

September 10, 2018

Development Review Board  
Planning Dept.  
600 2nd st. NW  
Albuquerque, NM 87102

**RE: PROJECT NUMBER PR-2018\_001346 Alameda Mixed Use Development**

**Planning Dept. comments:**

**Use Specific Standard for Restaurant:**

Both dumpster enclosures shown on the site plan will have a sanitary sewer drain in compliance with all applicable codes.

**Parking:**

Vehicle Charging Station: The site plan has been revised to show 8 vehicle charging stations.

Accessible Parking: ADAAG requires 8 accessible parking spaces. 8 accessible parking spaces are shown on the site plan. (2 in close proximity to the entrances of each of the 4 buildings.)

**Landscape:**

The landscape plan attached addresses comments 1 and 2.

Comment 3: The site plan has been revised to show tree wells at parking areas increased to 60 sf. the compact parking spaces have been reduced to 13' long with 2' overhang.

**Equipment Screening:**

The locations of any ground mounted equipment is yet unknown, however all ground mounted equipment will be fully screened from view.

**Lighting:**

All light poles on site are 20' tall. All light poles on site exceed 100' from any residential zone including the R-1B zone to the south of the property.

**Walls:**

Clarification: Site walls occur only at the refuse enclosures. However, should any mechanical equipment be ground mounted, they will be screened by walls or fences in compliance with the IDO. The restaurant building may require patio screening in which case this would be a wall or fence in compliance with the IDO.

**Façade Standards:**

The north façade facing Alameda meets the standard described in item 2 as follows:

1. The building will have windows on the upper floor
2. We are proposing to add raised planters along the length of the façade as shown on the attached renderings.

**Transportation Development comments:****Site Plan:**

1. The curb ramps at all the road access points have been changed to parallel ramps.
2. A trip generation exhibit is attached as part of this submittal.
3. Dimensions of parking spaces have been added to the site plan.
4. Detail 2/1 has been added to the site plan indicating the words "NO PARKING" on the hcp. Aisle.
5. The hcp parking sign, detail 12/2 has been revised to show the words "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
6. A note has been added to the site plan stating that all work in the right of way must be included on a public work order.
7. Clear sight triangles have been added to the site plan with the required verbiage in the key notes.
8. A note has been added to the site plan describing the phasing. Buildings 1,2, and 3, will be constructed at the same time. Building 4 is undetermined at this time so unless a user is determined prior to beginning construction, it will be a separate phase.
9. 10' public utility easements were shown on the site plan bordering Alameda and Signal. A 20' ABCWUA easement has been added to the site plan.
10. A note has been added to the site plan describing the work to be done under work order.

**Plat:**

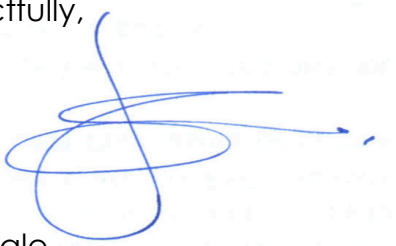
11. The infrastructure list includes the width of pavement, 6' walk and 6' bike lane as separate item.
12. The grading and drainage plan shows a section of the proposed road widening.
13. Right of way is being granted to the City of Albuquerque per the replat.
14. The existing medians in Alameda are shown on the site plan. No median modifications are being proposed as part of this project.

**Hydrology:**

Hydrology comments have been addressed as a separate re-submittal to hydrology.

Please let me know if you have any concerns or require additional information.

Respectfully,

A handwritten signature in blue ink, consisting of several overlapping loops and a horizontal stroke extending to the right.

Joe Slagle  
Slagle Architect, Inc.

**PROJECT PHASING:**

BUILDINGS ONE, TWO, AND THREE WILL BE CONSTRUCTED AS A SINGLE PHASE. BUILDING FOUR WILL BE A SEPARATE PHASE UNLESS A USER IS DETERMINED PRIOR TO BEGINNING CONSTRUCTION OF THE OTHER BUILDINGS. THE PARKING, LANDSCAPING AND OTHER SITE IMPROVEMENTS FOR BUILDING 4 WILL BE PART OF THE FIRST PHASE WITH A PAD SITE PREPARED FOR THE BUILDING.

**FIRE DATA:**

CONSTRUCTION TYPE:	SEE PLAN
BUILDING AREAS:	SEE PLAN
FIRE FLOW REQUIREMENT:	2375 GPM
BUILDING 1	IFC TABLE B105.1(2) 1500 X .25 = 375 GPM
BUILDING 2	2750 X .25 = 687.5 GPM
BUILDING 3	3500 X .25 = 875 GPM
BUILDING 4	1750 X .25 = 437.5 GPM
FIRE HYDRANTS REQUIRED:	3 FOR FIRE FLOW-3 FOR DISTANCE IFC TABLE C102.1
AVERAGE SPACING BTWN HYDRANTS:	450 FT IFC TABLE C102.1
FIRE HYDRANTS PROVIDED:	3 NEW
ALLOWABLE DISTANCE FROM HYDRANT TO FARTHEST POINT ON BLDG:	400 FT IFC 507.5.1

**FIRE NOTES:**

1. ALL APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
2. FIRE APPARATUS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.

**SITE DATA**

SITE LOCATION	SE CORNER SAN PEDRO AND ALAMEDA NE ALBUQUERQUE, NM
LEGAL DESCRIPTION:	REPLANTED LOTS 1-A, 2-A, 4-A, 6-A NORTH ALBUQUERQUE ACRES
UPC NUMBER:	TBD PENDING REPLAT
ZONING:	NR-BP
ZONE ATLAS PAGE:	
PREVIOUS DRB APPROVAL:	NONE
TOTAL LOT AREA:	228,371.658 SF (5.24 AC)
LOT 1-A	43,564.08 SF (1,000.1 AC)
LOT 2-A	67,294.9 SF (1,544.9 AC)
LOT 4-A	83,122.59 SF (1,908.2 AC)
LOT 6-A	34,390.083 SF (0.7895 AC)
GROSS BUILDING AREA:	44,524 SF
BUILDING 1: RESTAURANT	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT	10,820 SF
BUILDING 3: CLIMBING GYM	26,204 SF
BUILDING 4: PAD SITE	4500 SF
BUILDING FOOTPRINT AREA:	36,900 SF
BUILDING 1: RESTAURANT	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT	10,820 SF
BUILDING 3: CLIMBING GYM	18,580 SF
BUILDING 4: PAD SITE	4500 SF

NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	191,471 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	19.5 %
PARKING CALCULATIONS:	TOTAL SPACES PROVIDED: 386
BUILDING 1: RESTAURANT: 8 PER 1000 SF	3000 SF = 24 SPACES REQUIRED
BUILDING 2: CONTAINER DEVELOPMENT (RESTAURANTS & TAPROOM)	RESTAURANT & TAPROOM: 8 PER 1000 SF REQ'D.
BUILDING 3: CLIMBING GYM (HEALTH CLUB) 2.5 SP. PER 1000 SF	10,820 SF = 87 SPACES REQUIRED
BUILDING 4: PAD SITE (RESTAURANT) 8 PER 1000	4500 SF = 36 SPACES REQUIRED
ELEC VEHICLE PARKING REQUIRED: 2% OF 386=8 SPACES	TOTAL SPACES PROVIDED: 8 (E)
ACCESSIBLE PARKING REQUIRED: 8 INCL 2 VAN	TOTAL SPACES PROVIDED: 8
MOTORCYCLE PARKING REQUIRED: 6 SPACES	TOTAL SPACES PROVIDED: 8
BICYCLE PARKING REQUIRED: 10% OF PARKING REQ.=22	TOTAL SPACES PROVIDED: 30

**VICINITY MAP**



joel slagle architect  
413 2nd st sw  
albuq nm 87102  
505 244 0870

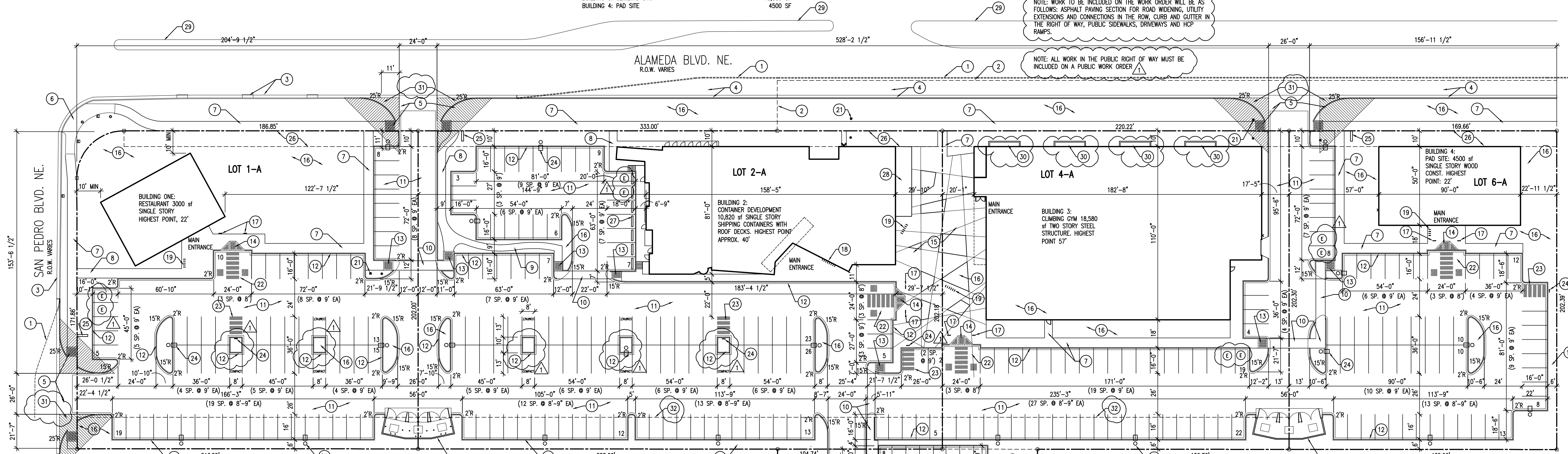
**A MIXED USE DEVELOPMENT**  
at alameda and san pedro ne, abq, nm

NOTE: REFER TO SKETCH PLAT PROJECT NUMBER 1000682.

