

BUILDINGS ONE, TWO, AND THREE WILL BE CONSTRUCTED AS A SINGLE PHASE. BUILDING FOUR WILL BE A SEPARATE PHASE UNLESS A USER IS DETERMINED PRIOR TO BEGINNING CONSTRUCTION OF THE OTHER BUILDINGS. THE PARKING, LANDSCAPING AND OTHER SITE IMPROVEMENTS FOR BUILDING 4 WILL BE PART OF THE FIRST PHASE WITH A PAD SITE PREPARED FOR THE BUILDING.

CONSTRUCTION TYPE:	SEE PLAN
BUILDING AREAS:	SEE PLAN
FIRE FLOW REQUIREMENT:	2375 GPM IFC TABLE B105.1(2)
BUILDING 1:	1500 X .25 = 375 GPM
BUILDING 2:	2750 X .25 = 687.5 GPM
BUILDING 3:	3500 X .25 = 875 GPM
BUILDING 4:	1750 X .25 = 437.5 GPM
FIRE HYDRANTS REQUIRED:	3 FOR FIRE FLOW-3 FOR DISTANCE IFC TABLE C102.1
AVERAGE SPACING BTWN HYDRANTS:	450 FT
FIRE HYDRANTS PROVIDED:	3 NEW
ALLOWABLE DISTANCE FROM HYDRANT TO FARTHEST POINT ON BLDG:	400 FT IFC 507.5.1

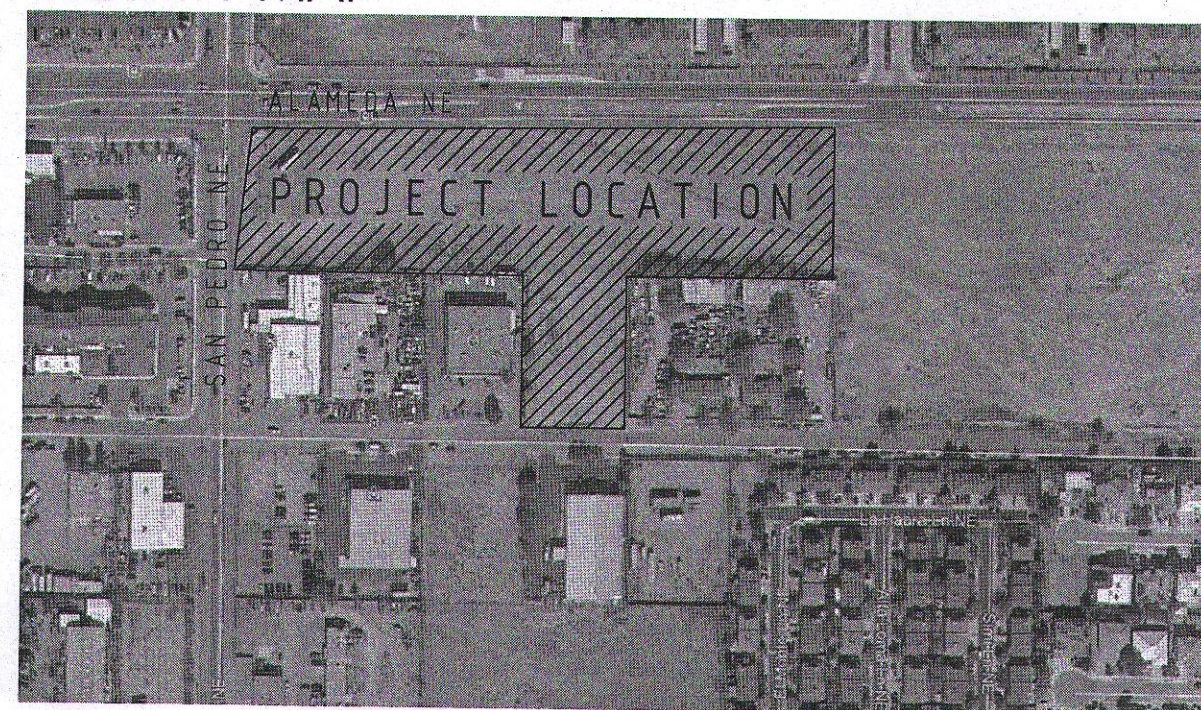
**FIRE NOTES:**

- ALL APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
- FIRE APPARATUS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE

SITE LOCATION:	SE CORNER SAN PEDRO AND ALAMEDA NE ALBUQUERQUE, NM
LEGAL DESCRIPTION:	REPLATED LOTS 1-A, 2-A, 4-A, 6-A NORTH ALBUQUERQUE ACRES
UPC NUMBER:	TBD PENDING REPLAT
ZONING:	NR-BP
ZONE ATLAS PAGE:	
PREVIOUS DRB APPROVAL:	NONE
TOTAL LOT AREA:	228,371.658 SF (5.24 AC)
LOT 1-A:	43,564.08 SF (1,000.1 AC)
LOT 2-A:	67,294.9 SF (1,544.9 AC)
LOT 4-A:	83,122.59 SF (1,908.2 AC)
LOT 6-A:	34,390.0883 SF (0.7895 AC)
GROSS BUILDING AREA:	44,524 SF
BUILDING 1: RESTAURANT:	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT:	10,820 SF
BUILDING 3: CLIMBING GYM:	26,204 SF
BUILDING 4: PAD SITE:	4500 SF
BUILDING FOOTPRINT AREA:	36,900 SF
BUILDING 1: RESTAURANT:	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT:	10,820 SF
BUILDING 3: CLIMBING GYM:	18,580 SF
BUILDING 4: PAD SITE:	4500 SF

NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	191,471 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	19.5 %
PARKING CALCULATIONS:	TOTAL SPACES PROVIDED: 379
BUILDING 1: RESTAURANT: 8 PER 1000 SF	SPACES PROVIDED: 70
3000 SF = 24 SPACES REQUIRED	
BUILDING 2: CONTAINER DEVELOPMENT (RESTAURANTS & TAPROOM)	SPACES PROVIDED: 121
RESTAURANT & TAPROOM: 8 PER 1000 SF REQ'D.	
10,820 SF = 87 SPACES REQUIRED	
BUILDING 3: CLIMBING GYM (HEALTH CLUB) 2.5 SP. PER 1000 SF. REQUIRED	SPACES PROVIDED: 131
26,204 SF = 66 SPACES REQUIRED	
BUILDING 4: PAD SITE (RESTAURANT) 8 PER 1000	SPACES PROVIDED: 57
4500 SF = 36 SPACES REQUIRED	
ELEC VEHICLE PARKING REQUIRED: 2% OF 386=8 SPACES	TOTAL SPACES PROVIDED: 8 (E)
ACCESSIBLE PARKING REQUIRED: 8 INCL. 2 VAN	TOTAL SPACES PROVIDED: 8
MOTORCYCLE PARKING REQUIRED: 6 SPACES	TOTAL SPACES PROVIDED: 8
BICYCLE PARKING REQUIRED: 10% OF PARKING REQ.=22	TOTAL SPACES PROVIDED: 30
* EXTEND CONDUIT TO THIS PARKING SPACE FOR FUTURE ELEC. CHARGING STATION. (E)	
NOTE: REFER TO SKETCH PLAT PROJECT NUMBER 1000682.	

