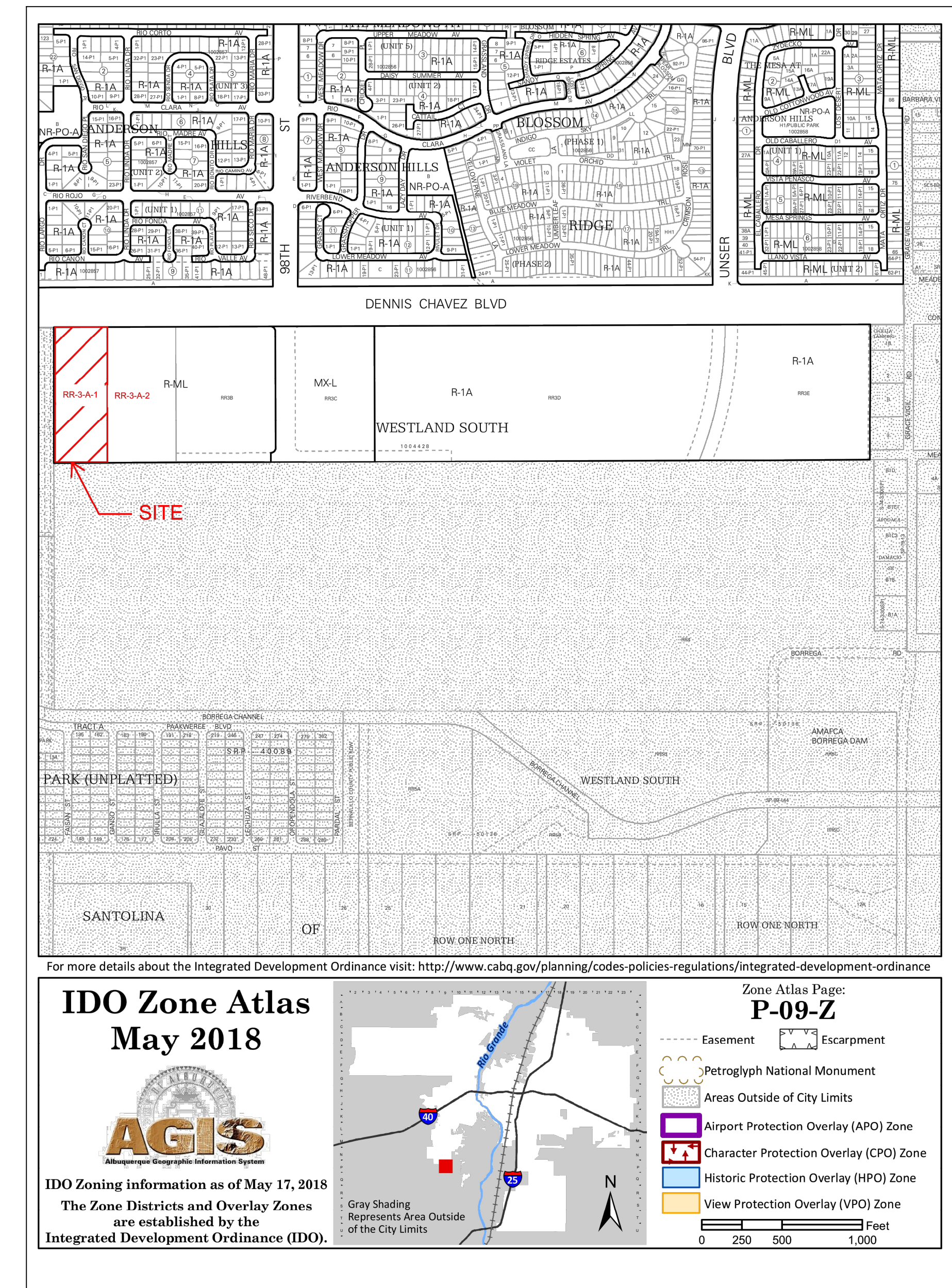


## DRAWING INDEX

SDP 1.1	SITE PLAN
SDP 1.2	SITE DETAILS
SDP 1.4	ELECTRICAL SITE LIGHTING PLAN
SDP 1.5	ELECTRICAL SITE LIGHTING PLAN
SDP 2.1	LANDSCAPE PLAN
SDP 3.1	DRAINAGE PLAN
SDP 3.2	GRADING PLAN
SDP 5.1	EXTERIOR BUILDING ELEVATIONS
SDP 5.2	EXTERIOR BUILDING ELEVATIONS
SDP 5.3	EXTERIOR BUILDING ELEVATIONS
SDP 6.1	FIRE ONE

## VICINITY MAP



ENGINEER

PROJECT

CEJA VISTA  
10001 CEJA VISTA ROAD SW  
ALBUQUERQUE, NEW MEXICO 87121



# CEJA VISTA

PROJECT TEAM

**OWNER/CONTRACTOR**

DGB PROPERTIES  
2164 W. PARK PLACE  
PORTLAND, OR 87205-1125  
PHONE: 505.402.0091

**ARCHITECT/LANDSCAPE**

DEKKER/PERICH/SABATINI, LTD.  
7601 JEFFERSON ST. NE, SUITE 100  
ALBUQUERQUE, NM 87109  
PHONE: 505.761.9700

**CIVIL**

HUITT-ZOLLARS INC.  
333 RIO RANCHO DR. NE SUITE 101  
RIO RANCHO, NM 87124  
505.892.5141

**MECHANICAL ENGINEER**

ARSED ENGINEERING GROUP, LLC  
4700 LINCOLN ROAD NE  
ALBUQUERQUE, NM 87109  
PHONE: 505.761.3100

**ELECTRICAL**

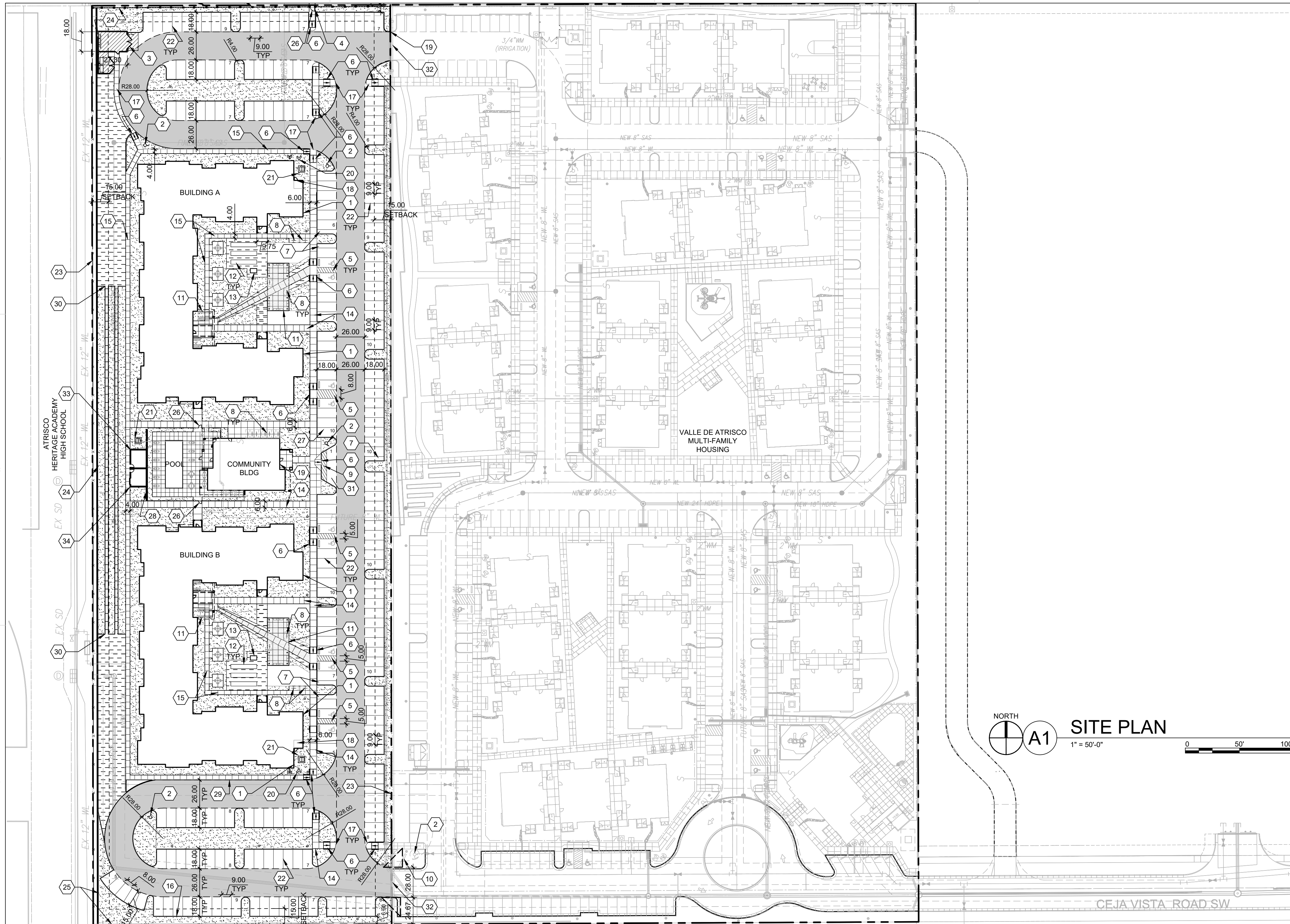
AC ENGINEERING ENTERPRISES, LLC.  
120 ALISO DR. SE  
ALBUQUERQUE, NM 87108  
PHONE: 505.842.5787

DATE 08/16/2019

PROJECT NO. 19-0019

ISSUE PURPOSE

**SDP  
APPLICATION**



PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
ABCWUA	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER/HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

LEGEND	
	LANDSCAPE AREA
	STABILIZED CRUSHER FINES
	INTEGRAL COLORED CONCRETE
	REINFORCED CONCRETE PAVING
	HEAVY DUTY ASPHALT CAPABLE TO SUPPORT 75,000 LBS
	FIRELANE STRIPING MARKING FIRE ACCESS LANE
	PROPERTY LINE
	FIRE HYDRANT
	POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
	SITE LIGHTING
	RAISED PLANTING BEDS
	CONCRETE BENCH
	BIKE RACK
	OUTDOOR FURNITURE
	SIDEWALK RAMP (ARROW POINTS DOWN)
	TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
	POOL PERIMETER FENCE

**GENERAL SHEET NOTES**

- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO): SECTION 14-16-5-8 OUTDOOR LIGHTING.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE: CIVIL FOR SPOT ELEVATIONS, GRADINGS AND DRAINAGE.
- SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

**SHEET KEYED NOTES**

- BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2009 IFC
- FIRE HYDRANT, PAINT SAFETY ORANGE. SEE CIVIL.
- TRASH COMPACTOR ENCLOSURE (7'-4" MASONRY WALL) WITH GATE, REF: C5/SDP1.2
- WALKWAY CONNECTION TO DENNIS CHAVEZ BLVD. TRAIL, A PAVED METAL USE TRAIL CLOSED TO AUTOMOTIVE TRAFFIC DEVELOPER TO COORDINATE WITH NMDOT ASSISTANT TRAFFIC ENGINEER ON TRAIL CONNECTION; REF: B2/SDP1.2
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2
- ACCESSIBLE RAMP, REF: A3/SDP1.2, C2/SDP1.2 & C3/SDP1.2
- MOTORCYCLE PARKING
- BIKE RACK/PARKING PER IDO AND DPM STANDARD WITH TWO-POINT BIKE LOCKING, REF: D5/SDP1.2
- ACCESSIBLE AISLE WITH STRIPING
- MONUMENT SIGN PER IDO REQUIREMENTS, REF: D1/SDP1.2 & D2/SDP1.2
- SHADE STRUCTURE
- RAISED GARDEN BEDS
- POTTING STATION TABLE
- 6" WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS, REF: B5/SDP1.2
- 4" WIDE SIDEWALK CONCRETE, REF: B5/SDP1.2
- CONCRETE CURB AND GUTTER, REF: A2/SDP1.2
- FLUSH CONCRETE SIDEWALK, REF: D4/SDP1.2
- FIRE RISER ROOM
- FIRE ACCESS GATE & KNOX BOX (LOCATE PER FIRE ONE PLAN)
- FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNT OR FREE STANDING
- ELECTRICAL TRANSFORMER (ON 6" CONCRETE PAD)
- PARKING STRIPING 4" WIDE, COLOR WHITE
- PROPERTY LINE
- PERIMETER (MASONRY) WALL, TO MATCH ADJACENT, REF: B1/SDP1.2
- RETAINING WALL
- PEDESTRIAN GATE
- DEDICATED RESERVED CARPOOL PARKING WITH SIGNAGE
- POOL SCREEN WALL
- SIDEWALK WITH TURNDOWN EDGE, REF: D3/SDP1.2
- STABILIZED BASED COURSE DEFINED BY EDGE TRANSITION
- VANPOOL PARKING
- GATE ENTRY PAD/ POST WITH CONTROL ACCESS FOB
- POOL EQUIPMENT ENCLOSURE
- MAINTENANCE EQUIPMENT ROOM

**PROJECT DATA**

**ZONING:** (RM-L) RESIDENTIAL - MULTI-FAMILY LOW DENSITY ZONE DISTRICT

**LEGAL DESCRIPTION:** TRACT RR-3-A-1, LOCATED ON DENNIS CHAVEZ BLVD. SW, BETWEEN 98TH ST. SW & 118TH ST. SW

**SITE AREA:** 5.423 ACRES

**ZONE ATLAS:** P-09-Z

**SETBACKS:** FRONT= 15', SIDE= STREET 10', INTERIOR= 5', REAR= 15'

**BUILDING HEIGHT:** 35'-0" + 10% DEVIATION @ 3'-0" = 38'-0"

**SPRINKLED:** FULLY SPRINKLED

**FIRE FLOW:** 4,500 GPM

**HYDRANTS REQUIRED:** 5 TOTAL

**BUILDING OCCUPANCY:** R-2, 156 APARTMENTS

**CONSTRUCTION TYPE:** V-8, FULLY SPRINKLED

**BUILDING SF:**

<b>BUILDING A</b>	
FIRST LEVEL	20,777 GSF
SECOND LEVEL	20,296 GSF
THIRD LEVEL	19,912 GSF
TOTAL	60,985 GSF
<b>BUILDING B</b>	
FIRST LEVEL	20,777 GSF
SECOND LEVEL	20,296 GSF
THIRD LEVEL	19,912 GSF
TOTAL	60,985 GSF
<b>CLUBHOUSE</b>	3,158 GSF
<b>TOTAL</b>	125,128 GSF

**PARKING CALCULATION:** (TABLE 5-5-1)

REQUIRED: MULTI FAMILY = 1.5 / DU

REQUIRED: 156 UNITS x 1.5 SPACES = 234 SPACES

PROVIDED CARPOOL PARKING: 1 = 4 PARKING CREDIT SPACES

PROVIDED VANPOOL PARKING: 1 = 7 PARKING CREDIT SPACES

REQUIRED: 234 SPACES - 4 CARPOOL CREDIT - 7 VANPOOL CREDIT = 223 TOTAL: 223 SPACES

PROVIDED: 223 PARKING SPACES

**25% OF 223 REQUIRED PARKING MAY BE COMPACT**

PROVIDED COMPACT PARKING: 5 SPACES @ 8'-0" x 15'-0"

PROVIDED STANDARD PARKING: 218 SPACES @ 9'-0" x 18'-0"

