

# WHATABURGER

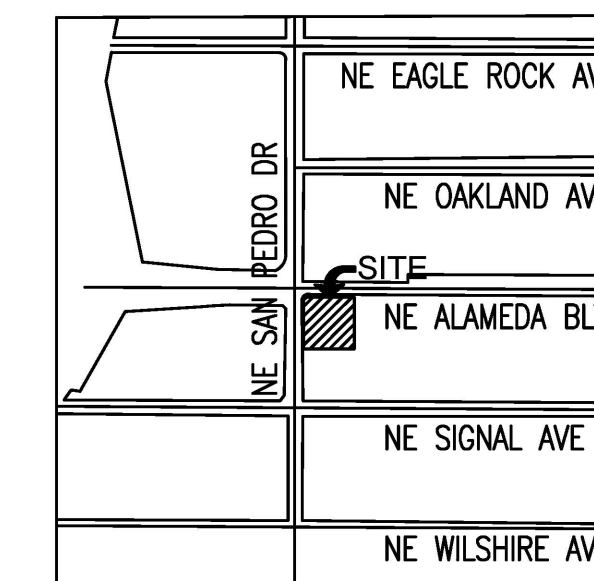
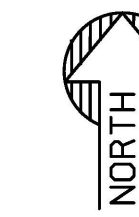
## SITE PLAN

6100 ALAMEDA NE BLVD, ALBUQUERQUE, NM  
LOT 1-A, BLOCK 29, TRACT A, UNIT B OF NORTH  
BERNALILLO COUNTY, NEW MEXICO.

### SITE PLAN KEYNOTES:

- 1A 6" VERTICAL CURB PER GRADING PLANS.
- 1B 6" CURB AND GUTTER PER GRADING PLANS.
- 1C TURNDOWN SIDEWALK PER GRADING PLANS.
- 2 ACCESSIBLE RAMP PER DET. 8/C2.11.
- 2A ACCESSIBLE RAMP PER DET. 9/C2.11.
- 2B ACCESSIBLE RAMP PER DET. 10/C2.11.
- 2C LOADING ZONE PER GRADING PLANS.
- 3 CONCRETE SIDEWALK, PER C.O.A. STD. DET. DWG. 2430 WIDTH PER PLAN.
- 4 EXISTING SIDEWALK TO REMAIN.
- 5 EXISTING TRASH ENCLOSURE.
- 6 PROVIDE PAINTED ADA SYMBOL PER DET. 1/C2.10.
- 7 PROVIDE 4" WIDE WHITE PAINTED STRIPING, TYP.
- 8 PROVIDE 6" WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C PER DET. 13/C2.11.
- 8A PROVIDE 8" WIDE PEDESTRIAN PATHWAY AT ACCESSIBLE PARKING WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C.
- 9 INSTALL 6" STEEL BOLLARDS PER DET. 3/C2.10.
- 9A INSTALL 6" LT STEEL BOLLARDS PER STRUCTURAL PLANS DET. D4/SS.1.
- 10A PROVIDE HEAVY DUTY ASPHALT PAVEMENT PER CIVIL PLANS.
- 10B CONCRETE PAVEMENT PER GRADING PLANS.
- 10C EXISTING ASPHALT.
- 11 INSTALL ACCESSIBLE PARKING SIGN PER DET. 2/C2.10.
- 12 INSTALL DRIVE-THRU CLEARANCE BAR PER ARCHITECTURAL PLANS.
- 13 INSTALL DRIVE-THRU MENU BOARD. PER STRUCTURAL PLANS DET. D1/SS.1.
- 14 PROVIDE RESTAURANT CANOPY PER ARCHITECTURAL PLANS.
- 15 RELOCATED FIRE HYDRANT LOCATION.
- 16 INSTALL 28' HIGH FLAG POLE BY G.C.
- 17 INSTALL FREE STANDING MAILBOX BY G.C.
- 18 INSTALL BIKE RACK (4 SPACES). PER DET. 5/C2.10.
- 19 REMOVE AND REPLACE SIDEWALK. WIDTH PER PLAN.
- 21 FURNISH AND INSTALL WHEEL STOP PER DET. 4/C2.10.
- 22 PROPOSED "TRASH ENCLOSURE" WITH 6-CUBIC YARD VIP COMPACTOR, DRAIN TO GREASE INTERCEPTOR
- 23 INSTALL LIGHT POLE PER ELECTRICAL PLAN.
- 24 MOTORCYCLE PARKING (2 SPACES).
- 25 ELECTRIC VEHICLE PARKING (2 SPACES).
- 26 GREASE INTERCEPTOR PER UTILITY PLANS.
- 27 PROPOSED MONUMENT SIGN LOCATION.
- 28 INSTALL MENU BOARD CANOPY PER ARCHITECTURAL PLAN A6.8.
- 29 PROPOSED "PEDESTRIAN WARNING + 15MPH SPEED" SIGN PER C.O.A. STD. DET. 2600-401 & 2600-404
- 30 SIGHT LINE TRIANGLE.
- 31 ELECTRICAL CABINET.
- 32 MOTORCYCLE PARKING ONLY SIGN.
- 33 FUTURE CHARGING STATION LOCATION.
- 34 CURB TRANSITION FROM 6" TO 0" PER CIVIL PLANS.
- 35 PROPOSED 30" STOP SIGN AT DRIVEWAY. PER C.O.A. STD. DWG. 2600-601
- 36 PROVIDE PAINTED ADA ACCESS AISLE SYMBOL PER DET. 7/C2.11.
- 37 PROVIDE DIRECTIONAL LANE PAVEMENT MARKINGS PER DET. 11/C2.11.
- 38 PROPOSED "ONE WAY" SIGN, PER C.O.A. STD. DET. 2600-603.

S/T/R  
13 11N 3E  
**VICINITY MAP**  
SCALE 1:800



### SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
2. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
5. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
6. IF APPLICABLE, PEDESTRIAN ACCESS ROUTES ARE PROVIDED IN COMPLIANCE WITH THE LATEST ADA STANDARDS. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 5% MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS, ARE REQUIRED, AS SHOWN IN PLANS, ON ALL SITE RAMPS AND WALKS THAT CROSS A VEHICULAR WAY PER ADAAG CHAPTER 7.
7. PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
8. ALL SIGNAGE REQUIRES SEPARATE APPROVAL AND PERMITS.
9. A MINIMUM 6-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES WILL BE MAINTAINED.
10. OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.

### SIGHT DISTANCE NOTE

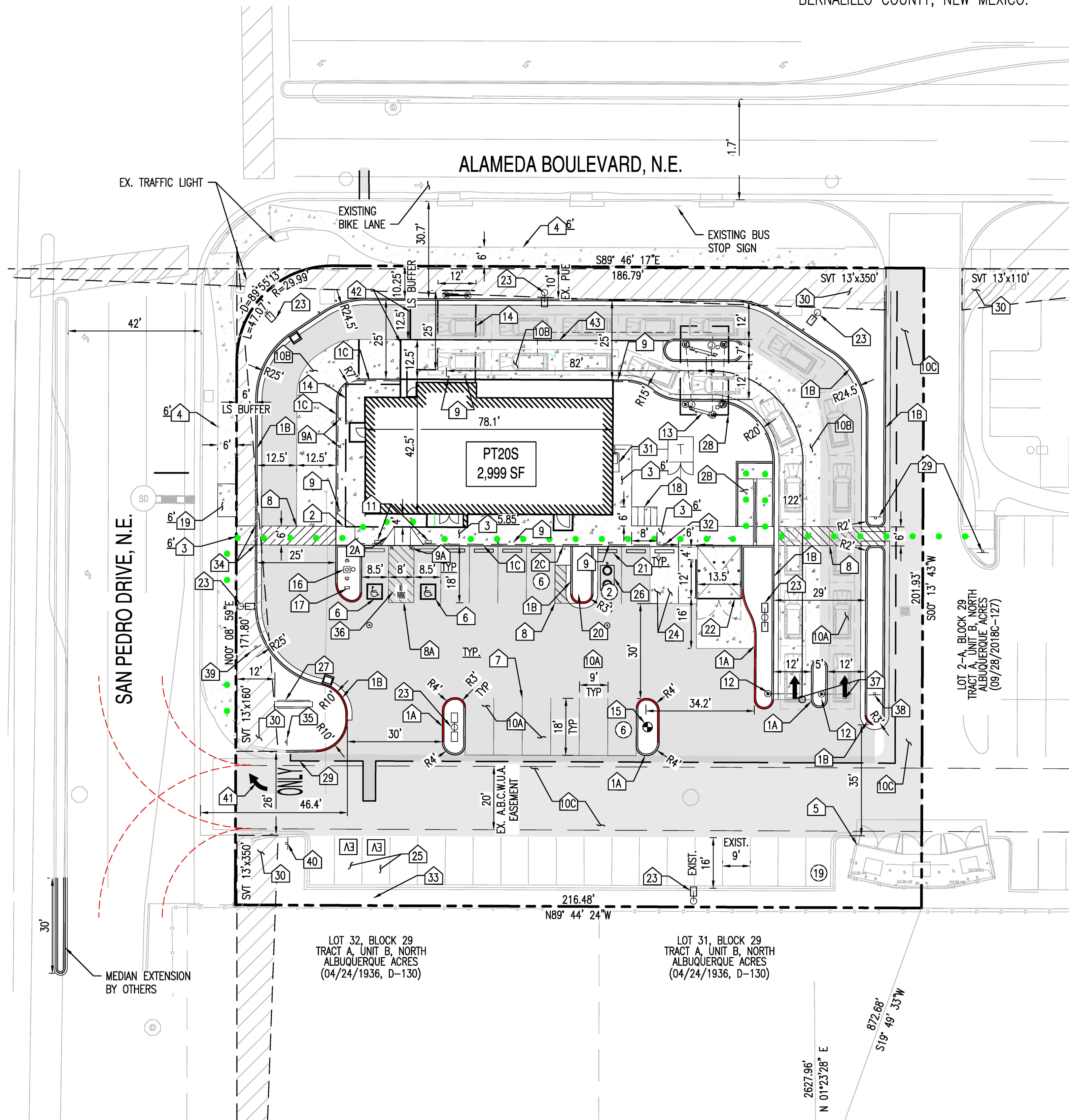
LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

DEVELOPMENT SUMMARY TABLE:			
PROJECT ADDRESS:	6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM		
PROJECT DESCRIPTION:	PROPOSED WHATABURGER W/ DRIVE THRU		
UPC:	101806 428134 810229		
ZONING:	NR-BP		
LOT SIZE:	43,565 SF	1.00 AC	
PROPOSED USE:	RESTAURANT W/ DRIVE THROUGH		
BUILDING AREA:	2,999 SF		
MAX BUILDING HEIGHT:	ALLOWED	PROPOSED	
RESTAURANT BUILDING:	50 FT.	22 FT.	
LOT STANDARDS:	REQUIRED	PROPOSED	
MIN LOT WIDTH:	100 FT.	± 186 FT.	
PARKING REQUIREMENT:	REQUIRED	PROPOSED	
VEHICLE (2,965 SF/1,000 SF x 8):	24		
ADA SPACES:	2	33	INCL. 2 EV SPACES
EV SPACES:	2		2 ADA SPACES
MOTORCYCLE (1 PER 25 SPACES):	2	2	
BICYCLE SPACES:	3	4	
MINIMUM BUILDING SETBACKS:	REQUIRED	PROPOSED	
FRONT (ALAMEDA BLVD NE):	10 FT.	± 36 FT.	
SIDE (SAN PEDRO ROAD NE):	10 FT.	± 31 FT.	
REAR (SOUTH SIDE):	10 FT.	± 119.5 FT.	
MINIMUM LANDSCAPE BUFFER:	REQUIRED	PROPOSED	
FRONT (ALAMEDA BLVD NE):	10 FT.	± 10 FT.	
SIDE (SAN PEDRO ROAD NE):	6 FT.	± 22 FT.	WHERE PARKING LOTS ADJACENT TO LOT EDGE
REAR (SOUTH SIDE):	6 FT.	± 6 FT.	

- 39 PROPOSED "DO NOT ENTER" SIGN, PER C.O.A. STD. DET. 2600-603.
- 40 PROPOSED "NO LEFT EXIT" SIGN PER C.O.A. STD. DET. 2600-701.
- 41 PROVIDE "RIGHT TURN ONLY" PAVEMENT MARKING PER C.O.A. STD. DET. 2600-105.
- 42 PROVIDE STOP LINE WITH 12" WIDE WHITE PAINT.
- 43 PROVIDE DIVIDING LINE WITH 4" WIDE YELLOW PAINT.

### PROPOSED LEGEND:

	VERTICAL CURB		CONCRETE PAVEMENT/SIDEWALK
	CURB AND GUTTER		HEAVY DUTY PAVEMENT
	PARKING COUNT		EXISTING PAVEMENT
	PAVEMENT STRIPING		ACCESSIBLE PEDESTRIAN PATH
	FIRE HYDRANT		28'/48' FIRE ACCESS TURN RADIUS
	TRANSFORMER		RED PAINTED FIRE CURB RE: DET. 6/C2.10



### DRB SITE DEVELOPMENT PLAN APPROVAL:

Ernest Armijo  
Traffic Engineering, Transportation Division  
Blaine Carter  
Blaine Carter (Aug 5, 2022 14:03 MDT)  
ABCWUA  
Christina Sandoval  
Christina Sandoval (Aug 5, 2022 11:22 MDT)  
Parks and Recreation Department  
Shahab Buzan  
City Engineer/Hydrology

Aug 5, 2022  
Date  
Aug 9, 2022  
Date  
Aug 5, 2022  
Date  
Aug 4, 2022  
Date

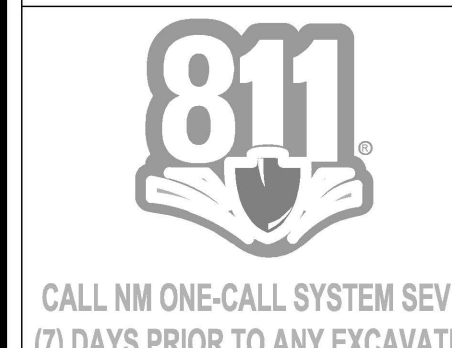
JM Pagan  
Jeff Pagan (Aug 5, 2022 16:26 MDT)  
Code Enforcement  
SEE NEXT SHEET  
Solid Waste Management  
Jay Rodenbeck  
Jay Rodenbeck  
DRB Chairperson, Planning Department

Aug 5, 2022  
Date  
Date  
Aug 22, 2022  
Date  
Date



SIGNATURE DATE: 06-22-2022  
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY  
ENGINEERING  
GROUP



CALL NM ONE-CALL SYSTEM SEVEN  
(7) DAYS PRIOR TO ANY EXCAVATION

PROJECT WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE	LOCATION 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM
DRAWN GA 01/27/2022	DESIGNED LP 01/27/2022
SC SC 06/14/2022	FINAL DC
PROJ. MGR. AF 06/22/2022	DATE:
ISSUED FOR: DRB PR-2018-001346 SI-2022-00184	REVISION NO.:
DATE:	DATE:
JOB NO.: 210907	SHEET TITLE:

### PRELIMINARY SITE PLAN

PAGE NO.:  
1 OF 3  
SHEET NO.:  
C2.00

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.

# WHATABURGER

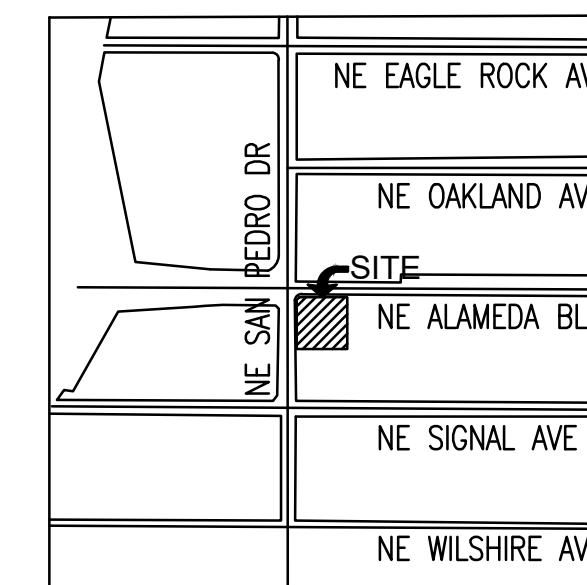
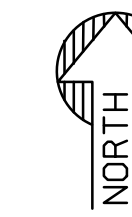
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LOT 1-A, BLOCK 29, TRACT A, UNIT B OF NORTH  
BERNALILLO COUNTY, NEW MEXICO.

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- 1A CONSTRUCT 6" VERTICAL CURB PER GRADING PLANS.
- 1B CONSTRUCT 6" CURB AND GUTTER PER GRADING PLANS.
- 1C CONSTRUCT TURNDOWN SIDEWALK PER GRADING PLANS.
- 2 CONSTRUCT ACCESSIBLE RAMP PER DET. 8/C2.11.
- 2A CONSTRUCT ACCESSIBLE RAMP PER DET. 9/C2.11.
- 2B CONSTRUCT ACCESSIBLE RAMP PER DET. 10/C2.11.
- 2C CONSTRUCT LOADING ZONE PER GRADING PLANS.
- 3 CONSTRUCT CONCRETE SIDEWALK, WIDTH PER PLAN.
- 4 EXISTING SIDEWALK TO REMAIN.
- 5 EXISTING TRASH ENCLOSURE.
- 6 PROVIDE PAINTED ADA SYMBOL PER DET. 1/C2.10.
- 7 PROVIDE 4" WIDE WHITE PAINTED STRIPING, TYP.
- 8 PROVIDE 6' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45° 2 FEET O.C PER DET. 13/C2.11.
- 8A PROVIDE 8' WIDE PEDESTRIAN PATHWAY AT ACCESSIBLE PARKING WITH 4" WIDE YELLOW PAINT, AT 45° 2 FEET O.C.
- 9 INSTALL 6" STEEL BOLLARDS PER DET. 3/C2.10.
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- 10A PROVIDE HEAVY DUTY ASPHALT PAVEMENT PER CIVIL PLANS.
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- 13 INSTALL DRIVE-THRU MENU BOARD. PER DET. 6/C2.10.
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- 15 RELOCATED FIRE HYDRANT LOCATION.
- 16 INSTALL 28' HIGH FLAG POLE.
- 17 INSTALL FREE STANDING MAILBOX BY G.C.
- 18 INSTALL BIKE RACK (4 SPACES). PER DET. 5/C2.10.
- 19 REMOVE AND REPLACE SIDEWALK. WIDTH PER PLAN.
- 20 CONSTRUCT CONCRETE ISLANDS NOSE, TYPICAL AT ISLANDS.
- 21 WHEEL STOP PER DET. 4/C2.10.
- 22 PROVIDE GRANITE STRIPS. REFER TO LANDSCAPE PLANS FOR DETAIL.
- 23 INSTALL LIGHT POLE PER PHOTOMETRIC PLAN.
- 24 MOTORCYCLE PARKING (2 SPACES).
- 25 ELECTRIC VEHICLE PARKING (2 SPACES).
- 26 INSTALL GREASE INTERCEPTOR PER UTILITY PLANS.
- 27 PROPOSED MONUMENT SIGN LOCATION.
- 28 INSTALL MENU BOARD CANOPY PER ARCHITECTURAL PLAN A6.8.
- 29 PROVIDE SAWCUT PER CIVIL PLANS.
- 30 SVT 13'x11'.
- 31 ELECTRICAL CABINET.
- 32 MOTORCYCLE PARKING ONLY SIGN.
- 33 FUTURE CHARGING STATION LOCATION.
- 34 CURB TRANSITION FROM TO 0" PER CIVIL PLANS.
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S/T/R  
13 11N 3E  
**VICINITY MAP**  
SCALE 1:800



### SITE PLAN NOTES

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### SIGHT DISTANCE NOTE

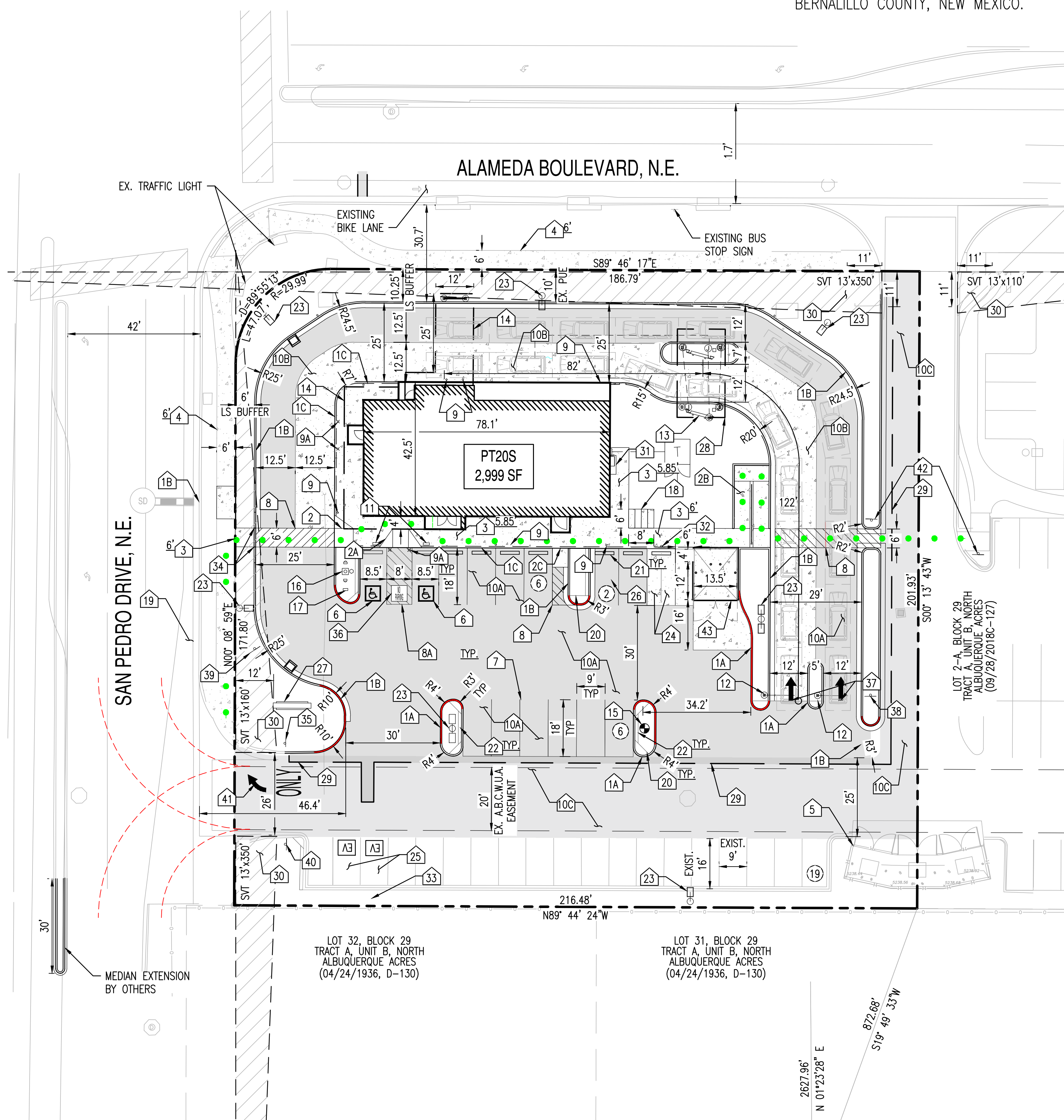
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UPC:	101806 428134 810229		
ZONING:	NR-BP		
LOT SIZE:	43,565 SF	1.00 AC	
PROPOSED USE:	RESTAURANT W/ DRIVE THROUGH		
BUILDING AREA:	2,999 SF		
MAX BUILDING HEIGHT:	ALLOWED	PROPOSED	
RESTAURANT BUILDING:	50 FT.	22 FT.	
LOT STANDARDS	REQUIRED	PROPOSED	
MIN LOT WIDTH:	100 FT.	± 186 FT.	
PARKING REQUIREMENT	REQUIRED	PROPOSED	
VEHICLE (2,965 SF/1,000 SF x 8):	24		
ADA SPACES:	2	33	INCL. 2 EV SPACES
EV SPACES:	2		2 ADA SPACES
MOTORCYCLE (1 PER 25 SPACES):	2	2	
BICYCLE SPACES:	3	4	
MINIMUM BUILDING SETBACKS	REQUIRED	PROPOSED	
FRONT (ALAMEDA BLVD NE):	10 FT.	± 36 FT.	
SIDE (SAN PEDRO ROAD NE):	10 FT.	± 31 FT.	
REAR (SOUTH SIDE):	10 FT.	± 119.5 FT.	
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REAR (SOUTH SIDE):	6 FT.	± 6 FT.	

