

# DRB Case Action Log

This sheet must accompany your plat or site plan to obtain delegated signatures.  
Return sheet with site plan/plat once comments have been addressed.

Project# PR-2018-001346  
SI-2018-00110 - SITE PLAN  
(Public Meeting)

JOE SLAGLE ARCHITECT agent(s) for ROY SOLOMON & ARCH + PLAN LAND USE CONSULTANTS agent(s) for VMOD LLC request(s) the aforementioned action(s) for all or a portion of LOTS 1-6 & 29, BLOCK 29, UNIT B, NORTH ALBUQUERQUE ACRES, zoned NR-BP, located on ALAMEDA BLVD NE east of SAN PEDRO DR NE and north of SIGNAL AVE NE, containing approximately 5.24 acre(s).  
(C-18) [Deferred from 9/12/18, 9/19/18, 10/31/18, 11/7/18]

Type:  PP  FP  PP/FP  Site Plan for Building Permit  Site Plan for Subdivision

This application(s) was conditionally approved on 2-6-19 by the DRB with delegation of signatures as follows:

## TRANSPORTATION:

☑ Delegation For:

- Dimensional exhibit
- \_\_\_\_\_

## CODE ENFORCEMENT:

Delegation For:

## ABCWWA:

Delegation For:

- Availability Statement
- \_\_\_\_\_

## CITY ENGINEER/Hydrology:

☑ Delegation For:

- Easement Language
- Band D

## PLANNING:

☑ Delegation For:

- ☑ utility company/AMAFCA signatures
- ☑ AGIS DXF
- ☑ Recorded ~~SA~~ IIA
- 15 day appeal period
- Check for \_\_\_\_\_ comments
- DELEGATION DURATION:

April 24, 2019

Delegat

Note: After final sign off of site plan or recording of the plat, a pdf of the entire document must be submitted to PLNDRS@cabq.gov as well as one paper copy to the front counter.



**PROJECT PHASING:**

BUILDINGS ONE, TWO, AND THREE WILL BE CONSTRUCTED AS A SINGLE PHASE. BUILDING FOUR WILL BE A SEPARATE PHASE UNLESS A USER IS DETERMINED PRIOR TO BEGINNING CONSTRUCTION OF THE OTHER BUILDINGS. THE PARKING, LANDSCAPING AND OTHER SITE IMPROVEMENTS FOR BUILDING 4 WILL BE PART OF THE FIRST PHASE WITH A PAD SITE PREPARED FOR THE BUILDING.

**FIRE DATA:**

CONSTRUCTION TYPE:	SEE PLAN
BUILDING AREAS:	SEE PLAN
FIRE FLOW REQUIREMENT:	2375 GPM IFC TABLE B105.1(2)
BUILDING 1:	1500 X .25 = 375 GPM
BUILDING 2:	2750 X .25 = 687.5 GPM
BUILDING 3:	3500 X .25 = 875 GPM
BUILDING 4:	1750 X .25 = 437.5 GPM
FIRE HYDRANTS REQUIRED:	3 FOR FIRE FLOW-3 FOR DISTANCE IFC TABLE C102.1
AVERAGE SPACING BTWN HYDRANTS:	450 FT IFC TABLE C102.1
FIRE HYDRANTS PROVIDED:	3 NEW
ALLOWABLE DISTANCE FROM HYDRANT TO FARTHEST POINT ON BLDG:	400 FT IFC 507.5.1

**FIRE NOTES:**

1. ALL APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
2. FIRE APPARATUS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.

**SITE DATA**

SITE LOCATION:	SE CORNER SAN PEDRO AND ALAMEDA NE ALBUQUERQUE, NM
LEGAL DESCRIPTION:	REPLATED LOTS 1-A, 2-A, 4-A, 6-A NORTH ALBUQUERQUE ACRES
UPC NUMBER:	TBD PENDING REPLAT
ZONING:	NR-BP
ZONE ATLAS PAGE:	
PREVIOUS DRB APPROVAL:	NONE
TOTAL LOT AREA:	228,371.658 SF (5.24 AC)
LOT 1-A:	43,564.08 SF (1.0001 AC)
LOT 2-A:	67,294.9 SF (1.5448 AC)
LOT 4-A:	83,122.59 SF (1.9082 AC)
LOT 6-A:	34,390.083 SF (0.7895 AC)
GROSS BUILDING AREA:	44,524 SF
BUILDING 1: RESTAURANT:	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT (RESTAURANTS & TAPROOM):	10,820 SF
BUILDING 3: CLIMBING GYM:	26,204 SF
BUILDING 4: PAD SITE:	4500 SF
BUILDING FOOTPRINT AREA:	36,900 SF
BUILDING 1: RESTAURANT:	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT:	10,820 SF
BUILDING 3: CLIMBING GYM:	18,580 SF
BUILDING 4: PAD SITE:	4500 SF

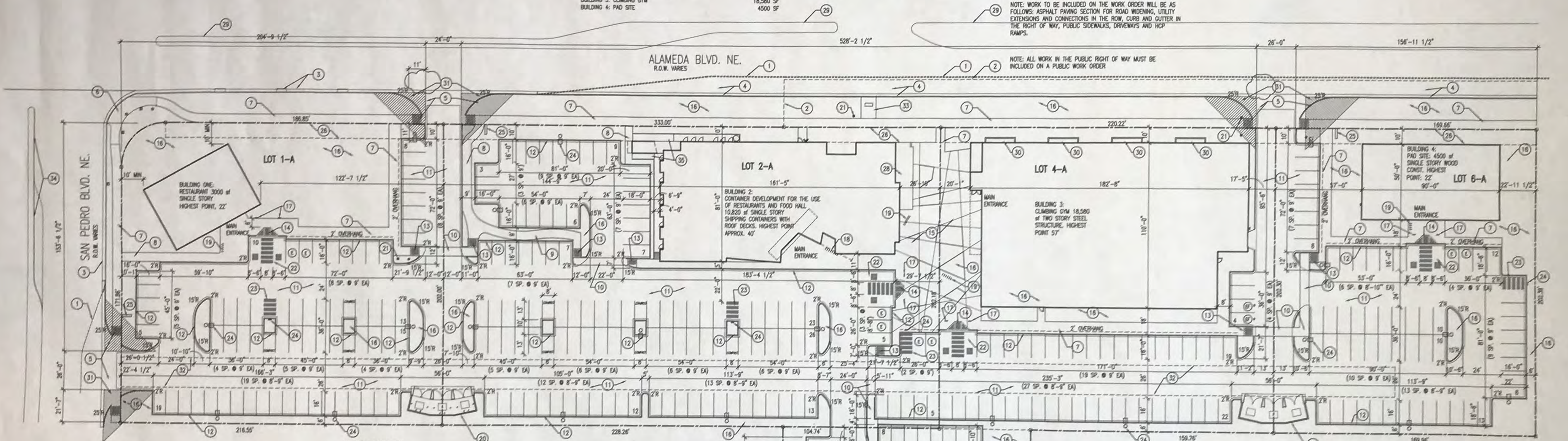
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	181,471 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	19.5 %
PARKING CALCULATIONS:	TOTAL SPACES PROVIDED: 386
BUILDING 1: RESTAURANT: 8 PER 1000 SF	SPACES PROVIDED: 70
3000 SF = 24 SPACES REQUIRED	
BUILDING 2: CONTAINER DEVELOPMENT (RESTAURANTS & TAPROOM)	
RESTAURANT & TAPROOM: 8 PER 1000 SF REQ'D.	SPACES PROVIDED: 121
10,820 SF = 87 SPACES REQUIRED	
BUILDING 3: CLIMBING GYM (HEALTH CLUB) 2.5 SP. PER 1000 SF, REQUIRED	SPACES PROVIDED: 134
26,204 SF = 66 SPACES REQUIRED	
BUILDING 4: PAD SITE (RESTAURANT) 8 PER 1000	SPACES PROVIDED: 61
4500 SF = 36 SPACES REQUIRED	
ELEC VEHICLE PARKING REQUIRED: 2% OF 386=8 SPACES	TOTAL SPACES PROVIDED: 8
ACCESSIBLE PARKING REQUIRED: 8 INCL. 2 VAN	TOTAL SPACES PROVIDED: 8
MOTORCYCLE PARKING REQUIRED: 6 SPACES	TOTAL SPACES PROVIDED: 8
BICYCLE PARKING REQUIRED: 10% OF PARKING REQ=22	TOTAL SPACES PROVIDED: 30
* EXTEND CONDUIT TO THIS PARKING SPACE FOR FUTURE ELEC. CHARGING STATION. (7)	
NOTE: REFER TO SKETCH PLAT PROJECT NUMBER 1000682.	

**VICINITY MAP**



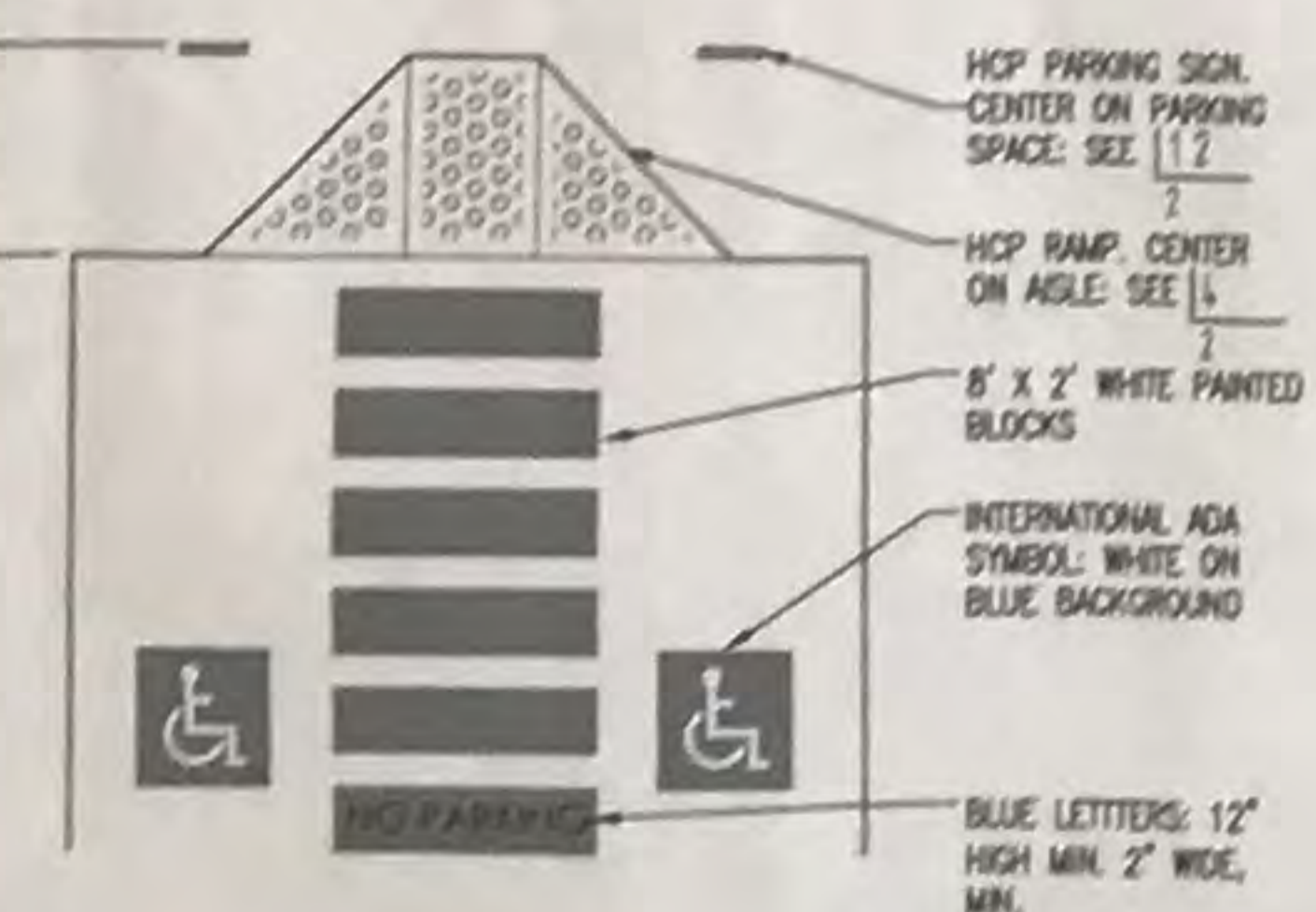
**joe slagle architect**  
 413 2nd St. NE  
 Albuquerque, NM 87102  
 505.246.0870

**A MIXED USE DEVELOPMENT**  
 at alameda and  
 san pedro ne.  
 abq, nm

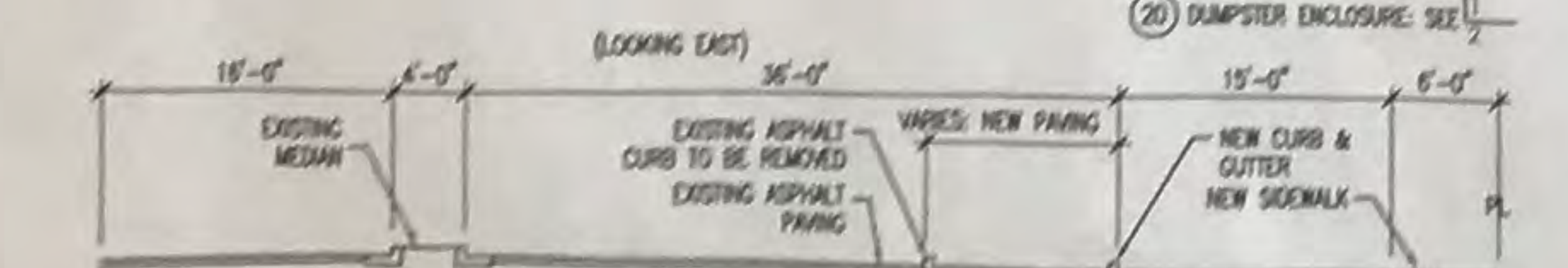


**KEYED NOTES:**

- 1 EXISTING ASPHALT PAVING AND TEMPORARY ASPHALT CURB. FOR ROAD WIDENING AND IMPROVEMENTS, SEE CIVIL DRAWINGS
- 2 PROPERTY LINE TO BE ELIMINATED BY PLATTING ACTION TO INCREASE R.O.W.
- 3 EXISTING STREET IMPROVEMENTS TO REMAIN. ASPHALT PAVING, STORM SEWER INLETS, CURB AND GUTTER
- 4 NEW STREET IMPROVEMENTS INCLUDING PAVING SECTION AND CURB AND GUTTER TO BE INSTALLED AS PART OF THIS PROJECT. SEE CIVIL DRAWINGS.
- 5 NEW CONCRETE DRIVE, CURB RETURNS, AND HCP RAMPS PER CITY OF ABQ. STD AS SHOWN IN DPM
- 6 EXISTING HCP. RAMP TO REMAIN
- 7 NEW 8' WIDE CONCRETE WALK W/ CONTROL JOINTS @ 5'-0"
- 8 NEW 5' WIDE CONCRETE WALK W/ CONTROL JOINTS @ 5'-0"
- 9 NEW 6' WIDE CONCRETE WALK W/ CONTROL JOINTS @ 5'-0"
- 10 CONC. PAVING FLUSH W/ ASPHALT W/ CONTROL JOINTS @ 5'-0", SEE 17
- 11 ASPHALT PAVING IN ACCORDANCE WITH SOILS REPORT
- 12 CONCRETE CURB AND GUTTER. SEE 15
- 13 HANDICAP RAMP. SEE 14
- 14 HANDICAP RAMP. SEE 14
- 15 COLORED CONCRETE PAVING
- 16 LANDSCAPE BED, TYP.
- 17 HCP. PARKING SIGN. SEE
- 18 BIKE RACK ATTACHED TO BLDG
- 19 BIKE RACK. SEE 11
- 20 DUMPSTER ENCLOSURE. SEE 11
- 21 NEW FIRE HYDRANT
- 22 ACCESSIBLE PARKING SPACES AND ANGLE. SEE 12
- 23 MOTORCYCLE PARKING SPACES (2 SPACES)
- 24 POLE MOUNT PARKING LOT LIGHTING. SEE 10
- 25 MONUMENT SIGN. SEE 11
- 26 10' PUBLIC UTILITY EASEMENT
- 27 CONCRETE BUMPER STOP
- 28 RECESSED PAVD
- 29 EXISTING MEDIAN
- 30 CONCRETE RAISED PLANTER
- 31 CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 5' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 32 20' ABQMA EASEMENT
- 33 10' WIDE CONCRETE PAD EXTENDING FROM BACK OF CURB TO SIDEWALK FOR BUS STOP. BENCH BY OTHERS
- 34 EXISTING LEFT HAND TURN LANE TO BE EXTENDED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE TRAFFIC STUDY PREPARED BY TERRY BROWN DATED NOV. 26, 2018.
- 35 SERVICE RAMP AND GUARDRAIL



2 | hcp parking detail  
 1 | 1/8"=1'-0"



3 | section alameda w/ turn lane  
 1 | 1"=10'



4 | section san pedro  
 1 | 1"=10'

