

VICINITY MAP SCALE: 1"=750' ZONE ATLAS MAP P-9-Z

SUBDIVISION DATA

GROSS ACREAGE	24.1149 AC
ZONE ATLAS NO.	P-9-Z
NO. OF EXISTING TRACTS/LOTS	2 TRACTS
NO. OF TRACTS/LOTS CREATED	2 TRACTS
DATE OF SURVEY	NOVEMBER, 2004
MILES OF FULL WIDTH STREETS CREATED	0.39 MILES
AREA OF PUBLIC RIGHT-OF-WAY DEDICATED	4.0076 AC

FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS, PUBLIC RIGHT-OF-WAYS SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER'S ACKNOWLEDGMENT:

CEJA VISTA LLC
 PATRICK N. SMITH, MANAGER
 DATE 6/4/18

STATE OF COLORADO) ss
 COUNTY PITKIN)
 ON THIS 4th DAY OF June, 2018, THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY PATRICK N. SMITH, MANAGER OF CEJA VISTA, LLC.

NOTARY PUBLIC, MY COMMISSION EXPIRES



DOCH 2018082310
 09/19/2018 12:02 PM Page 1 of 3
 PLAT R 525 00 B 2018C P 0124 Linda Stover, Bernalillo County

LEGAL DESCRIPTION

A tract of land within the Town of Atrisco Grant, projected Section 9, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACTS RR-3-B, and RR-3-C, WESTLAND SOUTH as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 14, 2005 Bk. 2005C, Pg. 365 and containing 24.1149 acres more or less

PURPOSE OF PLAT

1. SUBDIVIDE TRACTS RR-3-B AND RR-3-C INTO 2 TRACTS.
2. DEDICATED RIGHT-OF-WAY AS SHOWN.
3. GRANT NEW EASEMENTS AS SHOWN.
4. VACATE EASEMENTS AS SHOWN.

NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
2. DISTANCES ARE GROUND DISTANCES.
3. BEARINGS AND DISTANCES IN ARE FIELD AND RECORD.
4. BASIS OF BOUNDARY ARE THE FOLLOWING PLATS AND DOCUMENTS OF RECORD ENTITLED:
 "BULK LAND PLAT WESTLAND SOUTH, TRACTS RR-3-A, THROUGH RR-3-E", (11-14-05, 2005C-365)
 "LANDS OF CECELIA LANNING", (10-24-79, B17-42)
 "LAND OF DAMACIO APODACA", (11-08-74, A5-116)
 "LAND OF DAMACIO APODACA", (01-08-79, A7-6) QUITCLAIM DEED (01-08-79, A7-6)
 "WESTLAND, TRACT RR-5", (03-04-93, 93C-58)
 "LANDS OF WESTLAND DEV. CO. INC, SOUTH TRACT", (02-10-77, CASE 8-76-03865)
 "PAKKREWEE", (01-29-01, 01C-38)
 "RIGHT OF WAY MAP (SD-4008 (206)", (05-09-94)
 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
5. DATE OF SURVEY: NOVEMBER, 2004.
6. TITLE REPORT: FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NONE PROVIDED.
7. ADDRESS OF PROPERTY: NONE PROVIDED.
8. THIS PROPERTY LIES WITHIN ZONE (X) AS SHOWN ON PANEL 338 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO, DATED AUGUST 16, 2012.
10. THESE TRACTS ARE AFFECTED BY A RIGHT-OF-WAY EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY, FILED MAY 17, 1930 RECORDED IN BOOK 112, PAGE 290, SAID EASEMENT AMENDED BY A MODIFICATION EASEMENT, FILED FEBRUARY 13, 1973 RECORDED IN BOOK MISC. 298, PAGE 635, SAID EASEMENT ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY ASSIGNMENT FILED DECEMBER 19, 1977, RECORDED IN BOOK MISC. 575, PAGE 928 ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
11. SOLAR NOTE: NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALL ON BUILDINGS OR ERCTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