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NOTE: WORK TO BE INCLUDED ON THE WORK ORDER WILL BE AS FOLLOWS: ASPHALT PAVING SECTION FOR ROAD WIDENING, UTILITY EXTENSIONS AND CONNECTIONS IN THE ROW, CURB AND GUTTER IN THE RIGHT OF WAY, PUBLIC SIDEWALKS, DRIVEWAYS AND HCP RAMPS.

NOTE: ALL WORK IN THE PUBLIC RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER



**KEYED NOTES:**

- 1 EXISTING ASPHALT PAVING AND TEMPORARY ASPHALT CURB. FOR ROAD WIDENING AND IMPROVEMENTS, SEE CIVIL DRAWINGS
- 2 PROPERTY LINE TO BE ELIMINATED BY PLATTING ACTION TO INCREASE R.O.W.
- 3 EXISTING STREET IMPROVEMENTS TO REMAIN. ASPHALT PAVING, STORM SEWER INLETS, CURB AND GUTTER
- 4 NEW STREET IMPROVEMENTS INCLUDING PAVING SECTION AND CURB AND GUTTER TO BE INSTALLED AS PART OF THIS PROJECT. SEE CIVIL DRAWINGS.
- 5 NEW CONCRETE DRIVE, CURB RETURNS, AND HCP RAMPS PER CITY OF ABQ. STD AS SHOWN IN DPM
- 6 EXISTING HCP. RAMP TO REMAIN
- 7 NEW 6" WIDE CONCRETE WALK W/ CONTROL JOINTS @ 6'-0"
- 8 NEW 5" WIDE CONCRETE WALK W/ CONTROL JOINTS @ 6'-0"
- 9 NEW 4" WIDE CONCRETE WALK W/ CONTROL JOINTS @ 5'-0"
- 10 CONC. PAVING FLUSH W/ ASPHALT W/ CONTROL JOINTS @ 5'-0". SEE 17
- 11 ASPHALT PAVING IN ACCORDANCE WITH SOILS REPORT
- 12 CONCRETE CURB AND GUTTER. SEE 15
- 13 HANDICAP RAMP. SEE 16
- 14 HANDICAP RAMP. SEE 14
- 15 COLORED CONCRETE PAVING
- 16 LANDSCAPE BED, TYP.
- 17 HCP. PARKING SIGN. SEE
- 18 BIKE RACK ATTACHED TO BLDG
- 19 BIKE RACK. SEE 11
- 20 DUMPSTER ENCLOSURE. SEE 12
- 21 NEW FIRE HYDRANT
- 22 ACCESSIBLE PARKING SPACES AND AISLE. SEE 12
- 23 MOTORCYCLE PARKING SPACES (2 SPACES)
- 24 POLE MOUNT PARKING LOT LIGHTING. SEE 18
- 25 MONUMENT SIGN. SEE 11
- 26 10' PUBLIC UTILITY EASEMENT
- 27 CONCRETE BUMPER STOP
- 28 RECESSED PATIO
- 29 EXISTING MEDIAN
- 30 CONCRETE RAISED PLANTER
- 31 CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 32 20' ABCWUA EASEMENT

**LIST OF SHEETS:**

SHEET 1	SITE PLAN, SITE DATA
SHEET 2	SITE DETAILS
SHEET 3	CONCEPTUAL GRADING PLAN
SHEET 4	SITE UTILITY PLAN
SHEET 5	LANDSCAPE PLAN
SHEET 5.1	LANDSCAPE MATERIALS
SHEET 6	OVERALL ELEVATIONS
SHEET 7	BUILDING ONE & FOUR ELEVATIONS
SHEET 8	BUILDING TWO (CONTAINER) ELEVATIONS
SHEET 9	BUILDING THREE (CLIMBING GYM) ELEVATIONS
SHEET 10	BUILDING THREE (CLIMBING GYM) ELEVATIONS
SHEET 11	IMAGES

**PROJECT NUMBER:**

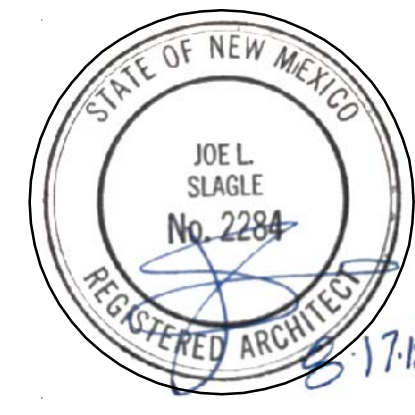
APPLICATION NUMBER:

Is an infrastructure list required? ( ) yes ( ) no. If yes, then a set of approved DRC plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPT. (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

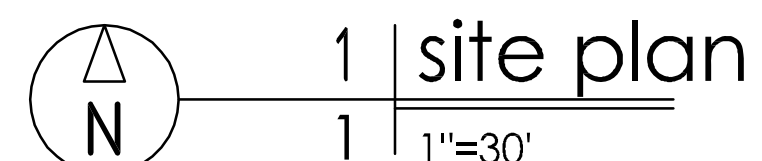
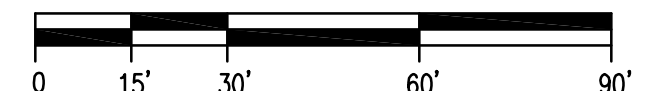
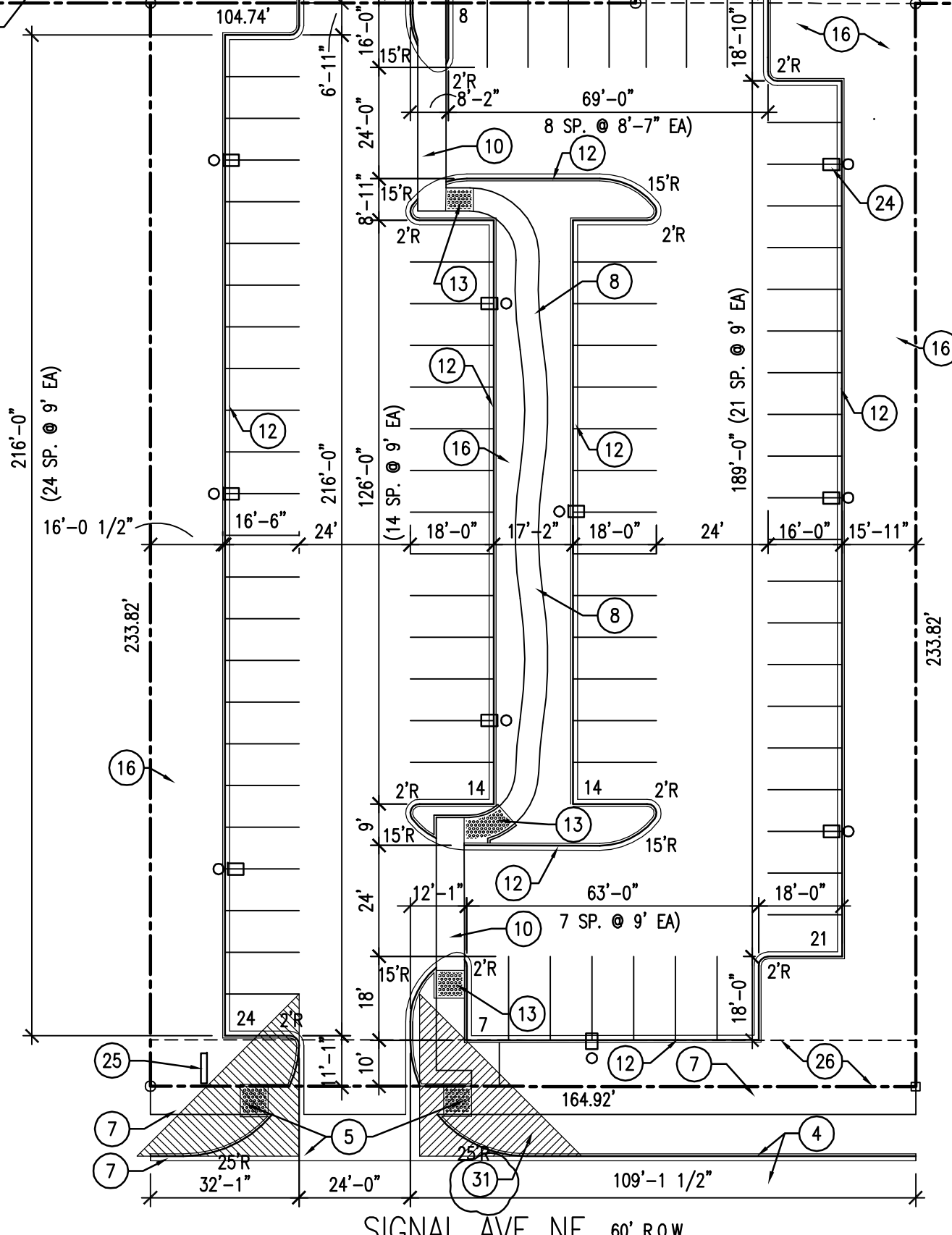
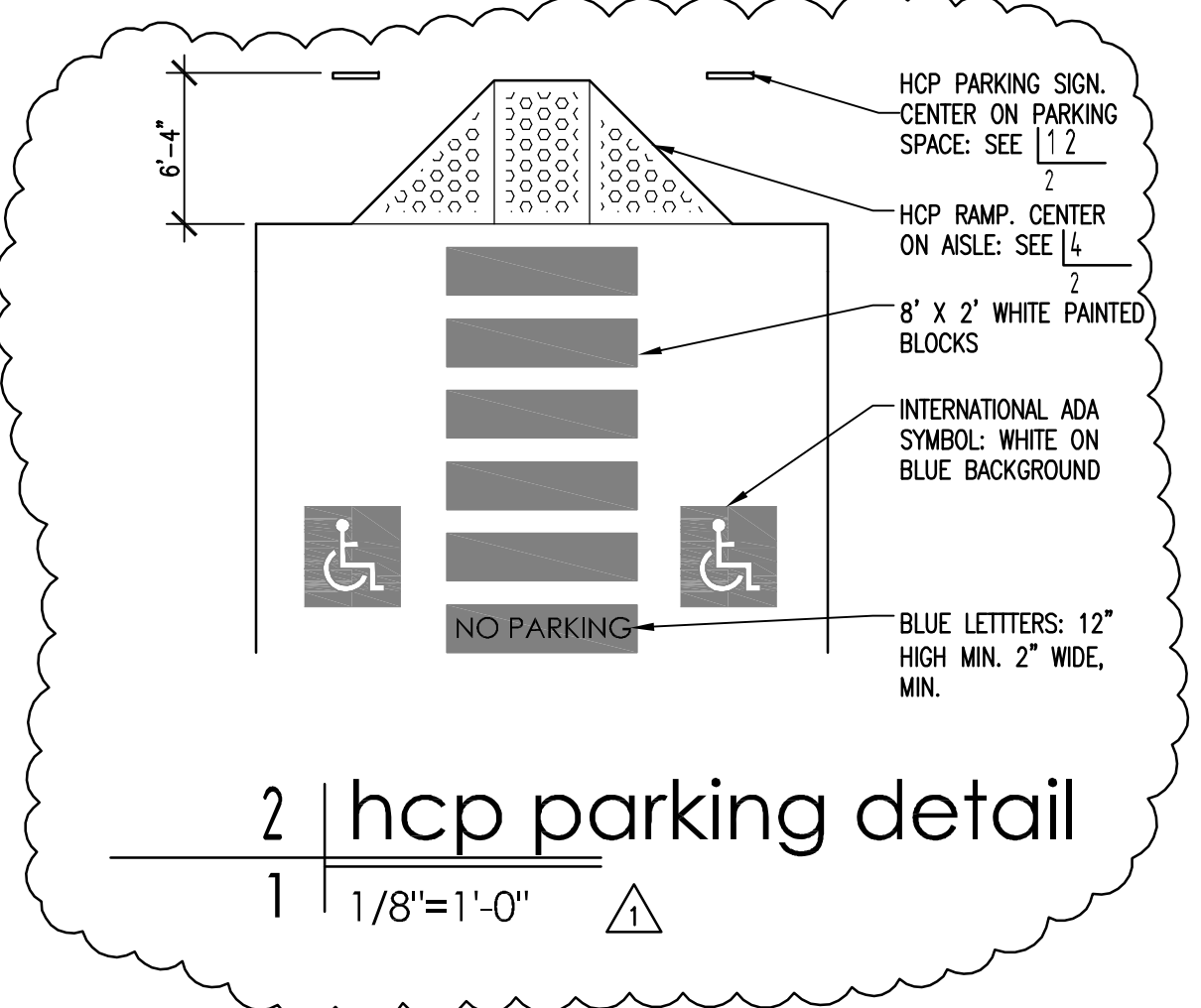
**revisions:**