**STANDARD ACCESSIBLE SPACES:**

REQUIRED: 8 STANDARD SPACES & 2 VAN ACCESSIBLE

PROVIDED: 10 SPACES

**BIKE PARKING: 0.25 PER UNIT**

REQUIRED: 0.25 x 156 = 39

PROVIDED: 40

20% SECURED LONG TERM STORAGE: 8

EXTERIOR BIKE PARKING: 32

**MOTORCYCLE PARKING**

REQUIRED AND PROVIDED = 5 SPACES FOR 51-300 TOTAL PARKING SPACES

REQUIRED = 5 SPACES

PROVIDED = 5 SPACES

**REVISIONS**

△	
△	
△	
△	

DRAWN BY: AG, RM

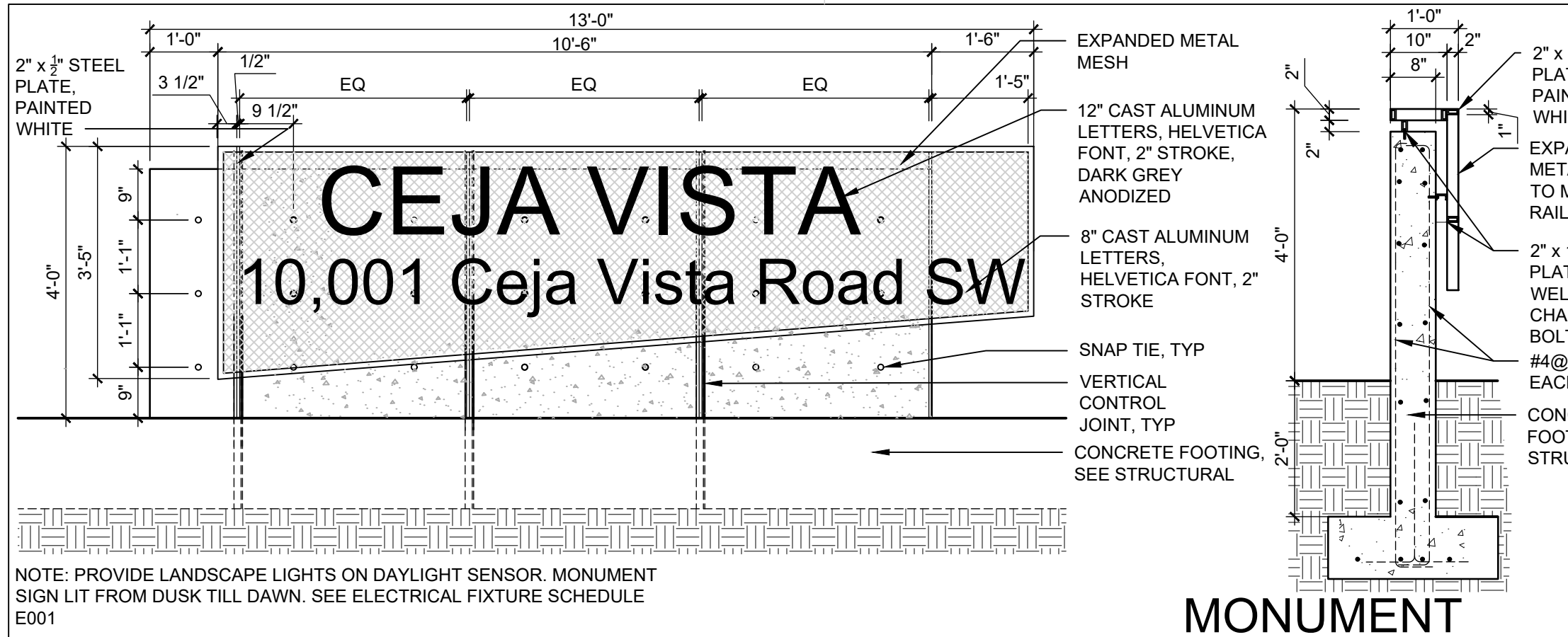
REVIEWED BY: RAW, JM

DATE: 08/16/2019

PROJECT NO.: 19-0019

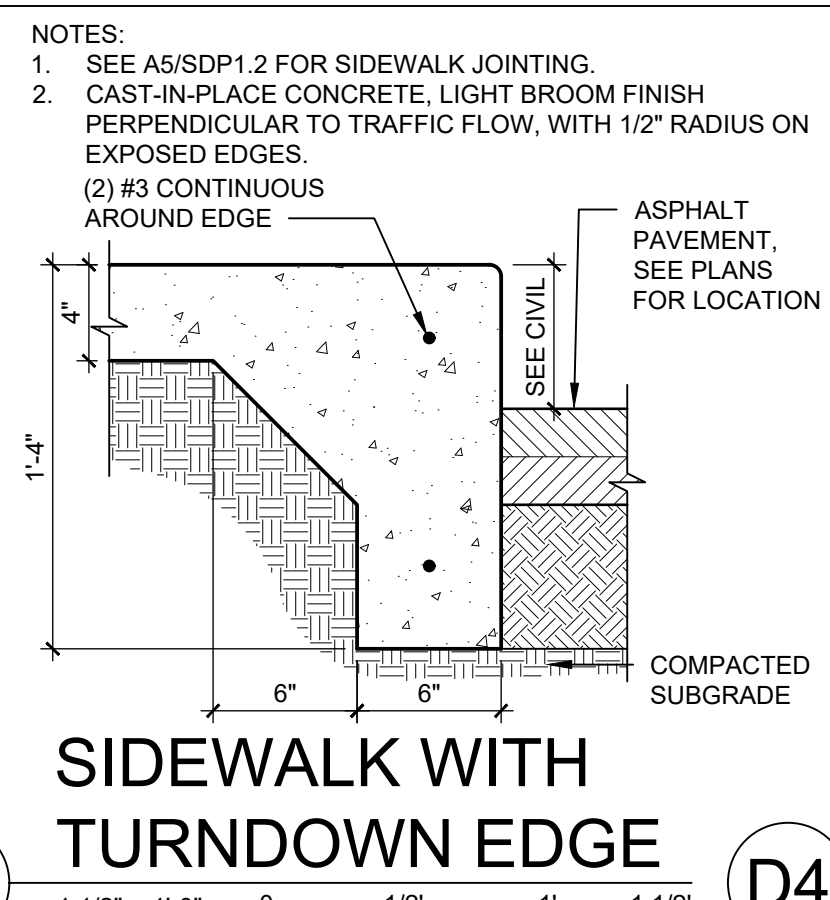
DRAWING NAME: SITE PLAN

SHEET NO.: SDP1.1

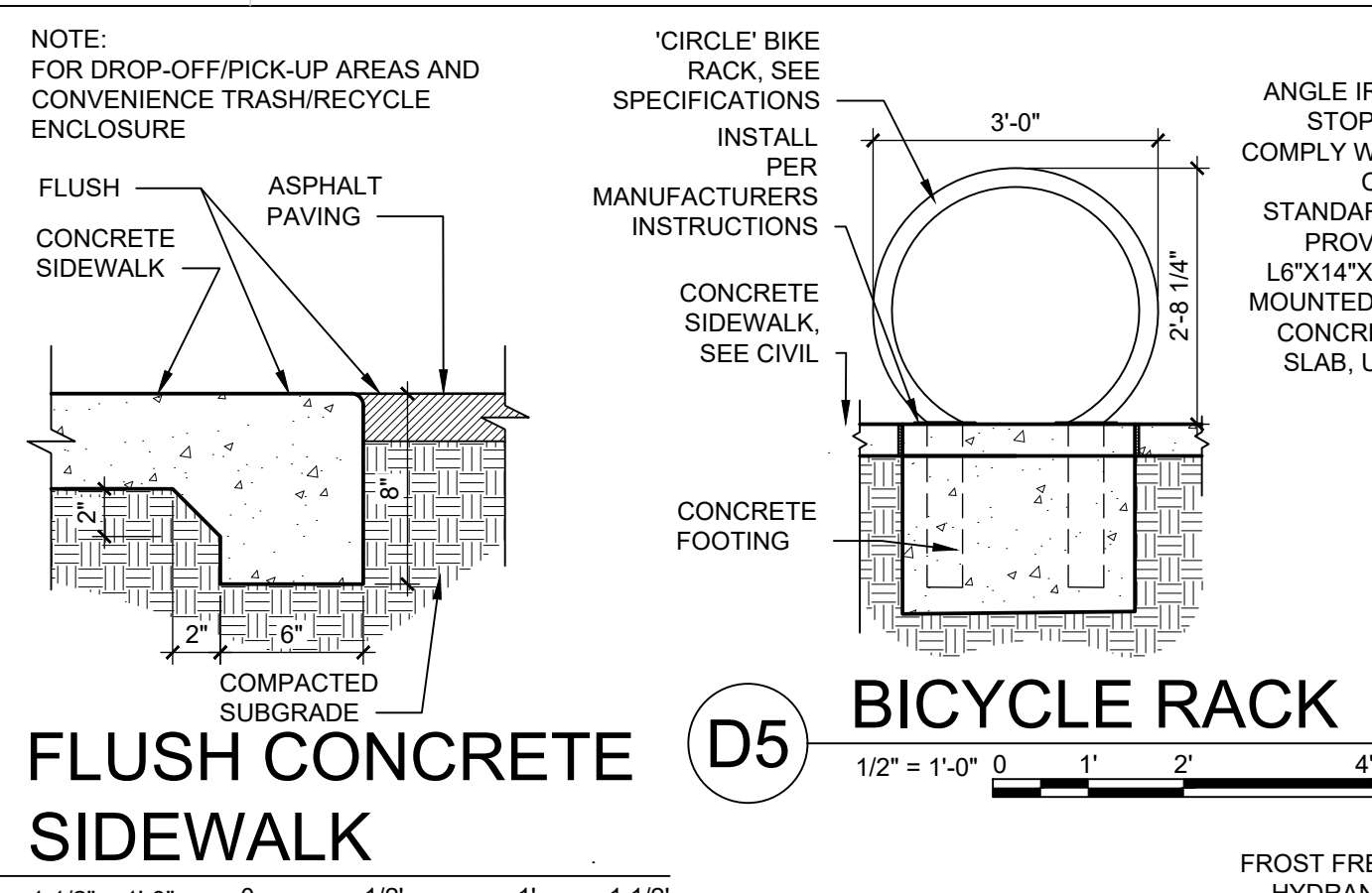


**D1 MONUMENT SIGN**  
1/2" = 1'-0"

**D2 SIGN SECTION**  
1/2" = 1'-0"

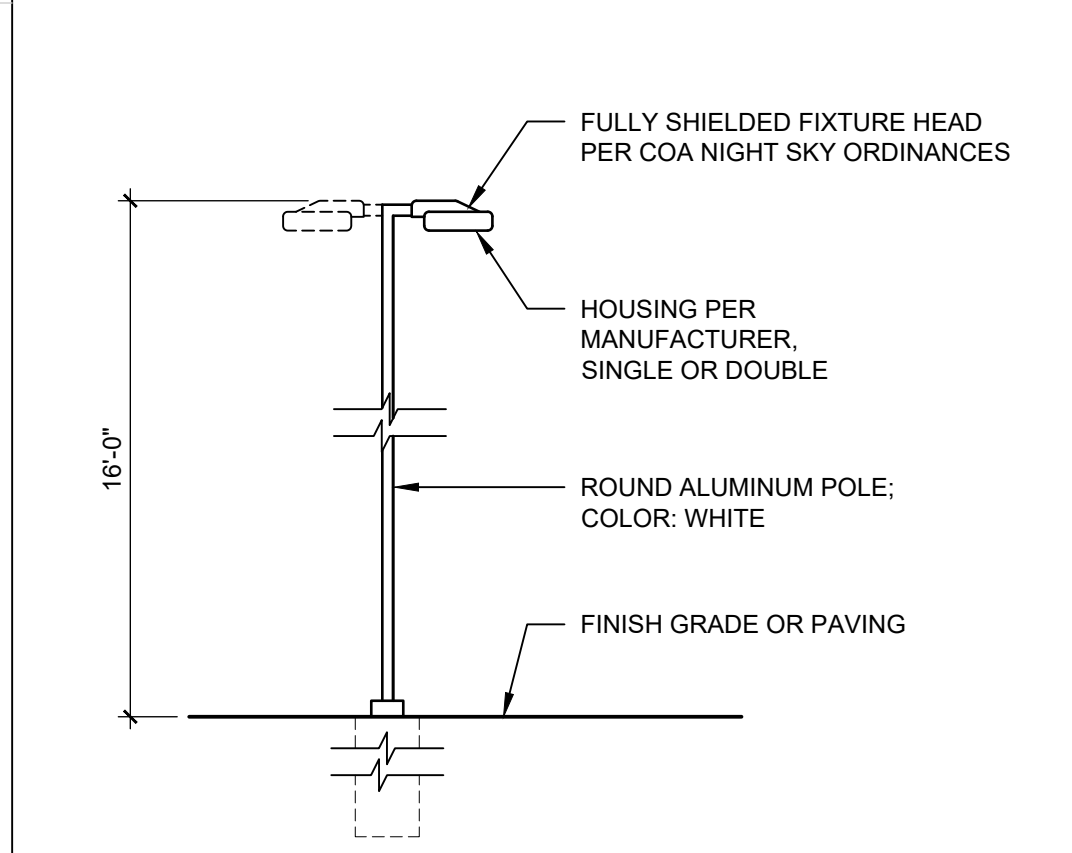


**D3 SIDEWALK WITH TURNDOWN EDGE**  
1 1/2" = 1'-0"

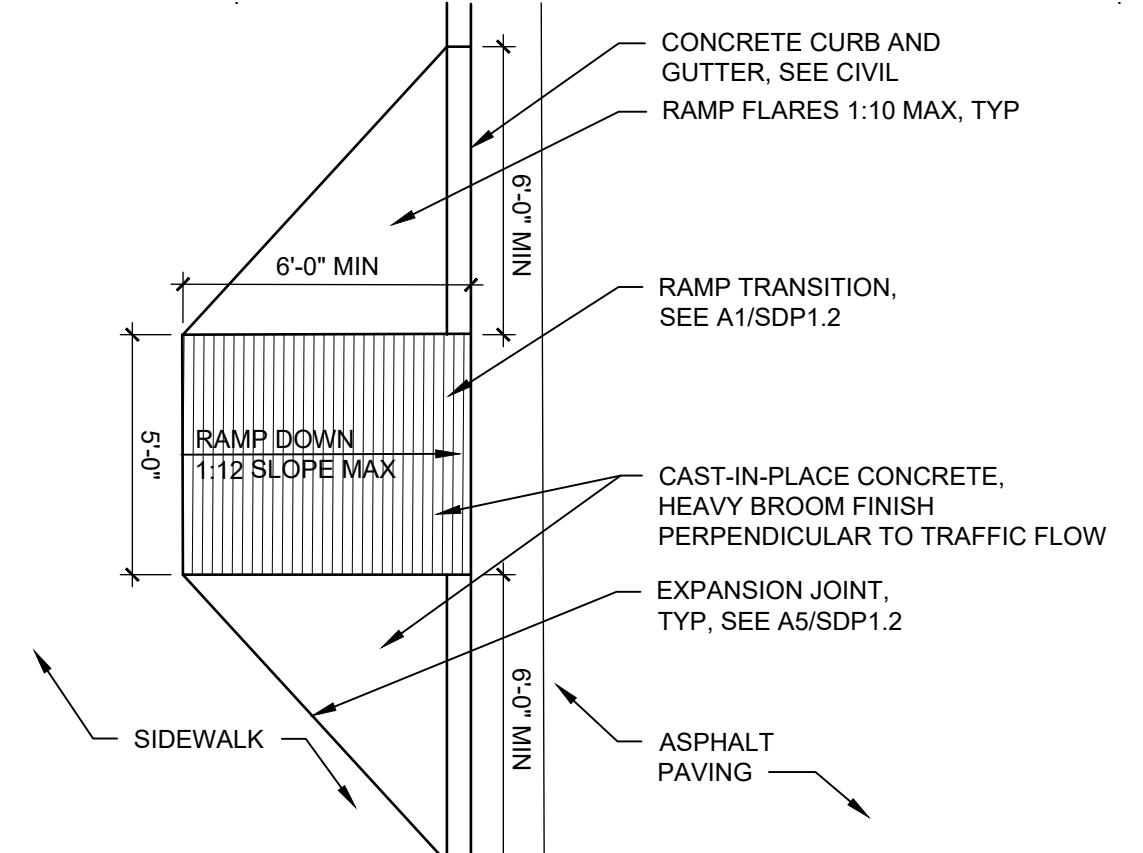


**D4 FLUSH CONCRETE SIDEWALK**  
1 1/2" = 1'-0"

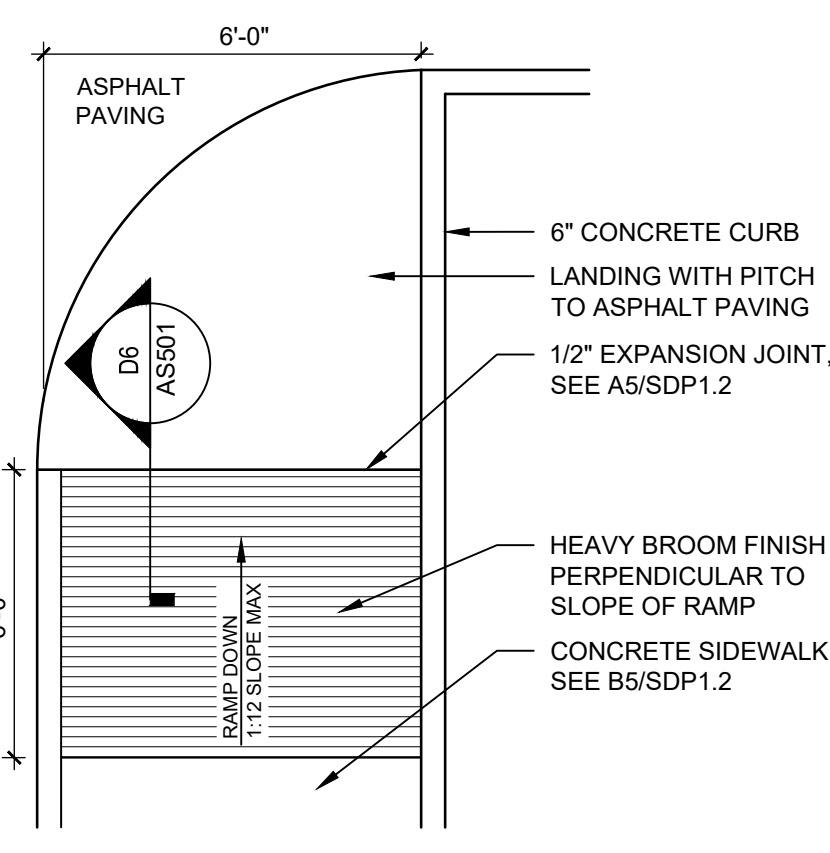
**D5 BICYCLE RACK**  
1/2" = 1'-0"



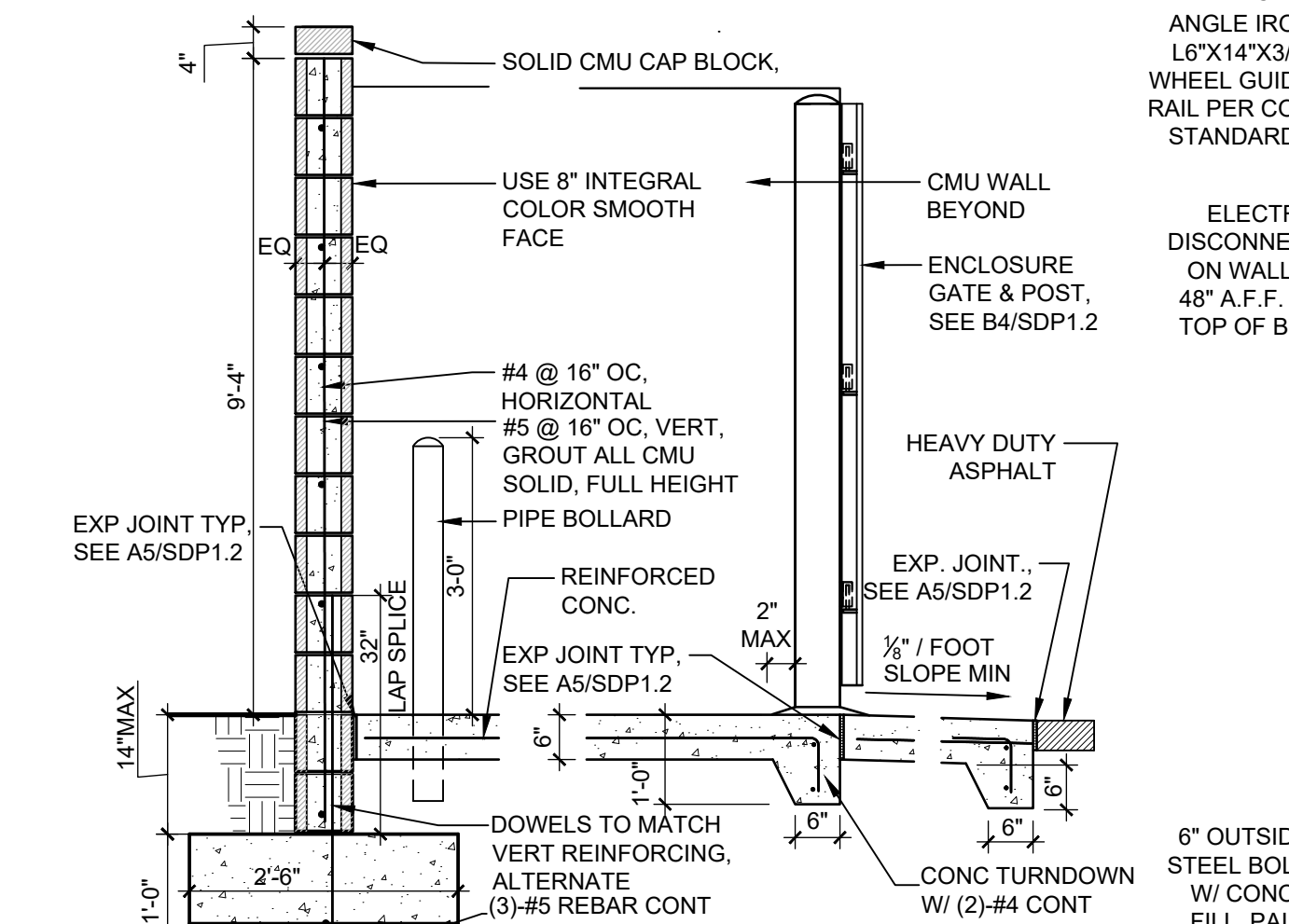
**C1 PARKING LIGHT POLE**  
1/4" = 1'-0"