- 40 PROPOSED "NO LEFT EXIT" SIGN PER C.O.A. STD. DET. 2600-701.
- 41 PROVIDE "RIGHT TURN ONLY" PAVEMENT MARKING PER C.O.A. STD. DET. 2600-105.
- 42 PROPOSED "PEDESTRIAN WARNING + 15MPH SPEED" SIGN PER C.O.A. STD. DET.
- 43 PROPOSED "TRASH ENCLOSURE" WITH 6-CUBIC YARD VIP COMPACTOR, DRAIN TO GREASE INTERCEPTOR

### PROPOSED LEGEND:

	VERTICAL CURB		CONCRETE PAVEMENT/SIDEWALK
	CURB AND GUTTER		HEAVY DUTY PAVEMENT
	PARKING COUNT		EXISTING PAVEMENT
	PAVEMENT STRIPING		ACCESSIBLE PEDESTRIAN PATH
	FIRE HYDRANT		28'/48' FIRE ACCESS TURN RADIUS
	TRANSFORMER		RED PAINTED FIRE CURB RE: DET. 6/C2.10



### DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date	Code Enforcement	Date
ABCWUA	Date	Herman Gallegos Solid Waste Management	05-03-22 Date
Parks and Recreation Department	Date	DRB Chairperson, Planning Department	Date
City Engineer/Hydrology	Date		

Approved for access by the Solid Waste Department for 1 VIP Compactor and the recycle will be disposed of in the existing recycle dumpster  
Herman Gallegos 05-03-22 *Herman Gallegos*



SUSTAINABILITY  
ENGINEERING  
GROUP

**SEG**

8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
WWW.AZSEG.COM TEL. 480.586.7226 FAX. 480.259.3534

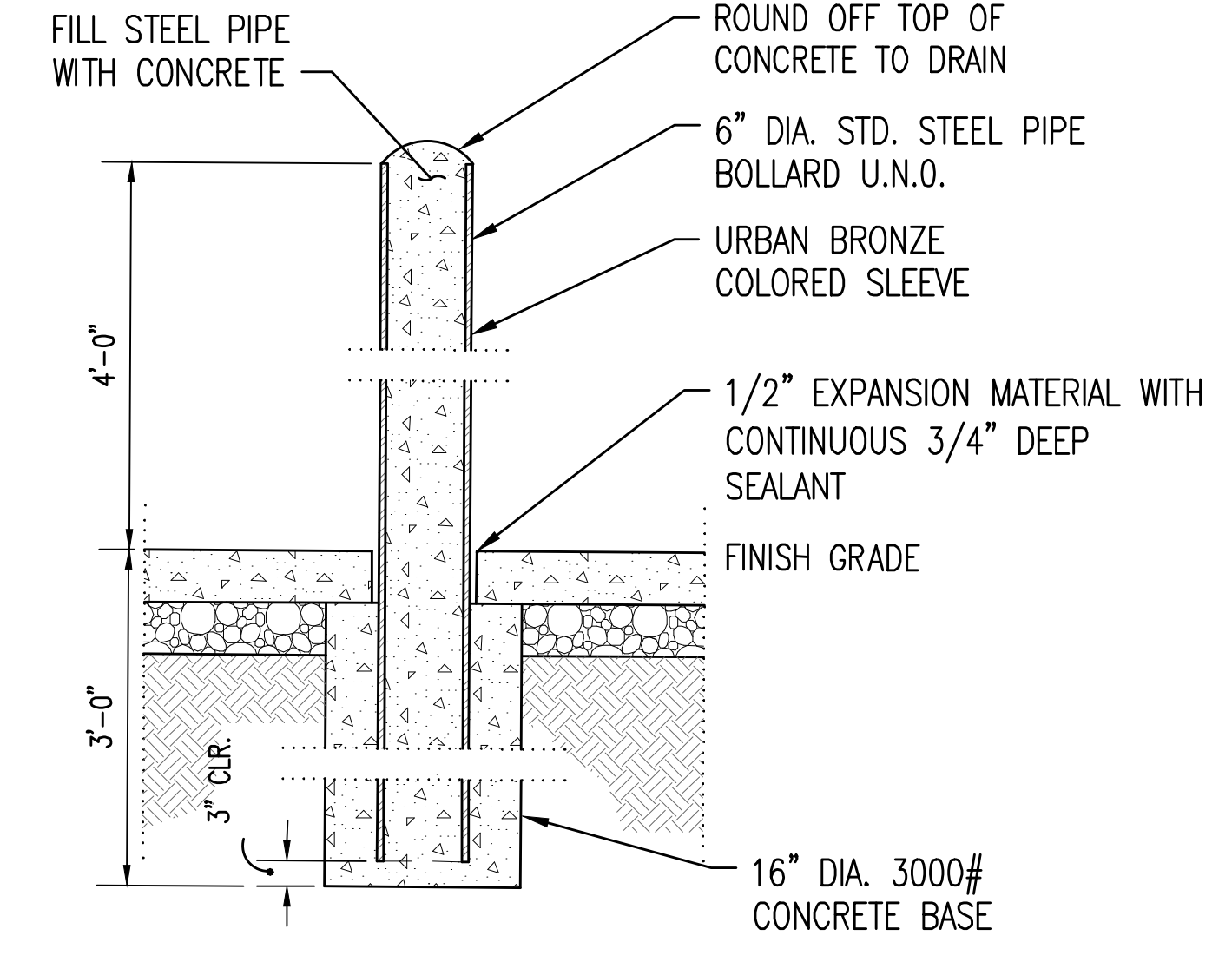
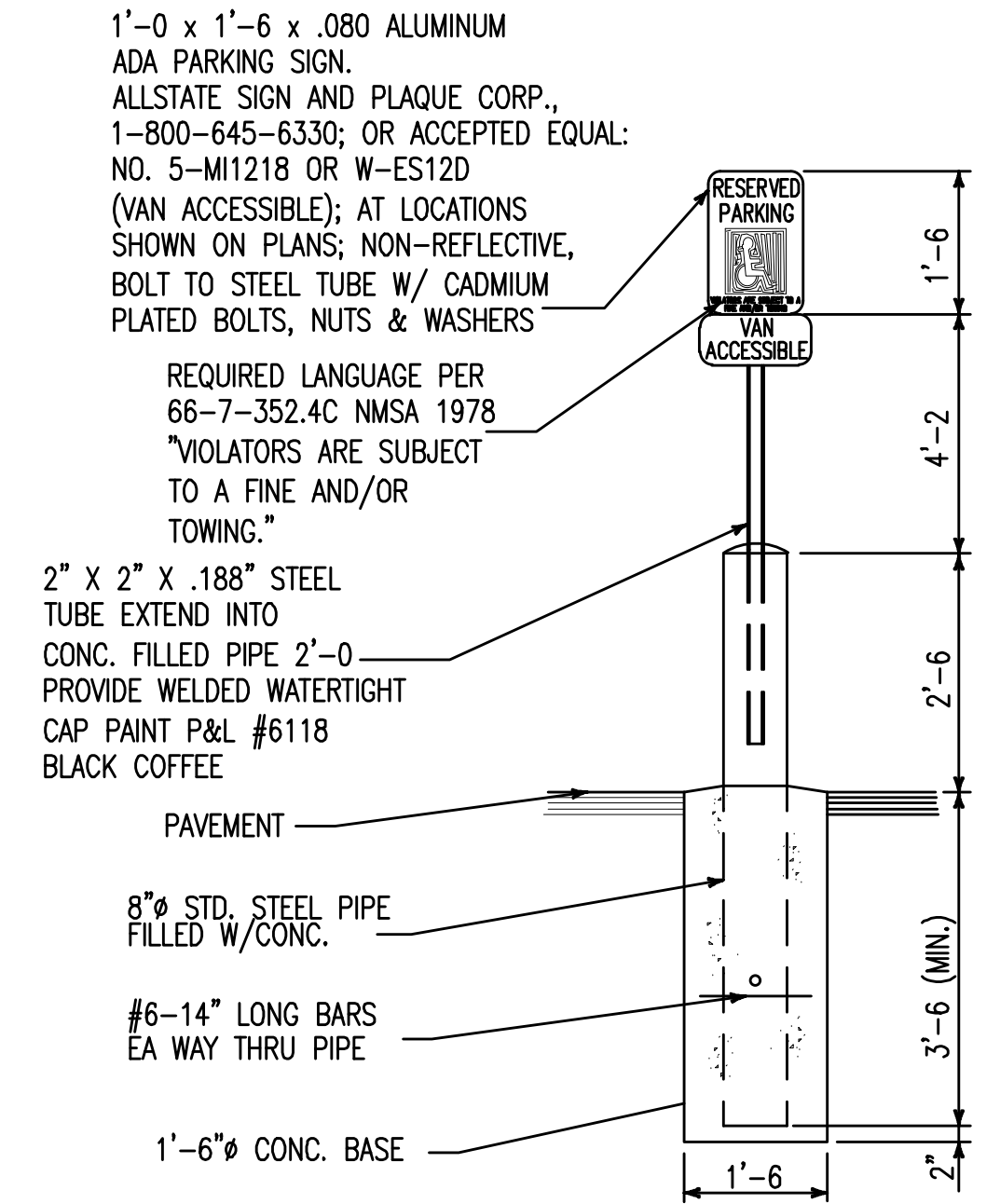
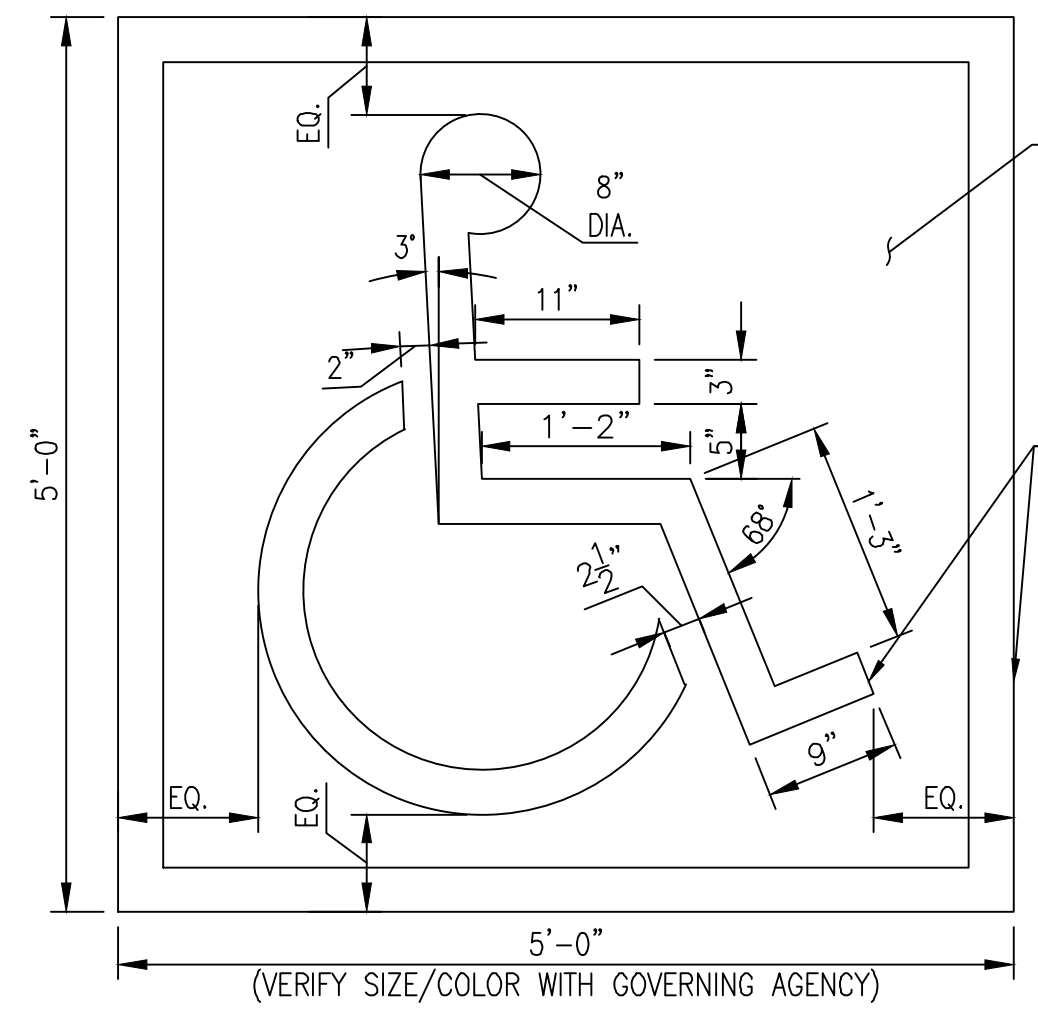
**WHATABURGER**

**811**

CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

PROJECT WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE	LOCATION 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM
DRAWN: GA 01/27/2022	DESIGNED: LP 01/27/2022
QC:	FINAL QC:
PROJ. MGR.: AF 04/27/2022	DATE: 04/29/2022
ISSUED FOR: PERMITS	PR-2018-001346
REVISION NO.:	DATE:
JOB NO.: 210907	SHEET TITLE: <b>SITE PLAN</b>
PAGE NO.: 5 OF 14	SHEET NO.: <b>C2.00</b>

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**SYMBOL OF ACCESSIBILITY**



1

**ACCESSIBLE PARKING SIGN**



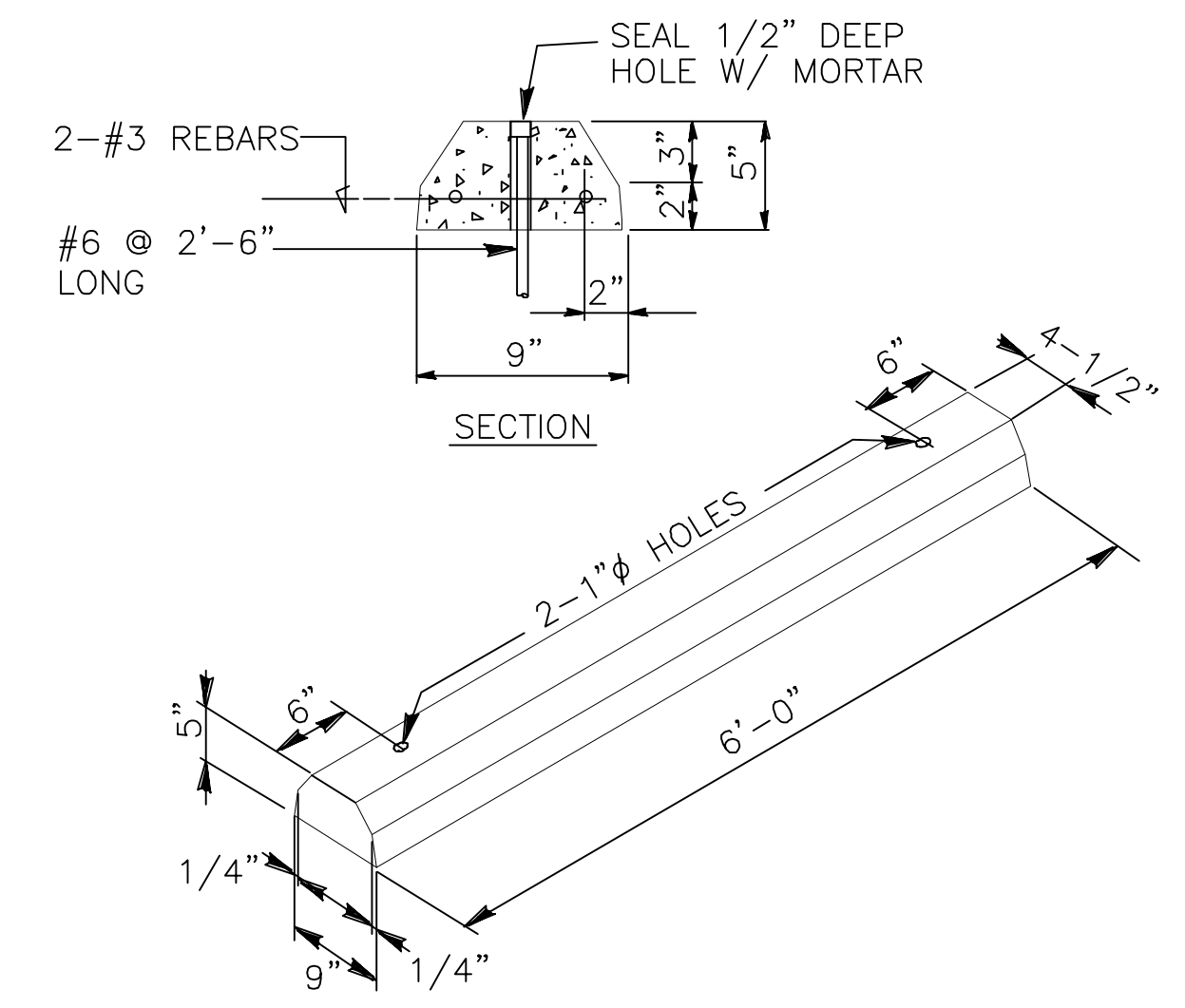
2

**STEEL PIPE BOLLARD IN CONCRETE**

N.T.S.



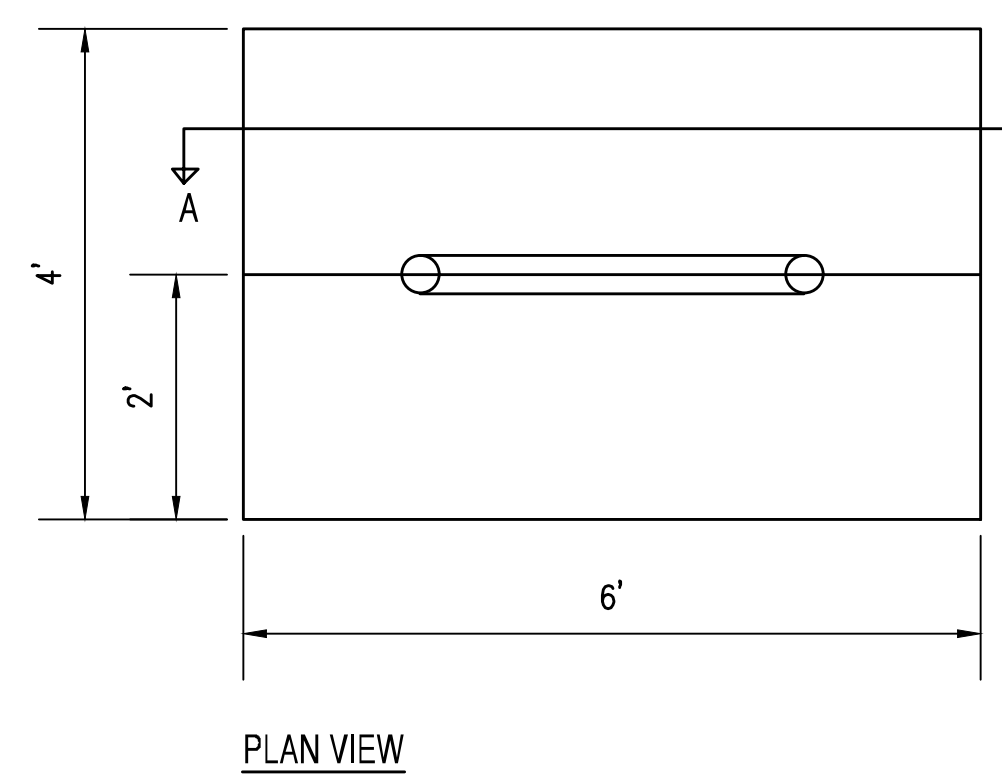
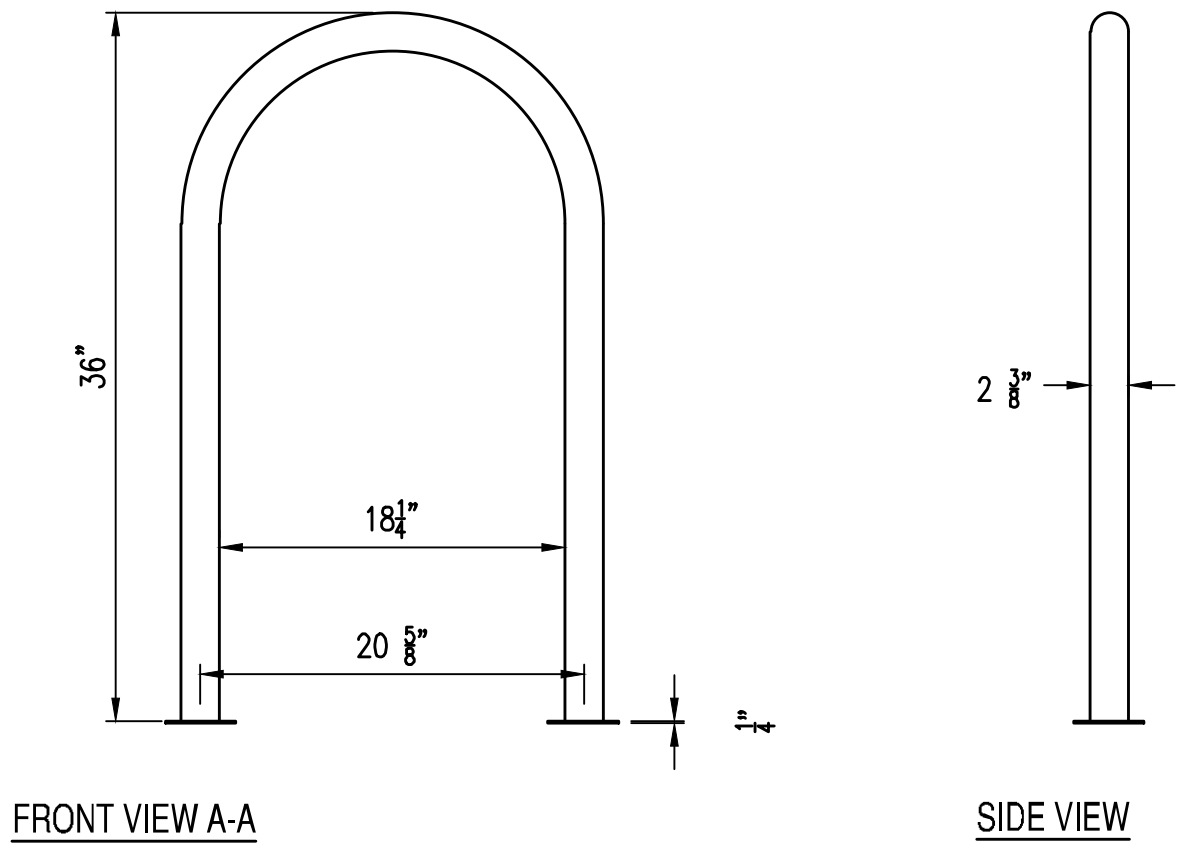
3



**PRECAST CONCRETE WHEEL STOP**



4

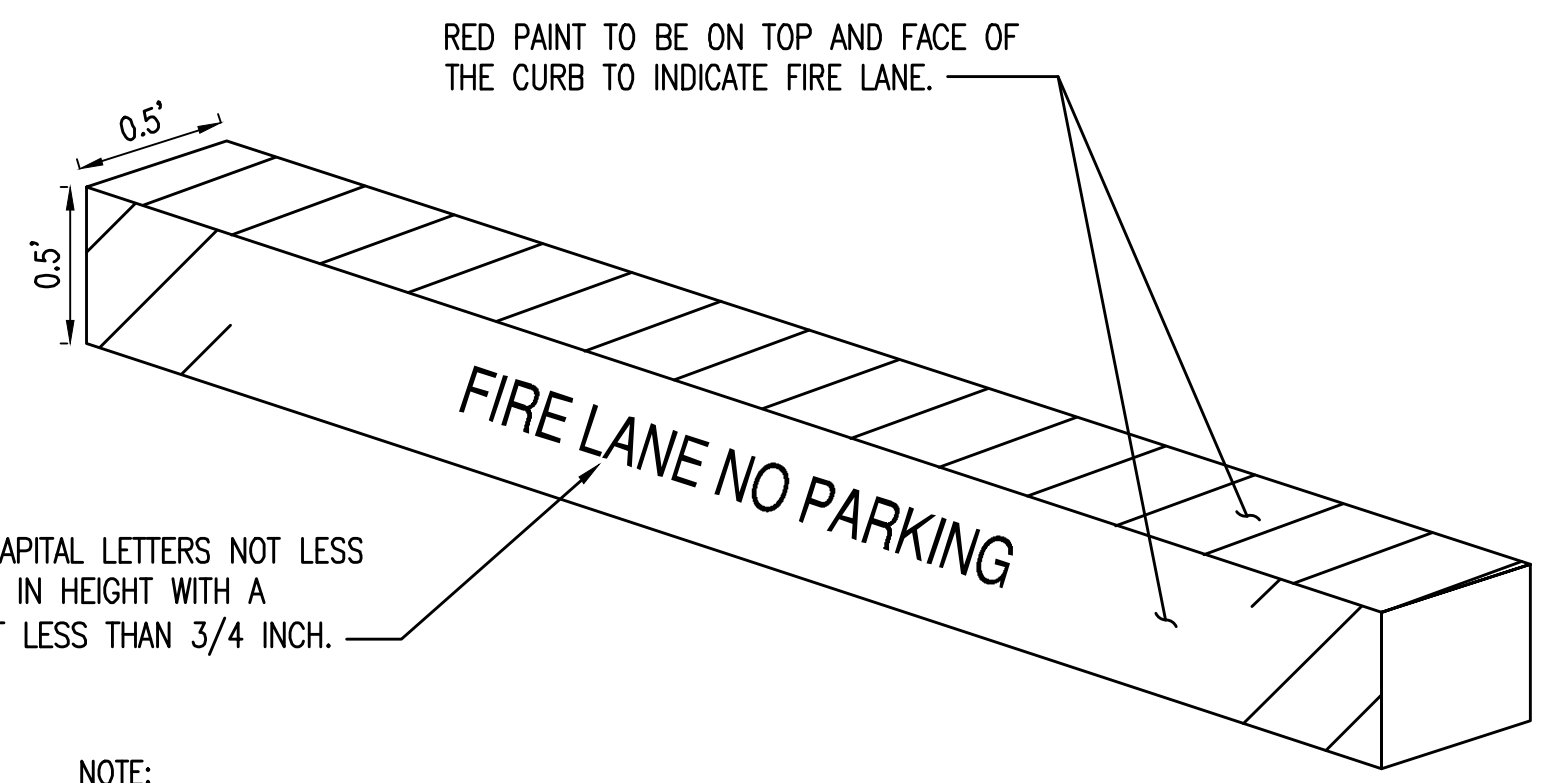


NOTE:  
REFER TO SITE PLAN FOR NUMBER OF SPACES

**BICYCLE RACK**



5



WHITE BLOCK CAPITAL LETTERS NOT LESS THAN 5 INCHES IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4 INCH.

NOTE:  
"NO PARKING-FIRE LANE" SHALL BE MARKED EVERY 15- FEET ALONG THE LENGTH OF THE FIRE LANE. ALL SIGNS AND MARKINGS SHALL BE AT EXPENSE OF THE OWNER, LESSEE, OR PERSON IN CONTROL OF THE PROPERTY.