9-7-18 DRB comments

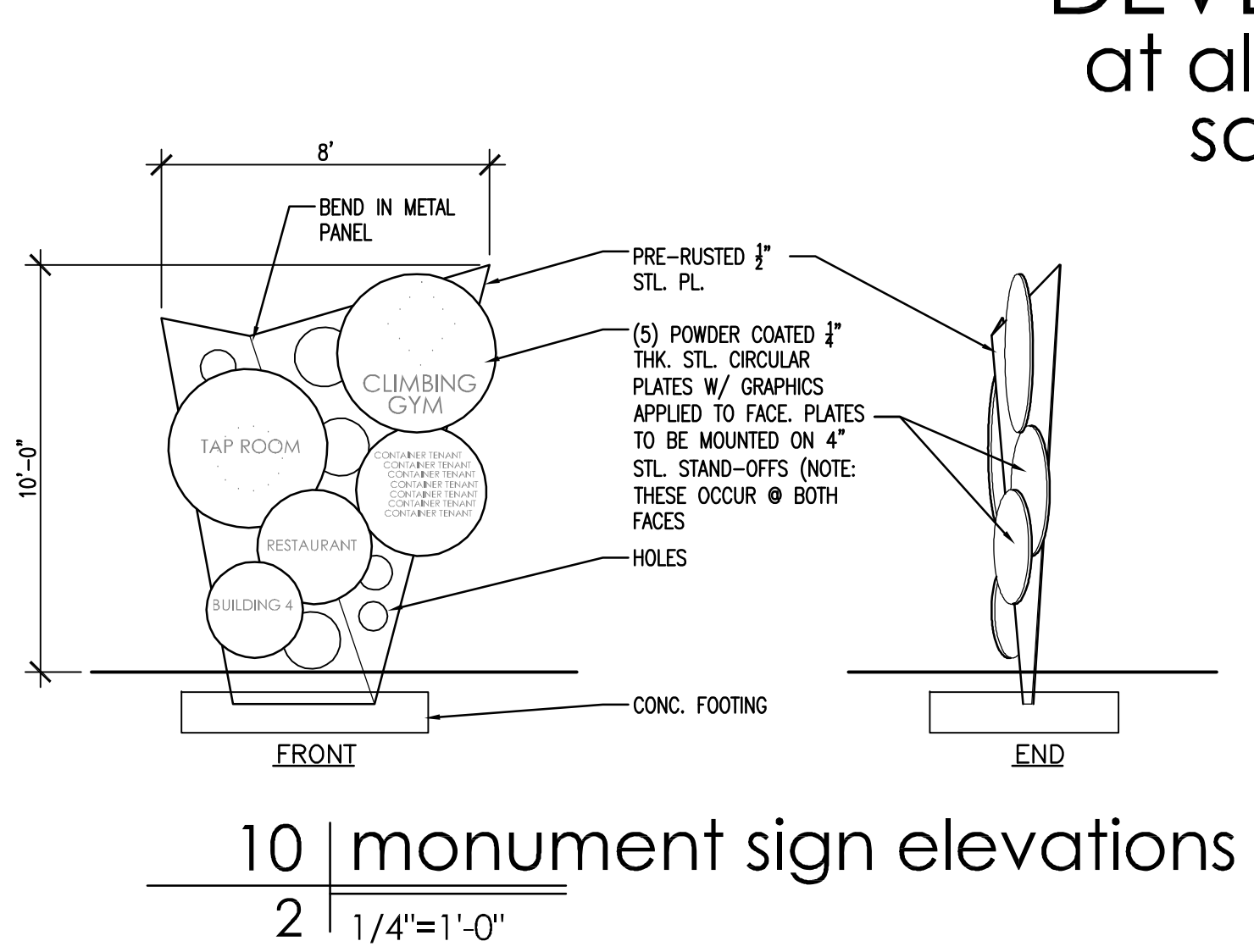
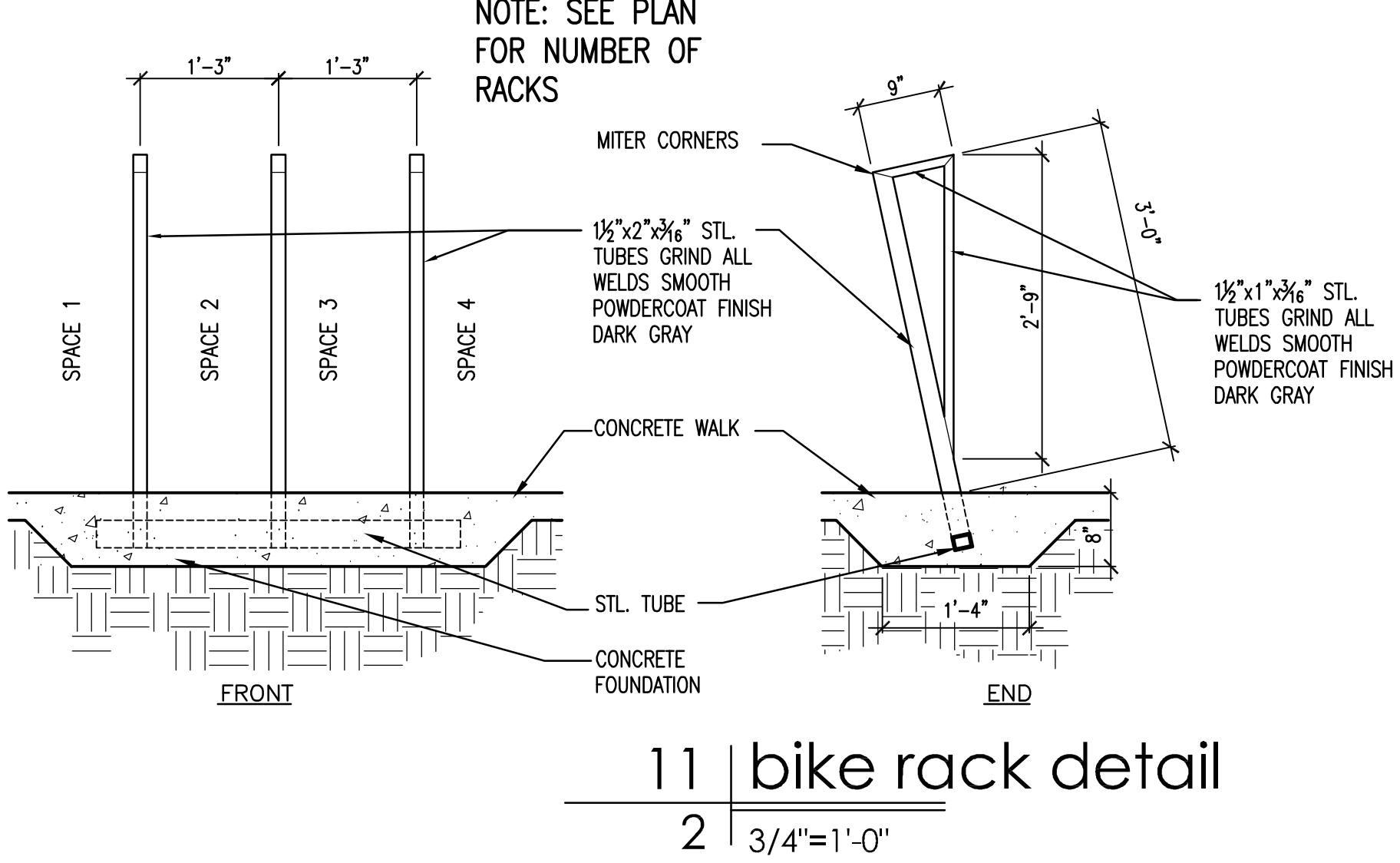
