



PROJECT PHASING:

BUILDINGS ONE, TWO, AND THREE WILL BE CONSTRUCTED AS A SINGLE PHASE. BUILDING FOUR WILL BE A SEPARATE PHASE UNLESS A USER IS DETERMINED PRIOR TO BEGINNING CONSTRUCTION OF THE OTHER BUILDINGS. THE PARKING, LANDSCAPING AND OTHER SITE IMPROVEMENTS FOR BUILDING 4 WILL BE PART OF THE FIRST PHASE WITH A PAD SITE PREPARED FOR THE BUILDING.

ADMINISTRATIVE AMENDMENT
 FILE # 57-2018-00227 PROJECT # PR-2018-001346
 Per sheet A204:
 1. New roof line w/sky/light
 2. New signage
 E. B. [Signature] 13 Feb 2020
 APPROVED BY DATE

FIRE DATA:

CONSTRUCTION TYPE:	SEE PLAN
BUILDING AREAS:	SEE PLAN
FIRE FLOW REQUIREMENT:	2375 GPM
	IFC TABLE B105.1(2)
BUILDING 1:	1500 X 25 = 375 GPM
BUILDING 2:	2750 X 25 = 687.5 GPM
BUILDING 3:	3500 X 25 = 875 GPM
BUILDING 4:	1750 X 25 = 437.5 GPM
FIRE HYDRANTS REQUIRED:	3 FOR FIRE FLOW-3 FOR DISTANCE
	IFC TABLE C102.1
AVERAGE SPACING BTWN HYDRANTS:	450 FT
	IFC TABLE C102.1
FIRE HYDRANTS PROVIDED:	3 NEW
ALLOWABLE DISTANCE FROM HYDRANT TO FARTHEST POINT ON BLDG:	400 FT
	IFC 507.5.1

FIRE NOTES:

1. ALL APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE OR OTHER IMPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPROVED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
 2. FIRE APPARATUS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.

SITE DATA

SITE LOCATION:	SE CORNER SAN PEDRO AND ALAMEDA NE ALBUQUERQUE, NM
LEGAL DESCRIPTION:	REPLATED LOTS 1-A, 2-A, 4-A, 6-A NORTH ALBUQUERQUE ACRES
UPC NUMBER:	TBD PENDING REPLAT
ZONING:	NR-BP
ZONE ATLAS PAGE:	
PREVIOUS DRB APPROVAL:	NONE
TOTAL LOT AREA:	228,371.658 SF (9.24 AC)
LOT 1-A:	43,564.08 SF (1,000 AC)
LOT 2-A:	67,294.9 SF (1,544 AC)
LOT 4-A:	83,122.59 SF (1,908 AC)
LOT 6-A:	34,390.083 SF (0.789 AC)
GROSS BUILDING AREA:	44,524 SF
BUILDING 1: RESTAURANT:	3069 SF
BUILDING 2: CONTAINER DEVELOPMENT:	10,820 SF
BUILDING 3: CLIMBING GYM:	26,204 SF
BUILDING 4: PAD SITE:	4500 SF
BUILDING FOOTPRINT AREA:	38,000 SF
BUILDING 1: RESTAURANT:	3069 SF
BUILDING 2: CONTAINER DEVELOPMENT:	10,820 SF
BUILDING 3: CLIMBING GYM:	18,550 SF
BUILDING 4: PAD SITE:	4500 SF

NET LOT AREA (LOT AREA-BLD. FOOTPRINT): 181,471 SF

FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA): 19.5 %

PARKING CALCULATIONS: TOTAL SPACES PROVIDED: 386

BUILDING 1: RESTAURANT: 8 PER 1000 SF	SPACES PROVIDED: 70
3000 SF = 24 SPACES REQUIRED	
BUILDING 2: CONTAINER DEVELOPMENT (RESTAURANTS & TAPROOM)	
RESTAURANT & TAPROOM: 8 PER 1000 SF REQ'D.	
10,820 SF = 87 SPACES REQUIRED	SPACES PROVIDED: 121
BUILDING 3: CLIMBING GYM (HEALTH CLUB) 2.5 SP. PER 1000 SF. REQUIRED	
26,204 SF = 66 SPACES REQUIRED	SPACES PROVIDED: 134
BUILDING 4: PAD SITE (RESTAURANT) 8 PER 1000	
4500 SF = 36 SPACES REQUIRED	SPACES PROVIDED: 61