**LIST OF SHEETS:**

SHEET 1	SITE PLAN, SITE DATA
SHEET 2	SITE DETAILS
SHEET 3	CONCEPTUAL GRADING PLAN
SHEET 4	SITE UTILITY PLAN
SHEET 5	LANDSCAPE PLAN
SHEET 5.1	LANDSCAPE MATERIALS
SHEET 6	OVERALL ELEVATIONS
SHEET 7	BUILDING ONE & FOUR ELEVATIONS
SHEET 8	BUILDING TWO (CONTAINER) ELEVATIONS
SHEET 9	BUILDING THREE (CLIMBING GYM) ELEVATIONS
SHEET 10	BUILDING THREE (CLIMBING GYM) ELEVATIONS
SHEET 11	IMAGES

PROJECT NUMBER: **PR-2018-001346**

APPLICATION NUMBER: **SA-2018-00110**

Is an infrastructure list required?  yes ( ) no. If yes, then a set of approved DRG plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL: DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

ABQMA DATE

NIA PARKS AND RECREATION DEPARTMENT DATE

James J. Hefner DATE

NIA ENVIRONMENTAL HEALTH DEPT. (CONDITIONAL) DATE

NIA SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

date: **11-15-18**

revisions:

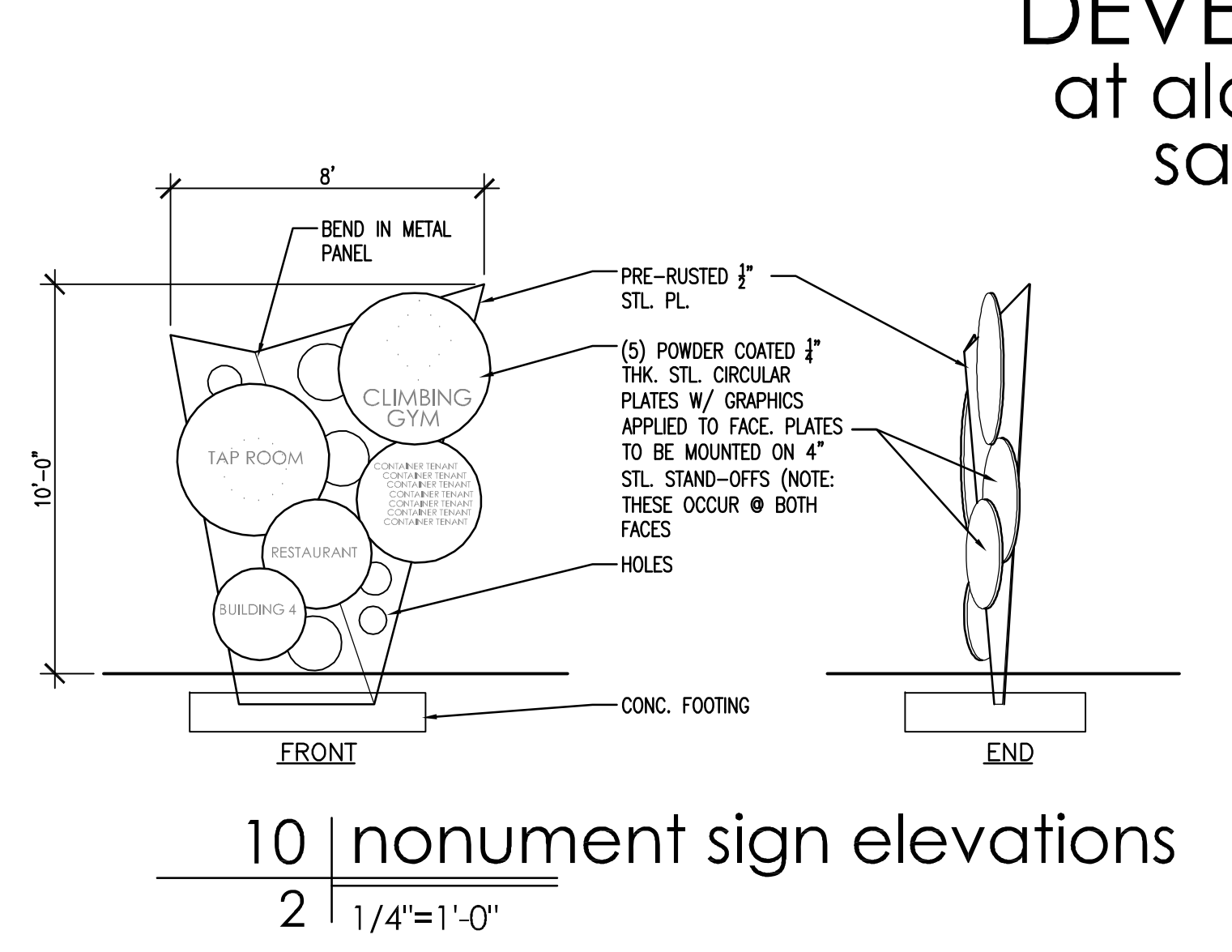
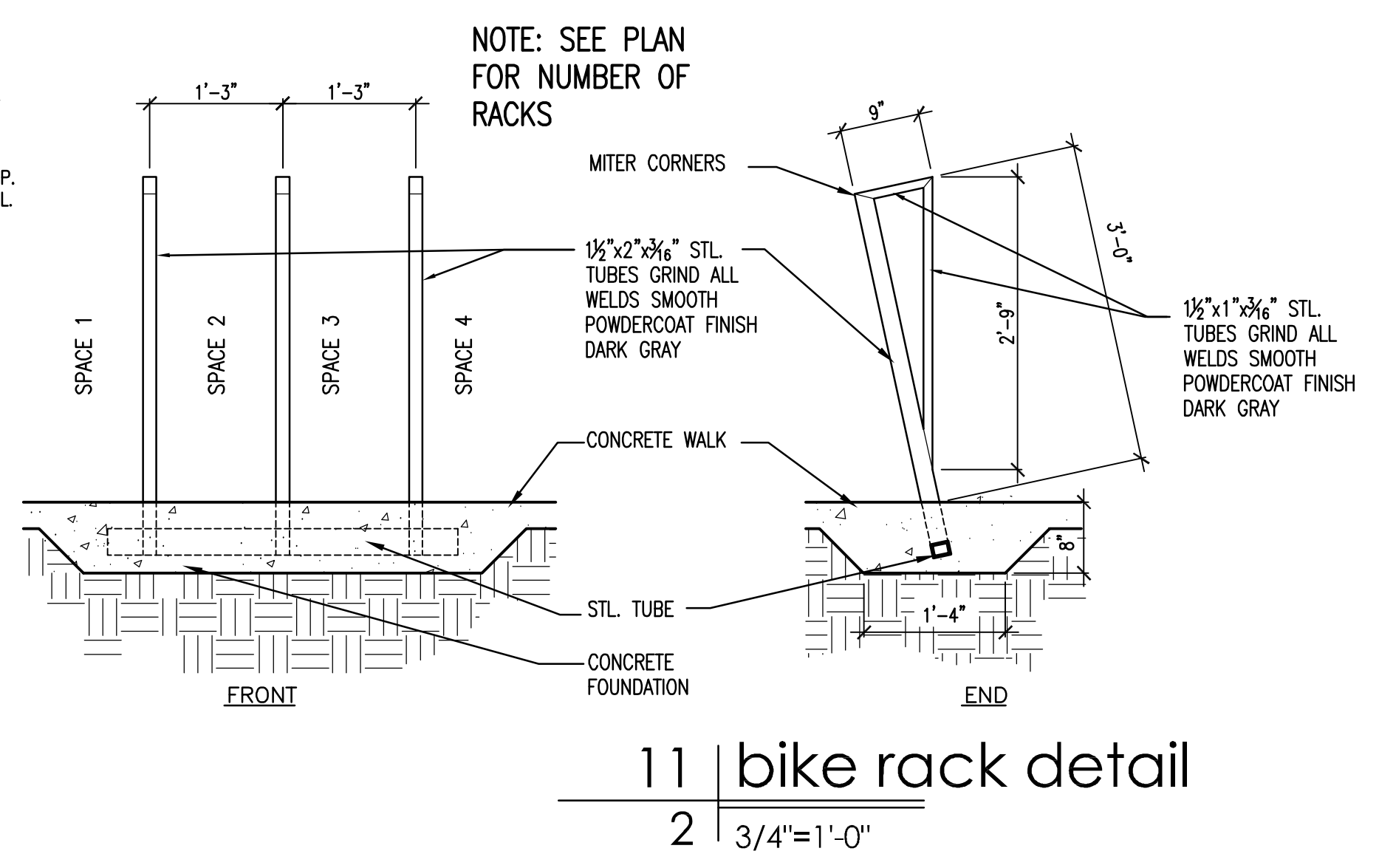
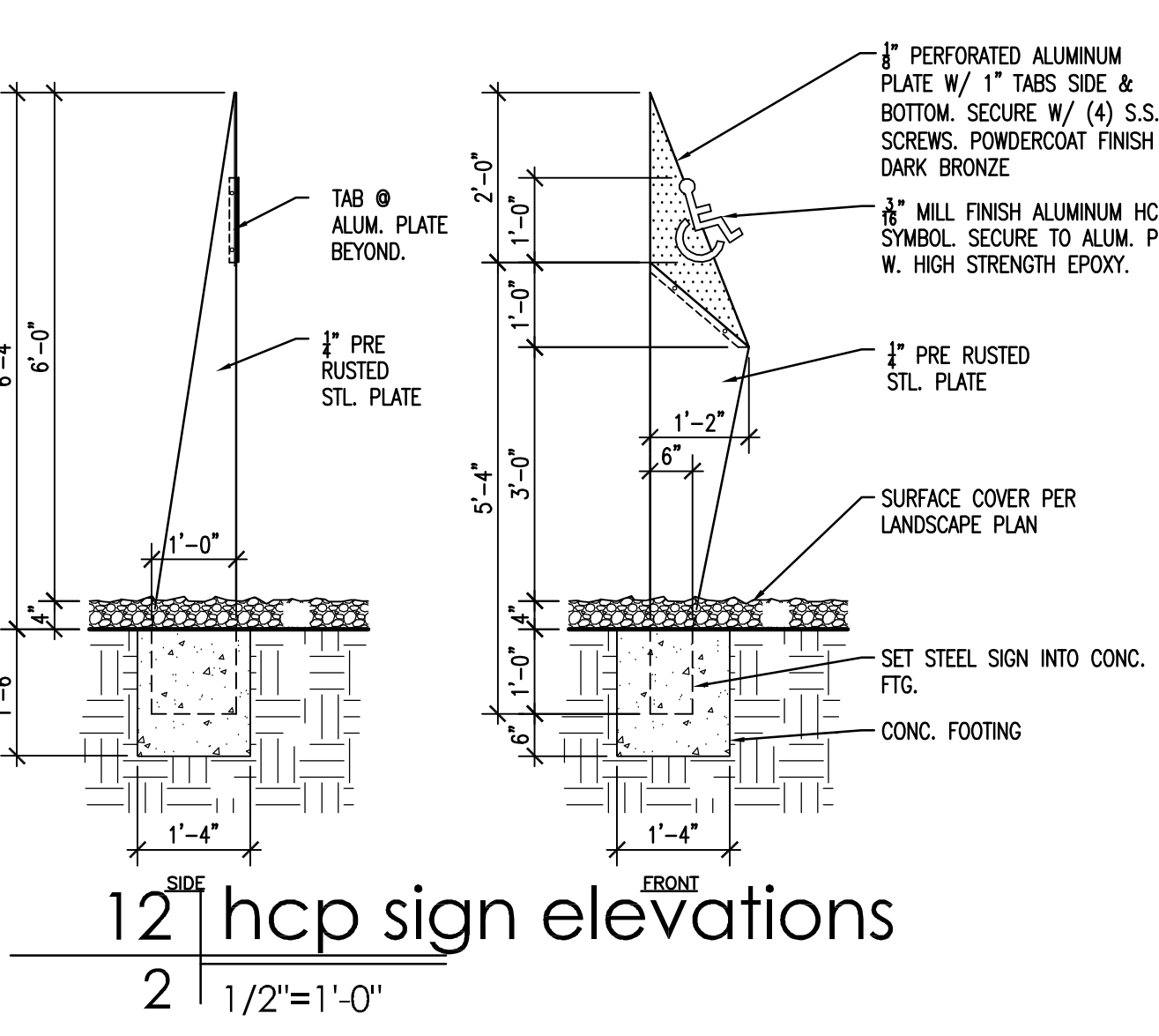
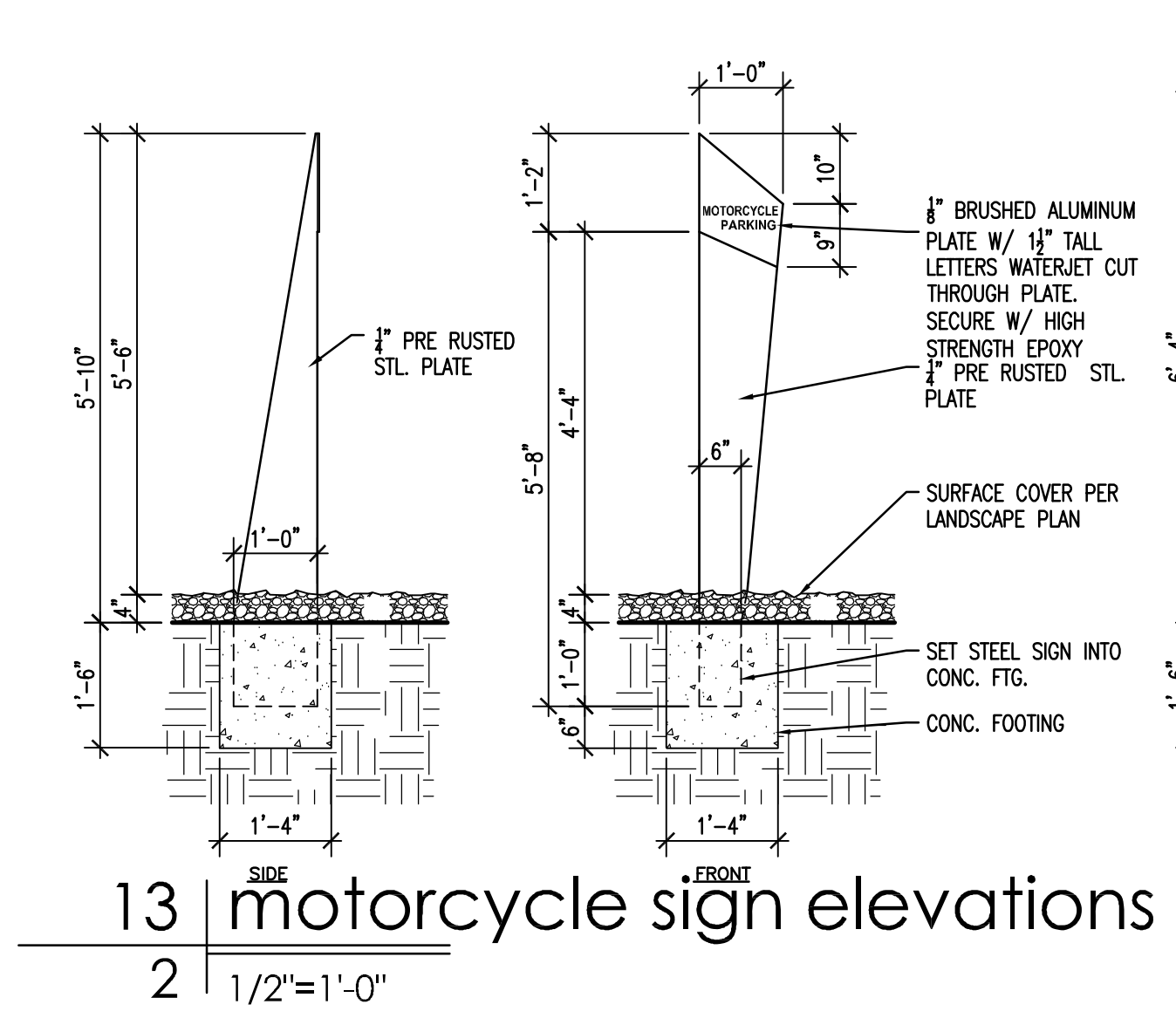