**PLAT FOR
 WESTLAND SOUTH
 TRACTS RR-3-B-1 AND RR-3-C-1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2018**

PROJECT NUMBER: PP-2018-001845
 APPLICATION NUMBER: PD 2018-00060

PLAT APPROVAL

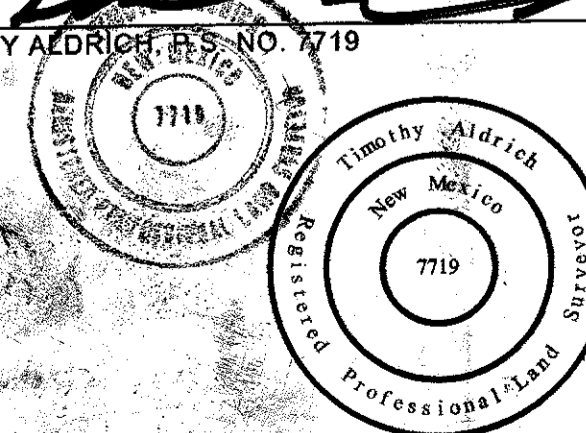
UTILITY APPROVALS:
 PUBLIC SERVICE COMPANY OF NEW MEXICO 7-13-18
 NEW MEXICO GAS COMPANY 7/13/18
 QWEST CORPORATION D/B/A CENTURILINK QC 7/13/18
 COMCAST D/B/A XFINITY 7/13/18
 CITY APPROVALS:
 Loren G. Rinalderson P.S. 7/13/18
 CITY SURVEYOR

N.A.
 REAL PROPERTY DIVISION 9/12/18
 Raymond M. ...
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
 Keith ... 09-12-18
 ALBUQUERQUE-BERNALILLO COUNTY WATER UTILITY AUTHORITY 9/12/18
 Parks and Recreation Department
 ... 9/17/18
 AMAFCA
 ... 9/12/2019
 CITY ENGINEER
 ... 9/12/18
 CODE ENFORCEMENT 9.12.18
 DRB CHAIRPERSON, PLANNING DEPARTMENT