ELEC. VEHICLE PARKING REQUIRED: 2% OF 386=8 SPACES TOTAL SPACES PROVIDED: 8

ACCESSIBLE PARKING REQUIRED: 8 INCL. 2 VAN TOTAL SPACES PROVIDED: 8

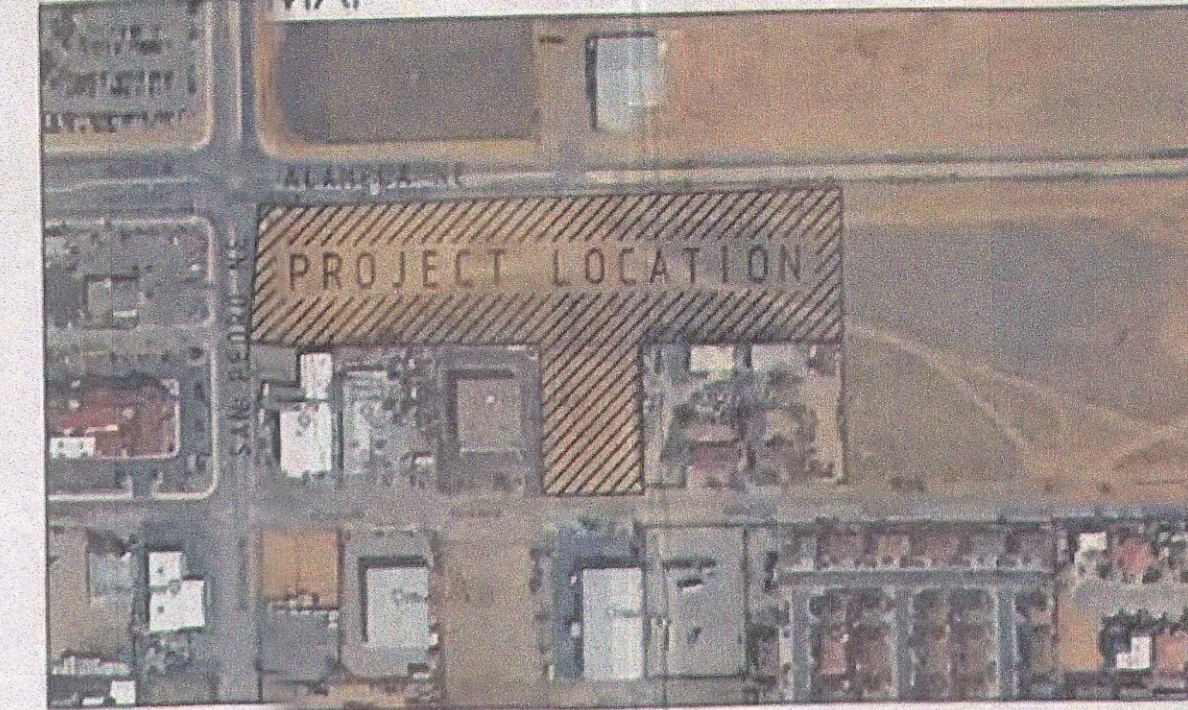
MOTORCYCLE PARKING REQUIRED: 6 SPACES TOTAL SPACES PROVIDED: 8

BICYCLE PARKING REQUIRED: 10% OF PARKING REQ.=39 TOTAL SPACES PROVIDED: 30

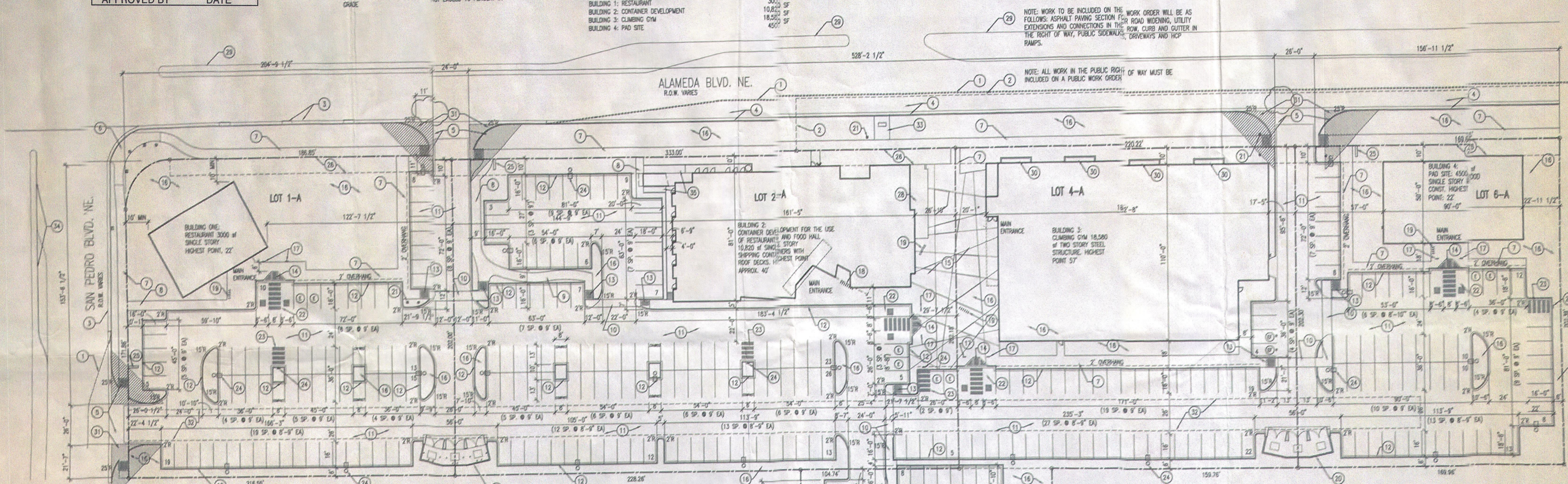
* EXTEND CONDUIT TO THIS PARKING SPACE FOR FUTURE ELEC. CHARGING STATION

NOTE: REFER TO SKETCH PLAT PROJECT NUMBER 1000682.

VICINITY MAP

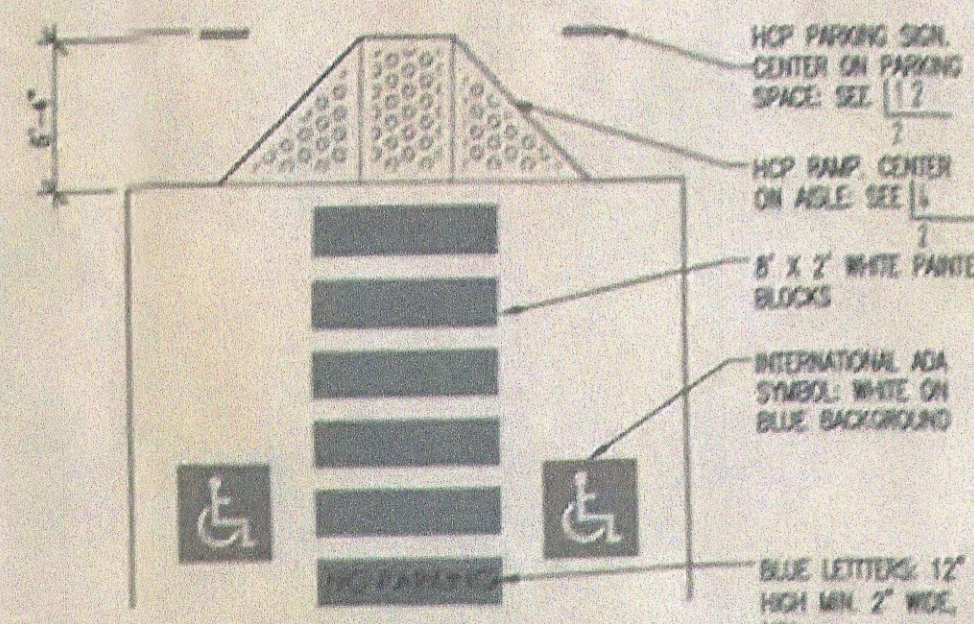


joesicgole architect
 418 248 8711
 1001 1st St NE
 Albuquerque, NM 87102
A MIXED USE DEVELOPMENT
 at alameda and san pedro ne. abq, nm

