDSCAPE 15% OF NET LOT AREA 10,798 SF
 PROPOSED LANDSCAPE 24,230 SF
 PERCENT OF NET LOT AREA 33 %

HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA 4,945 SF
 PROPOSED HIGH WATER USE TURF 2,225 SF
 PERCENT OF LANDSCAPE AREA 9 %

REQUIRED STREET TREES 1 PER 30 L.F. OF STREET FRONTAGE 41
 PROVIDED STREET TREES 41

REQUIRED PARKING LOT TREES 1 PER 10 SPACES 8
 73 SPACES/10 PROVIDED PARKING LOT TREES 8

REQUIRED DWELLING UNIT TREES ONE PER FIRST FLOOR UNIT 18
 ONE PER SECOND FLOOR UNIT 22
 PROVIDED DWELLING UNIT TREES 40
 TOTAL TREE REQUIRED/PROVIDED (2\"/>

REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (24,230 SF PROPOSED LANDSCAPE X 75%) 18,172 SF MIN.
 SOD LAWN/100 % COVERAGE 2,225 SF
 PROVIDED GROUND COVER COVERAGE 17,205 SF
 TOTAL PROVIDED GROUND COVER COVERAGE 19,430 SF
 PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS 80%

AREA GROUND LEVEL 10% OF GROSS LOT AREA 10,428 SF MIN.
 (104,278 SF x 10%)

USEABLE OPEN SPACE 50% REDUCTION IN UC-MS-PT AREAS 20,000 SF x 50%=10,000 SF
 PROVIDED 11,930 SF

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE/ZONING CODE 5-6(C)(14) (a,b,c)

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3\"/>

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10 AND IDO ZONING

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE. ZONING CODE 5-6(C)(14) (a,b,c)

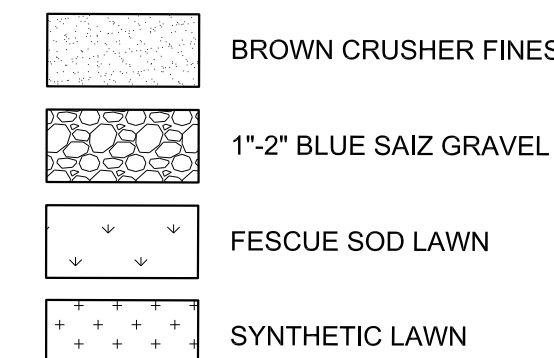
STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER:
 1 HOUR/4 DAYS A WEEK
 SPRING:
 1 HOUR/2-3 DAYS A WEEK
 FALL:
 1 HOUR/2-3 DAYS A WEEK
 WINTER:
 1 HOUR/2 DAYS PER MONTH

MATERIALS LEGEND



PLANT LEGEND

Qty.	Symbol	Scientific Name	Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
7	[Symbol]	Vitex Agnus-Castus	Chaste Tree	2\"/>				

growing better **Up Heads**
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STATE OF NEW MEXICO
 JOHN GILLES BRALY
 #128
 REGISTERED LANDSCAPE ARCHITECT

TITAN DEVELOPMENT

ALLIANCE RESIDENTIAL COMPANY

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REVISIONS

- 8/30/17 1ST CITY REVIEW
- 8/30/17 DESIGN TEAM COORDINATION
- 10/12/17 2ND CITY REVIEW
- 10/12/17 DESIGN TEAM COORDINATION
- 05/18/18 3RD CITY REVIEW/OWNER CHANGES
- 7/26/05 CITY REVIEW
- 7/26/05 CITY REVIEW
- 7/26/05 CITY REVIEW
- 7/26/05 CITY REVIEW
- 7/26/05 CITY REVIEW
- 7/26/05 CITY REVIEW

3RD CITY SUBMITTAL
 DATE: MAY 18, 2018 ORB # 16-210

L1.10 LANDSCAPE PLAN

FILE: S:\DESIGN\1 - ACTIVE_JOBS\North Block Apartments\CAD Revised 5.11.18\Highlands North Block Landscaping\16-210.dwg 8/14/18.dwg USER: jfc DATE: Aug. 15, 2018 TIME: 04:34 pm

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NWC CEDAR ST AND COPPER AVE
ALBUQUERQUE, NEW MEXICO



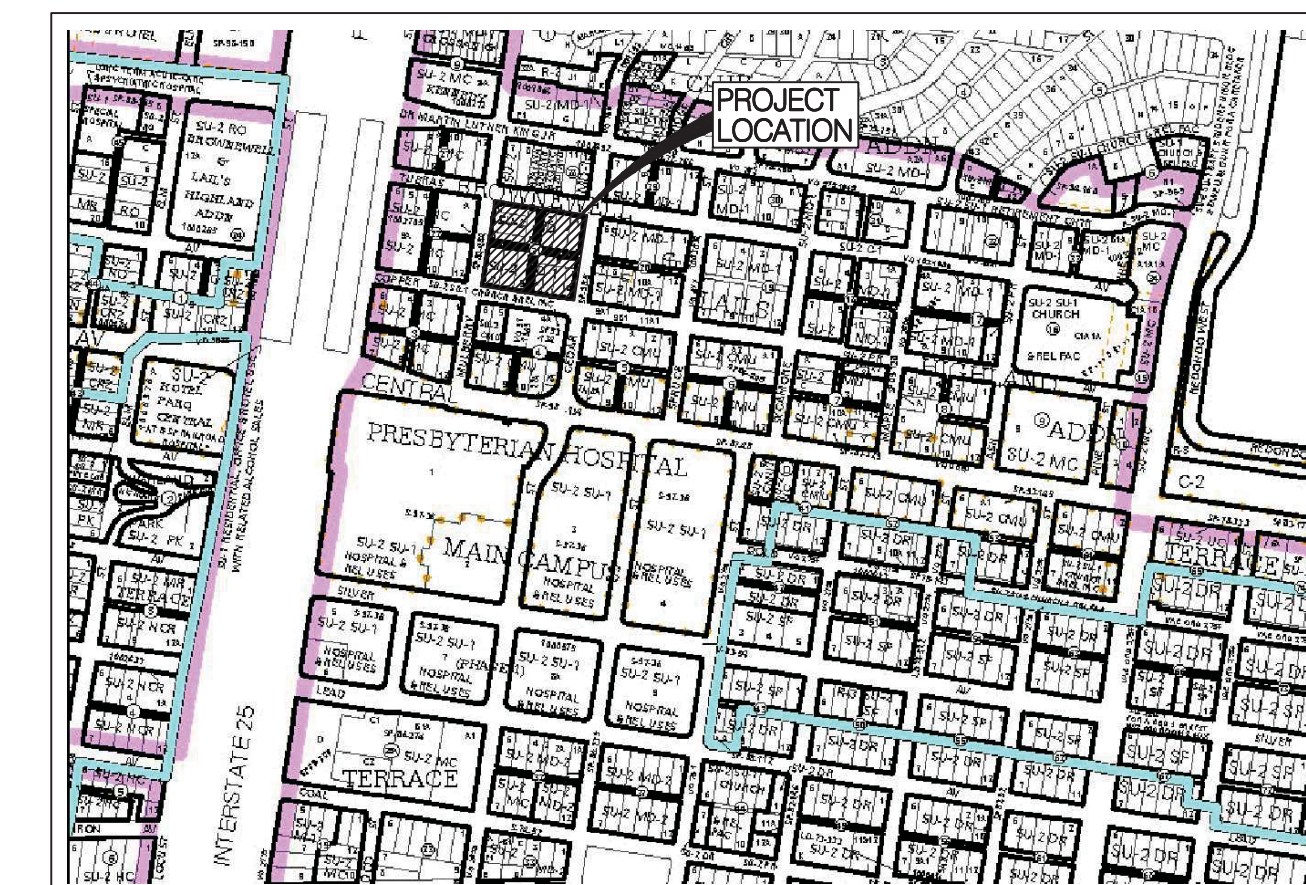
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NOT FOR CONSTRUCTION



Bohannon Huston
www.bhnc.com 800.877.5332



VICINITY MAP

ZONE MAP: K-15-Z

GRADING SHEET NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE COA STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
- EARTH SLOPES SHALL NOT EXCEED 5 HORIZONTAL TO 1 VERTICAL PER THE GEOTECHNICAL REPORT UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK/DISTURBANCE OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%
- HDPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

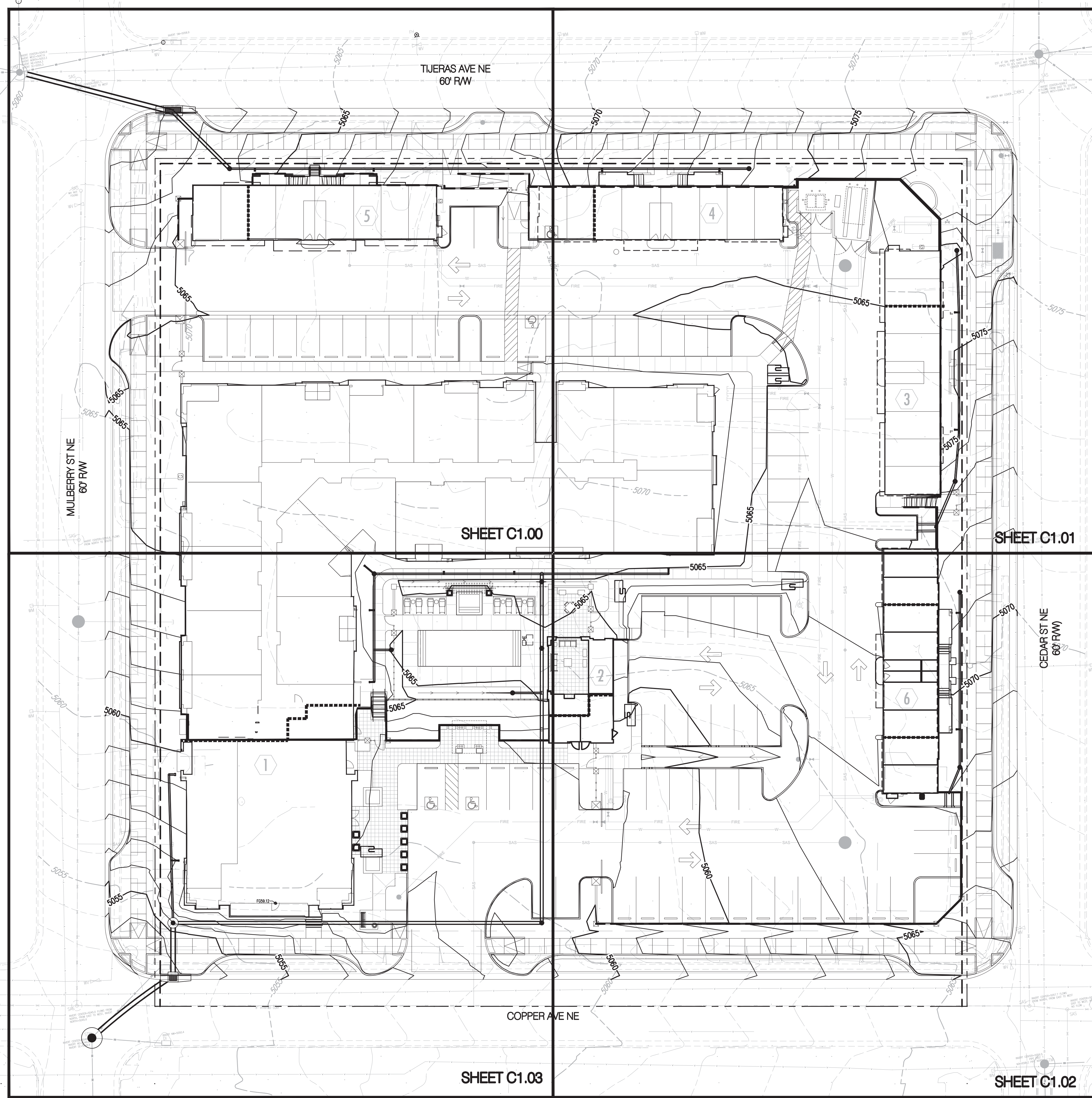
NOTE: ALL WORK SHOWN IN THE R/W SHALL BE CONSTRUCTED PER COA PUBLIC WORK ORDER CPN 764782. GRADES SHOWN WITHIN THE R/W ARE FOR REFERENCE ONLY. IF PROPOSED GRADES IN R/W DIFFER FROM ON-SITE GRADES SHOWN, CONTACT ENGINEER IMMEDIATELY.



1"=10'

GENERAL SHEET NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, COA PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, DRIVEWAY PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE PROJECT MUST CONFORM WITH THE EROSION AND SEDIMENT REQUIREMENTS OF THE 2003 EPA CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS & CODES WHICHEVER IS MORE STRINGENT.



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REVISIONS

1	8/30/17	1ST CITY REVIEW
2	8/30/17	DESIGN TEAM COORDINATION
3	10/12/17	2ND CITY REVIEW
4	10/12/17	DESIGN TEAM COORDINATION
5	05/18/18	3RD CITY REVIEW/OWNER CHANGES
6	8/10/18	4TH CITY REVIEW/COORDINATION

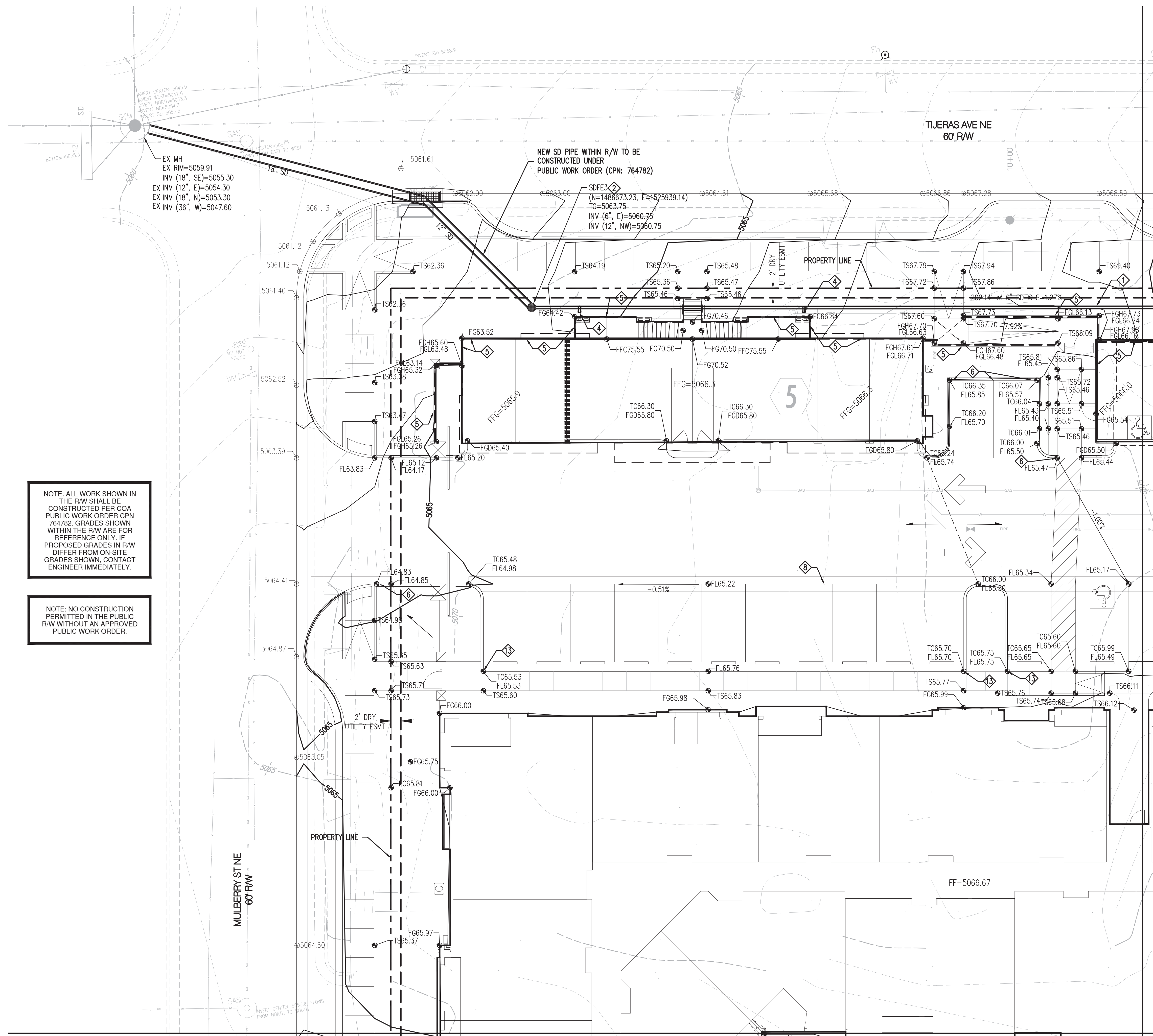
4TH CITY SUBMITTAL

DATE: AUGUST 10, 2018 ORB # 16-210

C0.01

OVERALL GRADING PLAN

FILE: P:\20160154\CDP\Plans\General\20160154_N_C01.dwg USER: enewman DATE: Aug. 14 2018 TIME: 01:16 pm

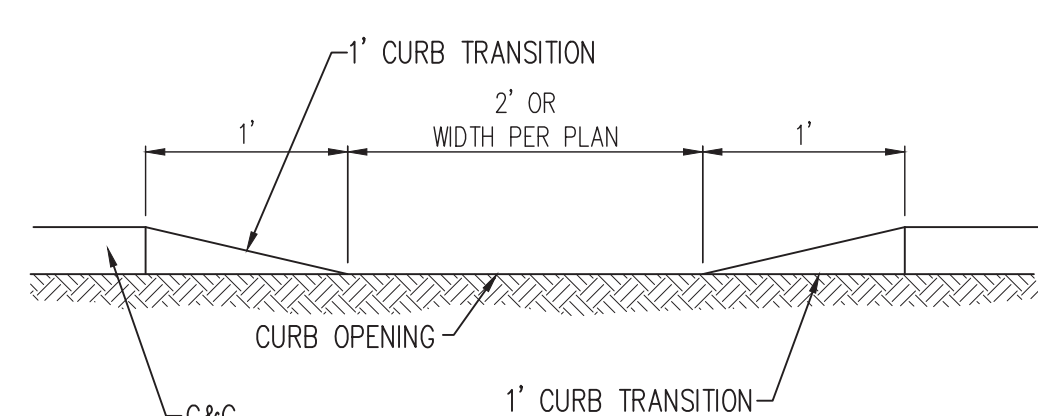


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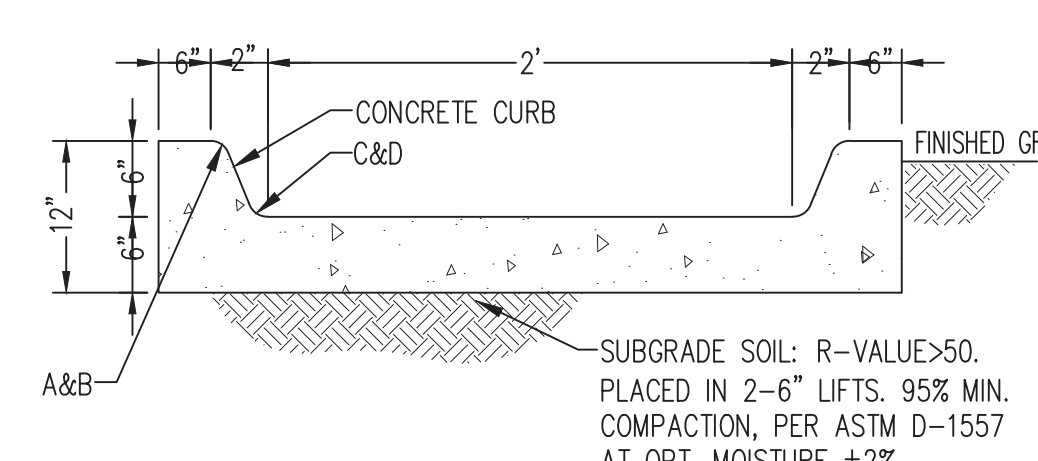
NOTE: NO CONSTRUCTION PERMITTED IN THE PUBLIC R/W WITHOUT AN APPROVED PUBLIC WORK ORDER.

GRADING KEYNOTES

1. INSTALL HDPE (N12 WT, OR APPROVED EQUAL) STORM DRAIN PIPE (SIZE PER PLAN)
2. INSTALL 18" NYLOPLAST STORM DRAIN INLET OR APPROVED EQUAL PER MANUFACTURER'S SPECIFICATIONS.
3. INSTALL PRE-FABRICATED STORM DRAIN FITTING, EXTEND 6" LINE.
4. STUB PROPOSED ROOF DRAIN CONNECTIONS WITHIN 5' OF THE BUILDING; SEE PLUMBING PLANS FOR CONTINUATION. CONNECT TO MAIN W/ PRE-MANUFACTURED STORM DRAIN FITTING.
5. INSTALL RETAINING WALL; SEE ARCHITECTURAL/STRUCTURAL PLANS FOR DETAILS
6. INSTALL CURB OPENING PER DETAIL A1, SHEET C1.00.
7. DAYLIGHT STORM DRAIN IN WALL INTO CURB AND GUTTER OF PARKING AREA.
8. INSTALL 3" WIDE CONCRETE VALLEY GUTTER PER COA STD. DWG. 2421
9. INSTALL 24" SIDEWALK CULVERT PER COA STD. DWG. 2236
10. INSTALL TYPE 'C' MANHOLE PER COA STD. DWG. 2101
11. INSTALL PRE-FABRICATED STORM DRAIN FITTING, EXTEND 6" LINE. SEE HARDSCAPE PLANS FOR EXACT LOCATION OF FIRE PIT INLET.
12. INSTALL 24" CONCRETE RUNDOWN PER DETAIL A2, SHEET C1.00.
13. INSTALL 1" CURB TRANSITION FROM FLUSH CURB TO 6" CURB.



A1 TYPICAL CURB OPENING NOT TO SCALE



CROSS SECTION VIEW

- A. ±0.75" RADIUS.
- B. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- C. ±2" RADIUS.
- D. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.