Overall Site Plan

date: **11-15-18**  
 sheet: **1**



A MIXED USE  
 DEVELOPMENT  
 at alameda and  
 san pedro ne.  
 abq, nm

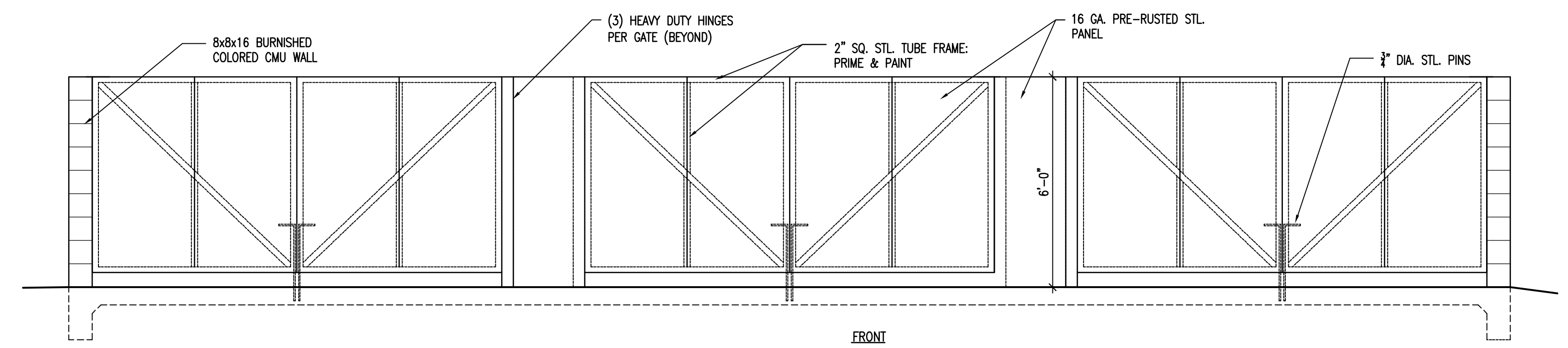
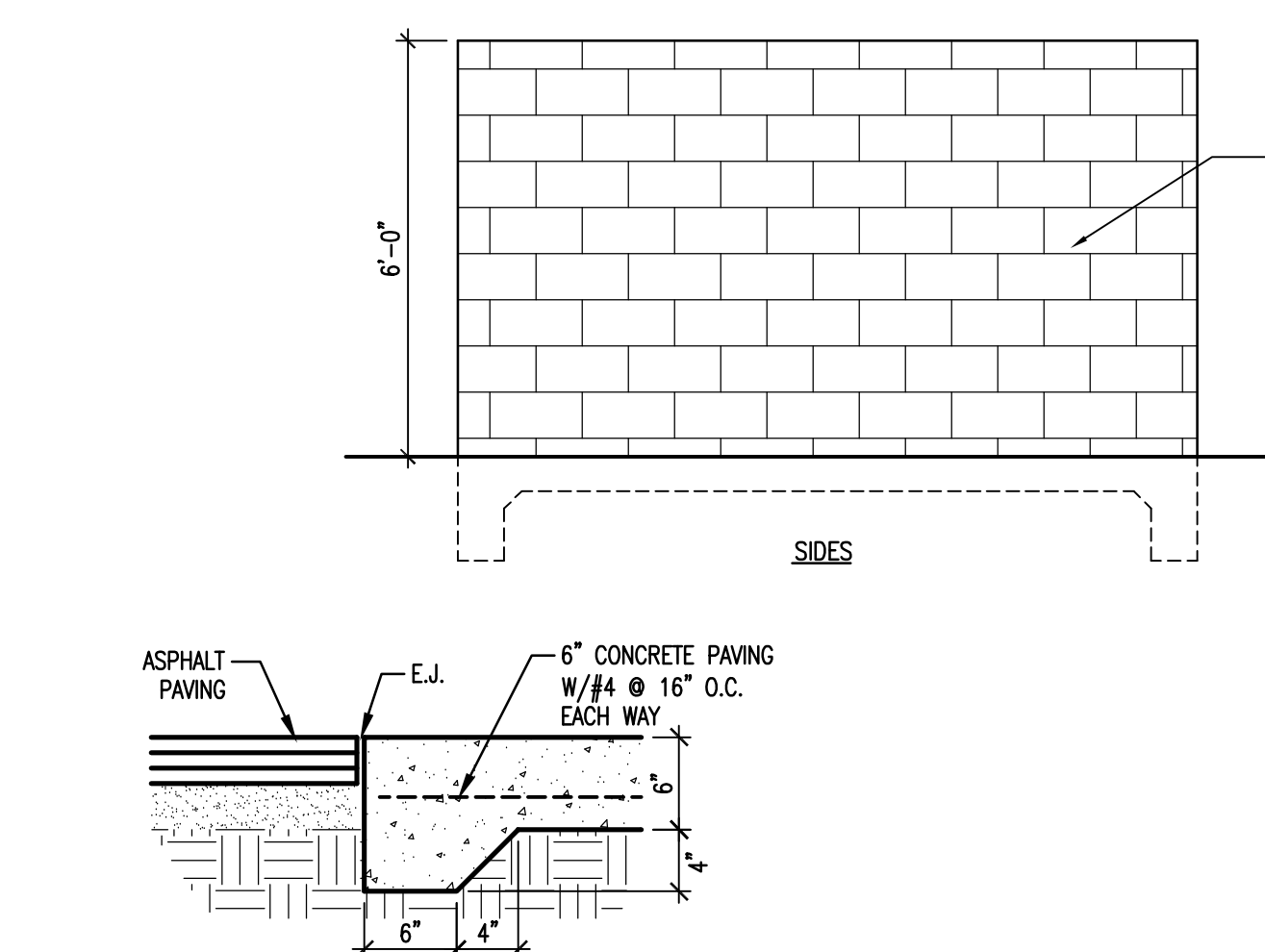
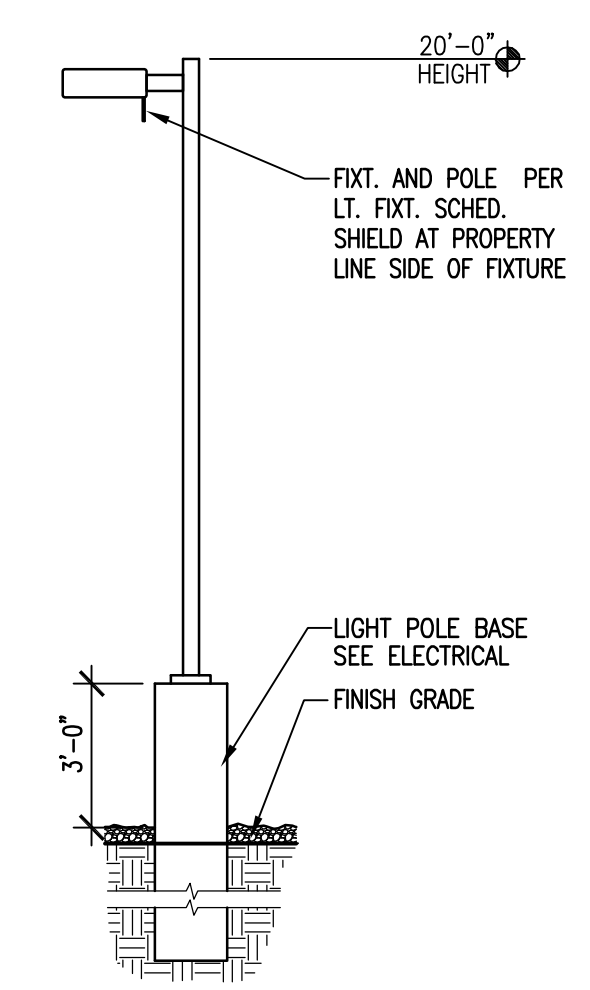


13 motorcycle sign elevations  
 2 | 1/2"=1'-0"

12 hcp sign elevations  
 2 | 1/2"=1'-0"

11 bike rack detail  
 2 | 3/4"=1'-0"

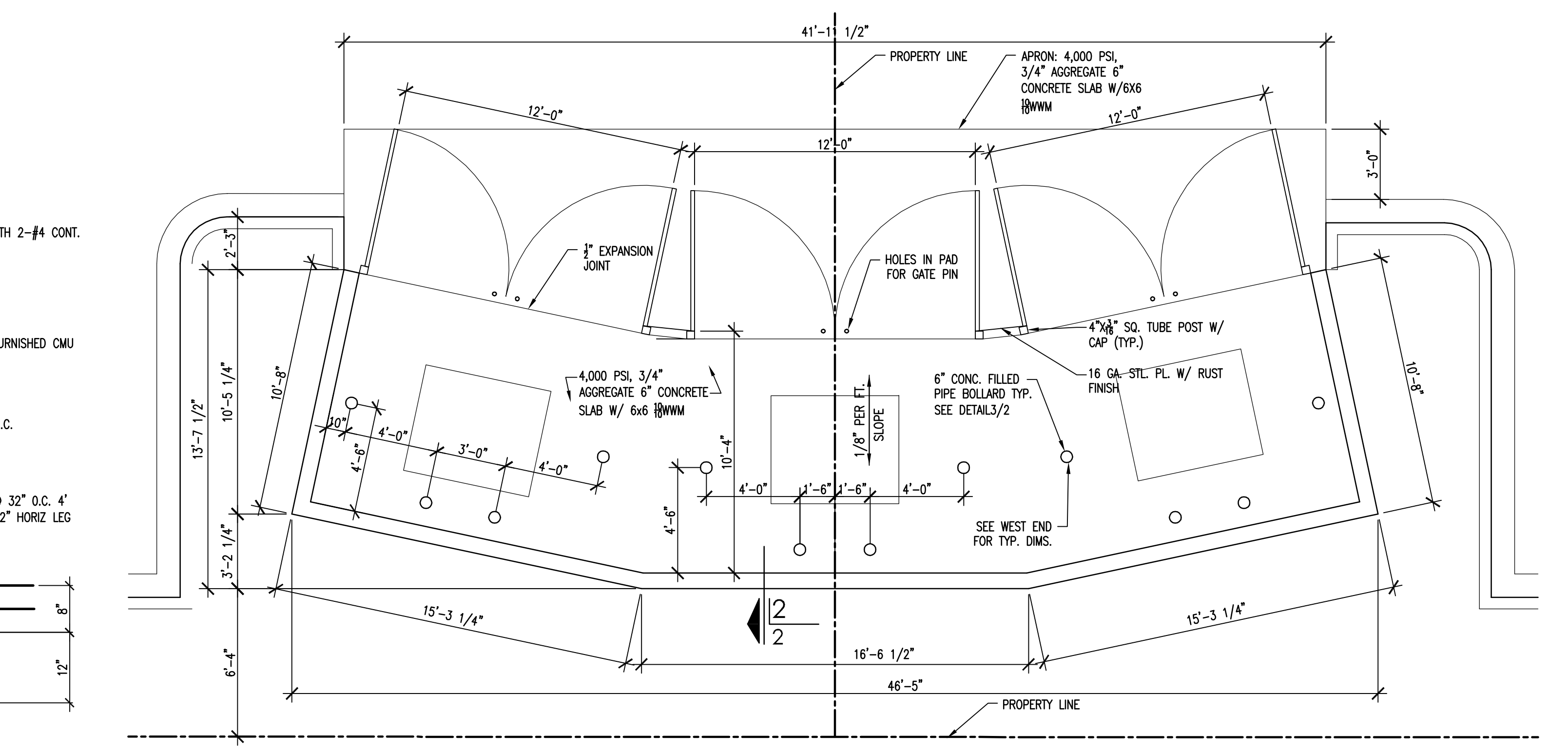
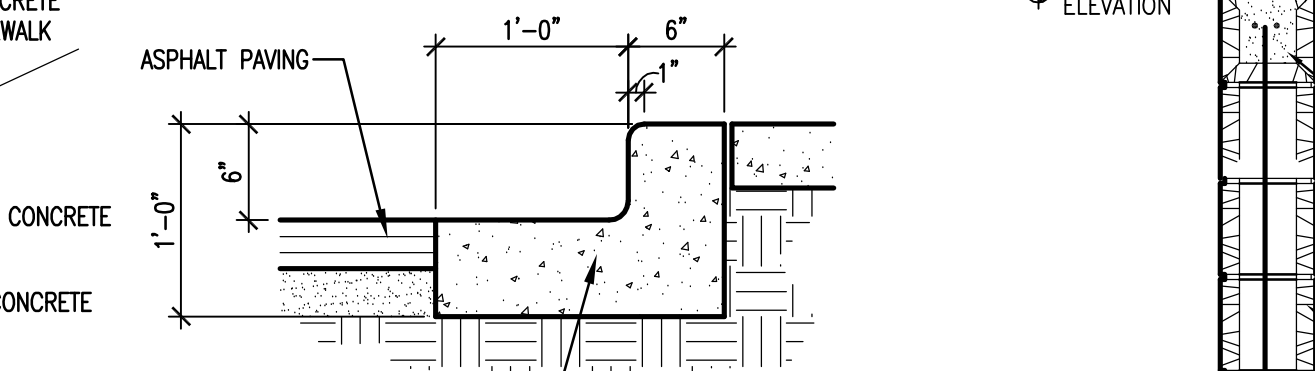
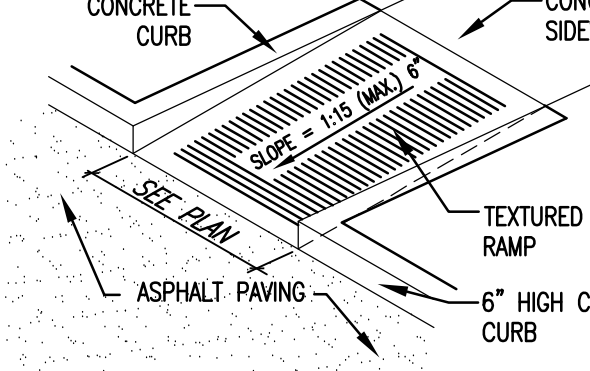
10 nonument sign elevations  
 2 | 1/4"=1'-0"



8 light pole detail  
 2 | 1/4"=1'-0"

7 paving detail  
 2 | 1"=1'-0"

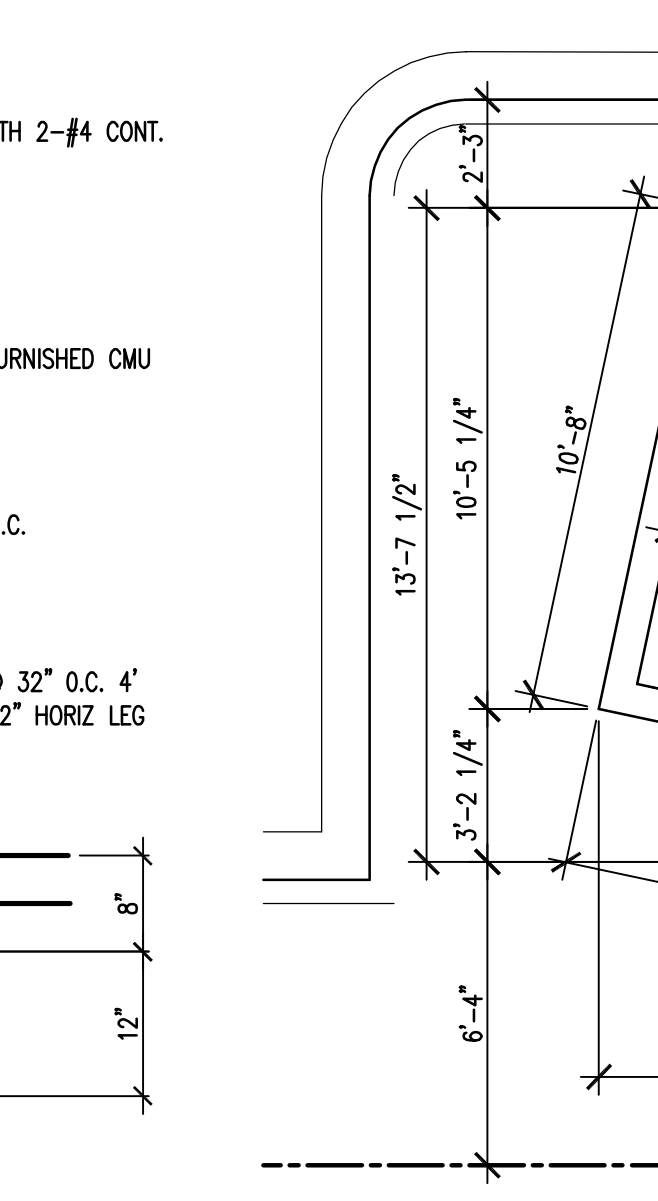
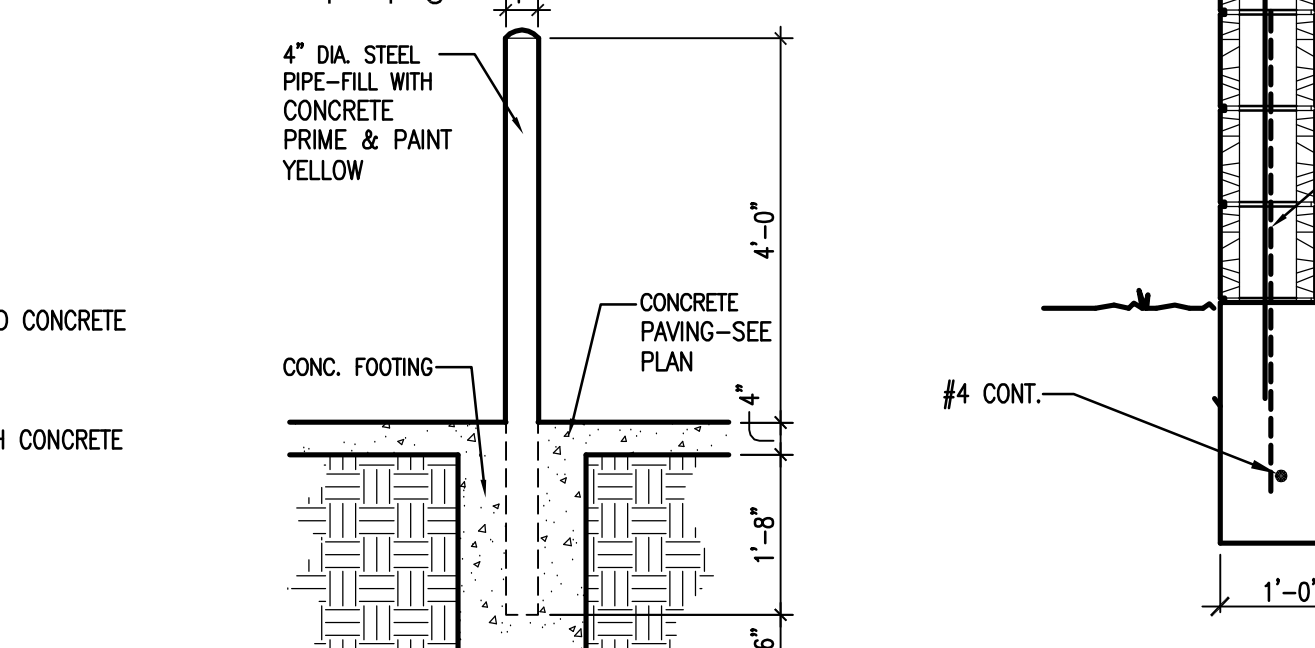
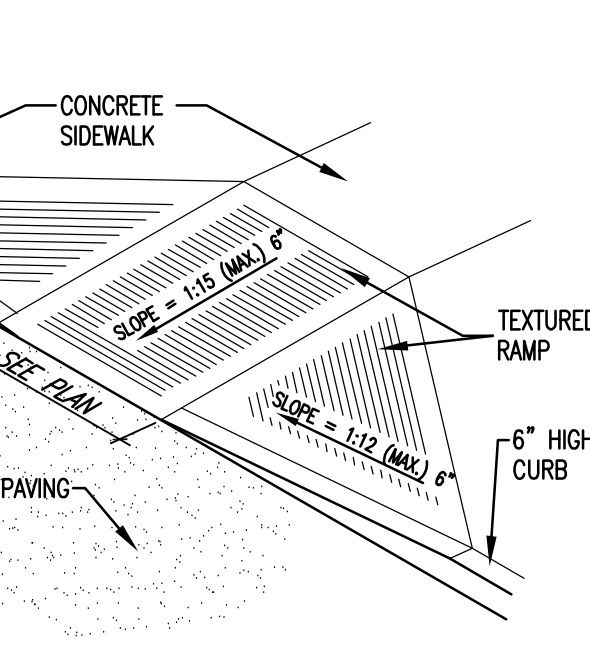
9 dumpster enclosure elevations  
 2 | 1/4"=1'-0"