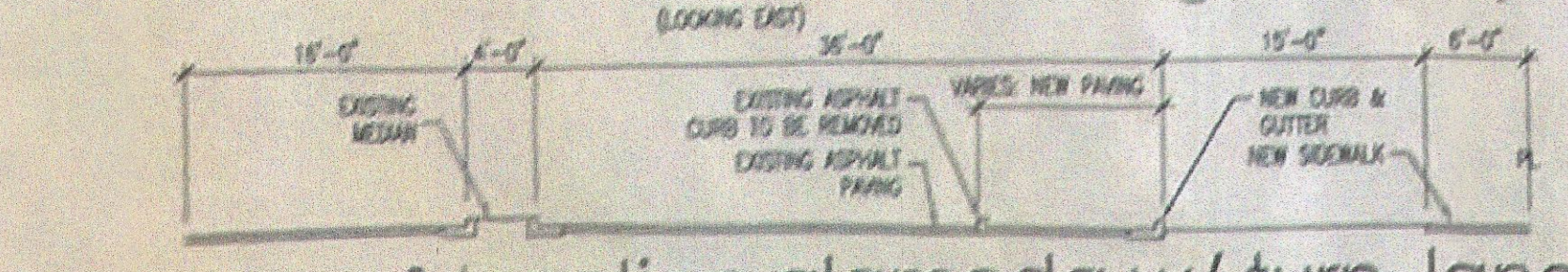


KEYED NOTES:

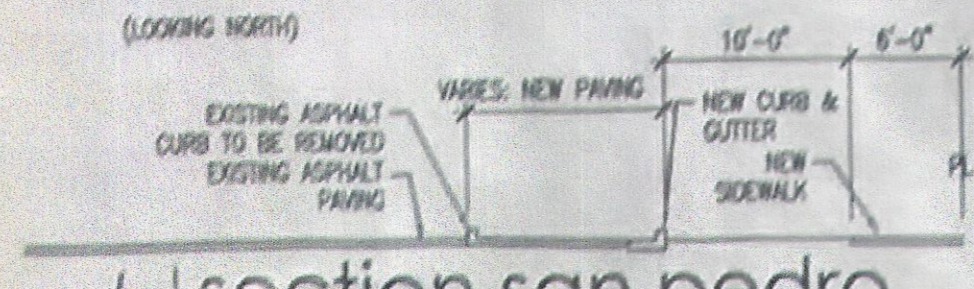
- EXISTING ASPHALT PAVING AND TEMPORARY ASPHALT CURBS FOR ROAD WIDENING AND IMPROVEMENTS. SEE CIVIL DRAWINGS.
- PROPERTY LINE TO BE ELIMINATED BY PLATING ACTION TO INCREASE R.O.W.
- EXISTING STREET IMPROVEMENTS TO REMAIN. ASPHALT PAVING, STORM SEWER INLETS, CURB AND GUTTER.
- NEW STREET IMPROVEMENTS INCLUDING PAVING SECTION AND CURB AND GUTTER TO BE INSTALLED AS PART OF THIS PROJECT. SEE CIVIL DRAWINGS.
- NEW CONCRETE DRIVE, CURB RETURNS, AND HCP RAMPS PER CITY OF ABQ. STD AS SHOWN IN DPM.
- EXISTING HCP. RAMP TO REMAIN.
- NEW 6" WIDE CONCRETE WALK W/ CONTROL JOINTS @ 5'-0"
- NEW 5" WIDE CONCRETE WALK W/ CONTROL JOINTS @ 5'-0"
- NEW 6" WIDE CONCRETE WALK W/ CONTROL JOINTS @ 5'-0"
- CONC. PAVING FLUSH W/ ASPHALT W/ CONTROL JOINTS @ 5'-0". SEE 11.0
- ASPHALT PAVING IN ACCORDANCE WITH SOILS REPORT.
- CONCRETE CURB AND GUTTER. SEE 15.0
- HANDICAP RAMP. SEE 16.0
- HANDICAP RAMP. SEE 16.0
- COLOR CONCRETE PAVING.
- LANDSCAPE BED, TYP.
- HCP. PARKING SIGN. SEE
- BIKE BACK ATTACHED TO BLDG.
- BIKE BACK. SEE 11.1
- DUMPSTER ENCLOSURE. SEE 11.1
- NEW FIRE HYDRANT.
- ACCESSIBLE PARKING SPACES AND ANGLE. SEE 12.0
- MOTORCYCLE PARKING SPACES (2 SPACES)
- POLE MOUNT PARKING LOT LIGHTING. SEE 15.0
- MONUMENT SIGN. SEE 11.0
- 10' PUBLIC UTILITY EASEMENT.
- CONCRETE BUMPER STOP.
- RECESSED PATIO.
- EXISTING MEDIAN.
- CONCRETE RAISED PLANTER.
- CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE CUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 20' ABQ. EASEMENT.
- 10' WIDE CONCRETE PAD EXTENDING FROM BACK OF CURB TO SIDEWALK FOR BUS STOP. BENCH BY OTHERS.
- EXISTING LEFT HAND TURN LANE TO BE EXTENDED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE TRAFFIC STUDY PREPARED BY TERRY BROWN DATED NOV. 26, 2018.
- SERVICE RAMP AND GUTTER.