**RED PAINTED FIRE CURB**



6



SIGNATURE DATE: 06-22-2022  
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY ENGINEERING GROUP

SEG



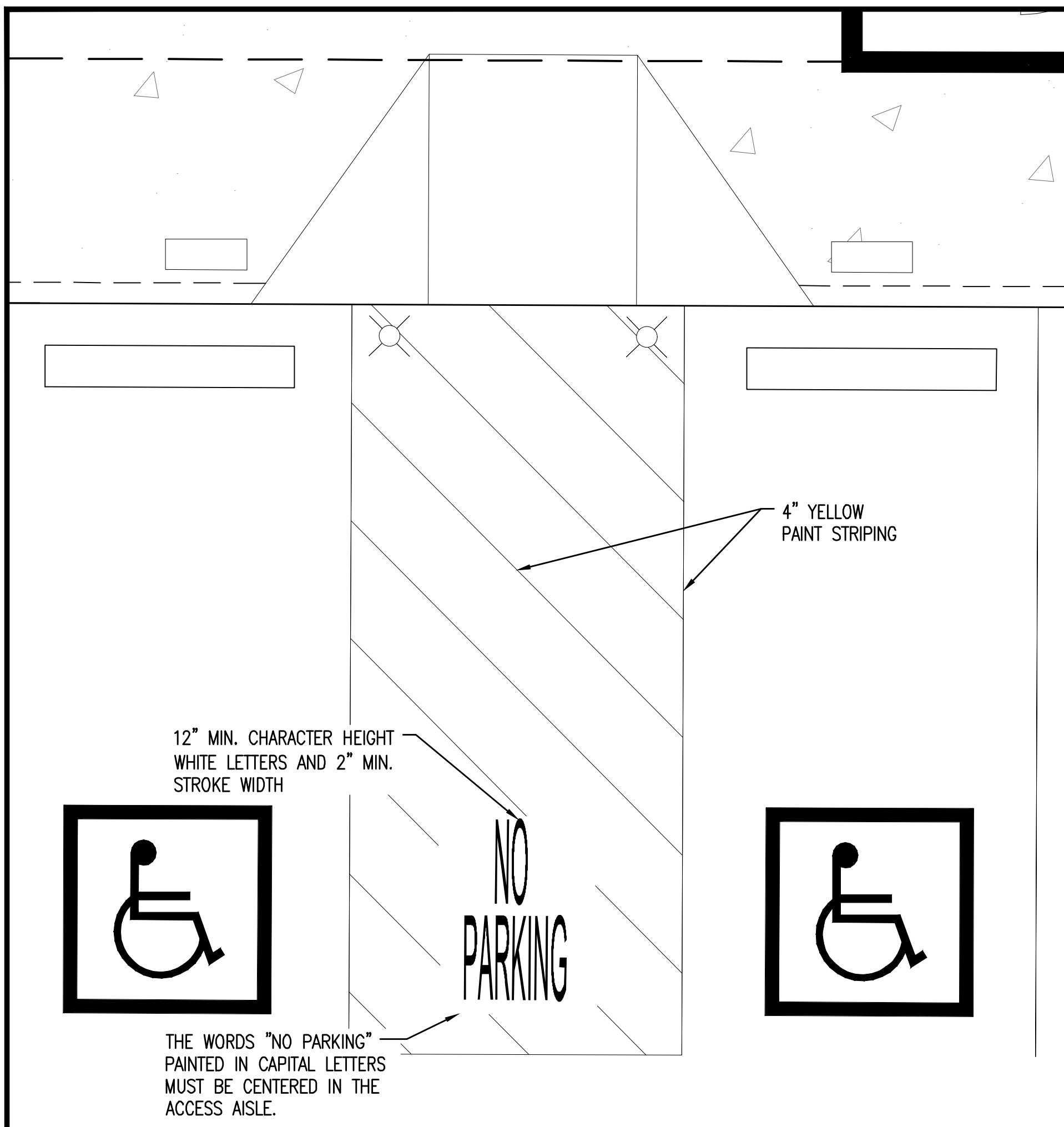
CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

PROJECT WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE	LOCATION 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM
DRAWN: GA	01/27/2022
DESIGNED: LP	01/27/2022
QC: SC	06/14/2022
FINAL QC:	
PROJ. MGR: AF	06/22/2022
DATE:	06/22/2022
ISSUED FOR:	DRB
	PR-2018-001346
	SI-2022-00184

REVISION NO.:	DATE:
△	
△	
△	
JOB NO.:	210907

PRELIMINARY SITE PLAN DETAILS

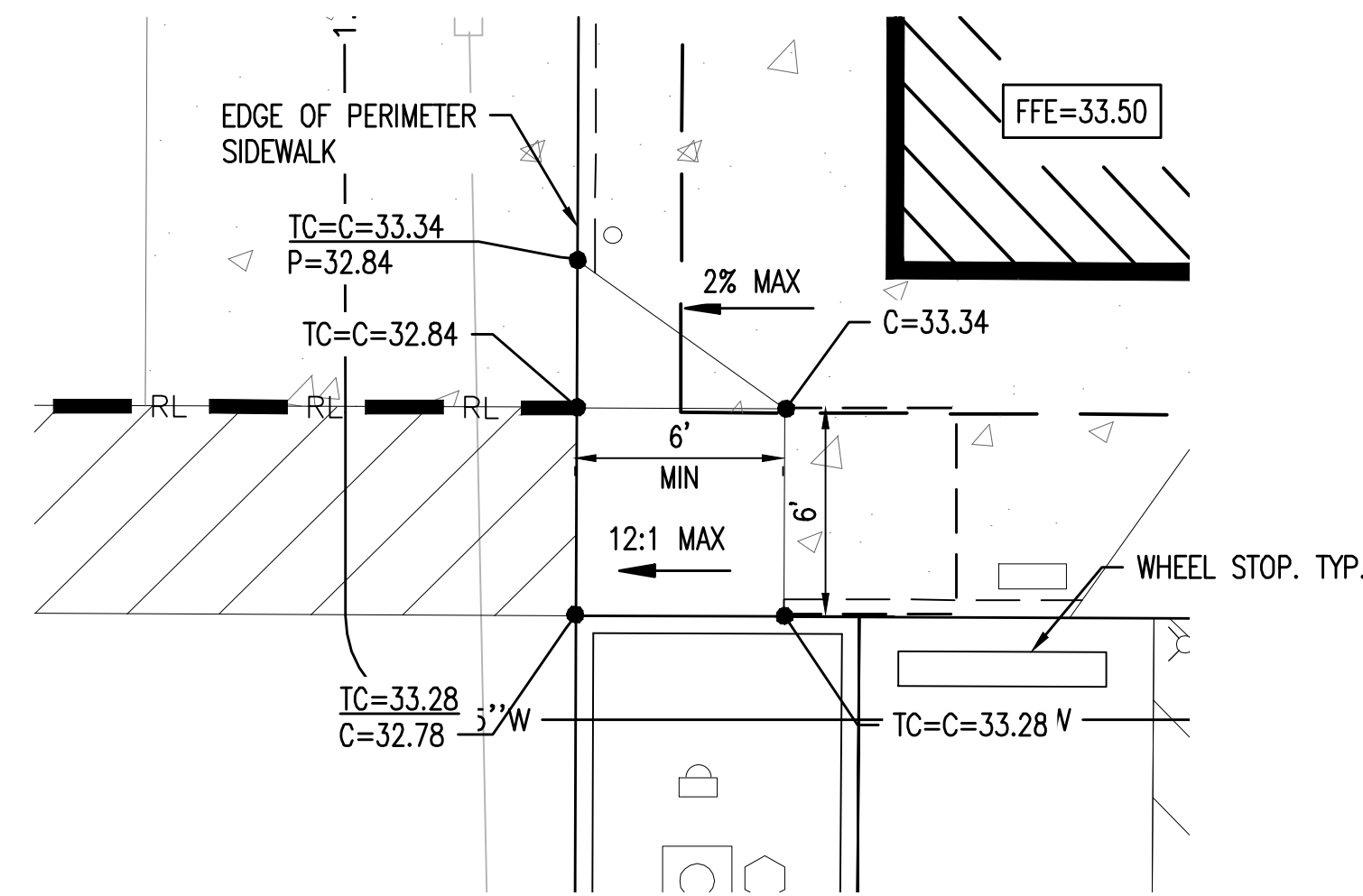
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ADA ACCESS AISLE



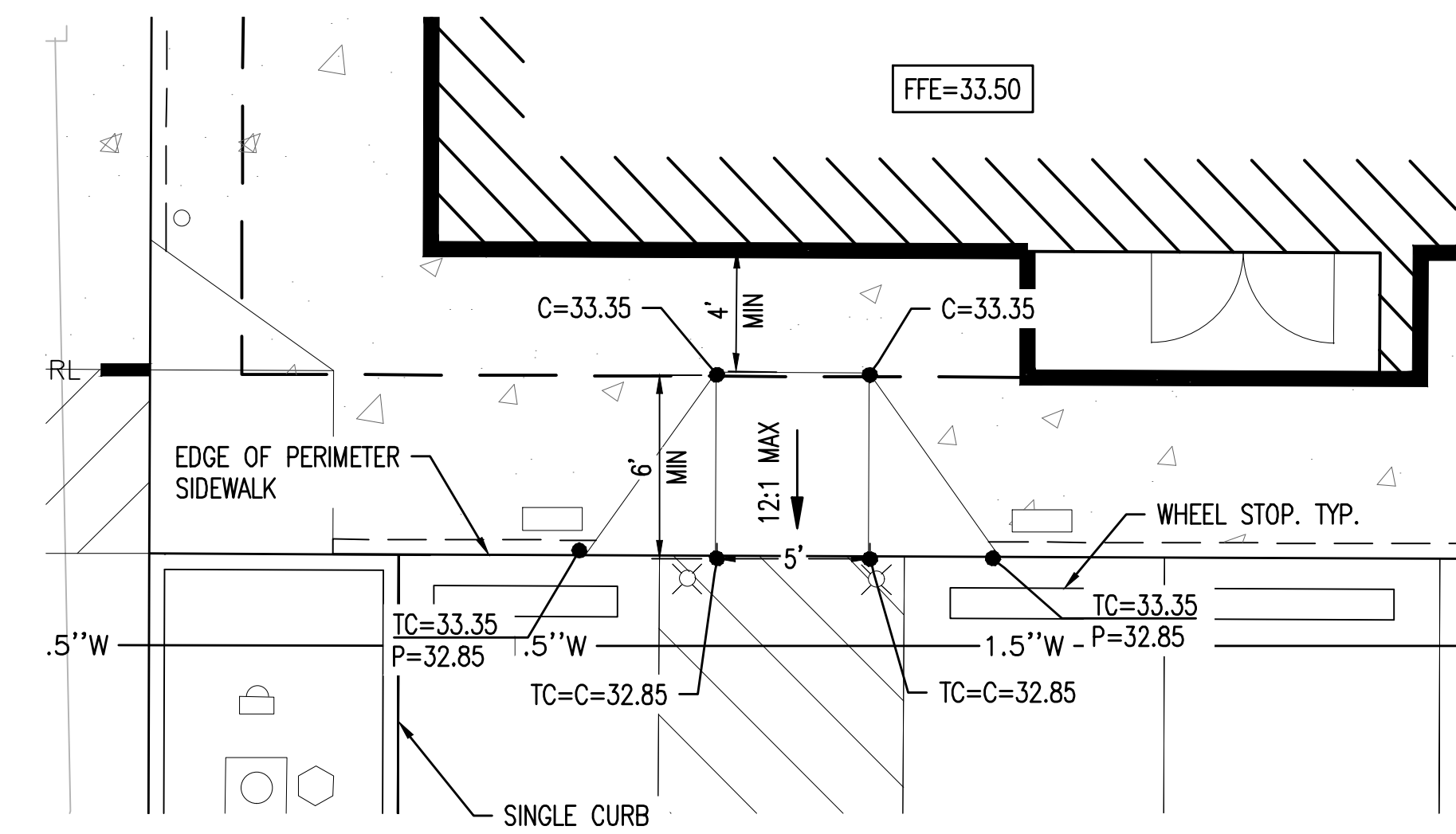
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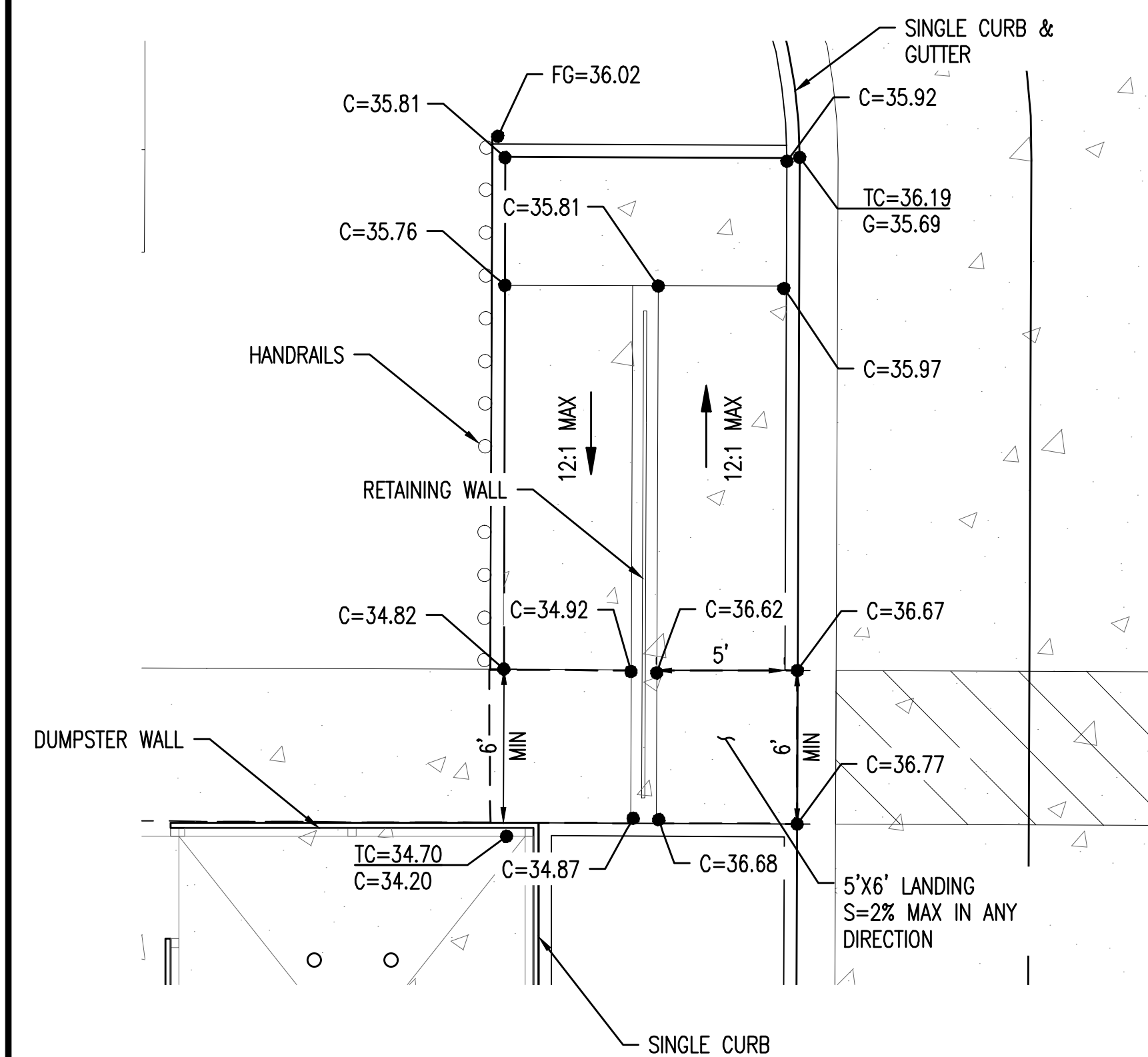
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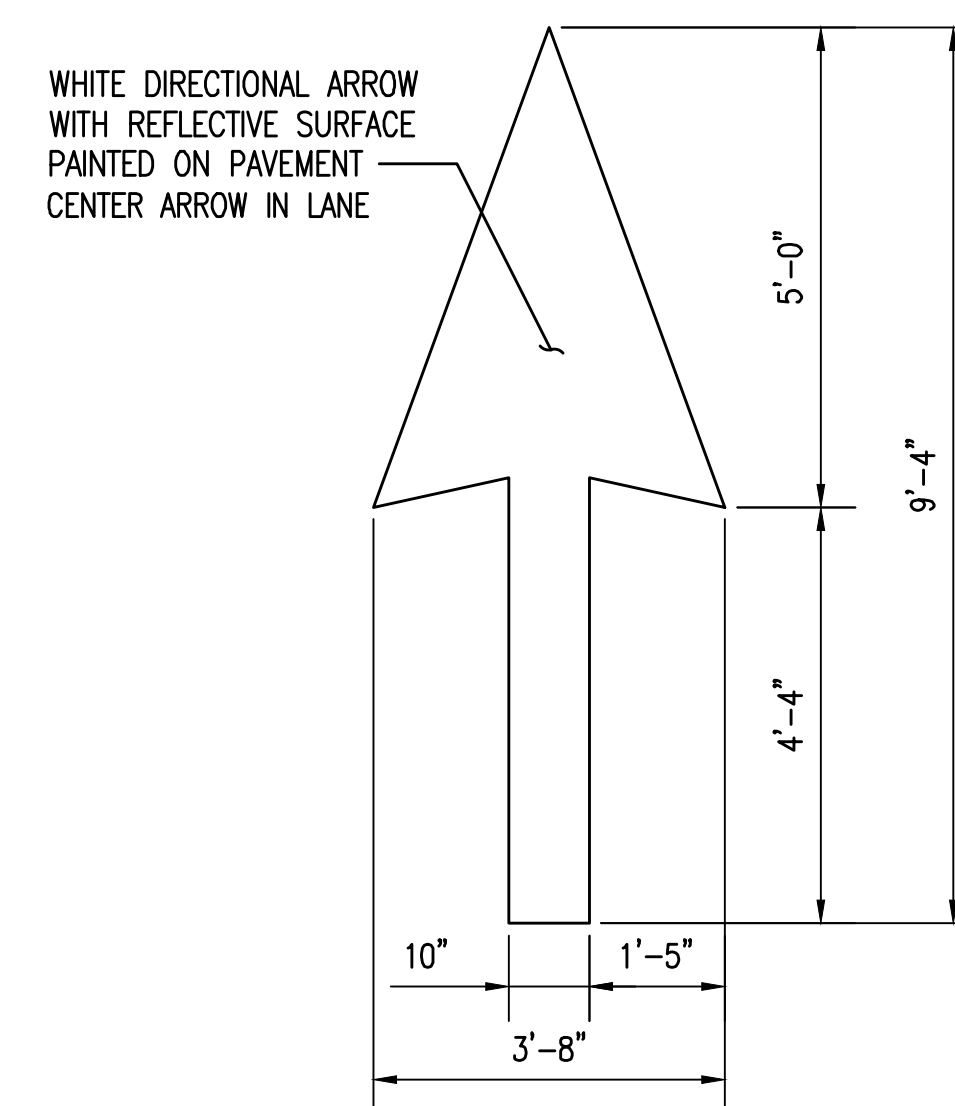
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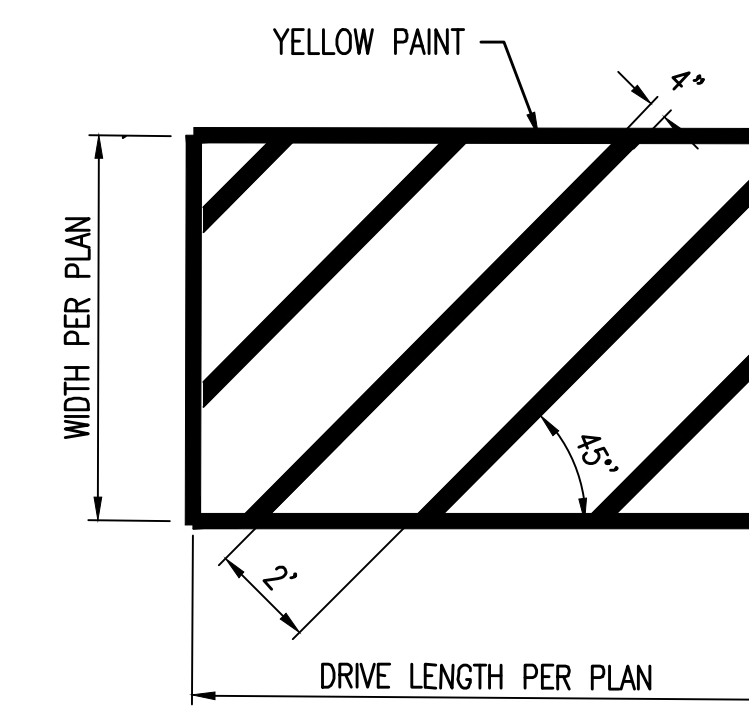
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DIRECTIONAL ARROW



11



CROSSWALK STRIPING DETAIL  
N.T.S.



12



SIGNATURE DATE: 06-22-2022  
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY  
ENGINEERING  
GROUP

SEG



CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

PROJECT: WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE  
LOCATION: 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM

DRAWN: GA 01/27/2022  
DESIGNED: LP 01/27/2022  
QC: SC 06/14/2022  
FINAL QC: AF 06/22/2022

DATE: 06/22/2022  
ISSUED FOR: DRB  
PR-2018-001346  
SI-2022-00184

REVISION NO.: DATE:  
JOB NO.: 210907

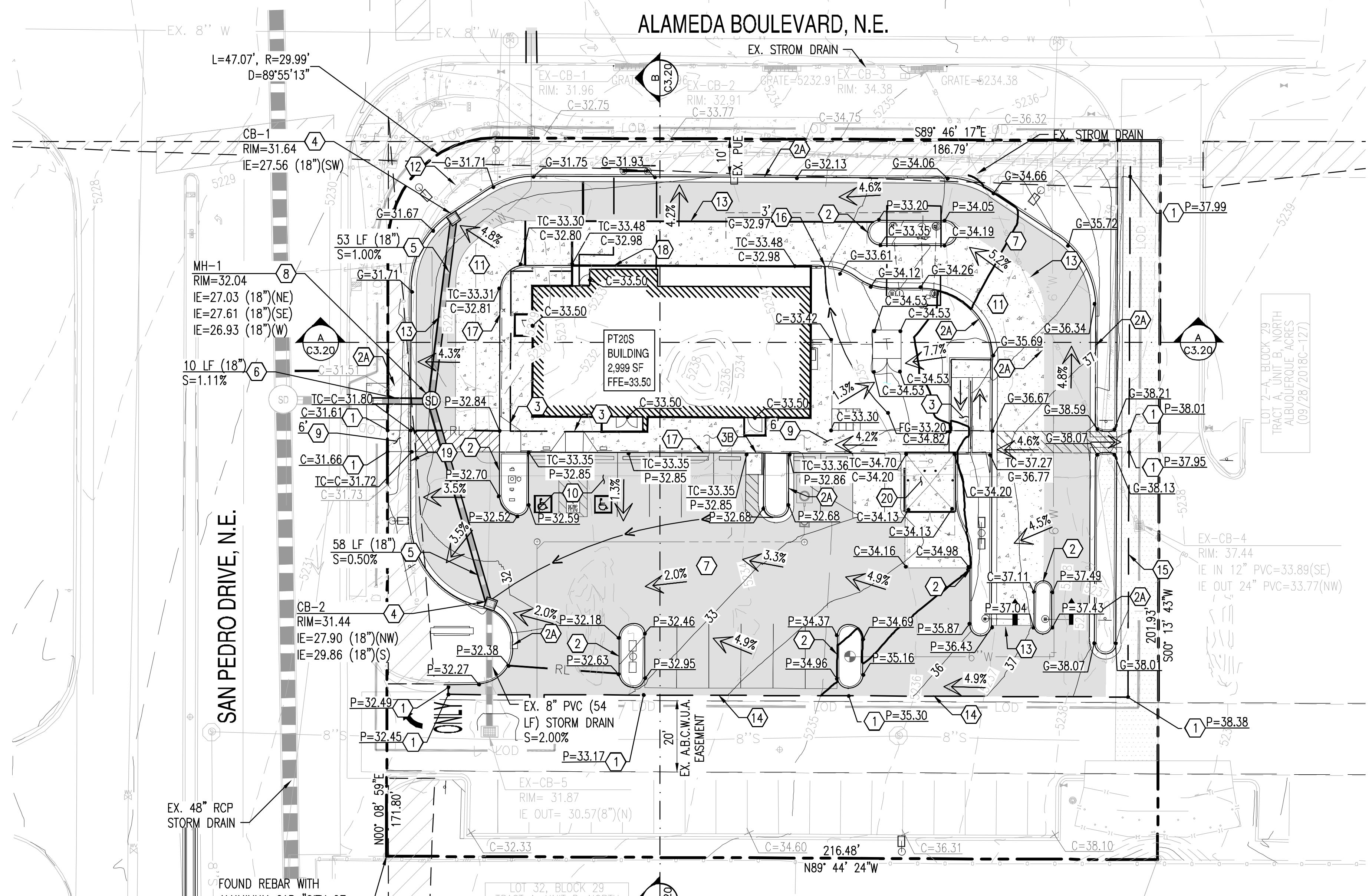
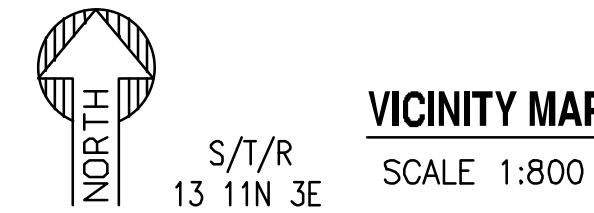
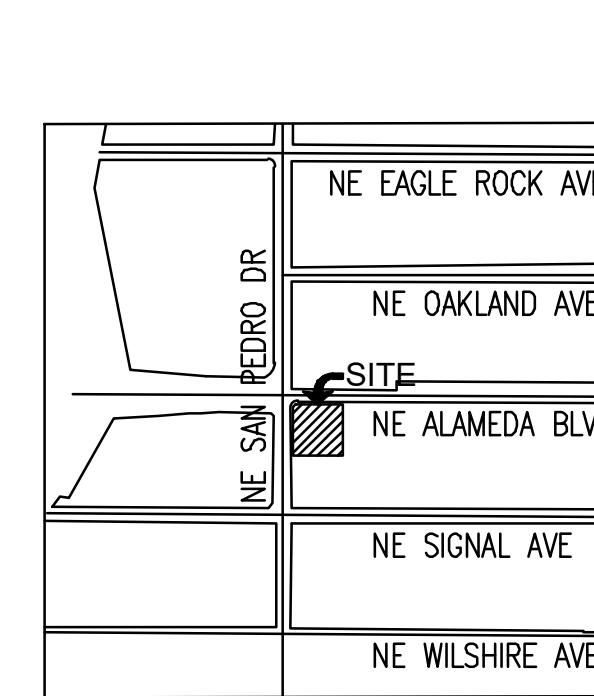
SHEET TITLE:  
PRELIMINARY SITE PLAN DETAILS

PAGE NO.: 3 OF 3  
SHEET NO.: C2.11

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# WHATABURGER GRADING AND DRAINAGE PLAN

6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM  
A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST  
BERNALILLO COUNTY, NEW MEXICO.