6 hcp ramp detail  
 2 nts

5 curb detail  
 2 | 1"=1'-0"

1 dumpster enclosure plan  
 2 | 1/4"=1'-0"

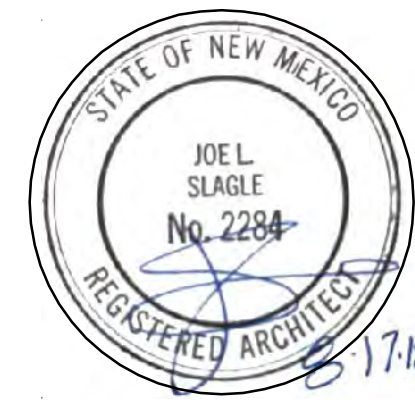


4 hcp ramp detail  
 2 nts

3 bollard detail  
 2 | 1/2"=1'-0"

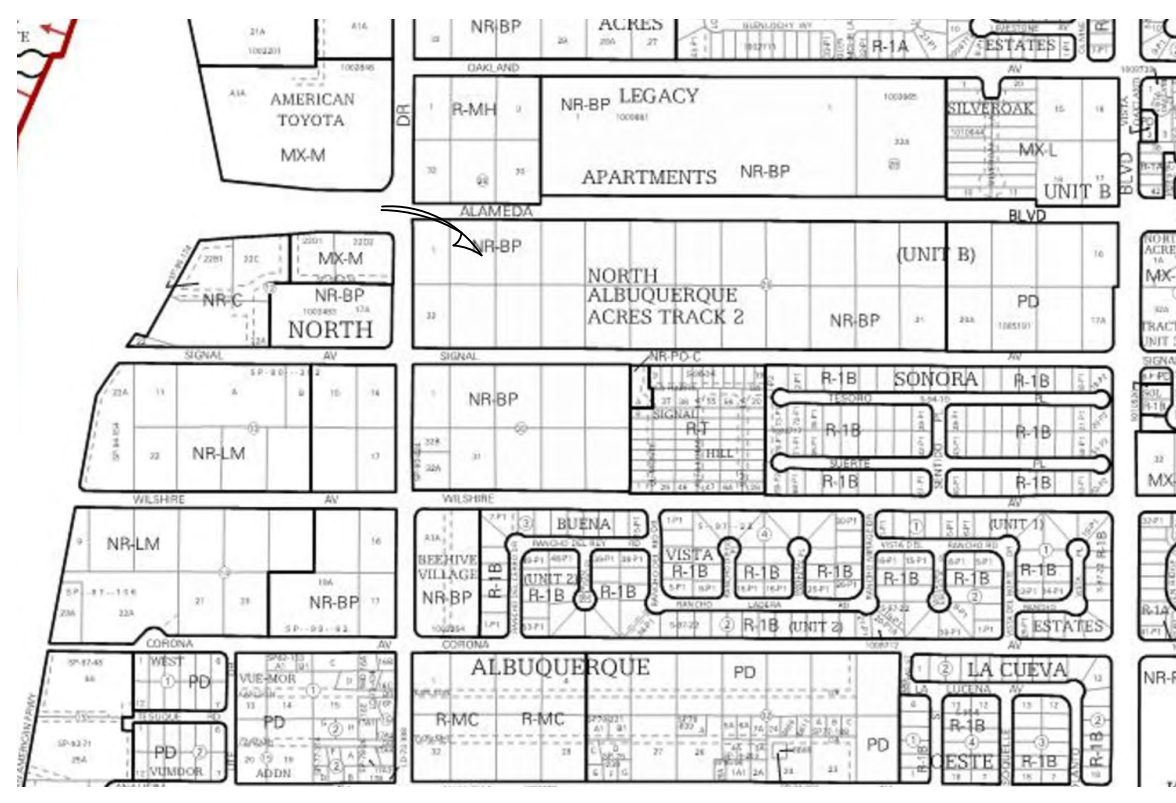
2 wall section  
 2 | 3/4"=1'-0"

revisions:

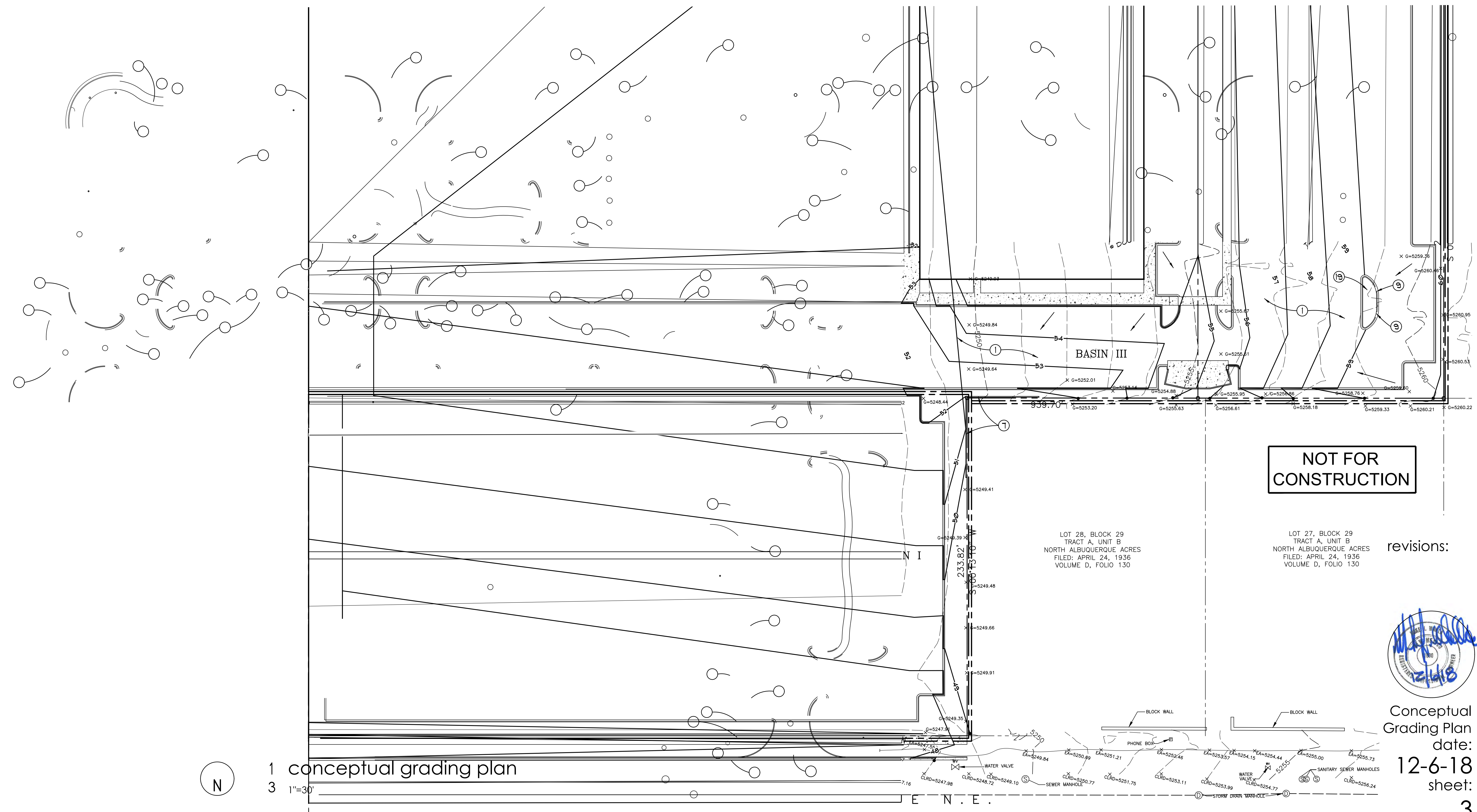


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 8-17-18  
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**A MIXED USE DEVELOPMENT**  
 at alameda and  
 san pedro ne.  
 albq, nm



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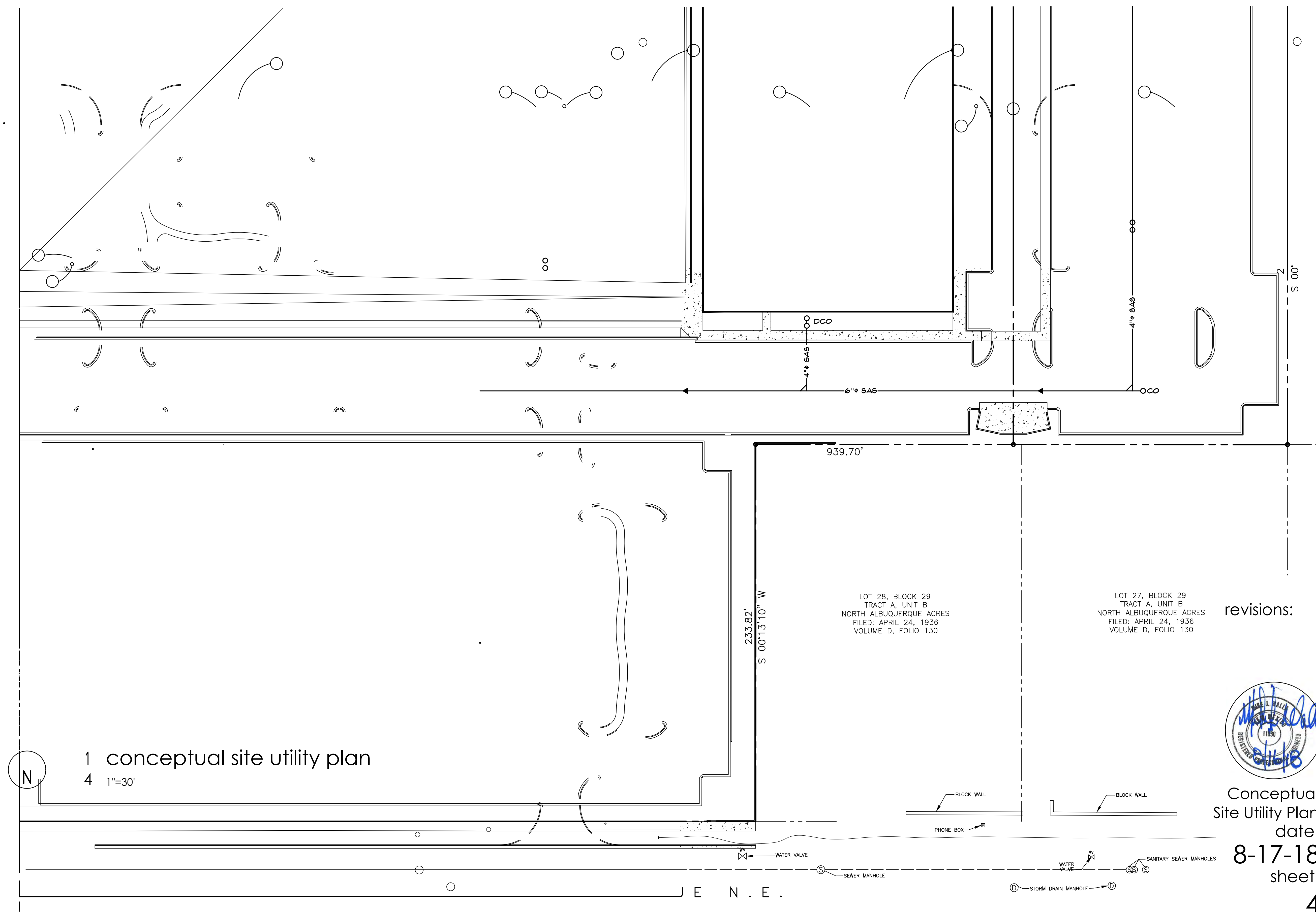


Conceptual  
 Grading Plan  
 date:  
**12-6-18**  
 sheet:



# A MIXED USE DEVELOPMENT

at alameda and san pedro ne.  
abq, nm



1 conceptual site utility plan  
 4 1"=30'

revisions:



Conceptual  
 Site Utility Plan  
 date:  
**8-17-18**  
 sheet:  
**4**



**SITE DATA**

GROSS LOT AREA (5.24 ac)	228,371 SF
LESS BUILDING(S)	36,900 SF
NET LOT AREA	191,471 SF

REQUIRED LANDSCAPE	28,720 SF
15% OF NET LOT AREA	28,720 SF
PROPOSED LANDSCAPE	59,975 SF
PERCENT OF NET LOT AREA	31 %

HIGH WATER USE TURF	0 SF
MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0 %

REQUIRED STREET TREES	42
1 PER 30 L.F. OF STREET FRONTAGE	42
PROVIDED STREET TREES	42

REQUIRED PARKING LOT TREES	39
1 PER 10 SPACES	39
386 SPACES/10	39
PROVIDED PARKING LOT TREES	39

TOTAL TREE REQUIRED/PROVIDED (2" cal or 6" ht.)	81/102
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REQUIRED LANDSCAPE COVERAGE	75% LIVE VEGETATIVE MATERIAL	44,982 SF MIN.
75% LIVE VEGETATIVE MATERIAL	(59,975 SF PROPOSED LANDSCAPE X 75%)	45,188 SF
PROVIDED GROUND COVER	59,975 SF	
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	75%	

**NOTE**

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. IDO ZONING AND WATER WASTE ORDINANCE 6-1-1.

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC	
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.	
NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.	
STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.	
LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.	
LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.	
IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.	