2 | hcp parking detail
 1" = 1'-0"



3 | section alameda w/ turn lane
 1" = 10'



4 | section san pedro
 1" = 10'

LIST OF SHEETS:

- SHEET 1 SITE PLAN, SITE DATA
- SHEET 2 SITE DETAILS
- SHEET 3 CONCEPTUAL GRADING PLAN
- SHEET 4 SITE UTILITY PLAN
- SHEET 5 LANDSCAPE PLAN
- SHEET 6 OVERALL ELEVATIONS
- SHEET 7 BUILDING ONE & FOUR ELEVATIONS
- SHEET 8 BUILDING TWO (CONTAINER) ELEVATIONS
- SHEET 9 BUILDING THREE (CLIMBING GYM) ELEVATIONS
- SHEET 10 BUILDING THREE (CLIMBING GYM) ELEVATIONS
- SHEET 11

PROJECT NUMBER: PR-2018-001346

APPLICATION NUMBER: SA-2018-00110

is an infrastructure list required? yes () no. If yes, then a set of approved DRB plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL: DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

revisions:

NIA PARKS AND RECREATION DEPARTMENT DATE

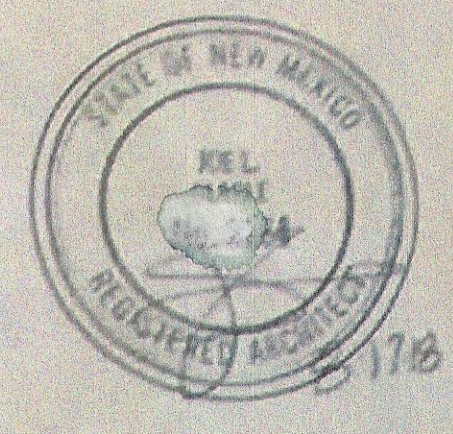
James J. Pfeiffer 2/12/2019
 CITY ENGINEER DATE