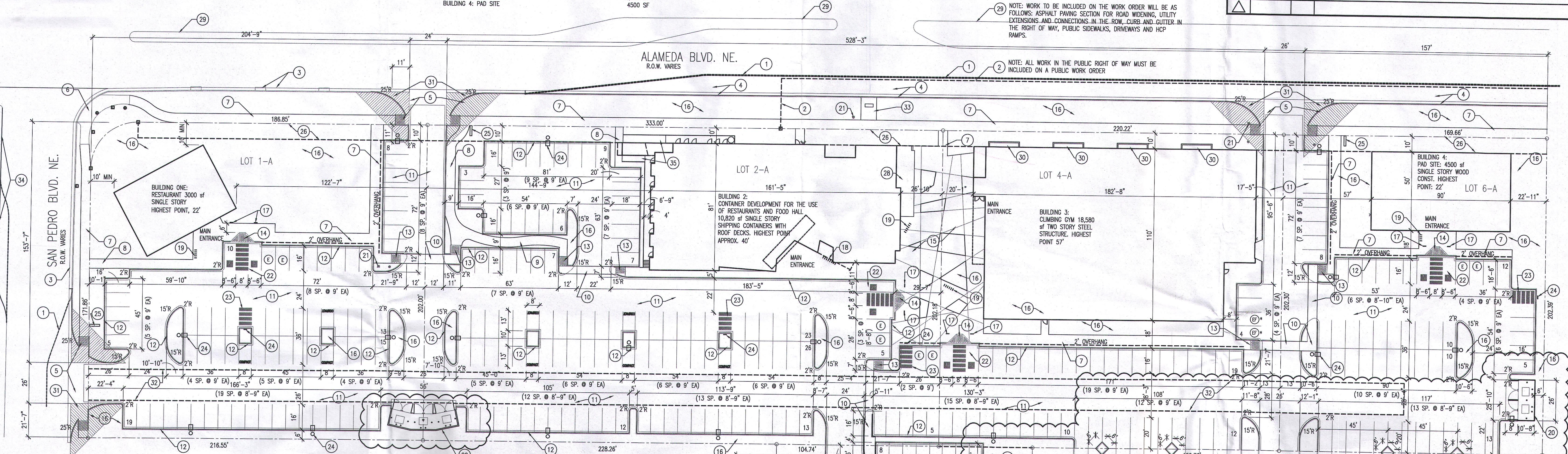
**VICINITY MAP**



**MODULUS ARCHITECTS**  
 100 SUN AVENUE NE SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498

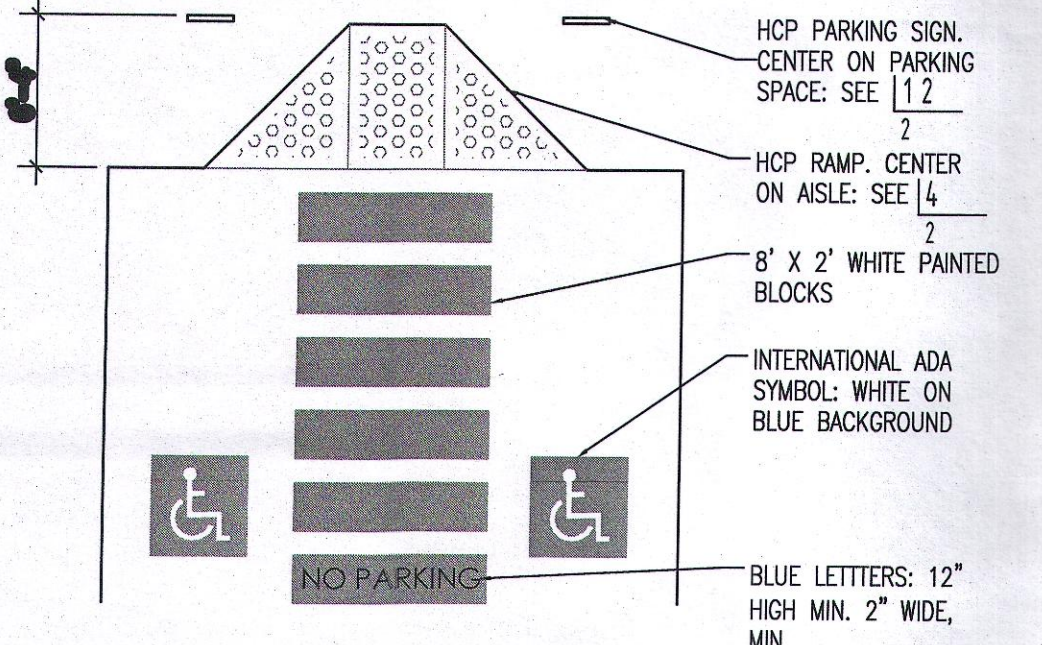
REV	DATE	BY	REVISION
△			
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ADMINISTRATIVE AMENDMENT  
 FILE # 20038 PROJECT # 2015  
 Updated building elevations and architectural elements.  
 27 Sept 2019  
 APPROVED BY DATE

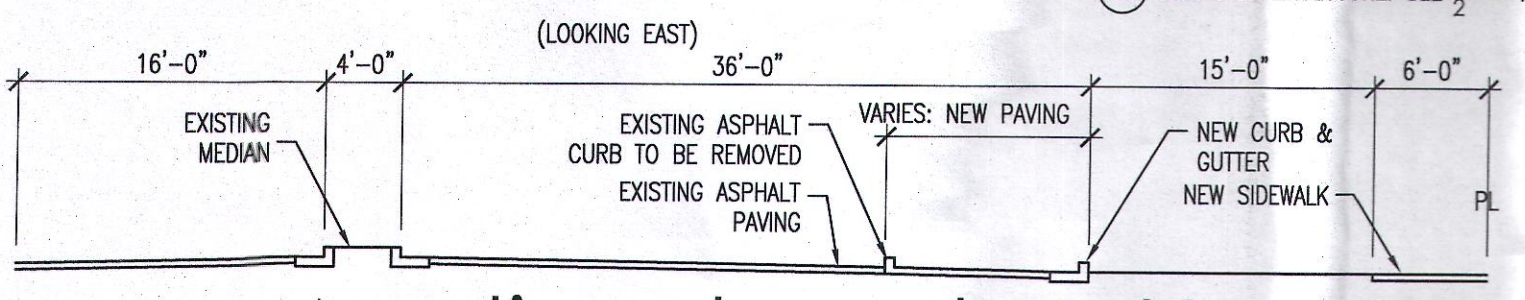


**KEYED NOTES:**

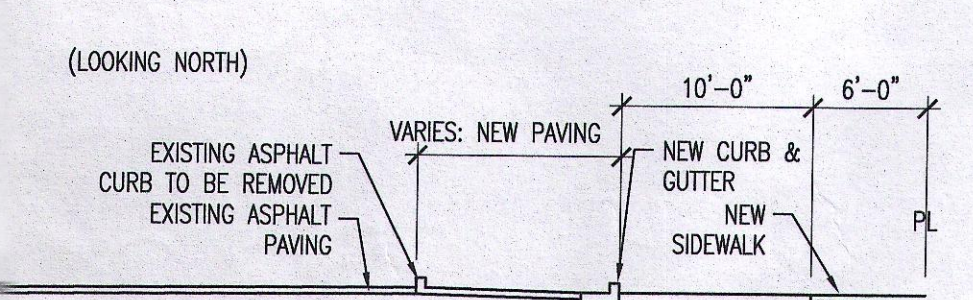
- EXISTING ASPHALT PAVING AND TEMPORARY ASPHALT CURB. FOR ROAD WIDENING AND IMPROVEMENTS, SEE CIVIL DRAWINGS
- PROPERTY LINE TO BE ELIMINATED BY PLATTING ACTION TO INCREASE R.O.W.
- EXISTING STREET IMPROVEMENTS TO REMAIN. ASPHALT PAVING, STORM SEWER INLETS, CURB AND GUTTER
- NEW STREET IMPROVEMENTS INCLUDING PAVING SECTION AND CURB AND GUTTER TO BE INSTALLED AS PART OF THIS PROJECT. SEE CIVIL DRAWINGS.
- NEW CONCRETE DRIVE, CURB RETURNS, AND HCP RAMPS PER CITY OF ABQ. STD AS SHOWN IN DPM
- EXISTING HCP. RAMP TO REMAIN
- NEW 8' WIDE CONCRETE WALK W/ CONTROL JOINTS @ 6'-0"
- NEW 5' WIDE CONCRETE WALK W/ CONTROL JOINTS @ 6'-0"
- NEW 6' WIDE CONCRETE WALK W/ CONTROL JOINTS @ 5'-0"
- CONC. PAVING FLUSH W/ ASPHALT W/ CONTROL JOINTS @ 5'-0". SEE 7
- ASPHALT PAVING IN ACCORDANCE WITH SOILS REPORT
- CONCRETE CURB AND GUTTER. SEE 12
- HANDICAP RAMP. SEE 16
- HANDICAP RAMP. SEE 14
- COLORLED CONCRETE PAVING
- LANDSCAPE BED, TYP.
- HCP. PARKING SIGN. SEE
- BIKE RACK ATTACHED TO BLDG
- BIKE RACK. SEE 11
- DUMPSTER ENCLOSURE. SEE 11 AND 11.5
- NEW FIRE HYDRANT
- ACCESSIBLE PARKING SPACES AND AISLE. SEE 12
- MOTORCYCLE PARKING SPACES (2 SPACES)
- POLE MOUNT PARKING LOT LIGHTING. SEE 12
- MONUMENT SIGN. SEE 10
- 10' PUBLIC UTILITY EASEMENT
- CONCRETE BUMPER STOP
- RECESSED PATIO
- EXISTING MEDIAN
- CONCRETE RAISED PLANTER
- CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 20' ABUTMENT EASEMENT
- 10' WIDE CONCRETE PAD EXTENDING FROM BACK OF CURB TO SIDEWALK FOR BUS STOP. BENCH BY OTHERS
- EXISTING LEFT HAND TURN LANE TO BE EXTENDED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE TRAFFIC STUDY PREPARED BY TERRY BROWN DATED NOV. 26, 2018.
- SERVICE RAMP AND GUARDRAIL



2 | hcp parking detail  
 1 | 1/8"=1'-0"



3 | section alameda w/ turn lane  
 1 | 1"=10'



4 | section san pedro  
 1 | 1"=10'

**LIST OF SHEETS:**

SHEET 1	SITE PLAN, SITE DATA
SHEET 2	SITE DETAILS
SHEET 3	CONCEPTUAL GRADING PLAN
SHEET 4	SITE UTILITY PLAN
SHEET 5	LANDSCAPE MATERIALS
SHEET 5.1	OVERALL ELEVATIONS
SHEET 6	BUILDING ONE & FOUR ELEVATIONS
SHEET 7	BUILDING TWO (CONTAINER) ELEVATIONS
SHEET 8	BUILDING THREE (CLIMBING GYM) ELEVATIONS
SHEET 9	BUILDING THREE (CLIMBING GYM) ELEVATIONS
SHEET 10	BUILDING THREE (CLIMBING GYM) ELEVATIONS
SHEET 11	IMAGES

CITY OF ALBUQUERQUE  
 "SOLID WASTE"  
 MANAGEMENT DEPARTMENT  
 APPROVED

ADMINISTRATIVE AMENDMENT  
 FILE # 20038 PROJECT # 2015  
 Minor changes to:  
 parking and access,  
 landscape plan.  
 24 Feb 2020

APPROVED BY DATE

PROJECT NUMBER: PR 2018-001346  
 APPLICATION NUMBER: 91-2018-0010

IN AN INSTRUMENT THAT REQUIRES A 2% OR 1.5% OF THE TOTAL AREA OF THE DEVELOPMENT TO BE SET ASIDE FOR THE CONSTRUCTION OF PUBLIC INFRASTRUCTURE, THE CITY ENGINEERING DEPARTMENT HAS REVIEWED THIS DEVELOPMENT PLAN AND APPROVED IT FOR CONSTRUCTION OF PUBLIC INFRASTRUCTURE.

