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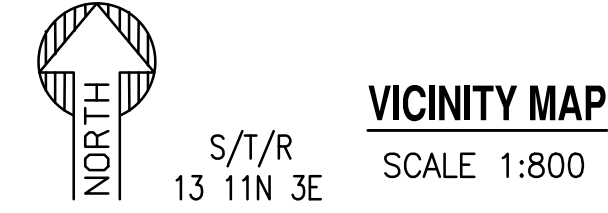
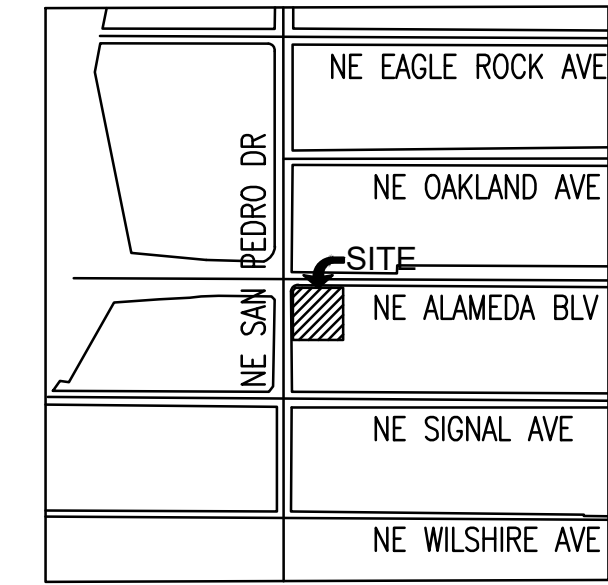
OWNER
 GREEN JEANS WEST, LLC
 2929 MONTE VISTA BLVD NE
 ALBUQUERQUE, NM 87106

WHATABURGER PRELIMINARY SITE PLAN

6100 ALAMEDA NE BLVD, ALBUQUERQUE, NM
 LOT 1-A, BLOCK 29, TRACT A, UNIT B OF NORTH
 BERNALILLO COUNTY, NEW MEXICO.

PRELIMINARY SITE PLAN KEYNOTES:

- 1A 6" VERTICAL CURB PER GRADING PLANS.
- 1B 6" CURB AND GUTTER PER GRADING PLANS.
- 1C TURNDOWN SIDEWALK PER GRADING PLANS.
- 2 ACCESSIBLE RAMP PER DET. 8/C2.11.
- 2A ACCESSIBLE RAMP PER DET. 9/C2.11.
- 2B ACCESSIBLE RAMP PER DET. 10/C2.11.
- 2C LOADING ZONE PER GRADING PLANS.
- 3 CONCRETE SIDEWALK PER DET. 12/C2.11, WIDTH PER PLAN.
- 4 EXISTING SIDEWALK TO REMAIN.
- 5 EXISTING TRASH ENCLOSURE.
- 6 PAINTED ADA SYMBOL PER DET. 1/C2.10.
- 7 4" WIDE WHITE PAINTED STRIPING, TYP.
- 8 6' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C PER DET. 13/C2.11.
- 8A 8' WIDE PEDESTRIAN PATHWAY AT ACCESSIBLE PARKING WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C.
- 9 6" STEEL BOLLARDS PER DET. 3/C2.10.
- 9A 6" LIT STEEL BOLLARDS PER DET. 3/C2.10.
- 10A HEAVY DUTY ASPHALT PAVEMENT PER CIVIL PLANS.
- 10B INTEGRAL BLACK CONCRETE PAVEMENT PER GRADING PLANS.
- 10C EXISTING ASPHALT.
- 11 ACCESSIBLE PARKING SIGN PER DET. 2/C2.10.
- 12 DRIVE-THRU CLEARANCE BAR PER ARCHITECTURAL PLANS.
- 13 DRIVE-THRU MENU BOARD. PER DETAIL 6/C2.10.
- 14 RESTAURANT CANOPY PER ARCHITECTURAL PLANS.
- 15 RELOCATED FIRE HYDRANT LOCATION.
- 16 28' HIGH FLAG POLE.
- 17 FREE STANDING MAILBOX BY G.C.
- 18 BIKE RACK (4 SPACES). PER DET. 5/C2.10.
- 19 REMOVE AND REPLACE SIDEWALK. WIDTH PER PLAN.
- 20 CONCRETE ISLANDS NOSE, TYPICAL AT ISLANDS.
- 21 WHEEL STOP PER DET. 4/C2.10.
- 22 GRANITE STRIPS. REFER TO LANDSCAPE PLANS FOR DETAIL.
- 23 LIGHT POLE PER PHOTOMETRIC PLAN.
- 24 MOTORCYCLE PARKING (2 SPACES).
- 25 ELECTRIC VEHICLE PARKING (2 SPACES).
- 26 GREASE INTERCEPTOR PER UTILITY PLANS.
- 27 PROPOSED MONUMENT SIGN LOCATION.
- 28 MENU BOARD CANOPY PER ARCHITECTURAL PLAN A6.8.
- 29 SAWCUT PER CIVIL PLANS.
- 30 SITE VISIBILITY TRIANGLE (SVT) SEE PLAN DIMENSIONS
- 31 ELECTRICAL CABINET.
- 32 MOTORCYCLE PARKING ONLY SIGN.
- 33 FUTURE CHARGING STATION LOCATION.
- 34 CURB TRANSITION FROM TO 0" PER CIVIL PLANS.
- 35 PROPOSED STOP SIGN AT DRIVEWAY.
- 36 PAINTED ADA ACCESS AISLE SYMBOL-DET. 7/C2.11.
- 37 DIRECTIONAL LANE PAVEMENT MARKINGS-DET. 11/C2.11.
- 38 PROPOSED "ONE WAY" SIGN, PER C.O.A.-DET. 2600-603.
- 39 PROPOSED "DO NOT ENTER" SIGN, C.O.A. DET. 2600-603
- 40 PROPOSED "NO LEFT EXIT" SIGN, C.O.A. DET. 2600-701.
- 41 PROVIDE "RIGHT TURN ONLY" PAVEMENT MARKING PER C.O.A. STD. DET. 2600-105.
- 42 PROPOSED "PEDESTRIAN WARNING + 15MPH SPEED" SIGN PER C.O.A. STD. DET.