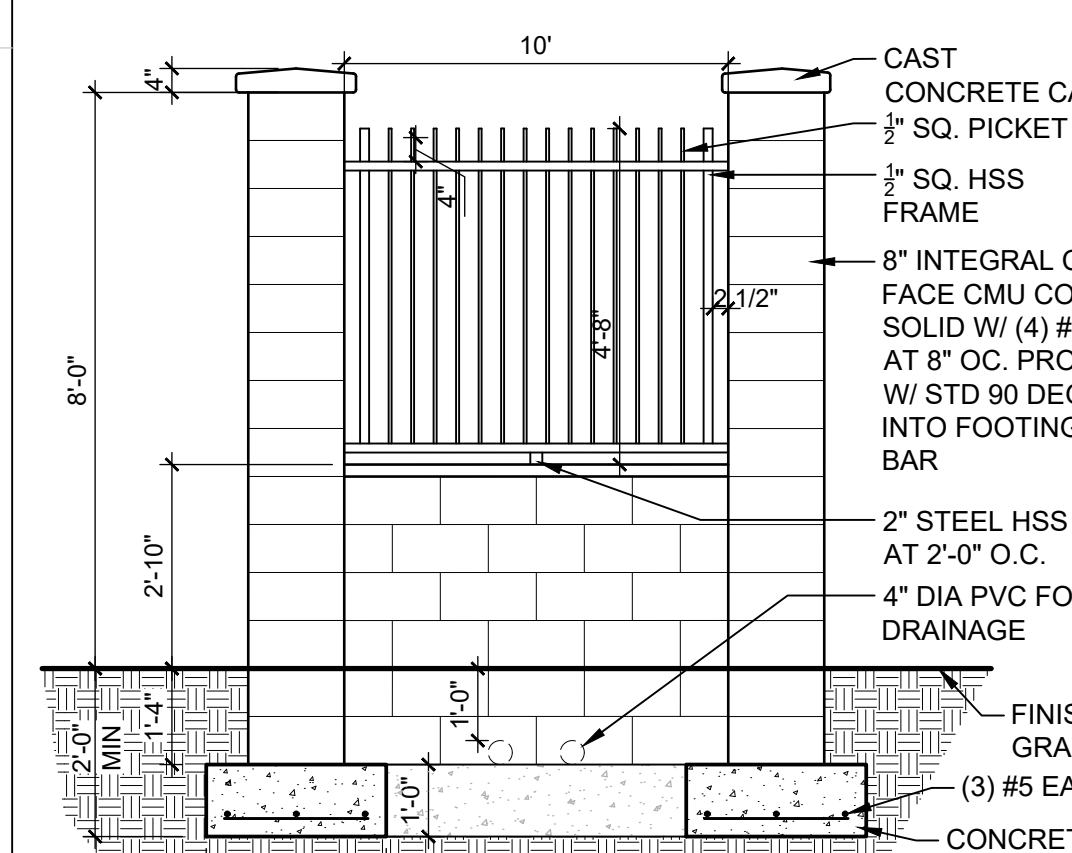
**C2 ACCESSIBLE RAMP**  
1/4" = 1'-0"



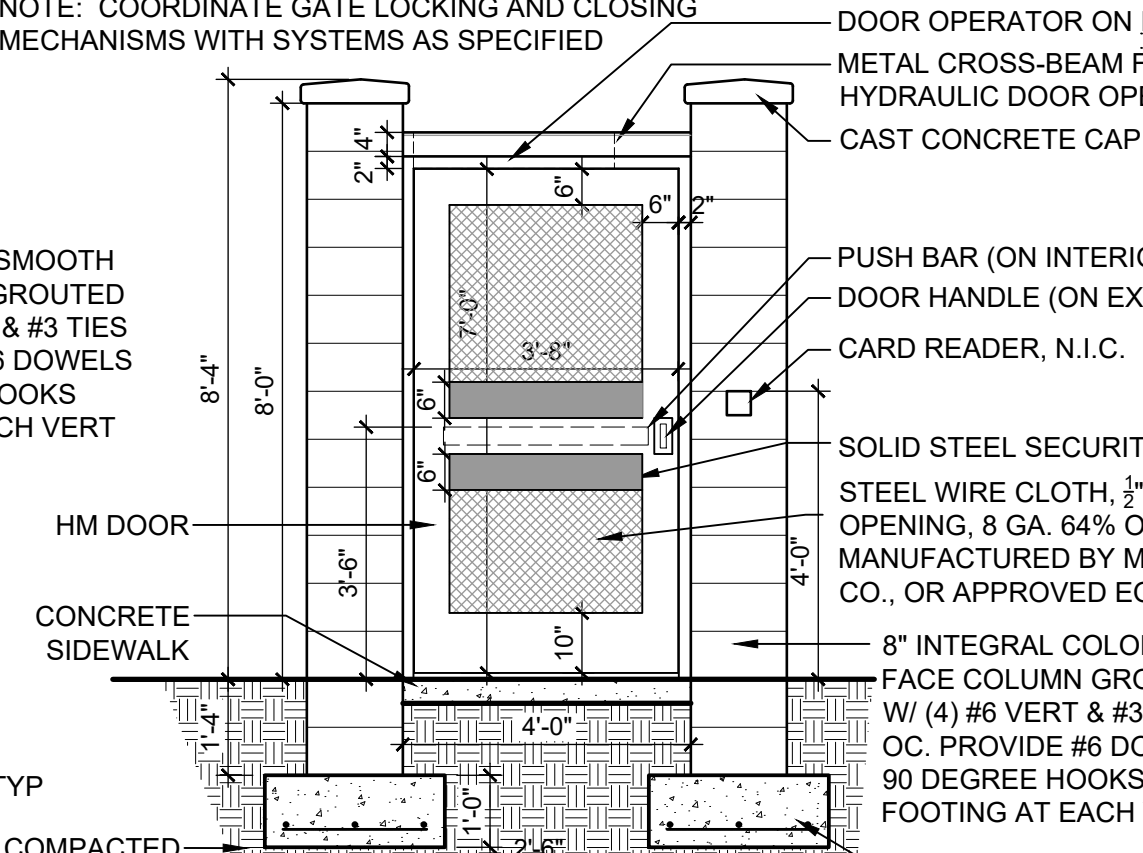
**C3 ACCESSIBLE RAMP**  
1/4" = 1'-0"



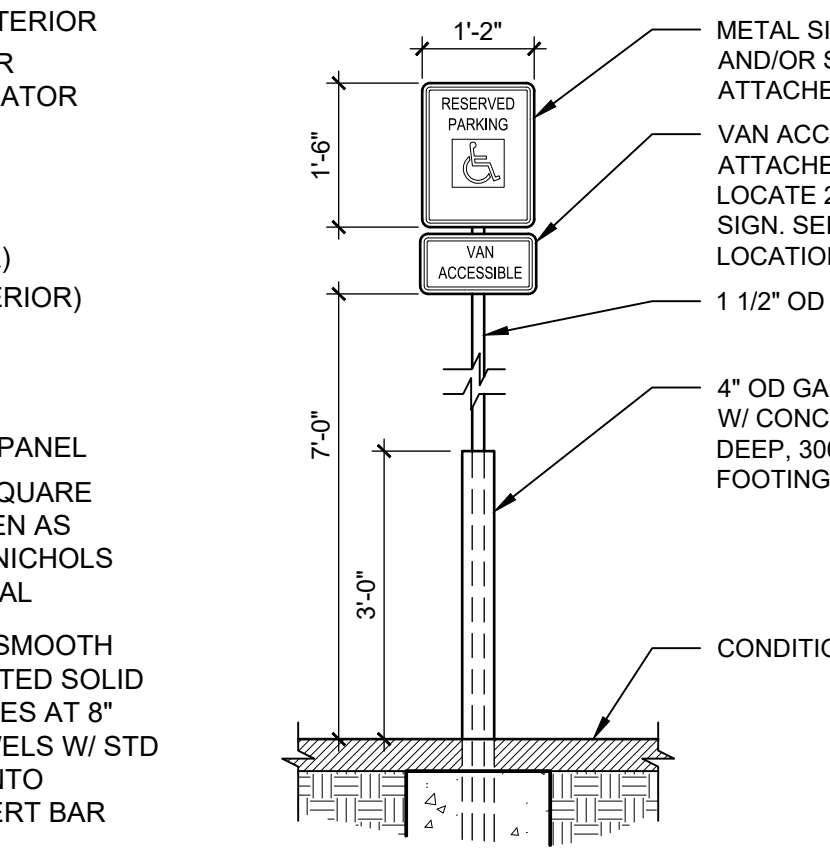
**C4 COMPACTOR ENCLOSURE SECTION**  
1/2" = 1'-0"



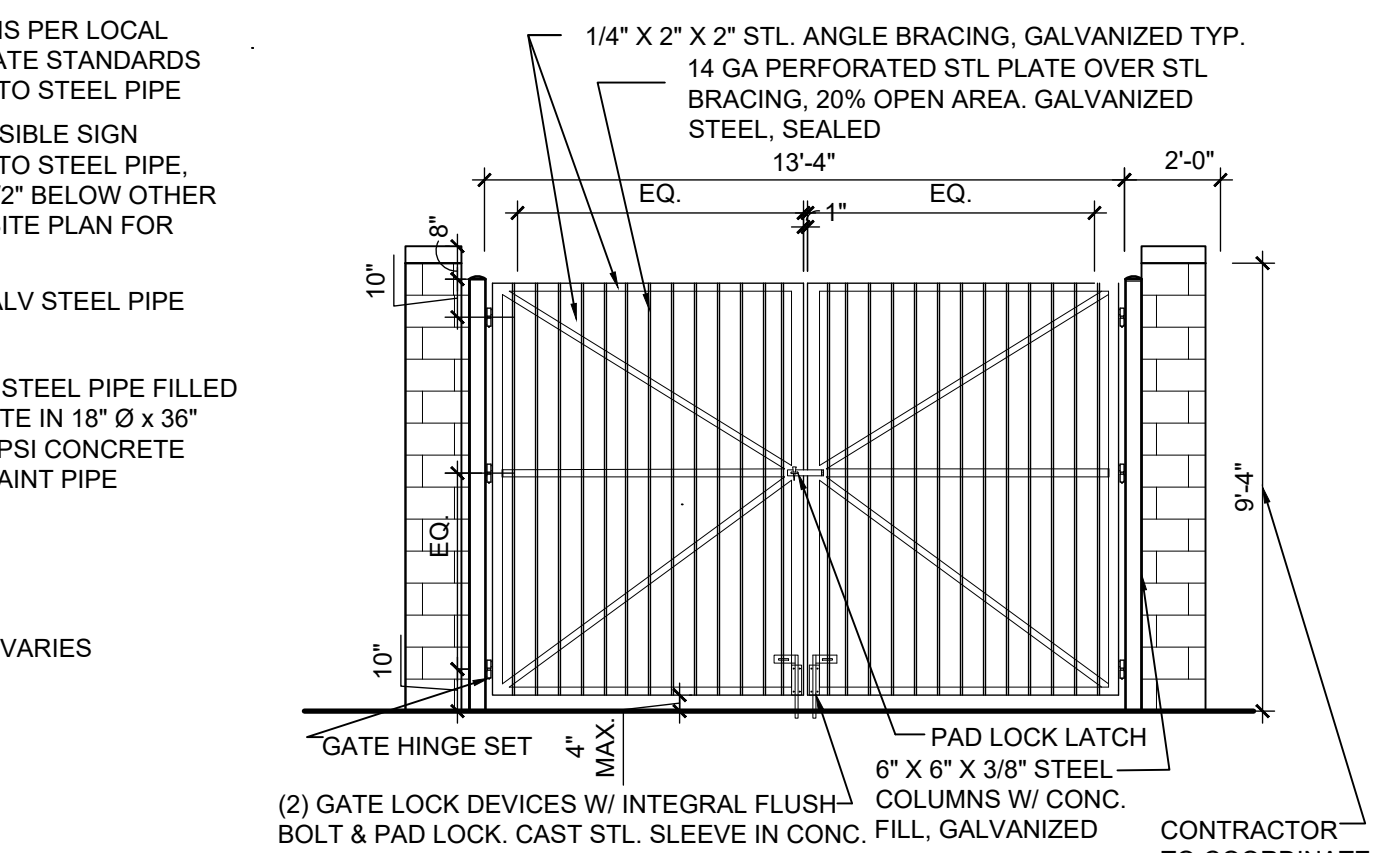
**B1 NORTH PERIMETER FENCING**  
3/8" = 1'-0"



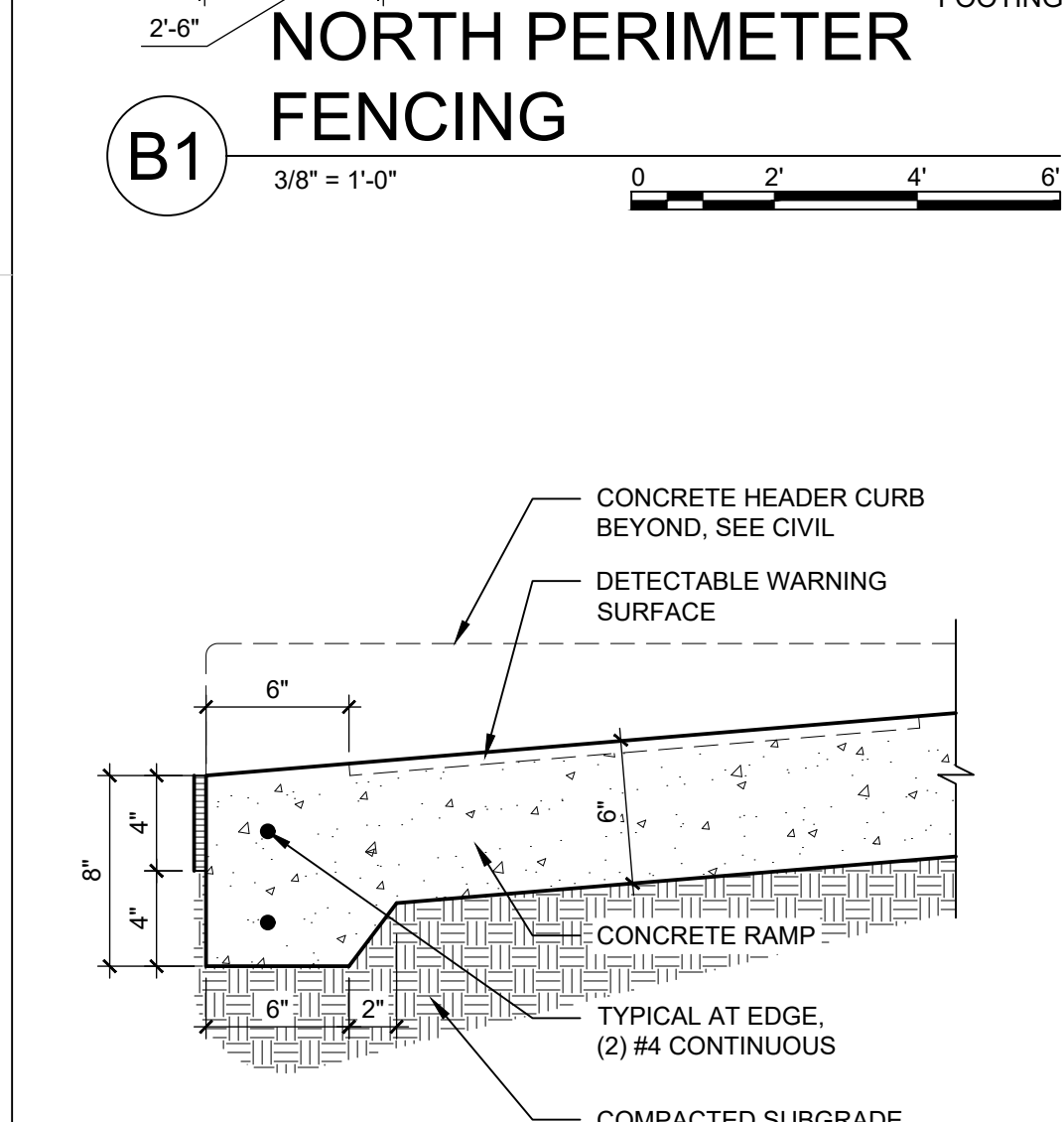
**B2 SECURED ENTRY GATE**  
3/8" = 1'-0"