ENV. SITE DEVELOPMENT PLAN SIGNOFF APPROVAL: [Signature] DATE: 2/16/19

CITY ENGINEERING DEPARTMENT SIGNOFF: [Signature] DATE: 2/16/19

PLANNING AND RECREATION DEPARTMENT: [Signature] DATE: 2/16/20

DEPARTMENT OF HEALTH (CONDITIONAL): [Signature] DATE: 2/16/19

DEPARTMENT OF WASTE MANAGEMENT: [Signature] DATE: 2/16/19

DEPARTMENT OF PLANNING DEVELOPMENT: [Signature] DATE: 2/16/19

ADMINISTRATIVE AMENDMENT

PROJECT TITLE: A MIXED USE DEVELOPMENT AT ALAMEDA AND SAN PEDRO NE ALBUQUERQUE, NM  
 PROJECT MANAGER: STEPHEN DUNBAR, AIA  
 JOB NO.:  
 DRAWN BY: CDC  
 SHEET TITLE: OVERALL SITE PLAN

DATE: 02/10/2020  
 SCALE: AS NOTED

1 | site plan  
 1 | 1"=30'







**SITE DATA**

GROSS LOT AREA (5.24 ac)	228,371 SF
LESS BUILDING(S)	36,900 SF
NET LOT AREA	191,471 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	28,720 SF
PROPOSED LANDSCAPE	42,075 SF
PERCENT OF NET LOT AREA	22 %
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0 %
REQUIRED STREET TREES 1 PER 30 L.F. OF STREET FRONTAGE	46
PROVIDED STREET TREES	42
REQUIRED PARKING LOT TREES 1 PER 10 SPACES	39
386 SPACES/10	39
PROVIDED PARKING LOT TREES	39
TOTAL TREE REQUIRED/PROVIDED (2" cal or 6' ht.)	87/87

REQUIRED LANDSCAPE COVERAGE  
 75% LIVE VEGETATIVE MATERIAL  
 (42,075 SF PROPOSED LANDSCAPE X 75%)  
 PROVIDED GROUND COVER COVERAGE  
 PERCENT GROUND COVER COVERAGE  
 OF REQUIRED LANDSCAPE AREAS  
 82%

**NOTE**

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER  
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE  
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER  
 THIS PLAN IS TO COMPLY WITH C.O.A. IDO ZONING AND WATER WASTE ORDINANCE 6-1-1.  
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10. (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

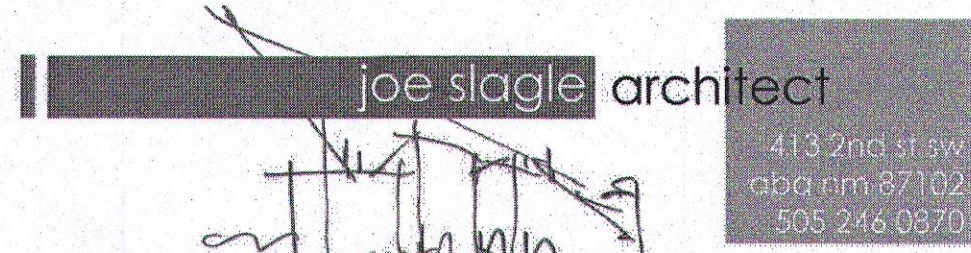
LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

**IRRIGATION NOTE**

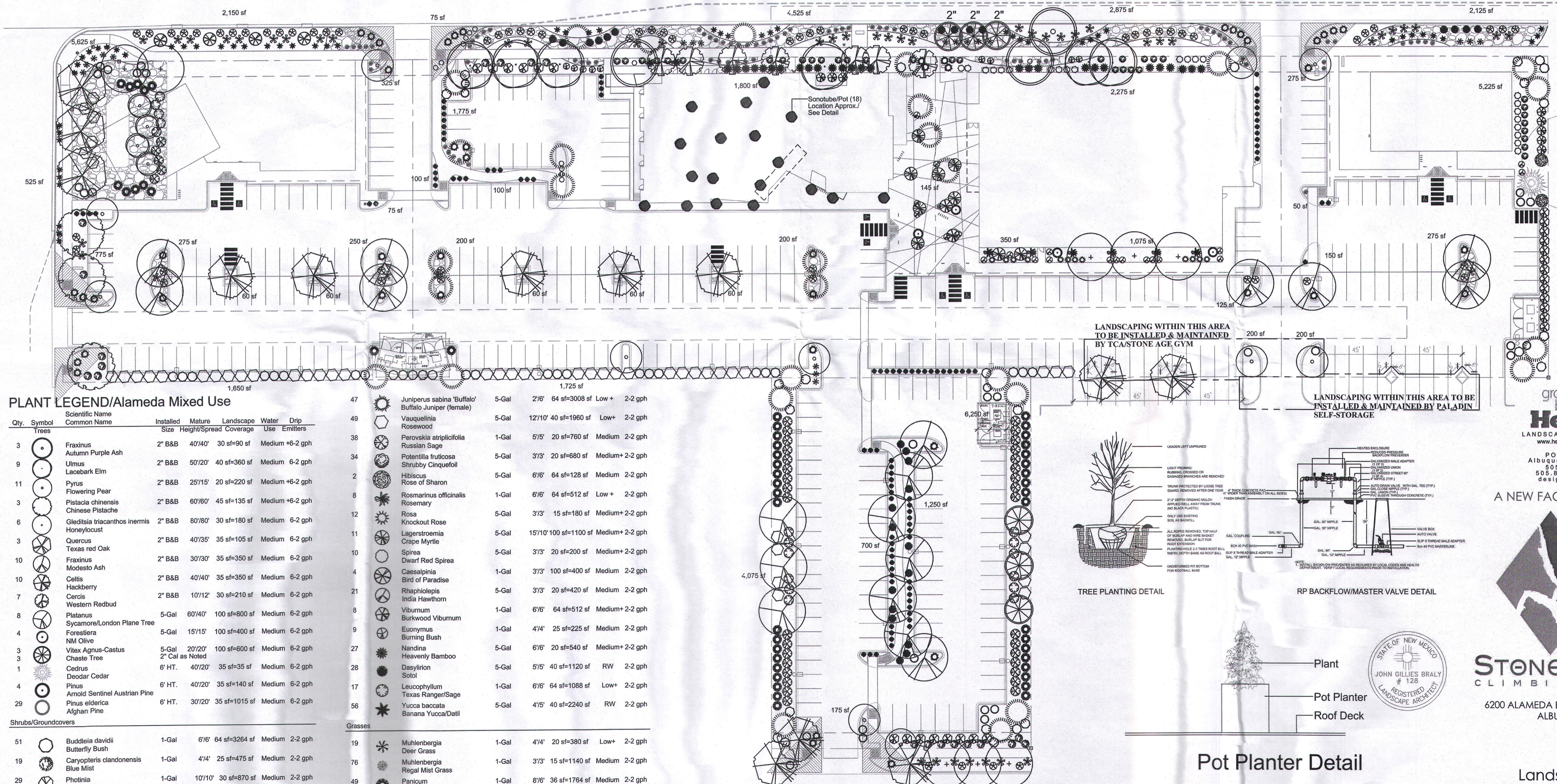
STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.  
 TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

DRIP SYSTEM RUN CYCLES:  
 ESTABLISHMENT AND SUMMER:  
 1 HOUR/4 DAYS A WEEK  
 SPRING:  
 1 HOUR/2-3 DAYS A WEEK  
 FALL:  
 1 HOUR/2-3 DAYS A WEEK  
 WINTER:  
 1 HOUR/2 DAYS PER MONTH



revisions:

9.6.18
11.30.18
4.5.19
6.3.19
7.15.19
9.23.19
10.22.19
1.27.20
2.24.20

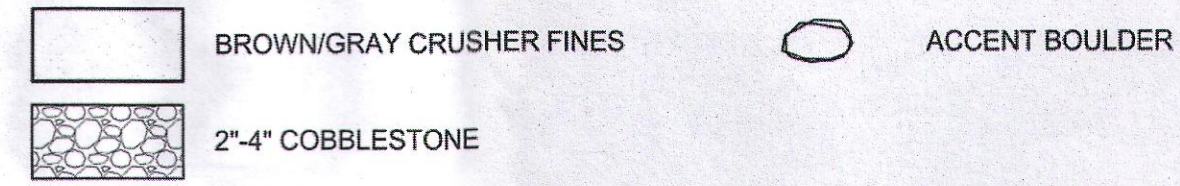


**PLANT LEGEND/Alameda Mixed Use**

Qty.	Symbol	Scientific Name	Common Name	Installed	Mature	Landscaping	Water	Drip
				Height/Spread	Coverage		Use	Emitters
<b>Trees</b>								
3	[Symbol]	Fraxinus Autumn Purple Ash	2" B&B	40'/40'	30 sf=90 sf	Medium	+6-2 gph	
9	[Symbol]	Ulmus Lacebark Elm	2" B&B	50'/20'	40 sf=360 sf	Medium	6-2 gph	
11	[Symbol]	Pyrus Flowering Pear	2" B&B	25'/15'	20 sf=220 sf	Medium	+6-2 gph	
3	[Symbol]	Pistacia chinensis Chinese Pistache	2" B&B	60'/60'	45 sf=135 sf	Medium	+6-2 gph	
6	[Symbol]	Gleditsia triacanthos inermis Honeylocust	2" B&B	80'/80'	30 sf=180 sf	Medium	6-2 gph	
3	[Symbol]	Quercus Texas red Oak	2" B&B	40'/35'	35 sf=105 sf	Medium	6-2 gph	
10	[Symbol]	Fraxinus Modesto Ash	2" B&B	30'/30'	35 sf=350 sf	Medium	6-2 gph	
10	[Symbol]	Celtis Hackberry	2" B&B	40'/40'	35 sf=350 sf	Medium	6-2 gph	
7	[Symbol]	Cercis Western Redbud	2" B&B	10'/12'	30 sf=210 sf	Medium	6-2 gph	
8	[Symbol]	Platanus Sycamore/London Plane Tree	5-Gal	60'/40'	100 sf=800 sf	Medium	6-2 gph	
4	[Symbol]	Forestiera NM Olive	5-Gal	15'/15'	100 sf=400 sf	Medium	6-2 gph	
3	[Symbol]	Vitex Agnus-Castus Chaste Tree	2" Cal as Noted	20'/20'	100 sf=600 sf	Medium	6-2 gph	
1	[Symbol]	Cedrus Deodar Cedar	6' HT.	40'/20'	35 sf=35 sf	Medium	6-2 gph	
4	[Symbol]	Pinus Arnold Sentinel Austrian Pine	6' HT.	40'/20'	35 sf=140 sf	Medium	6-2 gph	
29	[Symbol]	Pinus eldarica Afghan Pine	6' HT.	30'/20'	35 sf=1015 sf	Medium	6-2 gph	
<b>Shrubs/Groundcovers</b>								
51	[Symbol]	Buddleia davidii Butterfly Bush	1-Gal	6'/6'	64 sf=3264 sf	Medium	2-2 gph	
19	[Symbol]	Caryopteris clandonensis Blue Mist	1-Gal	4'/4'	25 sf=475 sf	Medium	2-2 gph	
29	[Symbol]	Photinia Fraser Red Tip Photinia	1-Gal	10'/10'	30 sf=870 sf	Medium	2-2 gph	
31	[Symbol]	Rhus aromatica Gro Low Sumac	1-Gal	2'/6'	64 sf=1984 sf	Low +	2-2 gph	
64	[Symbol]	Ericameria laricifolia 'Aguirre' Turpentine Bush	1-Gal	3'/4'	25 sf=1600 sf	Low	2-1 gph	
22	[Symbol]	Ilex Burford Holly	5-Gal	4'/4'	16 sf=352 sf	Medium+	2-1 gph	
0	[Symbol]	Chrysactinia Damianita	1-Gal	3'/3'	15 sf=0 sf	Medium	2-1 gph	
49	[Symbol]	Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	35 sf=1715 sf	Low	2-2 gph	
<b>Grasses</b>								
19	[Symbol]	Muhlenbergia Deer Grass	1-Gal	4'/4'	20 sf=380 sf	Low+	2-2 gph	
76	[Symbol]	Muhlenbergia Regal Mist Grass	1-Gal	3'/3'	15 sf=1140 sf	Medium	2-2 gph	
49	[Symbol]	Panicum Switch Grass	1-Gal	8'/6'	36 sf=1764 sf	Medium	2-2 gph	
103	[Symbol]	Calamagrostis Karl Foerster Grass	1-Gal	3'/2'	10 sf=1030 sf	Medium	2-2 gph	