### GRADING CONSTRUCTION KEY NOTES

- 1 MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- 2 CONSTRUCT 6" HEADER CURB PER C.O.A. STD. DWG. 2415C
- 2A CONSTRUCT 6" CURB AND GUTTER PER C.O.A. STD DWG 2415A.
- 3 CONSTRUCT ADA RAMP. PER SITE PLANS.
- 3B CONSTRUCT DELIVERY RAMP PER DET. 2/C3.10.
- 4 FURNISH AND INSTALL NYLOPLAST DRAIN BASIN WITH 30" RISER AND 2'X2' STEEL GRATE PER DET. 13/C3.11 & 14/C3.11.
- 5 FURNISH AND INSTALL HDPE DOUBLE WALL PIPE, CLASS 100; LENGTH, SIZE AND SLOPE PER PLAN.
- 6 FURNISH AND INSTALL REINFORCED CLASS III CONCRETE PIPE, LENGTH, SIZE AND SLOPE PER PLAN.
- 7 CONSTRUCT HEAVY DUTY PAVEMENT PER DETAIL 5/C3.10.
- 8 FURNISH AND INSTALL 4" MANHOLE PER C.O.A. 220B.
- 9 CONSTRUCT CONCRETE SIDEWALK PER C.O.A. STD DWG 2430. WIDTH PER PLAN.
- 10 CONSTRUCT PAVEMENT WITH 2% MAXIMUM SLOPE IN ANY DIRECTION AT ACCESSIBLE PARKING STALLS AND 2% MAXIMUM CROSS SLOPE AT ADA ACCESSIBLE ROUTE.
- 11 CONSTRUCT CONCRETE PAVEMENT PER DETAIL 6/C3.10.
- 12 CAUTION! PROTECT EXISTING GAS AND POWER UTILITIES.
- 13 PAVING TRANSITION PER DET. 7/C3.10.
- 14 TRANSITION TO EXISTING PAVEMENT PER DET. 1/C3.10.
- 15 SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT.
- 16 CONSTRUCT 3' CURB OPENING PER DET. 3/C3.10.
- 17 TURN DOWN SIDEWALK. PER STRUCTURAL PLANS DET. A2/S3.1.
- 18 TURN DOWN SLAB. PER STRUCTURAL PLANS DET. C2/S3.1.
- 19 5' CURB TRANSITION FROM 6" TO 0" REVEAL. PER DET. 9/C3.10.
- 20 CONSTRUCT TRASH ENCLOSURE WITH SANITARY SEWER DRAIN. REFER TO ARCHITECTURAL PLANS.
- 21

**EXISTING CONDITIONS AND PROPOSED DEVELOPMENT:**  
THE EXISTING SITE IS PARTIALLY DEVELOPED. THE SOUTHERN PORTION OF THE PROPERTY INCLUDES A PARKING LOT WITH LANDSCAPE ISLANDS WHILE THE NORTH AREA REMAINS UNDEVELOPED WITH AN EXISTING DRAINAGE POND, DIRT PILES AND STORAGE CONTAINER. DRAINAGE STRUCTURES, SEWER AND WATER LINES, AND DRY UTILITIES SUCH AS POWER, GAS AND ELECTRICITY EXIST WITHIN THE SITE. LOT ELEVATION DROP FROM 1,238' AT THE EAST PROPERTY LINE TO ABOUT 1,232' AT THE WEST PROPERTY LINE.

THE PROJECT WILL CONSIST IN THE DEMOLITION OF MOST OF THE EXISTING SOUTH PARKING LOT AND THE CONSTRUCTION OF A FAST FOOD RESTAURANT (2,999 SF) WITH A DRIVE-THRU, PARKING AREA, AND DESIGNATED LANDSCAPE.

### PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

(SPECIAL ORDER 19 ~ "S0-19")

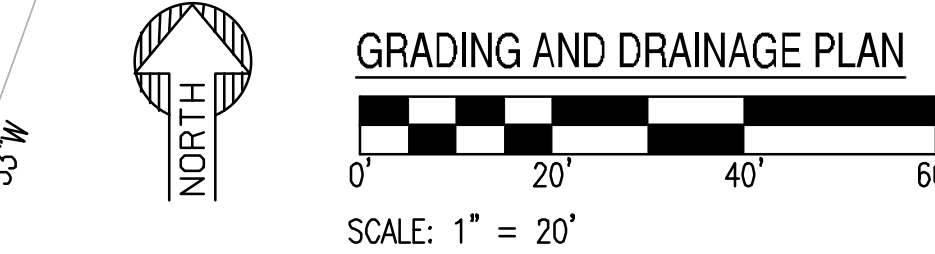
1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
2. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. BACKFILL COMPACTION SHALL BE 95%.
7. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
8. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
9. FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.

### EXISTING LEGEND:

---XXXX---	EX. MAJOR CONTOURS	EX. S	SEWER LINE	---	STORM DRAIN LINE	+	SIGN
---XXXX---	EX. MINOR CONTOURS	⊙	SEWER MANHOLE	CB	STORM CATCH BASIN	+	STREET LIGHT
TC:XX.XX GE:XX.XX	EX. SPOT ELEVATION	EX. W	WATER LINE	⊙	STORM MANHOLE	+	TREE
---	EASEMENT LINE AS NOTED	vw	WATER VALVE	⊙	GAS LINE	+	ROAD CENTERLINE
		+	FIRE HYDRANT	---	FENCE	---	

### PROPOSED GRADING LEGEND:

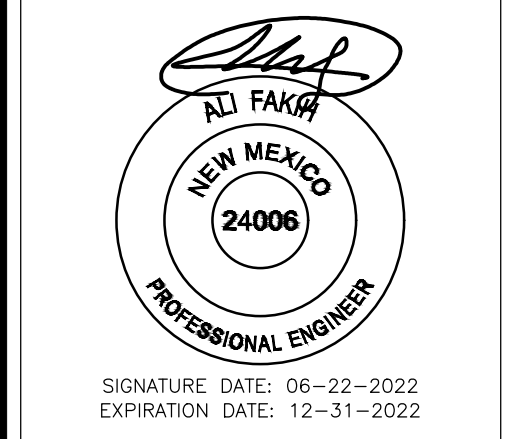
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P=XX.XX	PAVEMENT ELEVATION	---	CURB AND GUTTER	---	---	---	FLOW ARROW	⊙	WATER METER	---	HEAVY DUTY PAVEMENT
C=XX.XX	CONCRETE ELEVATION	---	VERTICAL CURB	---	---	---	CATCH BASIN	⊙	GATE VALVE	---	STORM INLET
		---	R.L.	---	---	---	STORM PIPE	+	+	---	



MONUMENT "10\_C18"  
STANDARD C.O.A. ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,524,123.885 US SURVEY FEET  
E=1,542,565.263 US SURVEY FEET  
PLUBLISHED EL=5222.09 US SURVEY FEET  
(NAVD 1988)  
GROUND TO GRID FACTOR=0.999665042  
DELTA ALPHA ANGLE=-0°11'19.42"

A.G.R.S. MONUMENT "9\_C18"  
STANDARD C.O.A. ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,521,497.624 US SURVEY FEET  
E=1,542,501.428 US SURVEY FEET  
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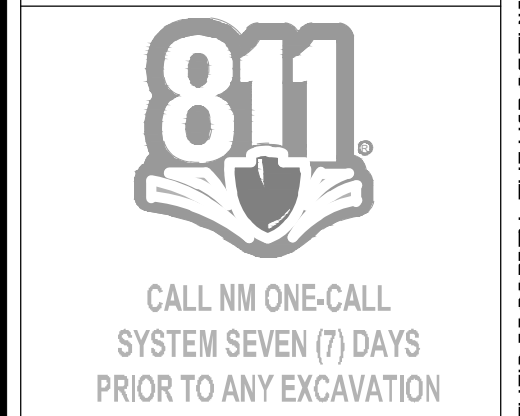
NOTE:  
INVERT ELEVATIONS TO BE VERIFIED IN FIELD.



**SUSTAINABILITY  
ENGINEERING  
GROUP**

**SEG**

8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
WWW.AZSEG.COM TEL. 480.988.7226 FAX. 480.259.3534



PROJECT WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE	LOCATION 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM
DRAWN: GA 01/27/2022	DESIGNED: LP 01/27/2022
QC: SC 06/14/2022	FINAL QC: AF 06/22/2022
DATE: 06/22/2022	ISSUED FOR: DRB
PR-2018-001346	SI-2022-00184

REVISION NO.:	DATE:
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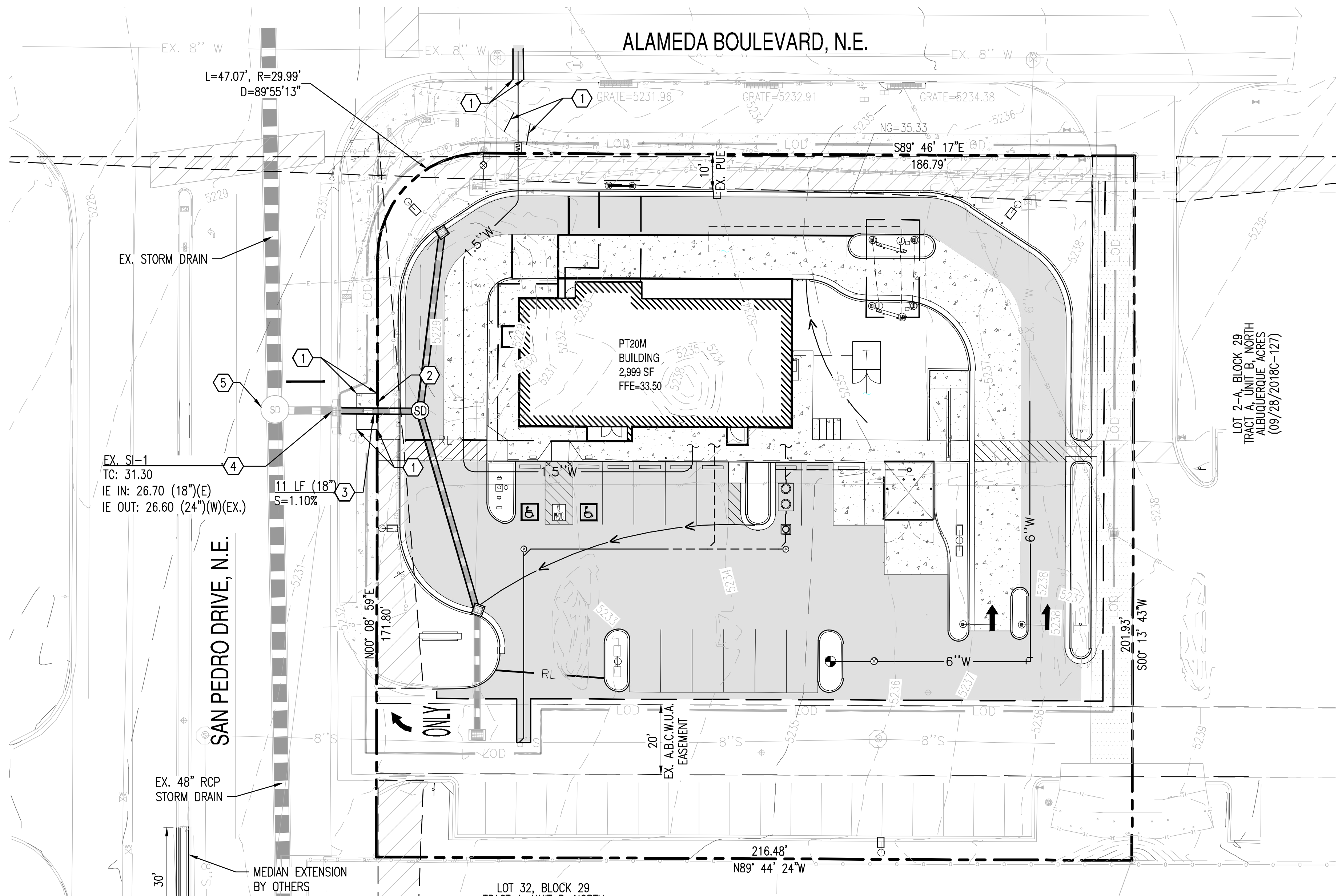
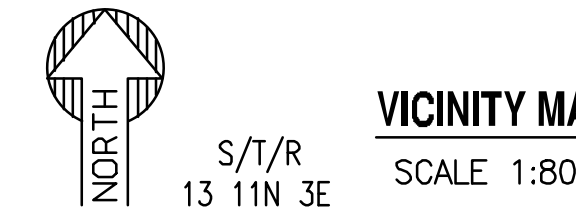
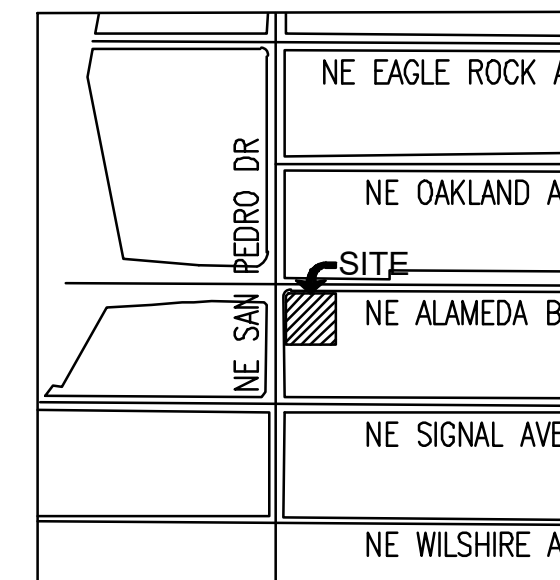
### GRADING AND DRAINAGE PLAN

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# WHATABURGER

## OFF-SITE GRADING AND DRAINAGE PLAN

6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM  
 A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST  
 BERNALILLO COUNTY, NEW MEXICO.



### GRADING CONSTRUCTION KEY NOTES

- ① MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- ② REMOVE AND REPLACE EXISTING SIDEWALK AS REQUIRED FOR UTILITY CONSTRUCTION. REMOVE TO NEAREST JOINT.
- ③ FURNISH AND INSTALL REINFORCED CLASS III CONCRETE PIPE, LENGTH, SIZE AND SLOPE PER PLAN.
- ④ CONNECT PIPE TO EXISTING PUBLIC STORM INLET.
- ⑤ EXISTING PUBLIC 8" DIA MANHOLE

NOTE:  
 INVERT ELEVATIONS TO BE VERIFIED IN FIELD.

LOCATION: Z:\SHARED\PROJECTS\WHATABURGER\ALBUQUERQUE, NM - SWC ALAMEDA BLVD & SAN PEDRO AVE - 210907\11 CAD (SEG)\1.4 CD\S\CD210907-03.00-03.01.DWG  
 SAVED BY: ESAUL REYES DATE: 6/22/2022

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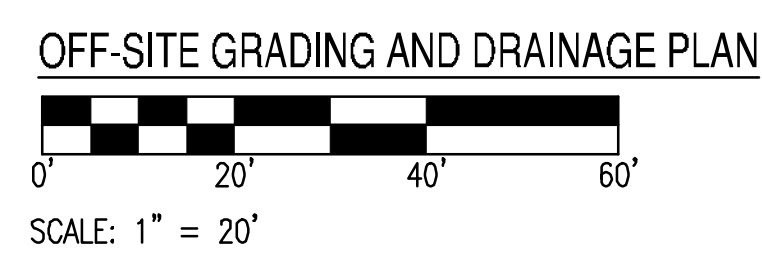
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---XXXX---	EX. MINOR CONTOURS	⊙	SEWER MANHOLE	CB	STORM CATCH BASIN	⊙	STREET LIGHT
TC:XX.XX BE:XX.XX	EX. SPOT ELEVATION	EX. W	WATER LINE	⊙	STORM MANHOLE	⊙	TREE
---	EASEMENT LINE AS NOTED	⊙	WATER VALVE	⊙	GAS LINE	⊙	ROAD CENTERLINE
		⊙	FIRE HYDRANT	---	FENCE	---	

### PROPOSED GRADING LEGEND:

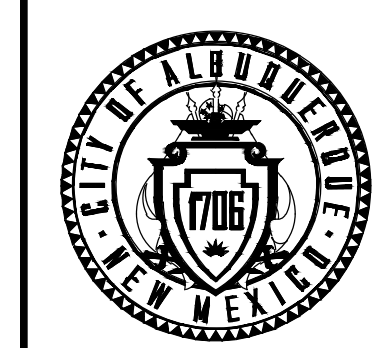
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P=XX.XX	PAVEMENT ELEVATION	---	CURB AND GUTTER	---	---	---	FLOW ARROW	⊙	WATER METER	---	HEAVY DUTY PAVEMENT
C=XX.XX	CONCRETE ELEVATION	---	VERTICAL CURB	---	---	---	CATCH BASIN	⊙	GATE VALVE	---	STORM INLET
		---	R.L.	---	---	---	STORM PIPE	⊙	FIRE HYDRANT		

MONUMENT "10\_C18"  
 STANDARD C.O.A. ALUMINUM DISC  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
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 E=1,542,565.263 US SURVEY FEET  
 PUBLISHED EL=5222.09 US SURVEY FEET  
 (NAVD 1988)  
 GROUND TO GRID FACTOR=0.999665042  
 DELTA ALPHA ANGLE=-0°11'19.42"

A.G.R.S. MONUMENT "9\_C18"  
 STANDARD C.O.A. ALUMINUM DISC  
 (FOUND IN PLACE)  
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 GROUND TO GRID FACTOR=0.999664563  
 DELTA ALPHA ANGLE=-0°11'19.69"



CALL NM ONE-CALL  
 SYSTEM SEVEN (7) DAYS  
 PRIOR TO ANY EXCAVATION



CITY OF ALBUQUERQUE  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT  
 ENGINEERING DIVISION

OFF-SITE GRADING & DRAINAGE  
 PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. <b>Z-99</b>
		CITY PROJECT NO. <b>PR-2018-001346</b>
		SHEET NO. <b>C3.01</b>

CONSULTANTS

8290 E. CEDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
 WWW.AZSEG.COM TEL: 480.588.7226 FAX: 480.259.3534

SEAL

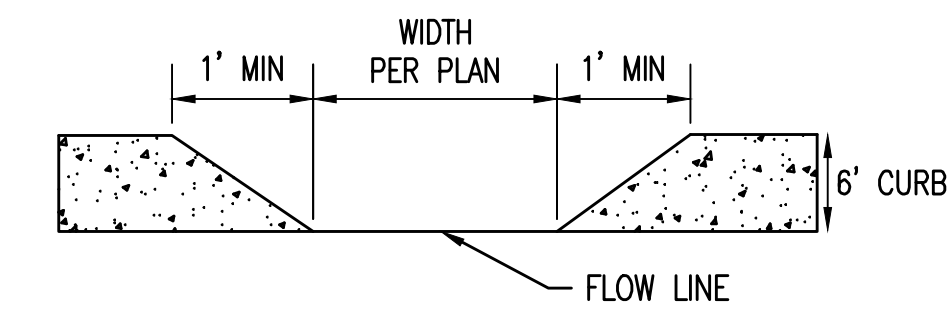
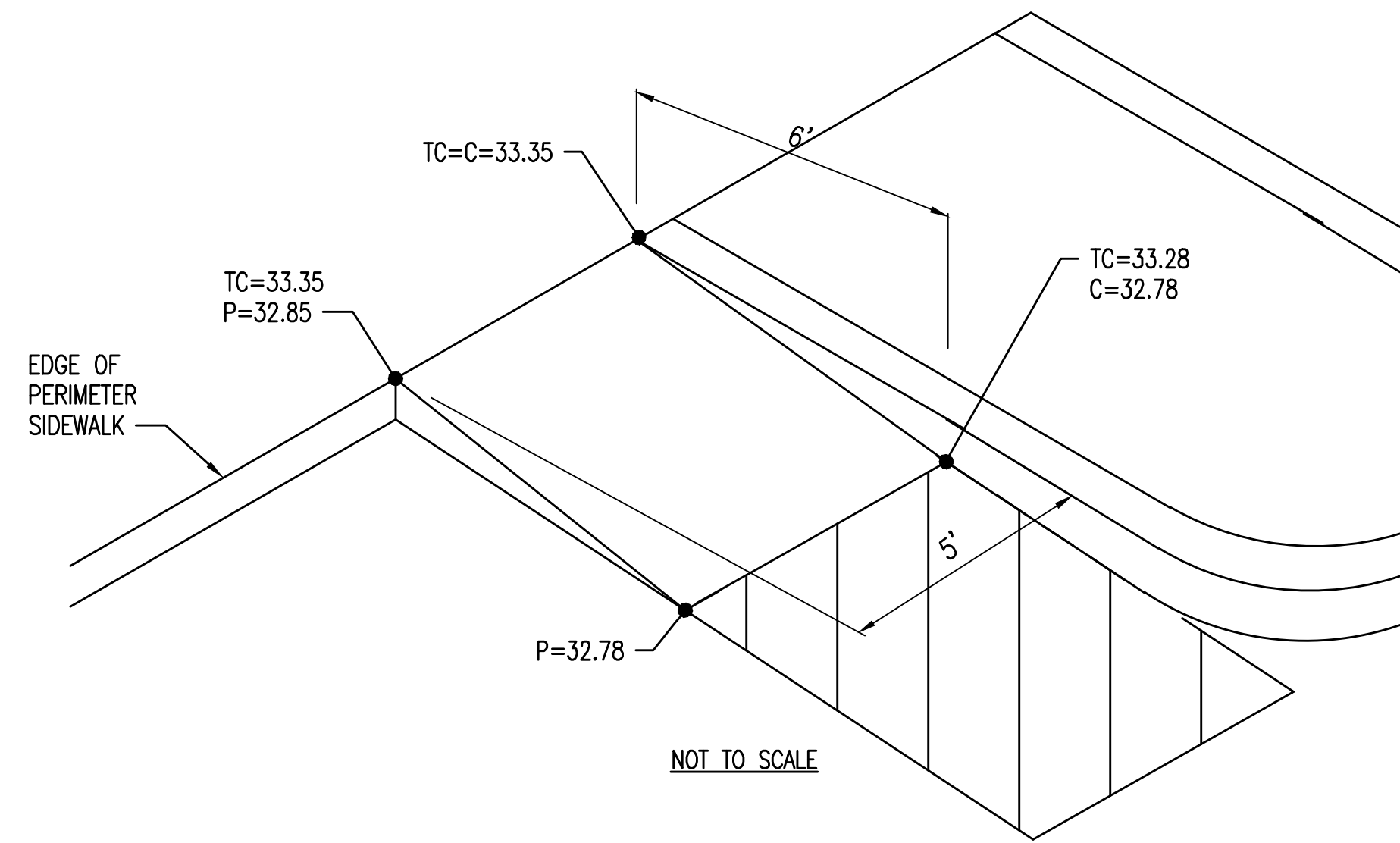
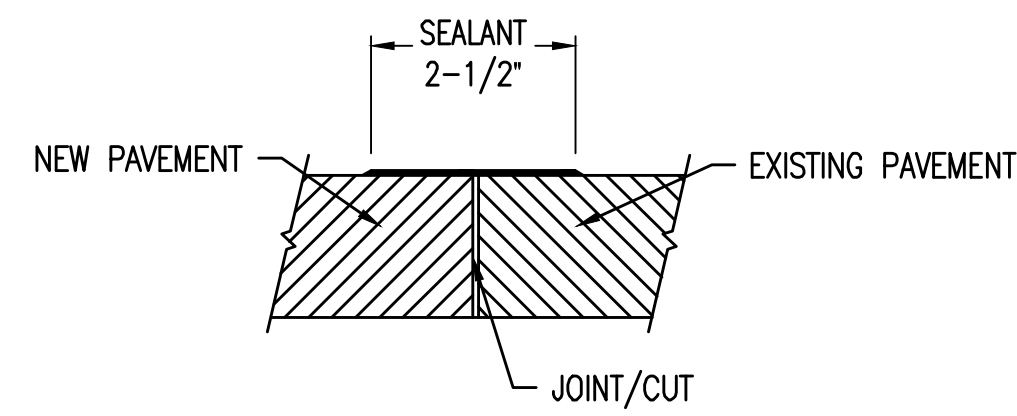
ALII FAKIR  
 NEW MEXICO  
 24006  
 PROFESSIONAL ENGINEER

SIGNATURE DATE: 06-22-2022  
 EXPIRATION DATE: 12-31-2022

NO.	DATE	BY	DESCRIPTION
			CONTRACTOR
			AS-BUILT INFORMATION
			WORK STAKED BY:
			INSPECTOR'S ACCEPTANCE BY:
			FIELD VERIFICATION BY:
			DRAWINGS CORRECTED BY:

DESIGNED BY: SO  
 DRAWN BY: ER  
 CHECKED BY: SC  
 DATE: 06/2022

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TRANSITION TO EXISTING PAVEMENT



