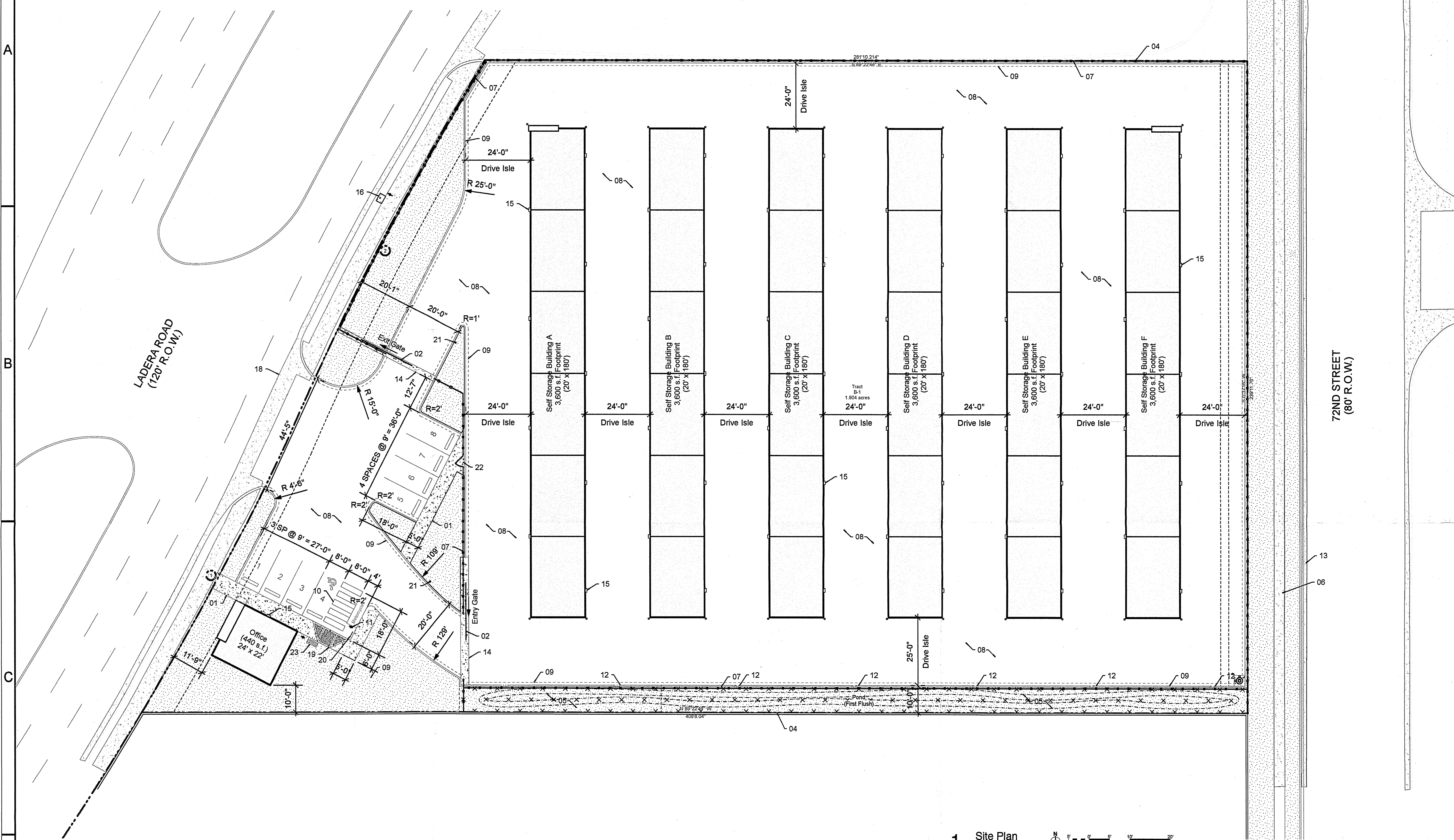


# LADERA SELF STORAGE

LADERA & 72ND STREET



**PROJECT INFORMATION:**  
 TOTAL SITE AREA: 1,904 ACRE  
 82,938 S.F.

**CURRENT ZONING:** C-1  
**PROPOSED ZONING:** SU-1 FOR C-1 USES TO INCLUDE STORAGE FACILITY W/ DIRECT ACCESS TO INDIVIDUAL UNITS FROM OUTSIDE.

**PROPOSED BUILDING AREA:**  
 LEASING OFFICE: 440 S.F.  
 SELF STORAGE UNITS: 20,400 S.F.  
 TOTAL BUILDING AREA: 22,040 S.F.