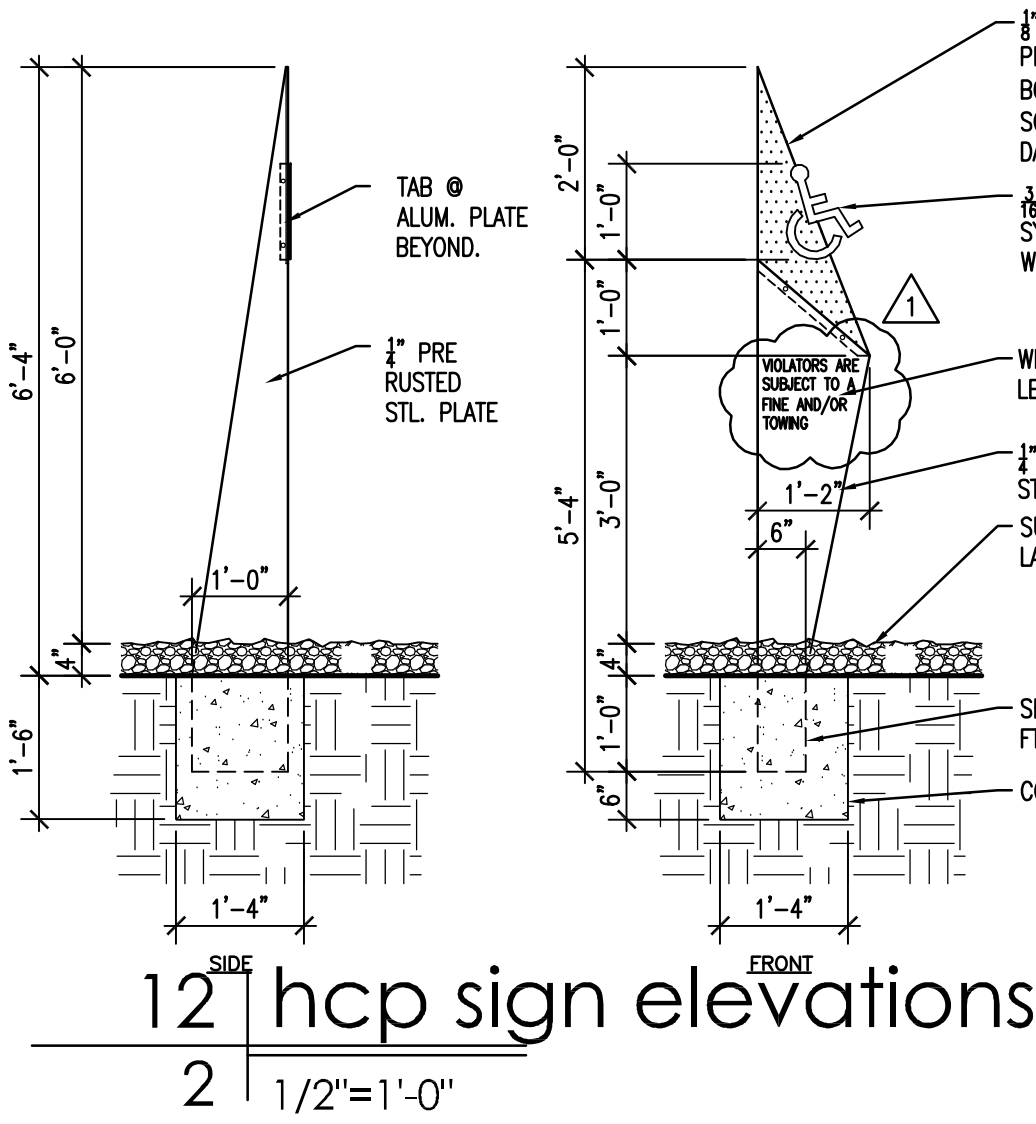
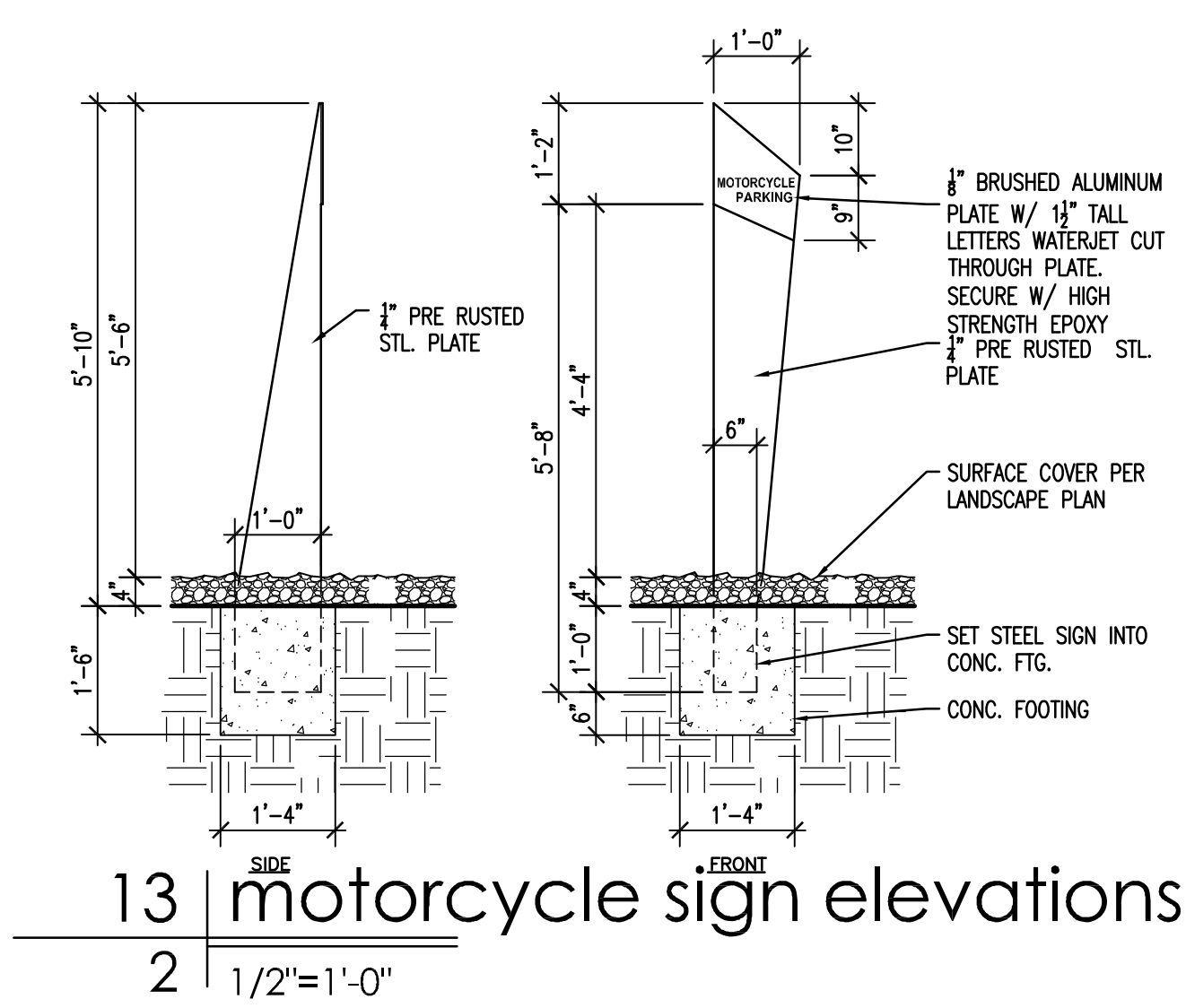