SITE PLAN NOTES

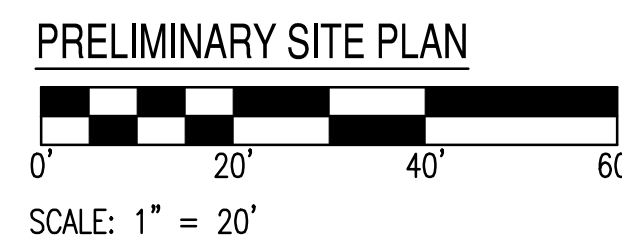
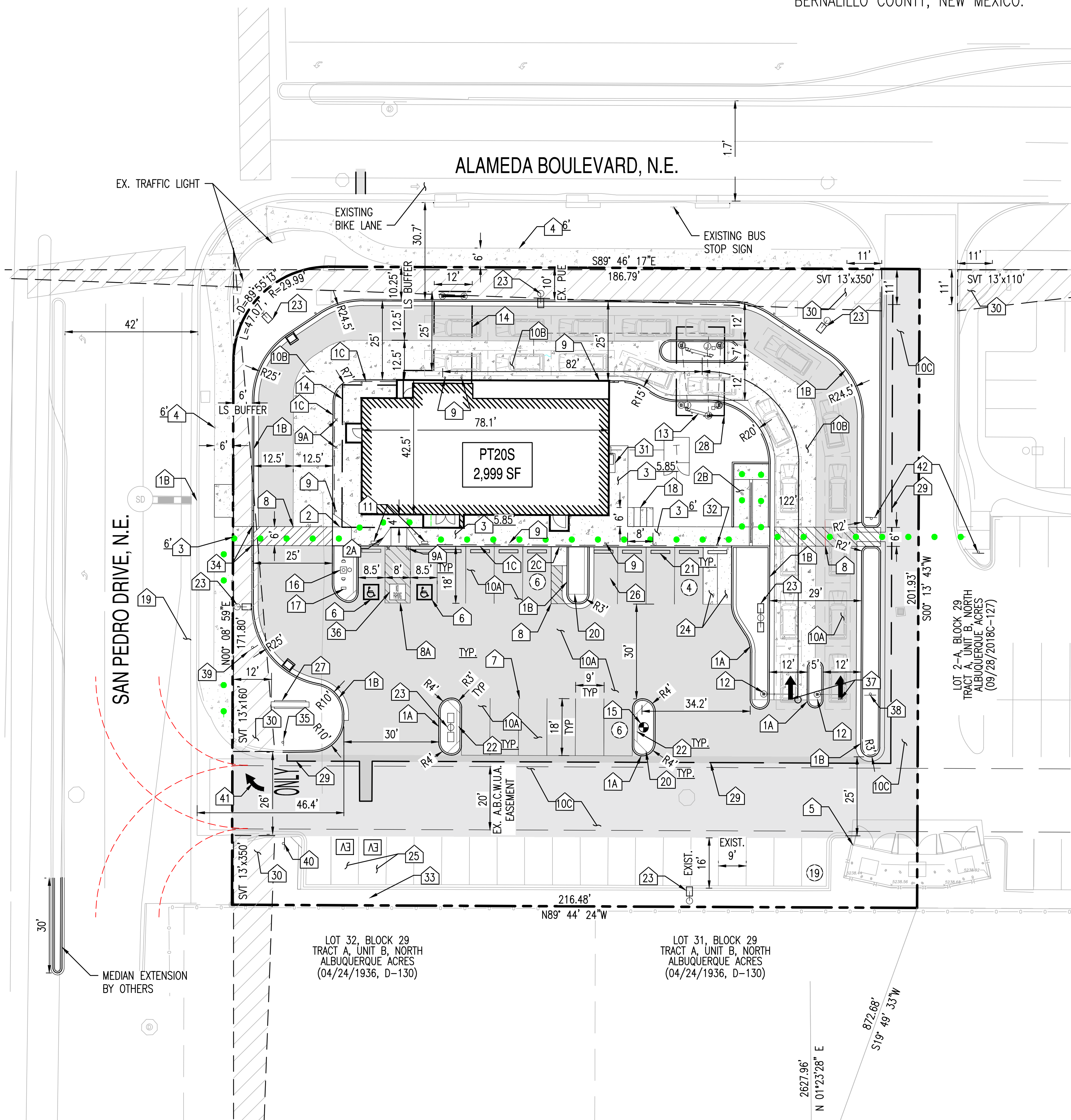
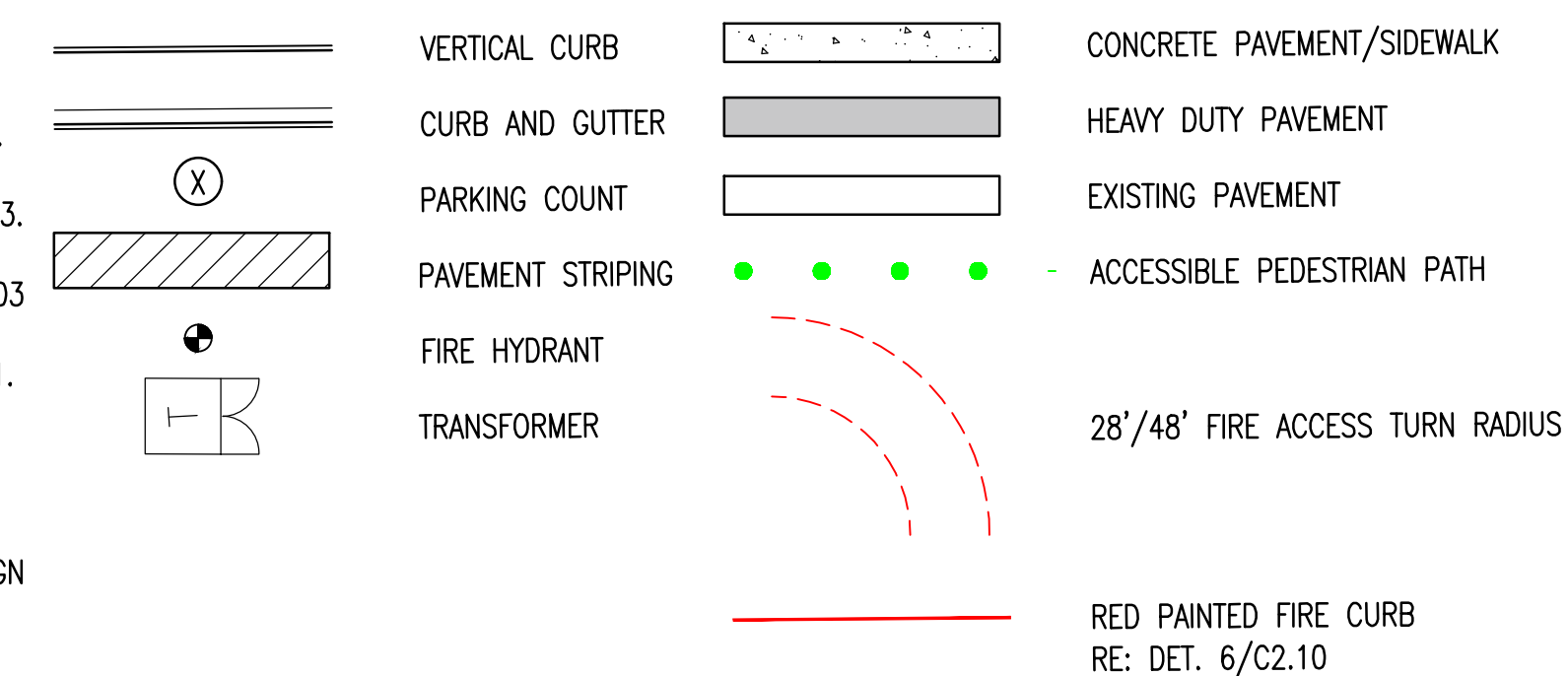
1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
2. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
5. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
6. IF APPLICABLE, PEDESTRIAN ACCESS ROUTES ARE PROVIDED IN COMPLIANCE WITH THE LATEST ADA STANDARDS. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 5% MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS, ARE REQUIRED, AS SHOWN IN PLANS, ON ALL SITE RAMPS AND WALKS THAT CROSS A VEHICULAR WAY PER ADAAG CHAPTER 7.
7. PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
8. ALL SIGNAGE REQUIRES SEPARATE APPROVAL AND PERMITS.
9. A MINIMUM 6-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES WILL BE MAINTAINED.
10. OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.