NIA ENVIRONMENTAL HEALTH DEPT. (CONDITIONAL) DATE

NIA SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

2/2 2/6/19
 Coh. Enforcement Date

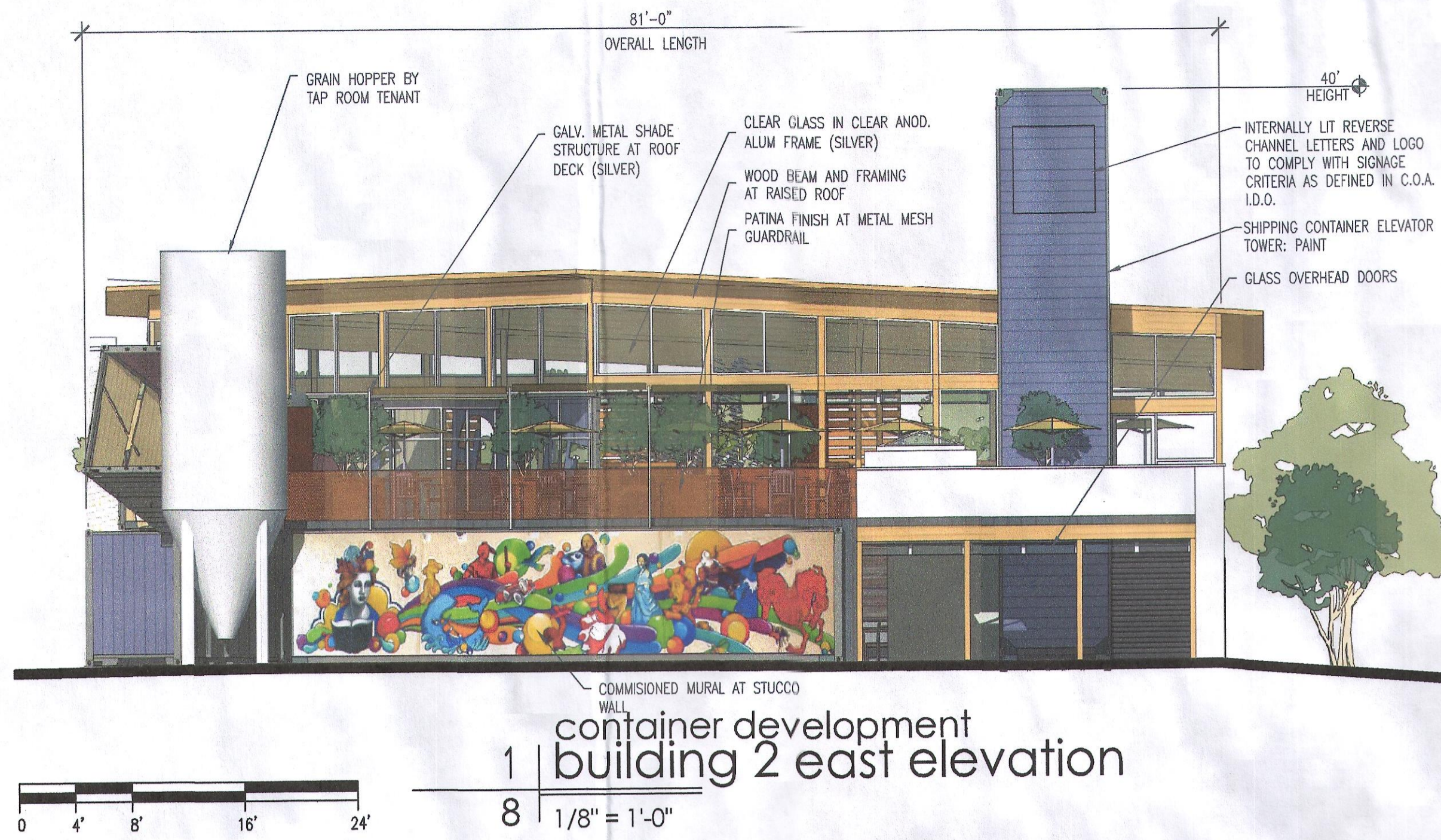


Overall Site Plan

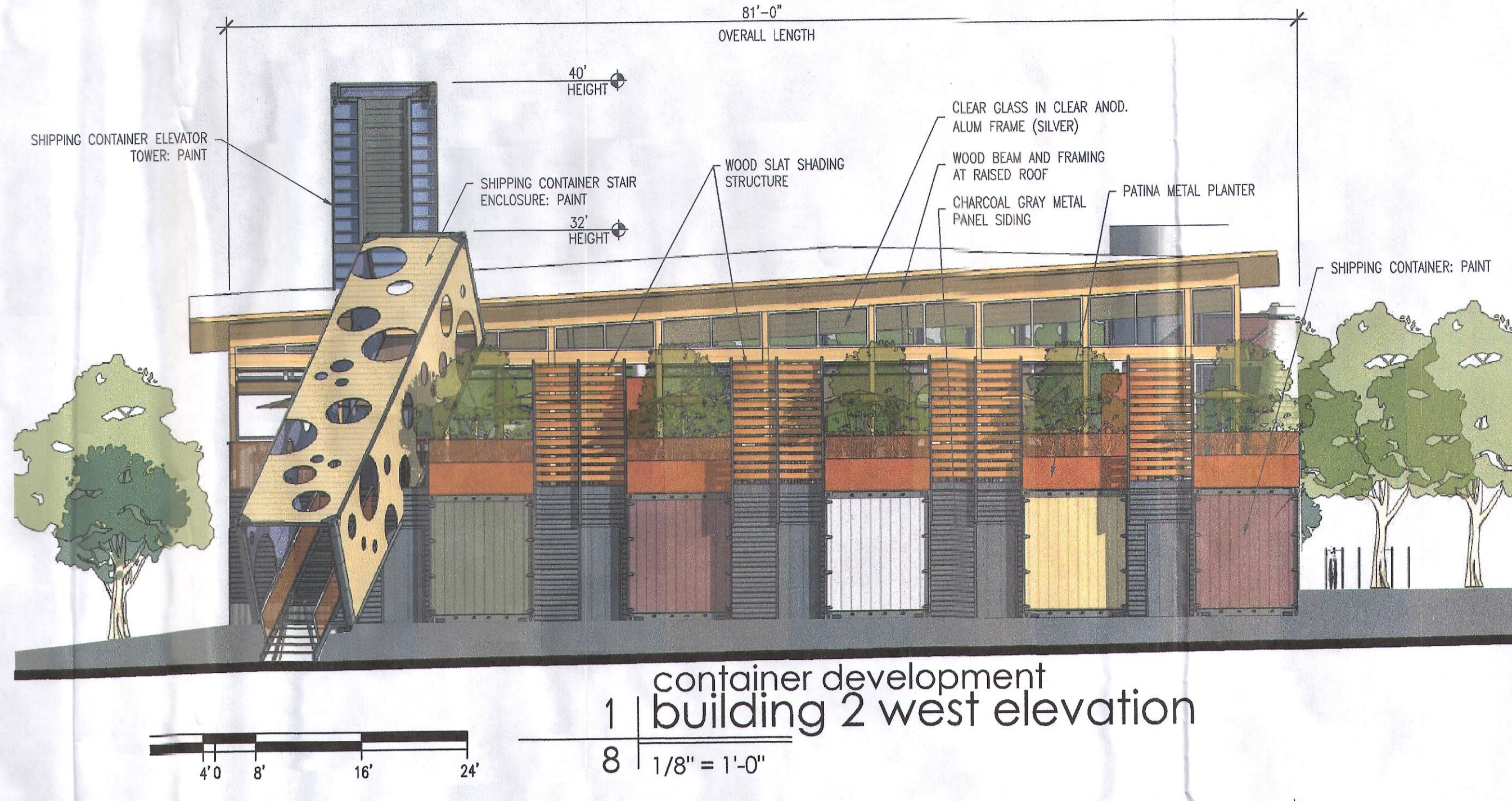
date: 11-15-18
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1 | site plan
 1" = 30'

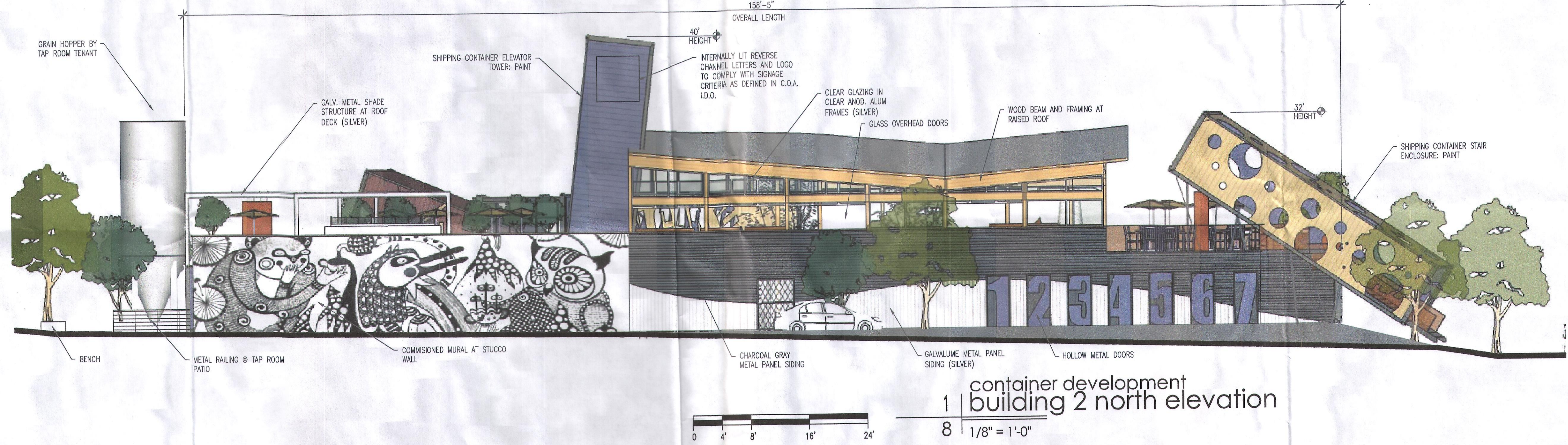
A MIXED USE
 DEVELOPMENT
 at alameda and
 san pedro ne.
 abq, nm