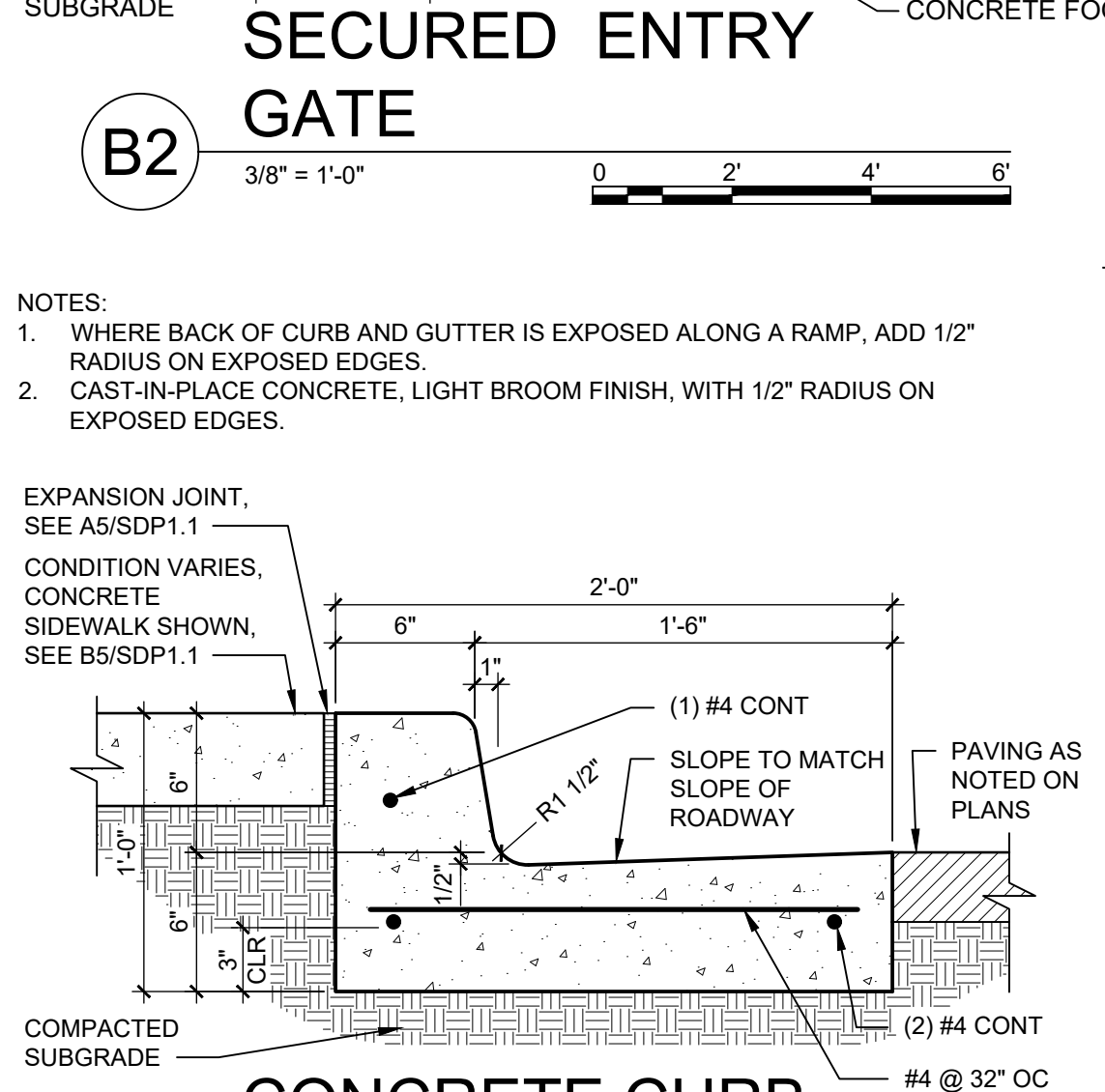
**B3 POLE MOUNTED H.C. SIGN (VAN)**  
1/2" = 1'-0"



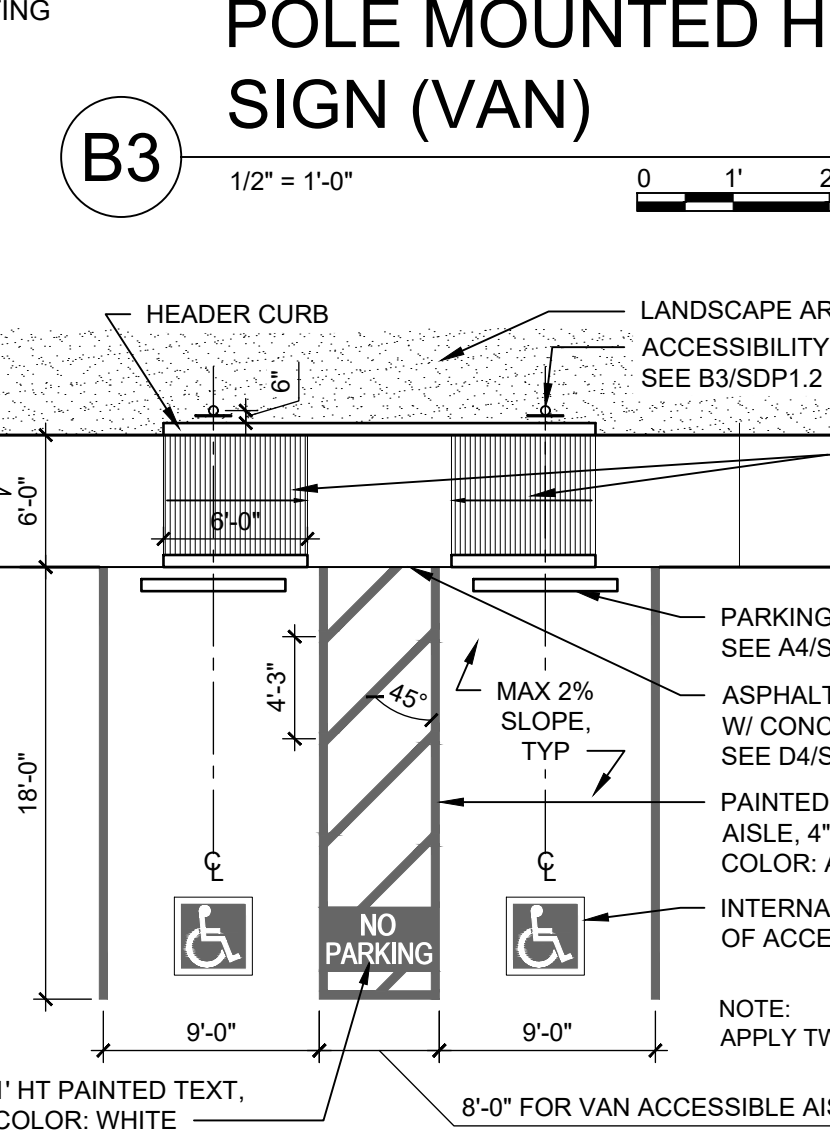
**B4 COMPACTOR ENCLOSURE GATE**  
1/4" = 1'-0"



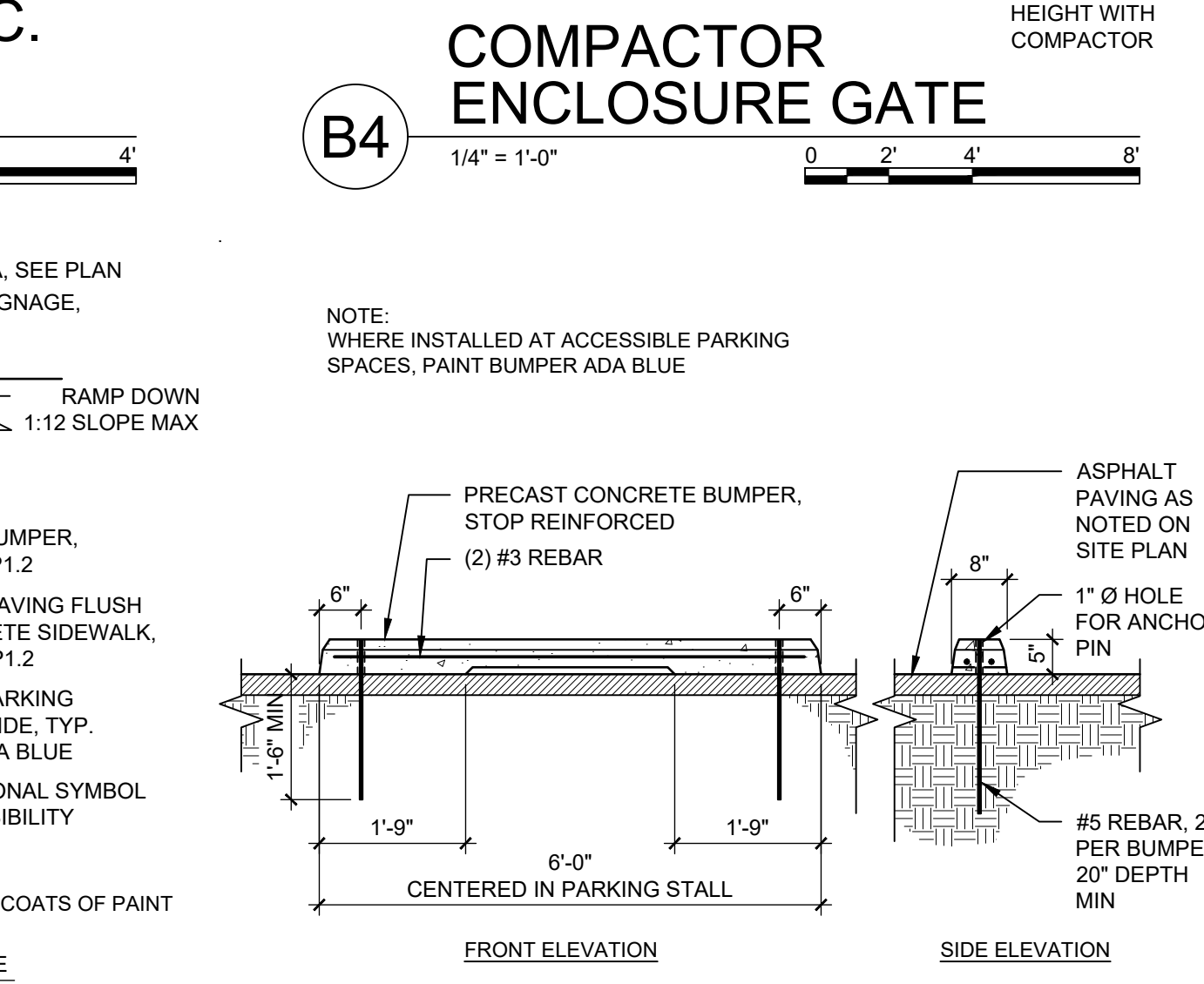
**A1 RAMP TRANSITION**  
1 1/2" = 1'-0"



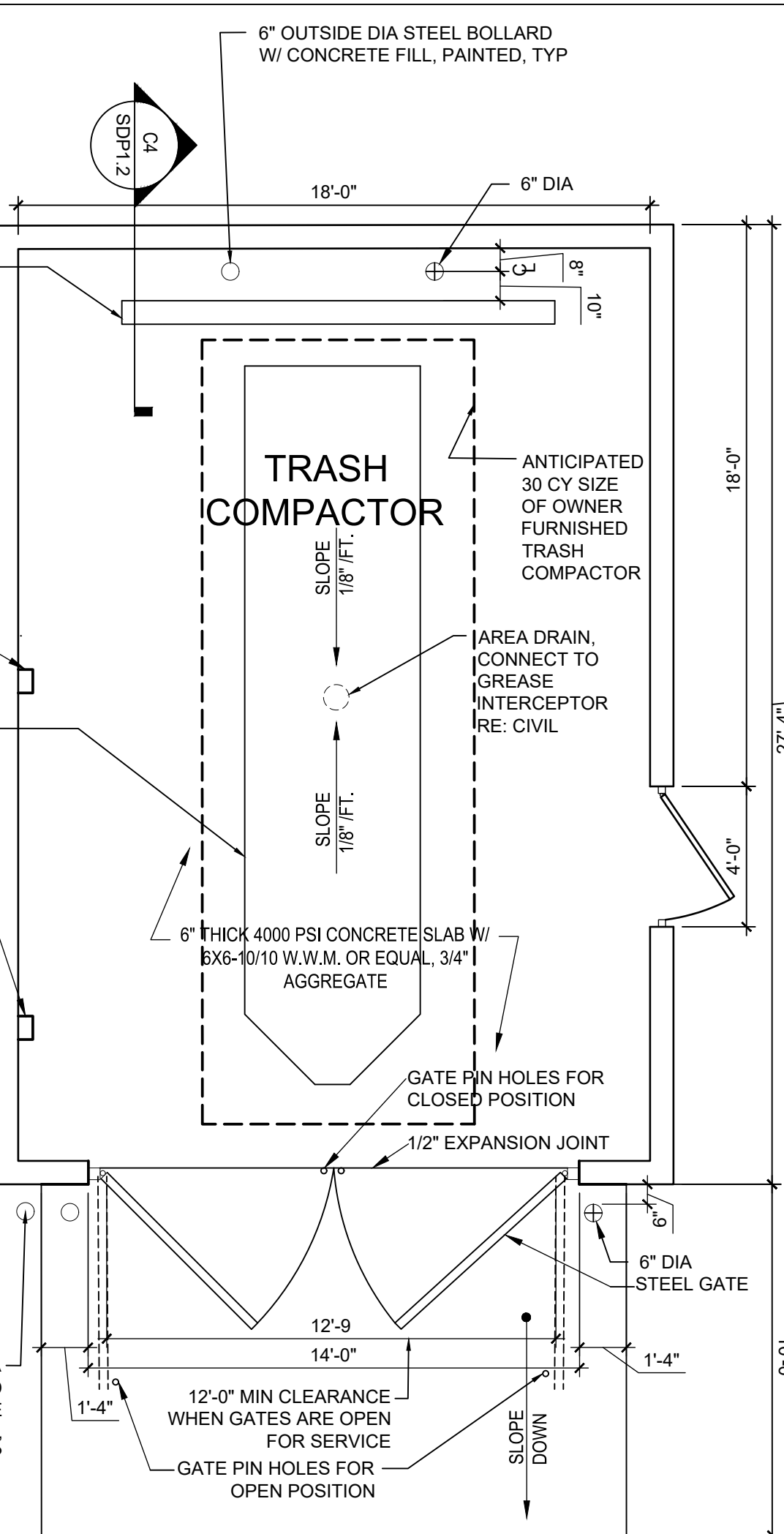
**A2 CONCRETE CURB & GUTTER**  
1 1/2" = 1'-0"



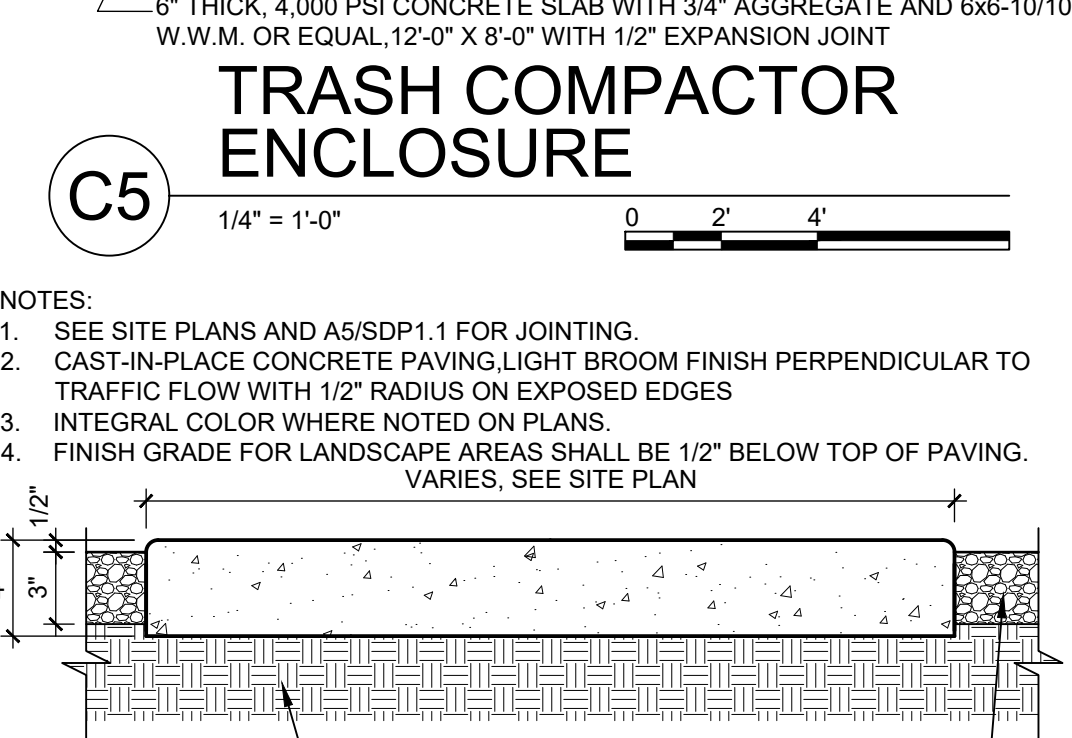
**A3 ACCESSIBLE PARKING**  
1/8" = 1'-0"



**A4 PARKING BUMPER**  
1/2" = 1'-0"



**C5 TRASH COMPACTOR ENCLOSURE**  
1/4" = 1'-0"



**B5 CONCRETE SIDEWALK**  
1 1/2" = 1'-0"

CONCRETE JOINTS & JOINT SPACING

APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC

**A5 CONCRETE JOINTS & JOINT SPACING**  
1 1/2" = 1'-0"

REVISIONS

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△	

DRAWN BY AG  
REVIEWED BY RAW, JM  
DATE 05/16/2019  
PROJECT NO. 19-0019  
DRAWING NAME

SITE DETAILS

SHEET NO. SDP1.2



**A C ENGINEERING  
ENTERPRISES, LLC**  
120 Aliso Drive, SE  
Albuquerque, New Mexico 87108  
Phone 505.842.5787  
Facsimile 505.842.5797