A2 CONCRETE RUNDOWN NOT TO SCALE



GRADING LEGEND

---	PROPERTY LINE	---	PROPOSED CURB & GUTTER
---	PROJECT LIMITS OF GRADING	---	DIRECTION OF FLOW
---	EXISTING INDEX CONTOUR	---	WATER BLOCK/GRADE BREAK
---	EXISTING INTERMEDIATE CONTOUR	---	PROPOSED STORM DRAIN LINE
⊕ 5025.25	EXISTING GROUND SPOT ELEVATION	⊕	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED INDEX CONTOUR	⊕	PROPOSED STORM DRAIN INLETS
---	PROPOSED INTERMEDIATE CONTOUR	---	PROPOSED RETAINING WALL
---	PROPOSED FLOW LINE	---	EASEMENT
⊕ 26.75	PROPOSED FINISHED GRADE SPOT ELEVATION	---	FF STEP
---	TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW, FFG=FINISH FLOOR GARAGE, FFC=FINISH FLOOR CARRIAGE, FGD=FINISH GROUND DRIVEWAY		

MATCHLINE - SEE SHEET C1.03

MATCHLINE - SEE SHEET C1.01

BROADSTONE HIGHLANDS NORTH

NWC CEDAR ST AND COPPER AVE ALBUQUERQUE, NEW MEXICO



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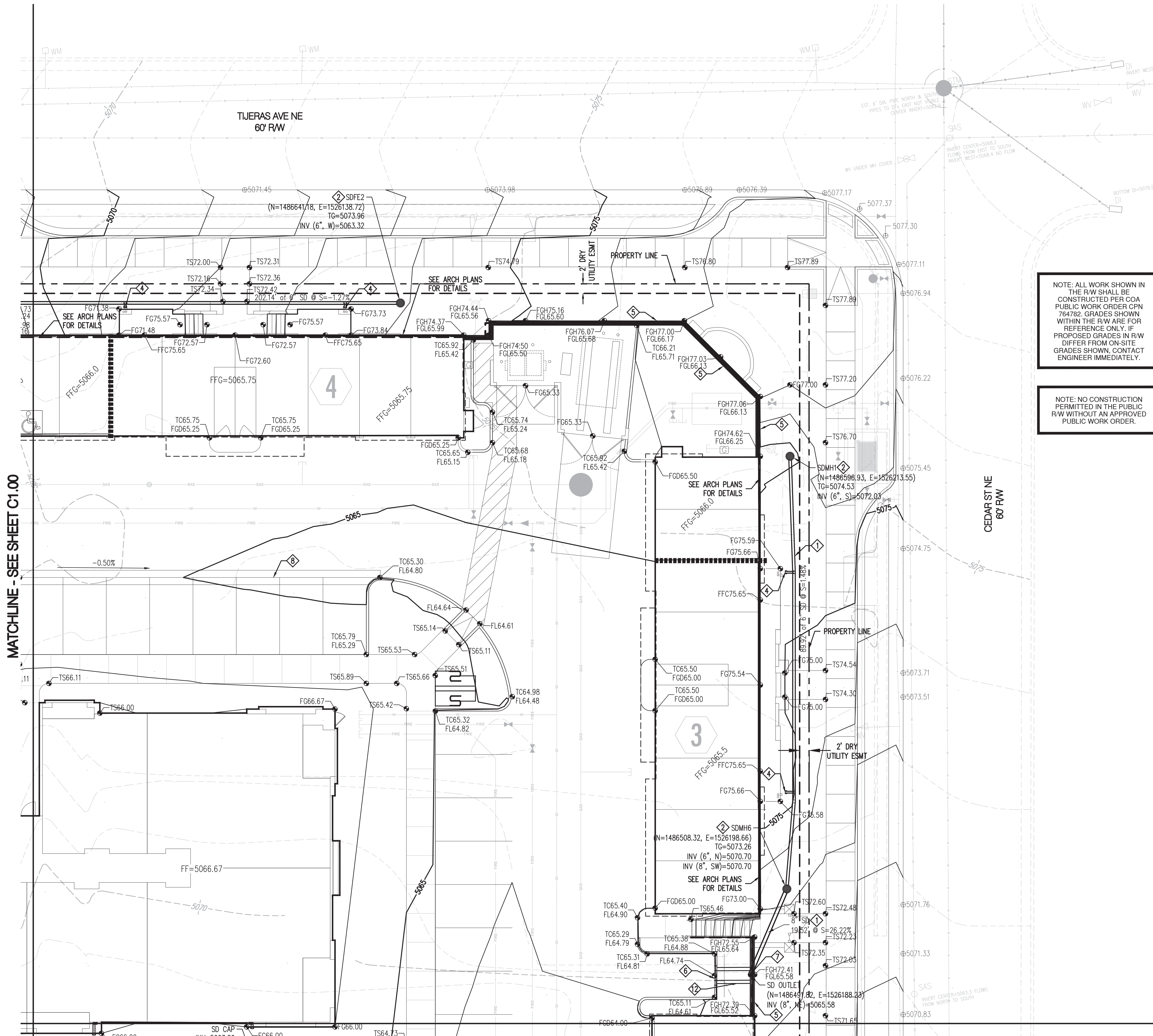
4TH CITY SUBMITTAL

DATE: AUGUST 10, 2018 ORB # 16-210

C1.00

OVERALL GRADING PLAN

FILE: P:\2016\0154\CDP\Plans\General\20160154_N_C1.01.dwg USER: enenman DATE: Aug. 14 2018 TIME: 01:57 pm

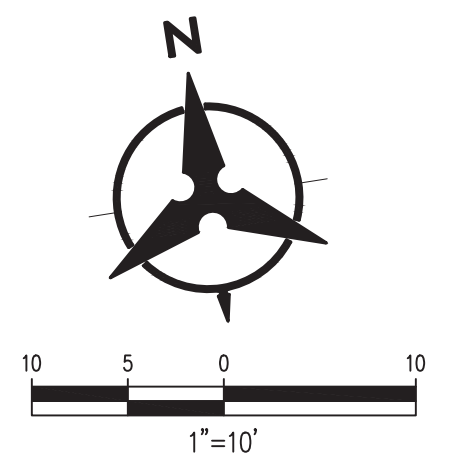


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NOTE: NO CONSTRUCTION PERMITTED IN THE PUBLIC RW WITHOUT AN APPROVED PUBLIC WORK ORDER.

GRADING KEYNOTES

1. INSTALL HDPE (N12 WT, OR APPROVED EQUAL) STORM DRAIN PIPE (SIZE PER PLAN)
2. INSTALL 18" NYLOPLAST STORM DRAIN INLET OR APPROVED EQUAL PER MANUFACTURES SPECIFICATIONS.
3. INSTALL PRE-FABRICATED STORM DRAIN FITTING, EXTEND 6" LINE.
4. STUB PROPOSED ROOF DRAIN CONNECTIONS WITHIN 5' OF THE BUILDING; SEE PLUMBING PLANS FOR CONTINUATION, CONNECT TO MAIN W/ PRE-MANUFACTURED STORM DRAIN FITTING.
5. INSTALL RETAINING WALL; SEE ARCHITECTURAL/STRUCTURAL PLANS FOR DETAILS
6. INSTALL CURB OPENING PER DETAIL A1, SHEET C1.00.
7. DAYLIGHT STORM DRAIN IN WALL INTO CURB AND GUTTER OF PARKING AREA.
8. INSTALL 3" WIDE CONCRETE VALLEY GUTTER PER COA STD. DWG. 2421
9. INSTALL 24" SIDEWALK CULVERT PER COA STD. DWG. 2236
10. INSTALL TYPE 'C' MANHOLE PER COA STD. DWG. 2101
11. INSTALL PRE-FABRICATED STORM DRAIN FITTING, EXTEND 6" LINE. SEE HARDSCAPE PLANS FOR EXACT LOCATION OF FIRE PIT INLET.
12. INSTALL 24" CONCRETE RUNDOWN PER DETAIL A2, SHEET C1.00.
13. INSTALL 1" CURB TRANSITION FROM FLUSH CURB TO 6" CURB.



GRADING LEGEND

---	PROPERTY LINE	---	PROPOSED CURB & GUTTER
---	PROJECT LIMITS OF GRADING	---	DIRECTION OF FLOW
---	EXISTING INDEX CONTOUR	---	WATER BLOCK/GRADE BREAK
---	EXISTING INTERMEDIATE CONTOUR	---	PROPOSED STORM DRAIN LINE
---	EXISTING GROUND SPOT ELEVATION	---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED INDEX CONTOUR	---	PROPOSED STORM DRAIN INLETS
---	PROPOSED INTERMEDIATE CONTOUR	---	PROPOSED RETAINING WALL
---	PROPOSED FLOW LINE	---	EASEMENT
---	PROPOSED FINISHED GRADE SPOT ELEVATION	---	FF STEP

BROADSTONE HIGHLANDS NORTH

NWC CEDAR ST AND COPPER AVE ALBUQUERQUE, NEW MEXICO



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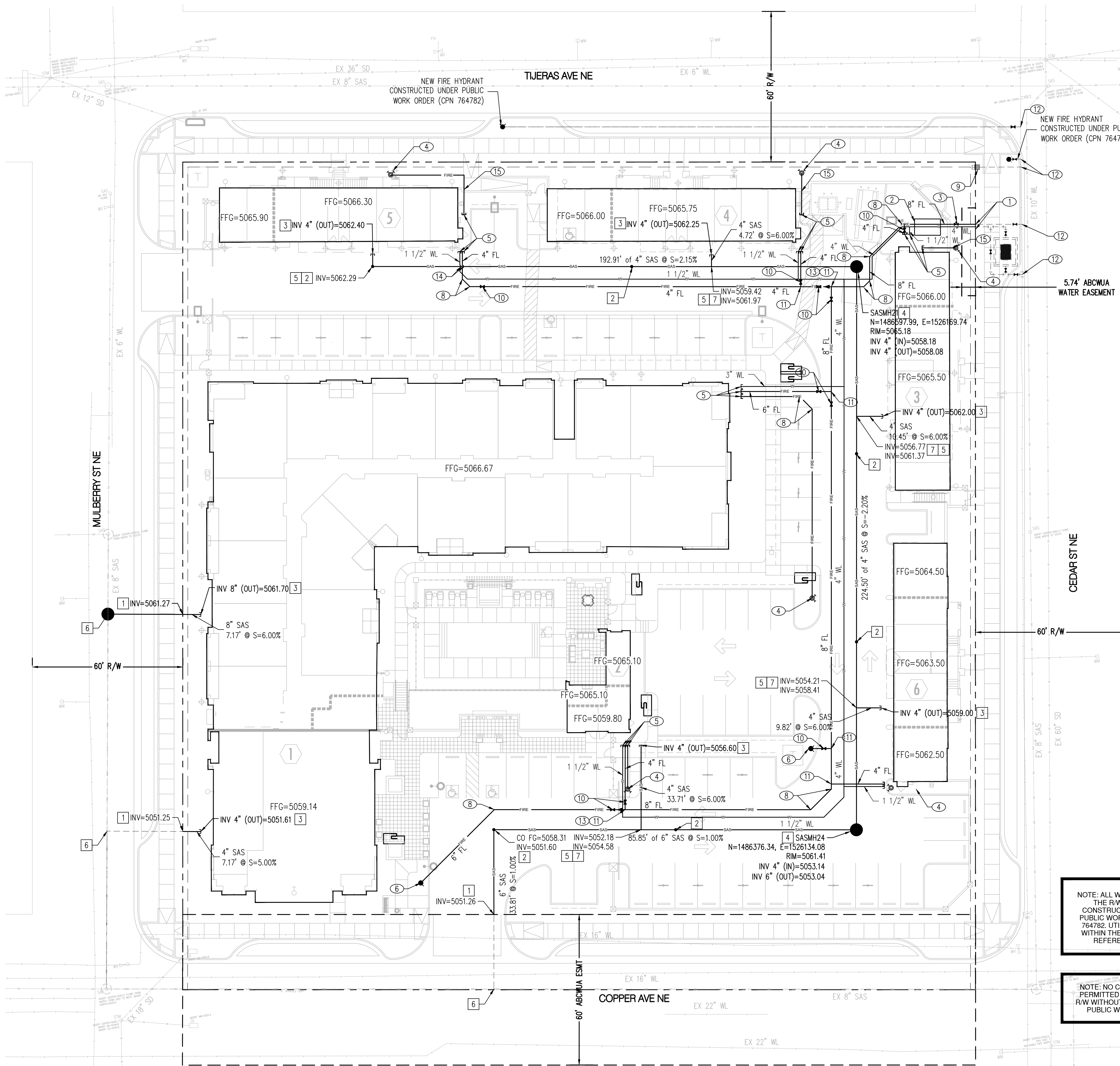
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C1.01

OVERALL GRADING PLAN

FILE: P:\2016015A\CIP\Plans\General\2016015A_N_UP01.dwg USER: ennewman DATE: Aug. 16 2018 TIME: 02:51 pm



LEGEND	
	EXISTING WATER LINE
	EXISTING SANITARY AND SEWER
	NEW WATER LINE
	NEW FIRE LINE
	NEW SANITARY SEWER
	FIRE HYDRANT
	WATER METER
	WATER VALVE

NOTE: ALL WORK SHOWN IN THE R/W SHALL BE CONSTRUCTED PER COA PUBLIC WORK ORDER CPN 764782. UTILITIES SHOWN WITHIN THE R/W ARE FOR REFERENCE ONLY.

NOTE: NO CONSTRUCTION PERMITTED IN THE PUBLIC R/W WITHOUT AN APPROVED PUBLIC WORK ORDER.

○ WATERLINE KEYNOTES

- CONNECT TO EXISTING WATER LINE. CONTRACTOR SHALL FIELD VERIFY EXISTING SIZE AND LOCATION AND NOTIFY ENGINEER WITH ANY DISCREPANCIES. SEE PUBLIC WORK ORDER (CPN #764782)
- INSTALL DUAL FIRE AND DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (8" & 4", RESPECTIVELY) WITHIN A HEATED ENCLOSURE. INSTALL PER MANUFACTURER SPECIFICATIONS. SEE ELECTRICAL PLANS FOR POWER.
- INSTALL POST INDICATOR VALVE PER DETAIL A1 ON SHEET C2.01.
- INSTALL REMOTE FIRE DEPARTMENT CONNECTION PER DETAIL A3 ON SHEET C2.01. CONNECT 4" LINE WITHIN 5' OF BUILDING. RESTRAIN LINE FROM APPARATUS TO BUILDING CONNECTION. SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL STUB WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL PRIVATE FIRE HYDRANT & GATE VALVE. PAINT SAFETY ORANGE.
- INSTALL 90° BEND (SIZE PER PLAN) W/ RESTRAINED JOINTS.
- INSTALL 45° BEND (SIZE PER PLAN) W/ RESTRAINED JOINTS.
- LANDSCAPE METER. SEE LANDSCAPE PLANS & PUBLIC WORK ORDER (CPN #764782). SEE IRRIGATION PLANS FOR BACKFLOW PREVENTION.
- INSTALL GATE VALVE & LID PER COA STD DWG 2326. (SIZE PER PLAN)
- INSTALL TEE (SIZE PER PLAN) W/ RESTRAINED JOINTS.
- INSTALL REDUCER (SIZE PER PLAN) W/ RESTRAINED JOINTS.
- DIP WATER LINE BELOW SANITARY SEWER LINE TO ENSURE A MINIMUM OF 18" SEPARATION.
- COORDINATE PIPE PENETRATION THROUGH WALL WITH STRUCTURAL PLANS.

□ SANITARY SEWER KEYNOTES

- CONNECT TO EXISTING SANITARY SEWER. CONTRACTOR TO VERIFY INVERT ELEVATIONS AND NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND. SEE PUBLIC WORK ORDER (CPN #764782)
- INSTALL 6" SANITARY SEWER CLEANOUT PER DETAIL A2 ON SHEET C2.01.
- INSTALL SANITARY SEWER SERVICE TO WITHIN 5' OF BUILDING, SEE PLAN FOR SIZE. SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL TYPE 'E' MANHOLE PER COA STD. DWG. 2102
- INSTALL INLINE GASKETED SANITARY STANDARD WYE FITTING, SEE PLAN FOR SIZE.
- SEE PUBLIC WORK ORDER DRAWINGS (CPN #764782) FOR DETAILS.
- INSTALL SANITARY SEWER SERVICE CONNECTION PER COA STD. DWG. 2136
- INSTALL SANITARY SEWER ENCASUREMENT PER COA STD. DWG. 2140 AT POINTS WHERE SANITARY SEWER LINE CROSSES THE WATER LINE.

UTILITY GENERAL NOTES

- PRIOR TO BEGINNING ANY WORK WITHIN THE CITY OF ALBUQUERQUE RIGHT-OF-WAY THE CONTRACTOR SHALL OBTAIN A WORK ORDER FROM THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) TO CONSTRUCT THE UTILITY SERVICE CONNECTIONS (WATER, AND FIRE) WITHIN PUBLIC RIGHT OF WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO PUBLIC WORKS STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH CURRENT UPDATE.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- CONTRACTOR SHALL COORDINATE WITH THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) FIVE (5) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION THREE (3) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
- ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
- CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
- ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
- FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
- CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

RESTRAINING JOINT TABLE

MECHANICAL JOINTS	LENGTH OF RESTRAINED JOINTS			
	6"	8"	10"	12"
8" X 6" TEE	1			
8" X 8" TEE		1		
10" X 6" TEE	1			
8" X 8" CROSS		1		
10" X 10" CROSS			1	
8" X 6" REDUCER		23		
10" X 8" REDUCER			23	
12" X 8" REDUCER				42
12" X 10" REDUCER				25
90° HORIZ. BEND	16	20	24	24
45° HORIZ. BEND	7	9	10	10
22.5° HORIZ. BEND	4	4	5	5
11.25° HORIZ. BEND	2	2	3	3
GATE VALVE/CAP	42	55	66	50
22.5° VERT. BEND (UPPER)	9	11	14	16
(LOWER)	3	4	4	5
11.25° VERT. BEND (UPPER)	5	6	7	8
(LOWER)	2	2	2	3

* NOTE: 6" WL, 8" WL, 10" WL, & 12" WL TO BE PVC (C-900)