**LOT COVERAGE:**  
 PROPOSED LOT COVERAGE: 22,040 S.F.  
 FLOOR AREA RATIO: .27

**PARKING ANALYSIS:**  
 REQUIRED WAREHOUSE (1/2,000 S.F.) = 11 SPACES REQUIRED  
 10% TRANSIT CREDIT = 1 SPACE  
 = 10 REQUIRED

**PROVIDED:**  
 \* 8 SPACES PROVIDED AT LEASING OFFICE  
 \* 2+ SPACES PROVIDED AT UNITS. (APPROVED BY EPC)

**ACCESSIBLE SPACES:** 1 REQUIRED / 1 PROVIDED  
**MOTORCYCLE SPACES:** 1 REQUIRED / 1 PROVIDED  
**BICYCLE SPACES:** 1 REQUIRED / 1 PROVIDED

**SOLID WASTE:**  
 TRASH & RECYCLING ENCLOSURE 1 REQUIRED / 1 PROVIDED  
 \* SHARED DUMPSTER AGREEMENT WITH TRACT A-1 AS FILED WITH COUNTY CLERKS OFFICE ON JUNE 1ST, 1994.

**SITE PLAN GENERAL NOTES:**  
 - PARKING LOT DIMENSIONS ARE GIVEN FROM FACE OF CURB TO FACE OF CURB UNLESS NOTED OTHERWISE.  
 - ALL PAVEMENT MARKINGS SHALL BE MADE WITH WHITE ALKYD STRIPING AND INSTALLED PER ALL GOVERNMENTAL TRAFFIC STANDARDS AND DETAILS.  
 - ALL EXTERIOR CONCRETE SHALL HAVE A ROCK SALT FINISH UNLESS SPECIFIED OTHERWISE.  
 - PROVIDE ACCESS AT GATES FOR FIRE DEPT.

**SITE PLAN KEYED NOTES:**  
 (01) CONCRETE PEDESTRIAN CROSSWALK.  
 (02) CONTROLLED ACCESS GATE.  
 (03) FIRE TRUCK TURNING RADIUS DIAGRAM.  
 (04) PROPERTY LINE.  
 (05) DRAINAGE POND / FIRST FLUSH REQUIREMENTS.  
 (06) EXISTING SIDEWALK IN PUBLIC RIGHT-OF-WAY.  
 (07) 8' HIGH DESIGN MASTER FENCING. TYP. AROUND PERIMETER OF SITE.  
 (08) ASPHALT DRIVE SURFACE.  
 (09) CONCRETE CURB & GUTTER. REFER TO SITE DETAILS SHEET.  
 (10) ACCESSIBLE PARKING STALL W/ SIGN AND PAINTED GRAPHICS. TYP.  
 (11) MOTORCYCLE PARKING STALL W/ SIGN.  
 (12) CONCRETE CURB INLET LOCATIONS, COORDINATE W/ GRADING AND DRAINAGE PLAN.  
 (13) EXISTING CURBS & GUTTER IN PUBLIC RIGHT-OF-WAY.  
 (14) CONCRETE ROLLER GATE PAD. REFER TO SITE PLAN DETAILS SHEET.  
 (15) BUILDING MOUNTED WALL PAK. COORDINATE WITH ELECTRICAL SHEETS.  
 (16) EXISTING BUS STOP. PROVIDE SECTION OF INFILL CONCRETE IN PARK STRIP APPROPRIATE TO ASSIST WITH ACCESSIBLE BUS LOADING / UNLOADING.  
 (17) BUILDING MOUNTED SITE LIGHTING.  
 (18) EXISTING CURB CUT W/ CONCRETE APRON FOR INGRESS / EGRESS.  
 (19) ACCESSIBLE RAMP. REFER TO SITE PLAN DETAILS SHEET.  
 (20) BICYCLE RACK. REFER TO SITE PLAN DETAILS SHEET.  
 (21) GATE ACCESS SYSTEM.  
 (22) PEDESTRIAN ACCESS GATE.  
 (23) SITE BENCH. PROVIDE FURNITURE PIECE AS SELECTED BY ARCHITECT.

**CANNADY ARCHITECT STUDIO**  
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1 Site Plan  
 Scale: 1" = 20' ft

Project Number: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer / Hydrology	Date
Code Enforcement	Date
Environmental Health Department (Conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

4-23-18

**AGIS**  
 Map generated through: 10892016

Zone Atlas Page: H-10-Z  
 Referenced Symbols:  
 - 10' Buffer Zone  
 - 20' Buffer Zone  
 - 30' Buffer Zone  
 - 40' Buffer Zone  
 - 50' Buffer Zone  
 - 60' Buffer Zone  
 - 70' Buffer Zone  
 - 80' Buffer Zone  
 - 90' Buffer Zone  
 - 100' Buffer Zone  
 - 150' Buffer Zone  
 - 200' Buffer Zone  
 - 300' Buffer Zone  
 - 400' Buffer Zone  
 - 500' Buffer Zone  
 - 600' Buffer Zone  
 - 700' Buffer Zone  
 - 800' Buffer Zone  
 - 900' Buffer Zone  
 - 1000' Buffer Zone

**Ladera Self Storage**  
 Tract B' of Tracts A1 & B1, Mariposa Square Subdivision  
 Albuquerque, NM 87120

**Site Development Plan for Building Permit**

Documents Issued For:  
 Site Development Plan for Building Permit

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Print Date: 04.10.18 Job Number: 17.08  
 Drawing No.: AS.01