Overall Site Plan

date:  
8-17-18  
sheet:  
1



A MIXED USE  
 DEVELOPMENT  
 at alameda and  
 san pedro ne.  
 abq, nm

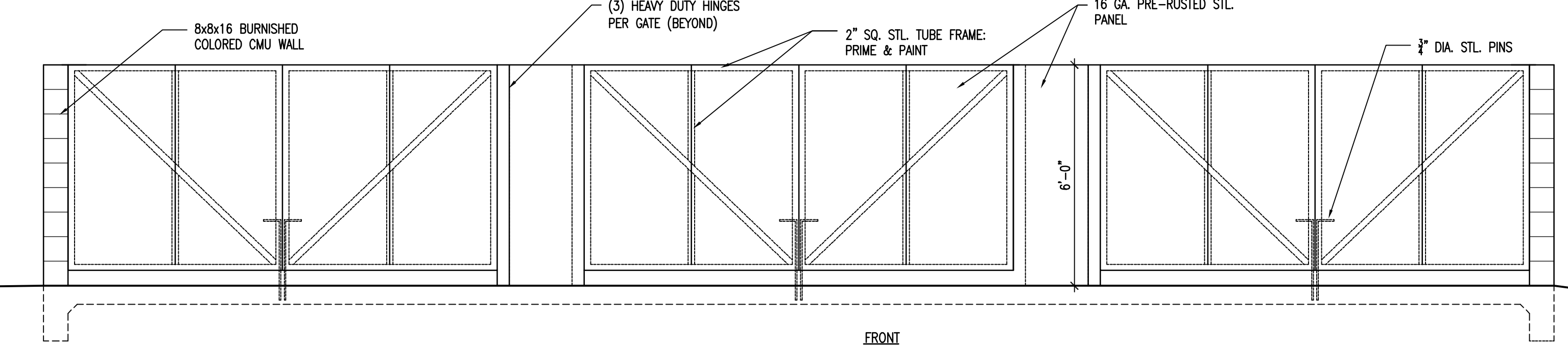
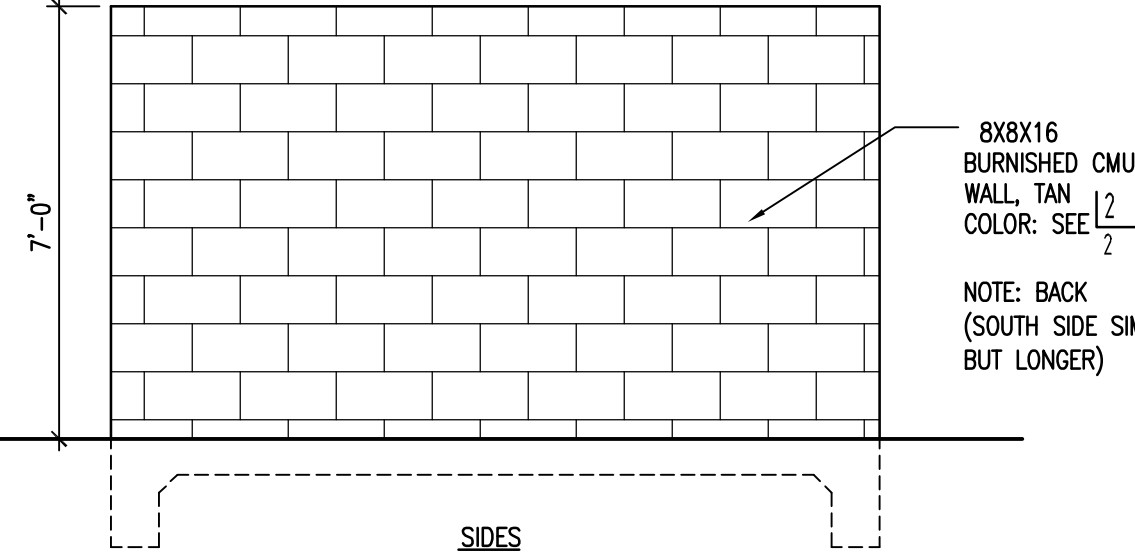
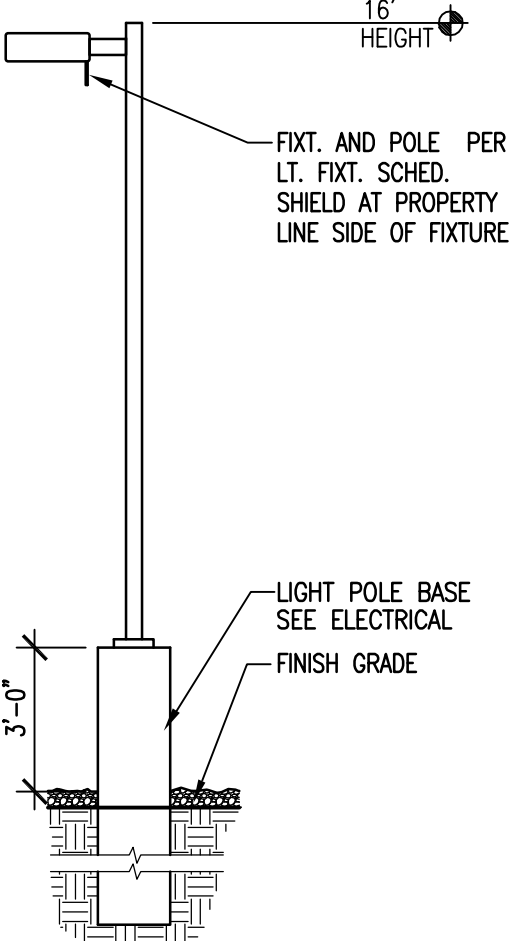


13 motorcycle sign elevations  
 2 | 1/2"=1'-0"

12 hcp sign elevations  
 2 | 1/2"=1'-0"

11 bike rack detail  
 2 | 3/4"=1'-0"

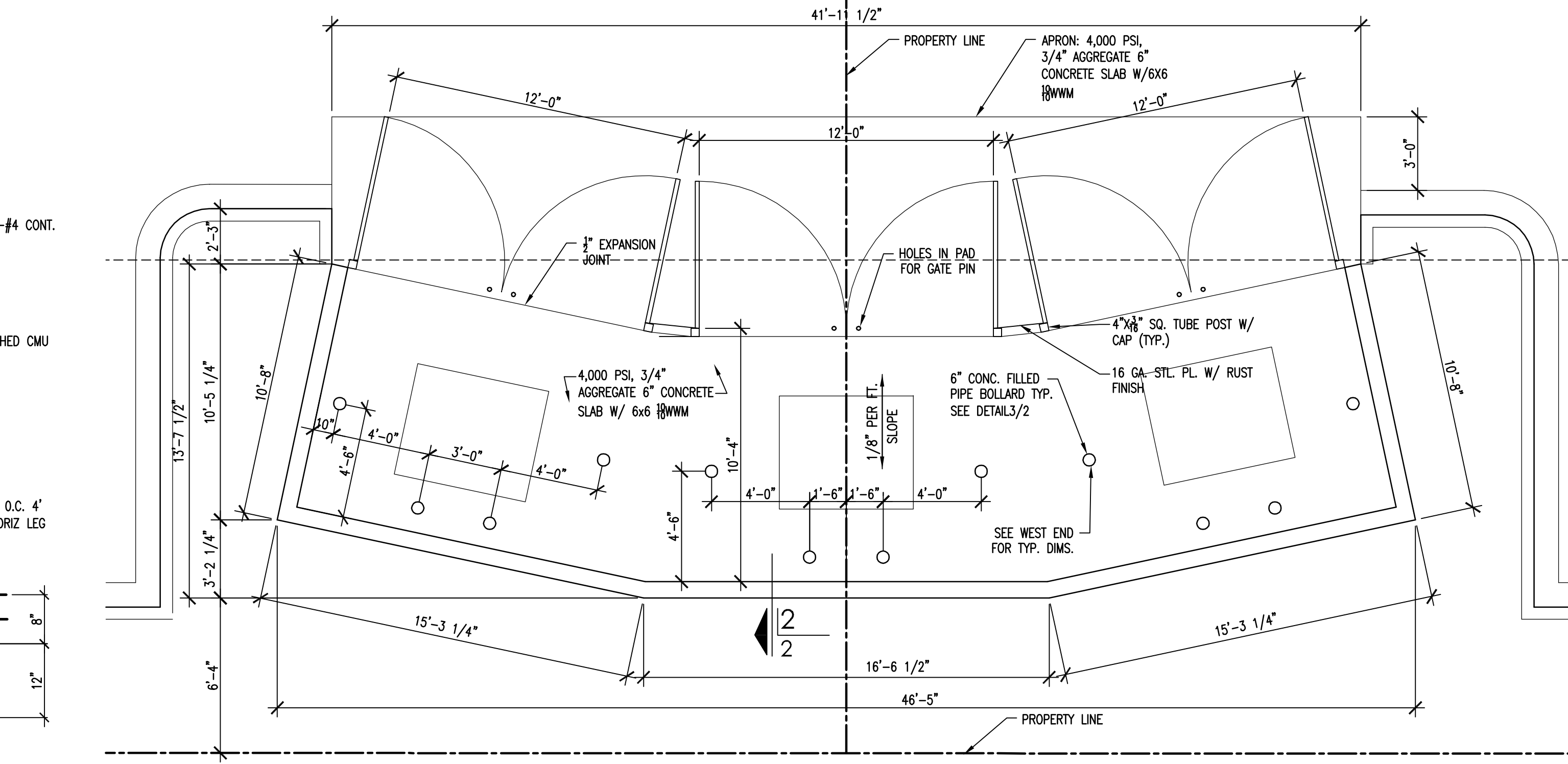
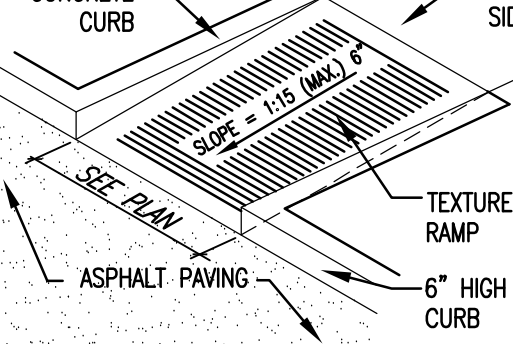
10 monument sign elevations  
 2 | 1/4"=1'-0"



8 light pole detail  
 2 | 1/4"=1'-0"

7 paving detail  
 2 | 1"=1'-0"