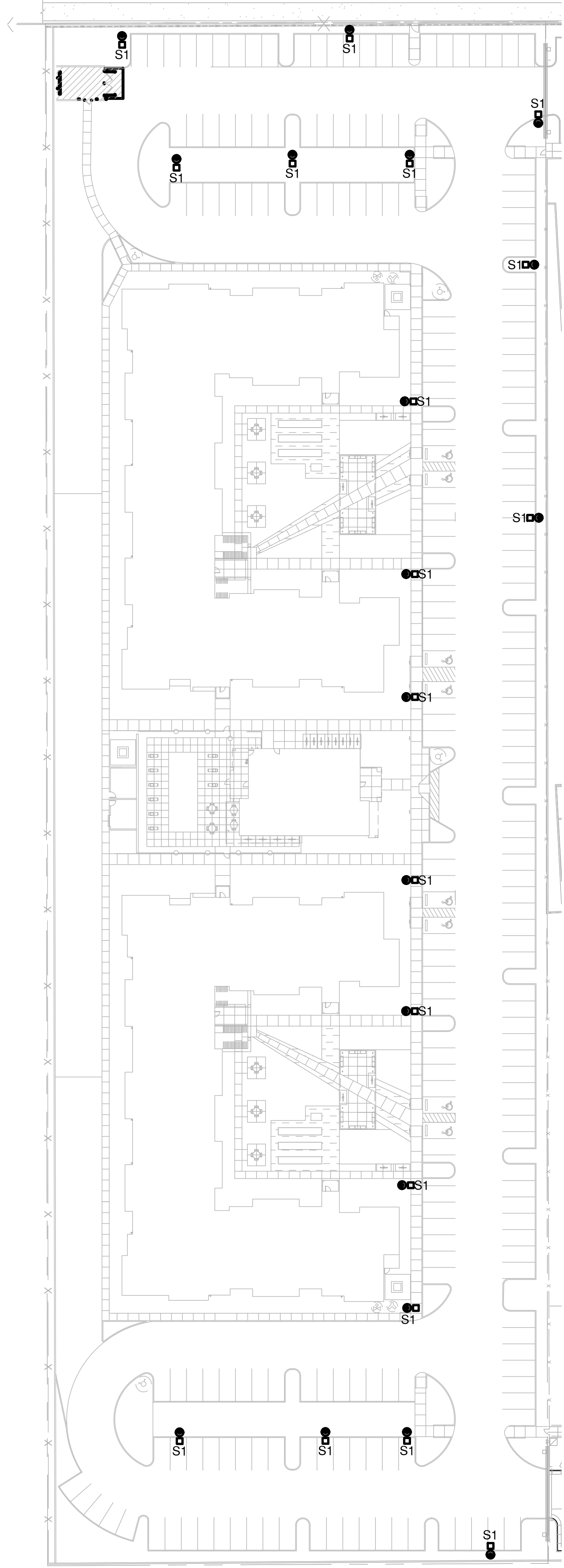
CITY STAMP LOCATION

**GENERAL SHEET NOTES**

1. THE CONTRACTOR SHALL COORDINATE WITH PNM (POWER), CENTURY LINK COMMUNICATIONS (TELEPHONE), AND COMCAST CABLE (CABLE TV) PRIOR TO BID AND PRIOR TO ROUGH-IN OF EQUIPMENT, PADS AND UNDERGROUND CONDUIT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL TRENCHING, BACKFILL AND COMPACTION OF ELECTRICAL UTILITIES. COORDINATE WITH RESPECTIVE UTILITY COMPANIES FOR USE OF COMMON TRENCH. PROVIDE MINIMUM 15" SEPARATION BETWEEN ELECTRICAL AND COMMUNICATION CABLES. VERIFY WITH RESPECTIVE UTILITY COMPANIES AND COMPLY AS REQUIRED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE EASEMENT RIGHTS AND LOCATION OF EASEMENTS WITH UTILITY COMPANIES.
4. SPECIFIC REQUIREMENTS FOR ELECTRICAL SERVICE SHALL BE PER PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) RULES AND REGULATIONS AND STANDARD DRAWINGS, AND SHALL INCLUDE THE FOLLOWING:
  - A.) PROVIDE ALL TRENCHING, BACKFILL AND COMPACTION FOR SECONDARY RUNS. TRENCH SHALL BE MINIMUM 36" DEEP.
  - B.) PROVIDE AND INSTALL 2-4" PVC CONDUIT STUBS 5'-0" PAST TRANSFORMER PAD FOR PRIMARY CABLE (FURNISHED AND INSTALLED BY PNM).
  - C.) PROVIDE AND INSTALL CONCRETE PAD FOR PAD MOUNT TRANSFORMER, FURNISHED AND INSTALLED BY PNM.
  - D.) METERS SHALL BE 5-JAW TYPE PER PNM RULES AND REGULATIONS.
  - G.) THE PRIMARY TRENCH FOR PNM PRIMARY CABLE INSTALLATION TO PROVIDED BY PNM.
  - I.) PRIOR TO PNM INSTALLING PRIMARY CABLE, THE CONTRACTOR SHALL STAKE ALL OTHER SITE UTILITIES INCLUDING STORM WATER, FIRE PROTECTION LINES, SEWER, WATER, GAS, ETC.
  - J.) ALL GRADES SHALL BE PLUS OR MINUS 6" OF THEIR FINAL ELEVATION PRIOR TO TRENCHING FOR UTILITIES.
5. SPECIFIC REQUIREMENTS FOR TELEPHONE SERVICE SHALL BE PER CENTURY LINK COMMUNICATIONS RULES AND REGULATIONS, AND SHALL INCLUDE THE FOLLOWING:
  - A.) PROVIDE ALL TRENCHING, BACKFILL AND COMPACTION FOR TELEPHONE CONDUIT. TRENCH SHALL BE MINIMUM 36" DEEP. COORDINATE WITH POWER AND CABLE TV REQUIREMENTS.
  - B.) PROVIDE MAIN POINT OF PRESENCE (MPOP) SHALL BE LOCATED AS INDICATED ON THE DRAWINGS. PROVIDE 4'-0" X 8'-0" X 3/4" TELEPHONE PLYWOOD BACKBOARD AND #6 COPPER GROUND.
  - C.) PROVIDE AND INSTALL ALL SITE TELEPHONE CONDUITS, ENCLOSURES, PEDESTALS, ETC. ALL CONDUITS SHALL BE PVC SCHEDULE 40 AND SHALL BE PROVIDED WITH 300 LB TEST CALIBRATED PULL ROPE. ALL BENDS SHALL HAVE MINIMUM 36" RADIUS AND SHALL BE PVC COATED RIGID GALVANIZED STEEL. NO MORE THAN TWO (2) 90 DEGREE BENDS WILL BE ALLOWED BETWEEN TERMINATION POINTS.
  - D.) SERVICE ENTRANCE CONDUITS SHALL CONSIST OF TWO (2) 4" PVC CONDUITS AND SHALL BE STUBBED AT THE LOCATION AS INDICATED ON THE PLANS AND SHALL BE COORDINATED WITH CENTURY LINK.
  - E.) CONDUITS SHALL BE TERMINATED A MINIMUM OF 6" ABOVE FINISH GRADE.
  - F.) THE CONTRACTOR SHALL COORDINATE WITH CENTURY LINK COMMUNICATIONS PRIOR TO BID AND PRIOR TO ROUGH-IN AND SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE "COMMUNICATIONS SERVICE GUIDE".
6. SPECIFIC REQUIREMENTS FOR CABLE TV SERVICE SHALL BE PER COMCAST RULES AND REGULATIONS, AND SHALL INCLUDE THE FOLLOWING:
  - A.) PROVIDE ALL TRENCHING, BACKFILL AND COMPACTION FOR CABLE TV. TRENCH SHALL BE MINIMUM 36" DEEP. COORDINATE WITH POWER AND TELEPHONE REQUIREMENTS.
  - B.) THE CONTRACTOR SHALL COORDINATE WITH COMCAST PRIOR TO BID AND PRIOR TO ROUGH-IN AND SHALL COMPLY WITH ALL RULES AND REGULATIONS OF COMCAST.
7. ALL EXTERIOR LIGHTING SHALL COMPLY WITH THE STATE OF NEW MEXICO "DARK SKIES ENFORCEMENT ACT" AND SHALL ALSO COMPLY WITH THE "CITY OF ALBUQUERQUE LIGHTING ORDINANCES."

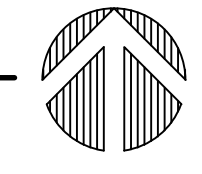
**REFERENCE KEYNOTES**

1. PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) UTILITY COMPANY PAD MOUNTED 15KV SWITCH AND PRIMARY BY PNM.
2. UNDERGROUND PNM PRIMARY BY PNM.
3. PNM PAD MOUNT TRANSFORMER. REFER TO THE POWER RISER DIAGRAM ON SHEET E-501.
4. NEW UNDERGROUND SECONDARY SERVICE ENTRANCE CONDUCTORS. REFER TO THE POWER RISER DIAGRAM.
5. NEW GROUPED METERING. REFER TO THE POWER RISER DIAGRAMS FOR DETAILS. SHEET E-501.
6. CENTURY LINK TELEPHONE PEDESTAL. VERIFY WITH CENTURY LINK PRIOR TO ROUGH-IN. STUB TWO (2) 4" IN LOCATION OF THE PEDESTAL.
7. TWO (2) 4" (TELEPHONE) AND ONE (1) 2" COMCAST CABLE. MINIMUM 36" BELOW FINISH GRADE. PROVIDE WITH PULL ROPE AND PROVIDE LONG SWEEP ELBOWS AND BENDS. COORDINATE WITH CENTURY LINK AND COMCAST PRIOR TO ROUGH-IN.
8. TELEPHONE BACKBOARD IN THE ELECTRICAL ROOM. REFER TO THE BUILDING FLOOR PLANS FOR LOCATION AND DETAILS.
9. FIRE ALARM CONDUIT AND WIRE. PROVIDE MINIMUM 1" WITH WIRES AS REQUIRED, 36" BELOW FINISH GRADE. EXTEND TO THE FIRE ALARM CONTROL PANEL IN THE CLUBHOUSE.
10. PROVIDE 120V CONNECTION TO THE MOTORIZED GATE. EXTEND MINIMUM #10 THHN/THWN (CU) BRANCH CIRCUIT IN MINIMUM 75°C TO PANEL INDICATED.
11. NOT USED.
12. WEATHER-PROOF J-BOX FOR CONNECTION TO THE FIRE ALARM POST INDICATOR VALVE (PIV). EXTEND 3" WITH WIRES AS REQUIRED TO THE RESPECTIVE FIRE ALARM TERMINAL CABINET IN THE CLOSEST BUILDING. VERIFY LOCATION OF THE PIV IN FIELD PRIOR TO ROUGH-IN.
13. GATE CONTROL PANEL. EXTEND 1" W/ CONTROL WIRES AS REQUIRED TO THE ACCESS/CONTROL PANEL IN THE CLUB HOUSE.
14. TYPICAL HOUSE PANEL SHALL BE PROVIDED AND INSTALLED AT EACH BUILDING RESPECTIVELY.



**A1** ELECTRICAL SITE LIGHTING PLAN

1" = 40'-0"



REVISIONS

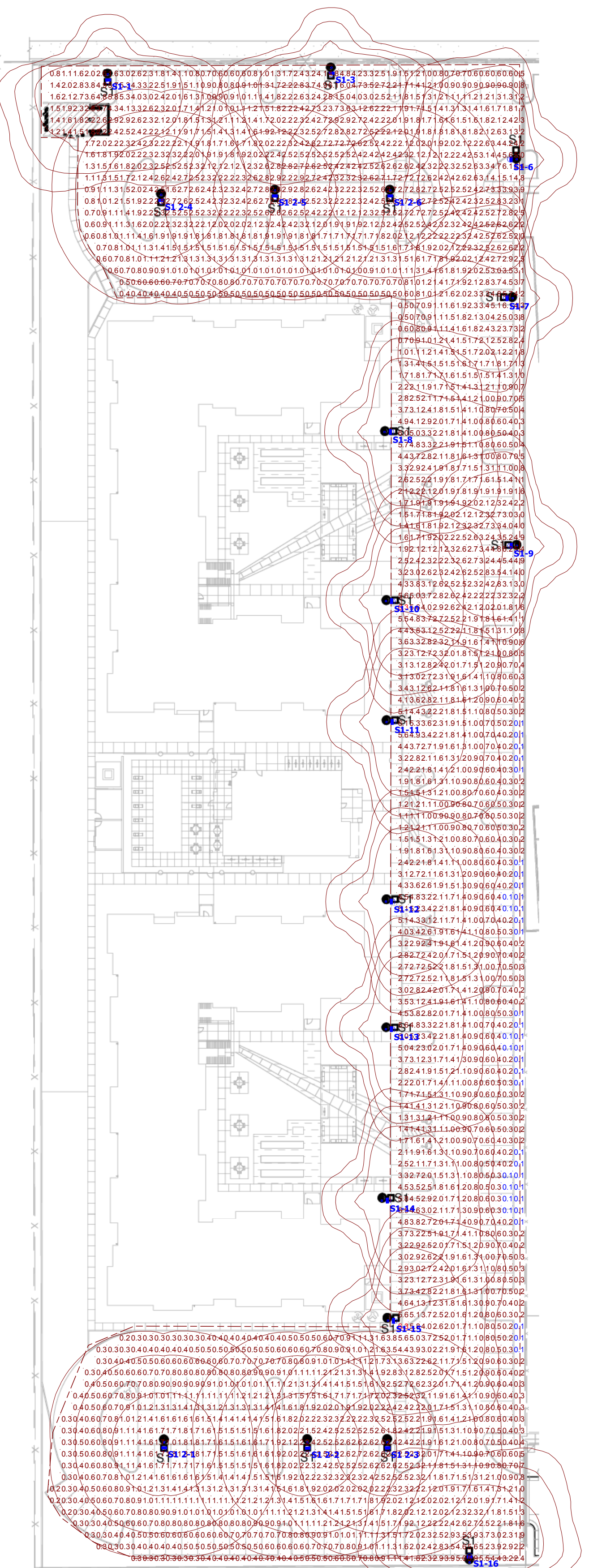
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DRAWN BY ACE  
REVIEWED BY FJT  
DATE 08/31/2017  
PROJECT NO. 17-0017  
DRAWING NAME

**ELECTRICAL  
SITE LIGHTING  
PLAN**

SHEET NO.

**SDP 1.4**



**A1 ELECTRICAL SITE LIGHTING PLAN**  
1" = 40'-0"

Plan View

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	S1	13	Lithonia Lighting	RSX1 LED P2 40K R4	RSX Area Fixture Size 1 P2 Lumen Package 4000K CCT Type R4 Distribution		1	RSX1_LED_P2_40K_R4.iex	9972	1	72.95
	S1 2	6	Lithonia Lighting	RSX1 LED P2 40K R5	RSX Area Fixture Size 1 P2 Lumen Package 4000K CCT Type R5 Distribution		1	RSX1_LED_P2_40K_R5.iex	10106	1	72.95

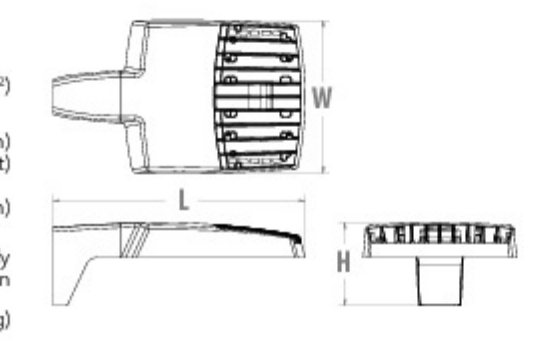
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT GRADE LEVEL	+	1.7 fc	6.3 fc	0.1 fc	63.0:1	17.0:1

**Note**  
1. ALL FIXTURES MOUNTED ON A 16' POLE, ON A 2.5' BASE FOR A TOTAL MOUNTING HEIGHT OF 18.5'



**RSX1 LED Area Luminaire**

**Specifications**  
 EPA (ft²/100'): 0.57 ft² (0.05 m²)  
 Length: 21.8" (55.4 cm) (SPA mount)  
 Width: 13.3" (33.8 cm)  
 Height: 3.0" (7.6 cm) Main Body  
 7.2" (18.4 cm) Arm  
 Weight (max): 25.0 lbs (11.3 kg)



Color Number	Finish	Opt

**Introduction**  
 The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.  
 The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor and an adjustable integral slip-fitter are also available.

**Ordering Information**      **EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD**

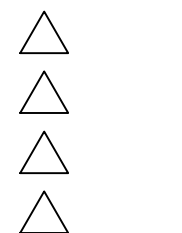
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K 3000K	R3 Type 3 Wide	MVOLT (120V-277V) <sup>1</sup>	SPA Square pole mounting (Min. 3.0" for 1 at 90°, Min. 3.5" for 2, 3, 4 at 90°)
	P2	40K 4000K	R4 Type 4 Wide	MVOLT (347V-480V) <sup>1</sup>	RPA Round pole mounting (2.2" min. pole dia. for 1, 2, 3 or 4 at 90°)
	P3	50K 5000K	R5 Type 5 Wide	(see specific voltage for options on table)	MA Mast arm adaptor (fits 2-3/8" OD horizontal mast)
	P4		ARS Type 5 Short Arm	208 <sup>1</sup> 277 <sup>1</sup>	IS Adjustable slip-fitter (fits 2-3/8" OD mast) <sup>1</sup>

Options	Shipped Separately (requires some field assembly)	Shipped Installed	Finish
HS House-side shield	IGS External glass shield	*Standard Sensors Controls (factory default settings, see table page 5)	DDBXD Dark Bronze
PE Photocentric button style <sup>1</sup>	IGV External glass shield w/300° mount/light aperture	*Motion/Ambient Sensor for 8-20' mounting heights <sup>1,2,3</sup>	DBLXD Black
PEE Photocentric external shield, adjustable <sup>1,2</sup>	IS IS Interchangeable slip-fitter	*Motion/Ambient Sensor for 20-40' mounting heights <sup>1,2,3</sup>	DNAXD Natural Aluminum
PER7 Seven-way ball-lock receptacle only (no controls) <sup>1,2,3</sup>	IS IS Interchangeable slip-fitter		DWBXD White
CE34 Cordless entry 3/4" NPT (Qty 2)		*Networked Sensors Controls	DDBXD Tinted/Dark Bronze
SF Single fuse (120, 277, 347) <sup>1</sup>		NL NLR2 High-RS generation 2 <sup>1,2</sup>	DBLXD Tinted/Dark Black
DF Double fuse (120, 240, 480) <sup>1</sup>		PRM Networked, B-Level motion/ambient sensor (for use with NLR2) <sup>1,2,3</sup>	DINAXD Tinted/Natural Aluminum
SP200V 200V surge protector (UL94V-0 standard)			DWBXD Tinted/White
ESD ESD-protected design			
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)			

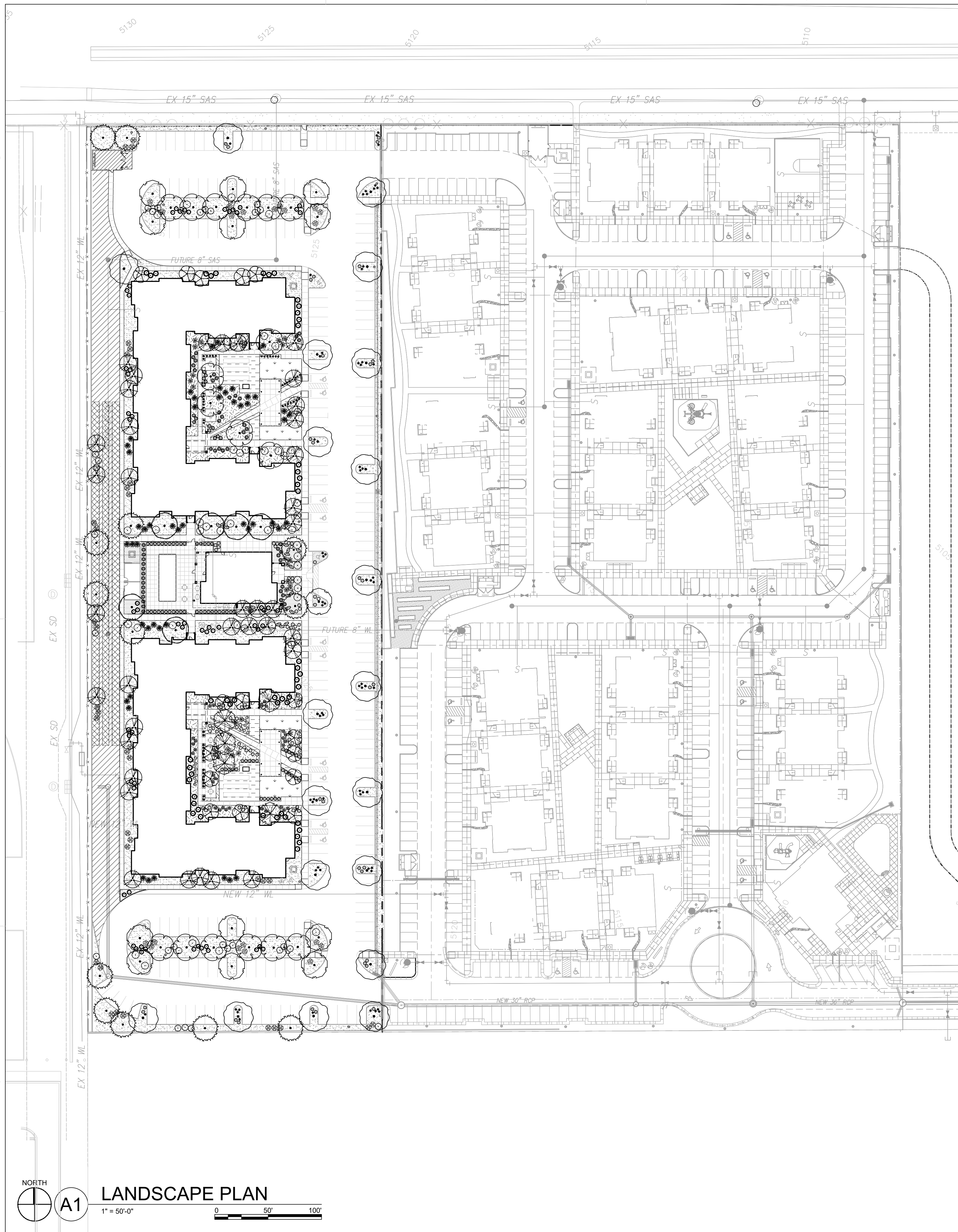
\*Note: Sensor coverage pattern is affected when luminaire is tilted.  
 Lithonia Lighting, Inc. • Conyers, Georgia 30012 • Phone: 800.279.8001 • www.lithonia.com  
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...CEJA VISTA SITE LIGHTING...