1

DELIVERY RAMP

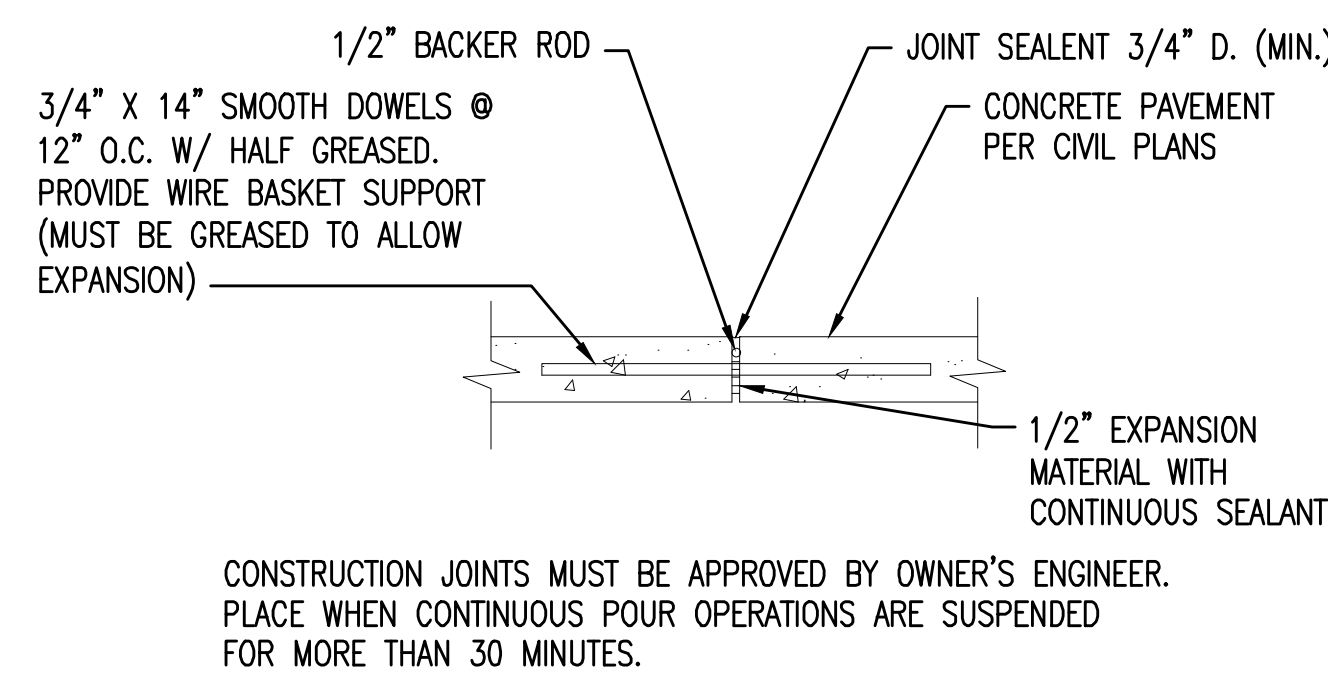


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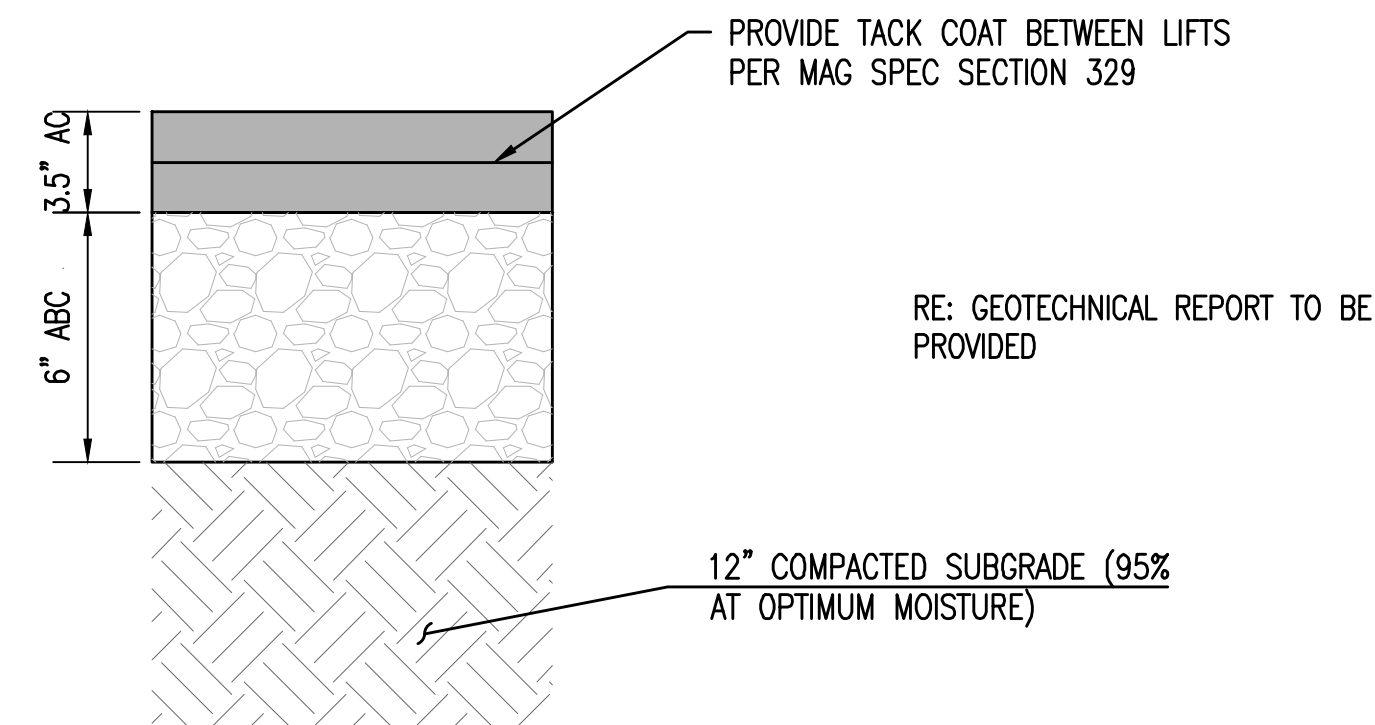
CURB OPENING



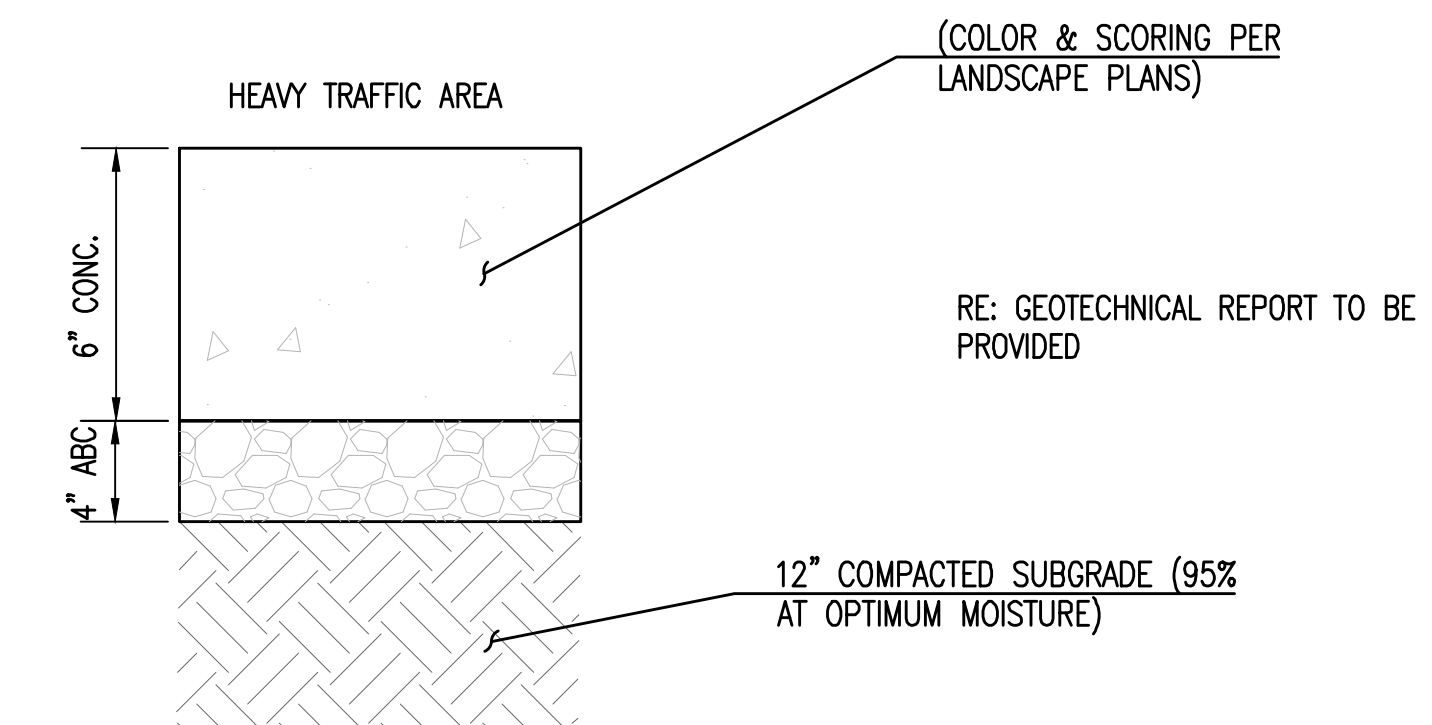
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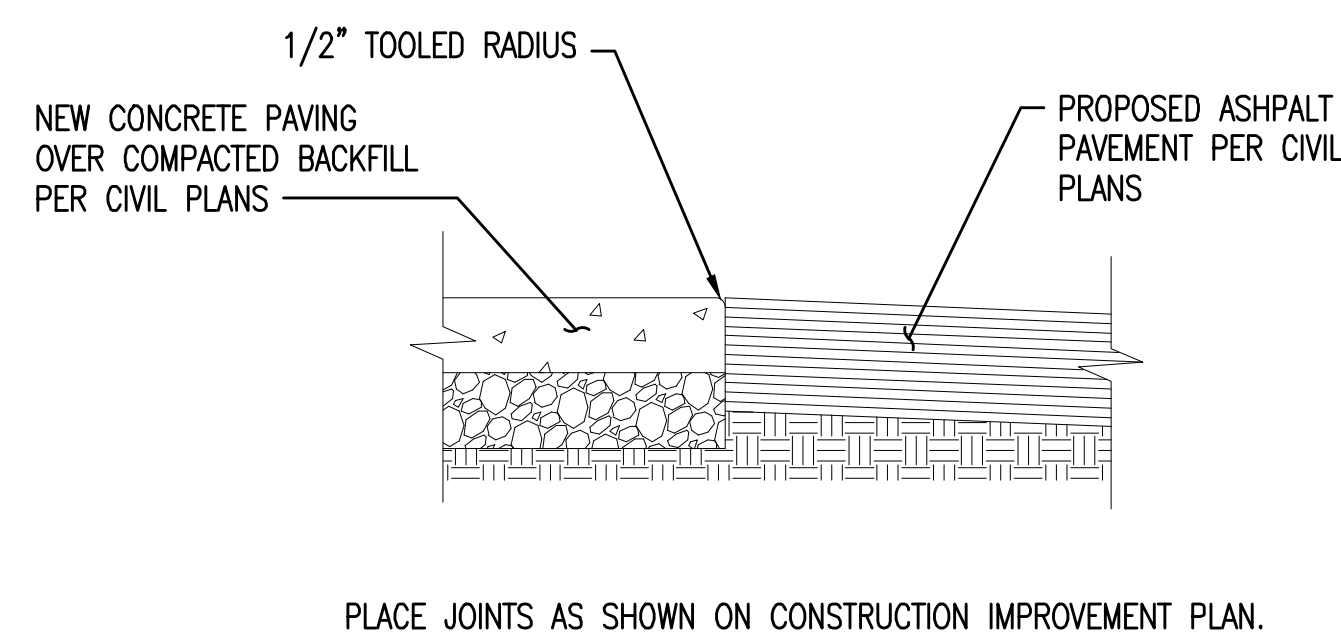
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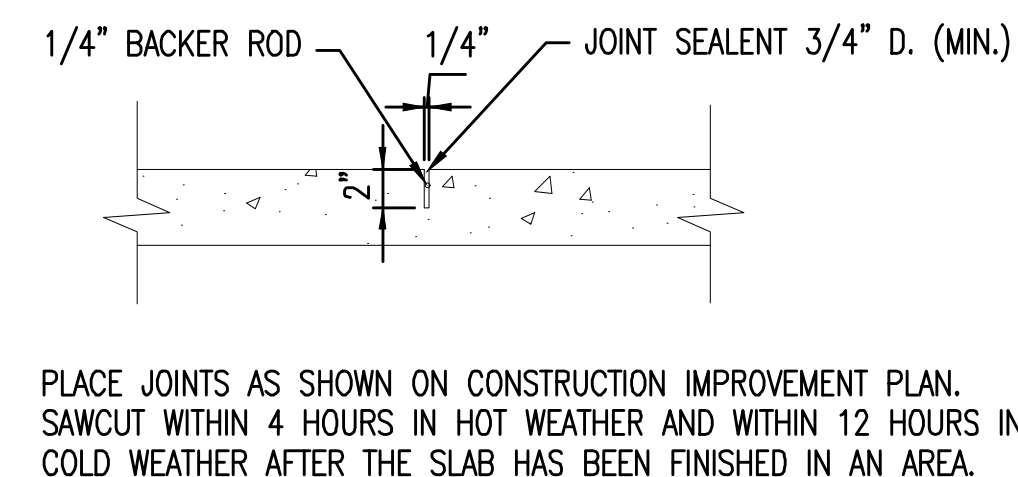
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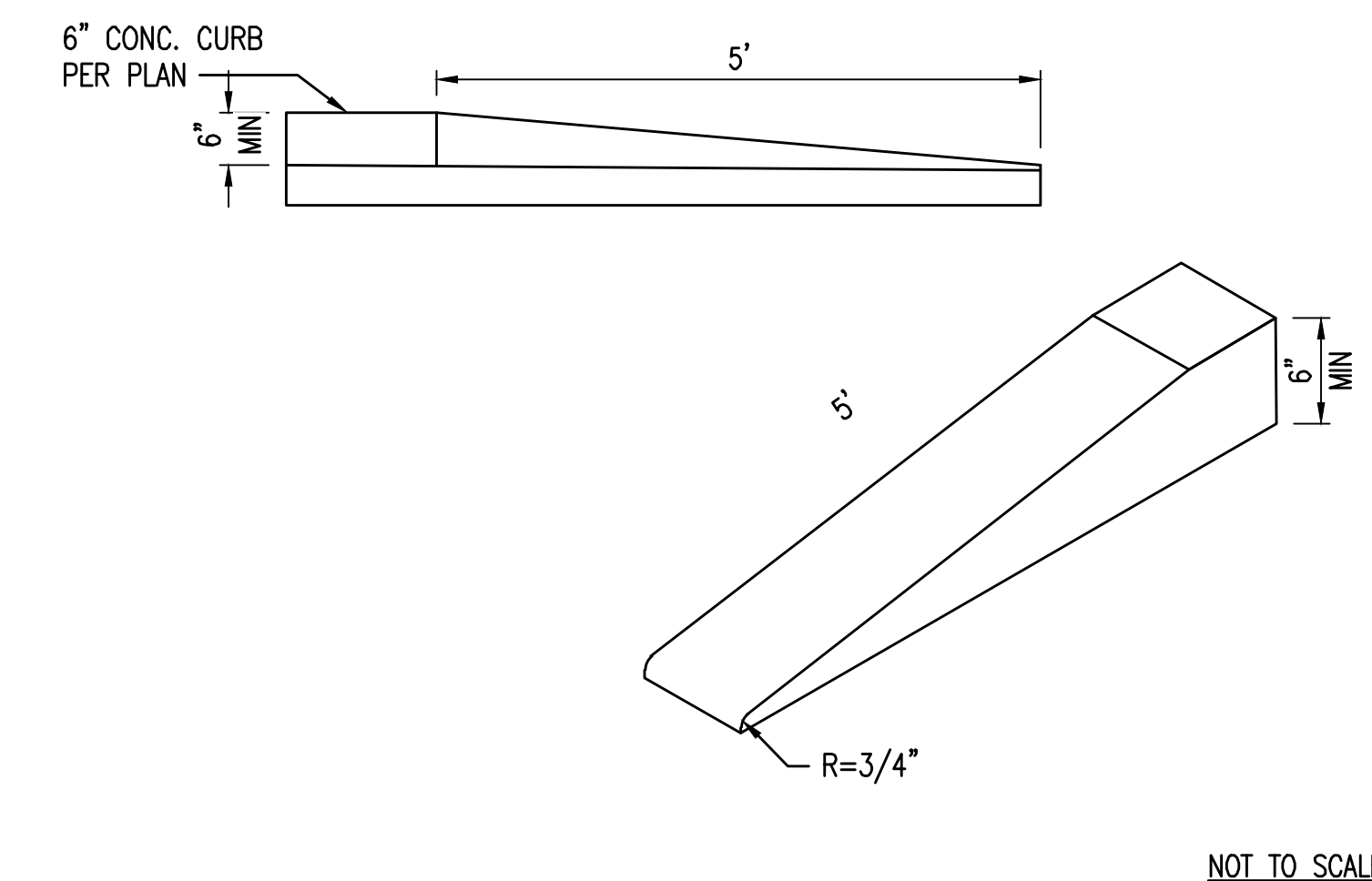
6



7



8



9

CONSTRUCTION JOINT

ASPHALT PAVEMENT SECTION

CONCRETE PAVEMENT SECTION

PAVING TRANSITION

CONTROL JOINT

5' CURB TRANSITION 6" TO 0"



SIGNATURE DATE: 06-22-2022  
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY  
ENGINEERING  
GROUP

SEG



8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
WWW.AZSEG.COM TEL: 480.988.7226 FAX: 480.959.3534



CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

PROJECT: WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE  
LOCATION: 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM

DRAWN: GA 01/27/2022  
DESIGNED: LP 01/27/2022  
QC: SC 06/14/2022  
FINAL QC: AF 06/22/2022  
PROJ. MGR: AF 06/22/2022

DATE: 06/22/2022  
ISSUED FOR: DRB  
PR-2018-001346  
SI-2022-00184

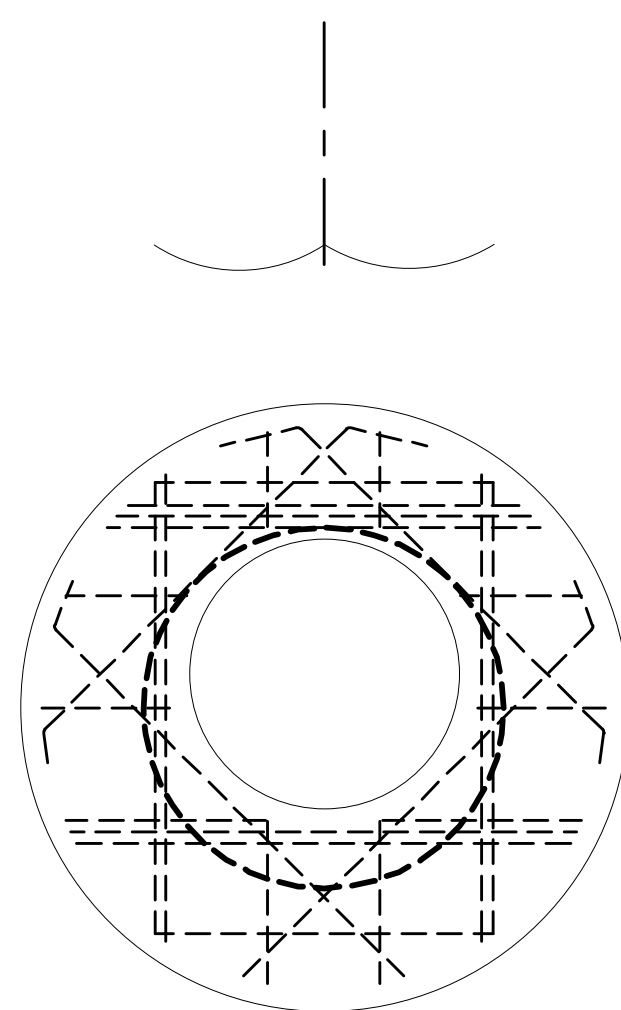
REVISION NO.: DATE:  
JOB NO.: 210907

SHEET TITLE:

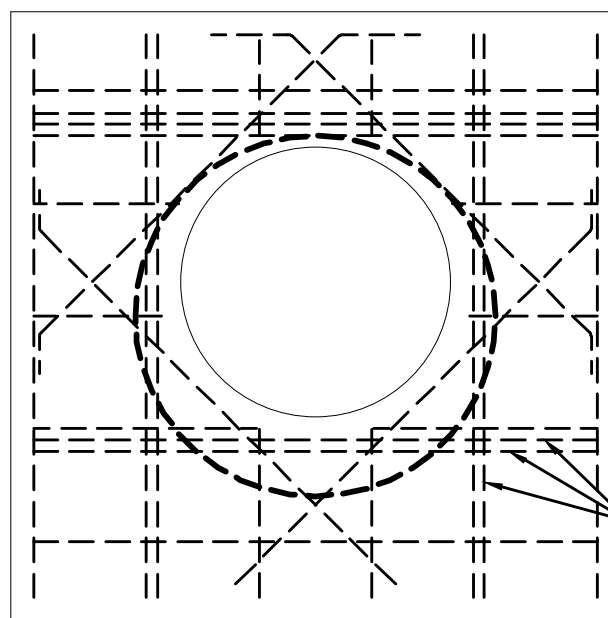
GRADING AND  
DRAINAGE DETAILS

PAGE NO.: 3 OF 5  
SHEET NO.: C3.10

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REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
24"	Ø 4' 4x4'	26"	#5 @ 10" OCEW #5 @ 10" OCEW	2,540 1,900
30"	Ø 4'-6" 4'-6" x 4'-6"	32"	#5 @ 10" OCEW #5 @ 9" OCEW	2,260 1,670
36"	Ø 5' 5' x 5'	38"	#5 @ 9" OCEW #5 @ 8" OCEW	2,060 1,500
42"	Ø 5'-6" 5'-6" x 5'-6"	44"	#5 @ 8" OCEW #5 @ 8" OCEW	1,490 1,370
48"	Ø 6' 6' x 6'	50"	#5 @ 7" OCEW #5 @ 7" OCEW	1,210 1,270

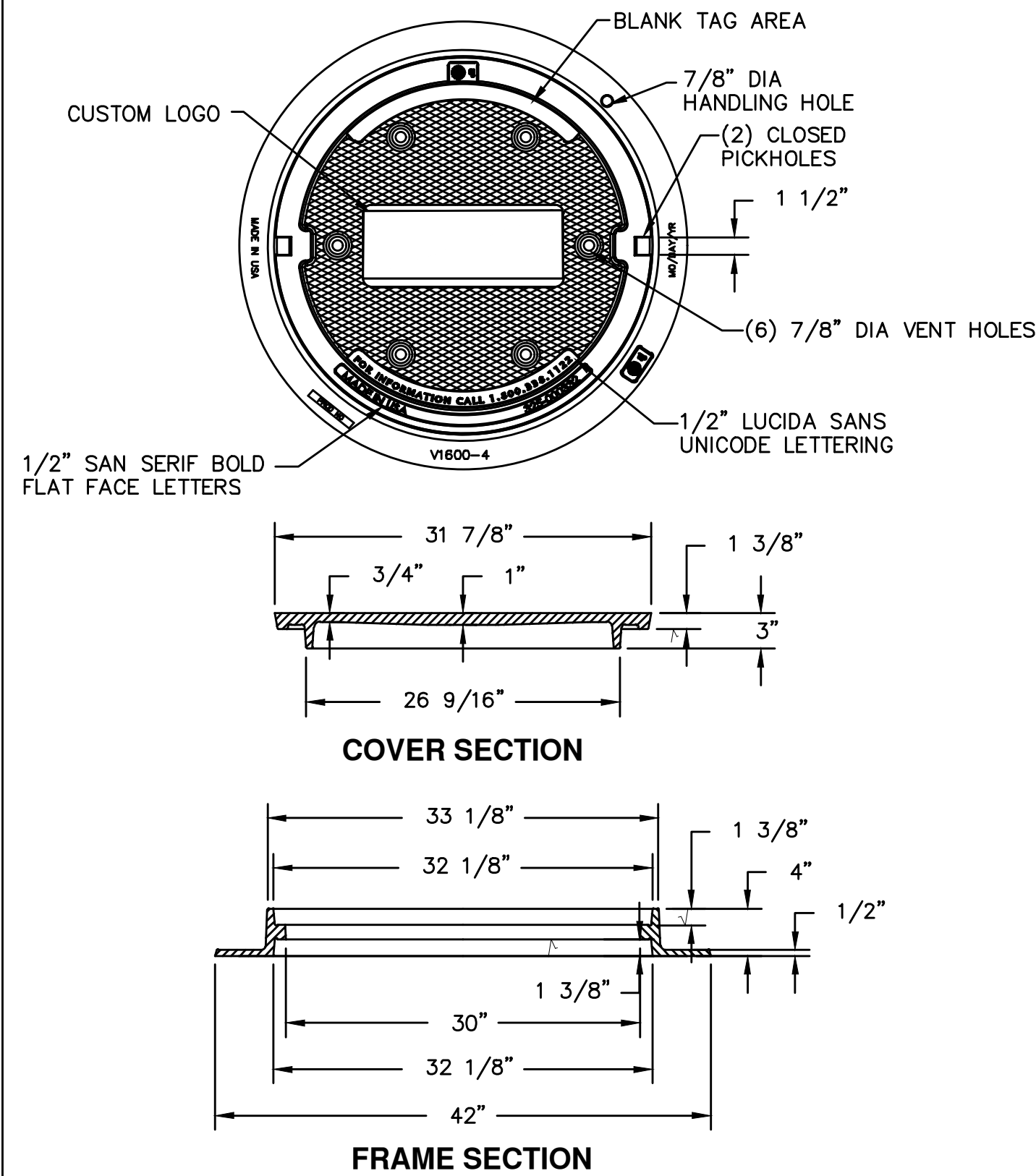


INTERRUPTED BAR REPLACEMENT, SEE NOTE 6.