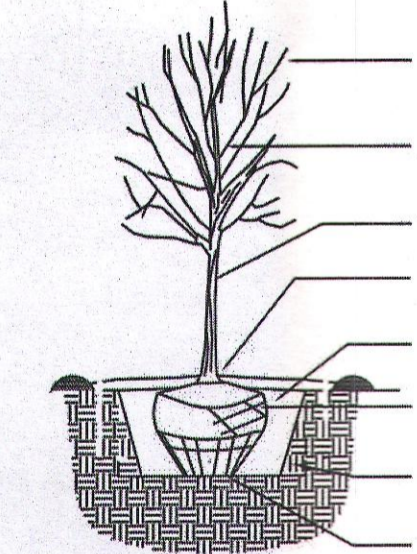
Total Landscape Coverage=34,637 sf

**MATERIALS LEGEND**

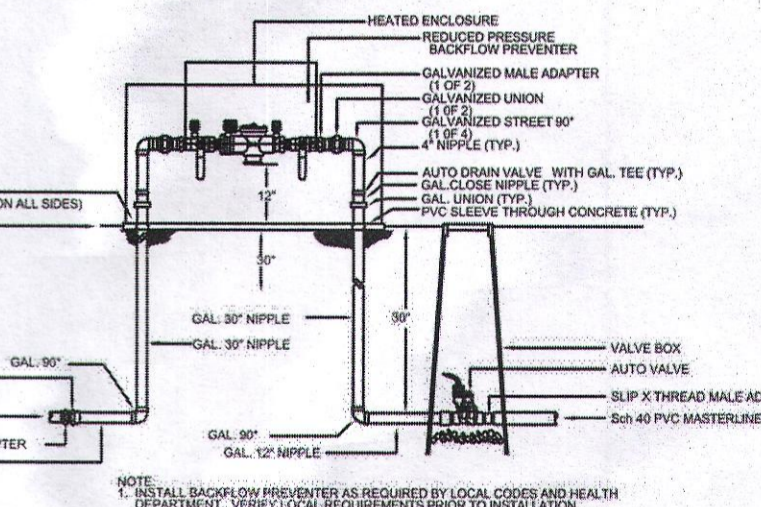


LANDSCAPING WITHIN THIS AREA TO BE INSTALLED & MAINTAINED BY TCA/STONE AGE GYM

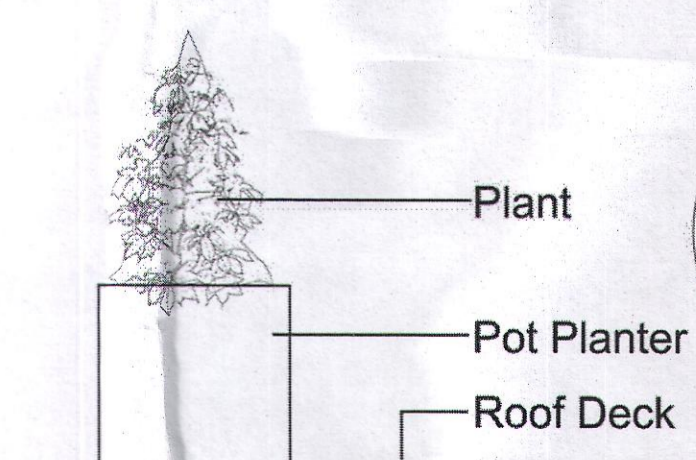
LANDSCAPING WITHIN THIS AREA TO BE INSTALLED & MAINTAINED BY PALADIN SELF-STORAGE



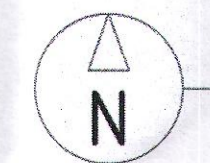
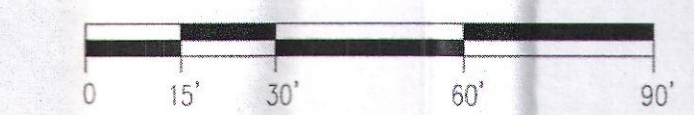
TREE PLANTING DETAIL



RP BACKFLOW/MASTER VALVE DETAIL



Pot Planter Detail



1/1001 landscape plan 1"=30'

growing better Up Heads LANDSCAPE CONTRACTORS www.headsuplandscape.com

PO Box 10587 Albuquerque, NM 87184 505.898.9815 505.898.2105 (fax) design@hulc.com

A NEW FACILITY FOR:



STONE AGE CLIMBING GYM

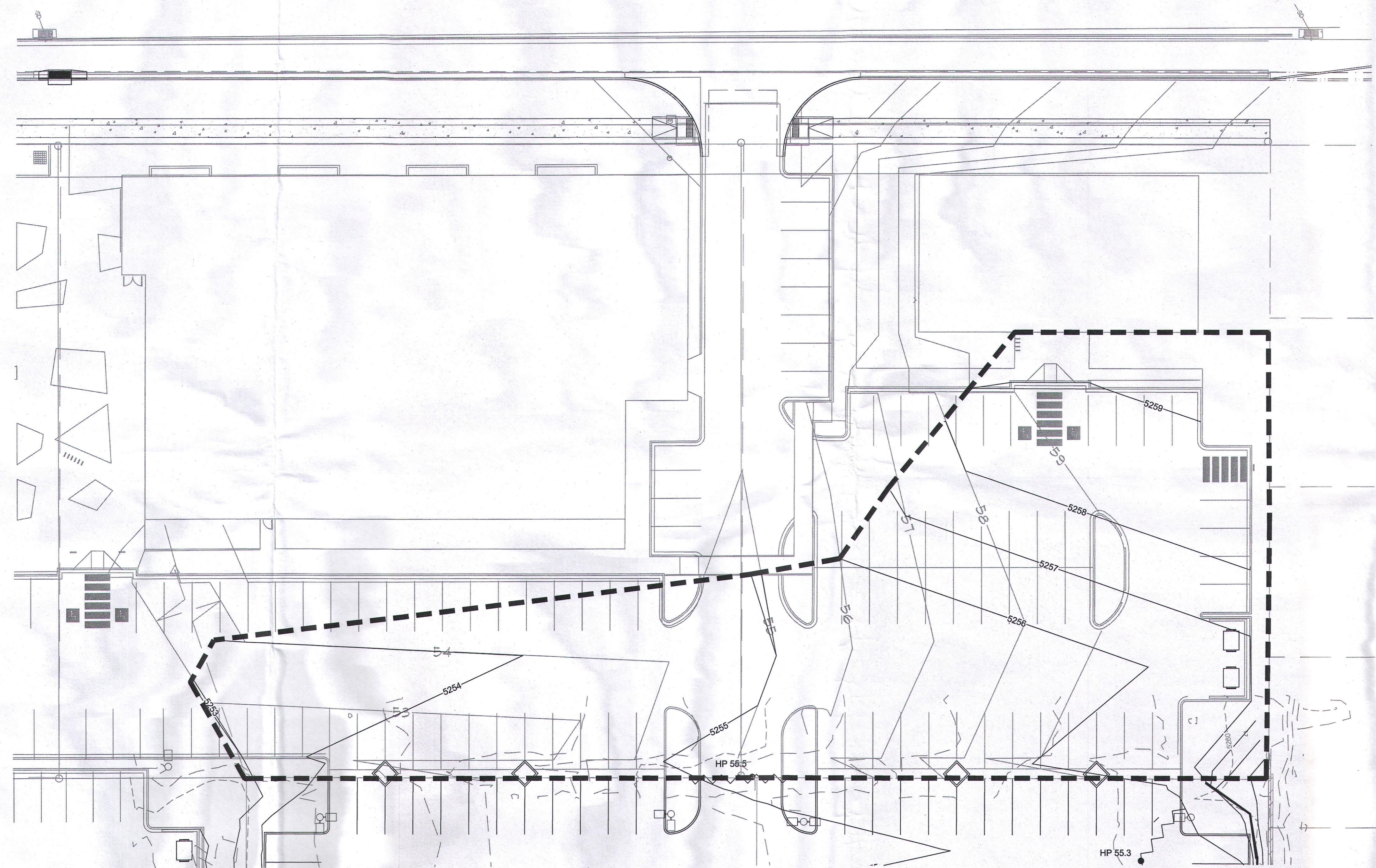
6200 ALAMEDA BOULEVARD NE ALBUQUERQUE, NM

Overall Landscape Plan date: 8-23-19 sheet: L001



NAME: L:\Active Projects\03770 Finley Signal Development\3. DWG\Sheets\03770 GRADING PLAN\_recover.dwg PLOT DATE: Feb 06, 2020 11:56am

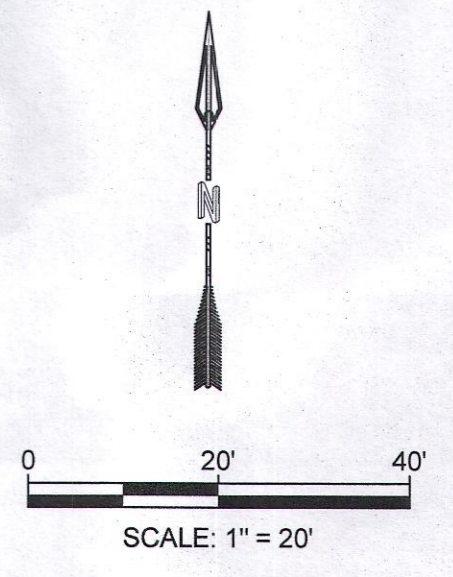
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- GENERAL NOTES:**
1. NOT FOR CONSTRUCTION.
  2. ALL OTHER CONDITIONS OF THE PREVIOUSLY APPROVED GRADING PLAN APPLY. ONLY THE GRADING WITHIN THE LIMITS SHOWN HAS BEEN REVISED.