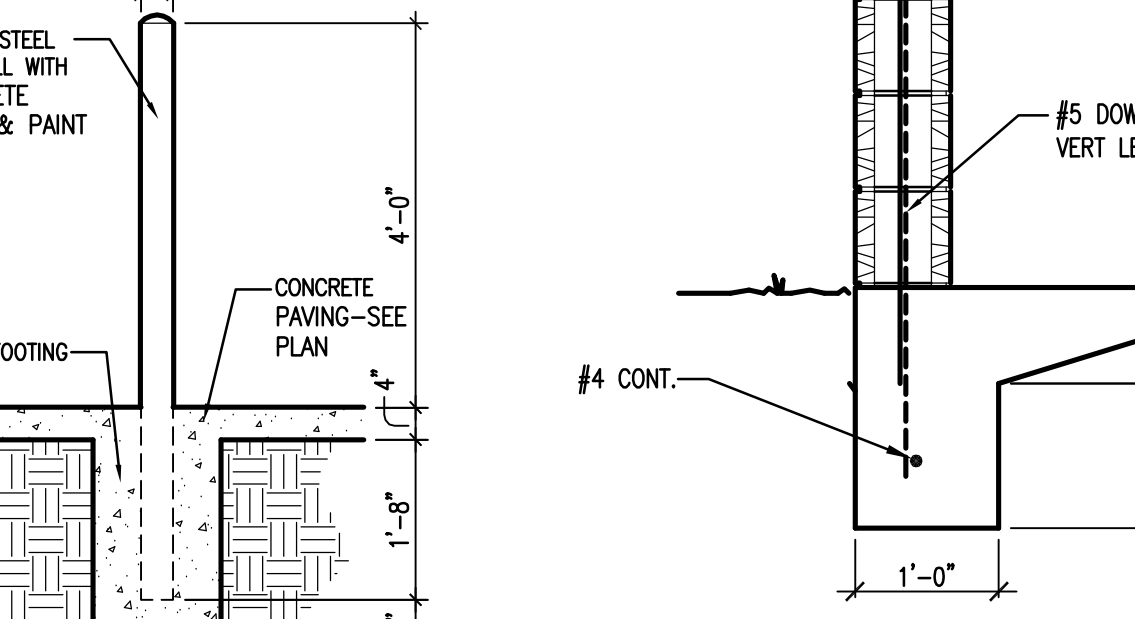
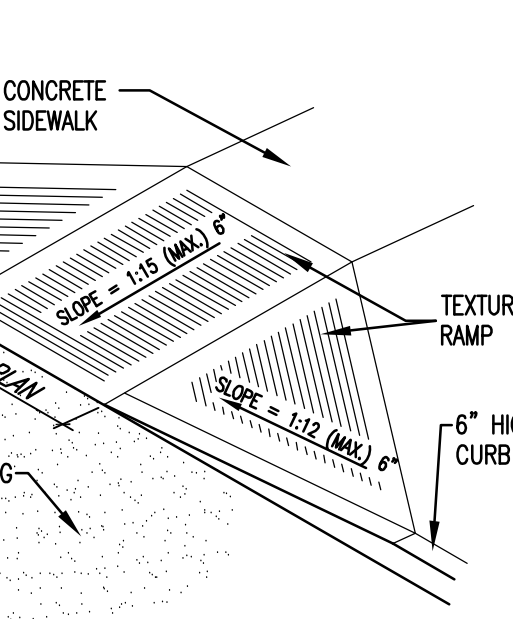
9 dumpster enclosure elevations  
 2 | 1/4"=1'-0"



6 hcp ramp detail  
 2 nts

5 curb detail  
 2 | 1"=1'-0"

1 dumpster enclosure plan  
 2 | 1/4"=1'-0"



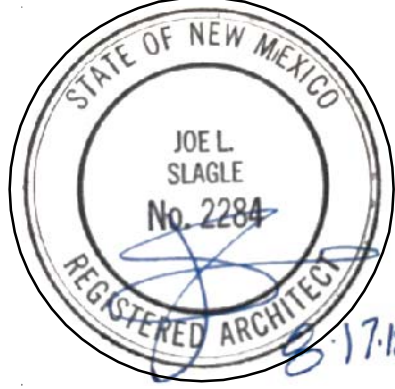
1 dumpster enclosure plan  
 2 | 1/4"=1'-0"

4 hcp ramp detail  
 2 nts

3 bollard detail  
 2 | 1/2"=1'-0"

2 wall section  
 2 | 3/4"=1'-0"

revisions:  
 9-7-18 DRB comments



date:  
 8-17-18  
 sheet:  
 2



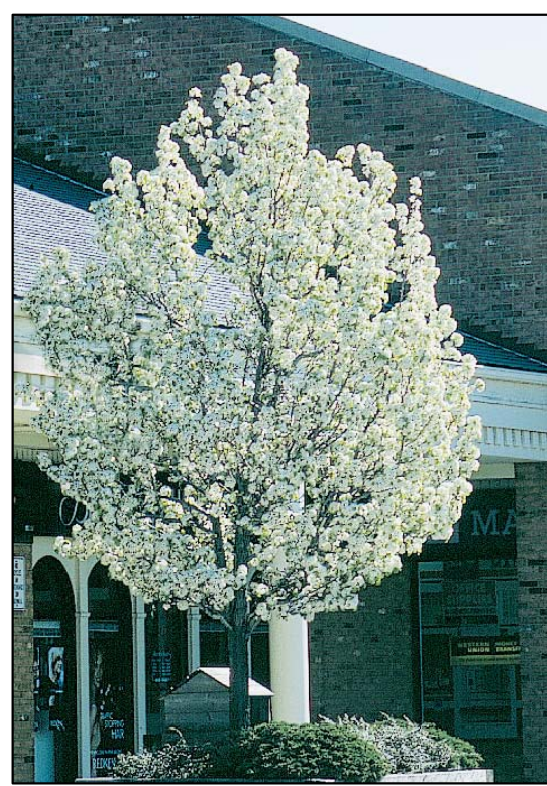
A MIXED USE DEVELOPMENT of Alameda and San Pedro ne.