SURVEYOR'S CERTIFICATION

"I, TIMOTHY ALDRICH, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

TIMOTHY ALDRICH, P.S. NO. 7719
 DATE 07/12/18

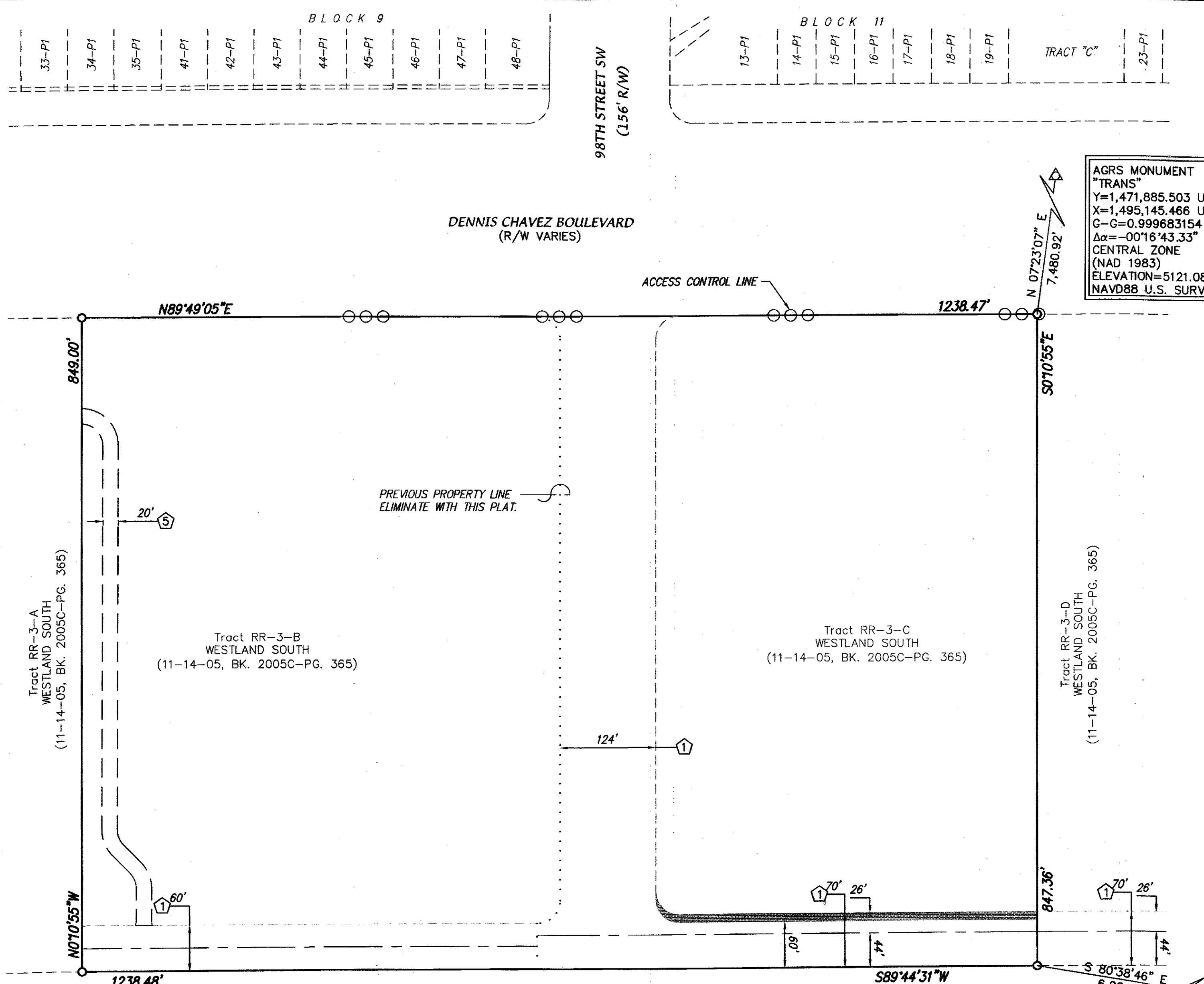


ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

A17005 FP-RR-3-B.dwg	Drawn: SPS	Checked: TA	Sheet 1 of 3
Scale: AS SHOWN	Date: 5/16/2018	Job: A17005	

PLAT FOR
WESTLAND SOUTH
TRACTS RR-3-B-1 AND RR-3-C-1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 9
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2018



AGRS MONUMENT
 "TRANS"
 Y=1,471,885.503 U.S. SURVEY FT.
 X=1,495,145.466 U.S. SURVEY FT.
 G-G=0.999683154
 Δα=-00°16'43.33"
 CENTRAL ZONE
 (NAD 1983)
 ELEVATION=5121.089
 NAVD88 U.S. SURVEY FT.

PUBLIC UTILITY EASEMENTS (PUE) shown on this plat are granted for the common and joint use of:

Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer
 In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PROPERTY CORNERS

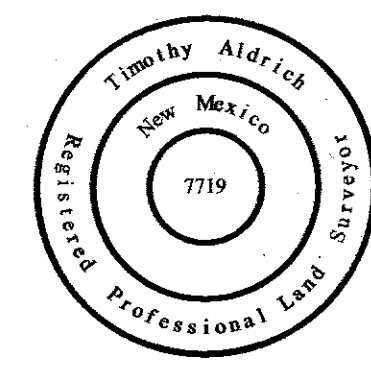
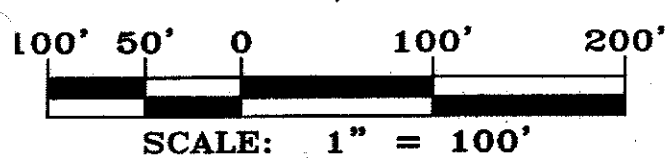
- FOUND/SET 5/8" REBAR WITH CAP "ALS LS 7719"

EXISTING EASEMENTS

- ① EXISTING PUBLIC ACCESS, DRAINAGE, SANITARY SEWER AND WATER LINE EASEMENTS (11-14-05, BK. 2005C-PG. 365) (PORTIONS VACATED WITH THIS PLAT) VACATION CASE NO. SD-2018-00043
- ⑤ EXIST. 20' PUBLIC EMERGENCY ACCESS EASEMENT (BY SEPARATE DOCUMENT)