**LEGEND**

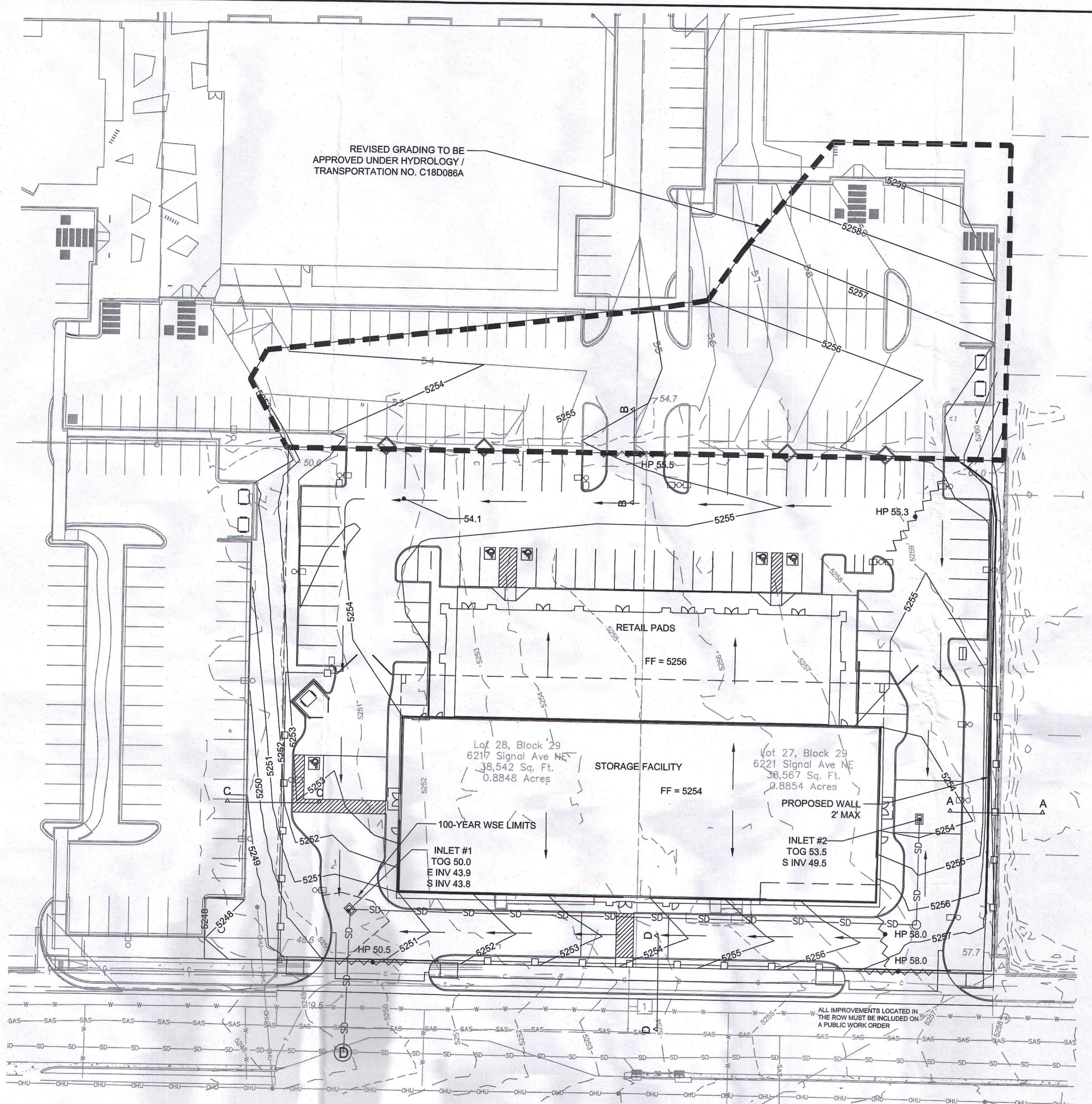
- PROPERTY BOUNDARY
- ~ HIGH POINT
- - - - - PROPOSED CONTOUR LINES
- - - - - EXISTING CONTOUR LINES
- - - - - LOT 4-A AND 6-A CONTOURS
- - - - - REVISED GRADING LIMITS



	DESIGNED <b>DM</b>	DRAWN <b>DM</b>	CHECKED <b>JS</b>	DATE <b>2.06.2020</b>	REVISION
<b>RESPEC</b> 5871 JEFFERSON STREET SUITE 103 ALBUQUERQUE, NEW MEXICO 87109 WATER & NATURAL RESOURCES WWW.RESPEC.COM 505.263.9718					
<p style="font-size: small;">THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p>					
SUBMITTED FOR:	<b>ADMINISTRATIVE AMENDMENT</b>				
SHEET TITLE:	<b>GRADING PLAN</b>				
PROJECT NAME:	<b>TIN CAN ALLEY A CONTAINER DEVELOPMENT</b>				
SHEET NUMBER:	<b>C-100</b>				