Autumn Purple Ash



Lacebark Elm



Flowering Pear



Chinese Pistache



Honey Locust



Texas Red Oak



Modesto Ash



Hackberry



Redbud



NM Olive



Chaste Tree/Vitex



Deodar Cedar



Afghan Pine



Butterfly Bush



Photinia



Crape Myrtle



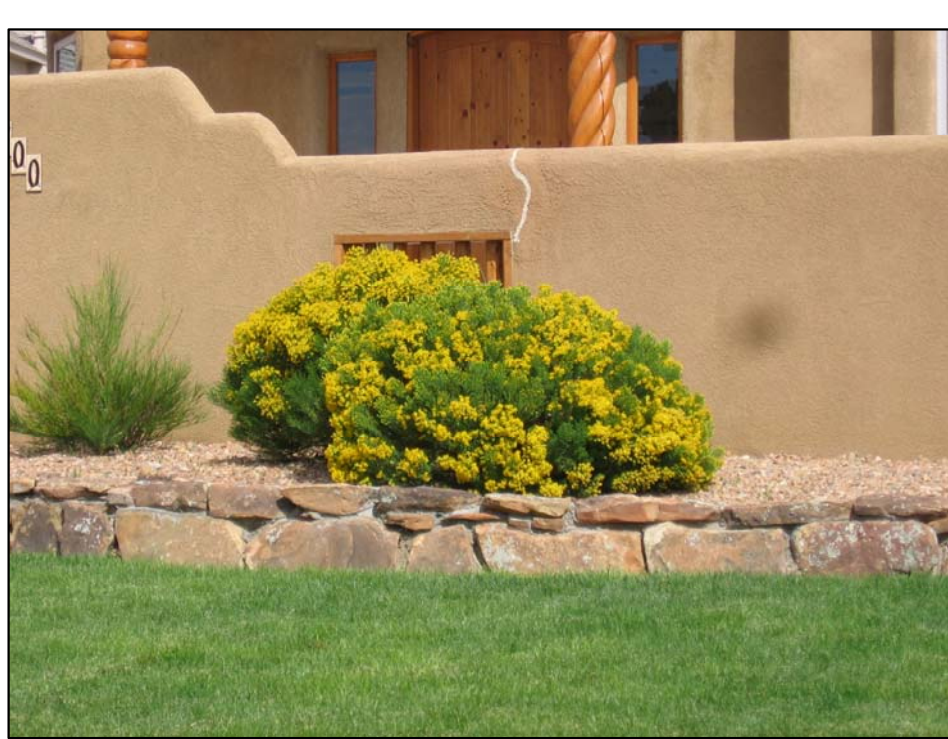
Rose of Sharon



Gro Low Sumac



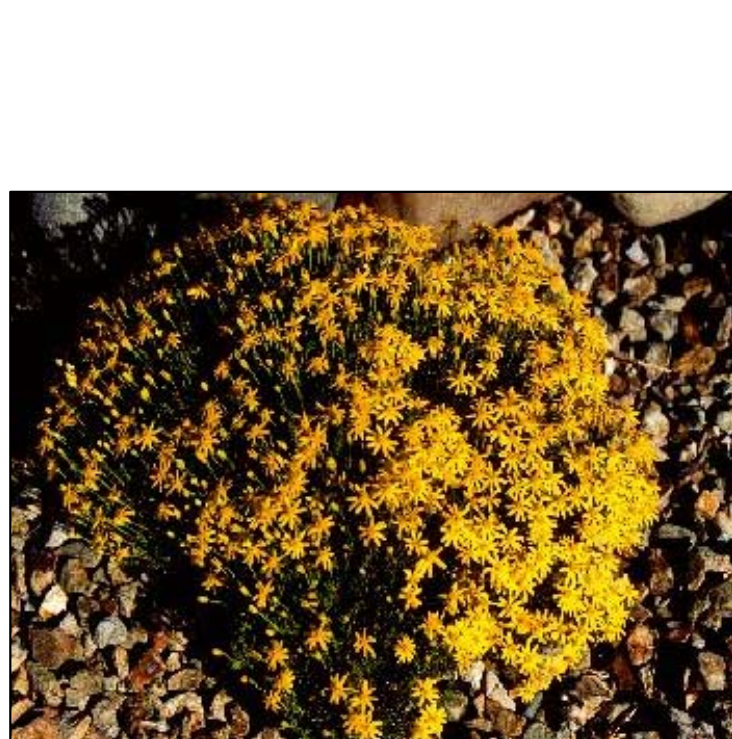
Blue Mist Spirea



Turpentine Bush



Burford Holly



Damianita



Red Yucca



Sotol



Burkwood Viburnum



Burning Bush



Buffalo Juniper



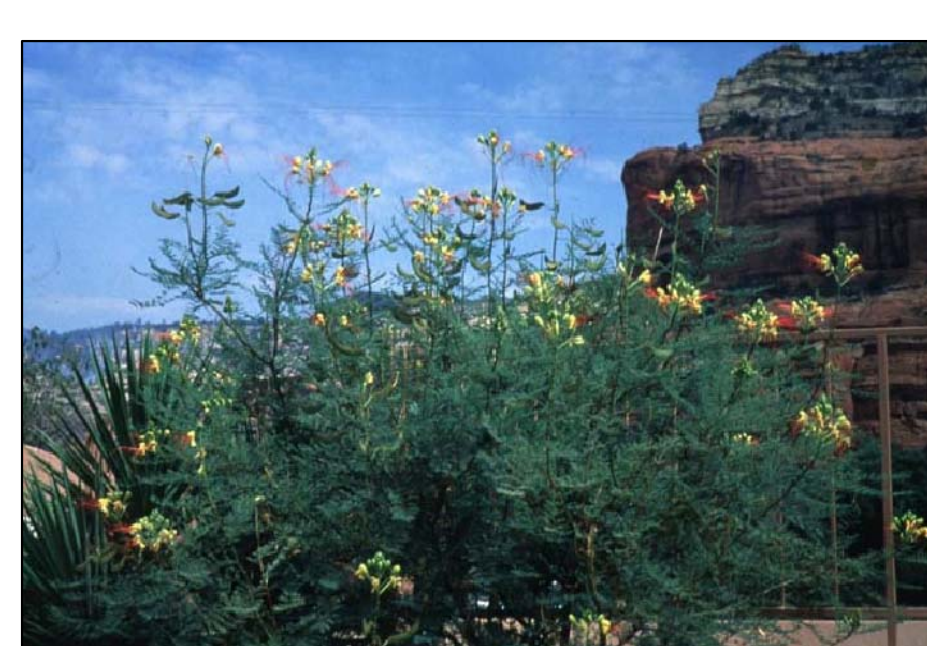
Russian Sage



Nandina/Heavenly Bamboo



Knockout Rose



Bird of Paradise



India Hawthorn



Switch Grass



Rosewood



Potentilla



Dwarf Red Spirea



Rosemary



Texas Ranger



Yucca Baccata



Deer Grass



Karl Foerster Grass



Brown Crusher Fines



2"-4" Cobblestone



Regal Mist Grass

growing better Up  
**HEADS**  
 LANDSCAPE CONTRACTORS  
 www.headsuplandscape.com  
 P.O. Box 10597  
 Albuquerque, NM 87184  
 505.898.9815  
 505.898.2105 (fax)  
 design@hulc.com

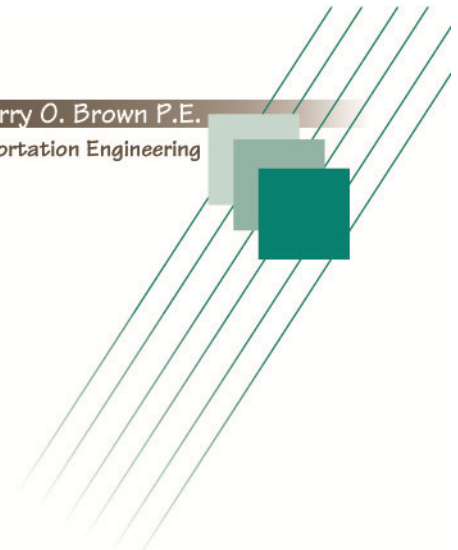


9.5.18

1 | landscape materials

5.1 | 1"=30'

5.1



Tuesday, September 04, 2018

**Ernest Armijo, P.E.**  
City of Albuquerque Transportation Development  
P. O. Box 1293  
Albuquerque, NM 87102

**Re: Alameda / San Pedro Development (SE Corner)**

Dear Ernest:

Attached is the trip generation rate report projecting the number of trips generated by the Referenced Alameda / San Pedro Development. Following is a summary of the findings of the trip generation report:

*Alameda / San Pedro Development (SE Corner)*  
**Trip Generation Data (ITE Trip Generation Manual - 10th Edition)**

USE (ITE CODE)	24 HR VOL	A. M. PEAK HR.		P. M. PEAK HR.		
		GROSS	ENTER	EXIT	ENTER	EXIT
<i>DESCRIPTION</i>						
<b>Summary Sheet</b>	Units					
High Turnover (Sit-Down) Restaurant (932)	3.00	337	16	13	18	11
Variety Store (814)	14.50	920	26	20	52	48
Rock Climbing Gym (440)	25.00	-	12	23	23	18
<b>Subtotal</b>		<b>1,257</b>	<b>54</b>	<b>56</b>	<b>93</b>	<b>77</b>

The above trip generation rate calculations are based on the recently released ITE Trip Generation Manual (10<sup>th</sup> Edition). It assumes that the trips generated by the proposed retail commercial uses can be approximated by using the ITE Trip Generation rate equations for Variety Store (ITE Land Use 814). It is my opinion that the equations for Shopping Center (ITE Land Use 820) would over-estimate the trip generation rate and, therefore, not be applicable. Also, note that the ITE data for Rock Climbing Gym (ITE Land Use 440) is based on one data set.

Based on this trip generation rate analysis, the Alameda / San Pedro Development falls short of meeting the warrant for a Traffic Impact Study based on the City of Albuquerque's Traffic Impact Study warrant threshold.



Page 2 of 2

**Ernest Armijo, P.E.**

Tuesday, September 04, 2018

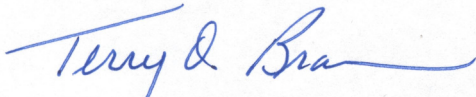
**Re: Alameda / San Pedro Development (SE Corner)**

Attached for your information are the following supporting documents:

- 1) Vicinity Map (Zone Atlas Page C-18-Z)
- 2) Preliminary Site Development Plan
- 3) Trip Generation Rate Summary Table and Worksheets

Please call me if you have questions.

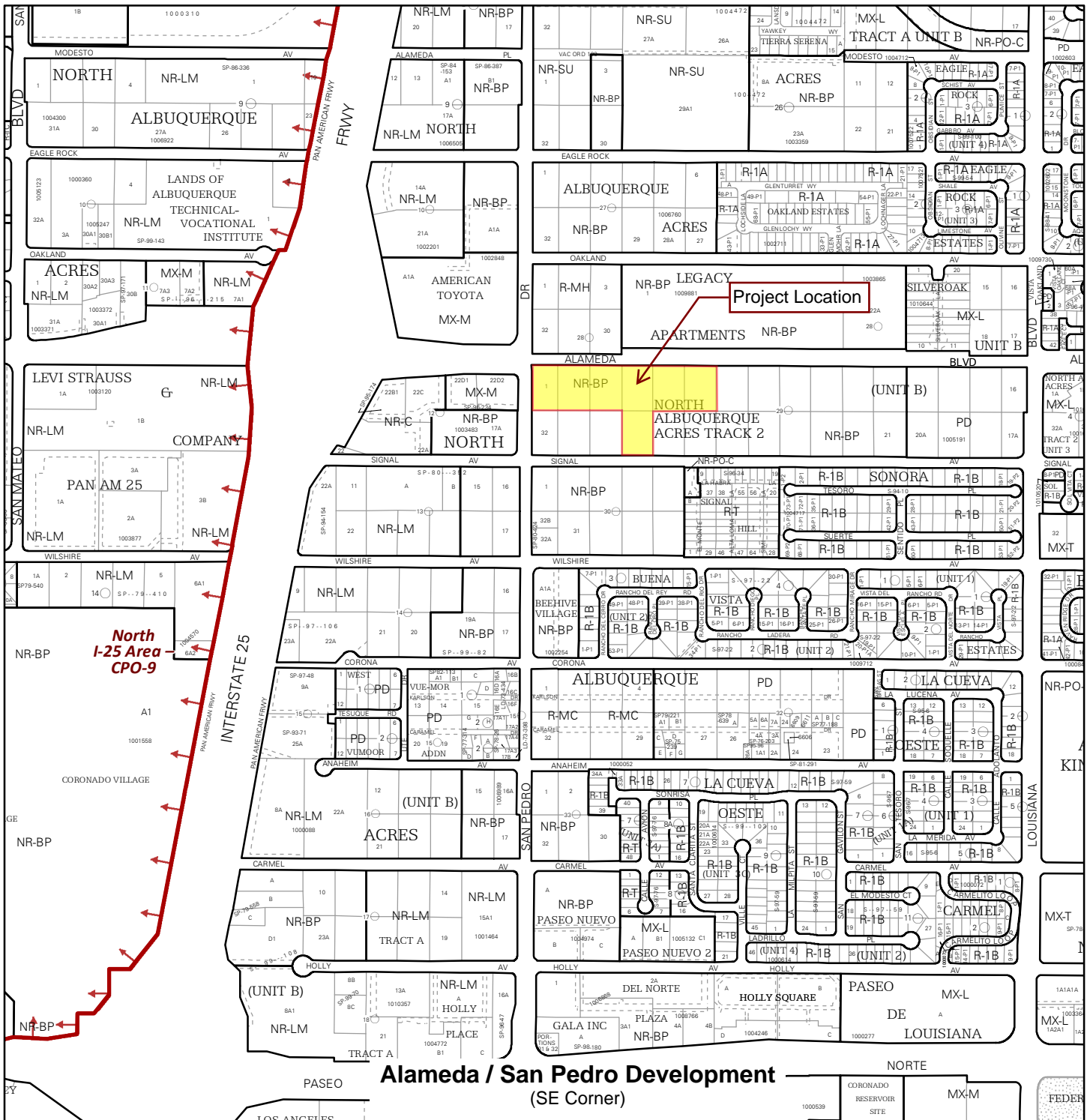
Best Regards,

A handwritten signature in blue ink that reads "Terry O. Brown". The signature is fluid and cursive, with a long horizontal stroke at the end.