SIGHT DISTANCE NOTE

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

DEVELOPMENT SUMMARY TABLE:			
PROJECT ADDRESS:	6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM		
PROJECT DESCRIPTION:	PROPOSED WHATABURGER W/ DRIVE THRU		
UPC:	101806 428134 810229		
ZONING:	NR-BP		
LOT SIZE:	43,565 SF	1.00 AC	
PROPOSED USE:	RESTAURANT W/ DRIVE THROUGH		
BUILDING AREA:	2,999 SF		
MAX BUILDING HEIGHT:	ALLOWED	PROPOSED	
RESTAURANT BUILDING:	50 FT.	22 FT.	
LOT STANDARDS	REQUIRED	PROPOSED	
MIN LOT WIDTH:	100 FT.	± 186 FT.	
PARKING REQUIREMENT	REQUIRED	PROPOSED	
VEHICLE (2,965 SF/1,000 SF x 8):	24		
ADA SPACES:	2	35	INCL. 2 EV SPACES 2 ADA SPACES
EV SPACES:	2		
MOTORCYCLE (1 PER 25 SPACES):	2	2	
BICYCLE SPACES:	3	4	
MINIMUM BUILDING SETBACKS	REQUIRED	PROPOSED	
FRONT (ALAMEDA BLVD NE):	10 FT.	± 36 FT.	
SIDE (SAN PEDRO ROAD NE):	10 FT.	± 31 FT.	
REAR (SOUTH SIDE):	10 FT.	± 119.5 FT.	
MINIMUM LANDSCAPE BUFFER	REQUIRED	PROPOSED	
FRONT (ALAMEDA BLVD NE):	10 FT.	± 10 FT.	
SIDE (SAN PEDRO ROAD NE):	6 FT.	± 22 FT.	WHERE PARKING LOTS ADJACENT TO LOT EDGE
REAR (SOUTH SIDE):	6 FT.	± 6 FT.	

PROPOSED LEGEND:



DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____	Code Enforcement	Date _____
ABCWUA	Date _____	Solid Waste Management	Date _____
Parks and Recreation Department	Date _____	DRB Chairperson, Planning Department	Date _____
City Engineer/Hydrology	Date _____		

NOT FOR
 CONSTRUCTION

SUSTAINABILITY
 ENGINEERING
 GROUP



CALL NM ONE-CALL
 SYSTEM SEVEN (7) DAYS
 PRIOR TO ANY EXCAVATION

PROJECT: WHATABURGER NM
 SEC ALAMEDA BLVD NE
 & SAN PEDRO AVE NE
 LOCATION: 6100 ALAMEDA BLVD NE
 ALBUQUERQUE, NM

DRAWN: GA 01/27/2022
 DESIGNED: LP 01/27/2022
 QC: _____
 FINAL QC: _____
 PROJ. MGR: AF 04/18/2022

DATE: 04/18/2022
 ISSUED FOR: DRB

REVISION NO.:	DATE:
JOB NO.:	210907
SHEET TITLE:	PRELIMINARY SITE PLAN

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