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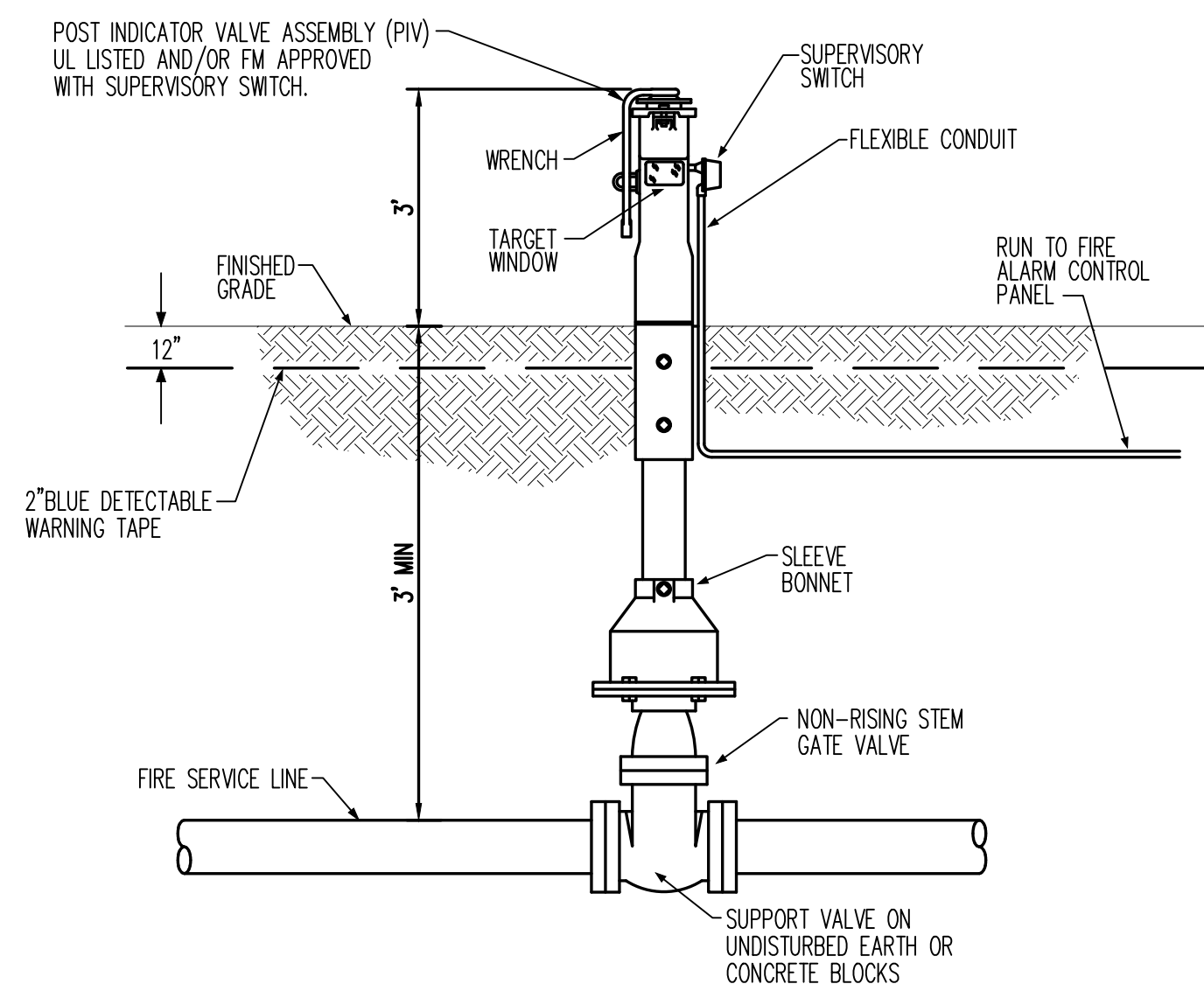
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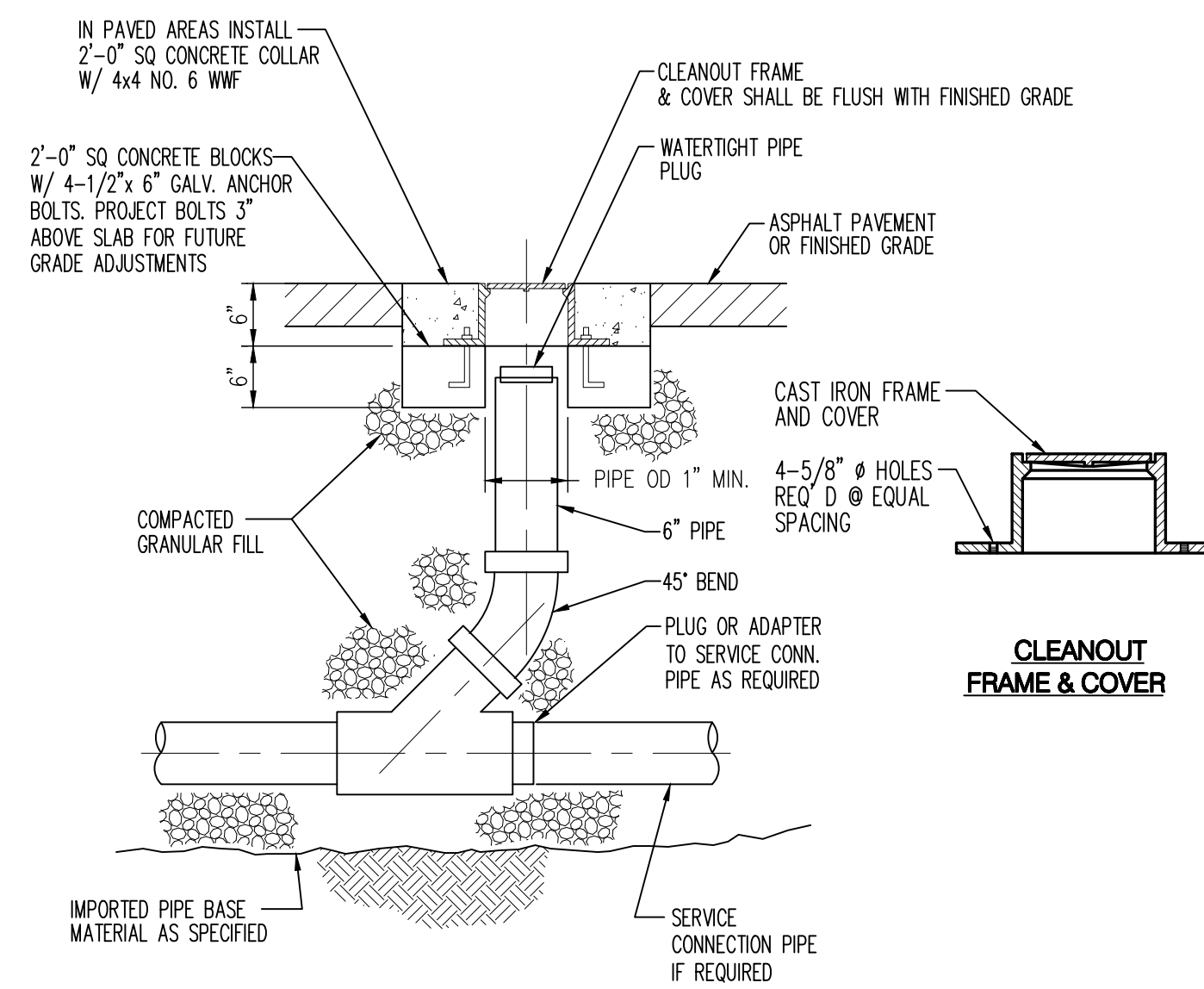
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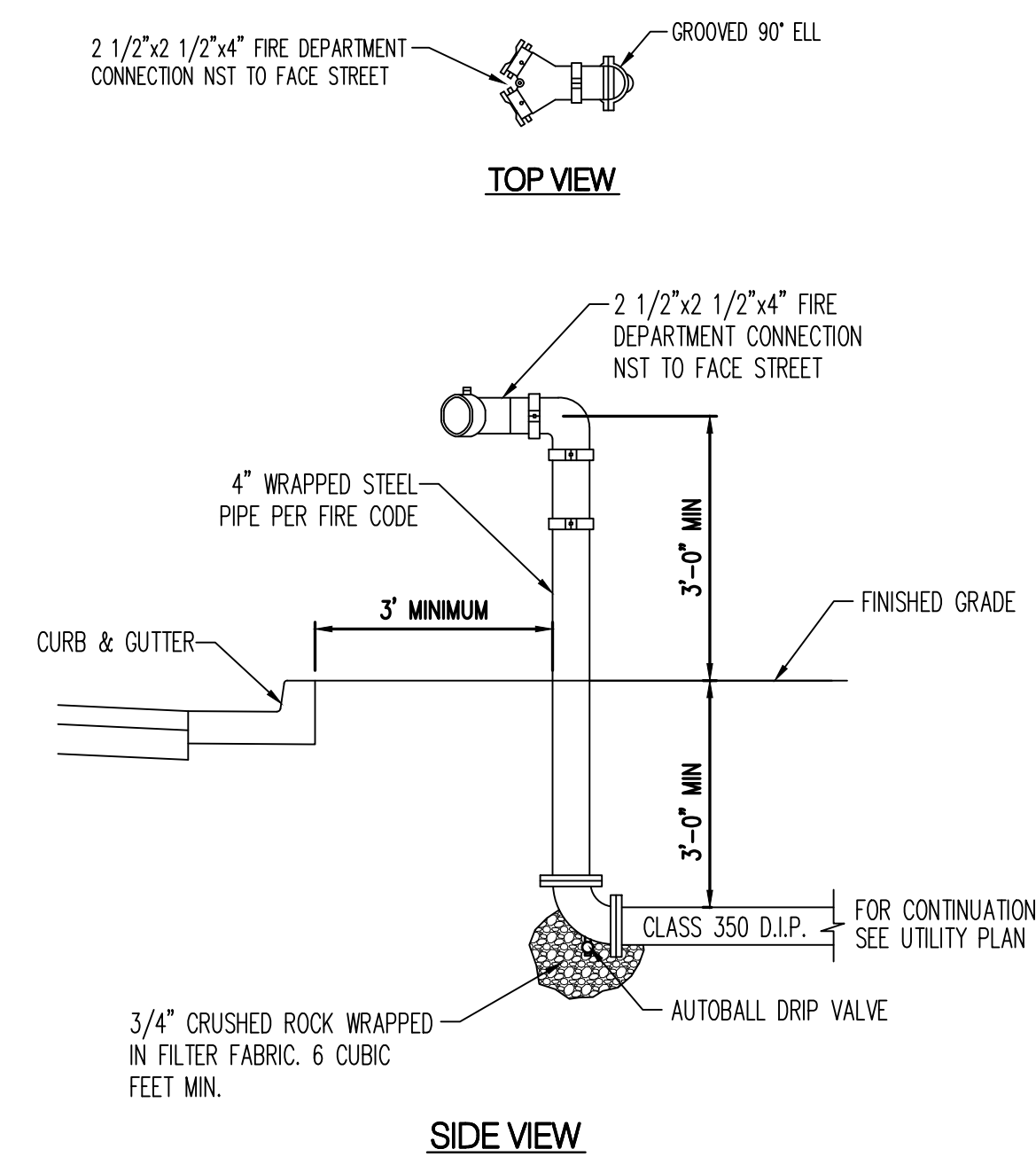
C2.00
OVERALL UTILITY PLAN



A1 POST INDICATOR VALVE DETAIL
Scale: NOT TO SCALE



A2 SANITARY SEWER CLEAN-OUT
Scale: NOT TO SCALE



A3 REMOTE FIRE DEPARTMENT CONNECTION
Scale: NOT TO SCALE

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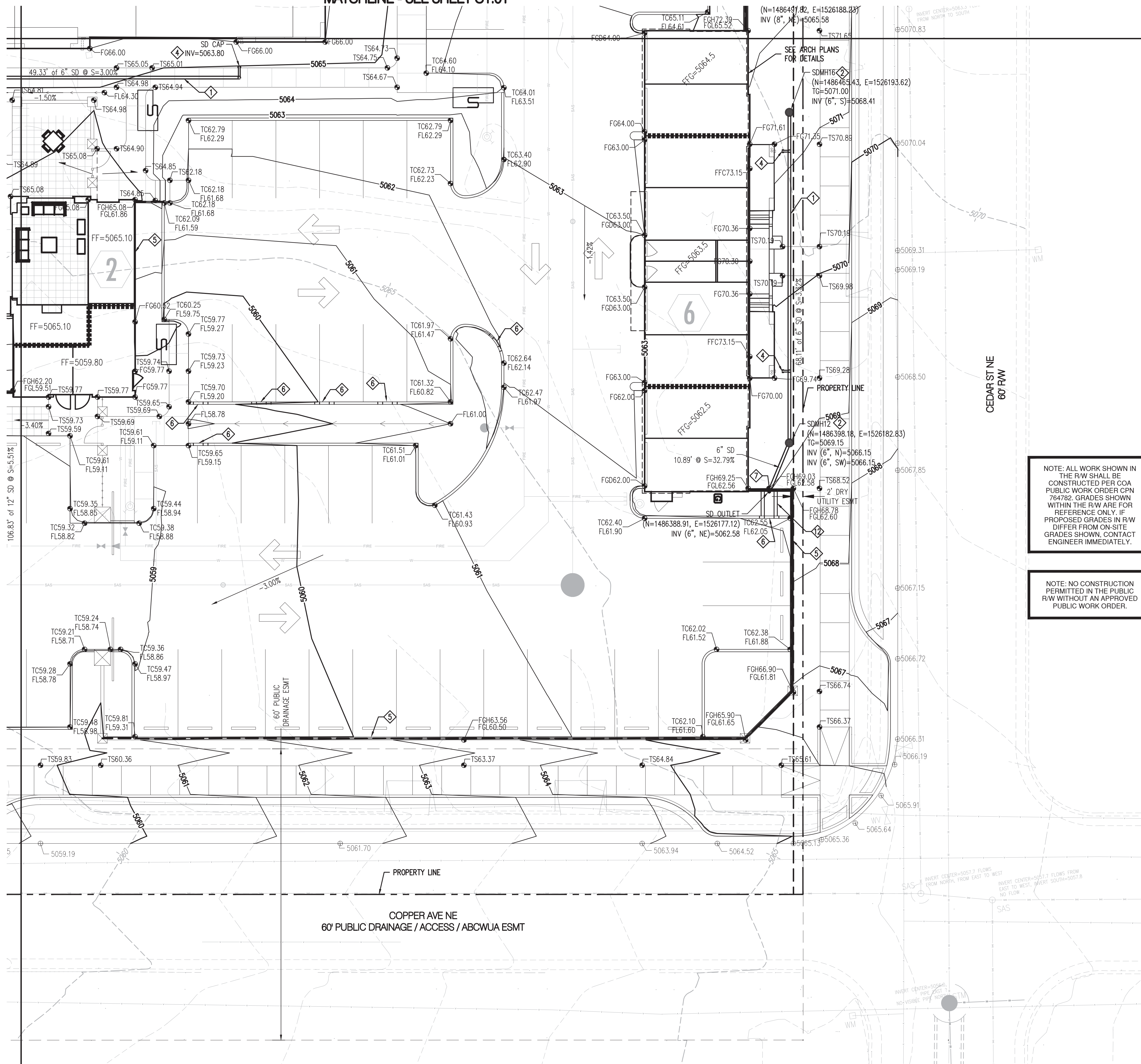
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C2.01
UTILITY DETAILS

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MATCHLINE - SEE SHEET C1.03

MATCHLINE - SEE SHEET C1.01

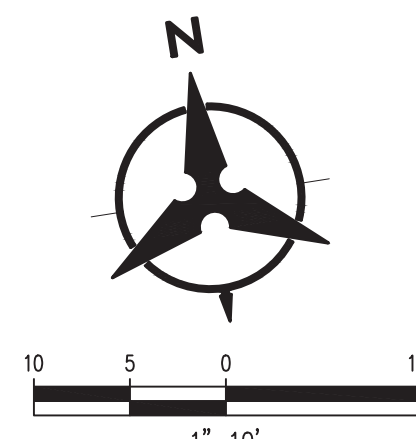


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◇ GRADING KEYNOTES

1. INSTALL HDPE (N12 WT. OR APPROVED EQUAL) STORM DRAIN PIPE (SIZE PER PLAN)
2. INSTALL 18" NYLOPLAST STORM DRAIN INLET OR APPROVED EQUAL PER MANUFACTURER'S SPECIFICATIONS.
3. INSTALL PRE-FABRICATED STORM DRAIN FITTING, EXTEND 6" LINE.
4. STUB PROPOSED ROOF DRAIN CONNECTIONS WITHIN 5' OF THE BUILDING; SEE PLUMBING PLANS FOR CONTINUATION. CONNECT TO MAIN W/ PRE-MANUFACTURED STORM DRAIN FITTING.
5. INSTALL RETAINING WALL; SEE ARCHITECTURAL/STRUCTURAL PLANS FOR DETAILS
6. INSTALL CURB OPENING PER DETAIL A1, SHEET C1.00.
7. DAYLIGHT STORM DRAIN IN WALL INTO CURB AND GUTTER OF PARKING AREA.
8. INSTALL 3" WIDE CONCRETE VALLEY GUTTER PER COA STD. DWG. 2421
9. INSTALL 24" SIDEWALK CULVERT PER COA STD. DWG. 2236
10. INSTALL TYPE 'C' MANHOLE PER COA STD. DWG. 2101
11. INSTALL PRE-FABRICATED STORM DRAIN FITTING, EXTEND 6" LINE. SEE HARDSCAPE PLANS FOR EXACT LOCATION OF FIRE PIT INLET.
12. INSTALL 24" CONCRETE RUNDOWN PER DETAIL A2, SHEET C1.00.
13. INSTALL 1" CURB TRANSITION FROM FLUSH CURB TO 6" CURB.



GRADING LEGEND

---	PROPERTY LINE	---	PROPOSED CURB & GUTTER
---	PROJECT LIMITS OF GRADING	---	DIRECTION OF FLOW
---	EXISTING INDEX CONTOUR	---	WATER BLOCK/GRADE BREAK
---	EXISTING INTERMEDIATE CONTOUR	---	PROPOSED STORM DRAIN LINE
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---	PROPOSED INDEX CONTOUR	⊕	PROPOSED STORM DRAIN INLETS
---	PROPOSED INTERMEDIATE CONTOUR	---	PROPOSED RETAINING WALL
---	PROPOSED FLOW LINE	---	EASEMENT
⊕ 26.75	PROPOSED FINISHED GRADE SPOT ELEVATION	---	FF STEP

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4TH CITY SUBMITTAL

DATE: AUGUST 10, 2018 ORB # 16-210

C1.02
OVERALL GRADING PLAN

MATCHLINE - SEE SHEET C1.00

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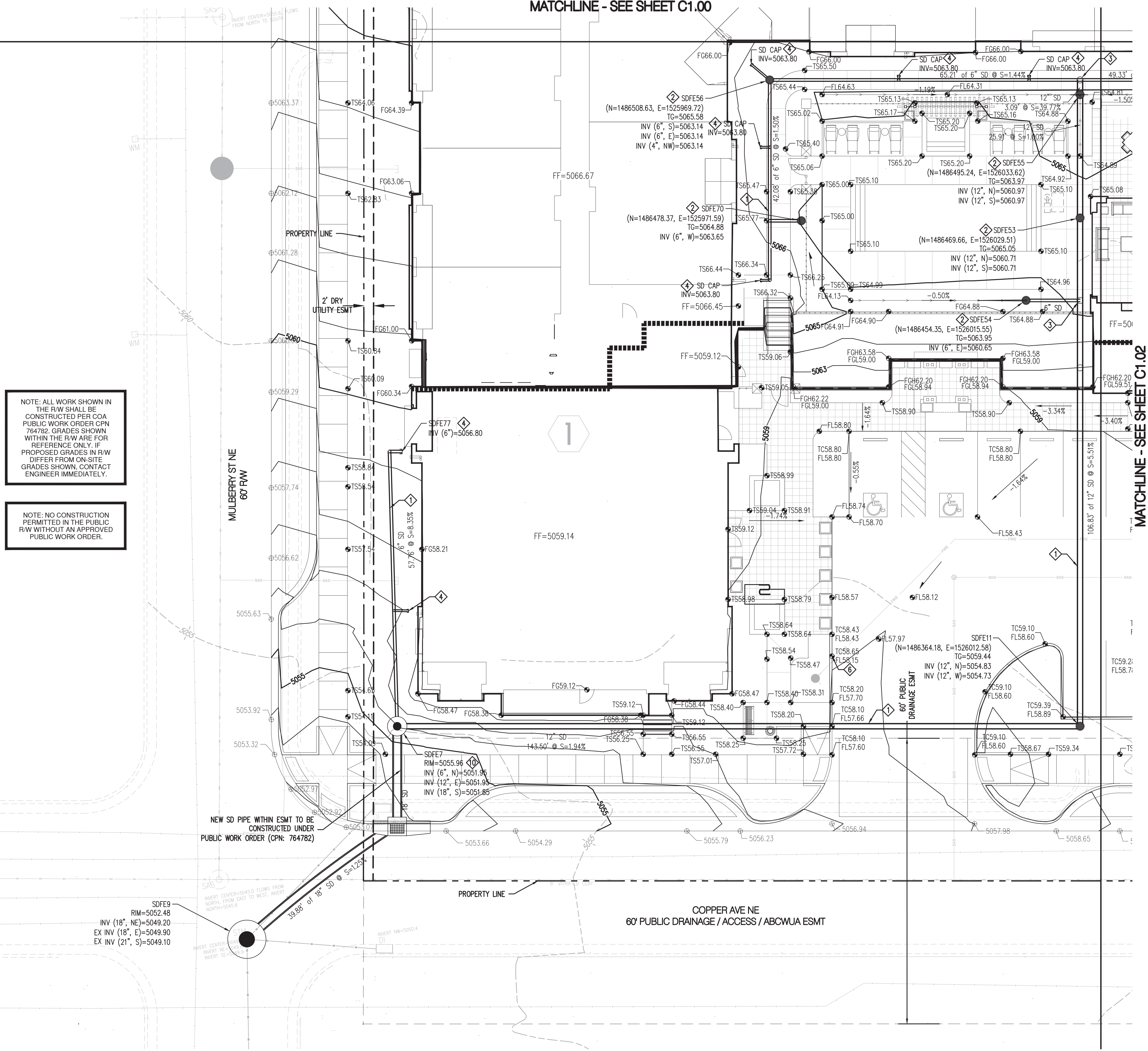
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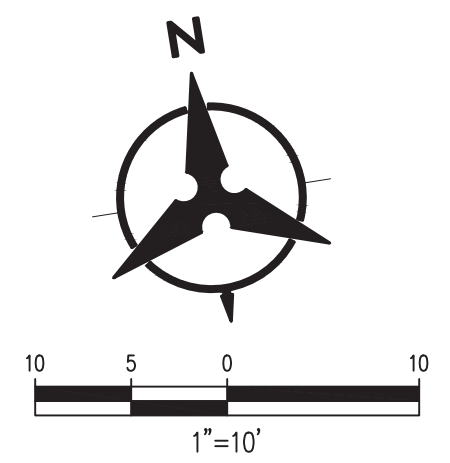
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C1.03
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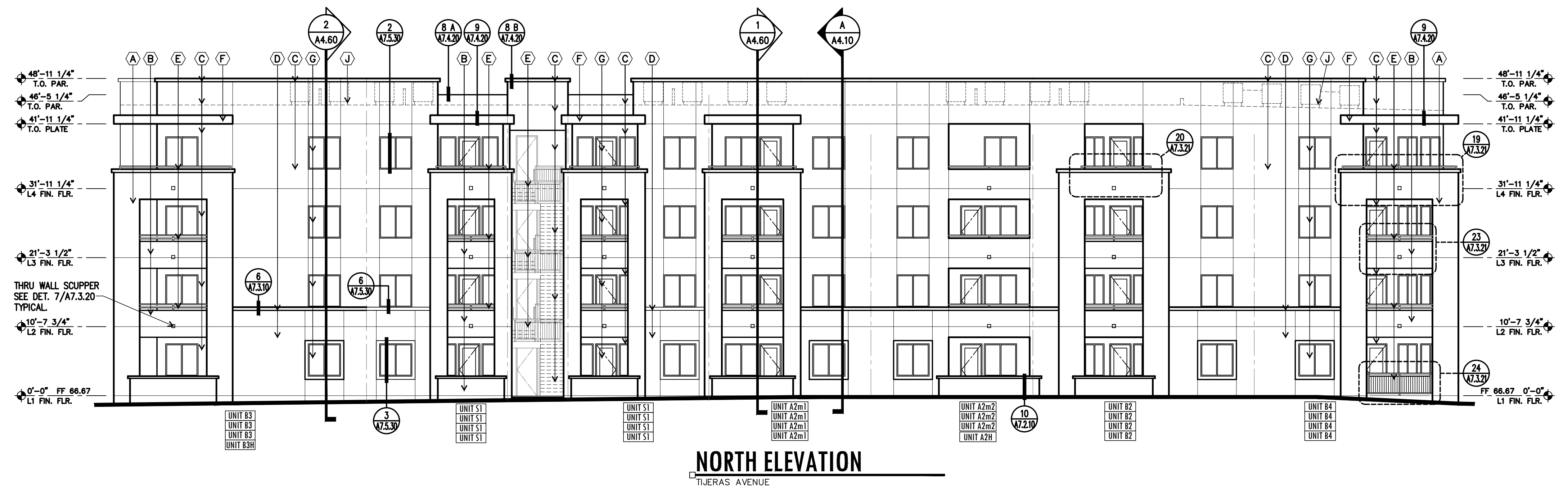


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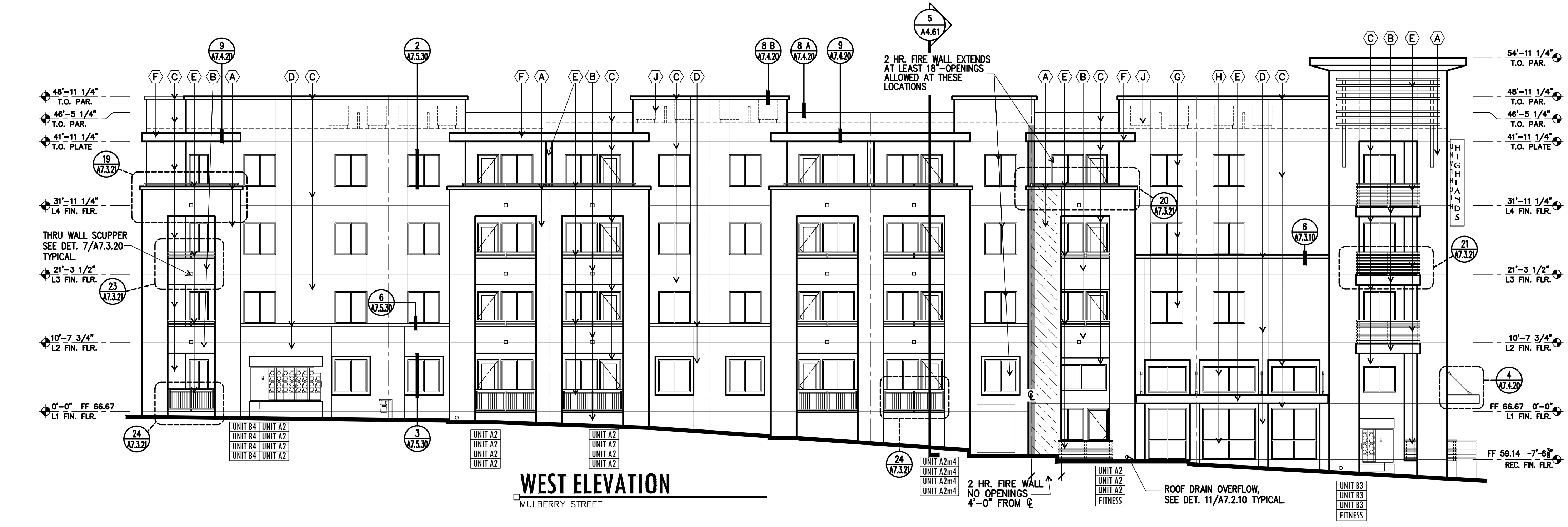
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- PROPOSED CURB & GUTTER
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED RETAINING WALL
- EASEMENT
- FF STEP