AREA OF VACATION

DOCH 2018082310
 09/19/2018 12:02 PM Page: 2 of 3
 PLAT R 325 80 B 2018 P 6/24 Linda Stover, Bernalillo County



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

A17005 FP-RR-3-B.dwg	Drawn: SPS	Checked: TA	Sheet 2 of 3
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**PLAT FOR
WESTLAND SOUTH
TRACTS RR-3-B-1 AND RR-3-C-1
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 9
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2018**

ALL STREETS AND ROADS SHOWN
HEREON ARE HEREBY DEDICATED IN
FEE SIMPLE WITH WARRANTY
COVENANTS AS PUBLIC RIGHT-OF-WAY

NOTE:

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "P.S. No. 7719".

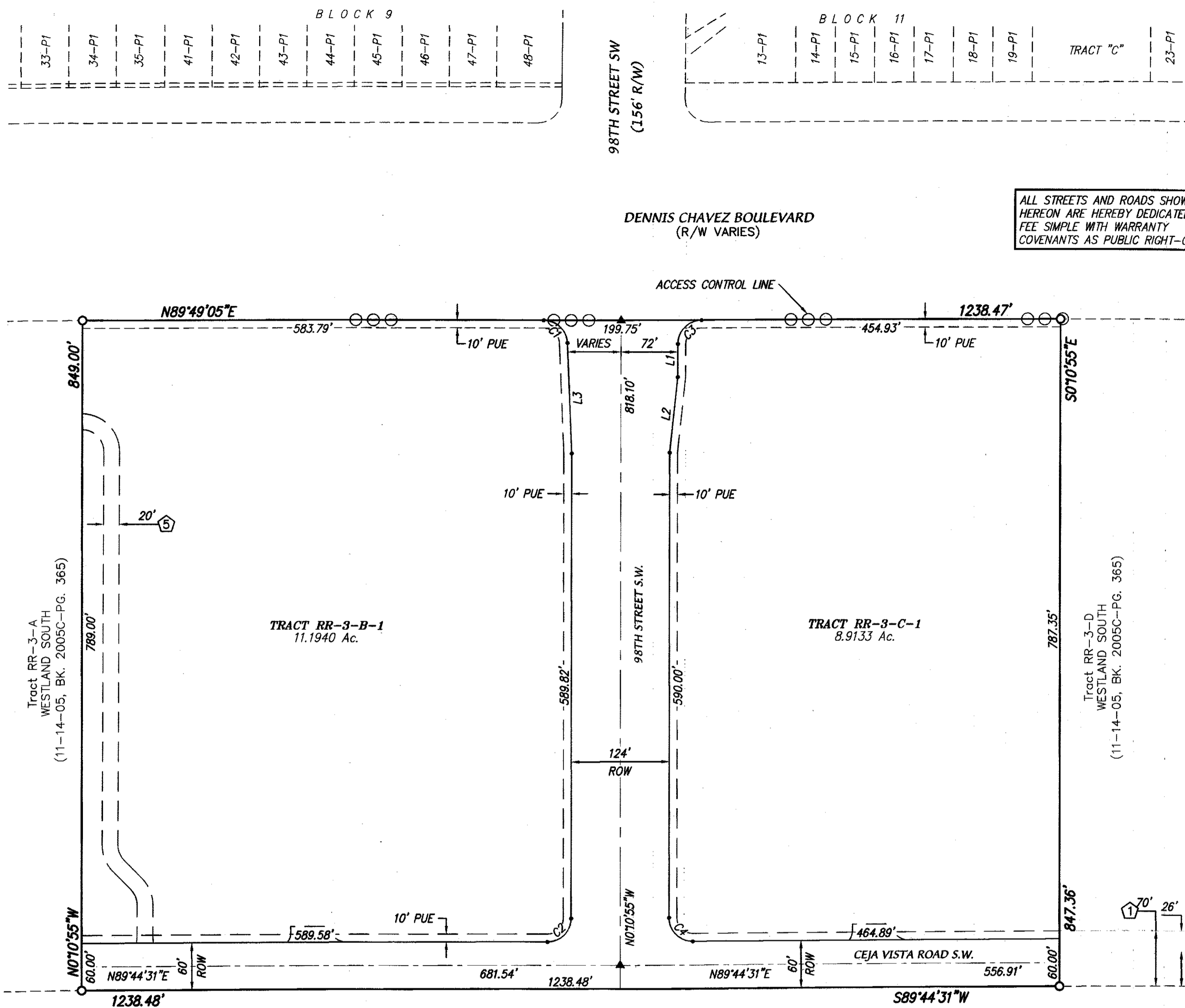
ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS
GRANTED BY THIS PLAT.