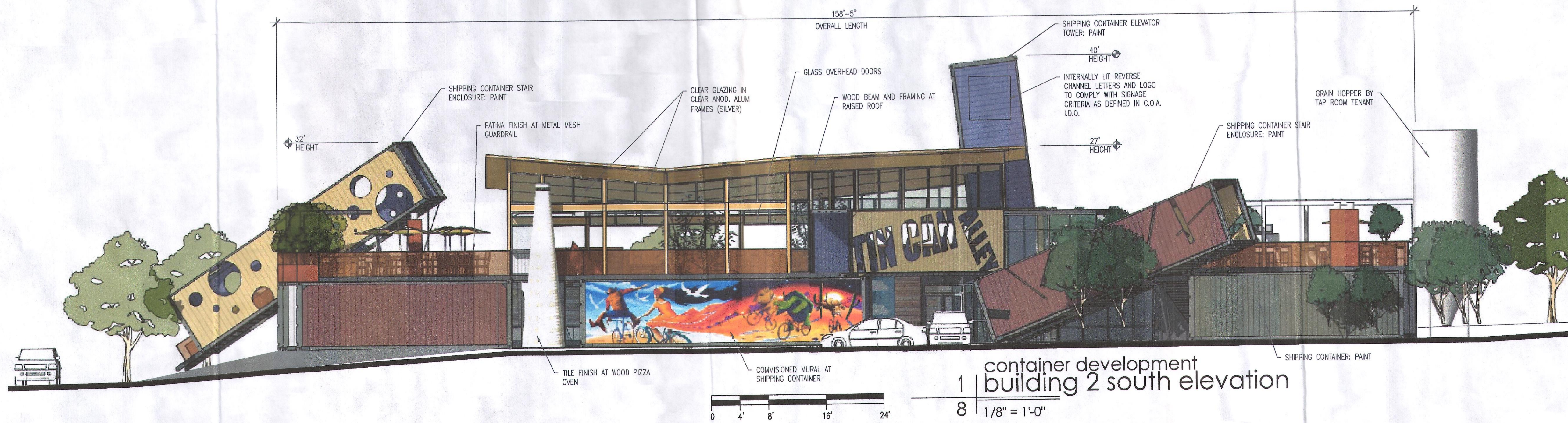
1 | container development building 2 east elevation