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NORTH ELEVATION
TUJERAS AVENUE



WEST ELEVATION
MULBERRY STREET

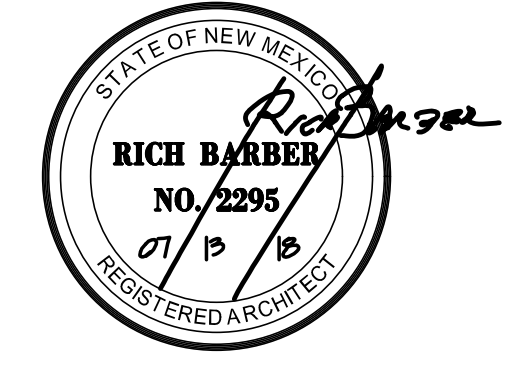
- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH DE 5187 WEATHERED SADDLE
 - (B) STUCCO FINISH DE 6214 PIGEON GRAY
 - (C) STUCCO FINISH DE 6213 FINE GRAIN
 - (D) STUCCO FINISH DE 6215 WOODEN PEG
 - (E) RAILING/METAL CANOPY DE 6378 E JET
 - (F) STUCCO FINISH DE 6378 F JET
 - (G) WINDOW/DOOR DARK BRONZE
 - (H) ALUMINUM FRAME STOREFRONT SYSTEM DARK BRONZE
 - (J) MECHANICAL EQUIPMENT FULLY SCREENED BY PARAPET

- MATERIAL KEY NOTES:**
1. COLOR/MATERIAL RETURNS BACK TO WALL ON TOP/SIDES/BOTTOM.
 2. COLOR/MATERIAL CHANGES AT INSIDE CORNER, TYPICAL.
 3. EXTERIOR WINDOWS/DOOR AND STOREFRONT SYSTEM SHALL HAVE CLEAR NON-REFLECTIVE LOW-E INSULATED GLASS.
 4. PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT TO MATCH BUILDING.
 5. STUCCO CONTROL JOINT, SEE DET. 6/A7.6.40
 6. STUCCO EXPANSION JOINT, SEE DET. 5/A7.6.40

BROADSTONE HIGHLANDS NORTH
NWC CEDAR ST AND COPPER AVE
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TITAN DEVELOPMENT

ALLIANCE RESIDENTIAL COMPANY

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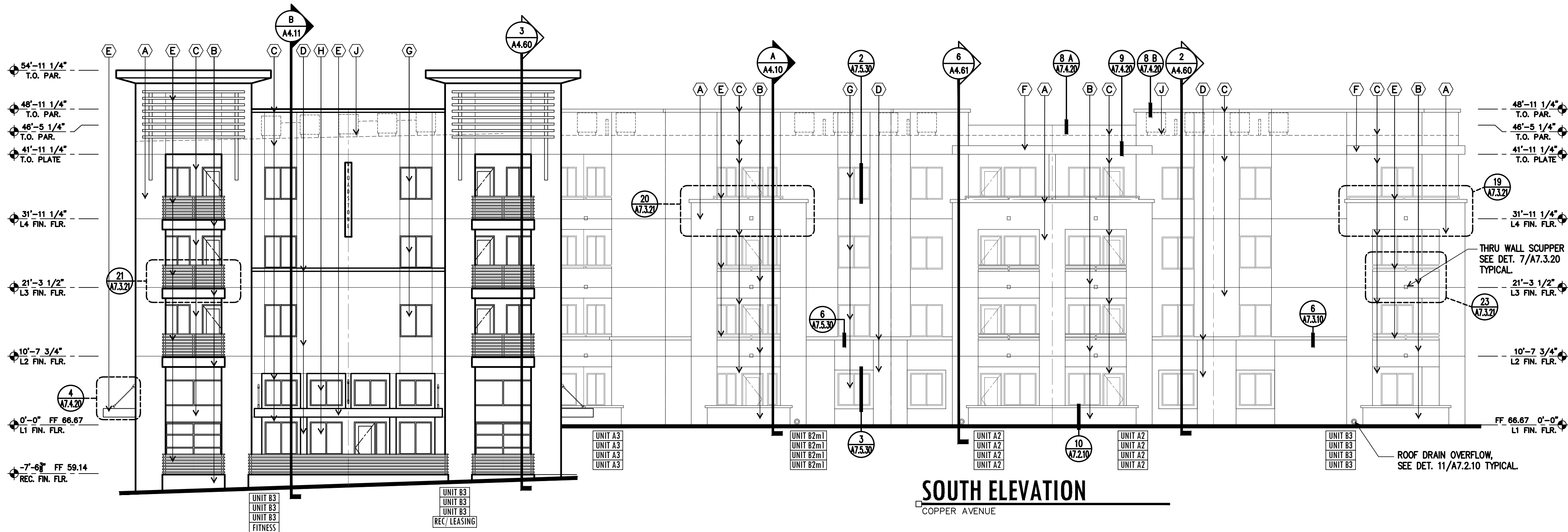
No.	Revision

DRB SUBMITTAL
DATE: JULY 13, 2018 ORB # 16-210

A3.16

BUILDING 1 EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS - BLDG. 1 | 0 | 1 | 6' | 12' | 24' |
SCALE: 3/32" = 1'-0"

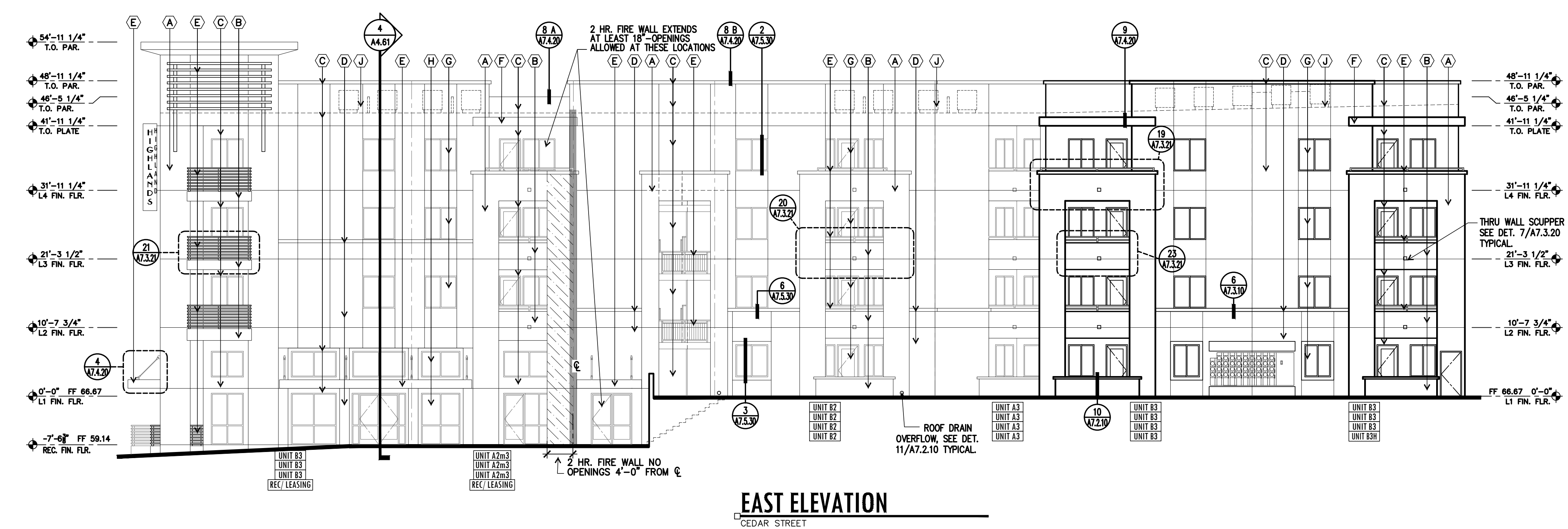


SOUTH ELEVATION
COPPER AVENUE

- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH DE 5187 WEATHERED SADDLE
 - (B) STUCCO FINISH DE 6214 PIGEON GRAY
 - (C) STUCCO FINISH DE 6213 FINE GRAIN
 - (D) STUCCO FINISH DE 6215 WOODEN PEG
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 6. STUCCO EXPANSION JOINT, SEE DET. 5/A7.6.40

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EAST ELEVATION
CEDAR STREET

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NO.	DATE	DESCRIPTION

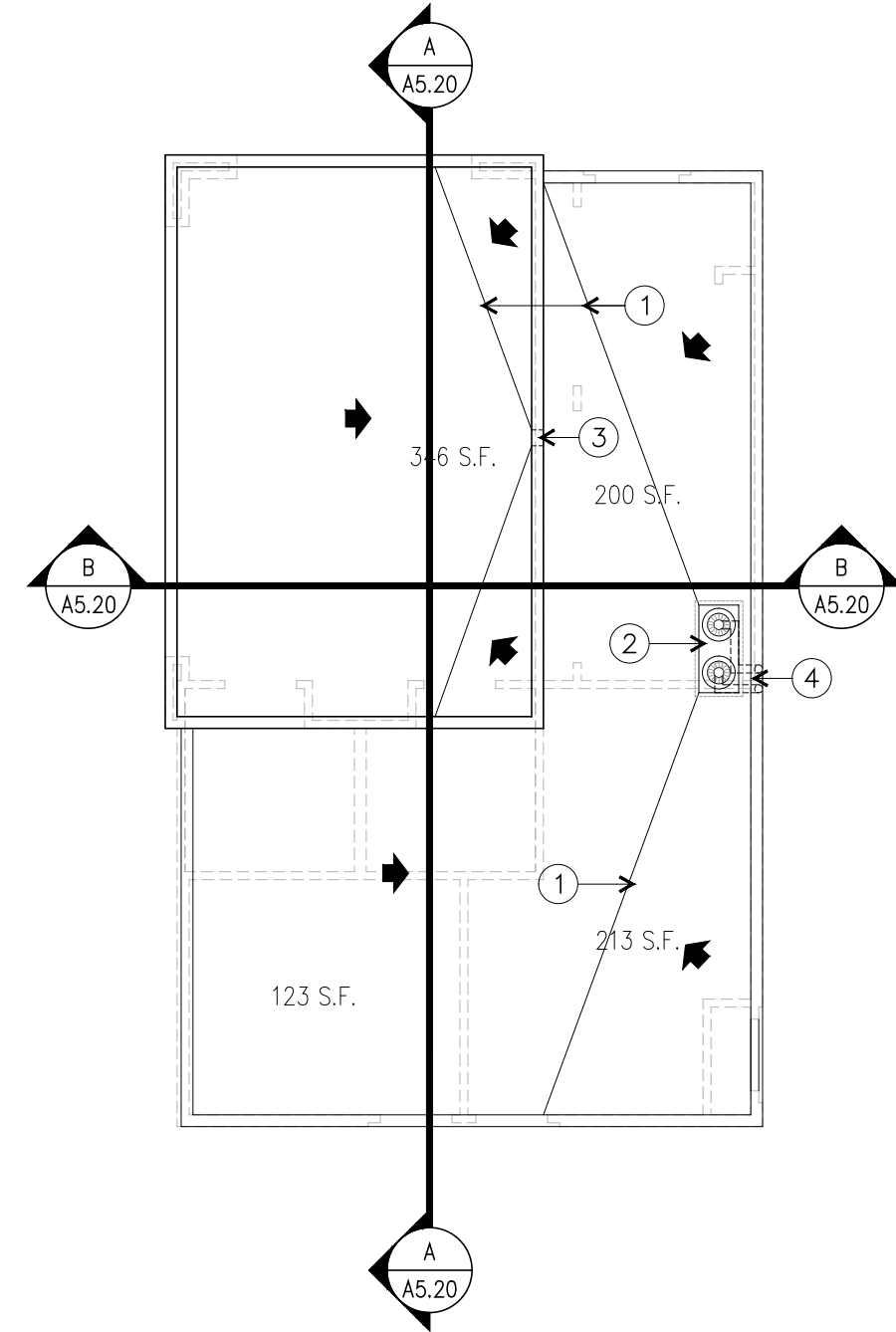
DRB SUBMITTAL
DATE: JULY 13, 2018 ORB # 16-210

A3.17

BUILDING 1
EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS - BLDG. 1 | 0' | 6' | 12' | 24'
SCALE: 3/32" = 1'-0"

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ROOF PLAN

KEY NOTES - ROOF PLAN ①

1. ROOF CRICKETS.
2. ROOF DRAIN AND OVERFLOW, SEE DET. 3/A7.4.10.
3. THRU PARAPET WALL DRAINAGE OPENING, SEE DET 10 A7.4.30
4. ROOF DRAIN AND OVERFLOW LEADERS DOWN IN WALL DAYLIGHT AT GRADE, SEE DET. 11/A7.2.10.

SYMBOLS:

- WALL BELOW.
- ☉ ROOF DRAIN & OVERFLOW
- ➔ ROOF SLOPE 1/4:12 MIN ON FLAT ROOFS

ROOF DRAIN CALCULATIONS:

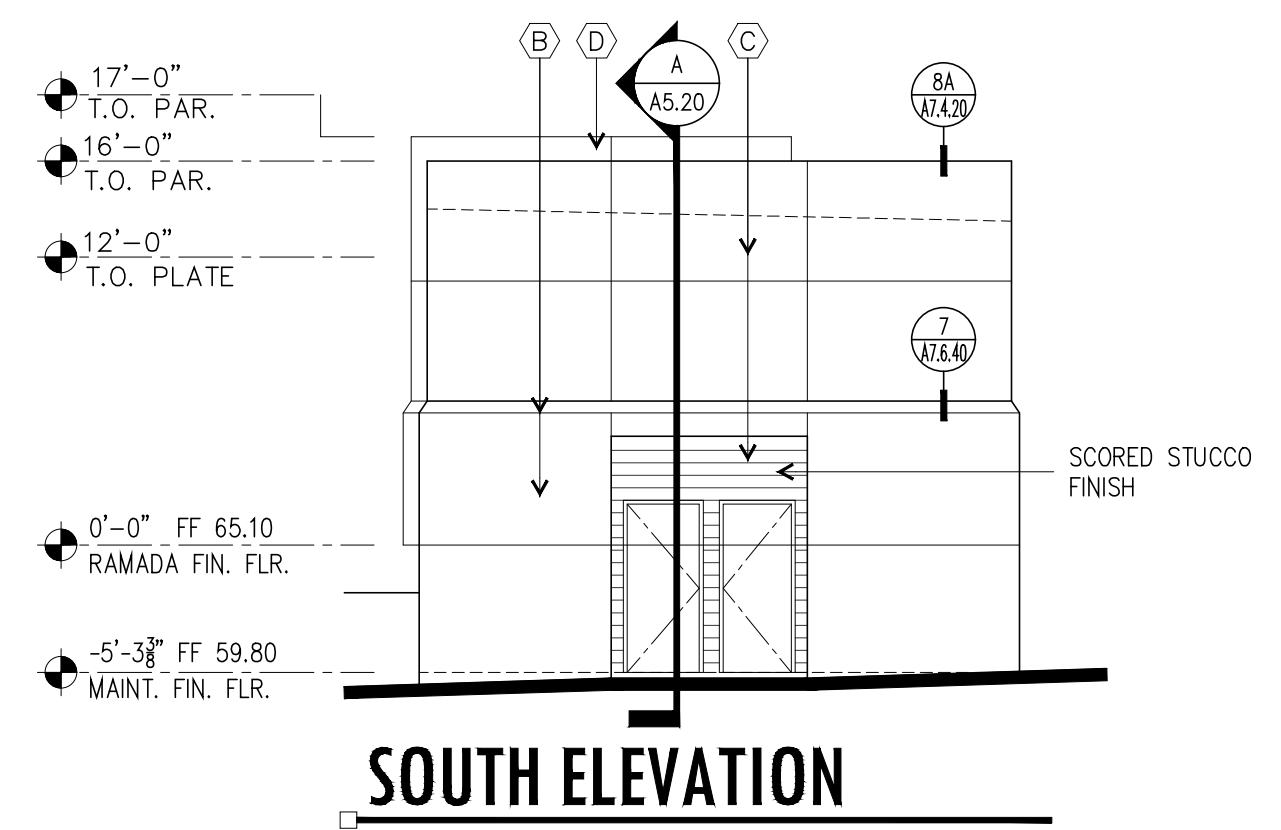
ROOF DRAIN #	AREA S.F.	DRAIN SIZE
1	999	3"

ROOF DRAIN NOTES:

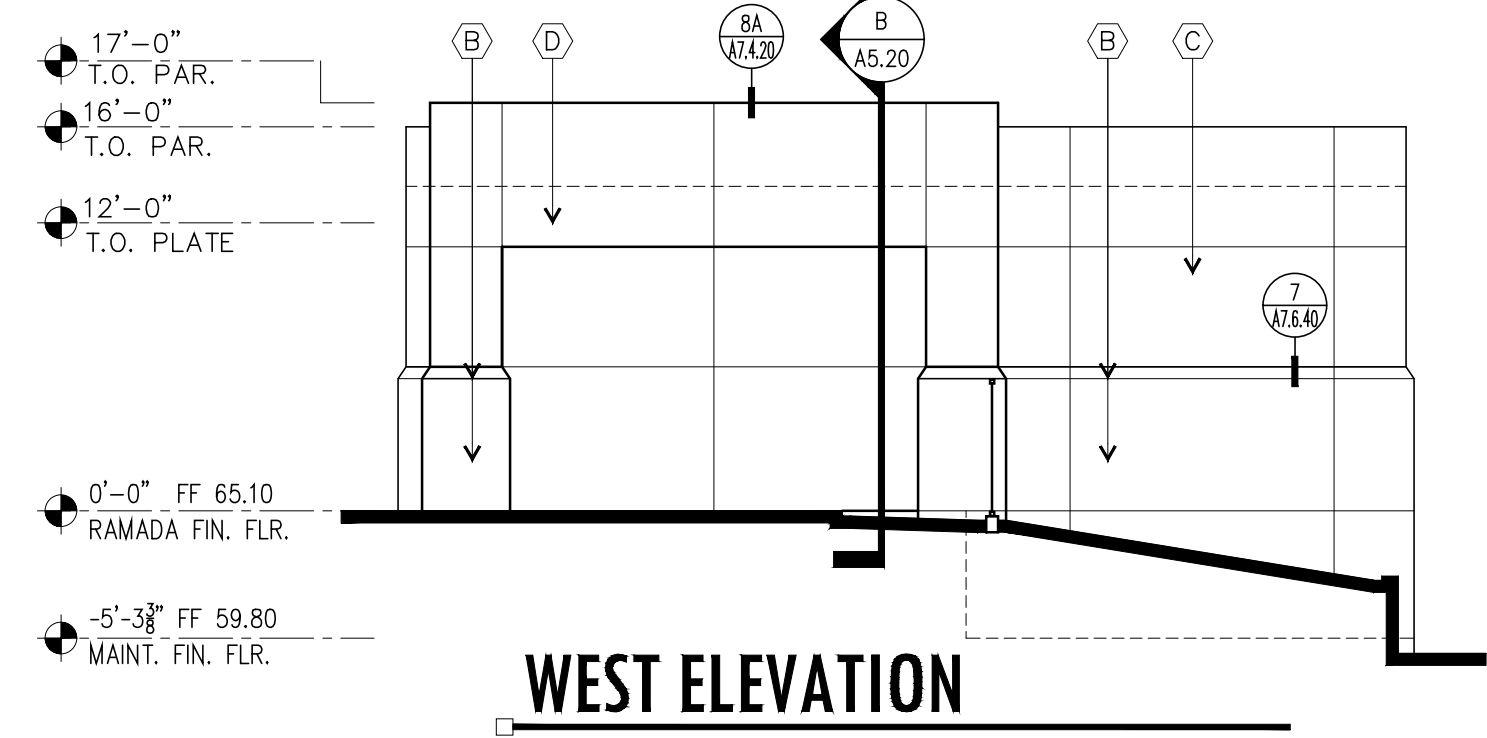
1. VERTICAL PRIMARY AND OVERFLOW ROOF DRAINS SHALL BE INSTALLED, SIZED AND DISCHARGED IN ACCORDANCE WITH UPC, APPENDIX D.
2. WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW DRAINS HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED TWO (2) INCHES ABOVE THE LOW POINT OF THE ROOF, OR OVERFLOW SCUPPERS SIZED PER UPC 1101.11.1 & 1101.11.2.1 MAY BE INSTALLED IN ADJACENT PARAPET WALLS WITH THE INLET FLOW LOCATED TWO (2) INCHES ABOVE THE LOW POINT OF THE ADJACENT ROOF AND HAVING A MIN. OPENING HEIGHT OF FOUR (4) INCHES.
3. ROOF DRAIN AND OVERFLOW DRAINS SHALL BE EQUIPPED WITH STRAINERS EXTENDING NOT LESS THAN FOUR (4) INCHES ABOVE THE SURFACE OF THE ROOF IMMEDIATELY ADJACENT TO THE DRAIN.

GENERAL ROOF NOTES:

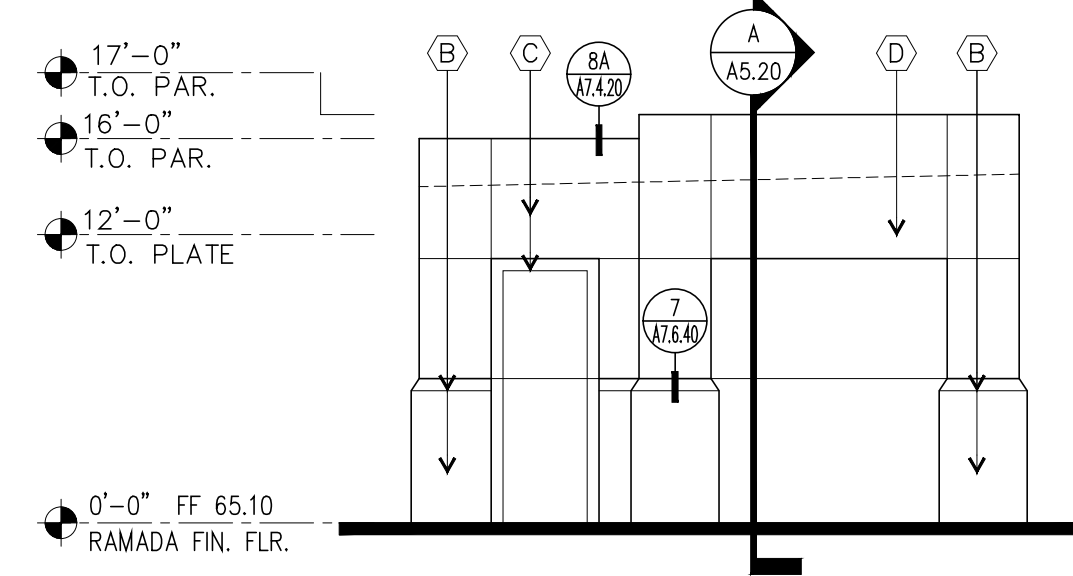
1. ROOFING TO BE CLASS "B" OR BETTER, MINERAL CAP ROOFING SYSTEM OR APPROVED EQUIVALENT.
2. FLAT ROOFS SHALL BE A MINIMUM OF 1/4":12 SLOPE. CRICKET VALLEYS SHOULD BE SIZED ACCORDINGLY..
3. FILL ROOF TRUSS CONCEALED SPACE COMPLETELY WITH BLOW-IN INSULATION (BEARING THE UL CLASSIFICATION MARKING FOR SURFACE BURNING CHARACTERISTICS, HAVING A MINIMUM DENSITY OF 0.5 PCF).