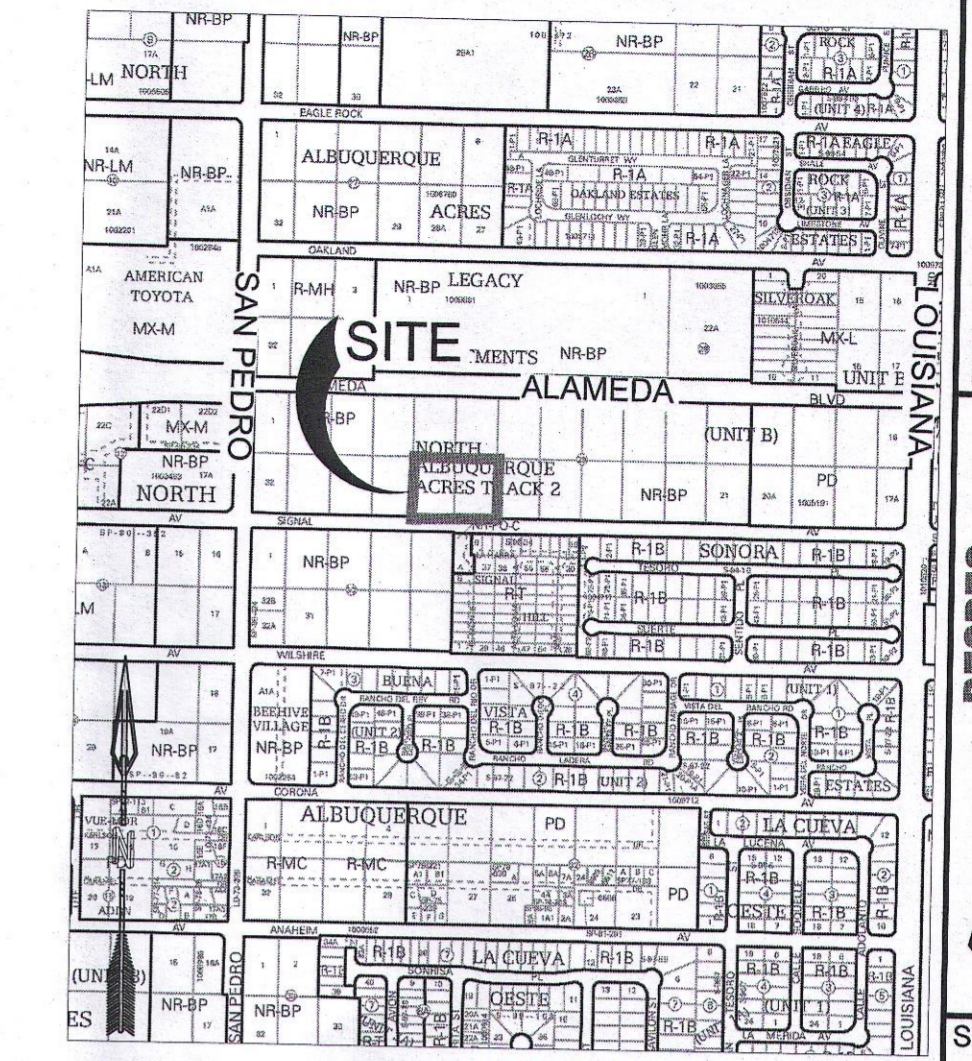
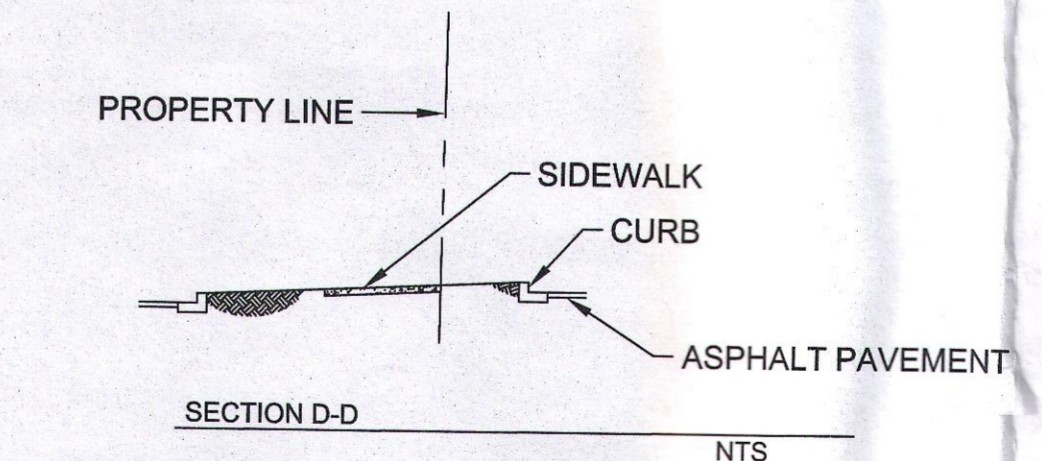
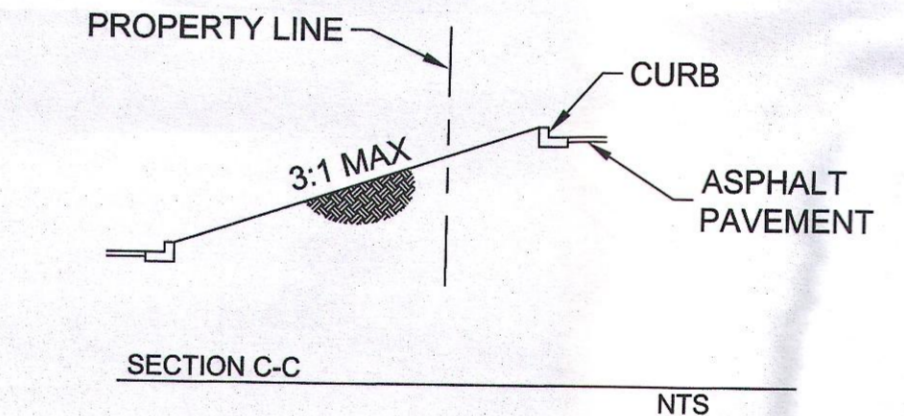
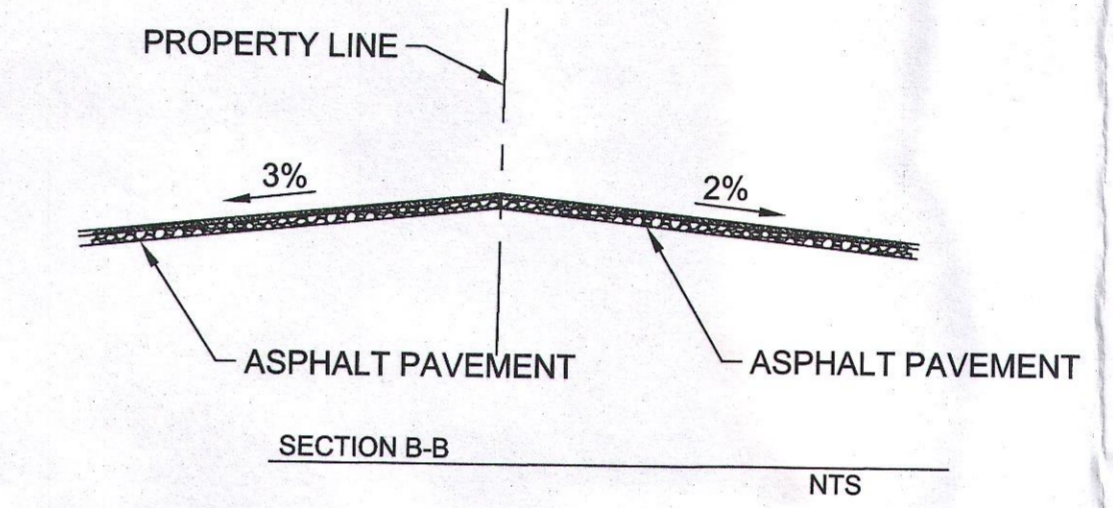
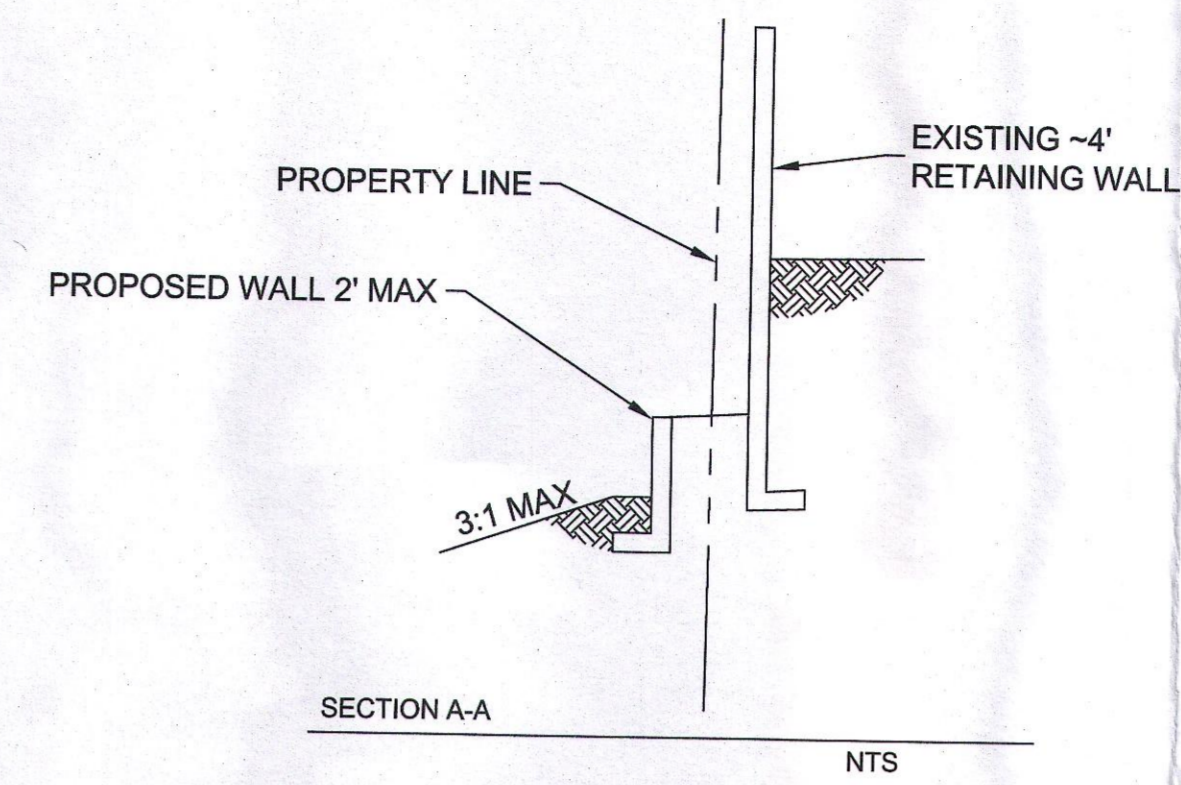


NAME: L:\Active Projects\03770 Finley Signal Development\3\_DWG\Sheets\03770 GRADING PLAN\_recover.dwg PLOT DATE: Jan 31, 2020 8:08am

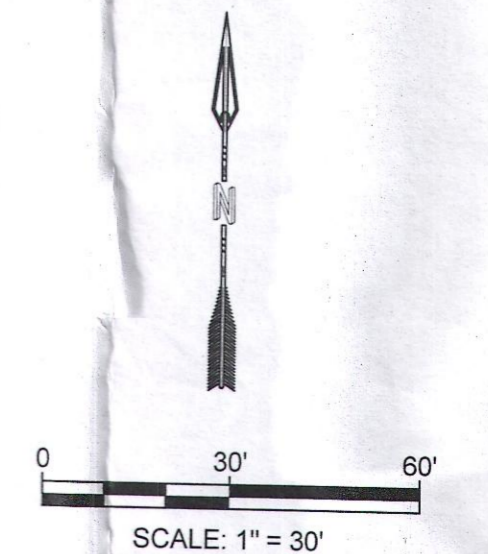


ACS Monument "9\_C18"  
 NAD 1983 CENTRAL ZONE  
 X=1542501.428  
 Y=1521497.624  
 Z=5232.47 (NAVD 1988)  
 G-C=0.999664563  
 Mapping Angle=-0°11'19.69"

- GENERAL NOTES**
- NOT FOR CONSTRUCTION, INFORMATION ONLY.
  - ALL WORK WITHIN RIGHT-OF-WAY TO BE CONSTRUCTED WITH WORK ORDER.