**NOTES:**

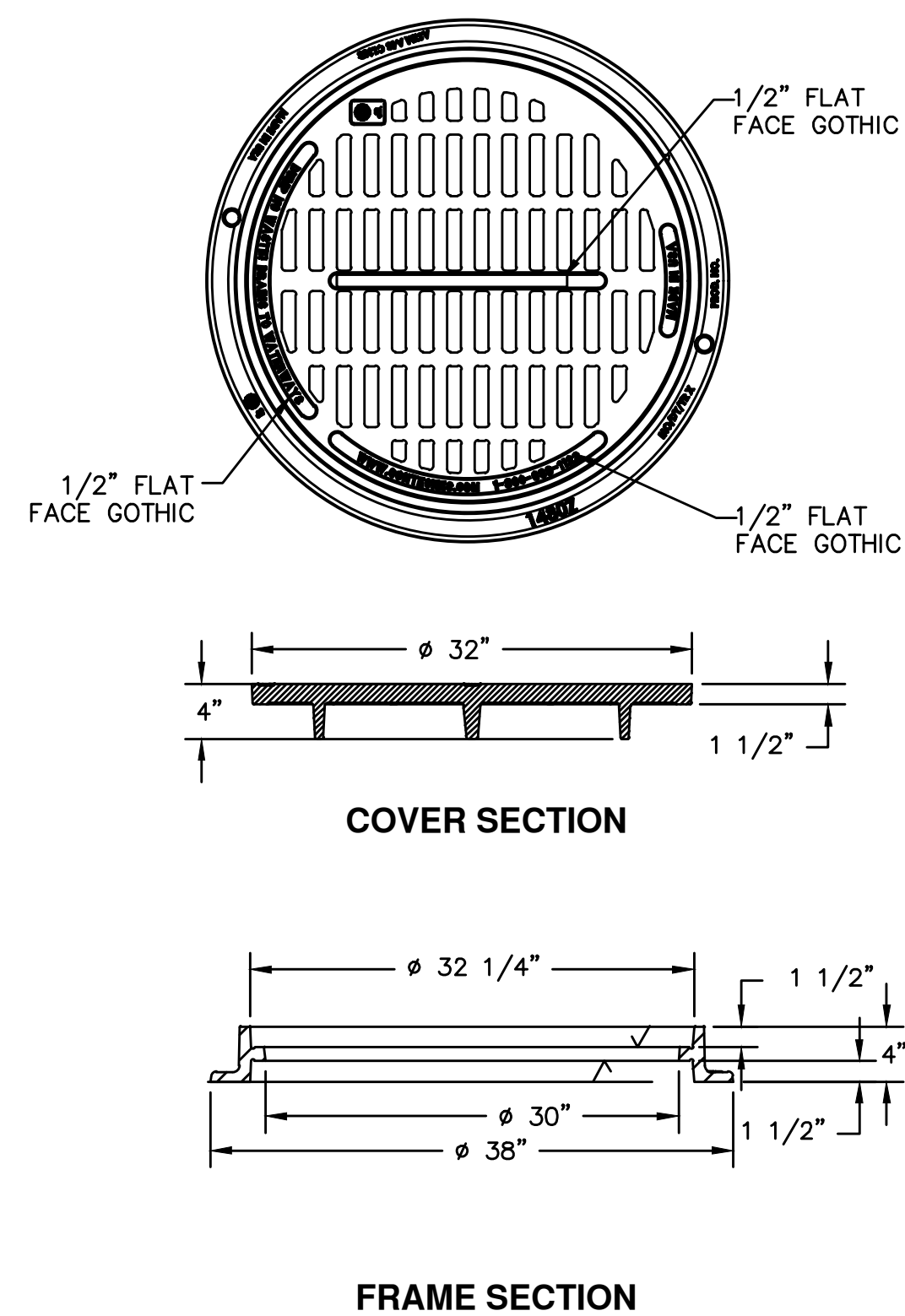
- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION AND ACI 350.
- DESIGN LOAD HS25.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 4,000 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
- DETAIL DESIGN BY DELTA ENGINEERS, ARCHITECTS AND LAND SURVEYORS, ENDWELL, NY.

**30"x4" REVERSIBLE FRAME & SOLID COVER**

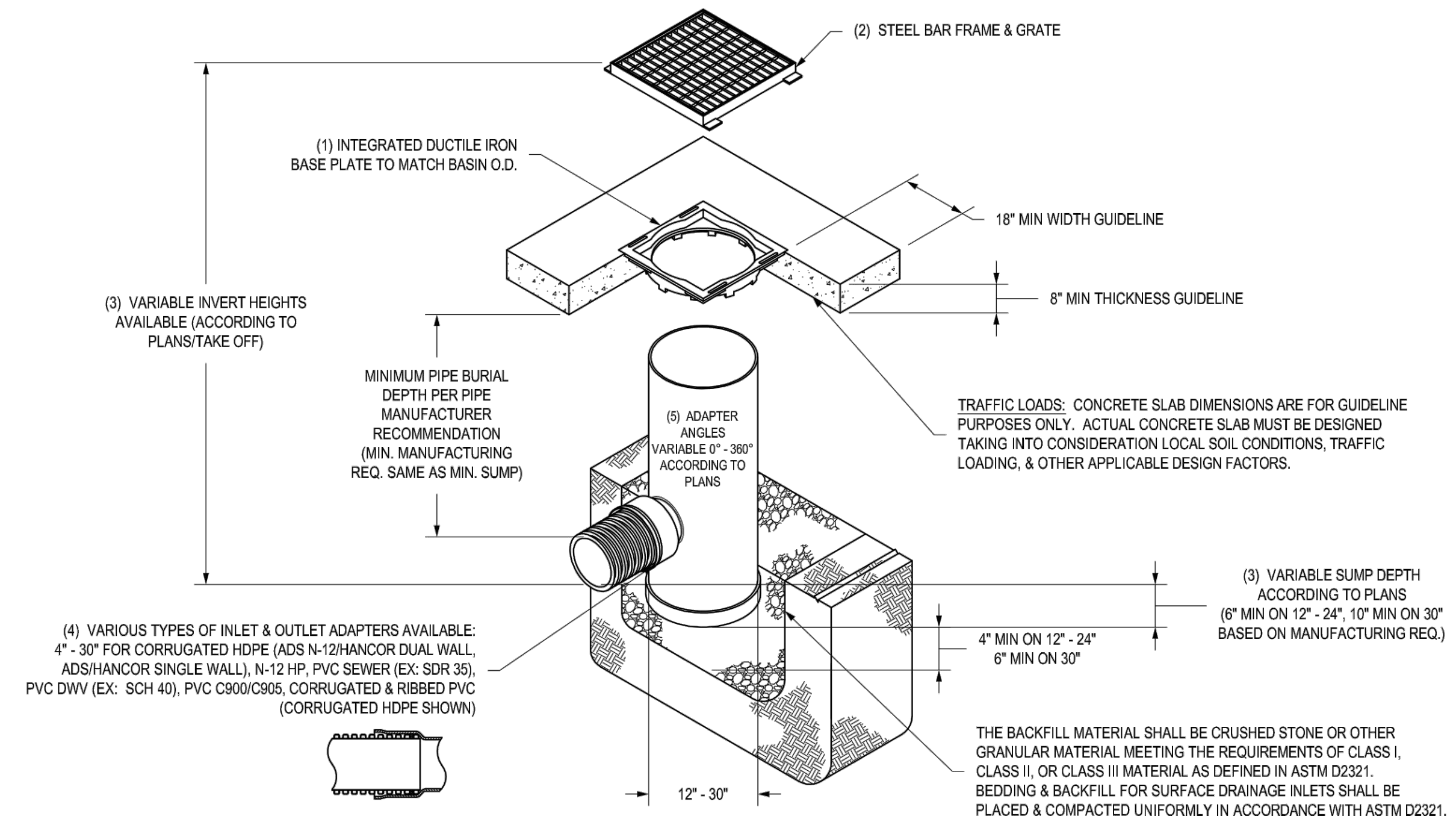


RISER DETAIL

**30"x4" REVERSIBLE FRAME & GRATE**



**NYLOPLAST DRAIN BASIN WITH 2 FT X 2 FT STEEL BAR GRATE**



- 12" - 30" BASE PLATES SHALL BE DUCTILE IRON PER ASTM A538 GRADE 70-50-05.
- FRAME & GRATE SHALL BE STEEL PER ASTM A36.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, N-12 HP, & PVC SEWER (4" - 24").
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- STEEL BAR GRATE SHALL MEET H-20 LOAD RATING.

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DRAWN BY	EBC	MATERIAL
DATE	03-22-10	
REVISED BY	NMH	PROJECT NO./NAME
DATE	03-16-16	
DWG SIZE	A	SCALE 1:40 SHEET 1 OF 1

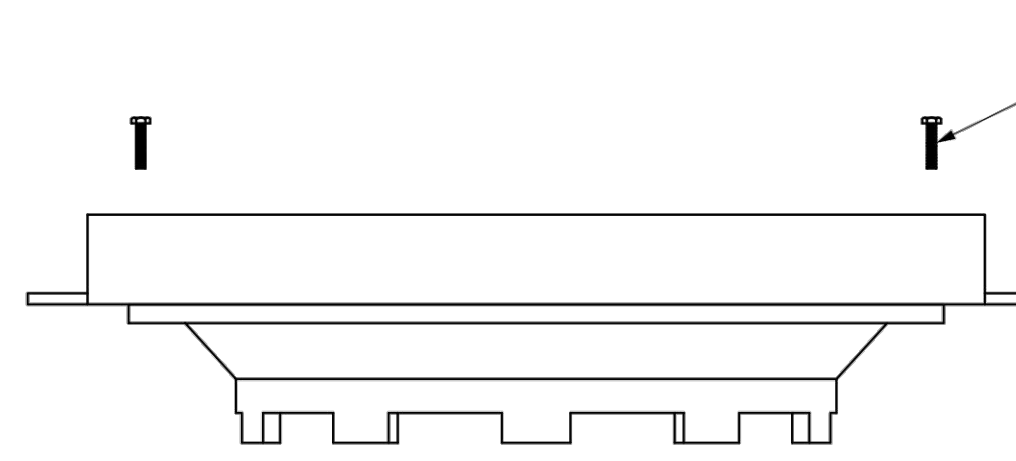
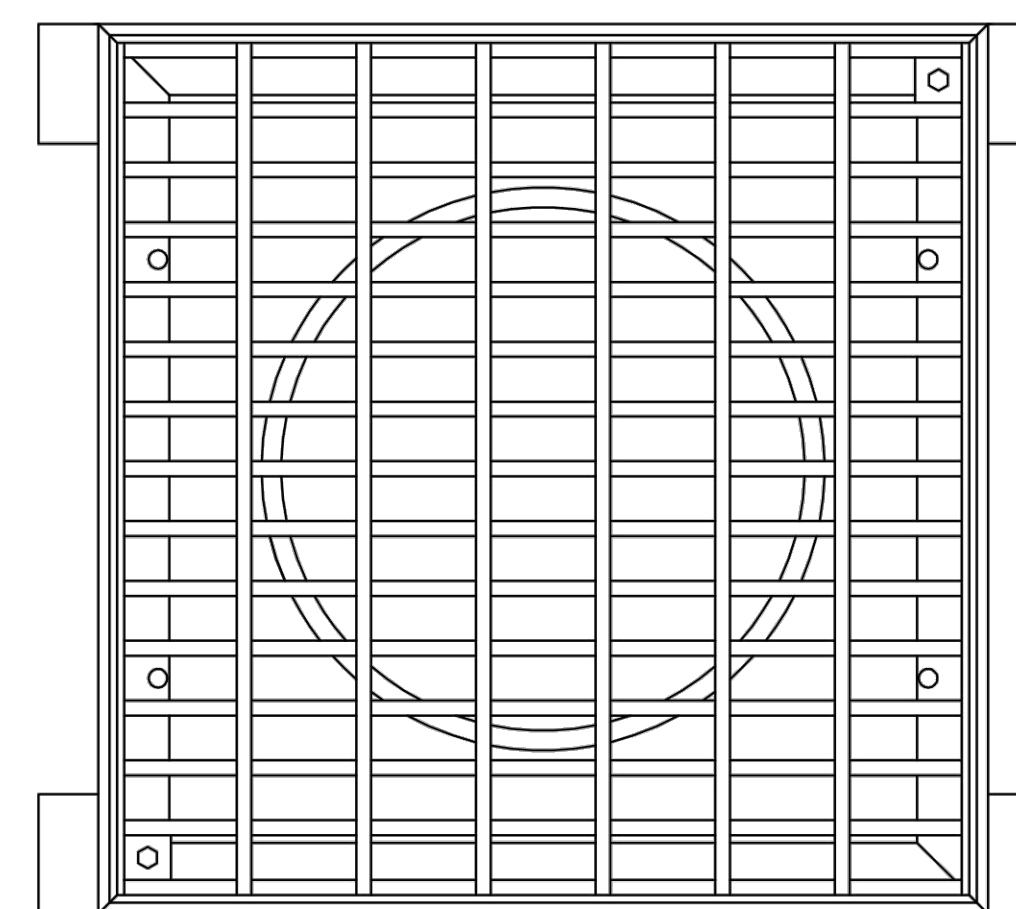
**Nyloplast**  
3130 VERONA AVE  
BUFORD, GA 30518  
PHN (770) 932-2443  
FAX (770) 932-2490  
www.nyloplast-us.com

TITLE  
DRAIN BASIN WITH 2 FT X 2 FT STEEL BAR GRATE  
QUICK SPEC INSTALLATION DETAIL

DWG NO. 7001-110-394 REV D

**NYLOPLAST DRAIN BASIN**

**3299CGSQSBL**



NOTE: LOCATION OF LOCKING DEVICE MAY VARY

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DRAWN BY	EBC	MATERIAL
DATE	03-02-06	
REVISED BY	CCA	PROJECT NO./NAME
DATE	09-03-13	
DWG SIZE	A	SCALE 1:8 SHEET 1 OF 1

**Nyloplast**  
3130 VERONA AVE  
BUFORD, GA 30518  
PHN (770) 932-2443  
FAX (770) 932-2490  
www.nyloplast-us.com

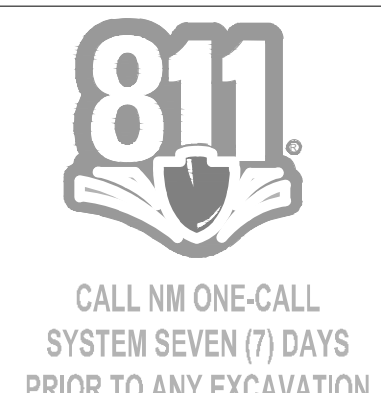
TITLE  
2 FT X 2 FT STEEL BAR LOCKING GRATE ASSEMBLY

DWG NO. 7001-110-236 REV D

**NYLOPLAST GRATE**



SIGNATURE DATE: 06-22-2022  
EXPIRATION DATE: 12-31-2022



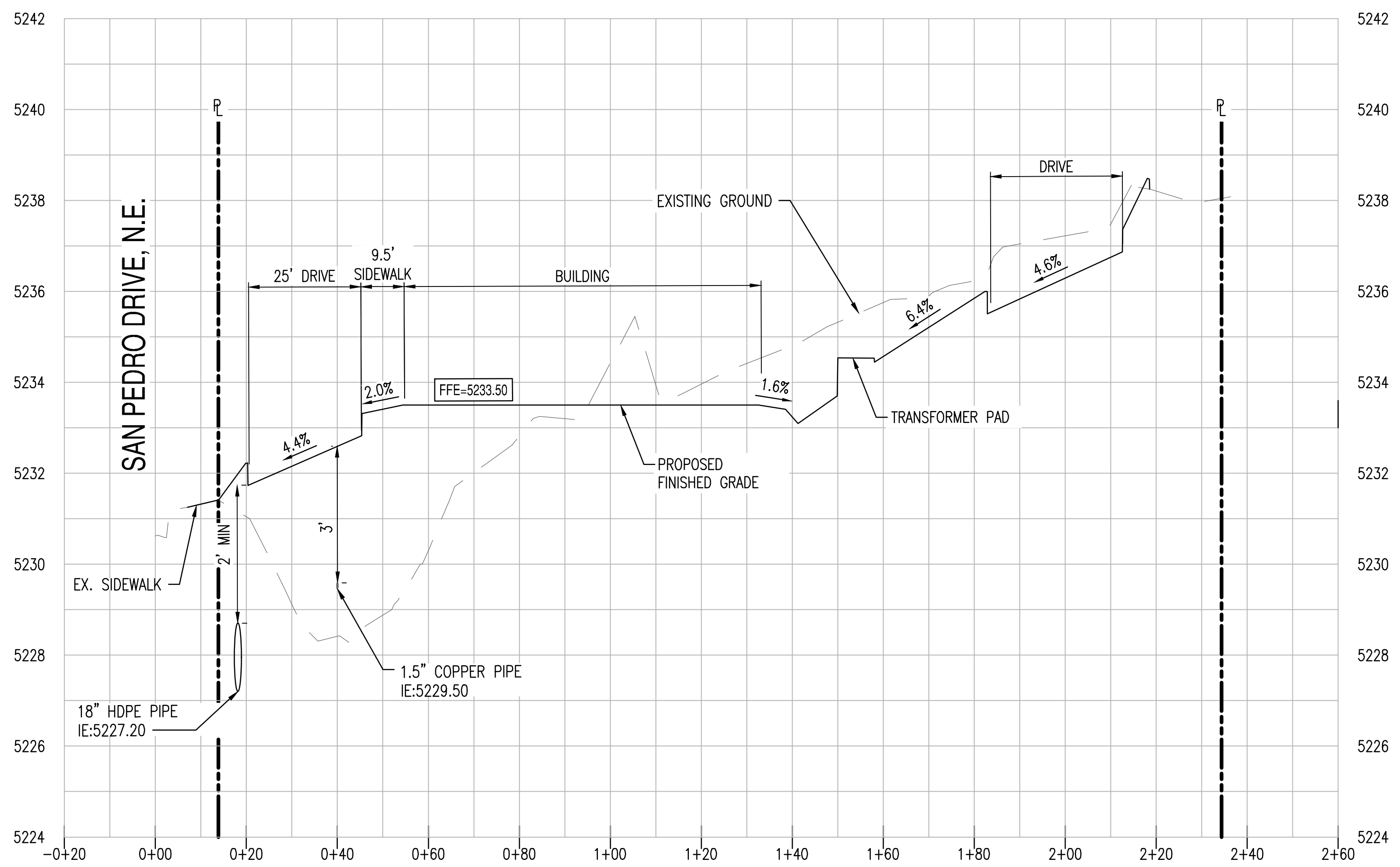
PROJECT	WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE	LOCATION	6100 ALAMEDA BLVD NE ALBUQUERQUE, NM
DRAWN	GA	01/27/2022	
DESIGNED	LP	01/27/2022	
QC	SC	06/14/2022	
FINAL QC			
PROJ. MGR.	AF	06/22/2022	

DATE:	06/22/2022
ISSUED FOR:	DRB
	PR-2018-001346
	SI-2022-00184
REVISION NO.:	DATE:
JOB NO.:	210907
SHEET TITLE:	

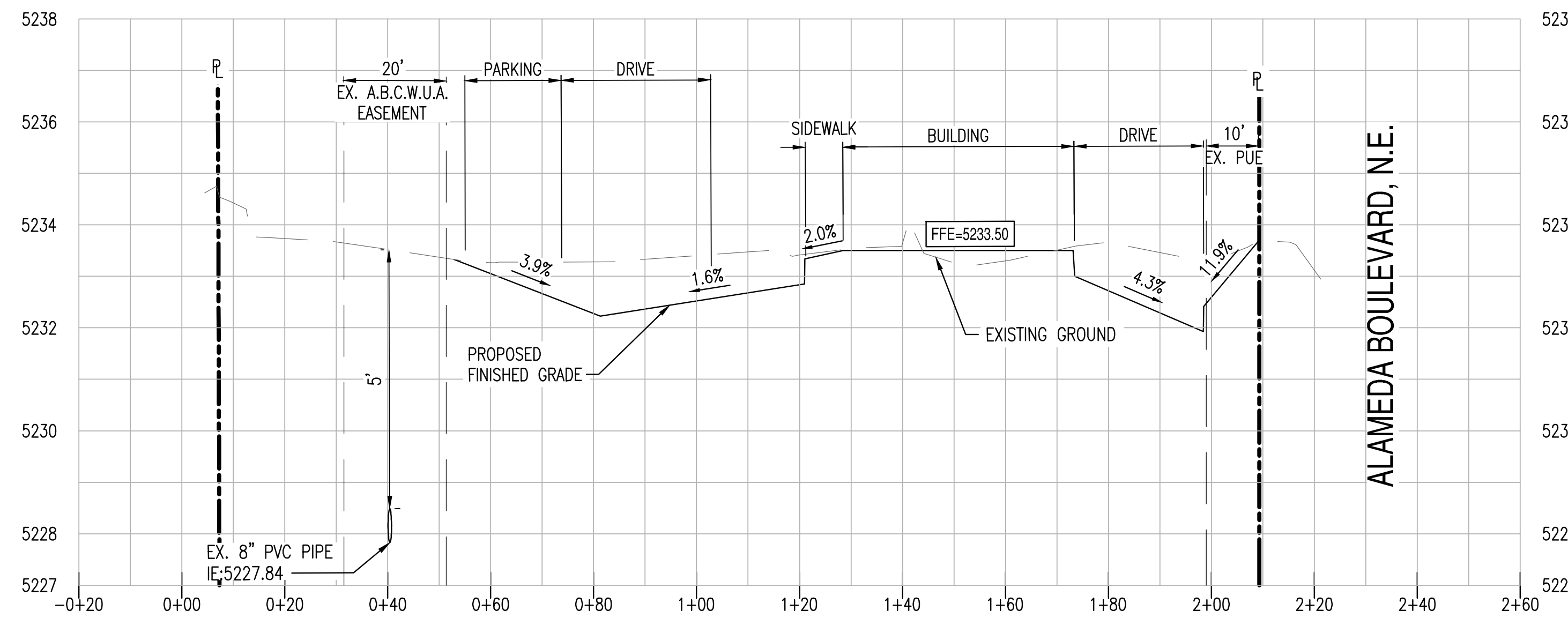
**GRADING AND DRAINAGE DETAILS**

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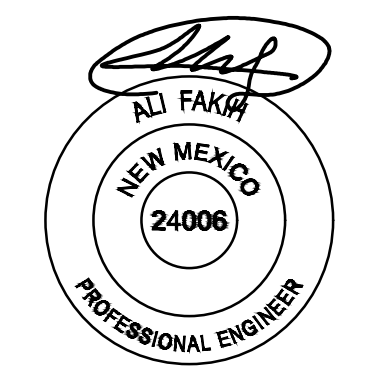




SECTION A-A C3.00  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'



SECTION B-B C3.00  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'



SIGNATURE DATE: 06-22-2022  
 EXPIRATION DATE: 12-31-2022

SUSTAINABILITY  
 ENGINEERING  
 GROUP

SEG



CALL NM ONE-CALL  
 SYSTEM SEVEN (7) DAYS  
 PRIOR TO ANY EXCAVATION

PROJECT: WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE  
 LOCATION: 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM

DRAWN: GA 01/27/2022  
 DESIGNED: LP 01/27/2022  
 QC: SC 06/14/2022  
 FINAL QC:  
 PROJ. MGR: AF 06/22/2022

DATE: 06/22/2022  
 ISSUED FOR: DRB  
 PR-2018-001346  
 SH-2022-00184

REVISION NO.	DATE

JOB NO.: 210907

SHEET TITLE: SITE CROSS SECTIONS

PAGE NO.: 5 OF 5  
 SHEET NO.: C3.20

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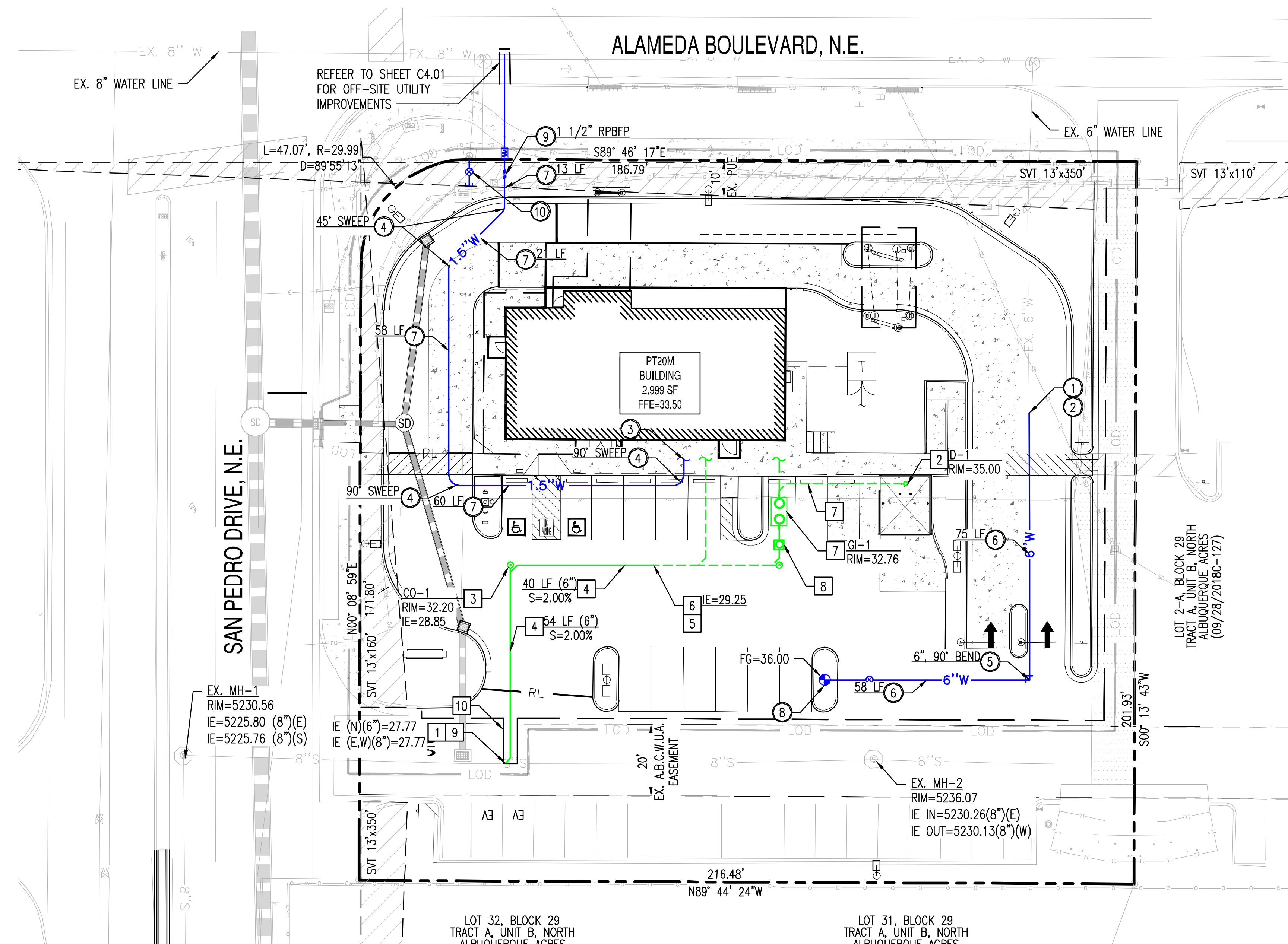
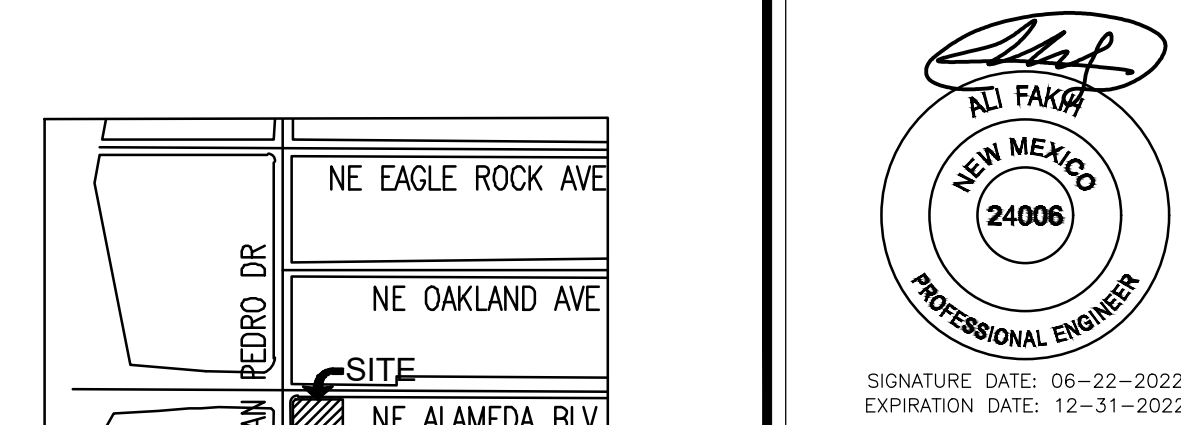
**PLUMBING**  
 FAISAL ELHALIS  
 35080 W LAREDO ST WAY  
 CHANDLER, AZ 85226  
 PHONE: 602-492-7944  
 CONTACT: FAISAL ELHALIS  
 EMAIL: ELHALISF@GMAIL.COM  
 LATEST PLAN COORDINATION: 05/12/22

**LANDSCAPE**  
 HARRINGTON PLANNING AND DESIGN  
 1921 S. ALMA SCHOOL RD, STE. 204  
 SCOTTSDALE, AZ 85251  
 PHONE: 480-250-0116  
 CONTACT: JASON HARRINGTON  
 EMAIL: JASON@HARRINGTONPLANNINGDESIGN.COM  
 LATEST PLAN COORDINATION: 05/04/22

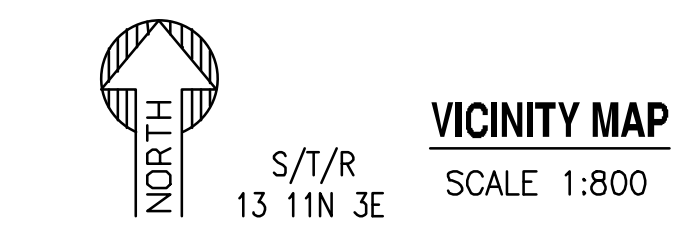
**ELECTRICAL**  
 OMD ARDEBILI  
 7328 E STETSON DR  
 SCOTTSDALE, AZ 85251  
 PHONE: 480-626-7072  
 CONTACT: OMD ARDEBILI P.E.  
 EMAIL: OMD@ARDEBILIENG.COM  
 LATEST PLAN COORDINATION: 05/11/22

# WHATABURGER UTILITY PLAN

6100 NE ALAMEDA BLVD, ALBUQUERQUE, NM  
 A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3  
 EAST, BERNALILLO COUNTY, NEW MEXICO.