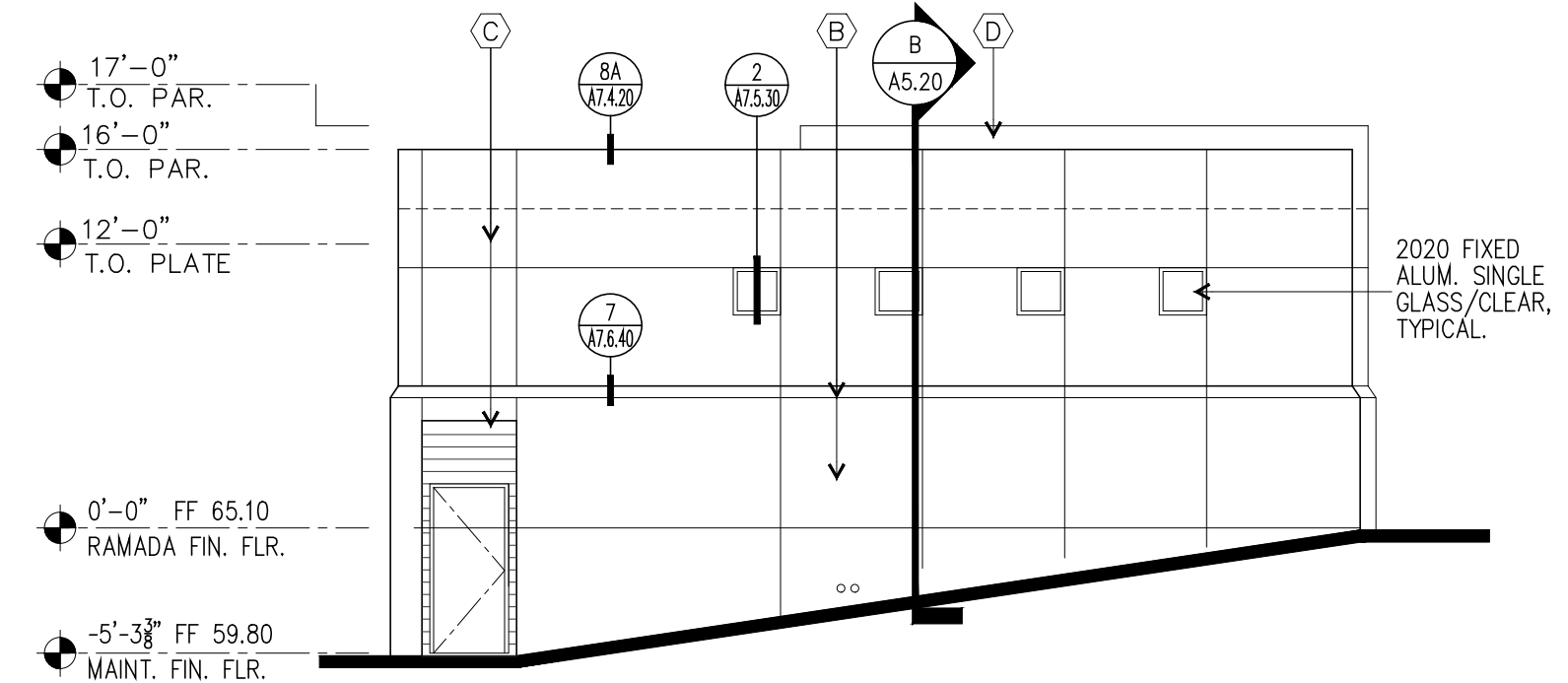
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

RAMADA BUILDING

MATERIAL KEY NOTES:

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- (C) STUCCO FINISH DE 6213 FINE GRAIN
- (D) STUCCO FINISH DE 6215 WOODEN PEG
- (E) RAILING/METAL CANOPY DE 6378 E JET
- (F) STUCCO FINISH DE 6378 F JET
- (G) WINDOW/DOOR DARK BRONZE
- (H) ALUMINUM FRAME STOREFRONT SYSTEM DARK BRONZE
- (J) MECHANICAL EQUIPMENT FULLY SCREENED BY PARAPET

MATERIAL KEY NOTES:

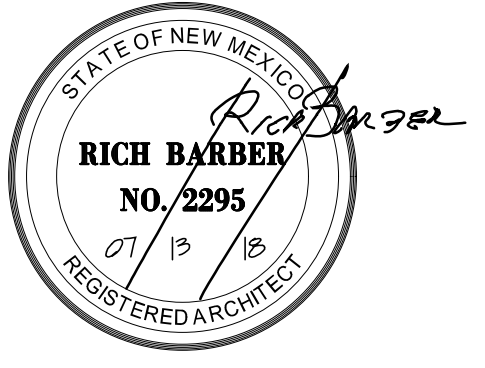
1. COLOR/MATERIAL RETURNS BACK TO WALL ON TOP SIDES/BOTTOM.
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5. STUCCO CONTROL JOINT, SEE DET. 6/A7.6.40
6. STUCCO EXPANSION JOINT, SEE DET. 5/A7.6.40

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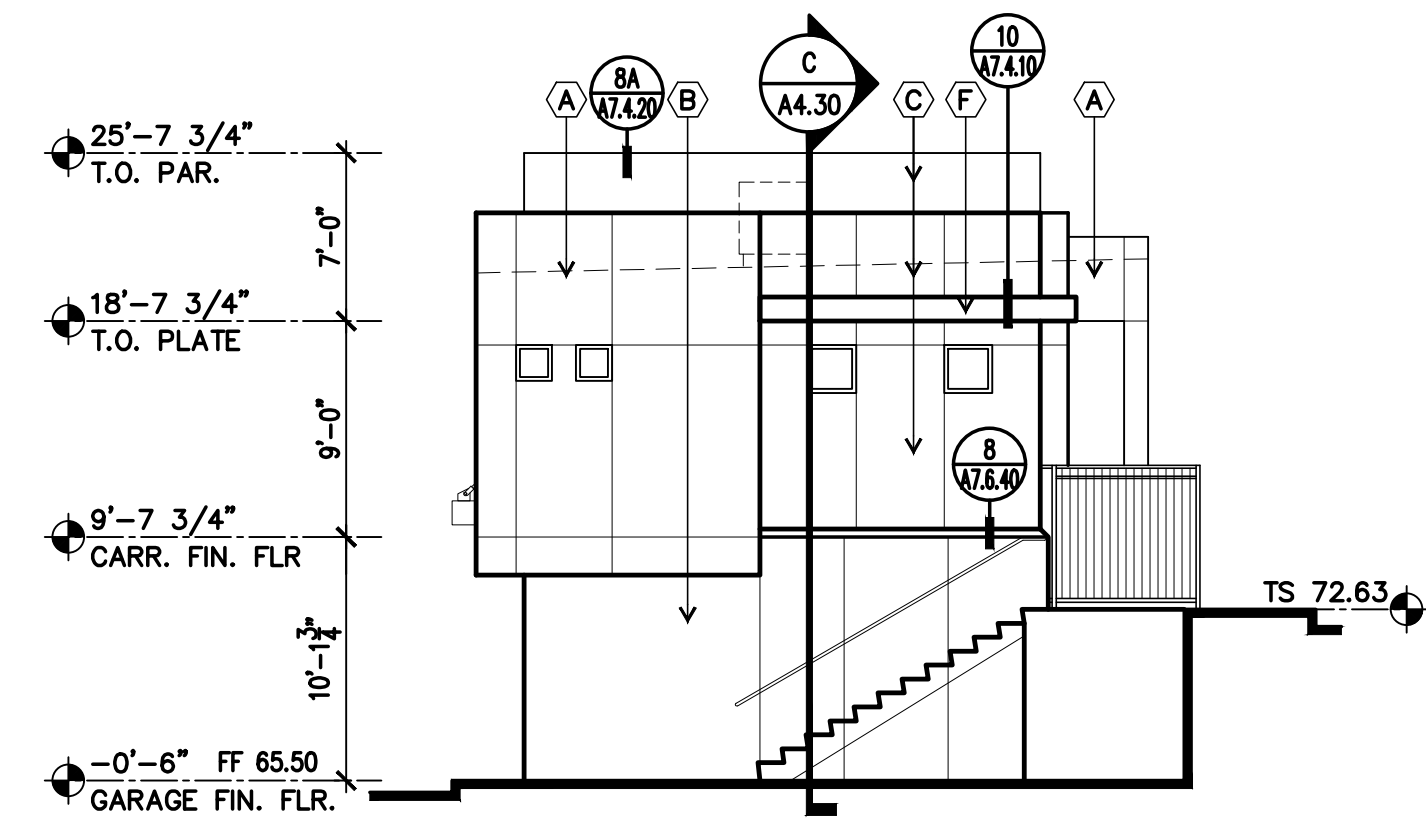
DATE: JULY 13, 2018 ORB # 16-210

A5.21

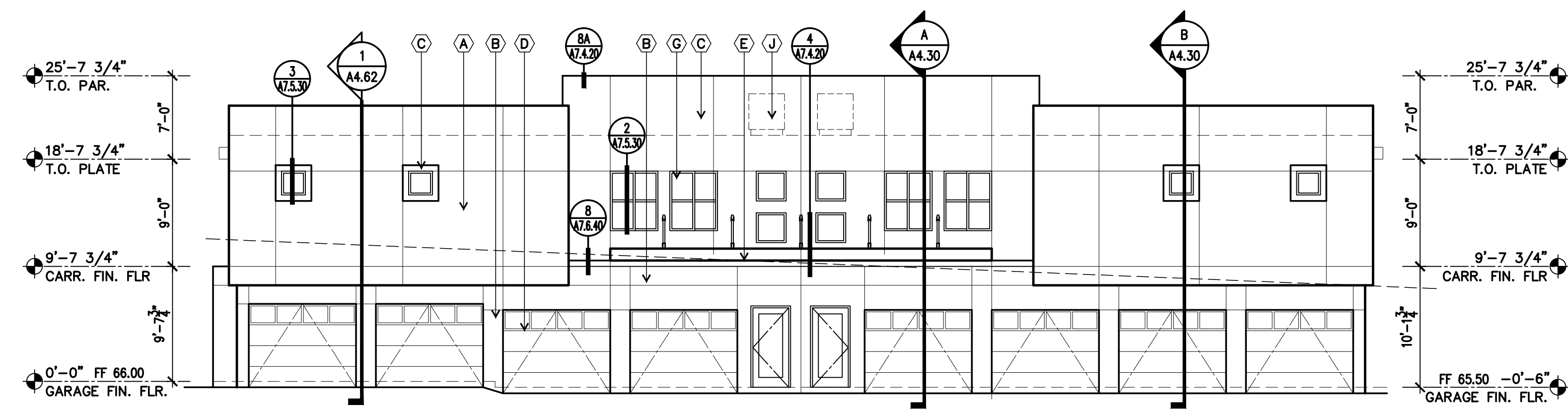
RAMADA BUILDING ELEVATIONS & ROOF



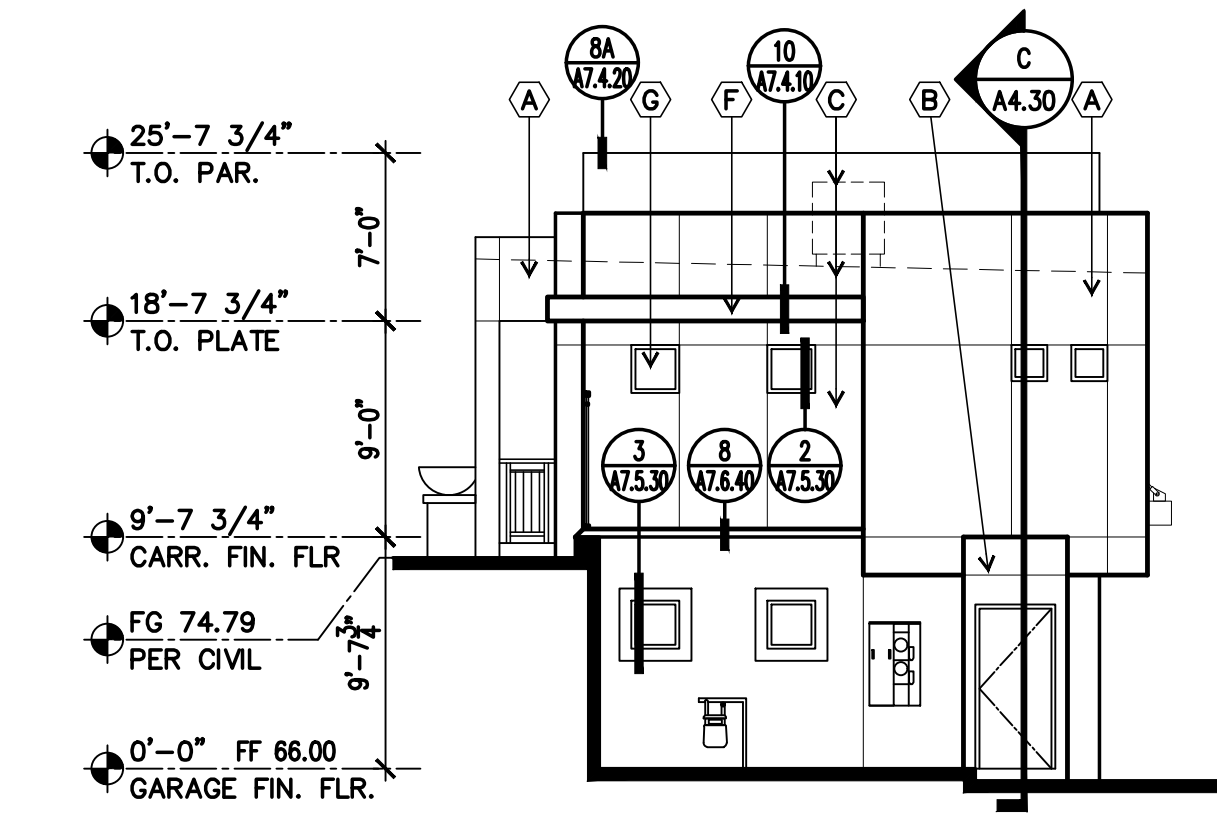
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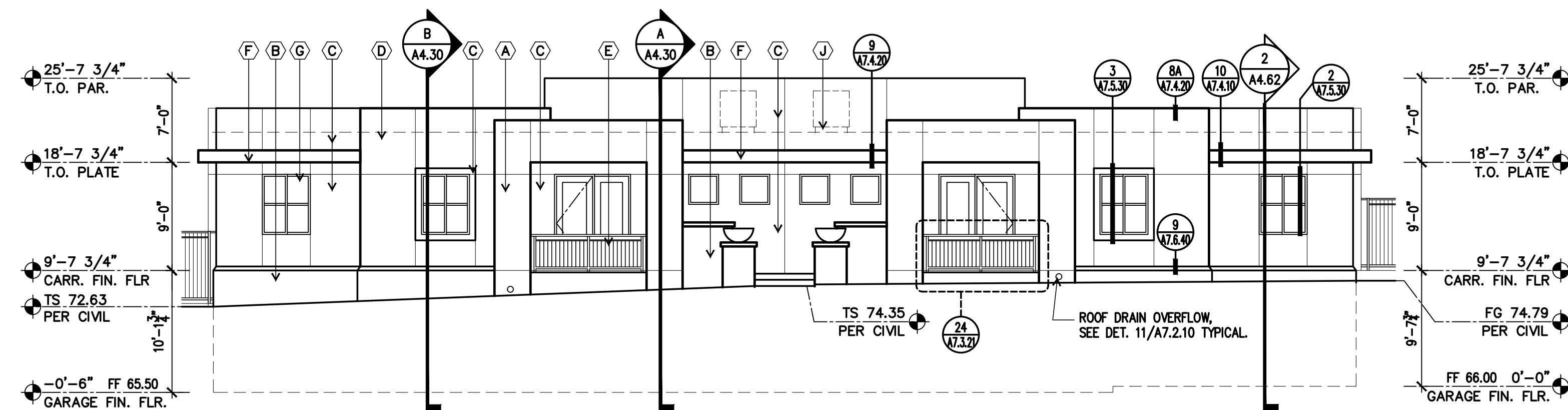
BUILDING 3 - SOUTH ELEVATION



BUILDING 3 - WEST ELEVATION



BUILDING 3 - NORTH ELEVATION



BUILDING 3 - EAST ELEVATION

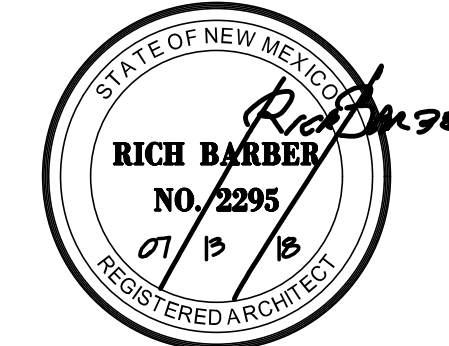
- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH DE 5187 WEATHERED SADDLE
 - (B) STUCCO FINISH DE 6214 PIGEON GRAY
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A3.21

BUILDING 3 EXTERIOR ELEVATIONS

BUILDING 3 - EXTERIOR ELEVATIONS
 SCALE: 1/8" = 1'-0"

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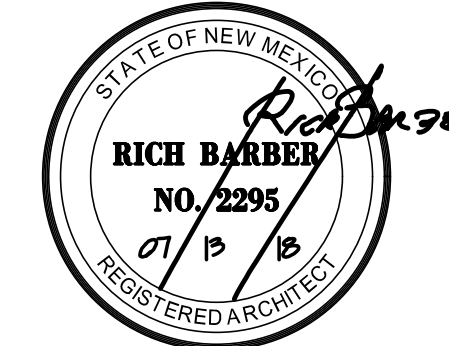
MATERIAL KEY NOTES:

- (A) STUCCO FINISH DE 5187 WEATHERED SADDLE
- (B) STUCCO FINISH DE 6214 PIGEON GRAY
- (C) STUCCO FINISH DE 6213 FINE GRAIN
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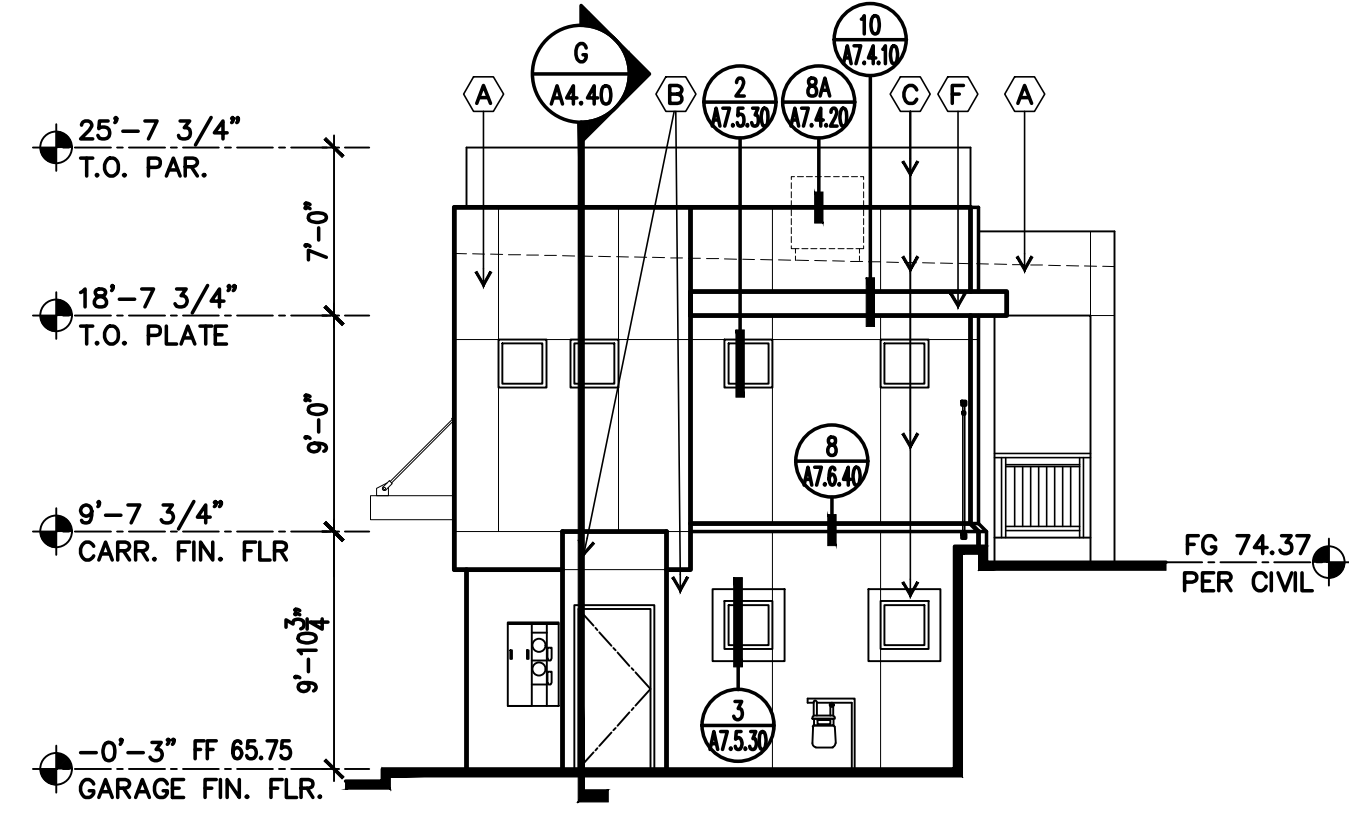