- LEGEND**
- PROPERTY BOUNDARY
  - HIGH POINT
  - HIGH POINT ELEVATION
  - FLOW LINE
  - PROPOSED ELEVATION
  - EXISTING ELEVATION
  - PROPOSED WALL 2 FEET MAX
  - PROPOSED CONTOUR LINES
  - EXISTING CONTOUR LINES
  - LOT 4-A AND 6-A CONTOURS
  - PROPOSED DROP INLET
  - PROPOSED STORM DRAIN MANHOLE
  - REVISED GRADING LIMITS



DESIGNED: DM	DRAWN: DM	CHECKED: JS	DATE: 1.31.2020
<p>RESPEC          5971 IBERROSE STREET SUITE 101          ALBUQUERQUE, NEW MEXICO 87109          WATER &amp; NATURAL RESOURCES          WWW.RESPEC.COM 505-255-9718</p>			
<p>STAMP            NOT FOR CONSTRUCTION          THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p>			
<p>PROJECT NAME:  <b>SIGNAL SELF STORAGE AND RETAIL DEVELOPMENT</b></p>			
<p>SHEET TITLE:  <b>CONCEPTUAL GRADING PLAN</b></p>			
<p>SUBMITTED FOR:  <b>DRB SITE PLAN</b></p>			
<p>SHEET NUMBER:  <b>C-200</b></p>			



\* 100 YEAR RAINFALL TABLE  
 RAINFALL TYPE=13 RAIN QUARTER=0.0 IN  
 RAIN ONE=2.14 IN RAIN SIX=2.60 IN  
 RAIN DAY=3.10 IN DT=0.05 HR

\*S EXISTING CONDITIONS  
 \*S COMPUTE HYD BASIN EX  
 COMPUTE NM HYD ID=1 HYDNO=101 DA=0.002765922722 SQ MI  
 PER A=0 PER B=34 PER C=16 PER D=50  
 TP=-0.133333333 RAIN=-1  
 PRINT HYD ID=1 CODE=20

\*S PROPOSED CONDITIONS  
 \*S COMPUTE HYD BASIN 1  
 COMPUTE NM HYD ID=2 HYDNO=102 DA=0.002314046 SQ MI  
 PER A=0 PER B=3.6 PER C=3.6 PER D=92.8  
 TP=-0.133333333 RAIN=-1  
 PRINT HYD ID=2 CODE=20

\*S PROPOSED CONDITIONS  
 \*S COMPUTE HYD BASIN 2  
 COMPUTE NM HYD ID=3 HYDNO=103 DA=0.0004518767218 SQ MI  
 PER A=0 PER B=9.0 PER C=9.0 PER D=81.9  
 TP=-0.133333333 RAIN=-1  
 PRINT HYD ID=3 CODE=20

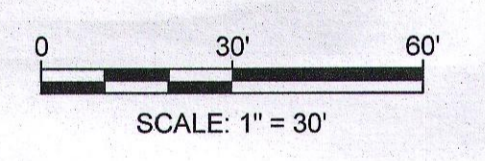
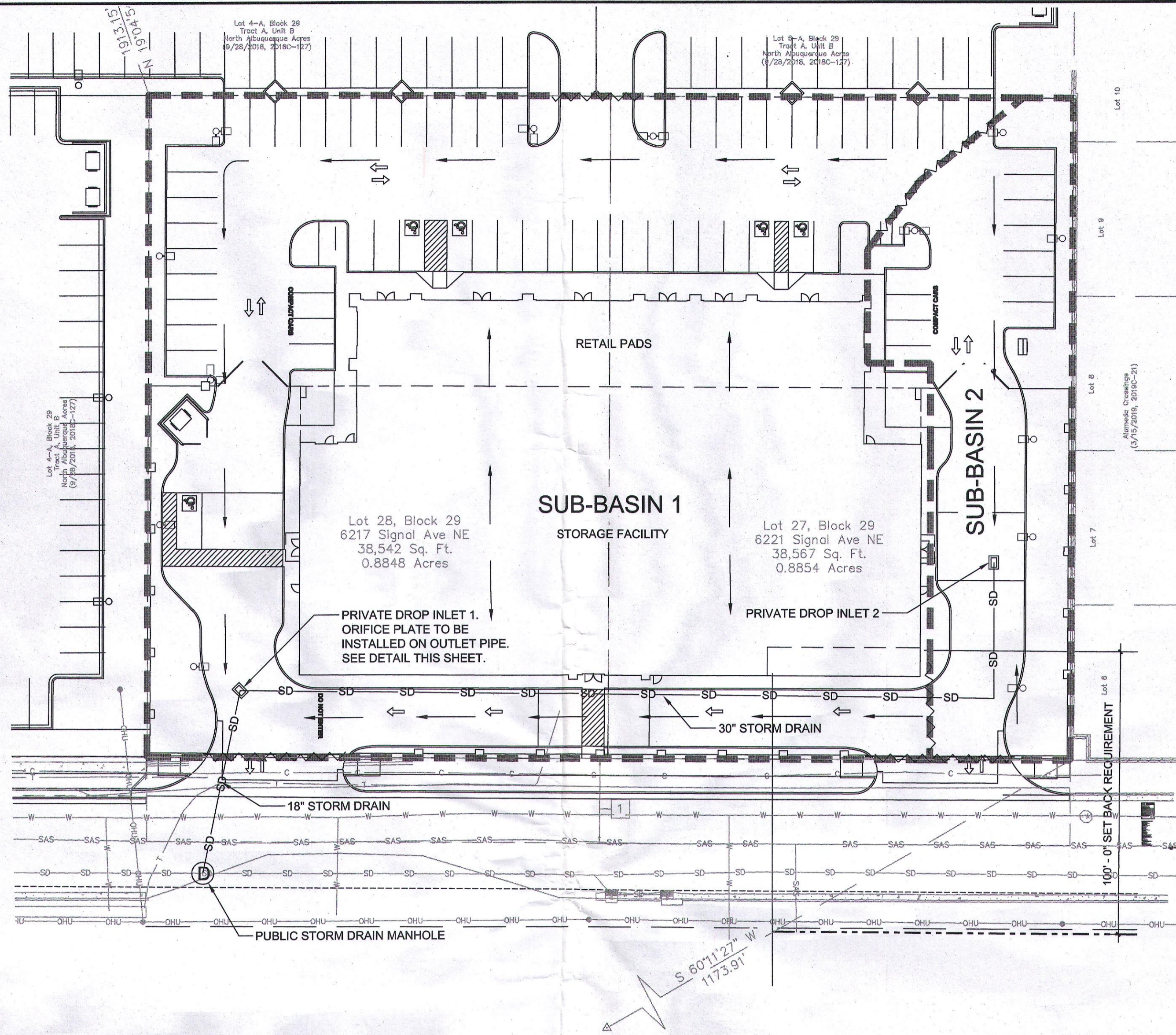
ADD HYD ID=4 HYD=104 ID I=2 II=3  
 PRINT HYD ID=4 CODE=10

\*S SUBBASIN A STORAGE

ROUTE RESERVOIR	ID=9 HYD=STRG.III INFLOW ID=4 CODE=1	OUTFLOW(CFS)	STORAGE(AC FT)	ELEV(FT)
		0.001	0	0.0
		1.23	0.000193568	0.5
		2.81	0.000612514	1.0
		3.77	0.001482217	1.5
		4.54	0.003028054	2.0
		5.19	0.005475405	2.5
		5.77	0.008448638	3.0
		6.29	0.011425252	3.5
		6.78	0.014399612	4.0
		6.94	0.025320689	4.5

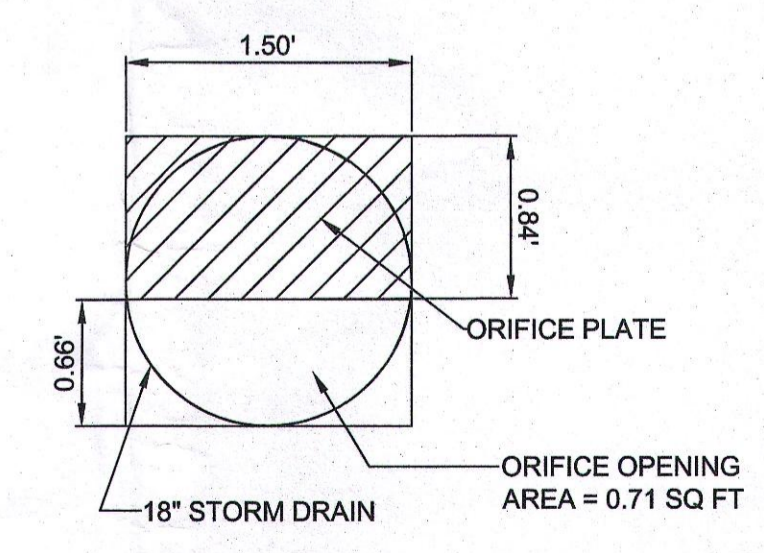
PRINT HYD ID=9 CODE=20  
 FINISH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID	TO ID	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE NOTATION
*S*	PROJECT NAME: Finley Signal Development									
*S*	DATE: August 25, 2019									
*S*	INPUT FILE NAME: FinleySignal									
*S*	OUTPUT FILE NAME: FinleySignal.out									
*S*	RAINFALL TYPE=13								RAIN24= 3.100	
*S*	*S EXISTING CONDITIONS									
*S*	*S COMPUTE HYD BASIN EX									
*S*	COMPUTE NM HYD	101.00	- 1	0.00277	6.90	0.286	1.94076	1.500	3.896 PER IMP=	50.00
*S*	*S PROPOSED CONDITIONS									
*S*	*S COMPUTE HYD BASIN 1									
*S*	COMPUTE NM HYD	102.00	- 2	0.00231	7.12	0.337	2.72987	1.500	4.806 PER IMP=	92.80
*S*	*S PROPOSED CONDITIONS									
*S*	*S COMPUTE HYD BASIN 2									
*S*	COMPUTE NM HYD	103.00	- 3	0.00045	1.34	0.061	2.53854	1.500	4.648 PER IMP=	81.98
*S*	ADD HYD	104.00	2 & 3	4	8.46	0.398	2.69843	1.500	4.780	
*S*	*S SUBBASIN A STORAGE									
*S*	ROUTE RESERVOIR STRG.III	4	9	0.00277	6.86	0.413	2.79718	1.550	3.876 AC-FT=	0.020
*S*	FINISH									