- WATER CONSTRUCTION KEY NOTES**
- CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO CONSTRUCTION.
  - CONNECT TO EXISTING SERVICE MAIN.
  - DOMESTIC CONNECTION TO BUILDING, REFER TO MEP PLAN FOR CONTINUATION.
  - FURNISH AND INSTALL TYPE "K" COPPER SWEEP, SIZE TO MATCH WATER LINE. ANGLE PER PLAN.
  - FURNISH AND INSTALL FITTING, SIZE & ANGLE PER PLAN. WITH RESTRAINED JOINTS PER AWWA C110.
  - FURNISH AND INSTALL 6" DUCTILE IRON PIPE, CLASS 350, CEMENT MORTAR LINED, MAINTAIN 3' MINIMUM COVER. PROVIDE POLY WRAP. LENGTH PER PLAN.
  - FURNISH AND INSTALL TYPE "K" 1 1/2" COPPER PIPE, LENGTH PER PLAN.
  - INSTALL RELOCATED FIRE HYDRANT, PER C.O.A. STD. DWG. 2340.
  - FURNISH AND INSTALL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER C.O.A. STD. DWG. 2385, SIZE PER PLAN.
  - FURNISH AND INSTALL 1" PRESSURE VACUUM BREAKER PER C.O.A. STD. DWG. 2388.
- SEWER CONSTRUCTION KEY NOTES**
- CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING SANITARY SEWER LINE BEFORE PROCEEDING WITH TRENCHING. CONTRACTOR SHALL CONTACT ENGINEER IF EXISTING SEWER ELEVATION IS HIGHER THAN PROPOSED TIE-IN INVERT PRIOR TO ANY CONSTRUCTION ACTIVITY.
  - TRASH ENCLOSURE SANITARY DRAIN BY BUILDING CONTRACTOR.
  - FURNISH AND INSTALL SEWER CLEAN-OUT
  - FURNISH AND INSTALL PVC SCH-40 SEWER LINE. S= 2.00% MINIMUM. SIZE, LENGTH AND SLOPE PER PLAN. MAINTAIN 4' MINIMUM COVER.
  - REFER TO MEP PLANS FOR CONTINUATION.
  - PROVIDE PLUG AND MARKER FOR SEWER STUB
  - GREASE INTERCEPTOR BY BUILDING CONTRACTOR.
  - FURNISH AND INSTALL WYE. MATCH SIZE WITH PLAN.
  - SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT.



**PROPOSED UTILITY LEGEND:**

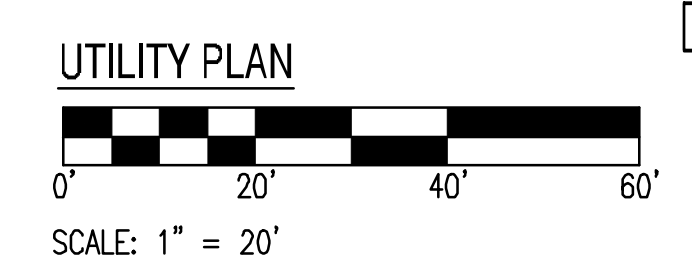
--- PROPERTY LINE	⊕ FIRE HYDRANT	— CAP
- - - EASEMENT LINE	⊕ FDC	~ BUILDING CONNECTION
— 8"W WATER LINE	⊕ WATER METER	⊕ SEWER CLEAN OUT
— 8"S SEWER LINE	⊕ BACK FLOW PREVENTER	

**EXISTING LEGEND:**

--- CENTERLINE	— EX. S SEWER LINE	--- STORM DRAIN LINE	⊕ SIGN
- - - EASEMENT LINE AS NOTED	⊕ SEWER MANHOLE	⊕ STORM CATCH BASIN	⊕ STREET LIGHT
⊕ CHAINLINK FENCE	— EX. W WATER LINE	⊕ STORM MANHOLE	— FO FIBER OPTIC LINE
⊕ TREE	⊕ WATER VALVE	--- GAS LINE	
	⊕ FIRE HYDRANT	--- IRR IRRIGATION LINE	

MONUMENT "10\_C18"  
 STANDAR C.O.A. ALUMINUM DISC  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
 N=1,524,123.885 US SURVEY FEET  
 E= 1,542,565.263 US SURVEY FEET  
 PUBLISHED EL=5222.09 US SURVEY FEET  
 (NAVD 1988)  
 GROUND TO GRID FACTOR=0.999665042  
 DELTA ALPHA ANGLE=-0°11'19.42"

A.G.R.S. MONUMENT "9\_C18"  
 STANDAR C.O.A. ALUMINUM DISC  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
 N=1,521,497.624 US SURVEY FEET  
 E= 1,542,501.428 US SURVEY FEET  
 PUBLISHED EL=5232.47 US SURVEY FEET  
 (NAVD 1988)  
 GROUND TO GRID FACTOR=0.999664563  
 DELTA ALPHA ANGLE=-0°11'19.69"



**SUSTAINABILITY ENGINEERING GROUP**  
**SEG**  
 8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
 WWW.AZSEG.COM TEL. 480.988.7226 FAX. 480.259.3534

**WHATABURGER**

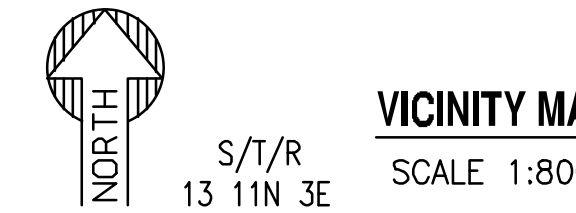
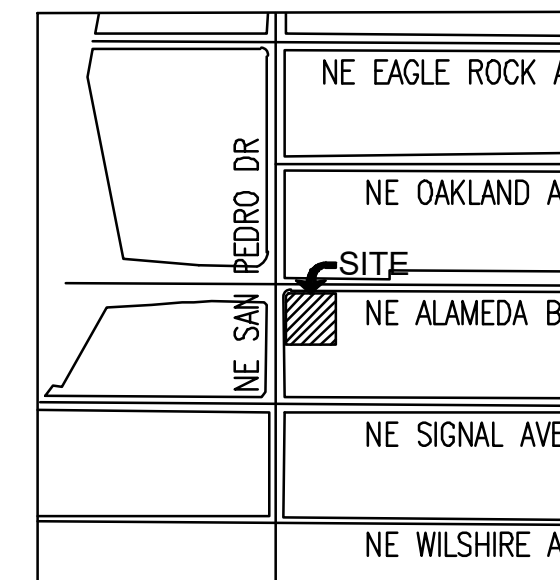
**811**  
 CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

PROJECT: WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE	LOCATION: 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM
DRAWN: GA 01/27/2022	DESIGNED: LP 01/27/2022
QC: SC 06/14/2022	FINAL QC:
PROJ. MGR: AF 06/22/2022	DATE: 06/22/2022
ISSUED FOR: DRB	PR-2018-001346
REVISION NO.:	DATE:
JOB NO.: 210907	SHEET TITLE: UTILITY PLAN
PAGE NO.: 1 OF 2	SHEET NO.: C4.00

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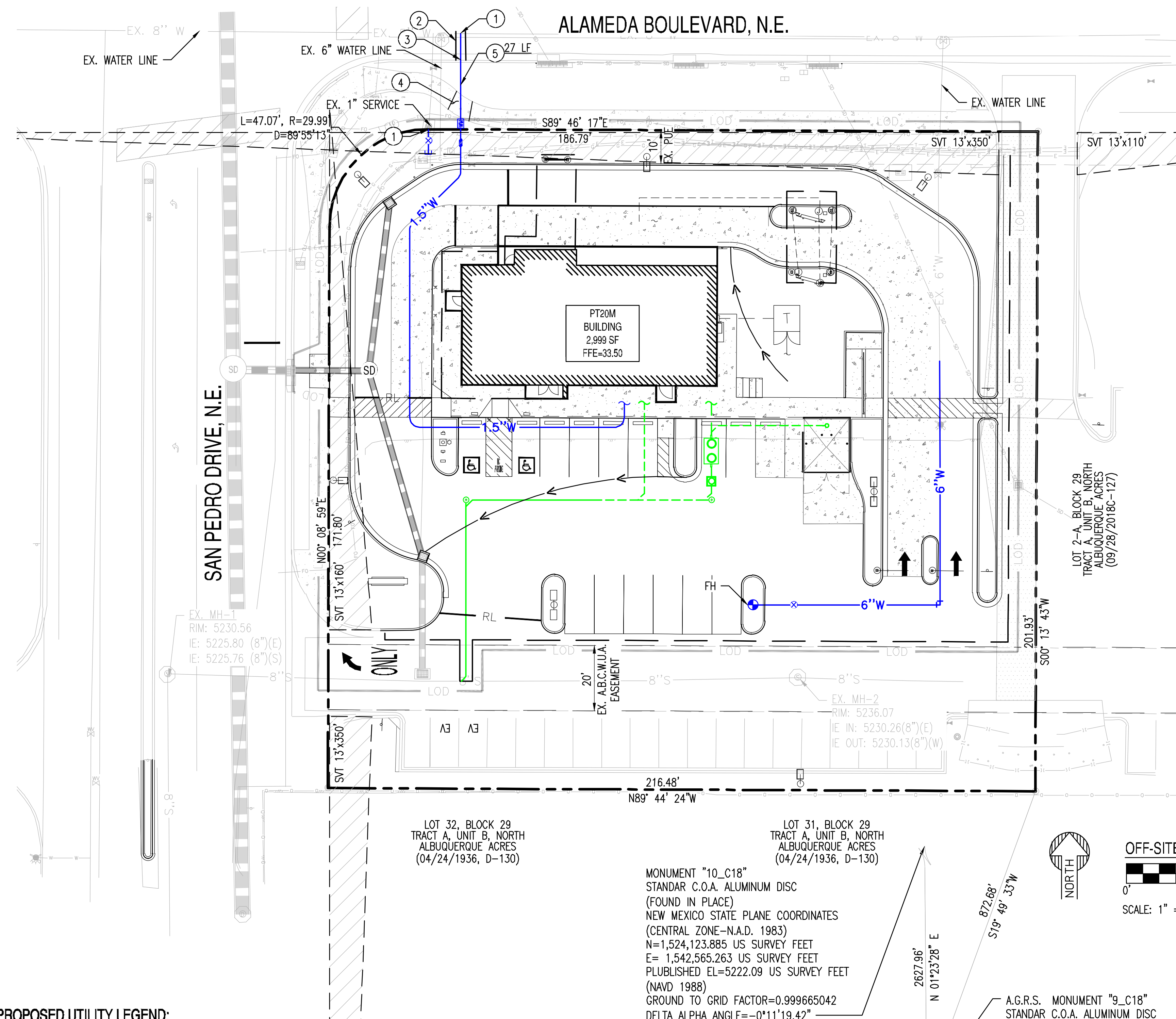
# WHATABURGER OFF-SITE UTILITY PLAN

6100 NE ALAMEDA BLVD, ALBUQUERQUE, NM  
A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3  
EAST, BERNALILLO COUNTY, NEW MEXICO.



CONSULTANTS

8290 E. CEDILING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
WWW.AZSEG.COM TEL: 480.588.7226 FAX: 480.259.3534



- ### WATER CONSTRUCTION KEY NOTES
- CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO CONSTRUCTION.
  - SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT, FOR UTILITY TRENCHING PER C.O.A. STD. DWG. 2465.
  - REMOVE AND REPLACE EXISTING VERTICAL CURB AND GUTTER, TO NEAREST JOINT AS REQUIRED FOR UTILITY INSTALLATION.
  - REMOVE AND REPLACE EXISTING SIDEWALK, TO NEAREST JOINT AS REQUIRED FOR UTILITY INSTALLATION.
  - FURNISH AND INSTALL TYPE "K" 1 1/2" COPPER DOMESTIC SERVICE CONNECTION AND METER BOX, PER C.O.A. STD. DWG. 2363, LENGTH PER PLAN.

SEAL SIGNATURE DATE: 06-22-2022  
EXPIRATION DATE: 12-31-2022

NO.	DATE	DESCRIPTION	BY
		AS-BUILT INFORMATION <td> </td>	
		CONTRACTOR <td> </td>	
		WORK STAKED BY: <td> </td>	
		INSPECTOR'S ACCEPTANCE BY: <td> </td>	
		FIELD VERIFICATION BY: <td> </td>	
		DRAWINGS CORRECTED BY: <td> </td>	

DESIGNED BY: SO  
DRAWN BY: ER  
CHECKED BY: SC  
DATE: 06/2022



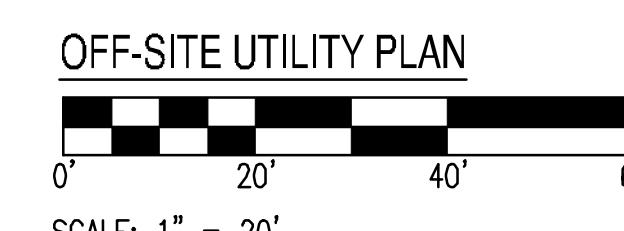
CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

	CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION	
	OFF-SITE UTILITY PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. <b>Z-99</b>
		CITY PROJECT NO. <b>PR-2018-001346</b>
		SHEET NO. <b>C4.01</b>

- ### PROPOSED UTILITY LEGEND:
- PROPERTY LINE
  - EASEMENT LINE
  - 8" W WATER LINE
  - 8" S SEWER LINE
  - WATER METER
  - BACK FLOW PREVENTER
- ### EXISTING LEGEND:
- CENTERLINE
  - EASEMENT LINE AS NOTED
  - CHAINLINK FENCE
  - TREE
  - EX. S SEWER LINE
  - SEWER MANHOLE
  - EX. W WATER LINE
  - WATER VALVE
  - FIRE HYDRANT
  - STORM DRAIN LINE
  - CB STORM CATCH BASIN
  - SM STORM MANHOLE
  - GAS GAS LINE
  - IRR IRRIGATION LINE
  - SIGN
  - STREET LIGHT
  - FO FIBER OPTIC LINE

MONUMENT "10\_C18"  
STANDAR C.O.A. ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,524,123.885 US SURVEY FEET  
E= 1,542,565.263 US SURVEY FEET  
PUBLISHED EL=5222.09 US SURVEY FEET  
(NAVD 1988)  
GROUND TO GRID FACTOR=0.999665042  
DELTA ALPHA ANGLE=-0°11'19.42"

A.G.R.S. MONUMENT "9\_C18"  
STANDAR C.O.A. ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,521,497.624 US SURVEY FEET  
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(NAVD 1988)  
GROUND TO GRID FACTOR=0.999664563  
DELTA ALPHA ANGLE=-0°11'19.69"

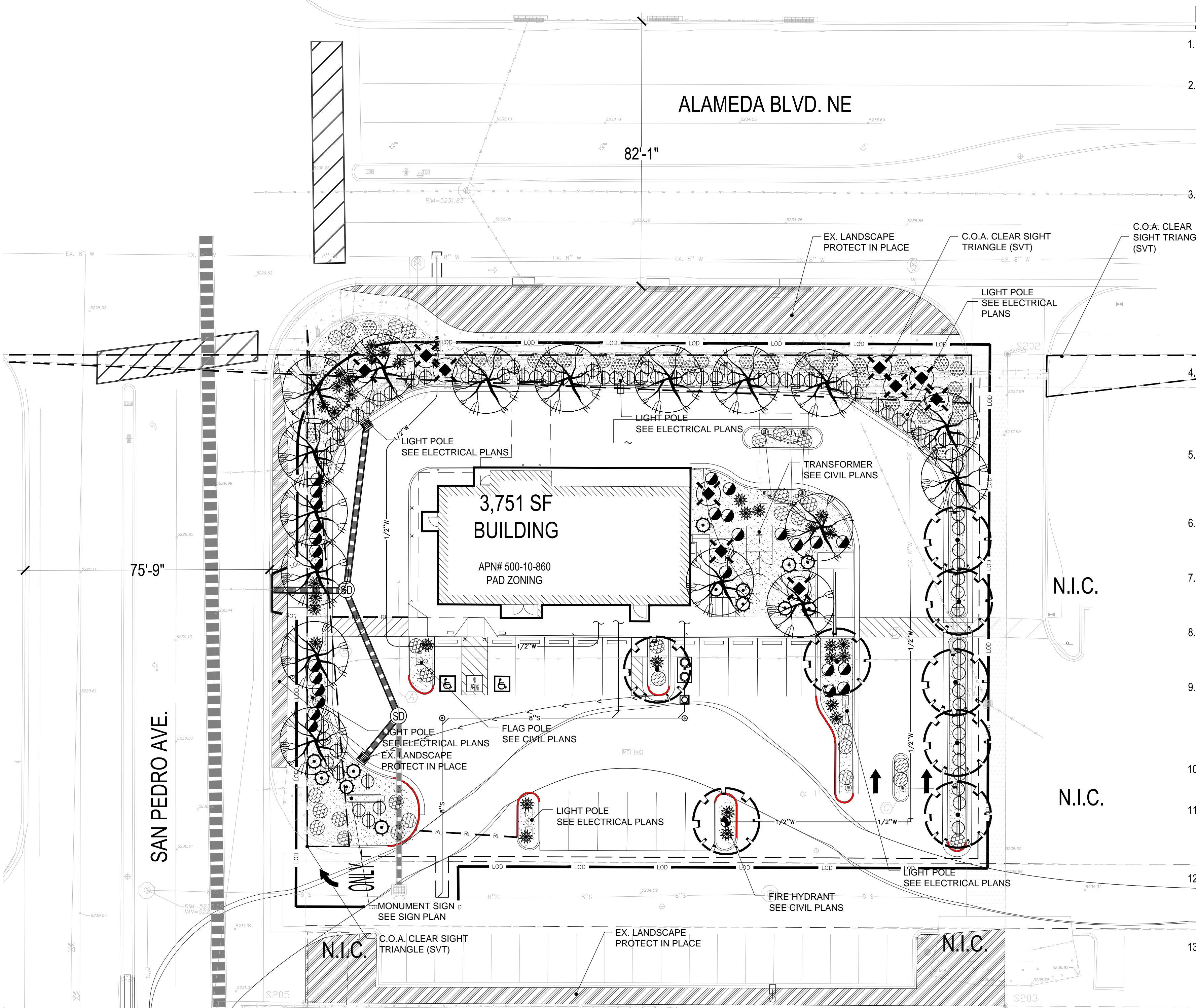


LOCATION: Z:\SHARED\PROJECTS\WHATABURGER\ALBUQUERQUE, NM - SWC ALAMEDA BLVD & SAN PEDRO AVE - 21090\11 CAD (SEG)\11.4 CD\S\CD210907-C4.00-C4-01.DWG SAVED BY: ESAUL REYES DATE: 6/22/2022

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### LANDSCAPE GENERAL NOTES

- PERFORM WORK IN ACCORDANCE WITH THESE PLANS, DETAILS, AND SPECIFICATIONS.
- CAREFULLY INSPECT SITE AND VERIFY CONDITIONS PRIOR TO BIDDING. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES WITH THESE DOCUMENTS PRIOR TO BEGINNING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE ABOVE STANDARDS, SPECIFICATIONS AND DRAWINGS, AS WELL AS ALL OTHER STANDARDS AND SPECIFICATIONS WHICH MAY BE NECESSARY TO COMPLETELY AND ACCURATELY INTERPRET THESE PLANS.
- HOLD HARMLESS AND INDEMNIFICATION CLAUSE - THE CONTRACTOR SHALL AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. INCLUDING SAFETY TO ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY; REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT.
- UNAUTHORIZED CHANGES TO DRAWINGS - THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USE OF DRAWINGS. CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- UNDERGROUND SERVICE ALERT - NOTIFY BLUE STAKE 48 HOURS PRIOR TO DIGGING AT 1-800-STAKE-IT. EXERCISE EXTREME CARE IN WORKING NEAR EXISTING UTILITIES. VERIFY THE LOCATION AND CONDITION OF UTILITIES PRIOR TO CONSTRUCTION.
- INSPECTIONS - NOTIFY OWNER REPRESENTATIVE AND APPROPRIATE AGENCY REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO REQUIRED GOVERNING AGENCY INSPECTION.
- QUANTITIES INDICATED IN DRAWINGS ARE PROVIDED AS A COURTESY ONLY. VERIFY QUANTITIES SHOWN BY CONDUCTING AN INDEPENDENT QUANTITY TAKE OFF.
- OWNER AND LANDSCAPE ARCHITECT WILL DECIDE QUESTIONS RELATING TO INTERPRETATION OF DRAWINGS AND ACCEPTABLE FULFILLMENT OF THE WORK SHOWN IN CONTRACT DOCUMENTS.
- MAINTAIN PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL TO THE WORK AT ALL TIMES INCLUDING WEEKENDS AND HOLIDAYS. DISPOSE OF RUBBLE, TRASH, OR DISPOSABLE ITEMS RESULTING FROM DEMOLITION IN A LEGAL, LAWFUL, AND SAFE MANNER TO AN APPROVED DISPOSAL SITE.
- APPLY PRE-EMERGENT AFTER COMPLETION OF EARTHWORK, LEACHING, BED PREPARATION AND FINE GRADING PRIOR TO TOP DRESS.
- ALL EXISTING LANDSCAPE AREAS OUTSIDE THE PROJECT AREA THAT ARE DISTURBED BY ANY ACTIVITY UNDER THIS CONTRACT SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AND TO THE SATISFACTION OF THE OWNER AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL PROVIDE FLAGGED AND/OR STAKED LAYOUT OF ALL PLANTING LOCATIONS FOR REVIEW AND ADJUSTMENT, IF NECESSARY, BY THE OWNER'S REPRESENTATIVE PRIOR TO STARTING IRRIGATION OR PLANT PIT EXCAVATIONS.
- ANY AND ALL PLANTS OR TREES, NOT DESIGNATED TO BE REMOVED, WHICH ARE DISTURBED OR DAMAGED AS A RESULT OF WORK UNDER THIS CONTRACT SHALL BE REPLACED AT CONTRACTOR'S EXPENSE WITH A PLANT OF EQUAL OR BETTER QUALITY AND OF THE SAME SIZE AND SPECIES OF THE ORIGINAL EXISTING PLANT UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.

### DEVELOPER CONTACT

WHATABRANDS REAL ESTATE  
 300 CONCORD PLAZA DRIVE  
 SAN ANTONIO, TEXAS 78216  
 CLINT SAAVADRA  
 210-476-6181

HARRINGTON PLANNING + DESIGN (HP+D)  
 1921 S. ALMA SCHOOL RD. SUITE 204  
 MESA, AZ 85210  
 JASON HARRINGTON, RLA, ASLA, ASIC, APWA  
 (480) 250-0116  
 JASON@HARRINGTONPLANNINGDESIGN.COM

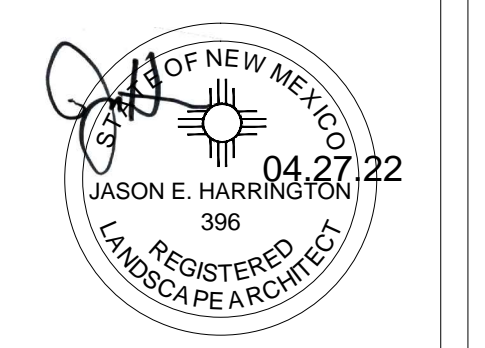
### CIVIL ENGINEER

SUSTAINABILITY ENGINEERING GROUP  
 8280 E GELDING DR #101,  
 SCOTTSDALE, AZ 85260  
 ALI FAKIH, PE, LEED AP  
 (480) 588-7226  
 ALI@AZSEG.COM

### PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
Quercus fusiformis Escarpment Live Oak Caliper Size: 2.0"	36" Box		17
Vitex agnus-castus Chaste Tree Caliper Size: 2.0"	36" Box		8
GROUNDCOVERS			QTY
Euonymus fortunei 'Coloratus' Purple Wintercreeper	5 Gallon can full		34
Cotoneaster horizontalis Trailing Rock Cotoneaster	5 Gallon can full		31
SHRUBS / ACCENTS			QTY
Hesperaloe parviflora Red Yucca	5 Gallon can full		32
Potentilla fruticosa Shrubby Cinquefoil	5 Gallon can full		27
Caesalpinia gillesii Yellow Bird of Paradise	5 Gallon can full		10
Leucophyllum langmaniae 'Lynn's Legacy' Texas Sage	5 Gallon can full		84
Euphorbia antisyphilitica Candelilla	5 Gallon can full		13
LANDSCAPE MATERIALS			QTY
Wood Fiber Bark organic mulch, 1/2" to 2" size mix 2" deep in planting areas per plan.			7,820 s.f.