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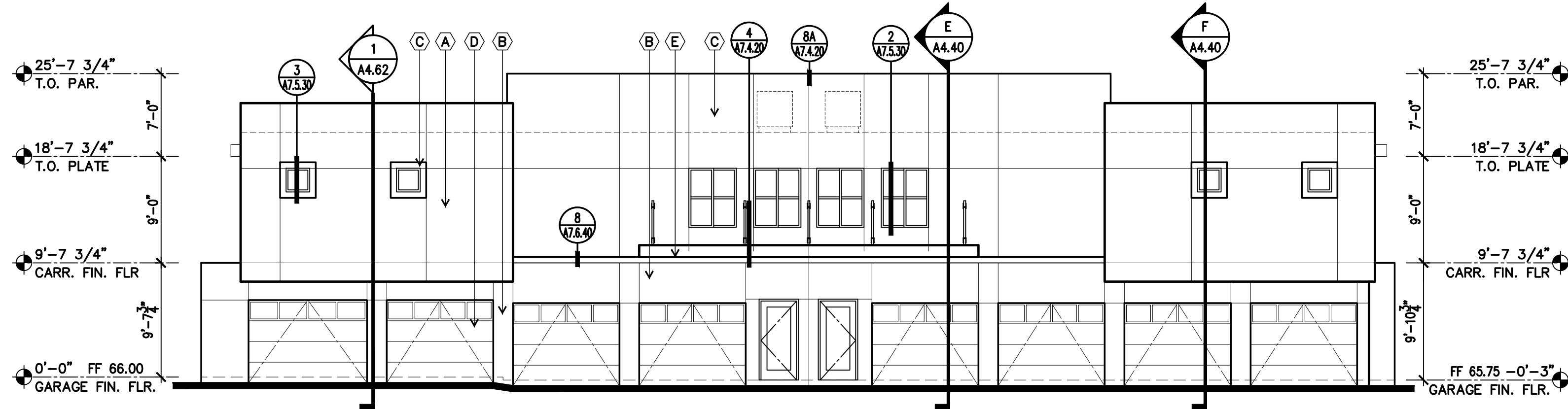


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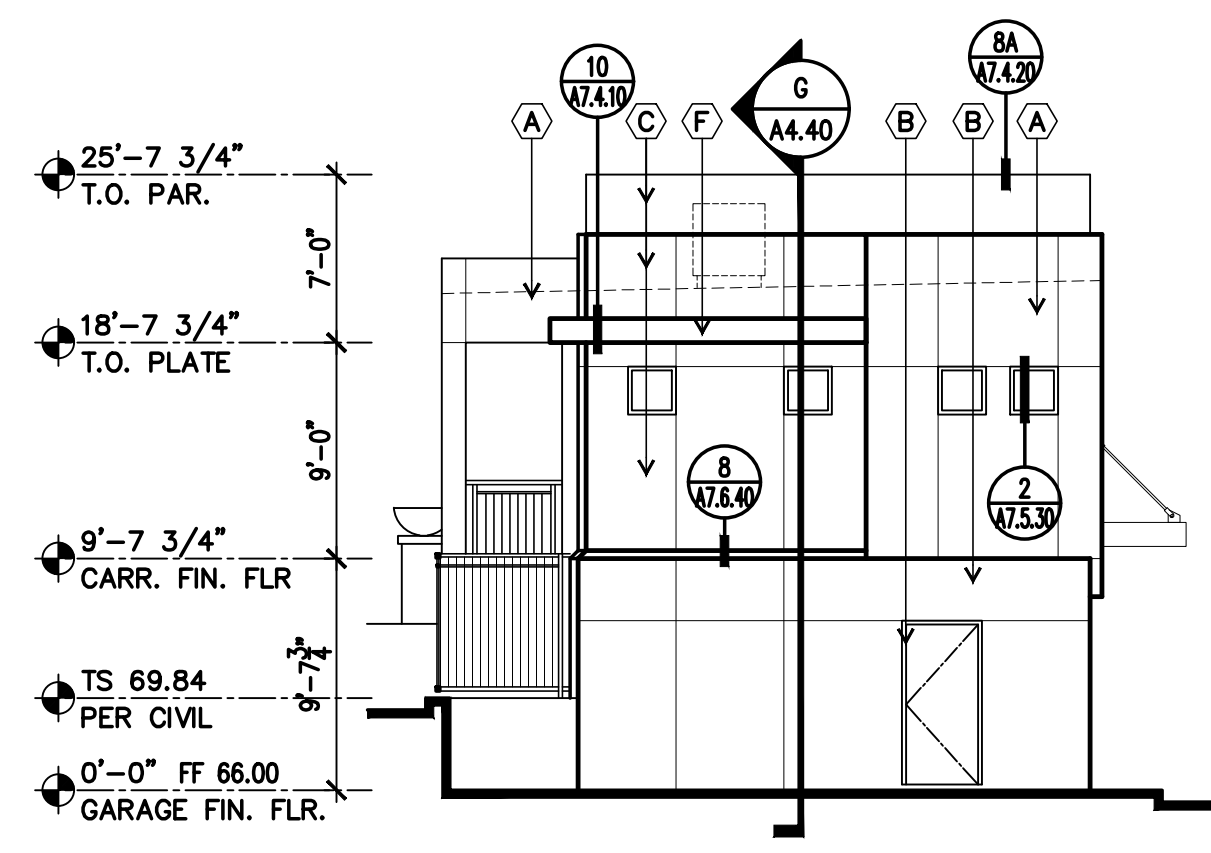
1. COLOR/MATERIAL RETURNS BACK TO WALL ON TOP/SIDES/BOTTOM.
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6. STUCCO EXPANSION JOINT, SEE DET. 5/A7.6.40



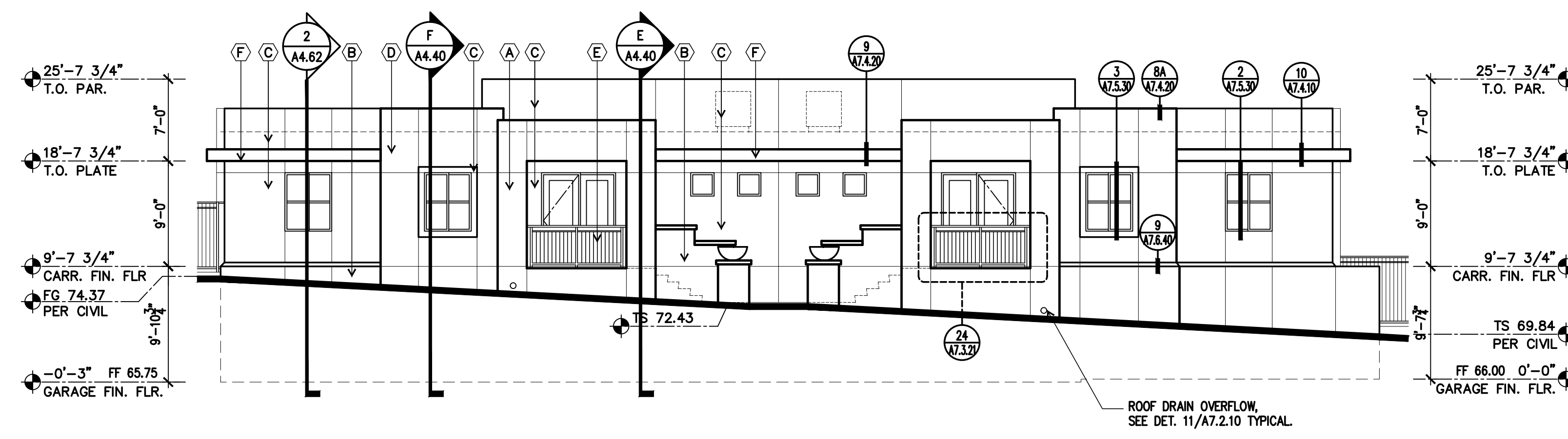
BUILDING 4 - EAST ELEVATION



BUILDING 4 - SOUTH ELEVATION



BUILDING 4 - WEST ELEVATION



BUILDING 4 - NORTH ELEVATION

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A3.31

BUILDING 4 EXTERIOR ELEVATIONS

BUILDING 4 - EXTERIOR ELEVATIONS
 SCALE: 1/8" = 1'-0"

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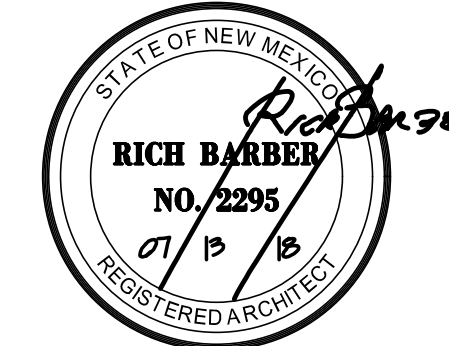
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- (A) STUCCO FINISH DE 5187 WEATHERED SADDLE
- (B) STUCCO FINISH DE 6214 PIGEON GRAY
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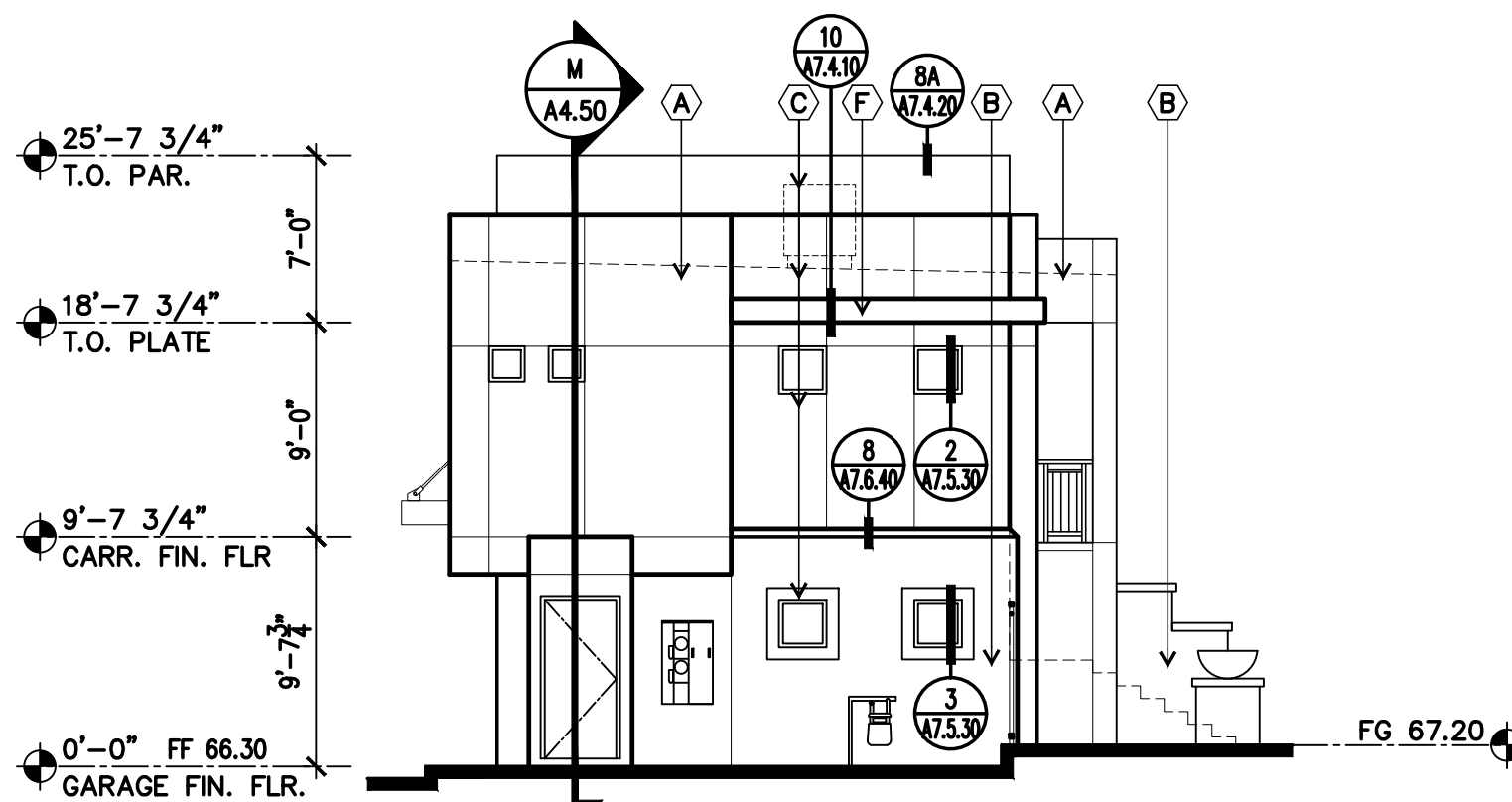


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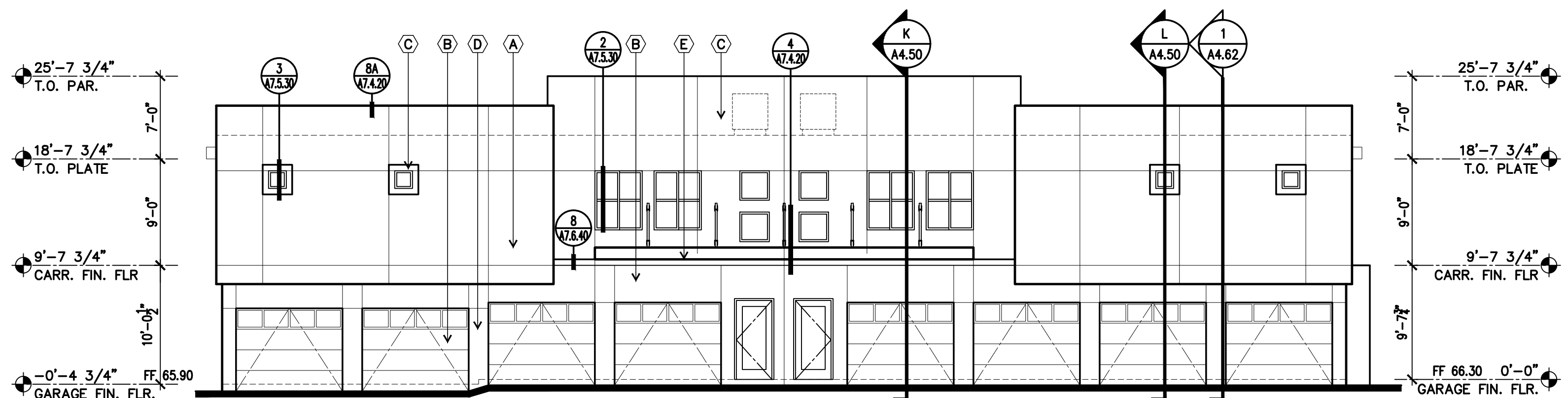


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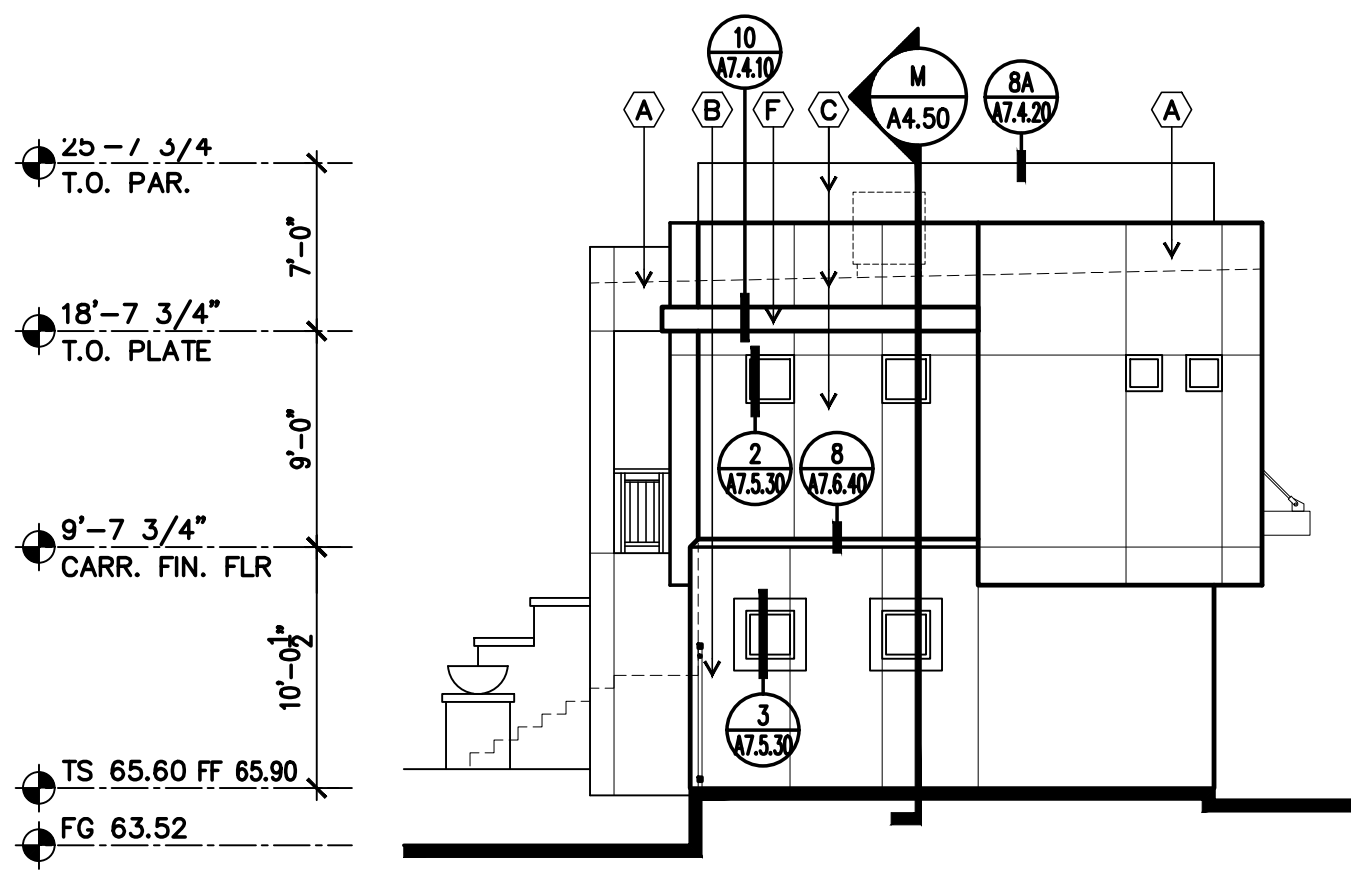
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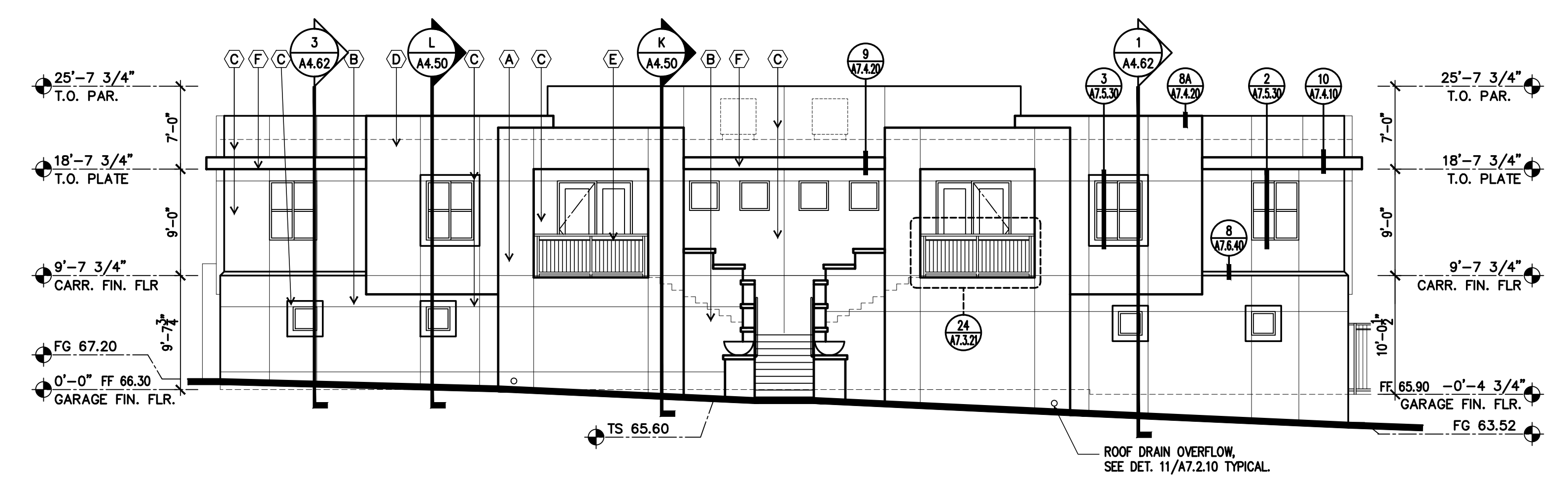
BUILDING 5 - EAST ELEVATION



BUILDING 5 - SOUTH ELEVATION

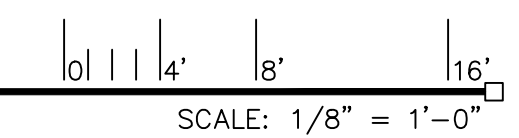


BUILDING 5 - WEST ELEVATION



BUILDING 5 - NORTH ELEVATION

BUILDING 5 - EXTERIOR ELEVATIONS



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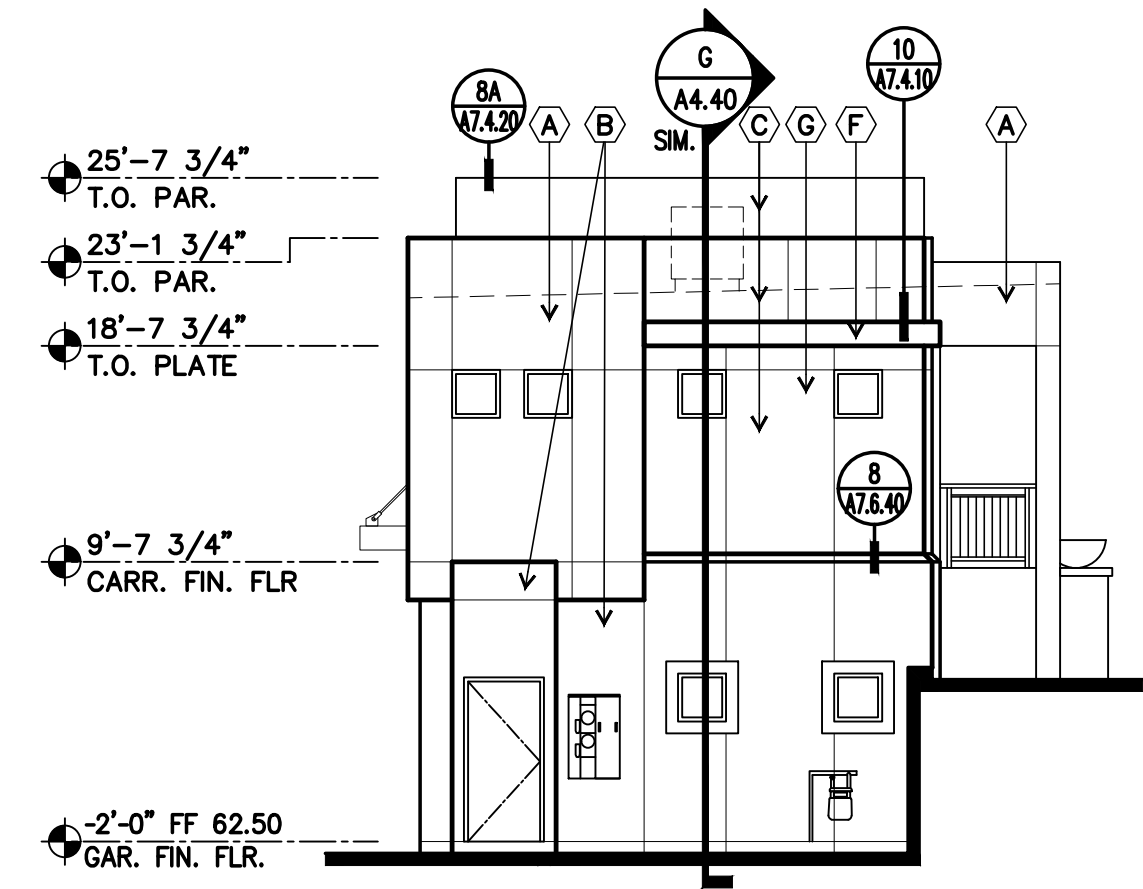
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DRB SUBMITTAL