Designer  
 Date 8/6/2019  
 Scale Not to Scale  
 Drawing No. SDP 1.5  
 Summary



DRAWN BY	JD
REVIEWED BY	D/P/S
DATE	08.15.2019
PROJECT NO.	19-0019
DRAWING NAME	LANDSCAPE PLAN



**PLANTING LEGEND**

TREES	COMMON NAME
	'BUBBA' DESERT WILLOW
	AUSTRIAN BLACK PINE
	CHINESE PISTACHE
	CHINKAPIN OAK
	EMERALD SUNSHINE ELM
	FRONTIER ELM
	CHASTE TREE
	GREEN VASE ZELKOVA
SHRUBS	COMMON NAME
	THOMPSON BROOM
	CHAMISA
	LENA BROOM
	TURPENTINE BUSH
	APACHE PLUME
	PROSTRATE SUMAC
	KNOCKOUT ROSE
	FURMAN'S RED SALVIA
DESERT ACCENTS	COMMON NAME
	GIANT HESPERALOE
	BRAKELIGHTS RED YUCCA
	BEARGRASS
	BANANA YUCCA
	TWISTED LEAF YUCCA
ORNAMENTAL GRASSES	COMMON NAME
	'BLONDE AMBITION' BLUE GRAMA
	'KARL FOERSTER' FEATHER REED GRASS
	DEER GRASS
OTHER	COMMON NAME
	ACCENT BOULDER

**GENERAL SHEET NOTES**

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- D. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH TURF OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIPLINE.
- E. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- F. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- G. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- H. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- I. NO EXISTING PLANT MATERIAL IS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.

**IRRIGATION NOTES**

- A. PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- B. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- C. THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- D. IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- E. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE OWNER ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA = 5.423 AC = 236,226 SF  
 AREA OF LOT COVERED BY BUILDINGS = 44,712 SF (20,777 SF + 20,777 SF + 3,158 SF)  
 NET LOT AREA = 191,514 SF

REQUIRED LANDSCAPE  
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 28,727 SF  
 PROVIDED LANDSCAPE AREA = 53,710 SF = 28%  
 (see hatch legend for exclusions from landscape areas)

REQUIRED TREES  
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES  
 TOTAL NUMBER OF PARKING = 223 SPACES  
 REQUIRED NUMBER OF PARKING LOT TREES = 22 TREES  
 PROVIDED NUMBER OF PARKING LOT TREES = 23 TREES  
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = 0 (NO STREET FRONTAGE)  
 PROVIDED STREET TREES = 0

REQUIRED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 104 TREES  
 1 TREE PER GROUND FLOOR DWELLING UNIT (52) AND 1 TREE PER SECOND-STORY UNIT (52)  
 PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 104 TREES

REQUIRED VEGETATIVE COVERAGE  
 REQUIRED GROUND COVERAGE = 40,282 SF = 75% OF PROVIDED LANDSCAPE AREA  
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND PLANTS  
 PROVIDED TOTAL GROUND COVERAGE = 52,440 SF = 98%  
 TREE CANOPY COVERAGE = 38,100 SF = 73% OF PROVIDED COVERAGE  
 GROUND PLANT COVERAGE = 14,340 SF = 27% OF PROVIDED COVERAGE  
 CALCULATION ASSUMES 300 SF PER TREE AND 20 SF PER GROUND PLANT AS AN AVERAGE OF MATURE SPREAD AND CANOPY COVERAGE  
 PROPOSED TURF AREA = 2,450 SF = 8.5% OF REQUIRED LANDSCAPE AREA  
 NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF

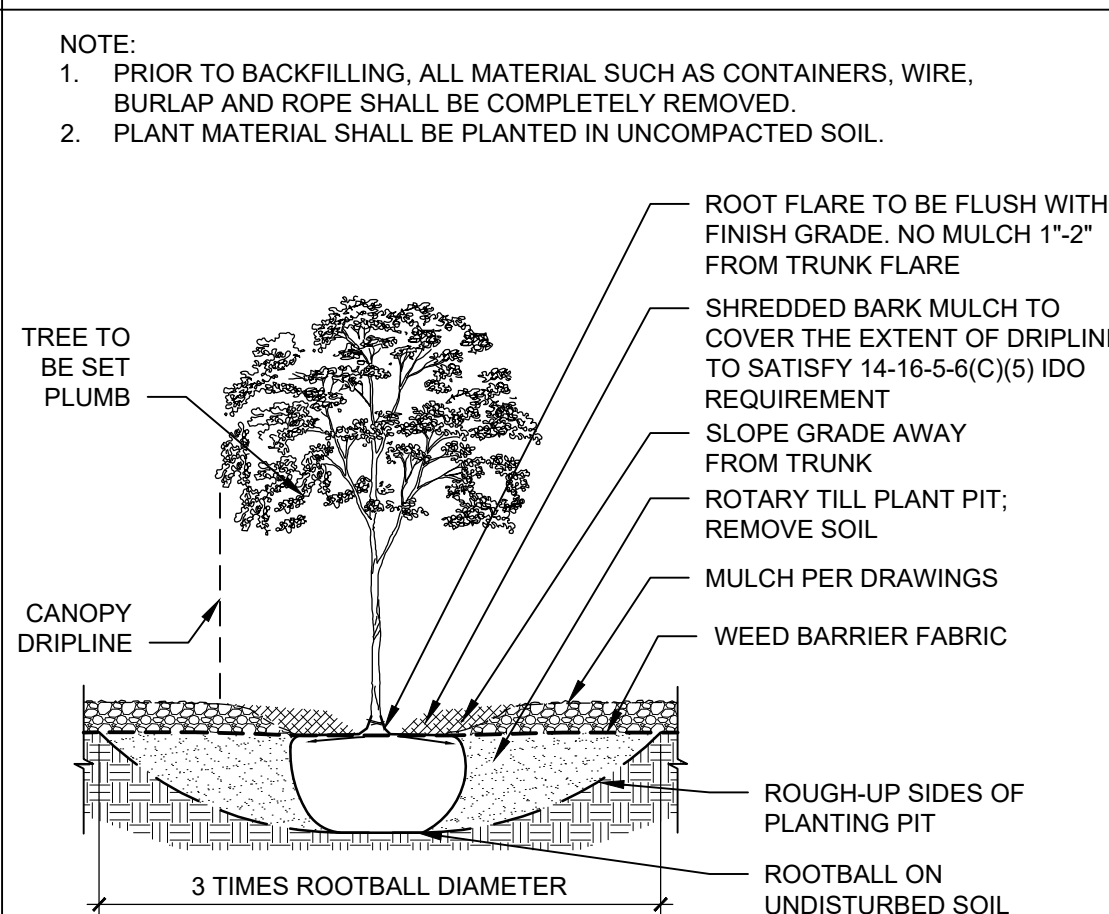
GROUND COVER MATERIAL  
 TOTAL ROCK MULCH GROUND COVER = 38,820 SF = 73%  
 TOTAL ORGANIC MULCH GROUND COVER = 14,720 SF = 27%  
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

PARKING LOT EDGE LANDSCAPE  
 NOT REQUIRED PER 14-16-5-6(F)(1)(c)

**HATCH LEGEND**

SYMBOL	NOTES	QTY
	3" ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC	35,490 SF
	SODDED TURF - PARK BLEND IRRIGATED	2,450 SF
	SHREDDED BARK MULCH	12,270 SF
	CRUSHER FINES AT 3" DEPTH OVER WEED BARRIER FABRIC	3,500 SF
EXCLUDED FROM LANDSCAPE AREA CALCULATIONS		
	STABILIZED BASE COURSE SEE SITE PLAN	13,100 SF
	STABILIZED CRUSHER FINES SEE SITE PLAN	2,960 SF
	UNIRRIGATED NATIVE SEED MIX WITH HYDROMULCH	6,450 SF

**TREE PLANTING DETAIL**





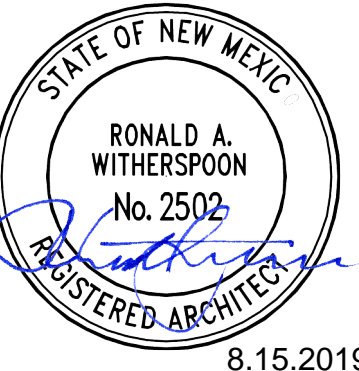




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SABATINI**

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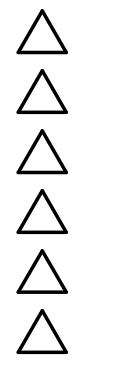
SEAL

PROJECT

**CEJA VISTA**  
10001 CEJA VISTA ROAD SW  
ALBUQUERQUE, NEW MEXICO 87121

SITE PLAN FOR BUILDING PERMIT

REVISIONS



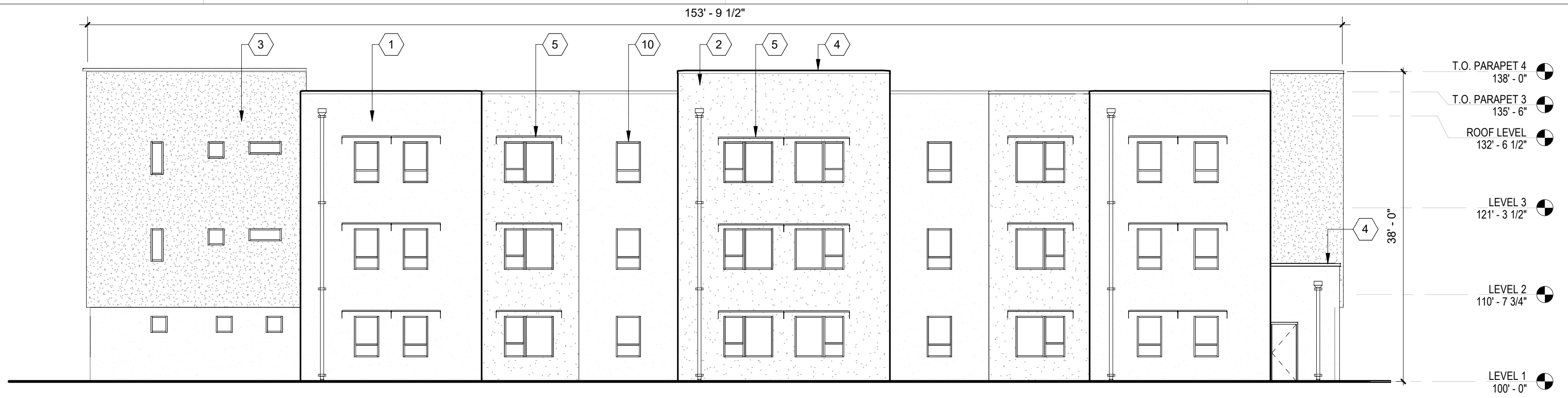
DRAWN BY	RM, AG
REVIEWED BY	RAW, JM
DATE	08/15/2019
PROJECT NO.	19-0019

DRAWING NAME

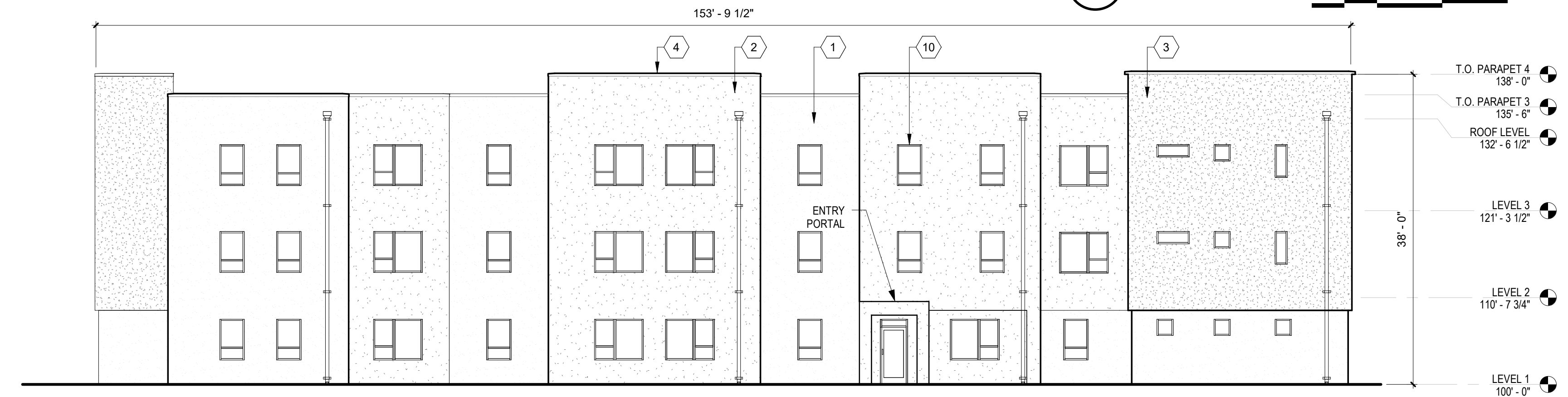
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ELEVATIONS**

SHEET NO

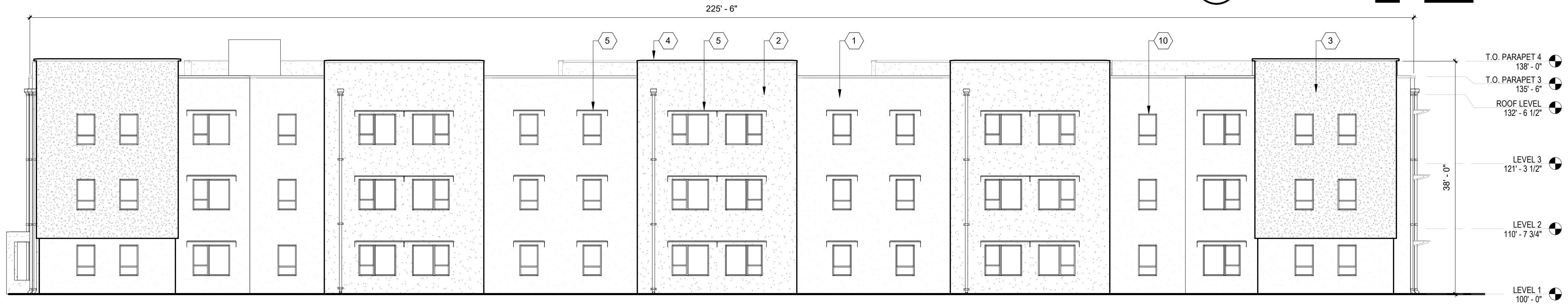
**SDP5.1**



**D4 SOUTH ELEVATION @ BUILDING A**  
3/32" = 1'-0"



**C4 NORTH ELEVATION @ BUILDING A**  
3/32" = 1'-0"



**B4 WEST ELEVATION**  
3/32" = 1'-0"



**A4 EAST ELEVATION**  
3/32" = 1'-0"

**GENERAL SHEET NOTES**

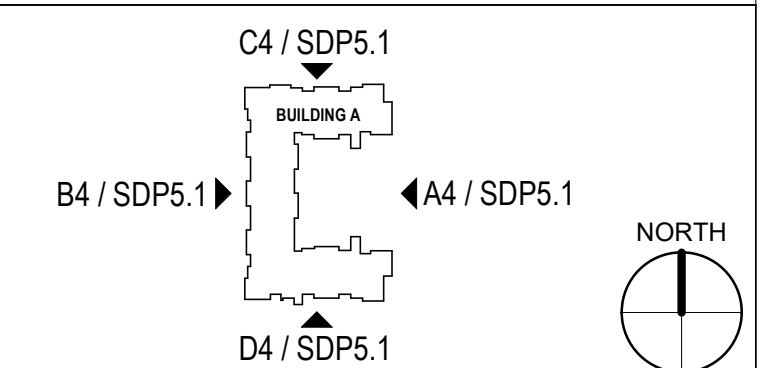
- A. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
- B. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISHED FLOOR.