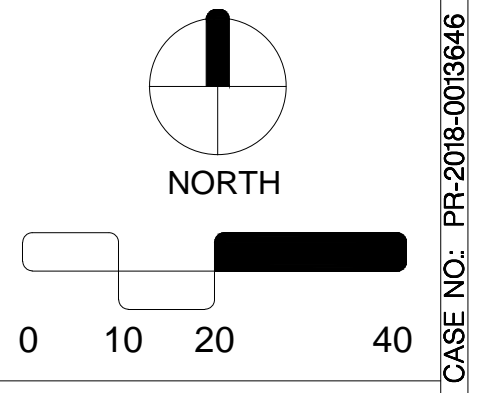
NOTE:  
 PER 5-6(C)(4) OF THE IDO, ALL TREES AND SHRUBS DEPICTED ON THESE PLANS MUST BE SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE.



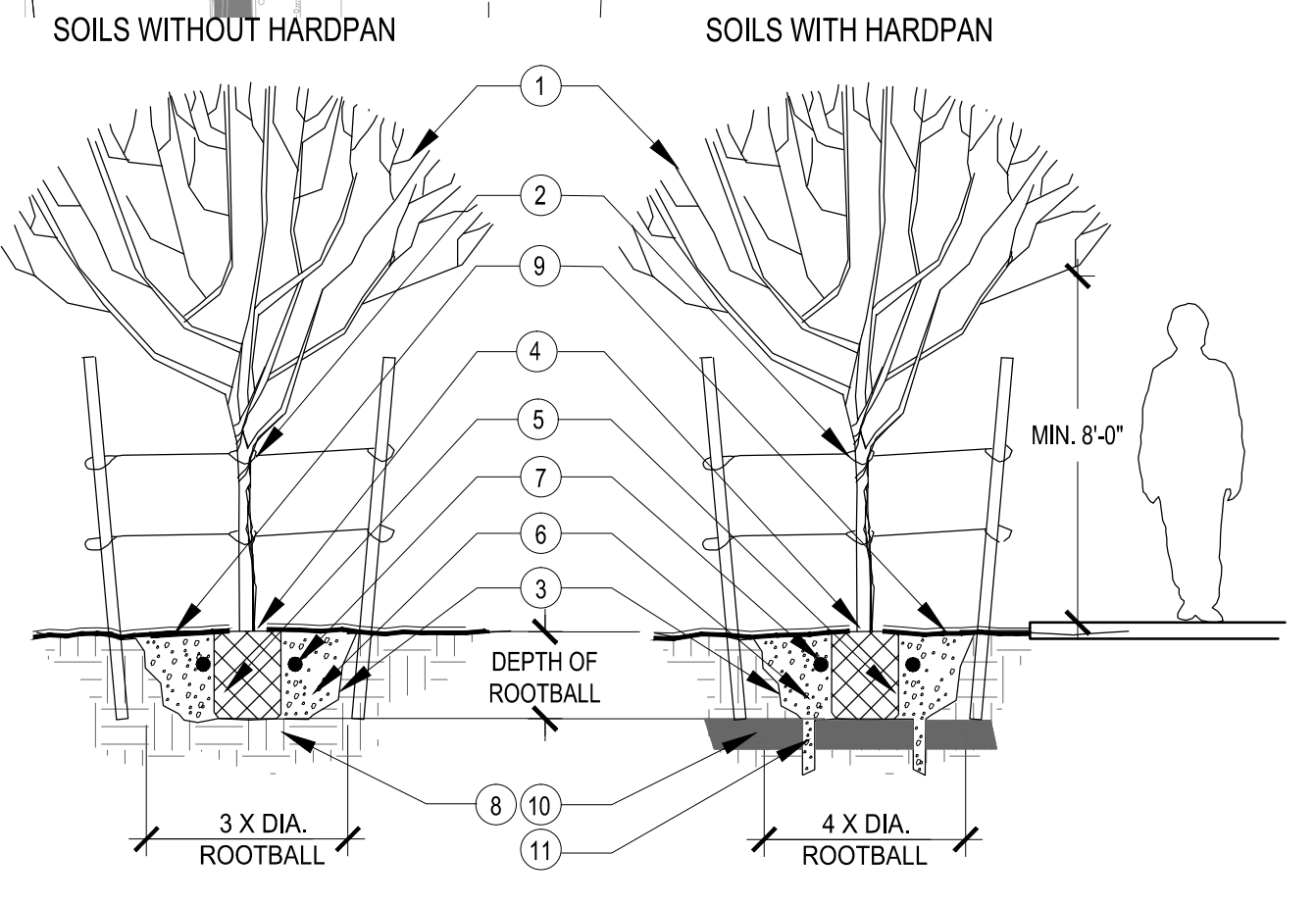
**WHATABURGER RESTAURANT**  
 SEC. Alameda & San Pedro  
 Albuquerque, NM 87113

REV.	COMMENT	DATE

PR-2018-001346  
 LANDSCAPE PACKAGE  
 APRIL 27, 2022  
 DRAWN BY: TKW  
 CHECK BY: JEH  
 PROJ. NO.: 2021-056  
 CASE NO.: TBD



LANDSCAPE PLAN  
**L1.0**  
 2 of 6



- TREE, SEE LANDSCAPE LEGEND.
- TREE STAKE, SEE STAKING DETAIL.
- WALLS OF UNDISTURBED SOIL SHOULD BE SLOPED WITH ROUGH EDGES. PLANTING PIT TO BE AS DEEP AS ROOTS.
- TOP OF ROOTBALL FLUSH OR SLIGHTLY ABOVE FINISH GRADE.
- FREE OR CUT CIRCLING ROOTS (UNLESS PLANTS ARE KNOWN TO HAVE SENSITIVE ROOTS HANDLED WITH MINIMAL DISTURBANCE).
- BACKFILL: PER SPECIFIED SOIL AMENDMENT MIX, OR NATIVE SOIL IF NONE DESCRIBED. REMOVE ALL ROCK 1" OR GREATER FROM BACKFILL.
- FERTILIZER TABLET. SEE FERTILIZER TABLET SCHEDULE.
- NATIVE UNDISTURBED SOIL OR COMPACT FILL TO 85% STANDARD PROCTOR DENSITY.
- INERT ORGANIC MULCH. SEE LANDSCAPE LEGEND.
- UNDISTURBED HARDPAN.
- IN AREAS WHERE CALICHE OR HARDPAN OCCURS DIG A MIN. OF 3 DRAINAGE CHIMNEY HOLES BESIDE ROOT BALL AND THROUGH HARDPAN. FILL WITH SAME BACKFILL SOIL. NOT GRAVEL. CHIMNEY TO BE MIN. 8" DIA. AND 12" DEEP.

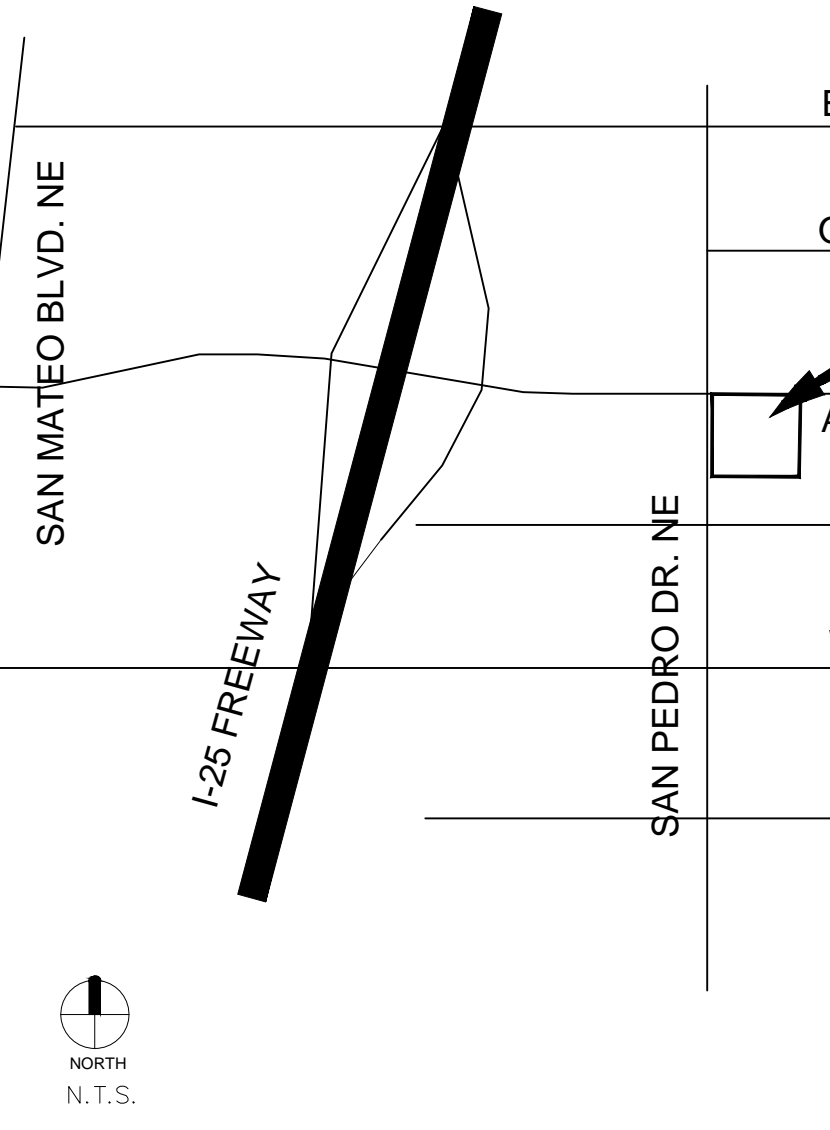
**FERTILIZER TABLET SCHEDULE**  
 AGRIFORM FERTILIZER TABLETS OR EQUAL.  
 PLACE TABLETS DOWN ALONG PLANT ROOTBALL SIDE

1 PER 1 GAL.
2 PER 5 GAL.
3 PER 15 GAL.
4 PER 24" BOX OR LARGER

### CITY OF ALBUQUERQUE LANDSCAPE CALCULATIONS

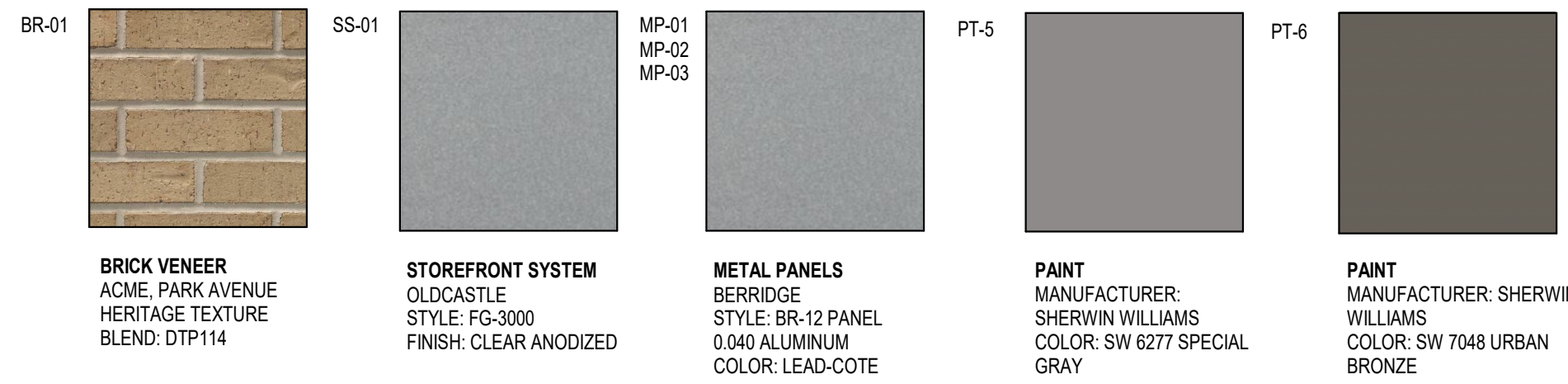
REQUIRED	PROVIDED
<b>PARKING AREAS:</b> PER 14-16-5 DEVELOPMENT STDS. PER 5-6(F)	17 STALLS ON SITE 1.7 TREES REQUIRED / 3 TREES PROVIDED
10% LOT AREA	817 SF PARKING LOT (82SF REQ.) / 27.5% LANDSCAPE (225 SF PROVIDED)
<b>NET LANDSCAPE AREA:</b> PER 5-6(C)	15% MINIMUM NET AREA = 30,000 SF 15% NET = 4,500 SF PROVIDED AREA = 8,380 SF 27.93% PROVIDED
<b>SHADE COVERAGE AREA</b>	75% OF LS AREA 75% COVERAGE
<b>GROUND LEVEL COVERAGE AREA</b>	30% OF LS AREA 60% COVERAGE
<b>LANDSCAPE DIVERSITY</b>	5 SPECIES MIN. 9 PROVIDED 2 TREE SPECIES 7 UNDERSTORY SPECIES
<b>MINIMUM TREE SIZE:</b>	2" CALIPER 2" CALIPER
<b>STREET FRONTAGE L/S AREA:</b> PER 5-6(D) WITHIN 20 FT OF CURB	1 TREE / 3 SHRUBS PER 25FT. EXISTING TREES TO REMAIN N-SIDE. NEW TREES BEYOND 20 FT DISTANCE. W-SIDE = 153' (6.12 TREES - 6 PROVIDED)
<b>EDGE BUFFER L/S AREA:</b> PER 5-6(E)(2)(a)	1 TREE (6 FT MIN) / 3 SHRUBS PER 25FT. W EDGE = STREET FRONTAGE N EDGE = STREET FRONTAGE E EDGE = 153' (6.12 TREES - 7 PROVIDED) S EDGE = EXISTING L/S BUFFER PROTECT

### VICINITY MAP



PR-2018-0013646

**MATERIAL TEXTURES**



**NOTES**

- EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.

**KEYNOTES**

163	TPO MEMBRANE ROOFING SYSTEM; RE: A1/A5.3.
188	PRE-FINISHED METAL TRIM
203	MP-01; PRE-FINISHED CORRUGATED METAL PANEL
205	BR-01; BRICK VENEER
208	MC-01; PRE-FINISHED METAL COPING
209	SS-01; ALUMINUM STOREFRONT SYSTEM
210	PRE-FINISHED DRIVE-THRU CANOPY
212	DRIVE-THRU DOOR CANOPY, PAINT PT-5
213	SERVICE DOOR CANOPY, PAINT PT-5
214	SUN SHADE CANOPY, SEE A6.9
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE.
218	PREFINISHED CONDUCTOR HEAD AND DOWNSPOUT, COLOR TO MATCH PAINT PT-5. COORDINATE SIZE WITH REGIONAL RAINFALL DATA, RE: B3/A5.4.
219	OVERFLOW SCUPPER
221	DRIVE-THRU WINDOW
229	MP-03; ROOF SCREEN WALL, RE: STRUCTURAL
237	BUILDING ADDRESS 6'HIGH WHITE VINYL NUMBERS WITH 1" STROKE, 10' A.F.G.
239	EMERGENCY STEP LIGHT, RE: ELECTRICAL
241	PAINT (PT-5) EXTERIOR DOORS.

**EXTERIOR MATERIAL SCHEDULE**

- GL-01 VISION GLASS  
BASIS OF DESIGN: VIRACON VUE1-30  
SHADING COEFFICIENT (SC): 20  
EXTERIOR REFLECTION: 19%  
SOLAR HEAT GAIN COEFFICIENT (SHGC): .18  
U-FACTOR: .26
- GL-02 NOT USED
- GL-03 OPAQUE GLASS  
BASIS OF DESIGN: VIRACON V948
- GL-04 SIMULATED ACID ETCHED VIRACON V1085
- SS-01 STOREFRONT SYSTEM  
BASIS OF DESIGN: OLDCASTLE  
STYLE: FG-3000  
FINISH: CLEAR ANODIZED
- MP-01 METAL PANEL  
MANUFACTURER: BERRIDGE  
STYLE: BR-12 PANEL  
0.040 ALUMINUM  
COLOR: LEAD-COTE
- MP-02 PREFINISHED METAL  
FLASHING 0.050" THICK  
COLOR: LEAD-COTE  
TO MATCH MP-01
- MP-03 METAL PANEL  
MANUFACTURER: BERRIDGE  
STYLE: BR-12 PANEL  
0.040 ALUMINUM  
COLOR: LEAD-COTE
- BR-01 BRICK  
MANUFACTURER: ACME  
STYLE: UTILITY  
SIZE: 4" x 4" x 12"  
COLOR: PARK AVENUE
- MO-01 MORTAR  
MANUFACTURER: AHI  
COLOR: VANILLA-N
- MC-01 METAL COPING  
MANUFACTURER: BERRIDGE  
STYLE: SHADOWLINE COPING  
REVEAL COPING  
COLOR: LEADCOTE
- PT-5 PAINT  
BASIS OF DESIGN:  
MANUFACTURER: SHERWIN WILLIAMS  
STYLE: SW 6277 SPECIAL GRAY  
SHEEN: FLAT
- MS-01 METAL SOFFIT  
MANUFACTURER: BERRIDGE  
STYLE: HS-8  
FINISH: PRE-FINISHED TO MATCH PT-5

SYM.	DATE	DESCRIPTION	BY

PROJECT: 210907  
**WHATABURGER PT20S**  
SWC ALAMEDA BLVD & SAN PEDRO  
ALAMEDA BLVD.  
ALBUQUERQUE, NM.



8280 E. GELDING DR #101,  
SCOTTSDALE, AZ 85280  
WWW.AZSEG.COM  
TEL. 480.588.7228

**WHATABURGER**

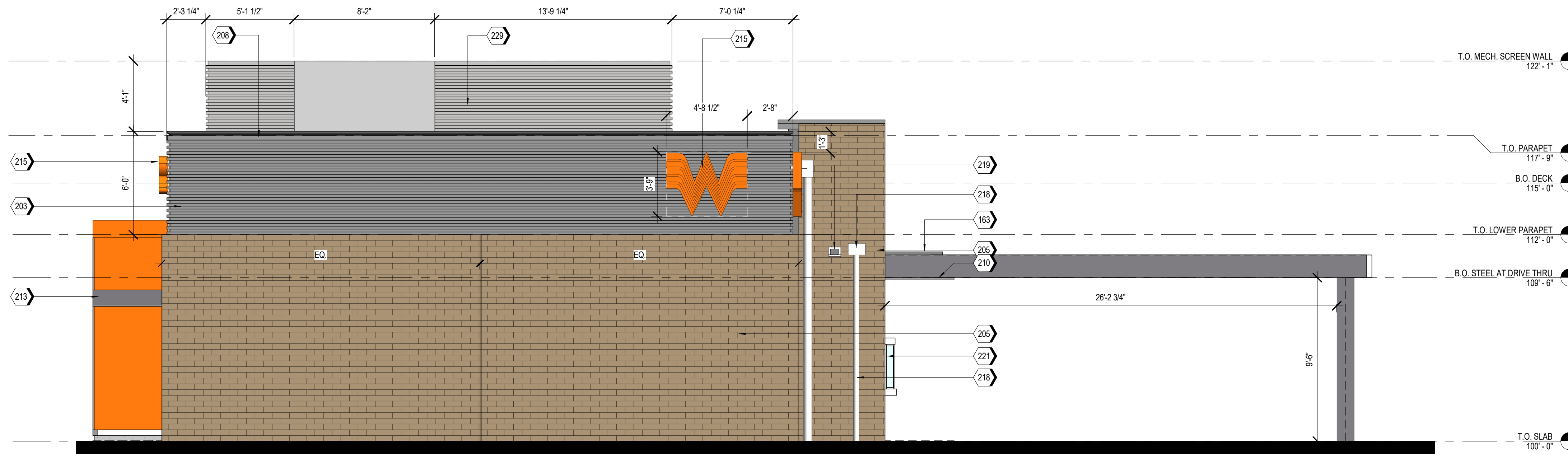
300 CONCORD PLAZA DR.  
SAN ANTONIO, TEXAS.  
210-476-6000 ZIP 78216.

THIS DRAWING IS THE PROPERTY OF  
WHATABURGER, SAN ANTONIO,  
TEXAS AND MAY NOT BE USED OR  
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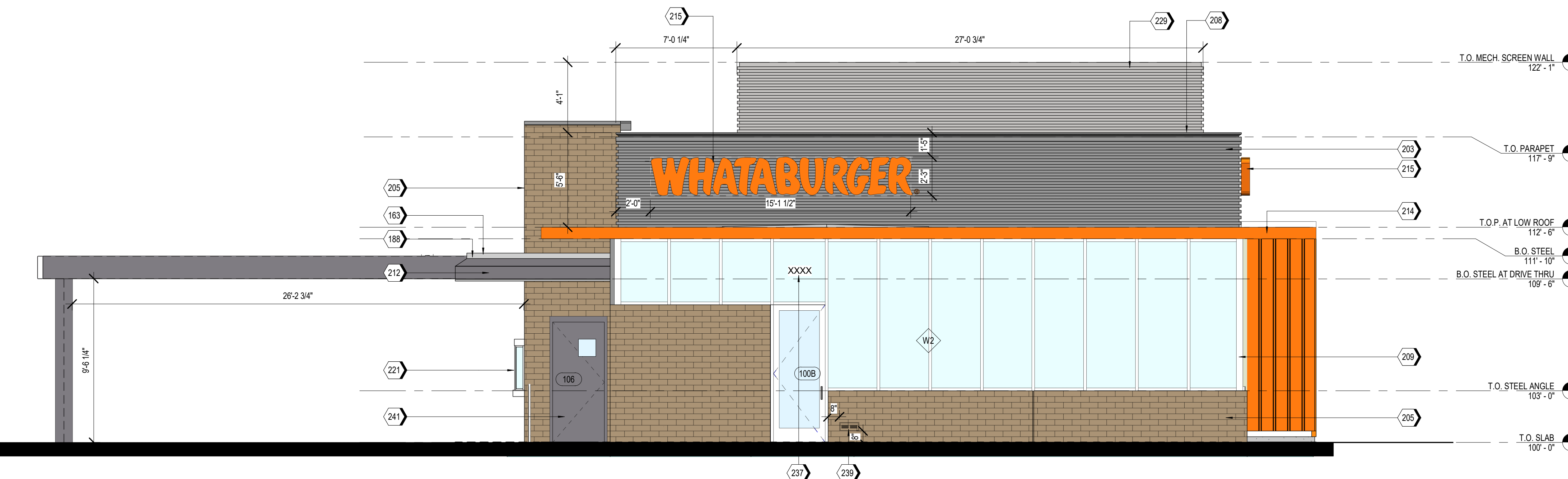
SHEET TITLE:  
EXTERIOR  
ELEVATIONS -  
COLORED  
ISSUED FOR:  
DRB  
PR-2018-001346

UNIT NO.  
DATE: 03/18/2022  
SCALE: As indicated  
DRAWN BY: EG  
CHECKED BY: BH

SHEET NO:  
**A2.3**



**A2 EAST ELEVATION - COLORED**  
SCALE 1/4" = 1'-0"  
SIGN: 17 SF  
FACADE: 867 SF  
RATIO: 2%



**A1 WEST ELEVATION - COLORED**  
SCALE 1/4" = 1'-0"  
SIGN: 34 SF  
FACADE: 871 SF  
RATIO: 4%



# PR-2018-001346\_SI-2022-00184\_Site\_Plan\_Amendment\_Approved\_5-4-22\_Sheet\_1

Interim Agreement Report









2022-08-22


Created:	2022-08-04
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Out for Signature
Transaction ID:	CBJCHBCAABAAZkITOU76TZ0qa4TymJCZCzSDuMJqK3M8


## Agreement History


Agreement history is the list of the events that have impacted the status of the agreement prior to the final signature. A final audit report will be generated when the agreement is complete.


## "PR-2018-001346\_SI-2022-00184\_Site\_Plan\_Amendment\_Approved\_5-4-22\_Sheet\_1" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)  
2022-08-04 - 10:44:56 PM GMT- IP address: 143.120.132.106
-  Document emailed to jwolfley@cabq.gov for signature  
2022-08-04 - 10:48:23 PM GMT
-  Document emailed to Ernest Amijo (eamijo@cabq.gov) for signature  
2022-08-04 - 10:48:24 PM GMT
-  Document emailed to Christina Sandoval (cmsandoval@cabq.gov) for signature  
2022-08-04 - 10:48:24 PM GMT
-  Document emailed to Shahab Biazar (sbiazar@cabq.gov) for signature  
2022-08-04 - 10:48:24 PM GMT
-  Document emailed to bcarter@abcwua.org for signature  
2022-08-04 - 10:48:24 PM GMT
-  Document emailed to Jeff Palmer (jppalmer@cabq.gov) for signature  
2022-08-04 - 10:48:24 PM GMT
-  Email viewed by Shahab Biazar (sbiazar@cabq.gov)  
2022-08-04 - 10:50:56 PM GMT- IP address: 73.26.131.118


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Signature Date: 2022-08-04 - 10:51:47 PM GMT - Time Source: server- IP address: 73.26.131.118


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Signature Date: 2022-08-05 - 2:00:21 PM GMT - Time Source: server- IP address: 73.127.185.85


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2022-08-05 - 4:00:18 PM GMT- IP address: 142.202.67.2

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2022-08-05 - 11:21:57 PM GMT- IP address: 143.120.170.158

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Signature Date: 2022-08-05 - 11:22:08 PM GMT - Time Source: server- IP address: 143.120.170.158

 Email viewed by bcarter@abcwua.org  
2022-08-09 - 7:06:12 PM GMT- IP address: 142.202.67.2

 Signer bcarter@abcwua.org entered name at signing as Blaine Carter  
2022-08-09 - 8:03:56 PM GMT- IP address: 142.202.67.2

 Document e-signed by Blaine Carter (bcarter@abcwua.org)  
Signature Date: 2022-08-09 - 8:03:58 PM GMT - Time Source: server- IP address: 142.202.67.2