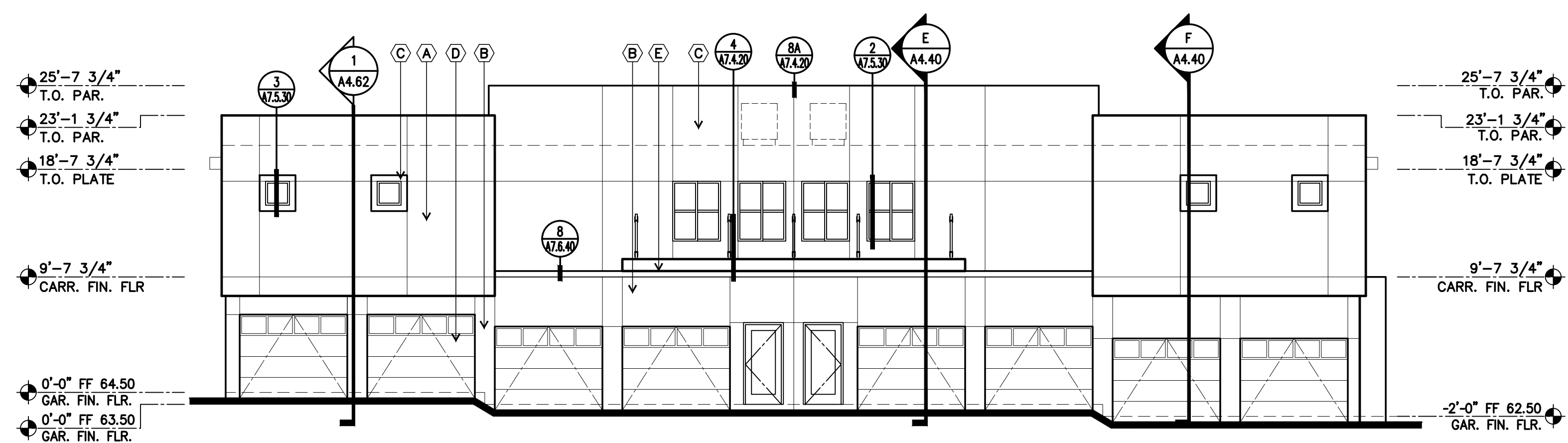
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A3.41

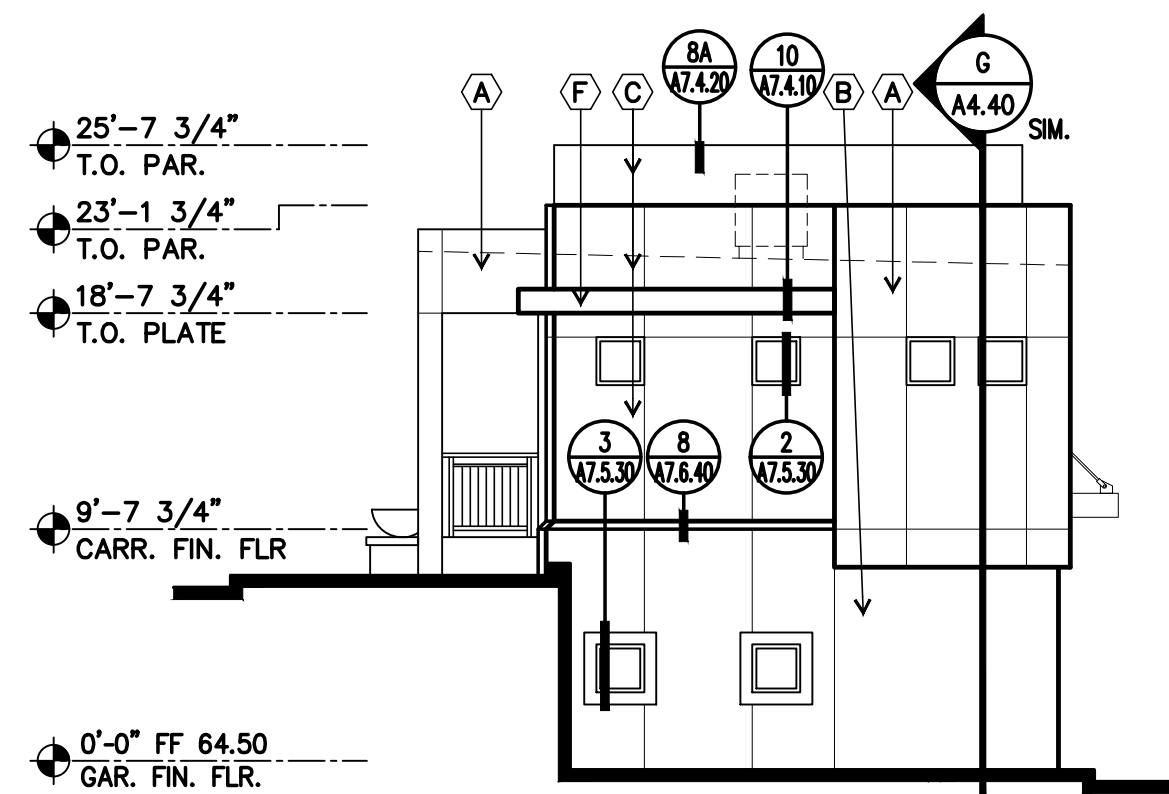
BUILDING 5 EXTERIOR ELEVATIONS



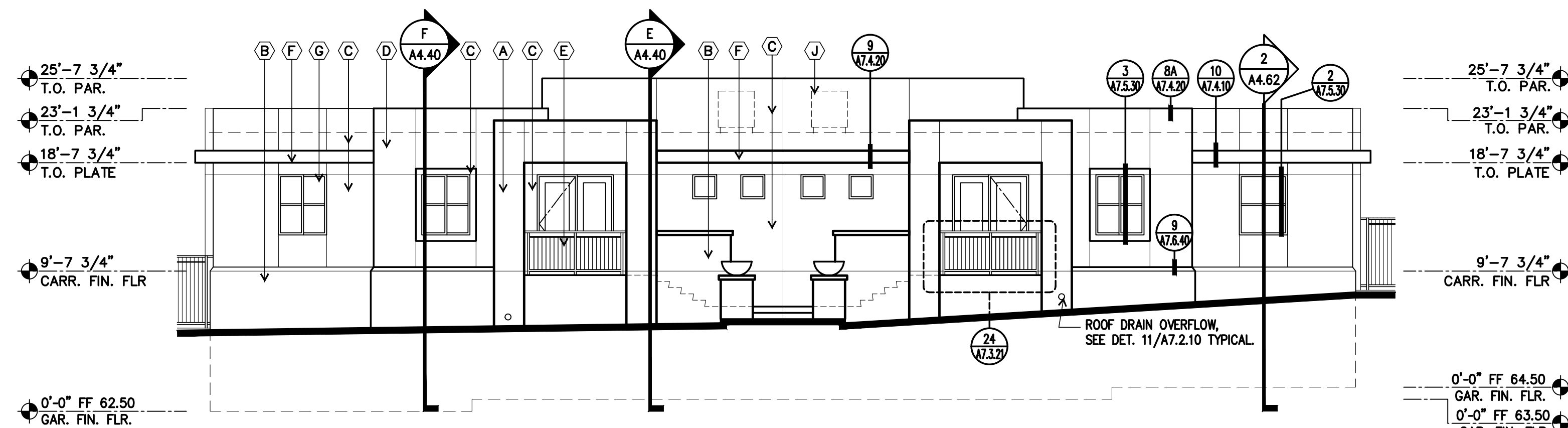
BUILDING 6 - SOUTH ELEVATION



BUILDING 6 - WEST ELEVATION



BUILDING 6 - NORTH ELEVATION



BUILDING 6 - EAST ELEVATION

- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH DE 5187 WEATHERED SADDLE
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 - (F) STUCCO FINISH DE 6378 F JET
 - (G) WINDOW/DOOR DARK BRONZE
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NO.	DATE	DESCRIPTION

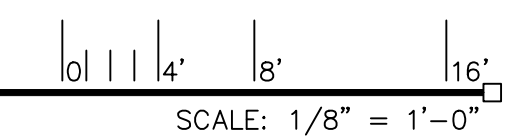
DRB SUBMITTAL

DATE: JULY 13, 2018 ORB # 16-210

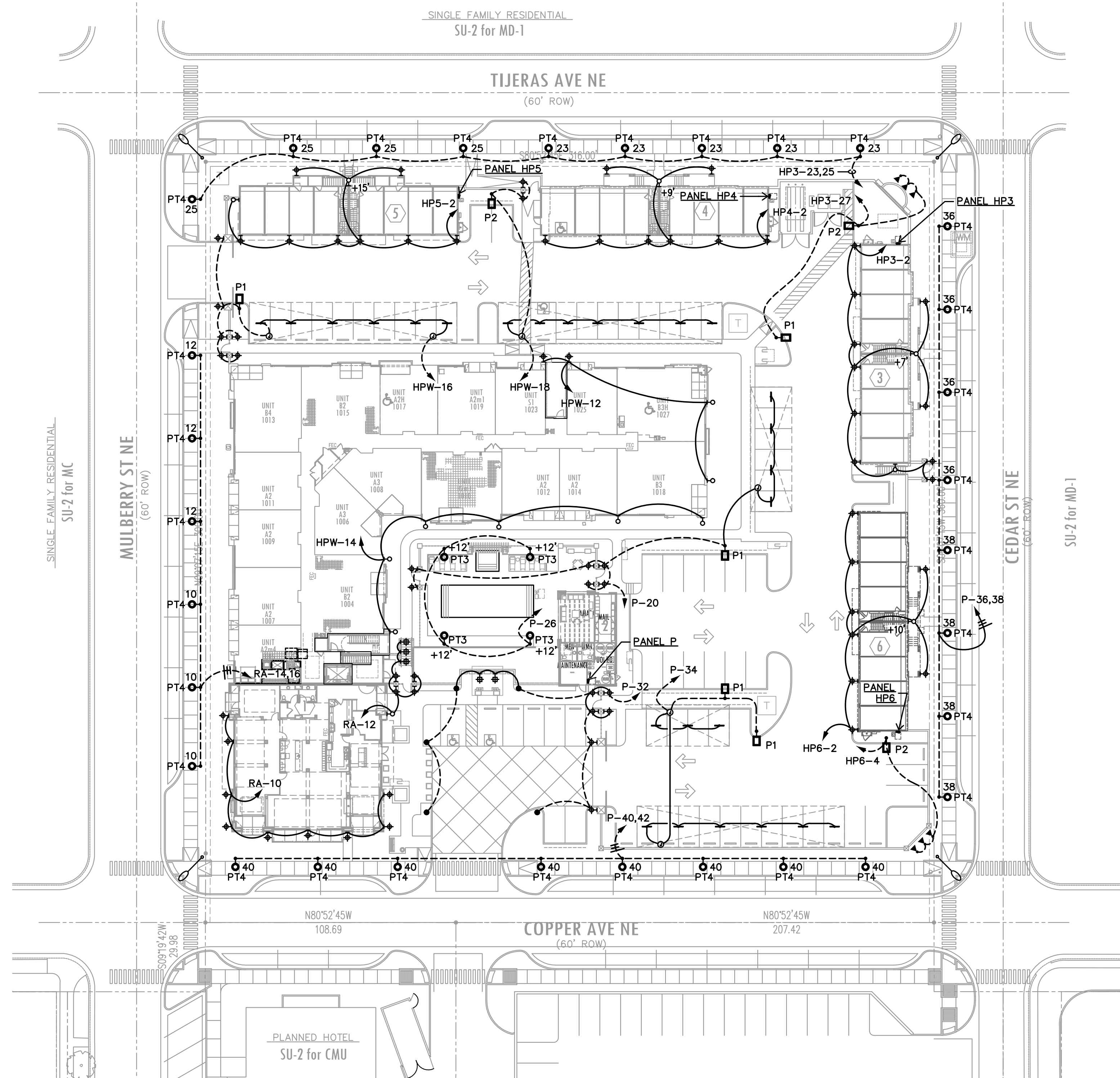
A3.51

BUILDING 6 EXTERIOR ELEVATIONS

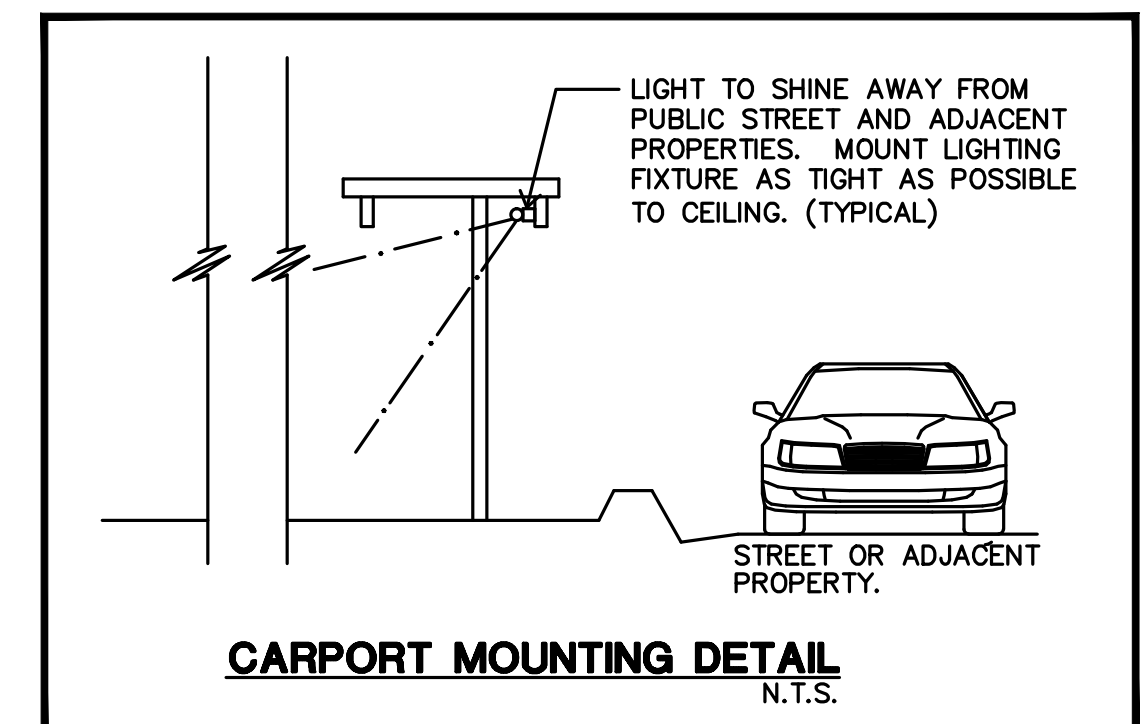
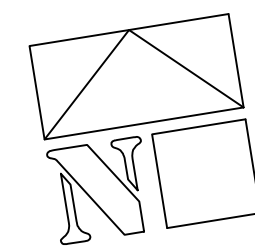
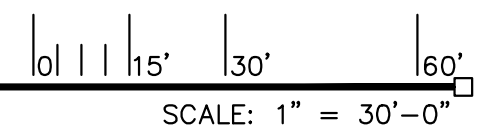
BUILDING 6 - EXTERIOR ELEVATIONS



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PRELIMINARY SITE LIGHTING PLAN



SITE PLAN LEGEND:

- ① BUILDING NUMBER
- TYPE 2 BUILDING TYPE

NOTE!!

COORDINATE AND VERIFY EXACT LOCATION AND QUANTITIES OF ALL GROUND MOUNTED LTG. FIXTURES WITH LANDSCAPE ARCHITECT BEFORE ROUGH-IN. ALL EXTERIOR SITE LIGHTING FIXTURES SHALL BE U.L. LISTED FOR WET LOCATIONS.

FIRE ALARM NOTES:

ELECTRICAL CONTRACTOR SHALL PROVIDE A DESIGN/BUILD FIRE ALARM SYSTEM FOR THIS PROJECT. COMPLY WITH ALL APPLICABLE NATIONAL, STATE & LOCAL FIRE AND BLDG. CODES. SUBMIT DRAWINGS TO AUTHORITIES HAVING JURISDICTION FOR APPROVAL.

GENERAL NOTES: UTILITIES DISTRIBUTION

1. APARTMENT BUILDING NUMBER 1 IS A THREE-STORY BUILDING. APARTMENT BUILDING NUMBER 3, 4 & 5 ARE TWO-STORY BUILDINGS. FITNESS BUILDING NUMBER 2 IS A SINGLE STORY BUILDING.
2. SEE LANDSCAPE ARCHITECT DRAWINGS FOR EXACT LOCATION OF LIGHTING FIXTURES INDICATED ON THIS SHEET.
3. MINIMUM UNDERGROUND CONDUIT SIZE SHALL BE 3/4" C.
4. ALL UNDERGROUND RUNS FOR OUTDOOR LIGHTING SHALL BE CIRCUTED WITH #10 AWG, THWN CU. IN PVC CONDUIT UNLESS NOTED OTHERWISE. PROVIDE BOND WIRE PER 2014 N.E.C.
5. ALL HOUSE LIGHTING, THIS SHEET, ROUTED WITHIN BUILDING STRUCTURES AND NOT BELOW GRADE IN PVC CONDUIT SHALL BE ROUTED IN EMT, FLEX OR MC CABLE.
6. ALL PENETRATIONS OF FIRE RATED WALLS & CEILINGS SHALL BE EXECUTED PER LOCAL AND ALL APPLICABLE CODES.
7. CABLE TELEVISION, TELEPHONE AND SECURITY SYSTEM SHALL BE PREWIRED BY ELECTRICAL CONTRACTOR.
8. ALL ELECTRICAL EQUIPMENT WIRING, LIGHTING, ETC., IN AND ADJACENT TO THE SWIMMING POOL, SPA AND DECORATIVE FOUNTAIN SHALL COMPLY WITH N.E.C. ARTICLE 680.

LEGEND

- ◻ LED POLE LIGHT. +15' T.O.F. TYPE AS SHOWN ON PLAN.
 - ◉ LED POST TOP LIGHT. +12' T.O.F. OR UNLESS NOTED OTHERWISE ON PLAN. TYPE AS SHOWN ON PLAN.
 - LED BOLLARD, FULL CUTOFF. TYPE 'BO'.
 - LED CARPORT LIGHT. TYPE 'CP'.
 - ⊕ LED WALL MINI WALL PACK. +10' B.O.F. OR U.N.O. TYPE 'WP'.
 - ⊕ LED ADA WALL SCONCE. DECORATIVE. +6' B.O.F. TYPE 'WS'.
 - ⊕ LED FLUSH TO WALL STEPLIGHT. +24" B.O.F. TO TOP OF STAIR THREAD. TYPE "SL".
 - ⌞ GROUND MOUNTED LED UPLIGHTING FIXTURE. TYPE "UL".
 - PROPOSED CITY STREET LIGHT.
- B.O.F. MOUNTING HEIGHT OF LIGHTING FIXTURE IS MEASURED FROM BOTTOM OF FIXTURE OR FIXTURE LENS TO ABOVE FINISHED FLOOR.
T.O.F. MOUNTING HEIGHT OF LIGHTING FIXTURE IS MEASURED FROM TOP OF FIXTURE TO ABOVE FINISHED FLOOR.