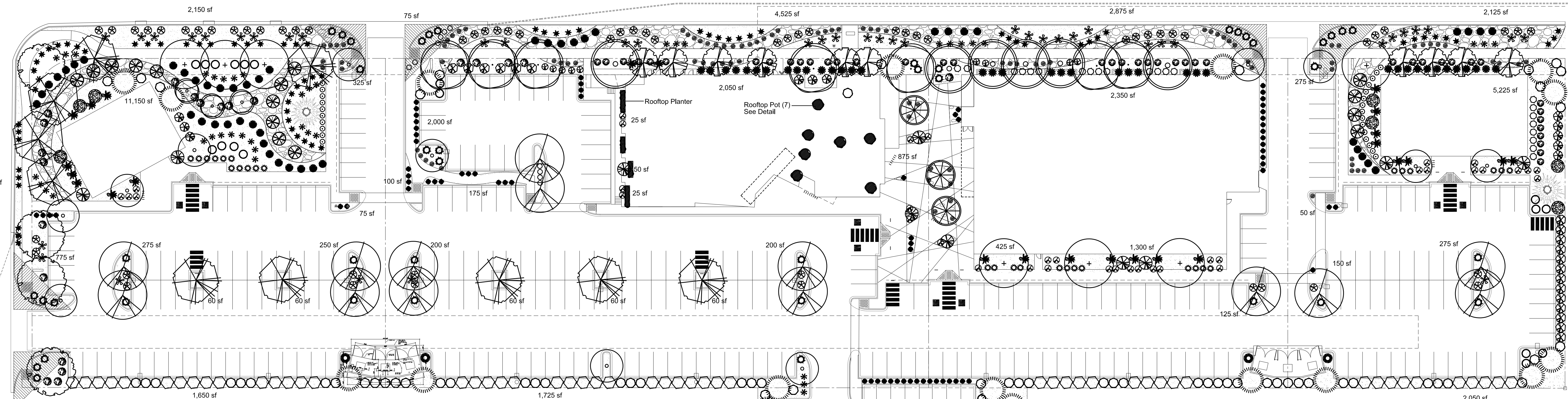
STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLC FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

**IRRIGATION NOTE**

DRIP SYSTEM RUN CYCLES:  
 ESTABLISHMENT AND SUMMER:  
 1 HOUR/4 DAYS A WEEK  
 SPRING:  
 1 HOUR/2-3 DAYS A WEEK  
 FALL:  
 1 HOUR/2-3 DAYS A WEEK  
 WINTER:  
 1 HOUR/2 DAYS PER MONTH

A MIXED USE DEVELOPMENT  
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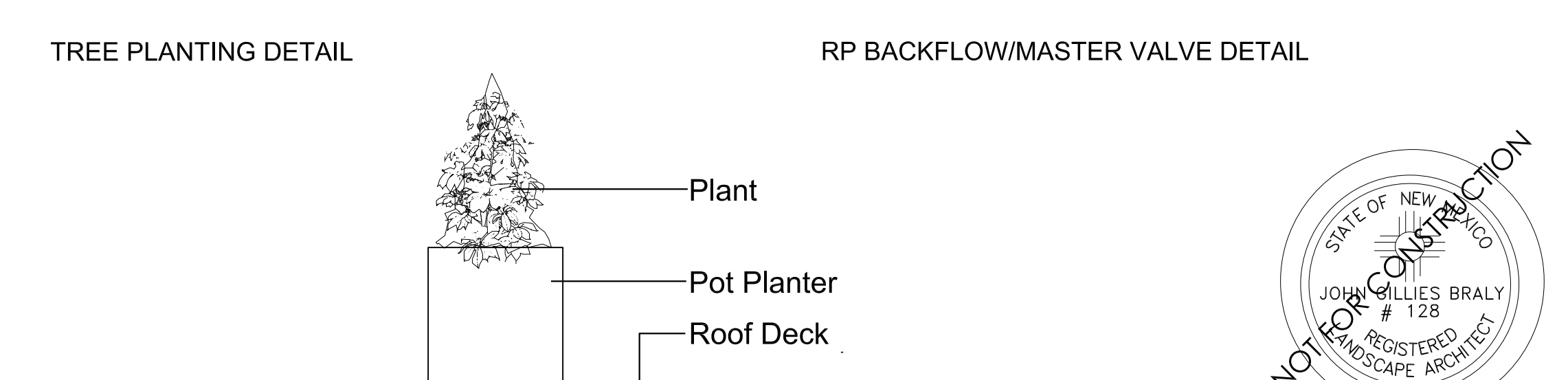
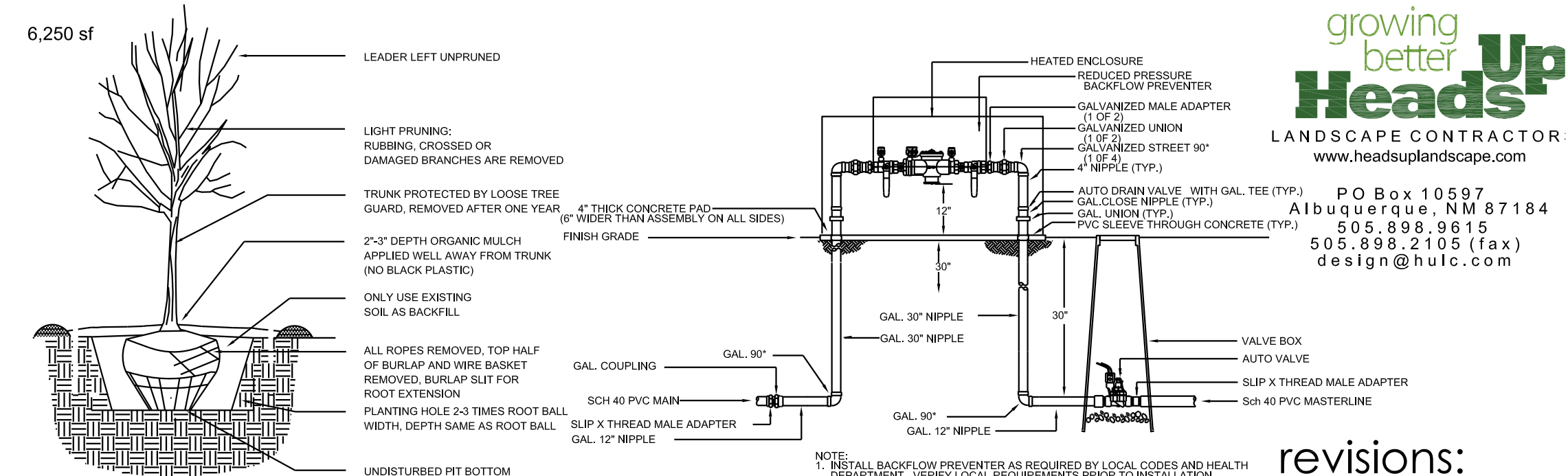
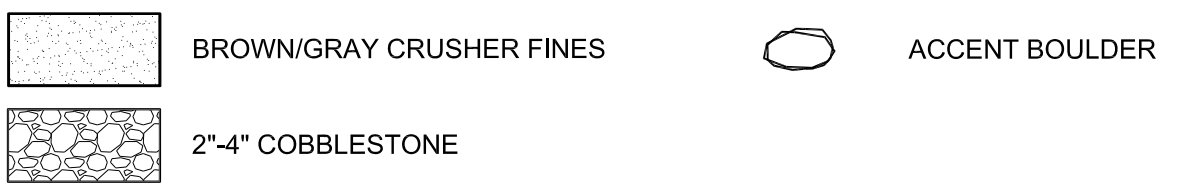
**PLANT LEGEND**

Qty.	Symbol	Scientific Name	Common Name	Installed Size	Mature Height/Spread	Landscaped Area	Water Use	Drip Emitters
6	○	Fraxinus Autumn Purple Ash	Autumn Purple Ash	2" B&B	40'/40'	30 sf=180 sf	Medium	+6-2 gph
10	○	Ulmus Lacebark Elm	Lacebark Elm	2" B&B	50'/20'	40 sf=400 sf	Medium	6-2 gph
14	○	Pyrus Flowering Pear	Flowering Pear	2" B&B	25'/15'	20 sf=280 sf	Medium	+6-2 gph
4	○	Pistacia chinensis Chinese Pistache	Chinese Pistache	2" B&B	60'/60'	45 sf=180 sf	Medium	+6-2 gph
7	○	Gleditsia triacanthos inermis Honeylocust	Honeylocust	2" B&B	80'/80'	30 sf=210 sf	Medium	6-2 gph
3	○	Quercus Texas red Oak	Texas red Oak	2" B&B	40'/35'	35 sf=105 sf	Medium	6-2 gph
16	○	Fraxinus Modesto Ash	Modesto Ash	2" B&B	30'/30'	35 sf=560 sf	Medium	6-2 gph
10	○	Celtis Hackberry	Hackberry	2" B&B	40'/40'	35 sf=350 sf	Medium	6-2 gph
10	○	Cercis Western Redbud	Western Redbud	2" B&B	10'/12'	30 sf=455 sf	Medium	6-2 gph
8	○	Forestiera NM Olive	NM Olive	5-Gal	15'/15'	100 sf=800 sf	Medium	6-2 gph
9	○	Vitex Agnus-Castus Chaste Tree	Chaste Tree	5-Gal	20'/20'	100 sf=900 sf	Medium	6-2 gph
2	○	Cedrus Deodar Cedar	Deodar Cedar	6' HT.	40'/20'	35 sf=70 sf	Medium	6-2 gph
20	○	Pinus elderica Afghan Pine	Afghan Pine	6' HT.	30'/20'	35 sf=700 sf	Medium	6-2 gph
<b>Shrubs/Groundcovers</b>								
73	○	Buddleia davidii Butterfly Bush	Butterfly Bush	1-Gal	6'/6'	64 sf=4672 sf	Medium	2-2 gph
30	○	Caryopteris clandonensis Blue Mist	Blue Mist	1-Gal	4'/4'	25 sf=750 sf	Medium	2-2 gph
29	○	Photinia Fraser Red Tip Photinia	Fraser Red Tip Photinia	1-Gal	10'/10'	30 sf=870 sf	Medium	2-2 gph
30	○	Rhus aromatica Gro Low Sumac	Gro Low Sumac	1-Gal	2'/6'	64 sf=1920 sf	Low +	2-2 gph
64	○	Ericameria laricifolia 'Aglurre' Turpentine Bush	Turpentine Bush	1-Gal	3'/4'	25 sf=1600 sf	Low	2-1 gph
22	○	Ilex Burford Holly	Burford Holly	5-Gal	4'/4'	16 sf=352 sf	Medium+	2-1 gph
25	○	Chrysactinia Damianta	Damianta	1-Gal	3'/3'	15 sf=375 sf	Medium	2-1 gph
49	○	Hesperaloe parviflora Red Yucca	Red Yucca	5-Gal	3'/4'	35 sf=1715 sf	Low	2-2 gph
47	○	Juniperus sabina 'Buffalo' Buffalo Juniper (female)	Buffalo Juniper (female)	5-Gal	2'/6'	64 sf=3008 sf	Low +	2-2 gph

60	○	Vauquelinia Rosewood	Rosewood	5-Gal	12'/10'	40 sf=2400 sf	Low+	2-2 gph
33	○	Perovskia atriplicifolia Russian Sage	Russian Sage	1-Gal	5'/5'	20 sf=660 sf	Medium	2-2 gph
42	○	Potentilla fruticosa Shrubby Cinquefoil	Shrubby Cinquefoil	5-Gal	3'/3'	20 sf=840 sf	Medium+	2-2 gph
7	○	Hibiscus Rose of Sharon	Rose of Sharon	5-Gal	6'/6'	64 sf=448 sf	Medium	2-2 gph
25	○	Rosmarinus officinalis Rosemary	Rosemary	1-Gal	6'/6'	64 sf=1600 sf	Low +	2-2 gph
29	○	Rosa Knockout Rose	Knockout Rose	5-Gal	3'/3'	15 sf=435 sf	Medium+	2-2 gph
10	○	Lagerstroemia Crape Myrtle	Crape Myrtle	5-Gal	15'/10'	100 sf=1000 sf	Medium+	2-2 gph
10	○	Spiraea Dwarf Red Spirea	Dwarf Red Spirea	5-Gal	3'/3'	20 sf=200 sf	Medium+	2-2 gph
15	○	Caesalpinia Bird of Paradise	Bird of Paradise	1-Gal	3'/3'	100 sf=1500 sf	Medium	2-2 gph
37	○	Rhaphelepis India Hawthorn	India Hawthorn	5-Gal	3'/3'	20 sf=740 sf	Medium	2-2 gph
11	○	Viburnum Burkwood Viburnum	Burkwood Viburnum	1-Gal	6'/6'	64 sf=704 sf	Medium+	2-2 gph
9	○	Euonymus Burning Bush	Burning Bush	1-Gal	4'/4'	25 sf=225 sf	Medium	2-2 gph
40	○	Nandina Heavenly Bamboo	Heavenly Bamboo	5-Gal	6'/6'	20 sf=800 sf	Medium+	2-2 gph
63	○	Dasyliion Sotol	Sotol	5-Gal	5'/5'	40 sf=2520 sf	RW	2-2 gph
12	○	Leucophyllum Texas Ranger/Sage	Texas Ranger/Sage	1-Gal	6'/6'	64 sf=768 sf	Low+	2-2 gph
71	○	Yucca baccata Banana Yucca/Datil	Banana Yucca/Datil	5-Gal	4'/5'	40 sf=2840 sf	RW	2-2 gph
<b>Grasses</b>								
42	○	Muhlenbergia Deer Grass	Deer Grass	1-Gal	4'/4'	20 sf=840 sf	Low+	2-2 gph
94	○	Muhlenbergia Regal Mist Grass	Regal Mist Grass	1-Gal	3'/3'	15 sf=1410 sf	Medium	2-2 gph
41	○	Panicum Switch Grass	Switch Grass	1-Gal	8'/6'	36 sf=1476 sf	Medium	2-2 gph
333	○	Calamagrotis Karl Foerster Grass	Karl Foerster Grass	1-Gal	3'/2'	10 sf=3330 sf	Medium	2-2 gph

Total Landscape Coverage=45,188 sf

**MATERIALS LEGEND**



revisions:

Overall Landscape Plan  
 11.30.18/6.18 date:  
 7-26-18 sheet:  
 1001

1 landscape plan  
 1"=30'

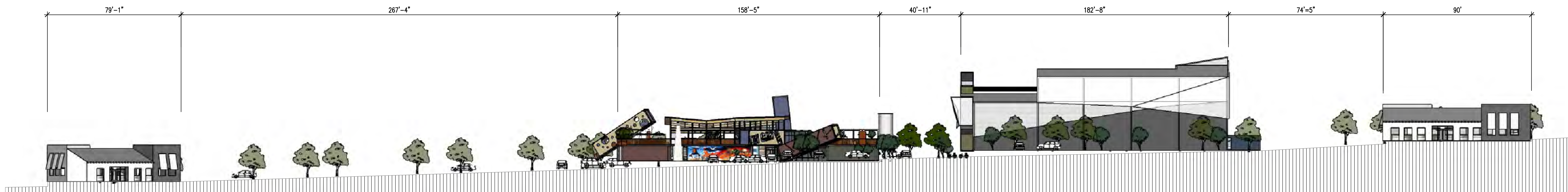
0 15' 30' 60' 90'

STATE OF NEW MEXICO  
 JOHN WILLIE BRALY  
 # 128  
 REGISTERED  
 LANDSCAPE ARCHITECT

growing better Up Heads™  
 LANDSCAPE CONTRACTOR  
 www.headsuplandscape.com  
 P O Box 10597  
 Albuquerque, NM 87184  
 505.898.9615  
 505.898.2105 (fax)  
 design@hulc.com



**A MIXED USE DEVELOPMENT**  
 at alameda and  
 san pedro ne.  
 abq, nm

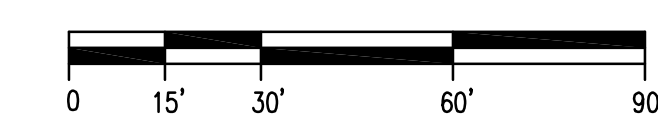


BUILDING 1  
RESTAURANT

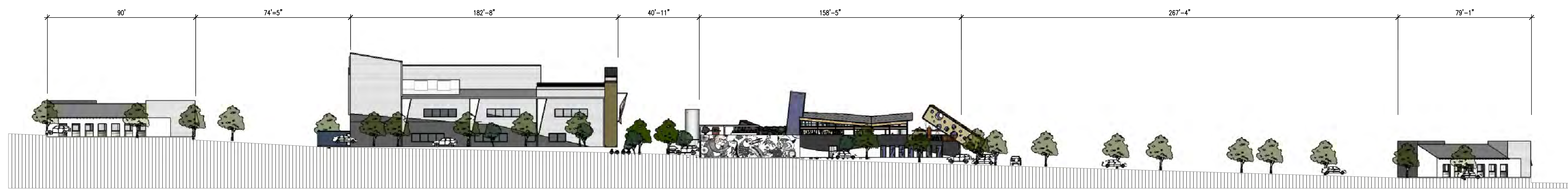
BUILDING 2  
CONTAINER DEVELOPMENT

BUILDING 3  
CLIMBING GYM

BUILDING 4  
TBD



2 | overall south elevation  
 6 | 1"=30'

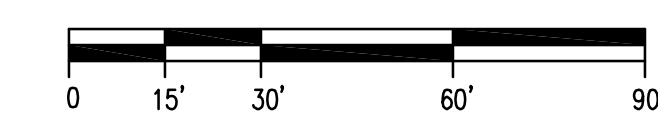


BUILDING 4  
TBD

BUILDING 3  
CLIMBING GYM

BUILDING 2  
CONTAINER DEVELOPMENT

BUILDING 1  
RESTAURANT



1 | overall north elevation  
 6 | 1"=30'