**REFERENCE KEYNOTES**

- 1. STUCCO FINISH (COLOR 1)
- 2. STUCCO FINISH (COLOR 2)
- 3. STUCCO FINISH (COLOR 3)
- 4. PREFINISHED METAL COPING
- 5. OPTIONAL WINDOW SHADE, TYP
- 6. SHADE TRELLIS
- 7. GUARDRAIL AT ROOFTOP TERRACE
- 8. BRONZE ALUMINUM STOREFRONT
- 9. BUILDING IDENTIFICATION SIGNAGE
- 10. RESIDENTIAL WINDOWS
- 11. WOOD SLAT FENCE
- 12. POOL ENCLOSURE FENCE AND GATE TO MEET POOL BARRIER REQUIREMENT PER CODE
- 13. ANALOG PHONE LINE
- 14. HOSE BIB

**LEGEND**

**KEY PLAN**

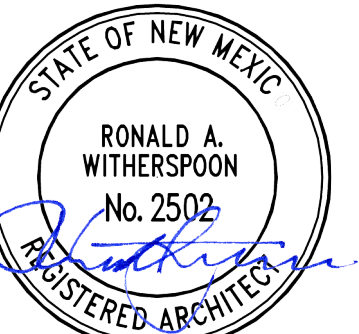


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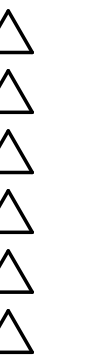
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PROJECT

**CEJA VISTA**  
10001 CEJA VISTA ROAD SW  
ALBUQUERQUE, NEW MEXICO 87121

SITE PLAN FOR BUILDING PERMIT

REVISIONS



DRAWN BY AG

REVIEWED BY RAW, JM

DATE 08/15/2019

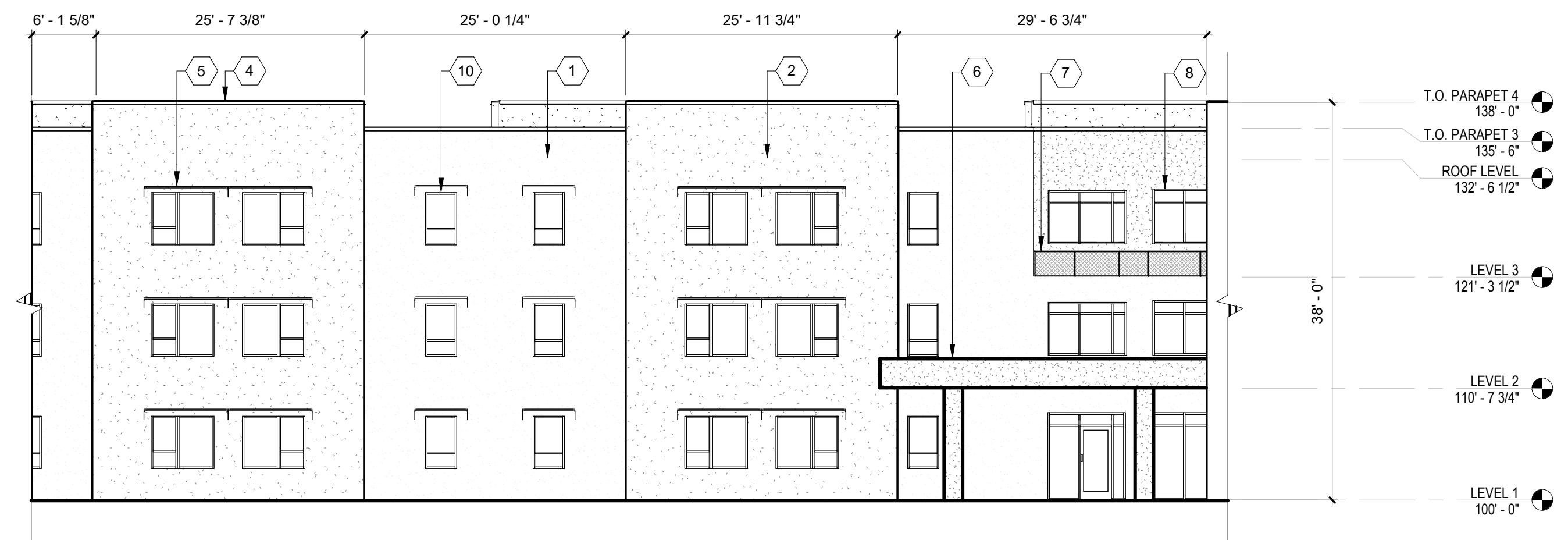
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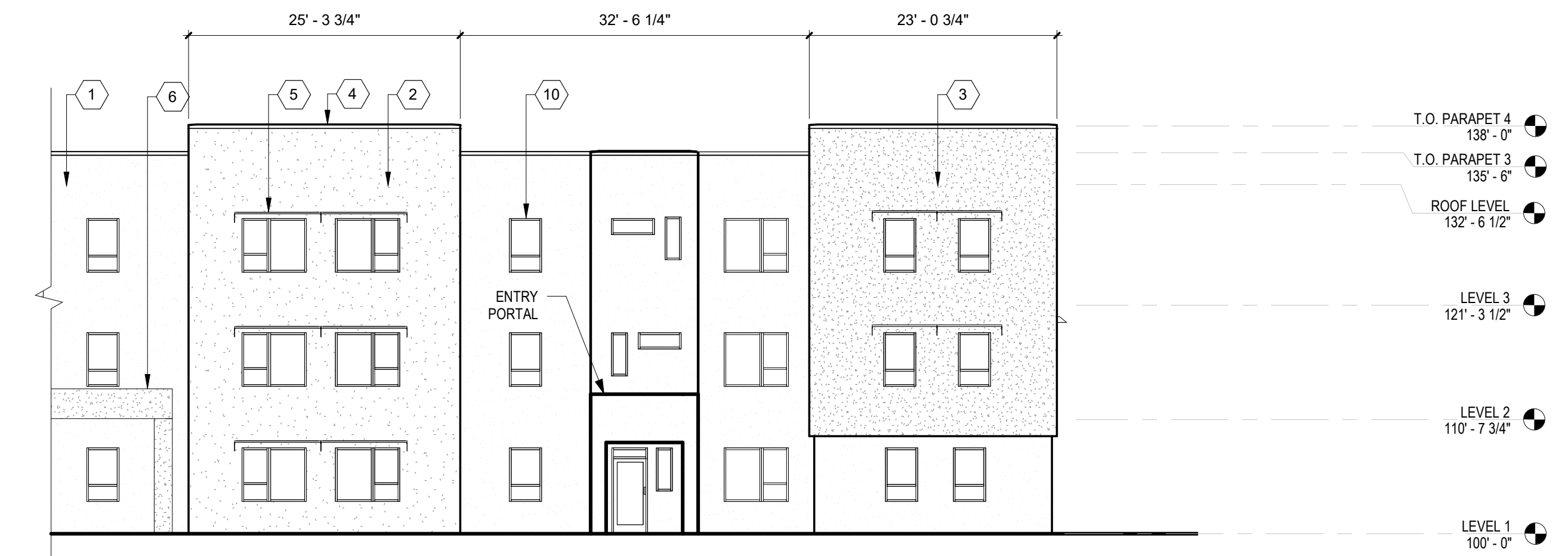
**EXTERIOR  
ELEVATIONS**

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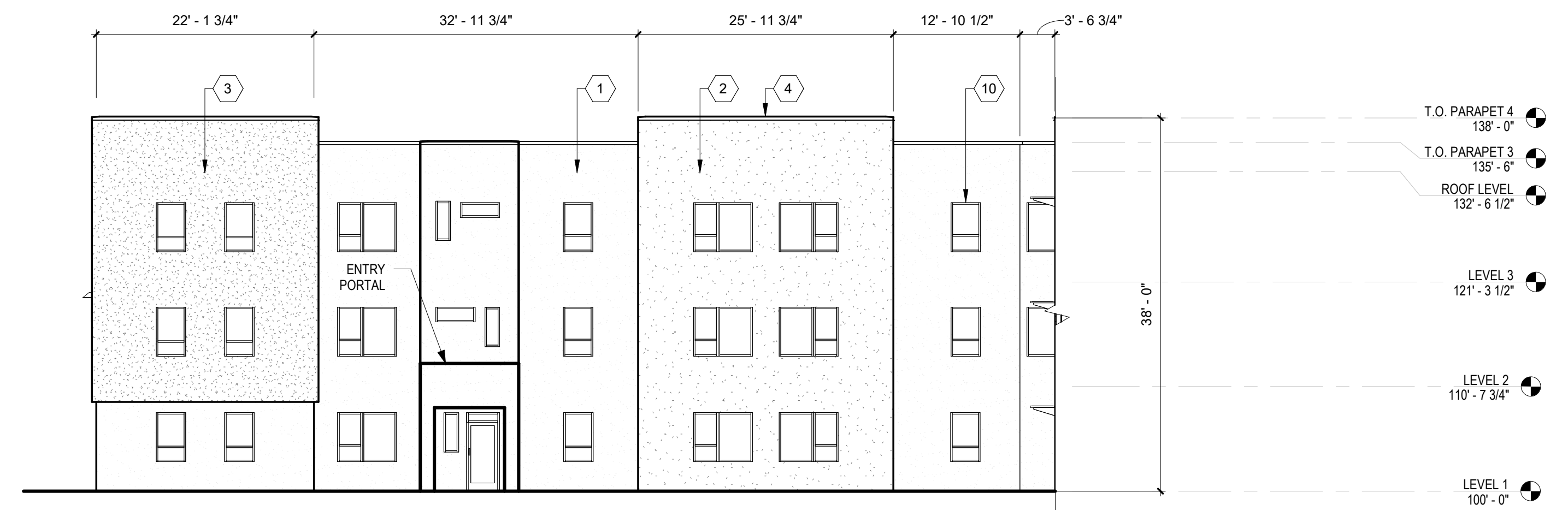
**SDP5.2**



**3C WEST ELEVATION - COURTYARD**  
3/32" = 1'-0"



**3B NORTH ELEVATION - COURTYARD**  
3/32" = 1'-0"



**3A SOUTH ELEVATION - COURTYARD**  
3/32" = 1'-0"

**GENERAL SHEET NOTES**

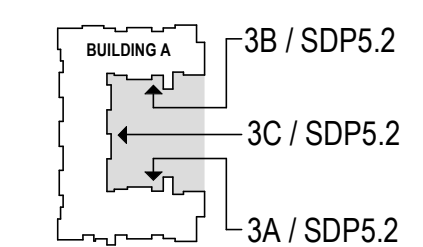
- A. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
- B. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS. LT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISHED FLOOR.

**REFERENCE KEYNOTES**

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- 2. STUCCO FINISH (COLOR 2)
- 3. STUCCO FINISH (COLOR 3)
- 4. PREFINISHED METAL COPING
- 5. OPTIONAL WINDOW SHADE, TYP
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- 13. ANALOG PHONE LINE
- 14. HOSE BIB

**LEGEND**

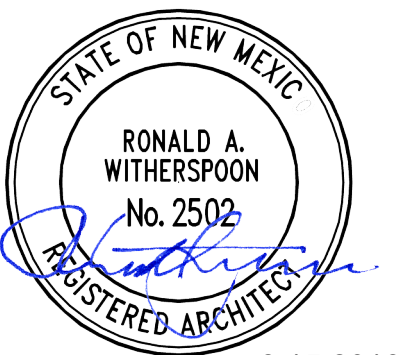
**KEY PLAN**



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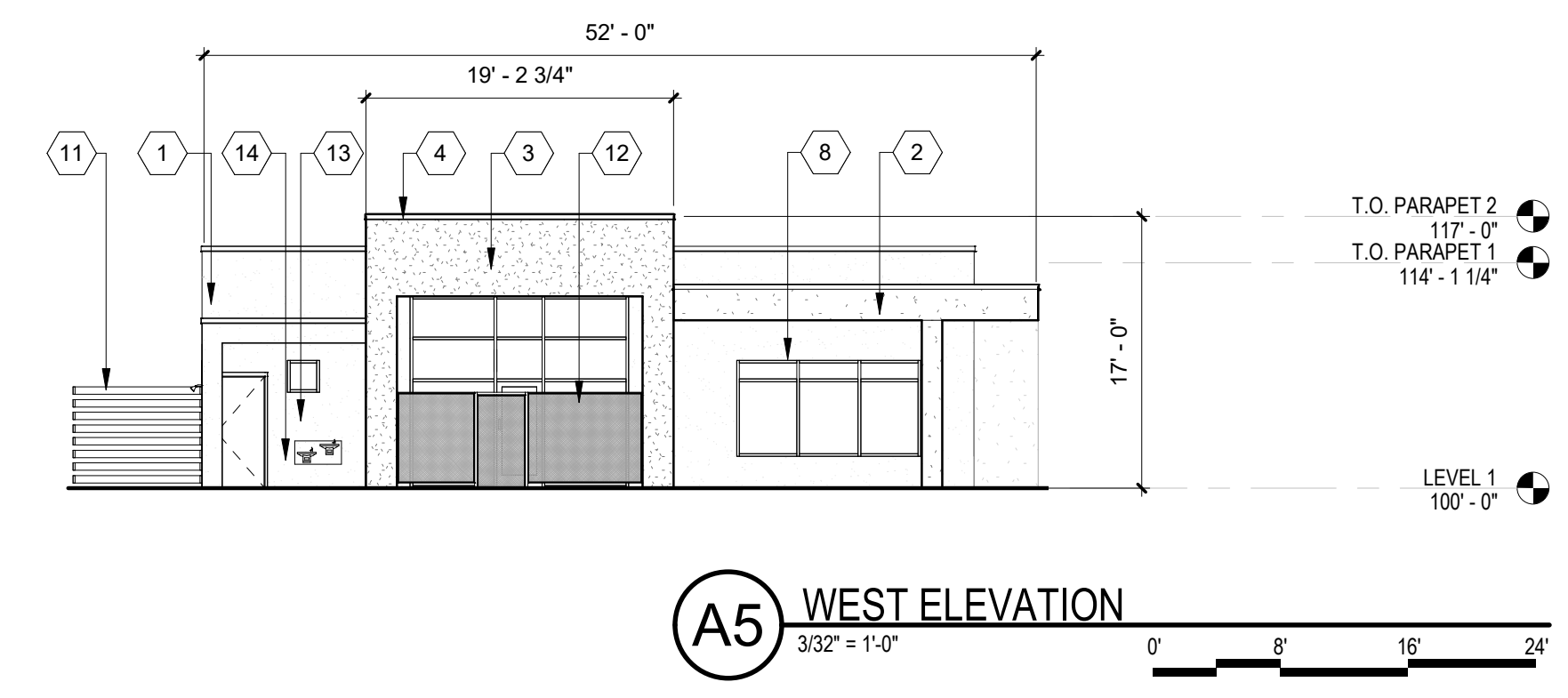
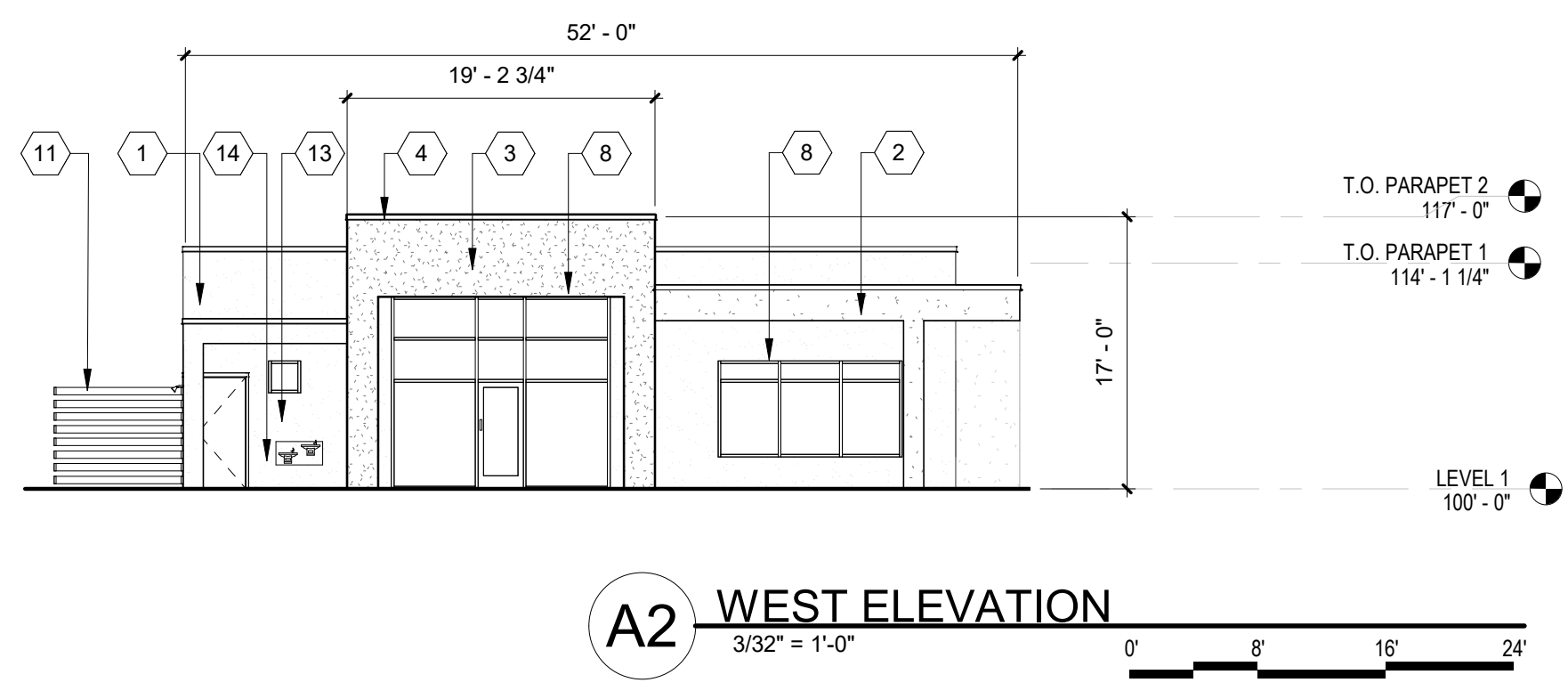
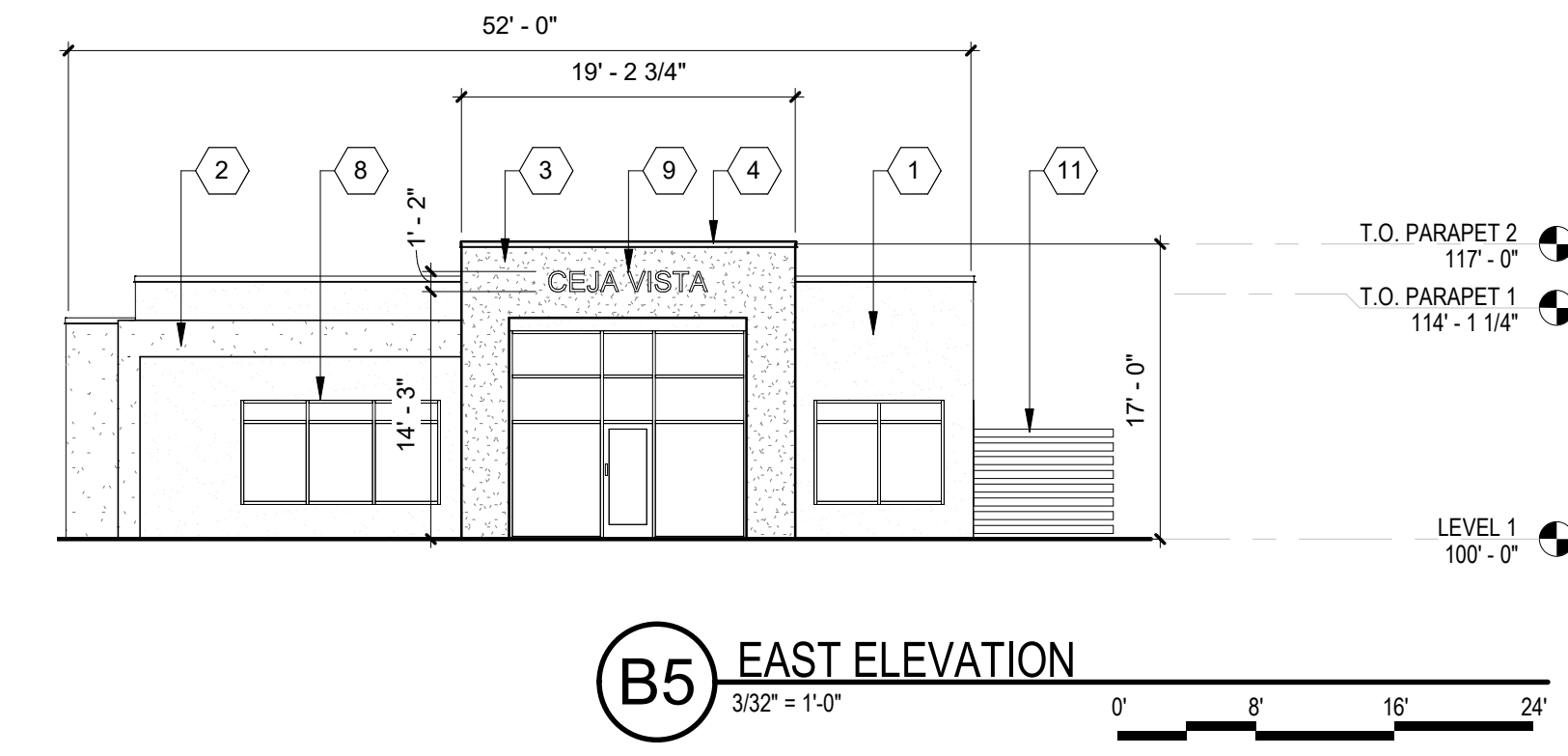
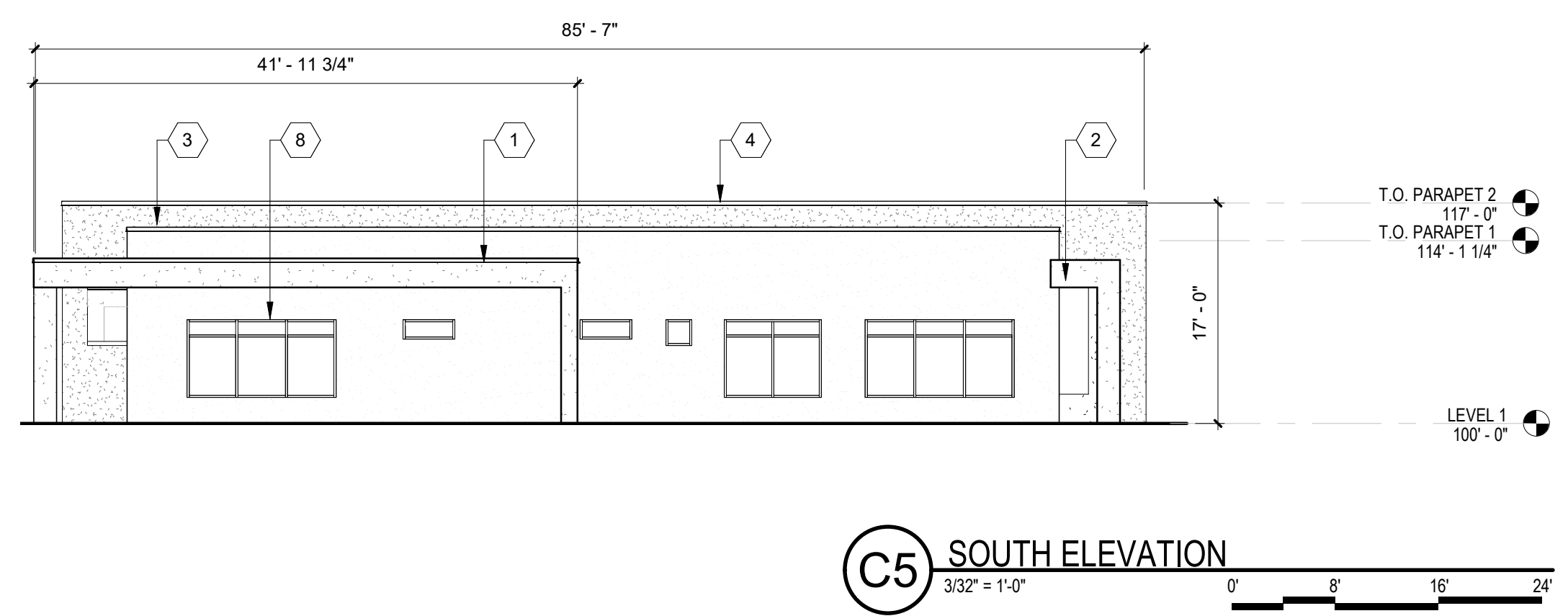
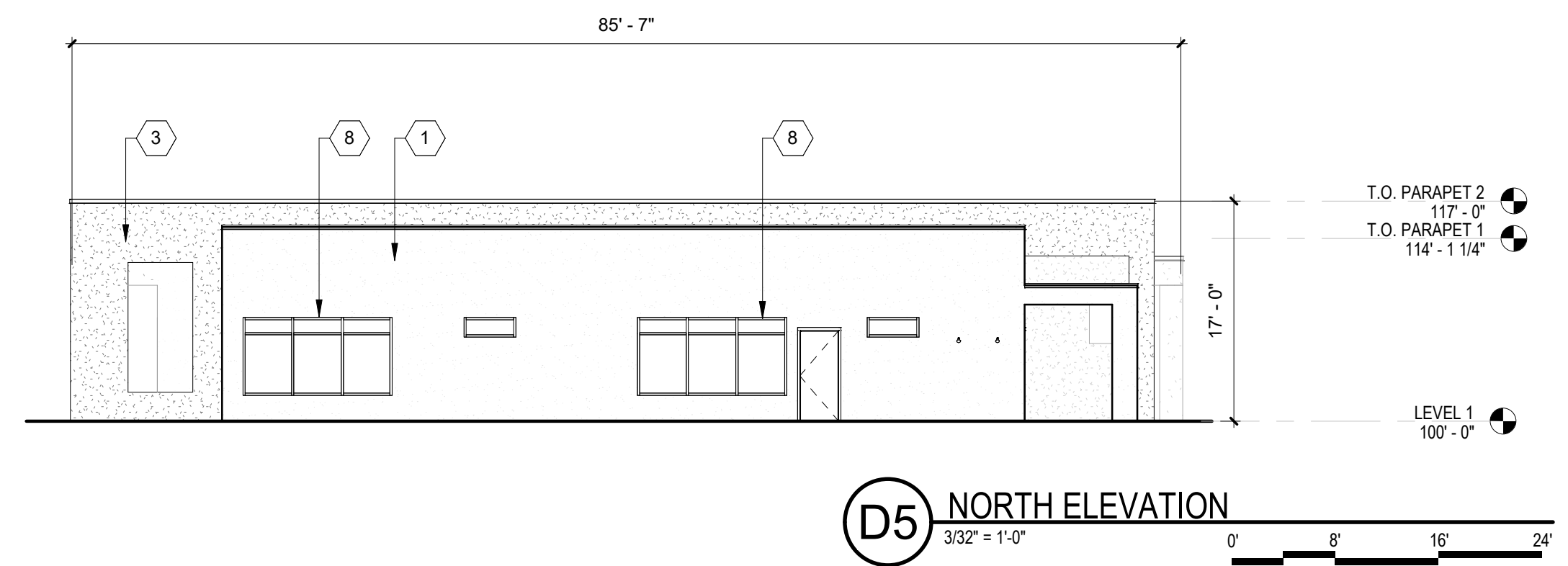
SITE PLAN FOR BUILDING PERMIT