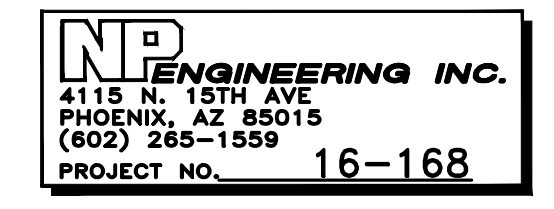


VICINITY MAP
NOT TO SCALE

BROADSTONE HIGHLANDS NORTH
NWC CEDAR ST AND COPPER AVE
ALBUQUERQUE, NEW MEXICO



WorldHQ@ORBArch.com



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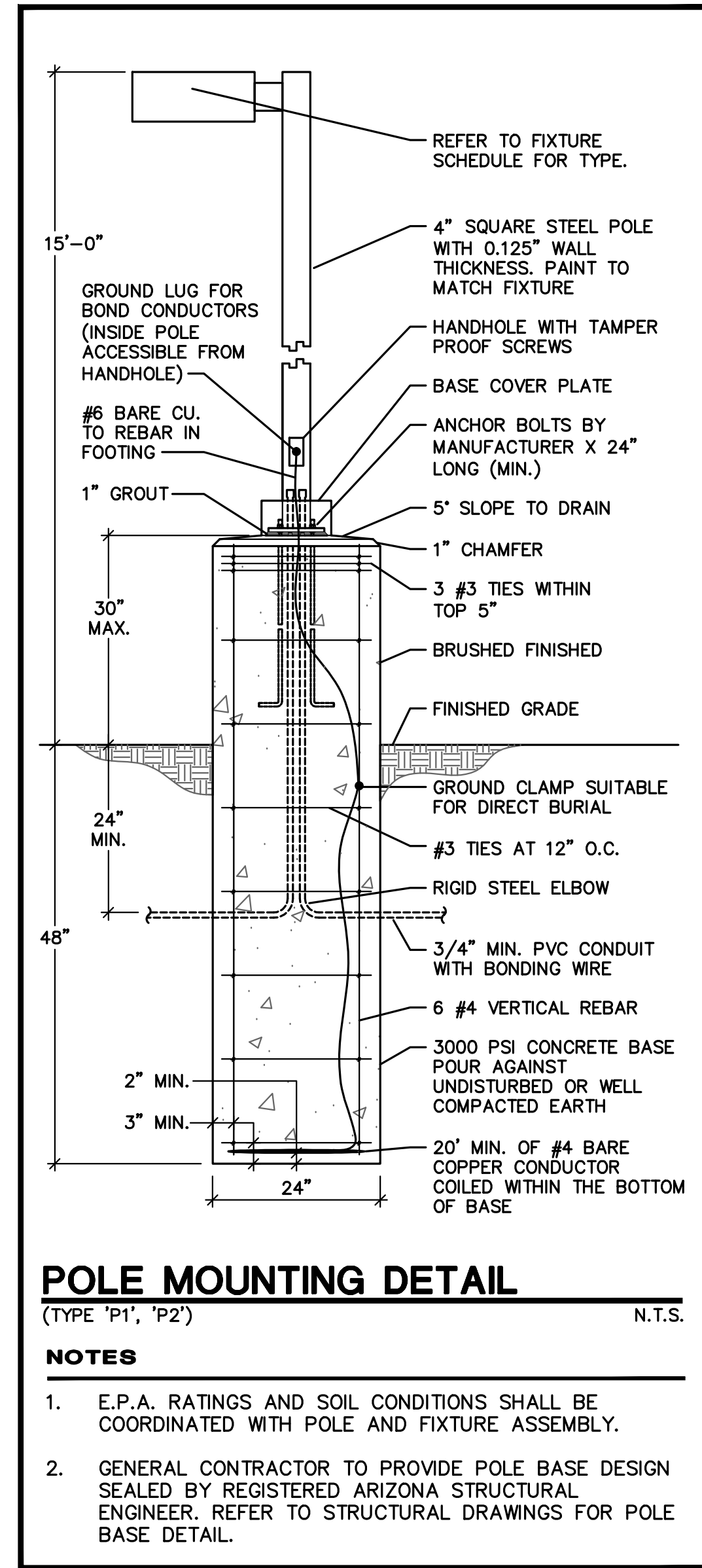
NO.	DATE	DESCRIPTION

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DATE: JULY 13, 2018 ORB # 16-210

E1.11

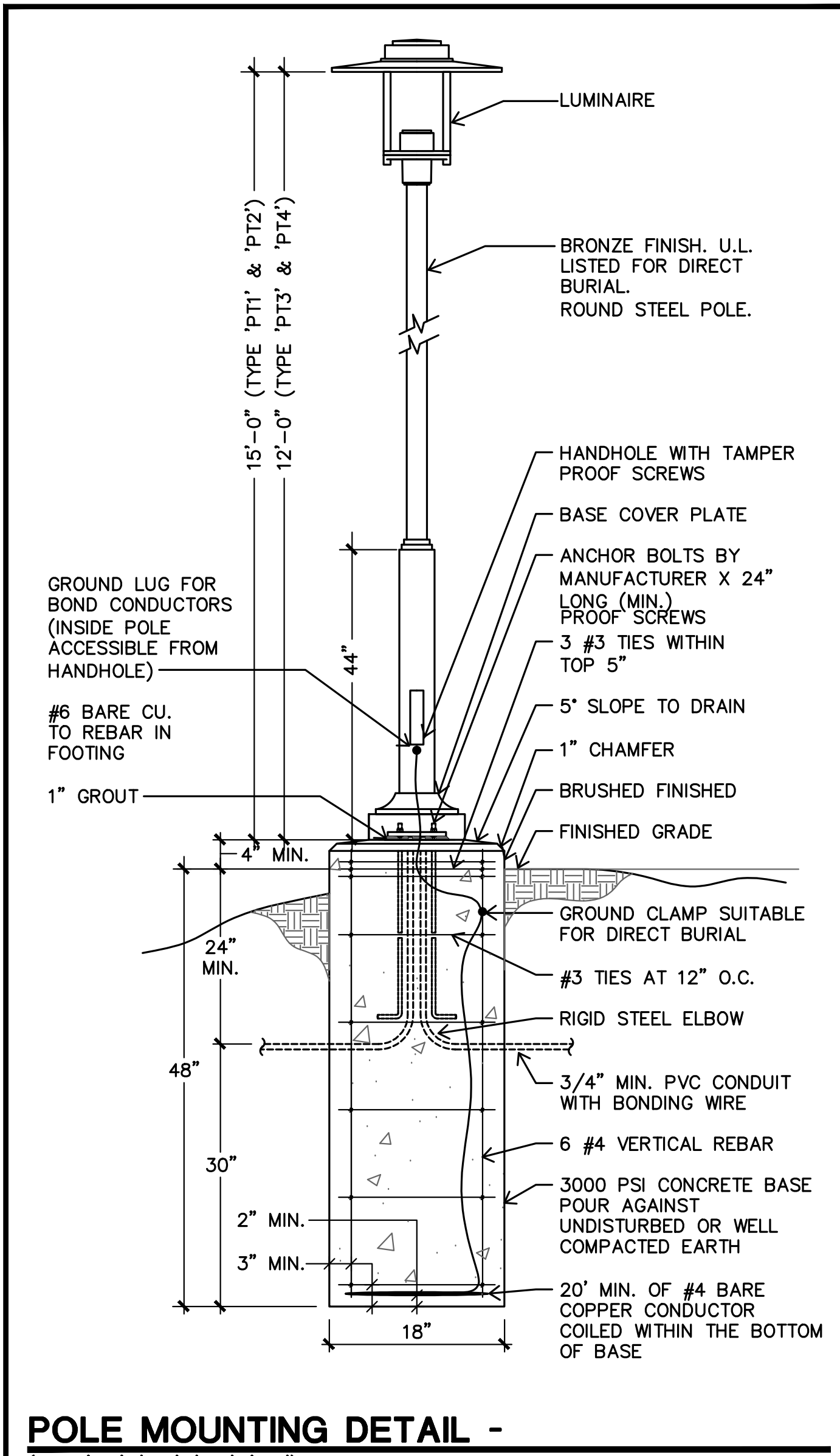
ELECTRICAL SITE LIGHTING PLAN



POLE MOUNTING DETAIL
(TYPE 'P1', 'P2') N.T.S.

NOTES

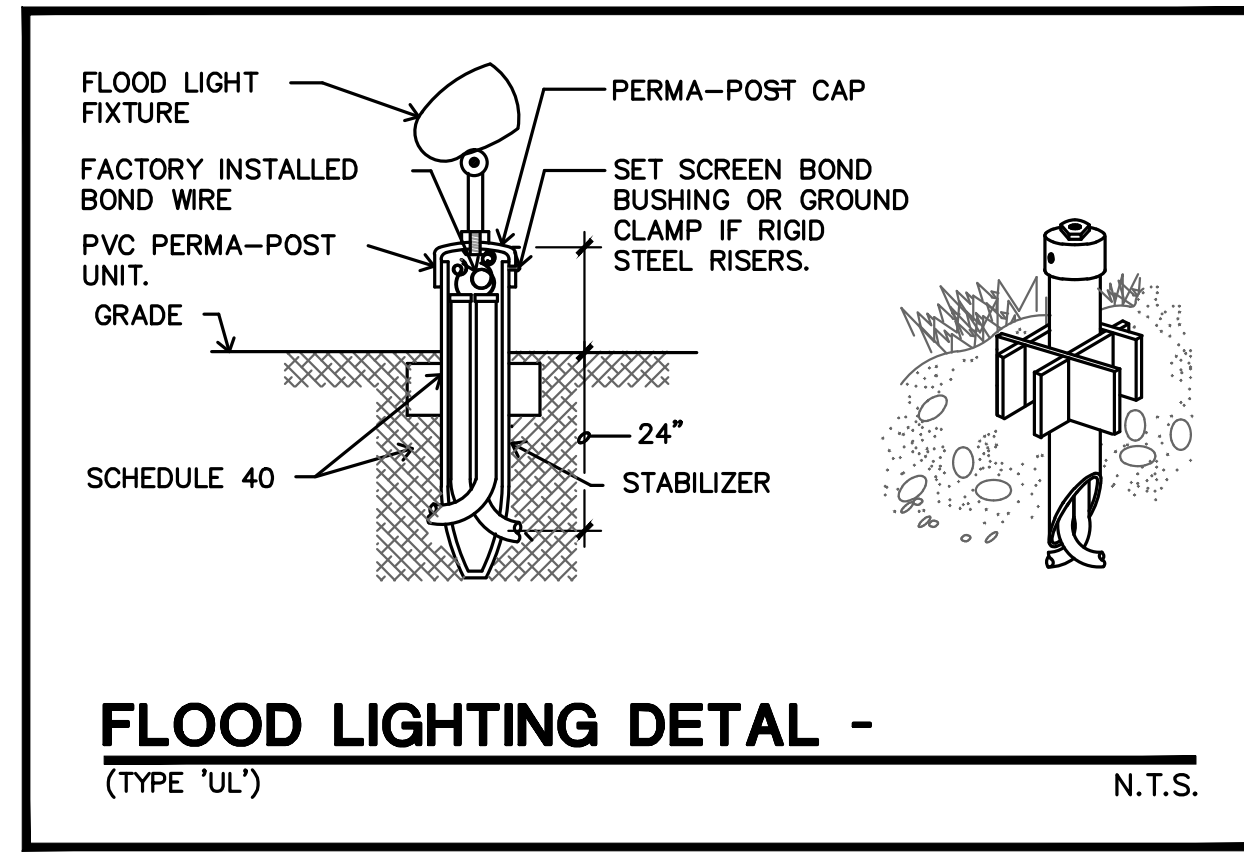
- E.P.A. RATINGS AND SOIL CONDITIONS SHALL BE COORDINATED WITH POLE AND FIXTURE ASSEMBLY.
- GENERAL CONTRACTOR TO PROVIDE POLE BASE DESIGN SEALED BY REGISTERED ARIZONA STRUCTURAL ENGINEER. REFER TO STRUCTURAL DRAWINGS FOR POLE BASE DETAIL.



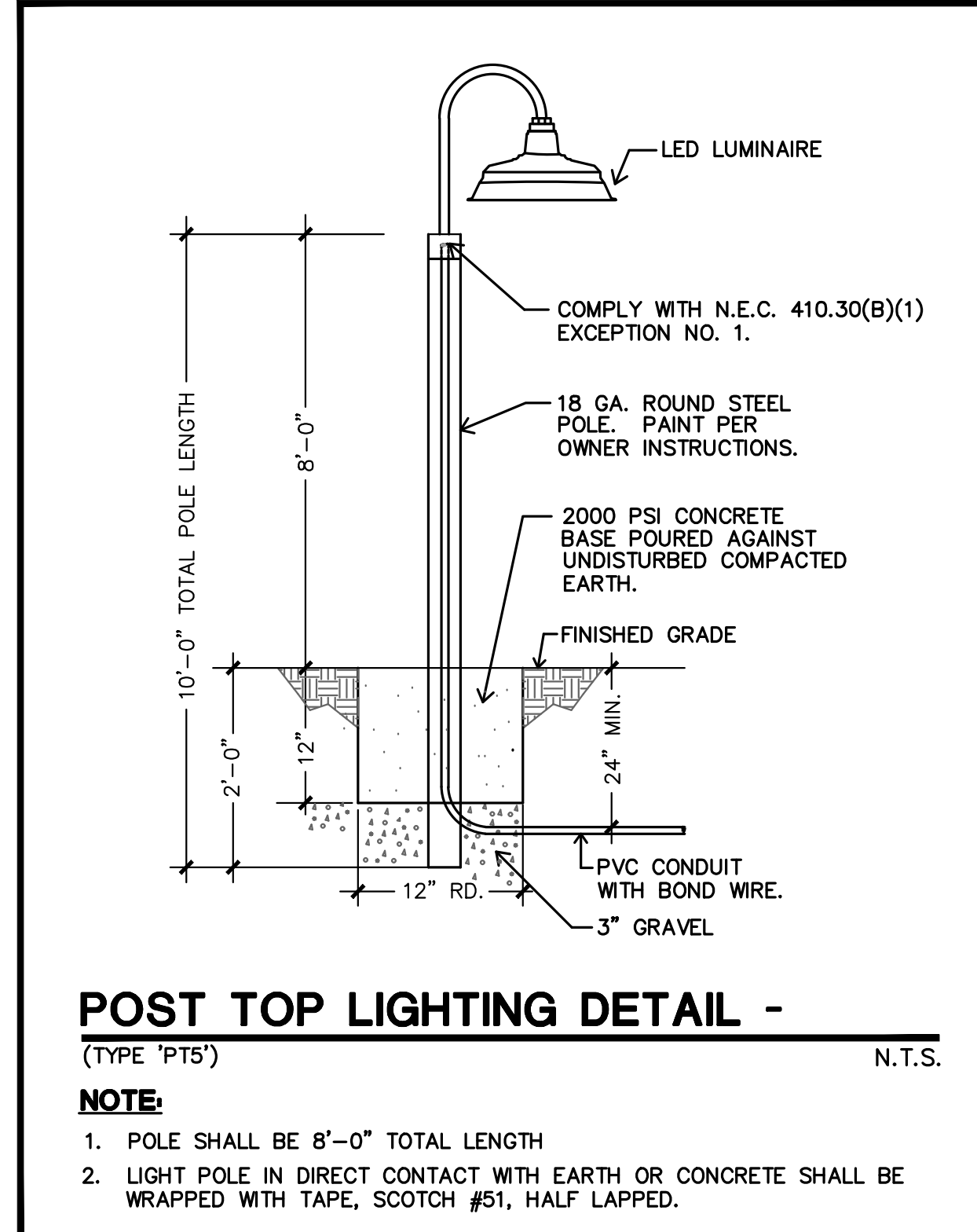
POLE MOUNTING DETAIL -
(TYPE 'PT1', 'PT2', 'PT3', 'PT4') N.T.S.

NOTES

- E.P.A. RATINGS AND SOIL CONDITIONS SHALL BE COORDINATED WITH POLE AND FIXTURE ASSEMBLY.
- GENERAL CONTRACTOR TO PROVIDE POLE BASE DESIGN SEALED BY REGISTERED STRUCTURAL ENGINEER. REFER TO STRUCTURAL DRAWINGS FOR POLE BASE DETAIL.



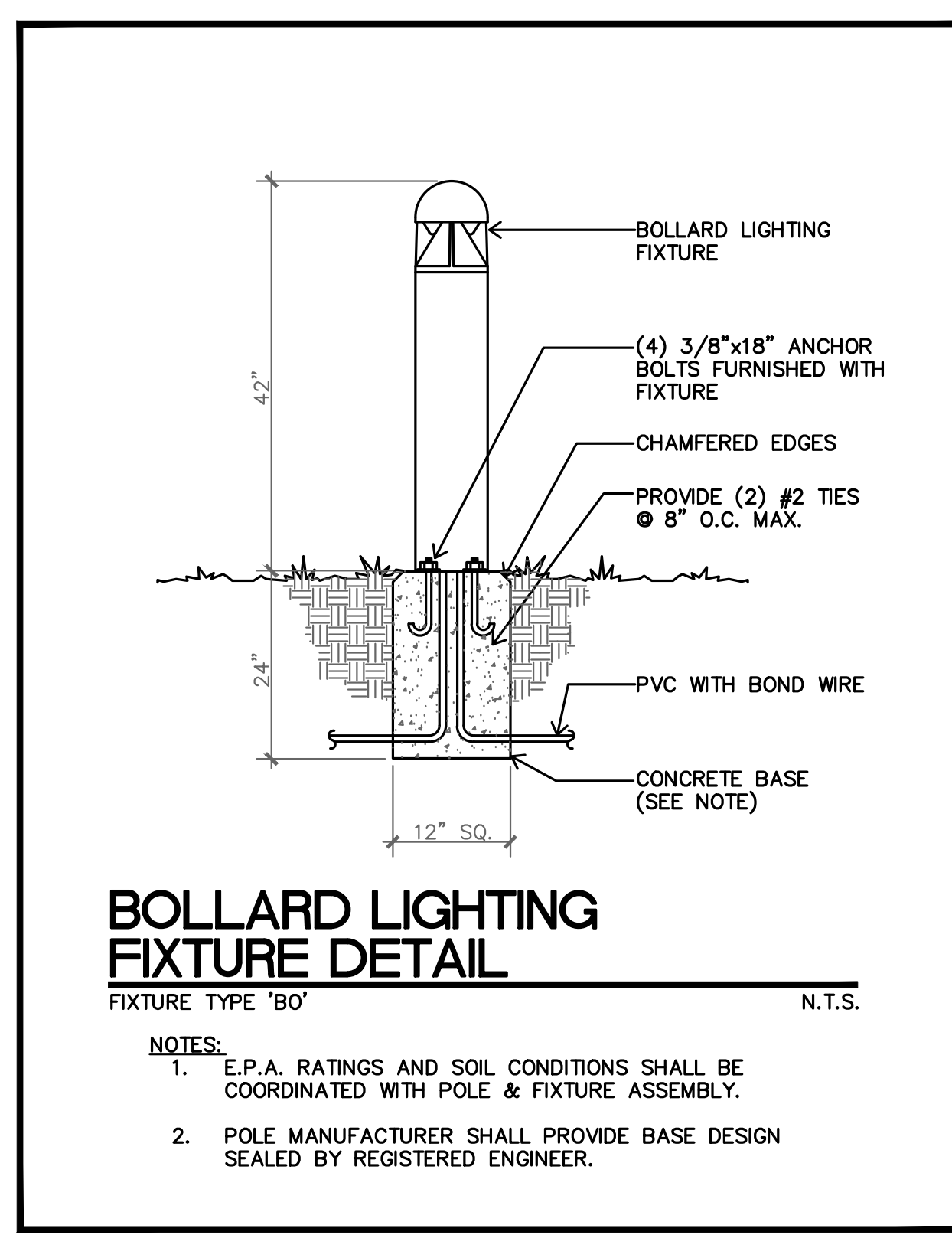
FLOOD LIGHTING DETAL -
(TYPE 'UL') N.T.S.



POST TOP LIGHTING DETAIL -
(TYPE 'PT5') N.T.S.

NOTE:

- POLE SHALL BE 8'-0" TOTAL LENGTH
- LIGHT POLE IN DIRECT CONTACT WITH EARTH OR CONCRETE SHALL BE WRAPPED WITH TAPE, SCOTCH #51, HALF LAPPED.



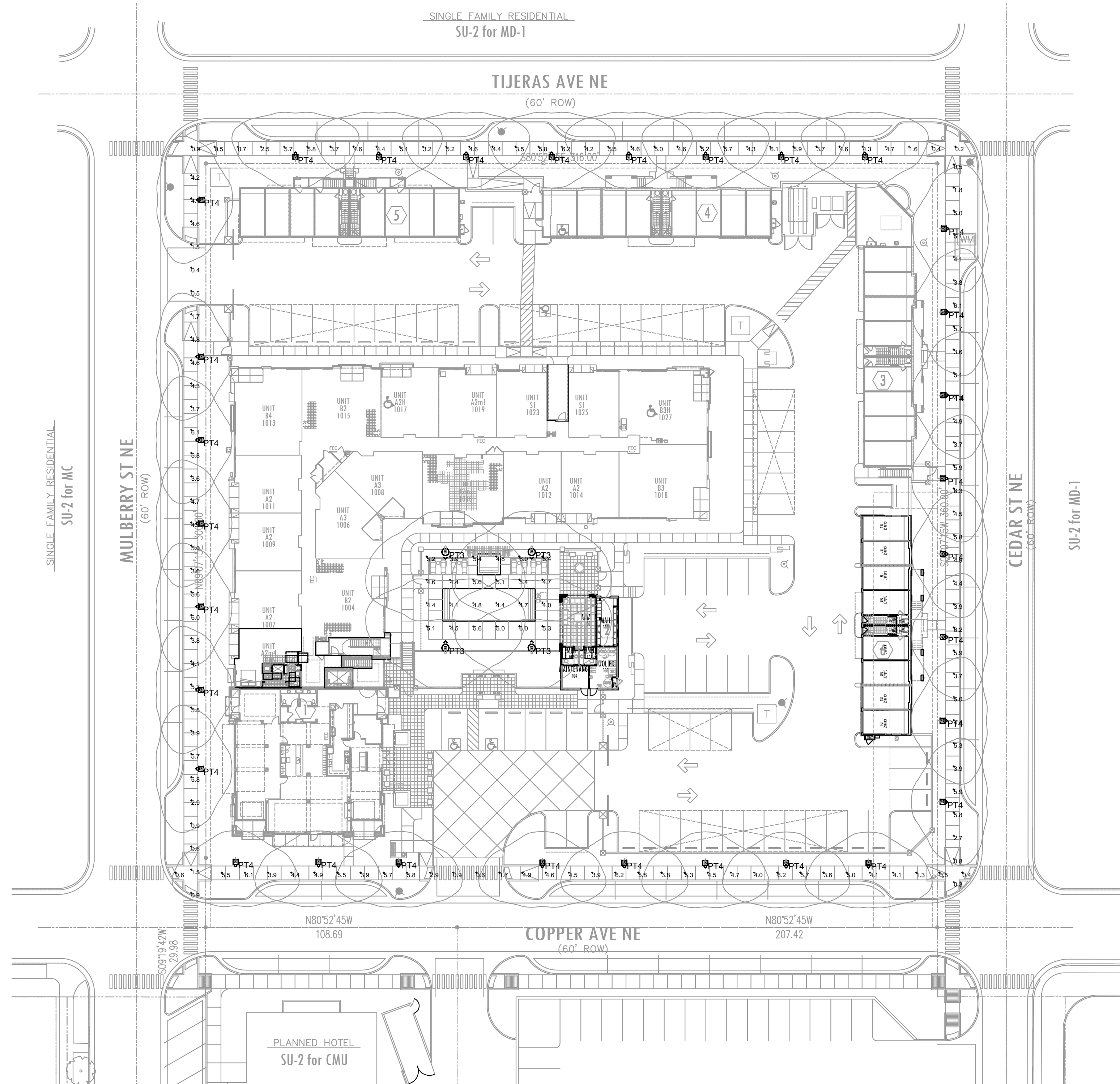
BOLLARD LIGHTING FIXTURE DETAIL
FIXTURE TYPE 'BO' N.T.S.

NOTES:

- E.P.A. RATINGS AND SOIL CONDITIONS SHALL BE COORDINATED WITH POLE & FIXTURE ASSEMBLY.
- POLE MANUFACTURER SHALL PROVIDE BASE DESIGN SEALED BY REGISTERED ENGINEER.

REVISIONS

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LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens LLF
⊙	PT3	4	SELUX SACL-1-LG3105-R3- 40-B2-120	Saturn Cutoff LED	(5 Clusters of 30 LED's) White 50W SSL c/w Advance Driver TITANIUM 105W 0.35A/0.53A/0.70A @ 120.00V	Absolute 0.95
⊠	NOT USED					

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Pool Calcs	+	4.9 fc	6.0 fc	3.9 fc	1.5:1	1.3:1
Sidewalks Calcs	+	4.0 fc	6.3 fc	0.2 fc	31.5:1	20.0:1

BROADSTONE HIGHLANDS NORTH

NWC CEDAR ST AND COPPER AVE
ALBUQUERQUE, NEW MEXICO



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NP ENGINEERING INC.
4115 N. 15TH AVE
PHOENIX, AZ 85015
(602) 285-1559
PROJECT NO. 16-168

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REVISIONS

No.	Description

DRB SUBMITTAL

DATE: JULY 13, 2018 ORB # 16-210

E1.14

ELECTRICAL SITE
PHOTOMETRIC PLAN

PRELIMINARY SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"