1 | container development building 2 west elevation



1 | container development building 2 north elevation

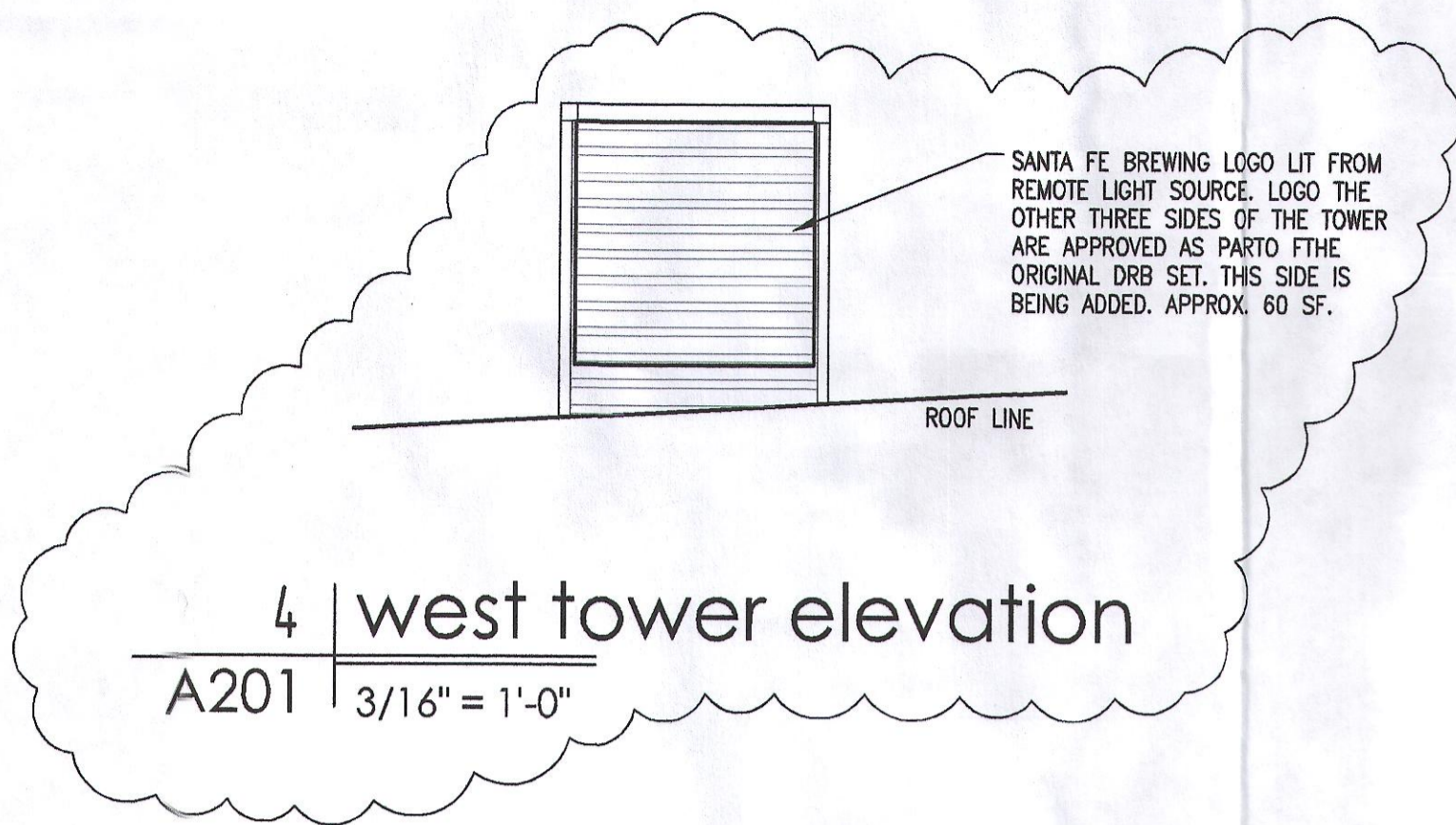


1 | container development building 2 south elevation

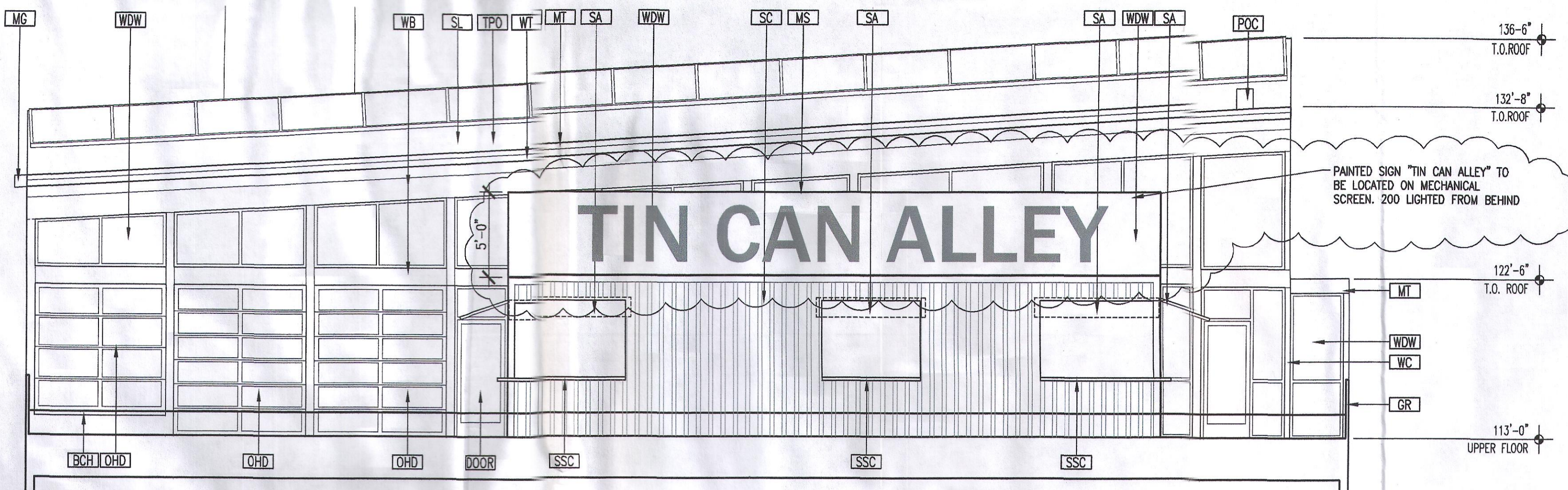
revisions:



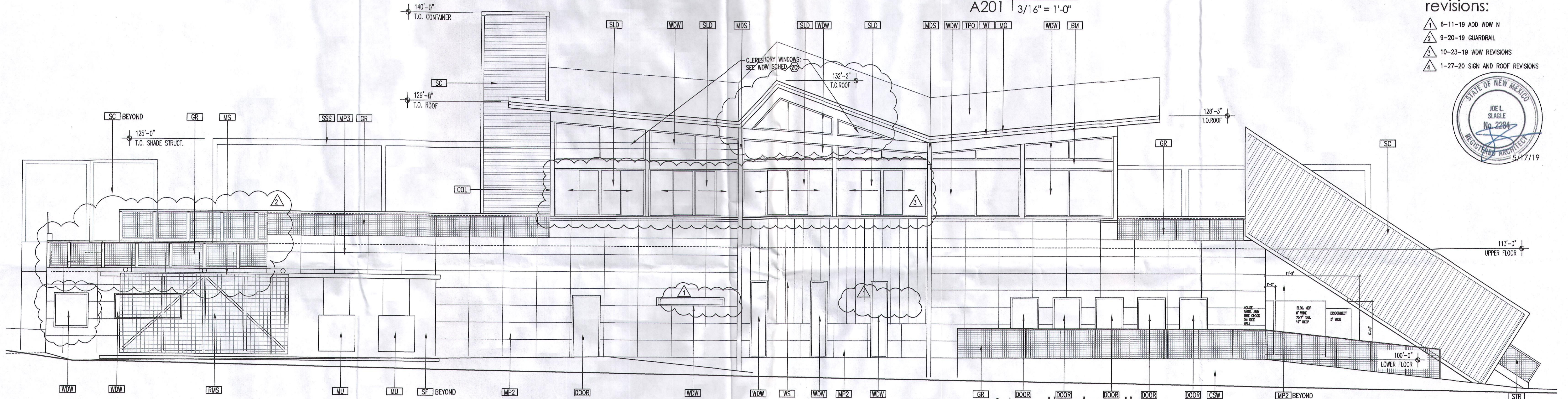
building 2 elevations
 date:
 8-17-18
 sheet:
 8



4 | west tower elevation
A201 | 3/16" = 1'-0"



1 | west elevation-upper level
A201 | 3/16" = 1'-0"



2 | north elevation
A201 | 3/16" = 1'-0"

metal panel spec:

METAL PANEL 1: MBCI 29 GA. CORRUGATED WALL PANEL GALVALUME FINISH. OR APPROVED EQUAL

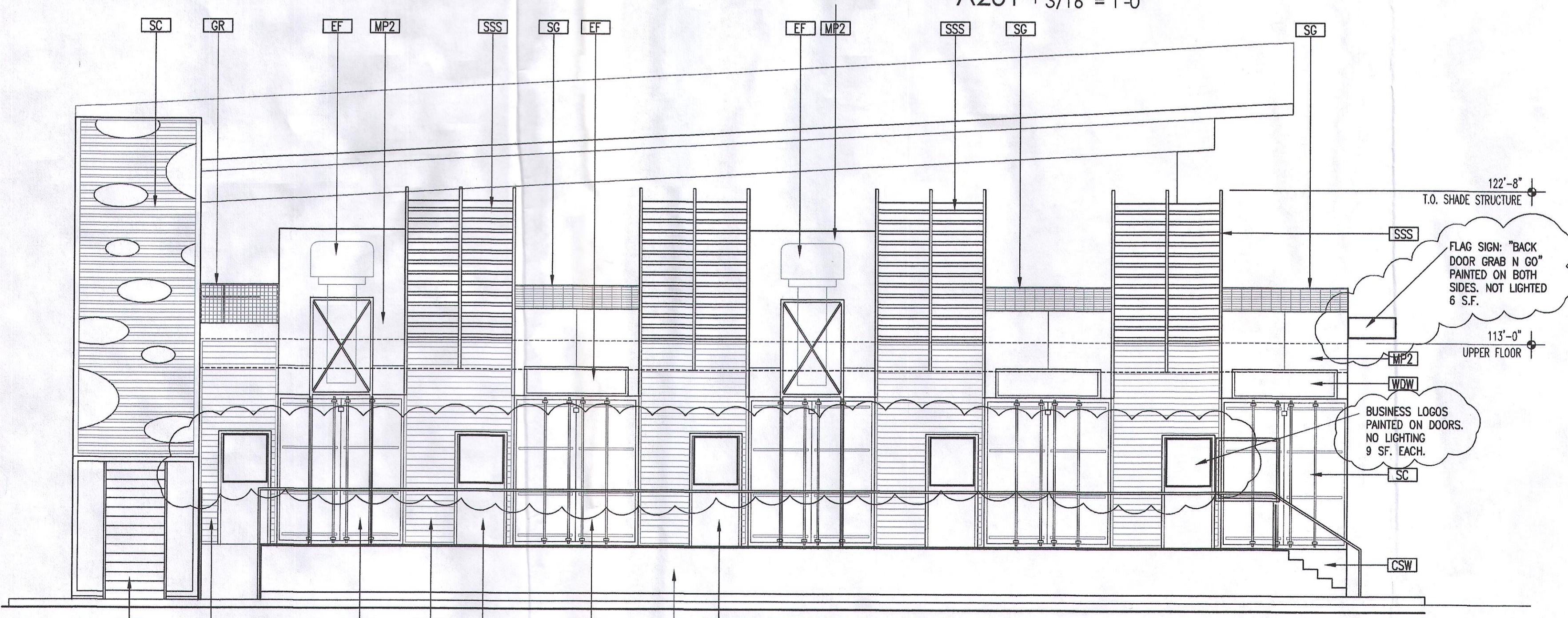
METAL PANEL 2: CORTEN 16 GA. FLAT PANELS CUT TO 4'x2' H TYP. SECURED TO GALV. FURRING STRIPS @ 12" O.C. W/ SELF TAPPING S.S. SCREWS @ 12" O.C. MAX. ALLOW 1/8" SPACE BTWN PANELS.

weathered wood spec:

1/2" THK. MIN. WEATHERED BARNOOD PLANKS: 4" B" WIDTH, SUITABLE FOR EXTERIOR APPLICATIONS SECURED IN VERTICAL POSITION TO METAL FURRING TO MATCH METAL PANEL 2 ABOVE. PROVIDE SAMPLES FOR APPROVAL.

KEY TO SYMBOLS

[AWN]	AWNING: SEE DETAIL
[BM]	WOOD BEAM WITH CLEAR SEAL FINISH
[CC]	EXPOSED CONCRETE COUNTERTOP
[CSW]	EXPOSED CONCRETE STEMWALL: SEE STRUCTURAL
[DOOR]	DOOR: SEE DOOR SCHEDULE
[GR]	METAL MESH GUARDRAIL
[MDS]	GALVANIZED METAL DOWNSPOUT
[MG]	GALVANIZED METAL GUTTER
[MPT1]	METAL PANEL 1 APPLIED HORIZONTALLY
[MPT2]	METAL PANEL 2 FLAT PANEL 4'x2' T
[WS]	WEATHERED WOOD SIDING APPLIED VERTICALLY
[MS]	METAL MESH MECHANICAL SCREEN
[MU]	MECHANICAL UNIT. SEE MECH. DRAWINGS
[OHD]	OVERHEAD DOOR. SEE DOOR SCHEDULE
[MT]	GALVANIZED METAL FLASHING TRIM
[POC]	PIZZA OVEN CHIMNEY, TILE FINISH
[SA]	METAL SHUTTER/AWNING: SEE DETAIL
[SC]	SHIPPING CONTAINER, MODIFY, PRIME AND PAINT AS SHOWN
[SG]	STEEL GRATE GUARDRAIL: SEE DTL.
[SL]	SKYLIGHT: SEE DETAIL
[SSC]	STAINLESS STEEL COUNTERTOP
[SSS]	STEEL AND WOOD SHADE STRUCTURE: SEE DTL.
[STR]	STAIR AND GUARDRAIL: SEE STAIR DETAILS
[TPO]	TPO ROOFING
[WC]	COLUMN: SEE STRUCTURAL
[WDW]	WINDOW SYSTEM, SEE WINDOW SCHEDULE
[EF]	EXHAUST FAN FROM HOODS: SEE MECHANICAL
[MSH]	METAL SHUTTER/AWNING
[RMS]	ROLLING MECHANICAL SCREEN
[BCH]	CUSTOM BENCH BY OWNER
[SLD]	ALUMINUM SLIDER WINDOW



3 | west elevation-lower level
A201 | 3/16" = 1'-0"

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- revisions:
- △ 6-11-19 ADD WDW N
 - △ 9-20-19 GUARDRAIL
 - △ 10-23-19 WDW REVISIONS
 - △ 1-27-20 SIGN AND ROOF REVISIONS



TIN CANALLEY
A CONTAINER DEVELOPMENT
6110 ALAMEDA BLVD NE
ALBUQUERQUE, NM
exterior elevations

date:
5-17-19
sheet:
a201