ROW = RIGHT-OF-WAY

LEGEND

- TRACT 3** TRACT IDENTIFIER
- 3-P1 EXISTING LOT NUMBER
- ▲ C.O.A. CENTERLINE MONUMENT
- REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)



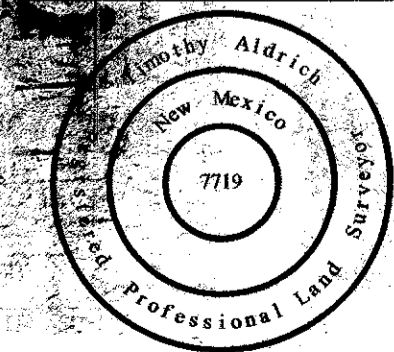
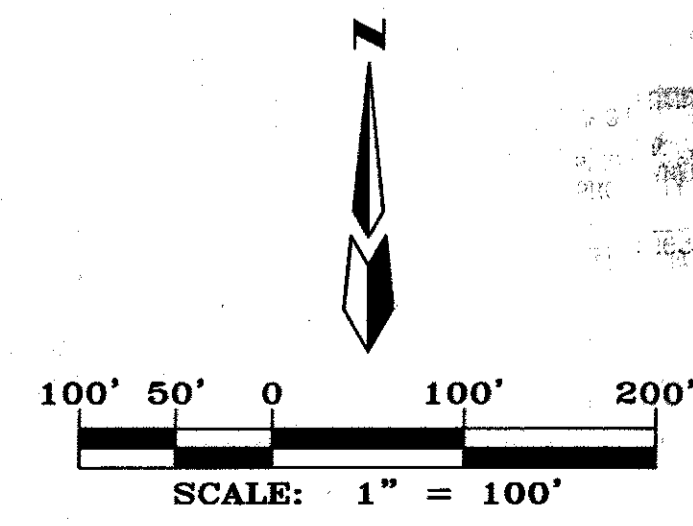
Line Table		
Line #	Bearing	Length
L1	S00°10'55"E	41.62
L2	S05°44'35"W	96.87
L3	N02°33'05"W	139.75

Curve Table						
Curve #	Radius	Length	Delta	Tangent	Ch Direction	Length
C1	30.00'	45.88'	087°37'50"	28.78'	N46°22'00"W	41.54'
C2	30.00'	47.08'	089°55'26"	29.96'	N44°46'48"E	42.40'
C3	30.00'	47.12'	090°00'00"	30.00'	S44°49'05"W	42.43'
C4	30.00'	47.16'	090°04'34"	30.04'	S45°13'12"E	42.45'

- PROPERTY CORNERS**
- FOUND/SET 5/8" REBAR WITH CAP "ALS LS 7719"
- EXISTING EASEMENTS**
- ① EXISTING PUBLIC ACCESS, DRAINAGE, SANITARY SEWER AND WATER LINE EASEMENTS (11-14-05, BK. 2005C-PG. 365) (PORTIONS VACATED WITH THIS PLAT)
 - ⑤ EXIST. 20' PRIVATE EMERGENCY ACCESS EASEMENT (BY SEPARATE DOCUMENT)

TRACT RR-4
WESTLAND SOUTH
(04-25-91, BK. 91-7, PG. 830-831)

DOCH 2018082310
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PLAT R: \$25.00 B: 2018C P: 0124 Linda Stover, Bernalillo County



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

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	Date: 5/21/2018	Job: A17005	

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 PLAT R: \$25.00 B: 2018C P: 0124 Linda Stover, Bernalillo County
 DOCH 2018082310