- REVISIONS
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REVIEWED BY RAW, JM  
DATE 08/15/2019  
PROJECT NO: 19-0019

DRAWING NAME  
**EXTERIOR ELEVATIONS**

SHEET NO  
**SDP5.3**



GENERAL SHEET NOTES	REFERENCE KEYNOTES	LEGEND	KEY PLAN
<p>A. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE</p> <p>B. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISHED FLOOR.</p>	<p>1. STUCCO FINISH (COLOR 1)</p> <p>2. STUCCO FINISH (COLOR 2)</p> <p>3. STUCCO FINISH (COLOR 3)</p> <p>4. PREFINISHED METAL COPING</p> <p>5. OPTIONAL WINDOW SHADE, TYP</p> <p>6. SHADE TRELLIS</p> <p>7. GUARDRAIL AT ROOFTOP TERRACE</p> <p>8. BRONZE ALUMINUM STOREFRONT</p> <p>9. BUILDING IDENTIFICATION SIGNAGE</p> <p>10. RESIDENTIAL WINDOWS</p> <p>11. WOOD SLAT FENCE</p> <p>12. POOL ENCLOSURE FENCE AND GATE TO MEET POOL BARRIER REQUIREMENT PER CODE</p> <p>13. ANALOG PHONE LINE</p> <p>14. HOSE BIB</p>		

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GENERAL SHEET NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS
- B. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
- C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS
- D. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE
- E. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES
- F. ALL PARKING SPACES AT 9'-0" X 18'-0" UNO
- G. DESIGN WILL COMPLY WITH 2009 INTERNATIONAL FIRE CODE APPENDIX B,C&D.
- H. ALL RADII ALONG FIRE LANE SHALL BE 28'-0"
- I. CLUBHOUSE AND CARD ACCESS GATES WILL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- J. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
- K. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT
- L. SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
- M. ALL FIRE ACCESS LANES SHALL HAVE AN APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.

SHEET KEYED NOTES

- 1. PROPERTY LINE
- 2. FIRE DEPARTMENT ACCESS - SECONDARY ACCESS POINT
- 3. FIRE LANE, 28' WIDTH STANDARD, 28' RADII
- 4. FIRE HYDRANT
- 5. FIRE DEPARTMENT CONNECTION(FDC) WALL MOUNT OR FREE STANDING
- 6. GATE ENTRY PAD/POST
- 7. KNOX BOX LOCATION
- 8. FIRE RISER ROOM, 7'6" X 6'6"
- 9. FIRE ACCESS ONLY GATE WITH FIRE DEPARTMENT ACCESS SIGN AND KNOX BOX
- 10. MONUMENT SIGN WITH APPROVED ADDRESS IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2009 IFC.
- 11. BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2009 IFC.
- 12. EASEMENT FIRE LANE, 20'-0" WIDE
- 13. RETAINING WALL
- 14. TRANSFORMER
- 15. POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
- 16. FLUSH CONCRETE SIDEWALK
- 17. DRIVABLE GRAVEL FOR FIRE ACCESS ROAD
- 18. DRIVABLE LANDSCAPE
- 19. FLUSH TRANSITION BETWEEN ASPHALT AND DRIVABLE GRAVEL
- 20. FLUSH TRANSITION BETWEEN DRIVABLE GRAVEL AND LANDSCAPE

SITE DATA

<b>SITE ADDRESS:</b>	DENNIS CHAVEZ AND 98TH STREET SW ALBUQUERQUE, NM SW 87121
<b>LEGAL DESCRIPTION:</b>	TRACT RR-3-A-1, LOCATED ON DENNIS CHAVEZ BLVD, SW, BETWEEN 98TH ST, SW & 116TH ST, SW
<b>ACRES:</b>	5.423 ACRES
<b>ZONE ATLAS:</b>	P-09-Z
<b>ZONING SUMMARY:</b>	(RM-L) RESIDENTIAL - MULTI-FAMILY HIGH DENSITY ZONE DISTRICT
<b>CONSTRUCTION TYPE:</b>	V/A
<b>BUILDING HEIGHT:</b>	38'-6"
<b>SPRINKLERED:</b>	FULLY SPRINKLERED
<b>FIRE FLOW:</b>	4,500 GPM
<b>HYDRANTS REQUIRED:</b>	05

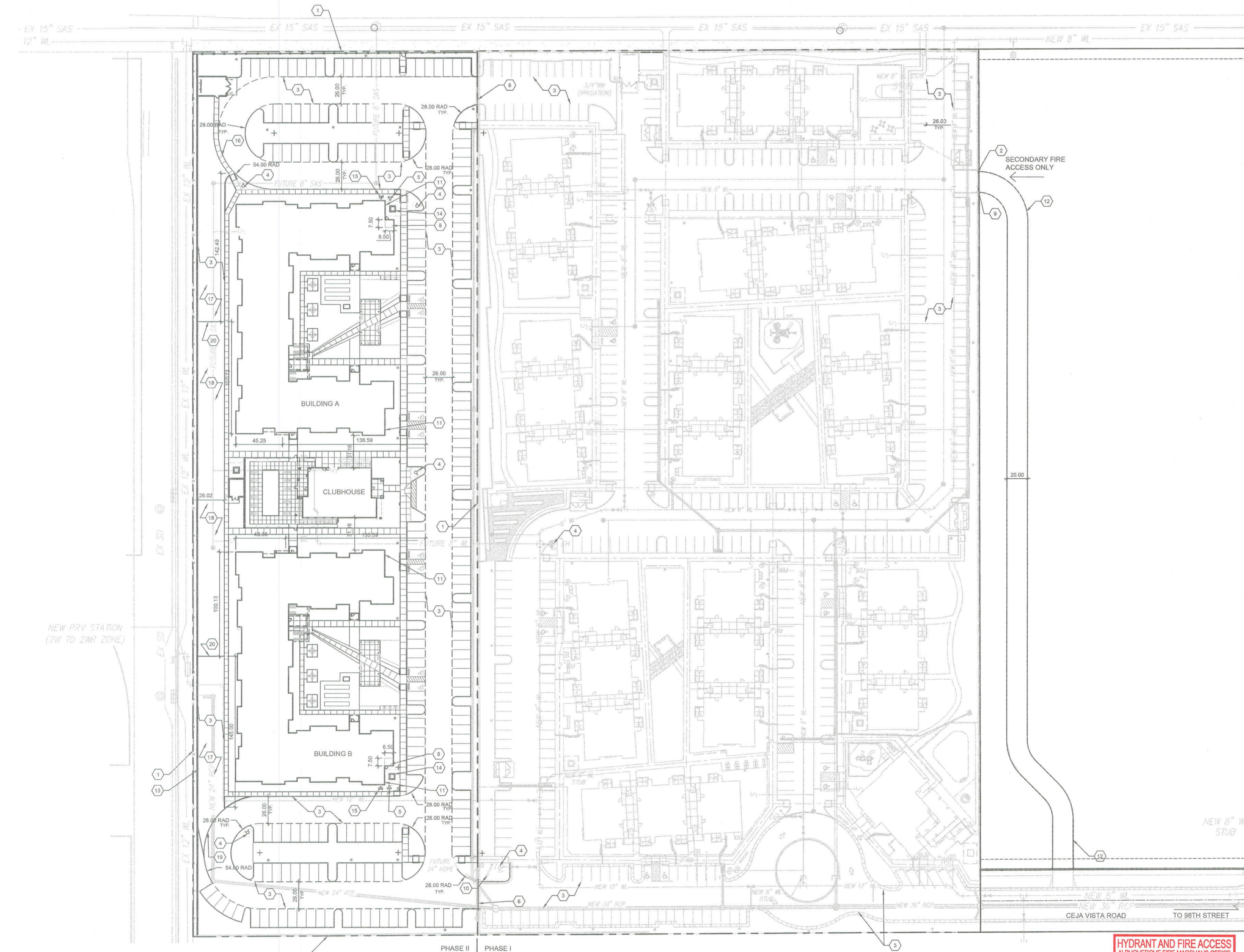
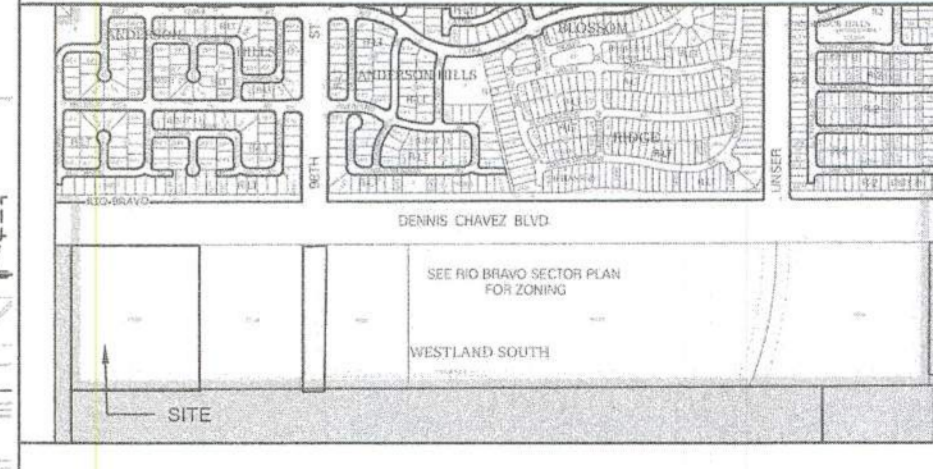
BUILDING DATA

<b>BUILDING TYPE A:</b>	
FIRST LEVEL	20,777 GSF
SECOND LEVEL	20,296 GSF
THIRD LEVEL	19,912 GSF
TOTAL	60,985 GSF
FIRE FLOW	4,500 GPM
<b>BUILDING TYPE B:</b>	
FIRST LEVEL	20,777 GSF
SECOND LEVEL	20,296 GSF
THIRD LEVEL	19,912 GSF
TOTAL	60,985 GSF
FIRE FLOW	4,500 GPM
<b>BUILDING TOTAL:</b>	
	121,970 GSF
<b>CLUB HOUSE:</b>	
LEVEL 1	3,158 GSF
FIRE FLOW	1,500 GPM
<b>TOTAL BUILDING AREA:</b>	
	125,128 GSF
<b>LARGEST SF SPACE- CLUB HOUSE COMMUNITY ROOM</b>	
	800 GSF

LEGEND

- PAINTED DIRECTIONAL ARROWS
- FH - FIRE HYDRANT, RE: CONCEPTUAL UTILITY PLAN
- FDC - FIRE DEPARTMENT CONNECTION, RE: CONCEPTUAL UTILITY PLAN
- PIV - POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
- C - COMPACT PARKING @ 8'-0" X 15'-0"

VICINITY MAP



A1 FIRE ONE PLAN  
1" = 50'-0"  
0 50' 100'  
NORTH

HYDRANT AND FIRE ACCESS  
ALBUQUERQUE FIRE MARSHAL'S OFFICE  
PLANS CHECKING DIVISION  
SOFT COPY CONSTRUCTION TYPE I/A  
GPM 2350 NUMBER OF HYDRANTS 2  
APPROVED / DISAPPROVED  
15/08 6/28/19  
SIGNATURE / MAIN NUMBER / DATE

2872-19

- REVISIONS
- △
  - △
  - △
  - △

DRAWN BY JF, AG  
 REVIEWED BY RAW, JM  
 DATE 06/28/2019  
 PROJECT NO. 19-0019  
 DRAWING NAME  
 FIRE ONE PLAN