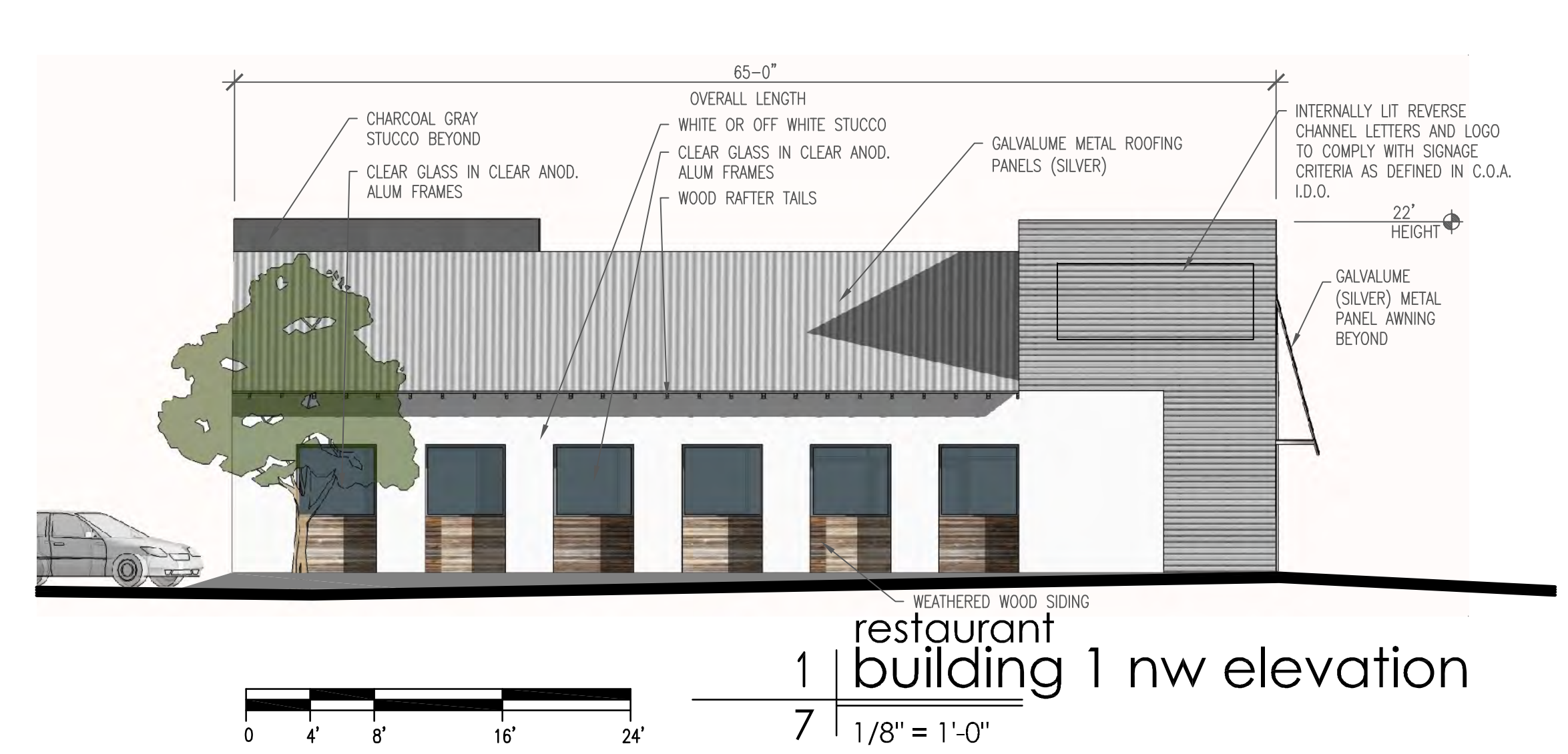
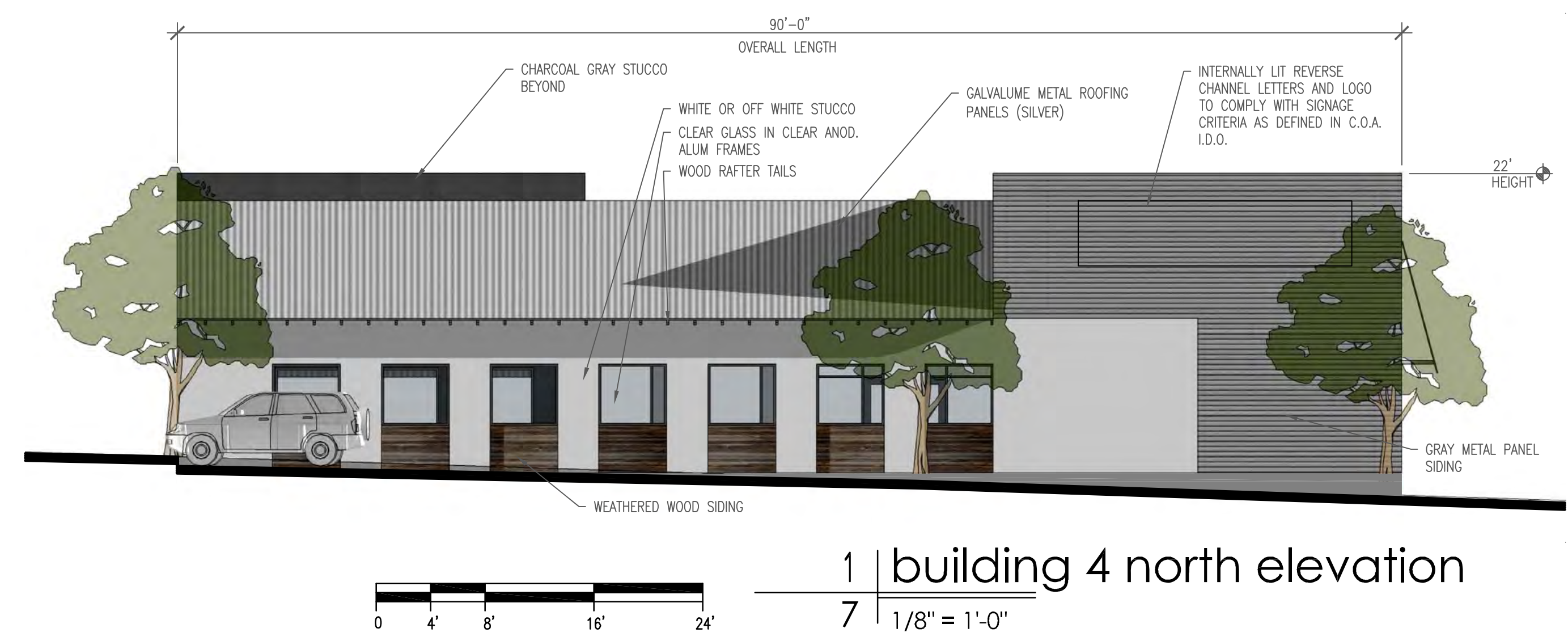
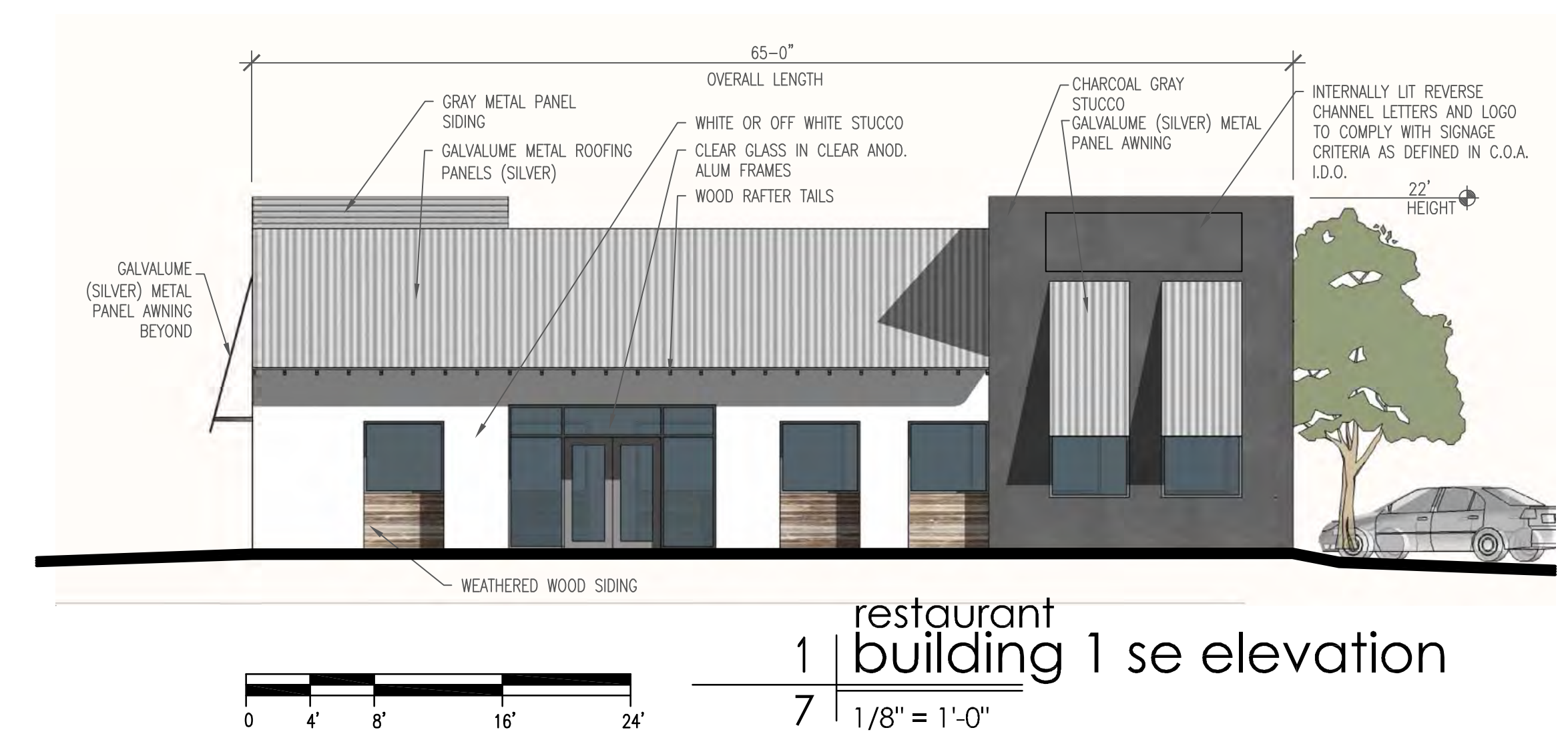
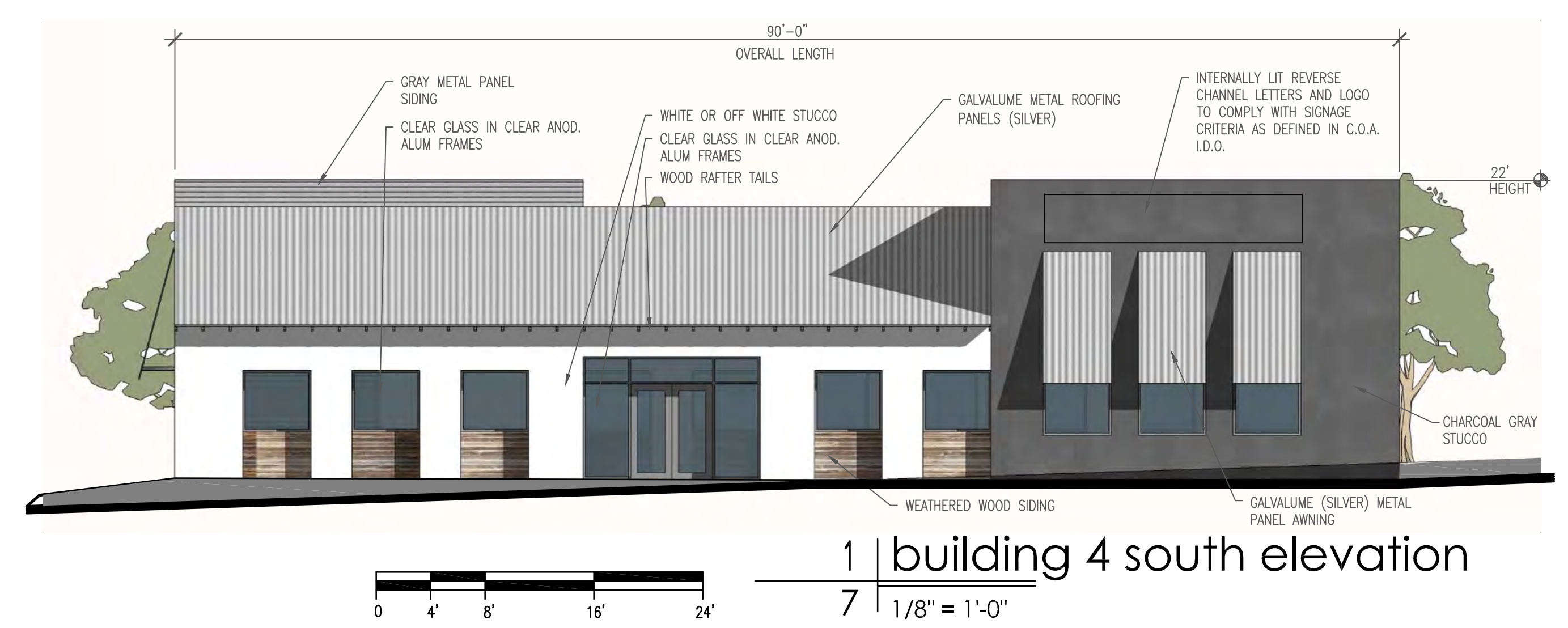