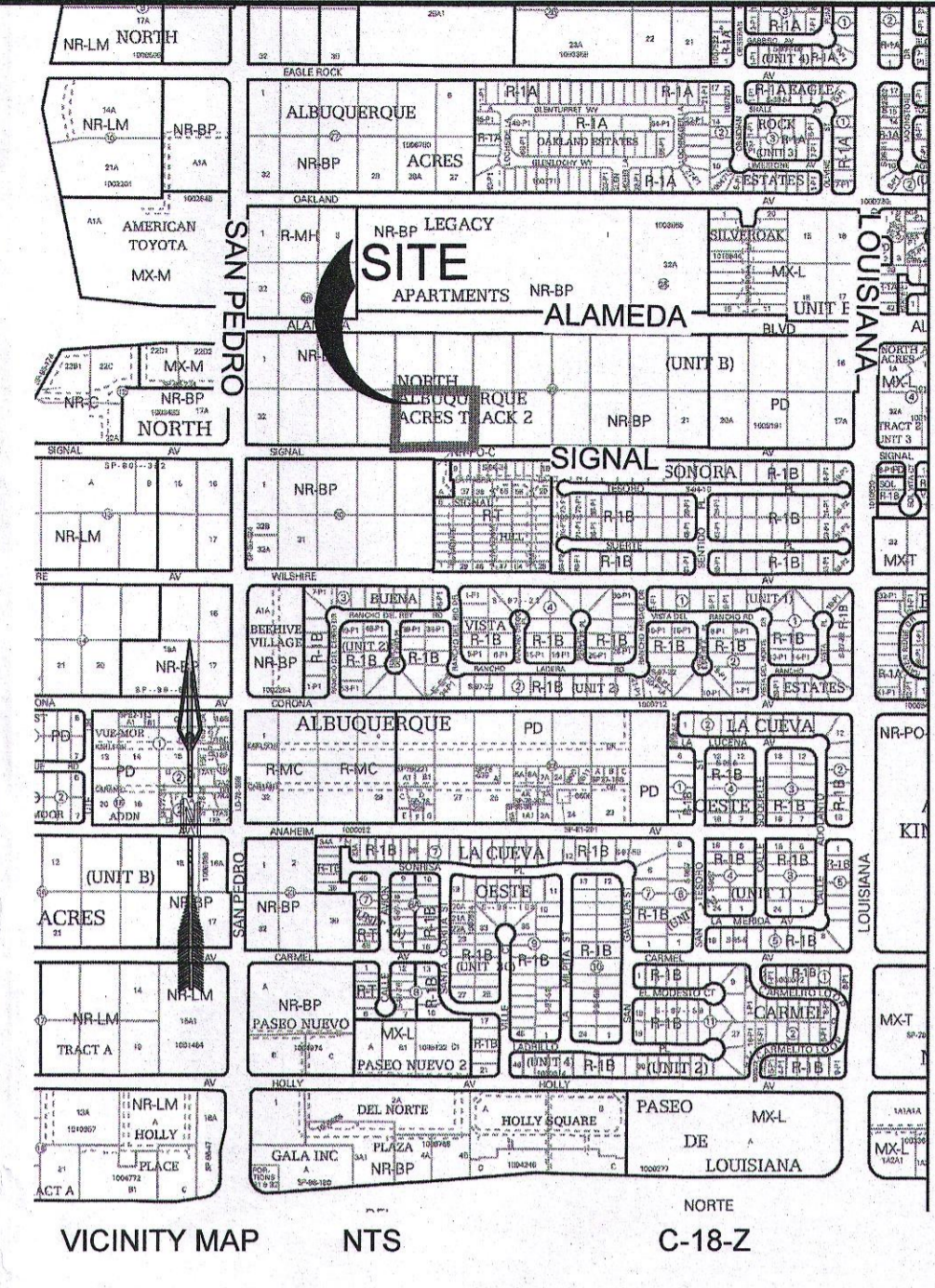
**GENERAL NOTES**

- NOT FOR CONSTRUCTION INFORMATION ONLY.
- THIS SITE IS WITHIN THE NORTH ALBUQUERQUE ACRES MASTER DRAINAGE PLAN. THE ALLOWABLE DISCHARGE FOR THIS SITE IS 6.76 CFS.
- ORIFICE EQUATION:  $Q=C_d A \sqrt{2GH}^{0.5}$



**LEGEND**

- PROPERTY BOUNDARY
- SD-SD PROPOSED STORM DRAIN
- SD-SD EXISTING STORM DRAIN
- FLOW LINE
- BASIN BOUNDARY LINE
- HIGH POINT
- PROPOSED PRIVATE STORM DRAIN DROP INLET
- ⊙ PROPOSED STORM DRAIN MANHOLE



**BACKGROUND**

LOT 27 AND 28, TRACT A, BLOCK 29, NORTH ALBUQUERQUE ACRES CONTAINS APPROXIMATELY 1.77 TOTAL ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED ON SIGNAL AVE BETWEEN SAN PEDRO DRIVE AND LOUISIANA BOULEVARD. THE SITE IS CURRENTLY DEVELOPED AS TWO RESIDENTIAL PROPERTIES. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN ON THE SITE. THIS AREA IS INCLUDED IN THE NORTH ALBUQUERQUE ACRES MASTER DRAINAGE PLAN (NAAMPD).

**METHODOLOGY**

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE TECHNICAL STANDARDS. AHYMO WAS USED, BASED ON THE 100-YR, 24-HR STORM EVENT. TO CALCULATE PEAK FLOW RATES IN ORDER TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THIS SITE IS A REDEVELOPMENT, SO THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.28". ALL HYDROLOGIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

**EXISTING CONDITIONS**

CURRENTLY TWO RESIDENTIAL BUILDINGS ARE LOCATED ON THE PROPERTY. IN GENERAL, THE AREA SLOPES FROM NORTHEAST TO SOUTHWEST AT VARYING SLOPES BETWEEN 2% - 4%. THE STORM WATER RUNOFF GENERATED BY THE SITE CURRENTLY FREELY DISCHARGES INTO THE SIGNAL AVENUE RIGHT-OF-WAY AND FLOWS WEST ALONG THE NORTHERN EDGE OF PAVEMENT. PER THE NAAMPD, THIS SITE HAS AN ALLOWABLE DISCHARGE RATE OF 3.82 CFS/AC. THEREFORE, THE ALLOWABLE DISCHARGE IS 6.76 CFS.

**PROPOSED CONDITIONS**

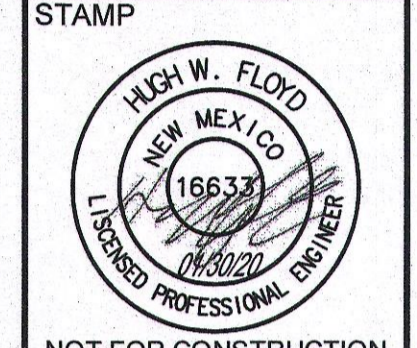
THE PROPOSED DEVELOPMENT WILL CONSIST OF ASPHALT AND CONCRETE PAVING FOR PARKING AND DRIVING SURFACES WITH A LARGE SELF STORAGE FACILITY AND RETAIL BUILDING. THERE WILL BE TWO NEW ACCESS DRIVEWAYS TO SIGNAL AVE AND ALSO A NEW DRIVEWAY ACCESS TO THE MIXED USE DEVELOPMENT TO THE NORTH. THE PROPERTY HAS BEEN SPLIT INTO TWO SUB-BASINS.

SUB-BASIN 1 ENCOMPASSES A MAJORITY OF THE PROPERTY HAVING AN AREA OF 1.48 ACRES AND GENERATING 7.12 CFS OF STORM WATER RUNOFF. THIS SUB-BASIN CONSISTS PRIMARILY OF THE RUNOFF GENERATED BY THE PARKING LOT AND ROOF RUNOFF. FLOWS GENERATED BY SUB-BASIN 1 WILL FLOW, IN GENERAL, FROM THE NORTHEAST TO SOUTHWEST ALONG THE DRIVE AISLE. RUNOFF DRAINS TO DROP INLET 1 THAT IS LOCATED AT THE SOUTHWEST CORNER OF THE PROPERTY. AN ORIFICE PLATE WILL BE INSTALLED ON THE OUTLET PIPE OF INLET 1. THE ORIFICE PLATE COMBINED WITH THE STORAGE IN THE INLET, STORM DRAIN, AND PARKING LOT WILL REDUCE THE FLOW RATE DISCHARGING FROM THE SITE TO BE COMPLIANT WITH THE NAAMPD. ONCE RUNOFF EXITS THE THE DROP INLET, WATER FLOWS TO THE SOUTH INTO THE EXISTING STORM DRAIN LOCATED ON SIGNAL AVENUE. THE FLOW RATE LEAVING THE PROPERTY IS 6.76 CFS THROUGH THIS STORM DRAIN OUTFALL.

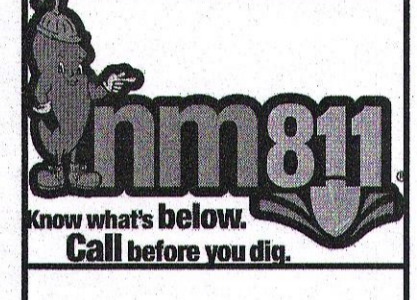
SUB-BASIN 2 IS LOCATED ON THE EAST SIDE OF THE PROPERTY. IT HAS AN AREA OF 0.29 ACRES AND GENERATES 1.34 CFS OF STORM WATER RUNOFF. THIS SUB-BASIN CONSISTS OF A SMALL PORTION OF THE PARKING LOT ON THE EAST SIDE OF THE BUILDING. THE PARKING LOT WITHIN SUB-BASIN 2 WILL FLOW INTO DROP INLET 2 THE WATER WILL THEN FLOW IN A STORM DRAIN TO INLET 1 AT THE SOUTH WEST CORNER OF THE SITE.

THERE IS NO WATER QUALITY STORAGE PROPOSED FOR THIS SITE. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE TOTAL STORM WATER QUALITY VOLUME. THE SITE HAS AN IMPERVIOUS AREA OF 70,154 SQ FT. THEREFORE, THE REQUIRED WATER QUALITY VOLUME IS 1,520 CF. THE PAYMENT AMOUNT IS: 1,520 CF X \$8/CF = \$12,160

DESIGNED DM	DRAWN DM	CHECKED JS	DATE
			1.31.2020



NOT FOR CONSTRUCTION  
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PROJECT NAME:  
**SIGNAL SELF STORAGE AND RETAIL DEVELOPMENT**

SHEET TITLE:  
**CONCEPTUAL DRAINAGE PLAN**

SUBMITTED FOR:  
**DRB SITE PLAN**

SHEET NUMBER:  
**C-100**