Terry O. Brown, P.E.

attachments as noted

cc: Jim Strozier, Consensus Planning w/attachments  
Roy Solomon, Green Jeans West, LLC w/attachments



# IDO Zone Atlas

## May 2018

IDO Zoning information as of May 17, 2018  
 The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page: **C-18-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

**FIRE DATA:**

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BUILDING AREAS:	SEE PLAN
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AVERAGE SPACING BTWN HYDRANTS:	450 FT
	IFC TABLE C102.1
FIRE HYDRANTS PROVIDED:	3 USEABLE INCLUDING 2 EXISTING AND 1 NEW
ALLOWABLE DISTANCE FROM HYDRANT TO FARTHEST POINT ON BLDG:	400 FT
	IFC 507.5.1

**FIRE NOTES:**

- ALL APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
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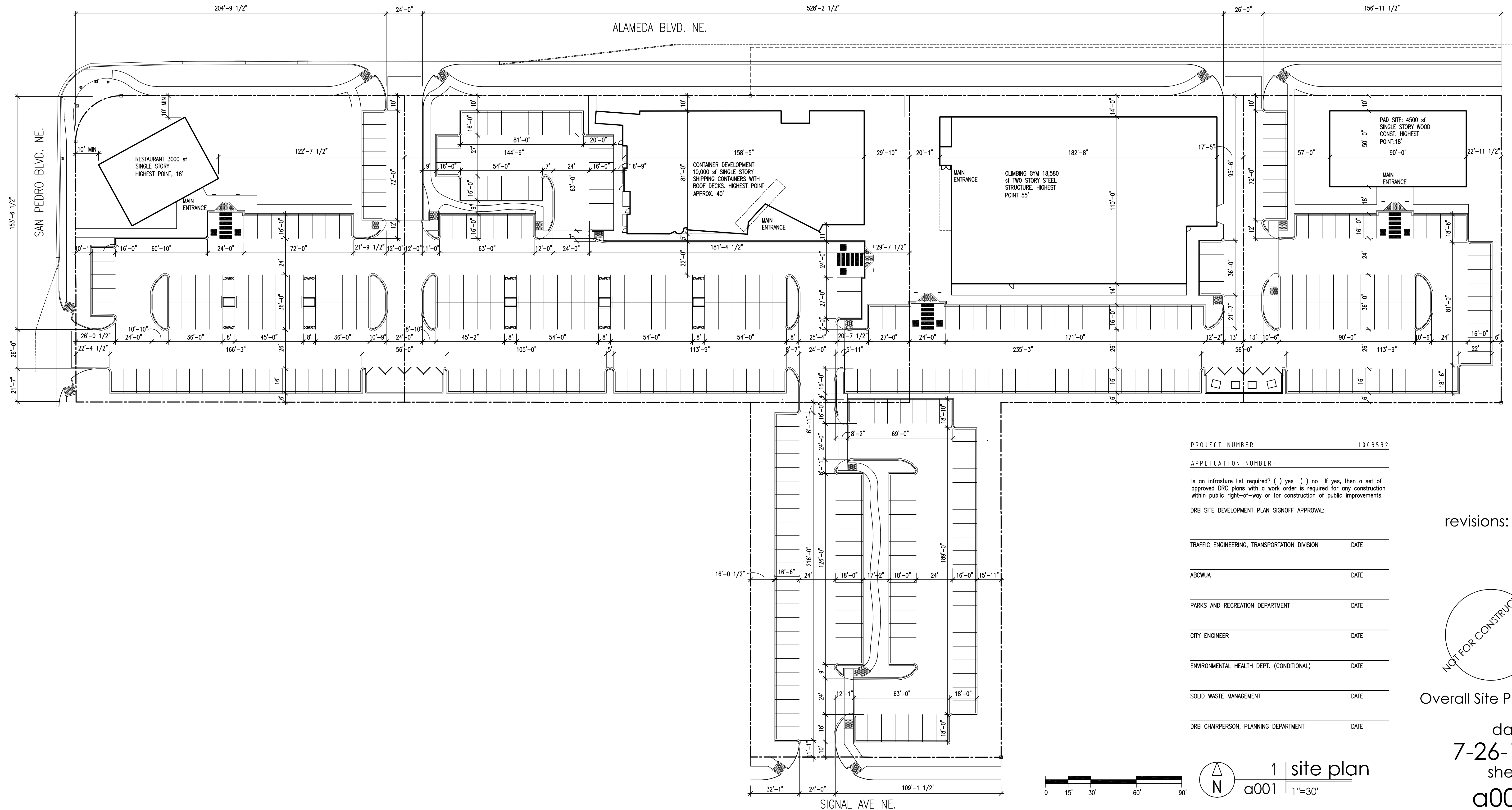
**SITE DATA**

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ZONING:	NR-BP
ZONE ATLAS PAGE:	C18
PREVIOUS DRB APPROVAL:	NONE
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GROSS BUILDING AREA:	42,500 SF
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BUILDING 4: PAD SITE	4500 SF
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	193,844 SF
FLOOR AREA RATIO (LOT AREA/GROSS BLD. AREA):	18.6 %

**VICINITY MAP**



**A MIXED USE DEVELOPMENT**  
at alameda and san pedro ne.  
abq, nm



PROJECT NUMBER: 1003532

APPLICATION NUMBER:

Is an infrastructure list required? ( ) yes ( ) no. If yes, then a set of approved DRC plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

ABCWUA DATE

PARKS AND RECREATION DEPARTMENT DATE

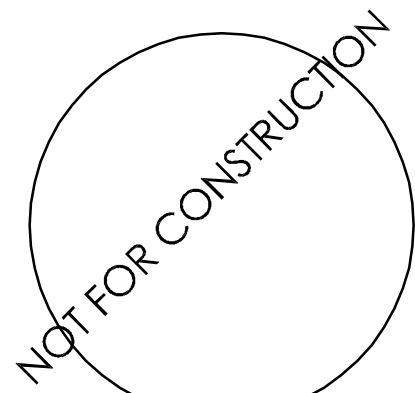
CITY ENGINEER DATE

ENVIRONMENTAL HEALTH DEPT. (CONDITIONAL) DATE

SOLID WASTE MANAGEMENT DATE

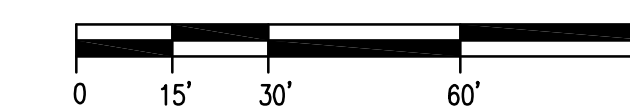
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

revisions:



Overall Site Plan

date:  
7-26-18  
sheet:  
a001



1 site plan  
a001 1"=30'

*Alameda / San Pedro Development (SE Corner)*  
**Trip Generation Data (ITE Trip Generation Manual - 10th Edition)**

USE (ITE CODE)	24 HR VOL	A. M. PEAK HR.		P. M. PEAK HR.		
		GROSS	ENTER	EXIT	ENTER	EXIT
<i>DESCRIPTION</i>						
<b>Summary Sheet</b>						
	Units					
High Turnover (Sit-Down) Restaurant (932)	3.00	337	16	13	18	11
Variety Store (814)	14.50	920	26	20	52	48
Rock Climbing Gym (440)	25.00	-	12	23	23	18
<b>Subtotal</b>		<b>1,257</b>	<b>54</b>	<b>56</b>	<b>93</b>	<b>77</b>

## Alameda / San Pedro Development (SE Corner) Trip Generation Data (ITE Trip Generation Manual - 10th Edition)

USE (ITE CODE)	24 HOUR TWO-WAY VOLUME	A. M. PEAK HOUR		P. M. PEAK HOUR	
		GROSS	ENTER	EXIT	ENTER

Units

**High Turnover (Sit-Down) Restaurant (932)**

3.00

337	16	13	18	11
-----	----	----	----	----

1,000 S.F.

**ITE Trip Generation Equations:**

Average Vehicle Trip Ends on a Weekday (24 HOUR TWO-WAY VOLUME)

$$T = 112.18 (X) + 0$$

50% Enter,                      50% Exit

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7am and 9am (A.M. PEAK HOUR)

$$T = 9.94 (X) + 0$$

55% Enter,                      45% Exit

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4pm and 6pm (P.M. PEAK HOUR)

$$T = 9.77 (X) + 0$$

62% Enter,                      38% Exit

Comments:

Tract No.

Based on ITE Trip Generation Manual - 10th Edition

## Alameda / San Pedro Development (SE Corner) Trip Generation Data (ITE Trip Generation Manual - 10th Edition)

USE (ITE CODE)	24 HOUR TWO-WAY VOLUME	A. M. PEAK HOUR		P. M. PEAK HOUR	
		GROSS	ENTER	EXIT	ENTER
<b>Variety Store (814)</b>	Units <b>14.50</b> 1,000 S.F.	920	26	20	52 48

**ITE Trip Generation Equations:**

Average Vehicle Trip Ends on a Weekday (24 HOUR TWO-WAY VOLUME)

$$T = 63.47 (X) + 0$$

50% Enter,                      50% Exit

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7am and 9am (A.M. PEAK HOUR)

$$T = 3.18 (X) + 0$$

57% Enter,                      43% Exit

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4pm and 6pm (P.M. PEAK HOUR)

$$T = 6.84 (X) + 0$$

52% Enter,                      48% Exit

Comments:

Tract No.

Based on ITE Trip Generation Manual - 10th Edition

## Alameda / San Pedro Development (SE Corner)

### Trip Generation Data (ITE Trip Generation Manual - 10th Edition)

USE (ITE CODE)	24 HOUR TWO-WAY VOLUME	A. M. PEAK HOUR		P. M. PEAK HOUR		
		GROSS	ENTER	EXIT	ENTER	EXIT
<b>Rock Climbing Gym (440)</b>	<b>25.00</b>	-	12	23	23	18

Units  
1,000 S.F.

**ITE Trip Generation Equations:**

Average Vehicle Trip Ends on a Weekday (24 HOUR TWO-WAY VOLUME)

$$T = 0 (X) + 0$$

50% Enter,                      50% Exit

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7am and 9am (A.M. PEAK HOUR)

$$T = 1.4 (X) + 0$$

33% Enter,                      67% Exit

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4pm and 6pm (P.M. PEAK HOUR)

$$T = 1.64 (X) + 0$$

57% Enter,                      43% Exit

Comments:

Tract No.

Based on ITE Trip Generation Manual - 10th Edition