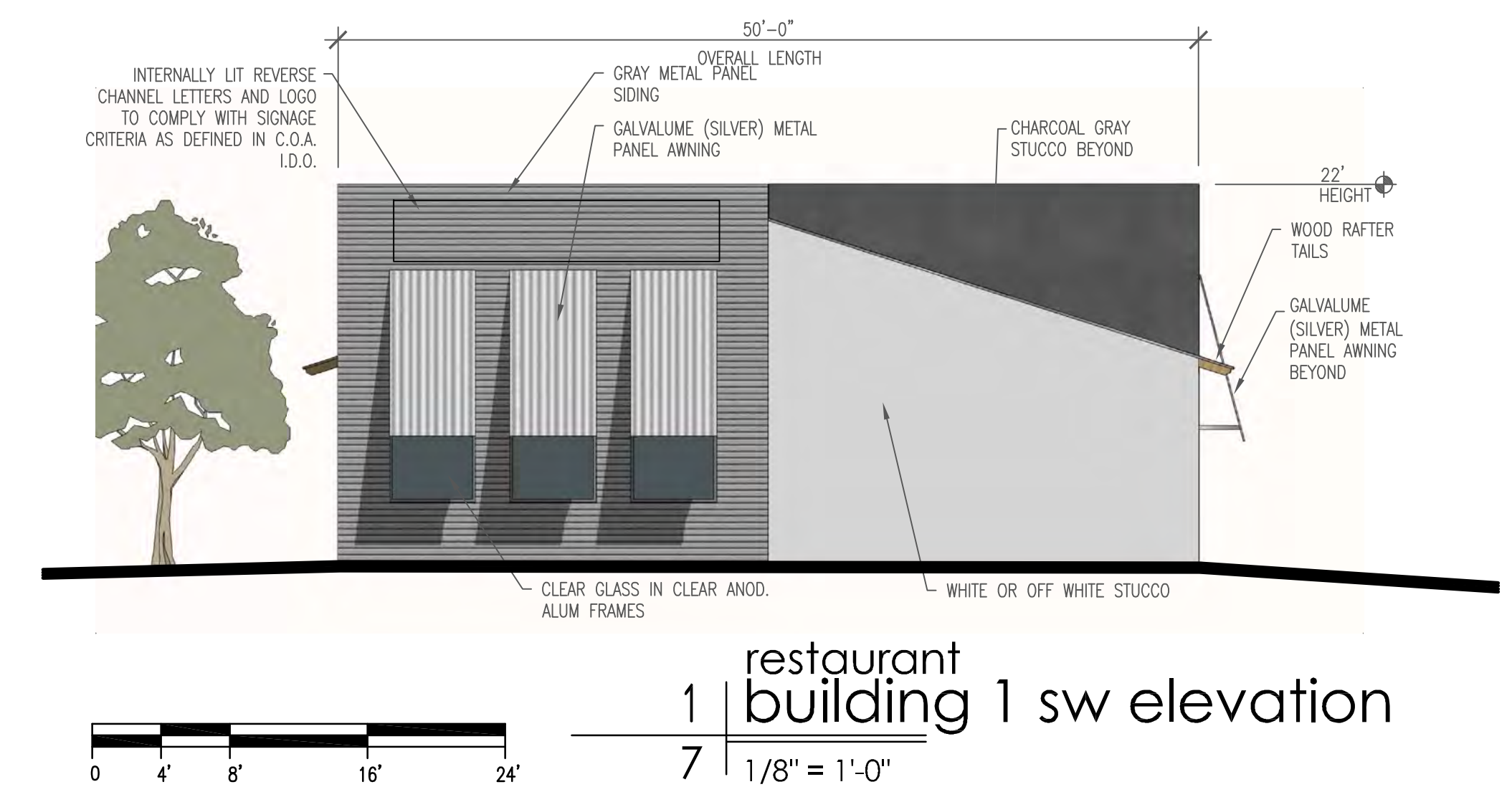
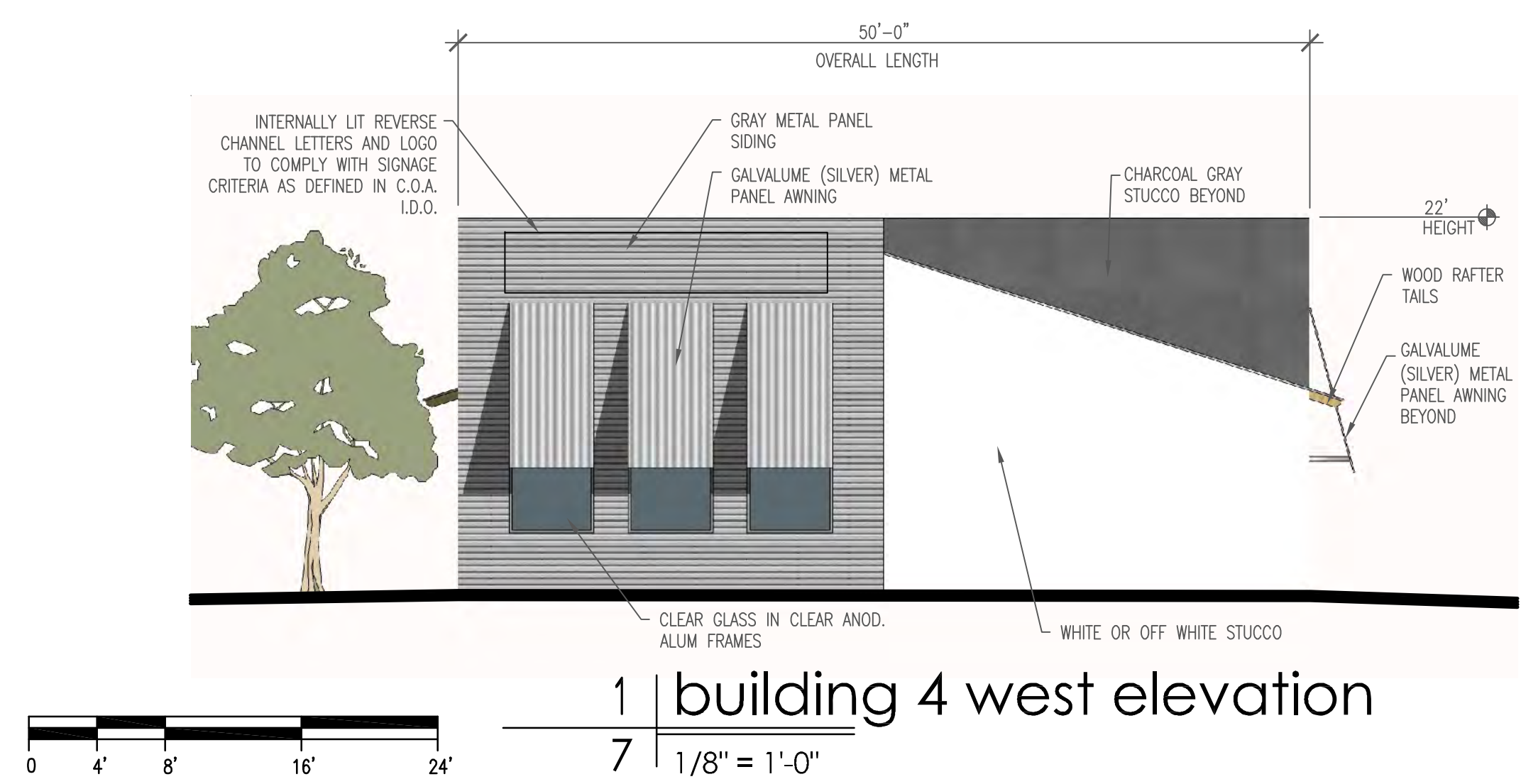
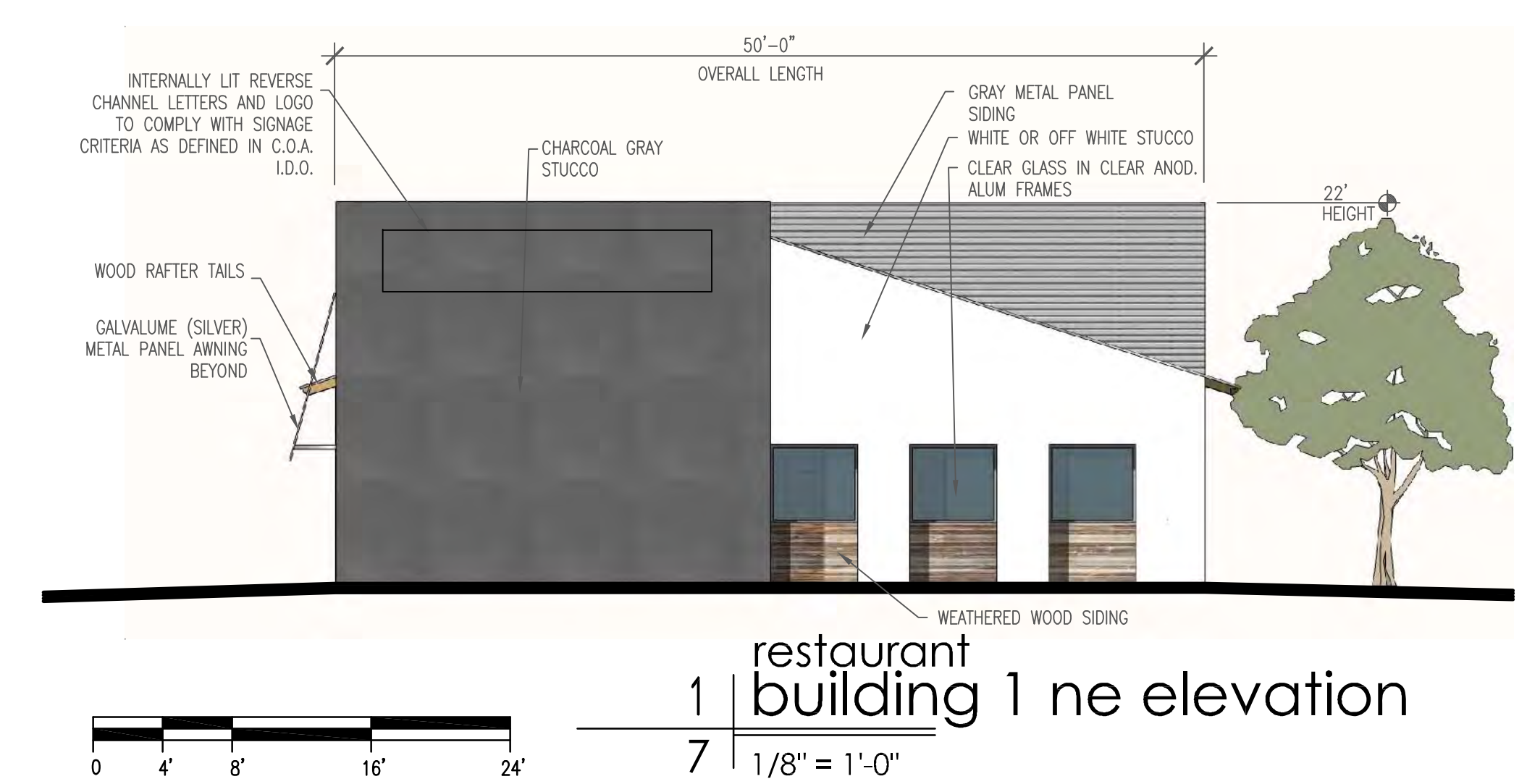
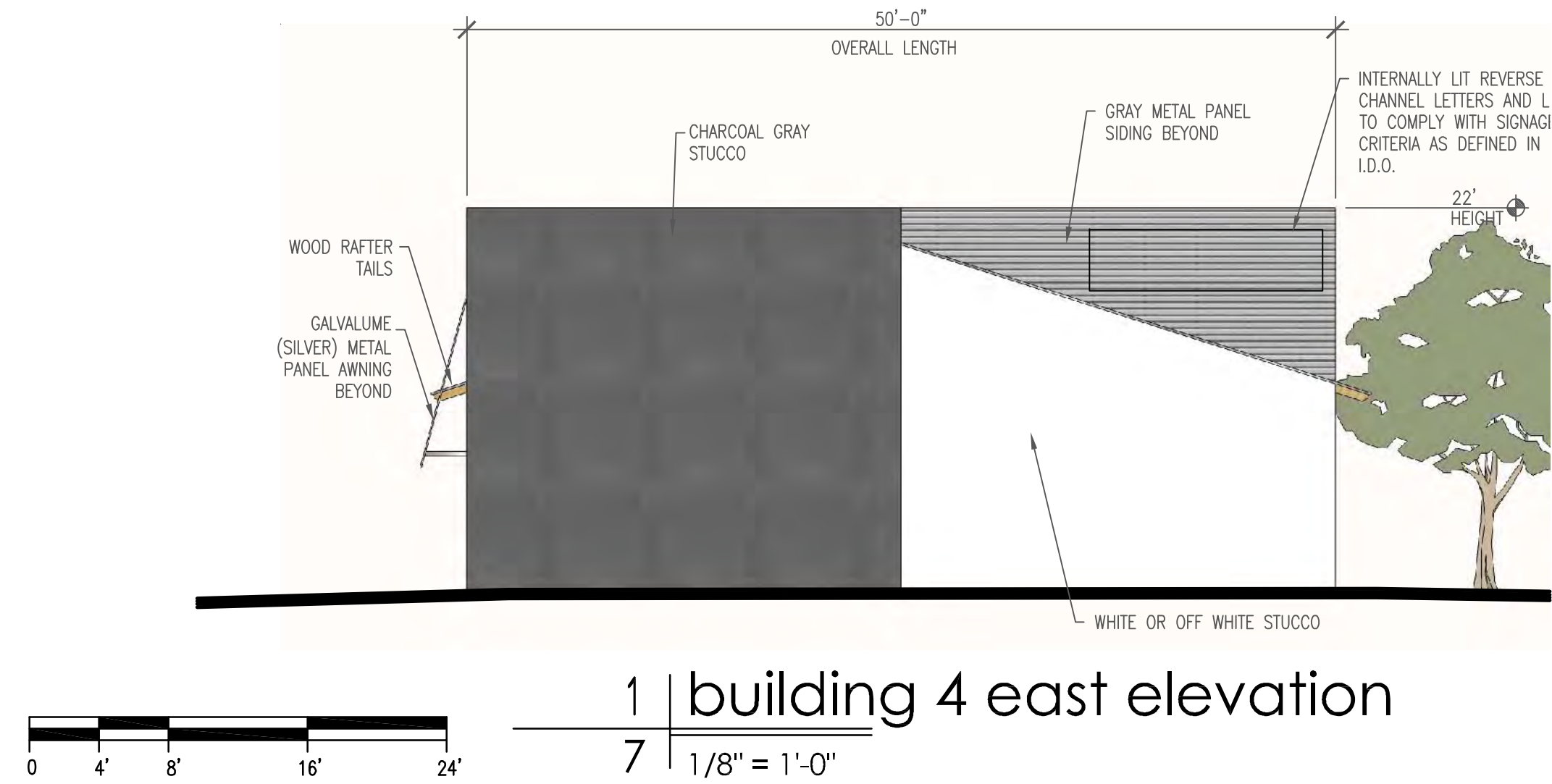
revisions:



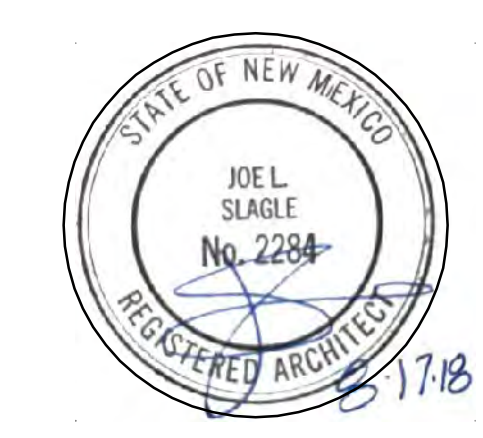
overall  
 elevations  
 date:  
**8-17-18**  
 sheet:  
**6**



A MIXED USE  
 DEVELOPMENT  
 at alameda and  
 san pedro ne.  
 abq, nm



revisions:

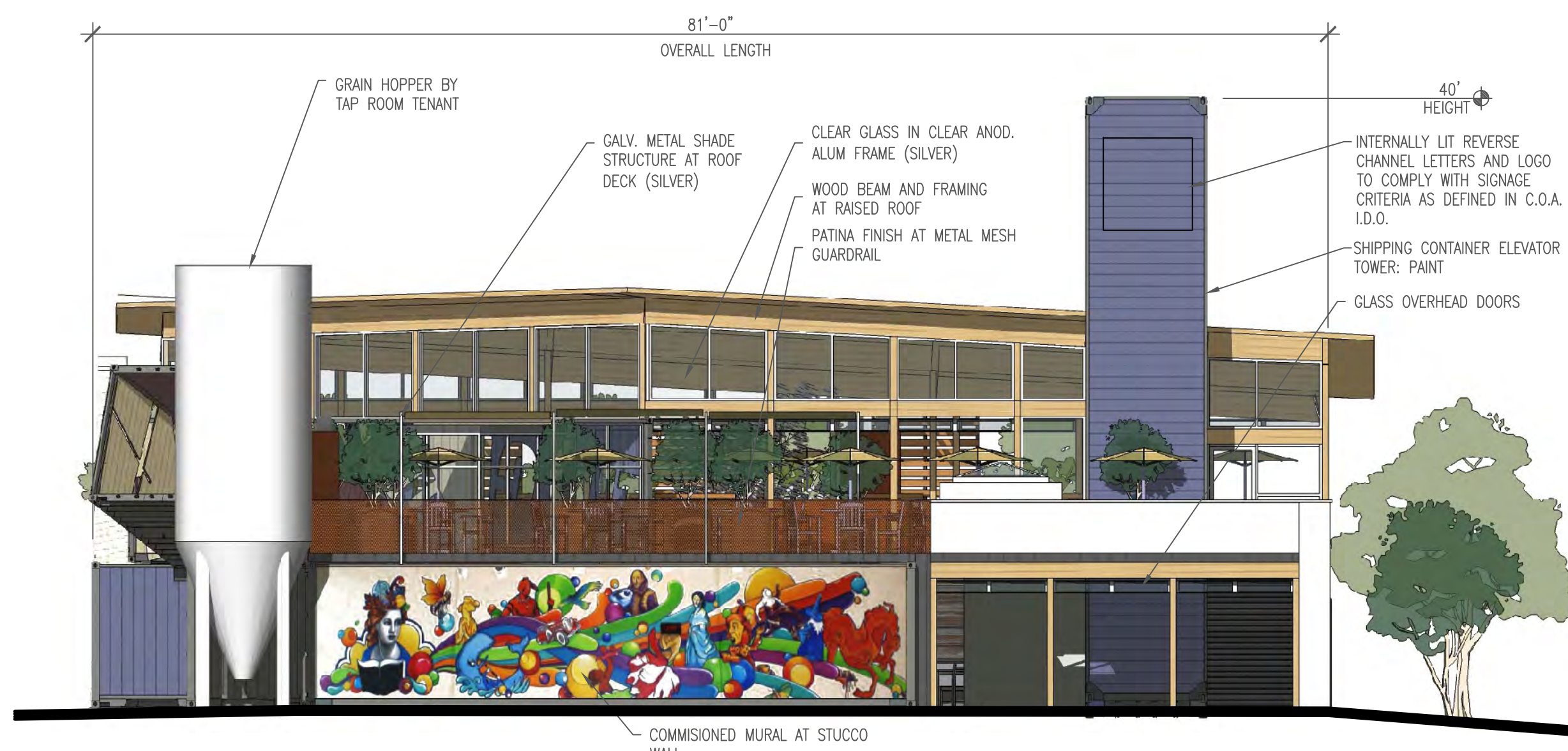


building 1 elevations  
 building 4 elevations

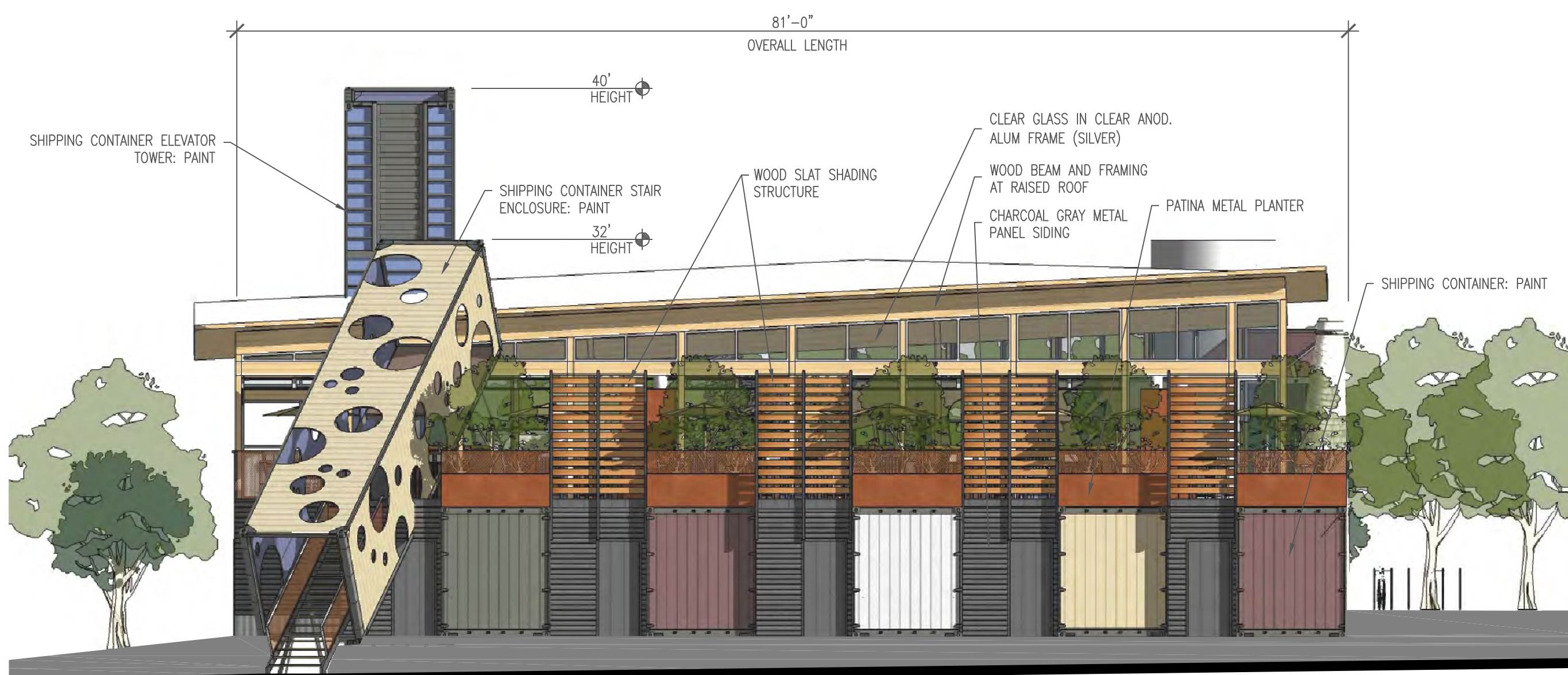
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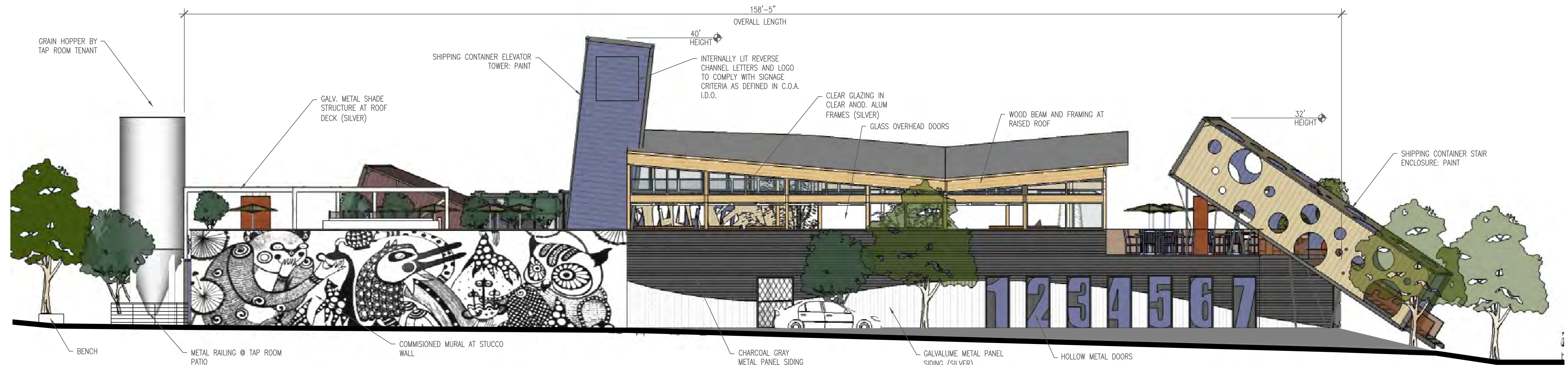
A MIXED USE  
 DEVELOPMENT  
 at alameda and  
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 abq, nm



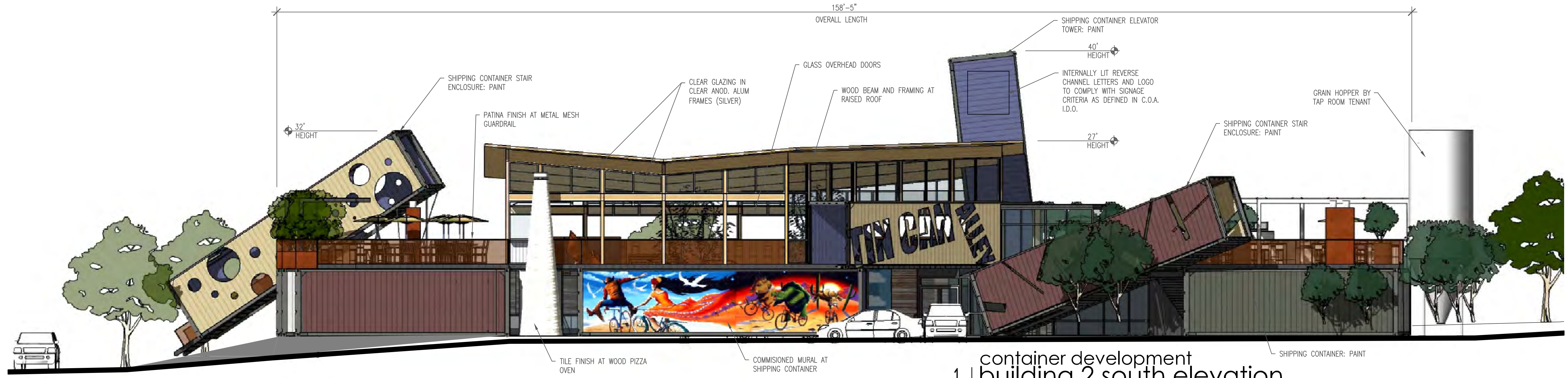
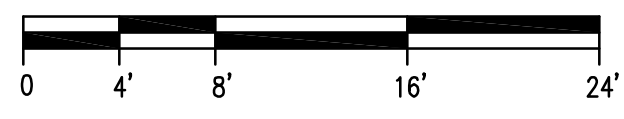
1 | container development  
 building 2 east elevation  
 8 | 1/8" = 1'-0"



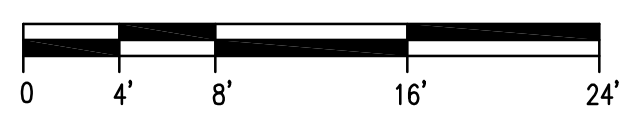
1 | container development  
 building 2 west elevation  
 8 | 1/8" = 1'-0"



1 | container development  
 building 2 north elevation  
 8 | 1/8" = 1'-0"



1 | container development  
 building 2 south elevation  
 8 | 1/8" = 1'-0"



revisions:



building 2  
 elevations  
 date:  
 8-17-18  
 sheet:  
 8

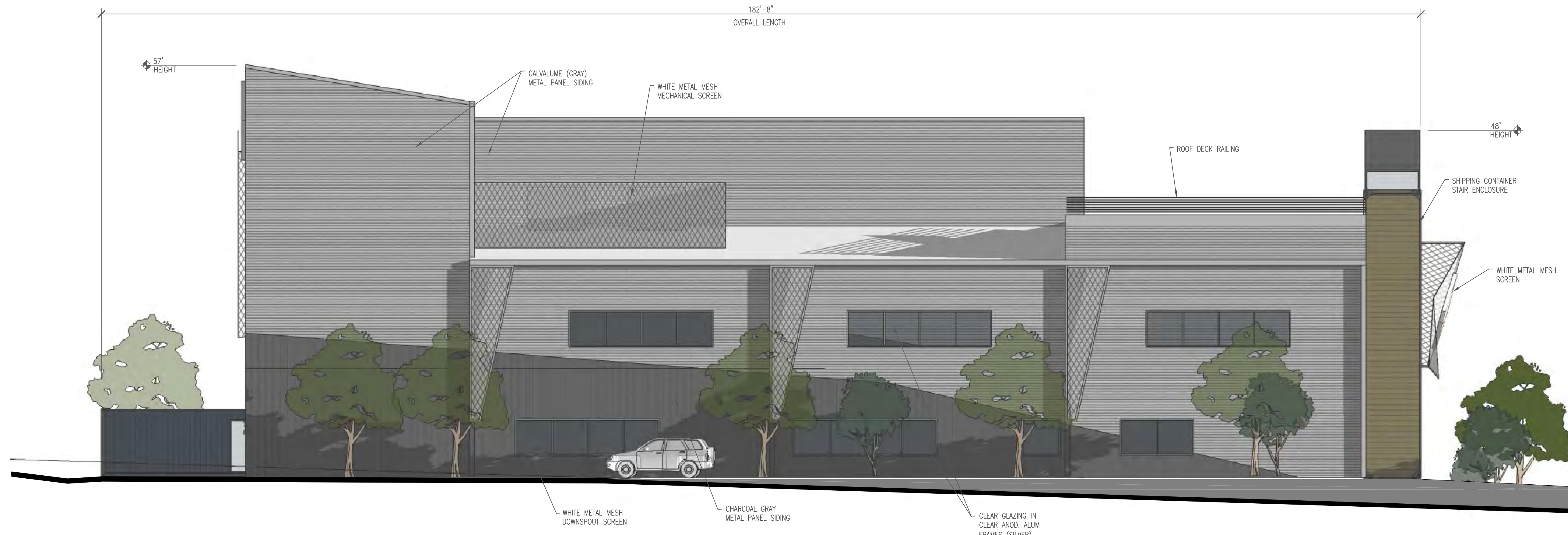
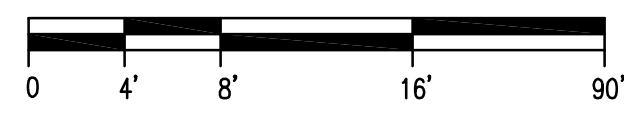


**A MIXED USE  
 DEVELOPMENT**  
 at alameda and  
 san pedro ne.  
 abq, nm



METAL DOWNSPOUTS-PAINT TO MATCH ADJACENT METAL PANELS.  
 CHARCOAL GRAY METAL PANEL SIDING

climbing gym  
 1 | building 3 south elevation  
 9 | 1/8" = 1'-0"

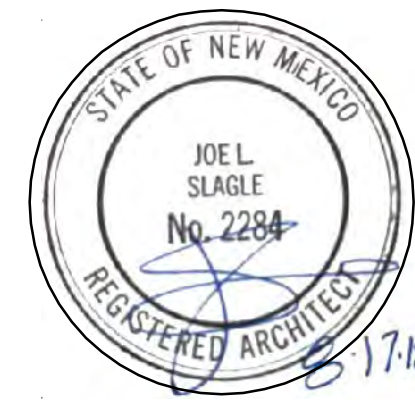


WHITE METAL MESH DOWNSPOUT SCREEN  
 CHARCOAL GRAY METAL PANEL SIDING  
 CLEAR GLAZING IN CLEAR ANOD. ALUM. FRAMES (SILVER)

climbing gym  
 1 | building 3 north elevation  
 9 | 1/8" = 1'-0"



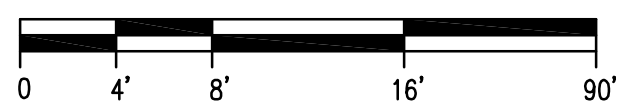
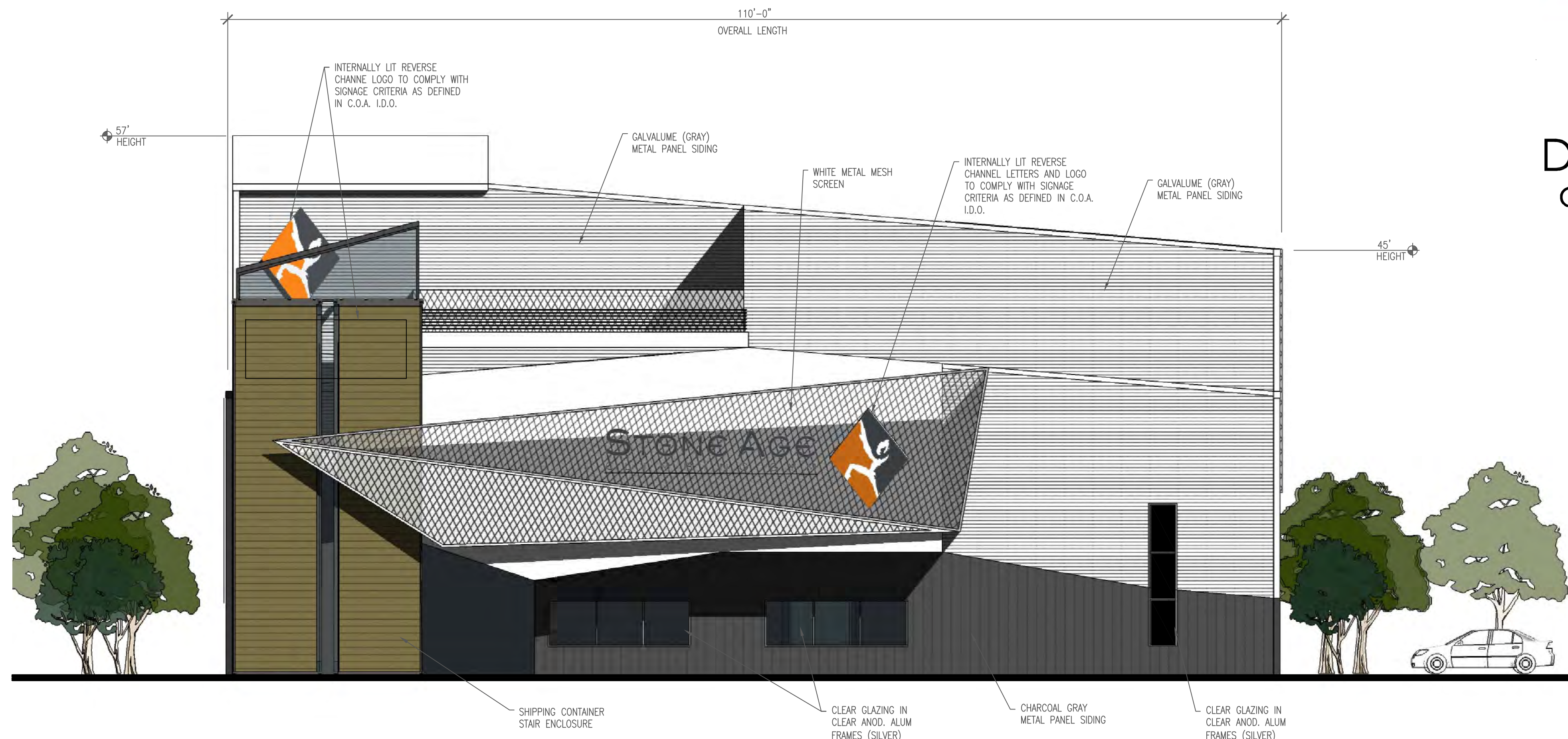
revisions:



building 3  
 elevations  
 date:  
 8-17-18  
 sheet:  
 9



A MIXED USE  
 DEVELOPMENT  
 at alameda and  
 san pedro ne.  
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climbing gym  
 1 | building 3 west elevation  
 10 | 1/8" = 1'-0"



climbing gym  
 1 | building 3 east elevation  
 10 | 1/8" = 1'-0"

revisions:



building 3  
 elevations  
 date:  
 8-17-18  
 sheet:  
 10



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 DEVELOPMENT  
 at alameda and  
 san pedro ne.  
 abq, nm



Tin Can Alley entry



looking east from intersection



east bound view from Alameda



Tin Can Alley west roof deck

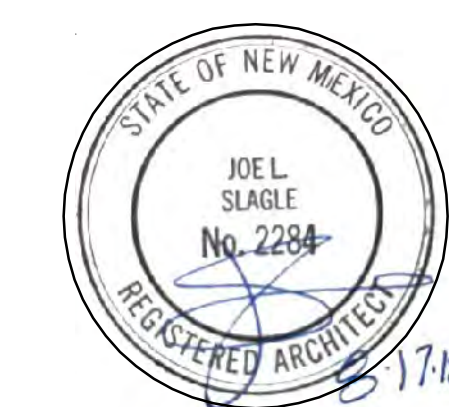


Stone Age Climbing Gym



Tin Can Alley interior

revisions:



images

date:  
 8-17-18  
 sheet: