

DEVELOPER
 WHATABRANDS REAL ESTATE
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CIVIL ENGINEER
 SUSTAINABILITY ENGINEERING GROUP
 8280 E. GELDING DR, SUITE 101
 SCOTTSDALE, ARIZONA 85260
 PHONE: 480-237-2507
 ATTN: ALI FAKIH

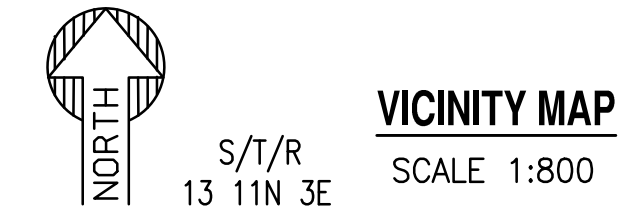
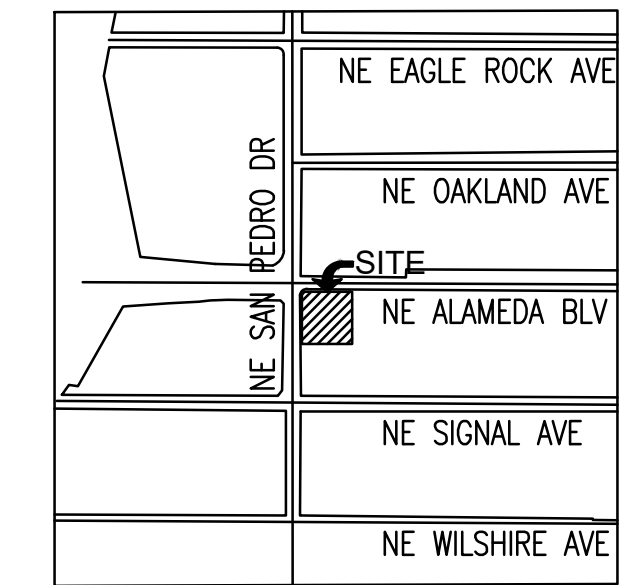
OWNER
 GREEN JEANS WEST, LLC
 2929 MONTE VISTA BLVD NE
 ALBUQUERQUE, NM 87106

WHATABURGER PRELIMINARY SITE PLAN

6100 ALAMEDA NE BLVD, ALBUQUERQUE, NM
 LOT 1-A, BLOCK 29, TRACT A, UNIT B OF NORTH
 BERNALILLO COUNTY, NEW MEXICO.

PRELIMINARY SITE PLAN KEYNOTES:

- 1A 6" VERTICAL CURB PER GRADING PLANS.
- 1B 6" CURB AND GUTTER PER GRADING PLANS.
- 1C TURNDOWN SIDEWALK PER GRADING PLANS.
- 1D MEDIAN CURB PER GRADING PLANS.
- 2 ACCESSIBLE RAMP PER DET. 8/C2.11.
- 2A ACCESSIBLE RAMP PER DET. 9/C2.11.
- 2B ACCESSIBLE RAMP PER DET. 10/C2.11.
- 2C LOADING ZONE PER GRADING PLANS.
- 3 CONCRETE SIDEWALK PER DET. 12/C2.11, WIDTH PER PLAN.
- 4 EXISTING SIDEWALK TO REMAIN.
- 5 EXISTING TRASH ENCLOSURE.
- 6 PAINTED ADA SYMBOL PER DET. 1/C2.10.
- 7 4" WIDE WHITE PAINTED STRIPING, TYP.
- 8 5' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45° 2 FEET O.C PER DET. 13/C2.11.
- 8A 8' WIDE PEDESTRIAN PATHWAY AT ACCESSIBLE PARKING WITH 4" WIDE YELLOW PAINT, AT 45° 2 FEET O.C.
- 9 6" STEEL BOLLARDS PER DET. 3/C2.10.
- 9A 6" LIT STEEL BOLLARDS PER DET. 3/C2.10.
- 10A HEAVY DUTY ASPHALT PAVEMENT PER CIVIL PLANS.
- 10B INTEGRAL BLACK CONCRETE PAVEMENT PER GRADING PLANS.
- 10C EXISTING ASPHALT.
- 11 ACCESSIBLE PARKING SIGN PER DET. 2/C2.10.
- 12 DRIVE-THRU CLEARANCE BAR PER ARCHITECTURAL PLANS.
- 13 DRIVE-THRU MENU BOARD. PER DETAIL 6/C2.10.
- 14 RESTAURANT CANOPY PER ARCHITECTURAL PLANS.
- 15 RELOCATED FIRE HYDRANT LOCATION.
- 16 28' HIGH FLAG POLE.
- 17 FREE STANDING MAILBOX BY G.C.
- 18 BIKE RACK (4 SPACES). PER DET. 5/C2.10.
- 19 REMOVE AND REPLACE SIDEWALK. WIDTH PER PLAN.
- 20 CONCRETE ISLANDS NOSE, TYPICAL AT ISLANDS.
- 21 WHEEL STOP PER DET. 4/C2.10.
- 22 GRANITE STRIPS. REFER TO LANDSCAPE PLANS FOR DETAIL.
- 23 LIGHT POLE PER PHOTOMETRIC PLAN.
- 24 MOTORCYCLE PARKING (2 SPACES).
- 25 ELECTRIC VEHICLE PARKING (2 SPACES).
- 26 GREASE INTERCEPTOR PER UTILITY PLANS.
- 27 PROPOSED MONUMENT SIGN LOCATION.
- 28 MENU BOARD CANOPY PER ARCHITECTURAL PLAN A6.8.
- 29 SAWCUT PER CIVIL PLANS.
- 30 SVT 11'X11'.
- 31 ELECTRICAL CABINET.
- 32 MOTORCYCLE PARKING ONLY SIGN.
- 33 FUTURE CHARGING STATION LOCATION.
- 34 CURB TRANSITION FROM TO 0" PER CIVIL PLANS.
- 35 PROPOSED STOP SIGN AT DRIVEWAY.
- 36 PAINTED ADA ACCESS AISLE SYMBOL PER DET. 7/C2.11.
- 37 DIRECTIONAL LANE PAVEMENT MARKINGS PER DET. 11/C2.11.
- 38 PROPOSED "ONE WAY" SIGN, PER C.O.A. STD. DET. 2600-603.
- 39 PROPOSED "DO NOT ENTER" SIGN, PER C.O.A. STD. DET. 2600-603.



SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
2. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
5. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
6. IF APPLICABLE, PEDESTRIAN ACCESS ROUTES ARE PROVIDED IN COMPLIANCE WITH THE LATEST ADA STANDARDS. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 5% MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS, ARE REQUIRED, AS SHOWN IN PLANS, ON ALL SITE RAMPS AND WALKS THAT CROSS A VEHICULAR WAY PER ADAAG CHAPTER 7.
7. PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
8. ALL SIGNAGE REQUIRES SEPARATE APPROVAL AND PERMITS.
9. A MINIMUM 6-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES WILL BE MAINTAINED.
10. OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.

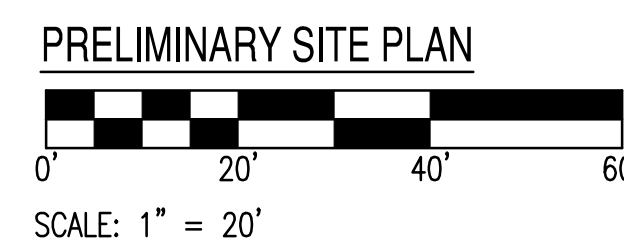
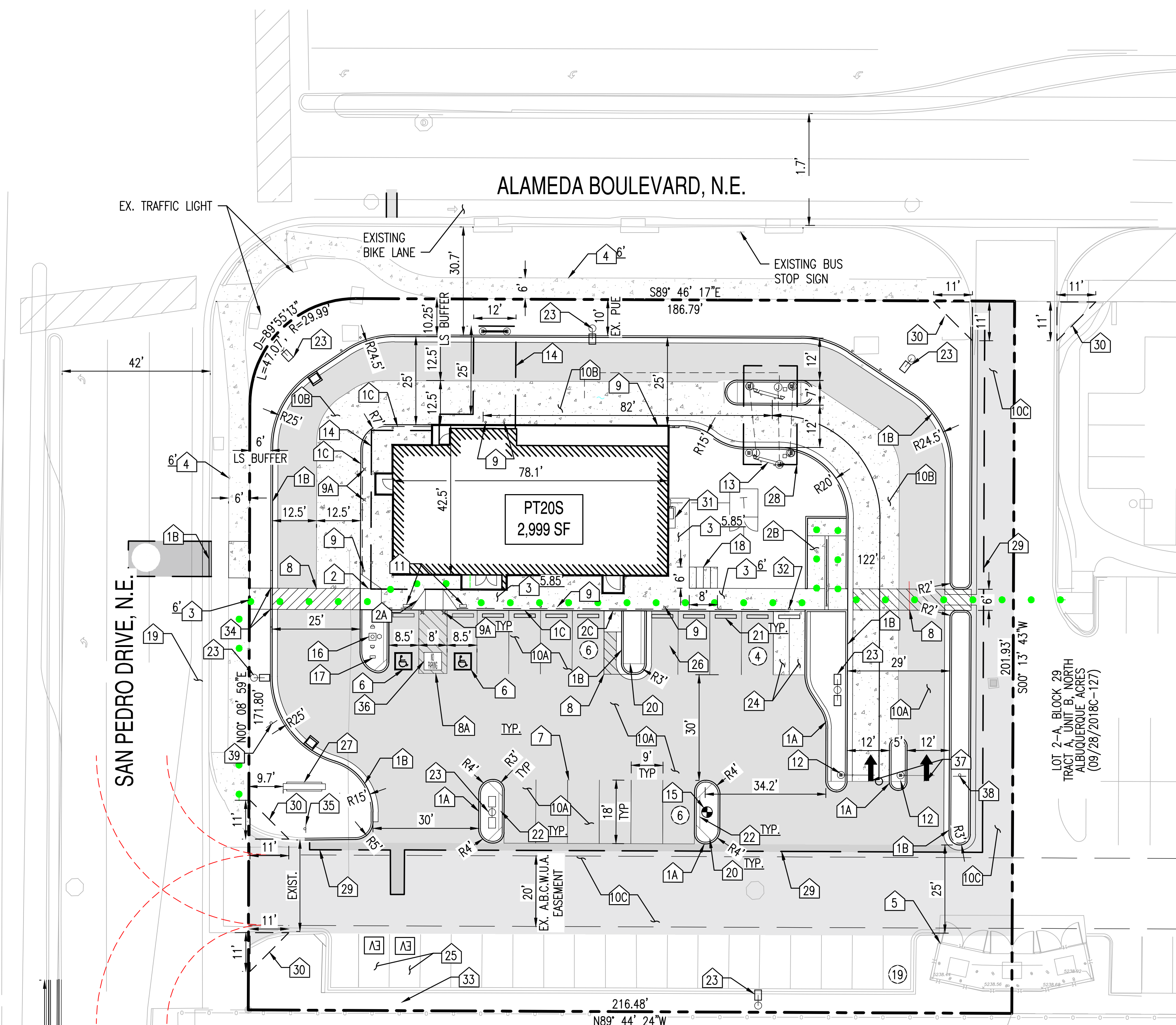
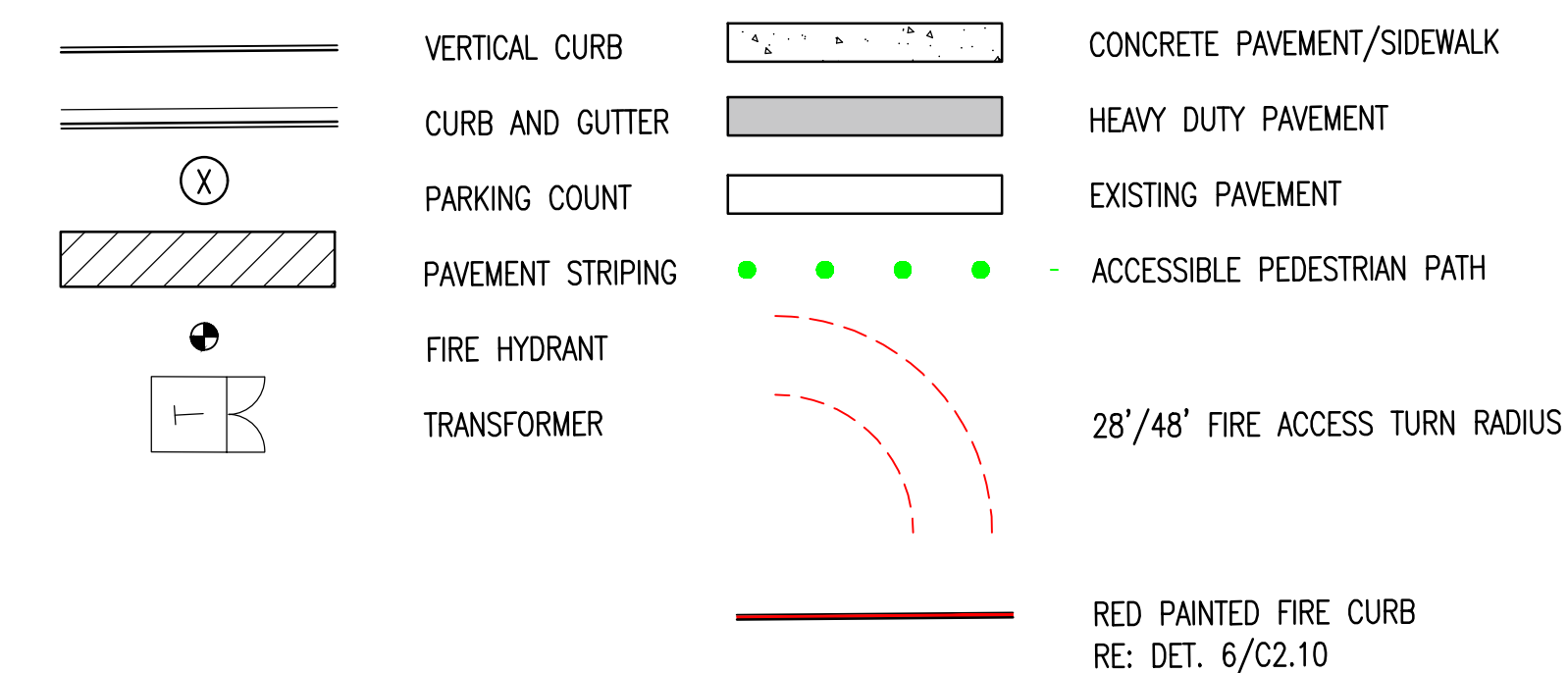
SIGHT DISTANCE NOTE

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

DEVELOPMENT SUMMARY TABLE:

PROJECT ADDRESS:	6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM		
PROJECT DESCRIPTION:	PROPOSED WHATABURGER W/ DRIVE THRU		
UPC:	101806 428134 810229		
ZONING:	NR-BP		
LOT SIZE:	43,565 SF	1.00 AC	
PROPOSED USE:	RESTAURANT W/ DRIVE THROUGH		
BUILDING AREA:	2,999 SF		
MAX BUILDING HEIGHT:	ALLOWED	PROPOSED	
RESTAURANT BUILDING:	50 FT.	22 FT.	
LOT STANDARDS	REQUIRED	PROPOSED	
MIN LOT WIDTH:	100 FT.	± 186 FT.	
PARKING REQUIREMENT	REQUIRED	PROPOSED	
VEHICLE (2,965 SF/1,000 SF x 8):	24		
ADA SPACES:	2	35	INCL. 2 EV SPACES
EV SPACES:	2		2 ADA SPACES
MOTORCYCLE (1 PER 25 SPACES):	2	2	
BICYCLE SPACES:	3	4	
MINIMUM BUILDING SETBACKS	REQUIRED	PROPOSED	
FRONT (ALAMEDA BLVD NE):	10 FT.	± 36 FT.	
SIDE (SAN PEDRO ROAD NE):	10 FT.	± 31 FT.	
REAR (SOUTH SIDE):	10 FT.	± 119.5 FT.	
MINIMUM LANDSCAPE BUFFER	REQUIRED	PROPOSED	
FRONT (ALAMEDA BLVD NE):	10 FT.	± 10 FT.	
SIDE (SAN PEDRO ROAD NE):	6 FT.	± 22 FT.	WHERE PARKING LOTS ADJACENT TO LOT EDGE
REAR (SOUTH SIDE):	6 FT.	± 6 FT.	

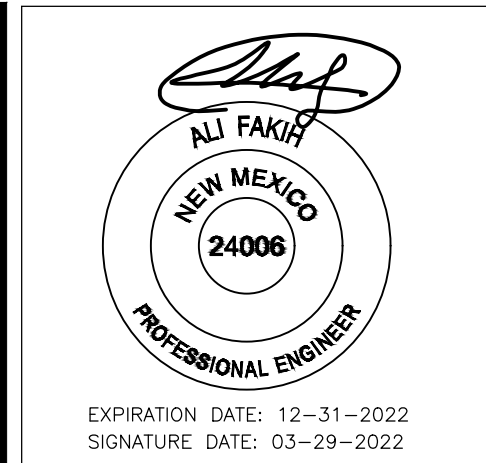
PROPOSED LEGEND:



PRELIMINARY SITE PLAN

DRB SIGNATURE BLOCK
 SIGNATURE _____ DATE _____

SOLID WASTE SIGNATURE BLOCK
 SIGNATURE _____ DATE _____



SUSTAINABILITY ENGINEERING GROUP
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 8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
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811
 CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

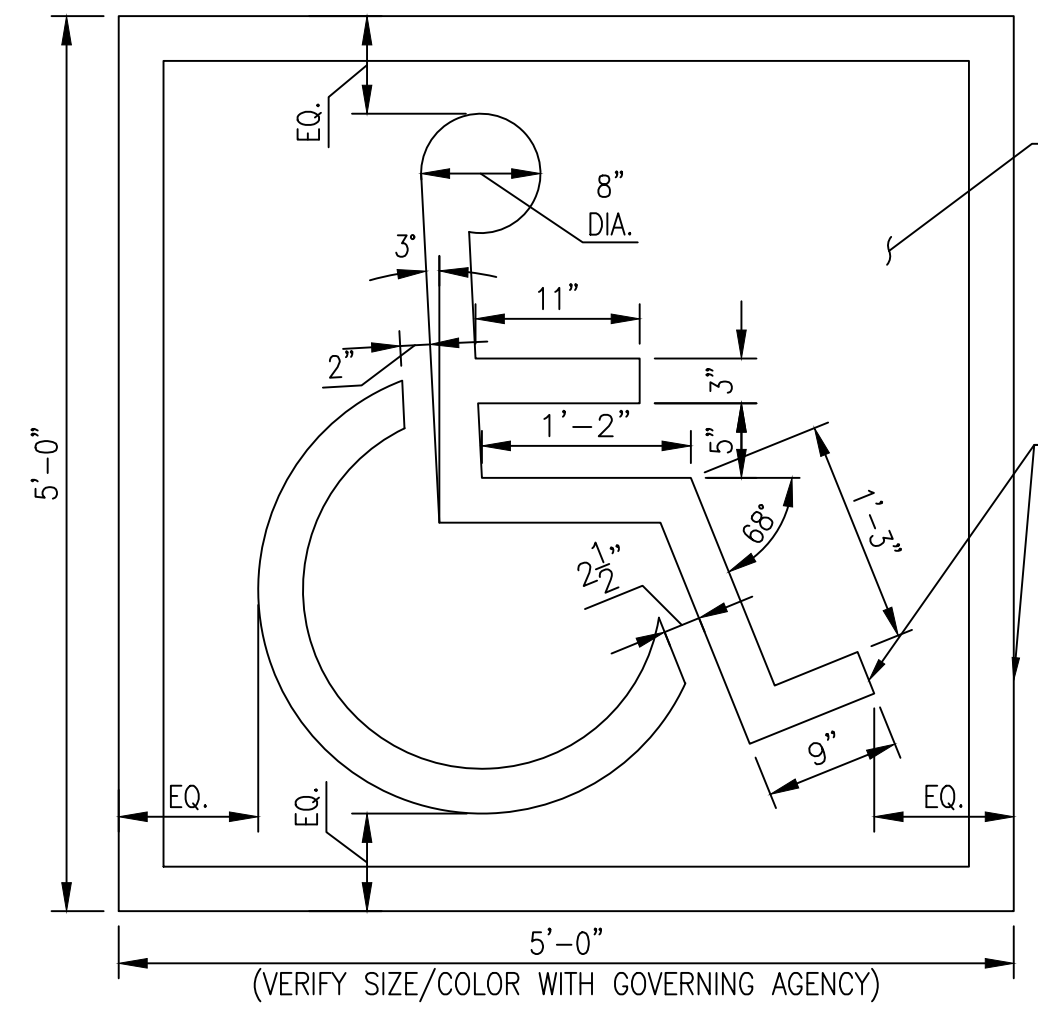
PROJECT: WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE
 LOCATION: 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM

DATE: 03/23/2022
 ISSUED FOR: DRB

REVISION NO.: _____ DATE: _____
 JOB NO.: 210907
 SHEET TITLE: PRELIMINARY SITE PLAN

PAGE NO.: 1 OF 3
 SHEET NO.: C2.00

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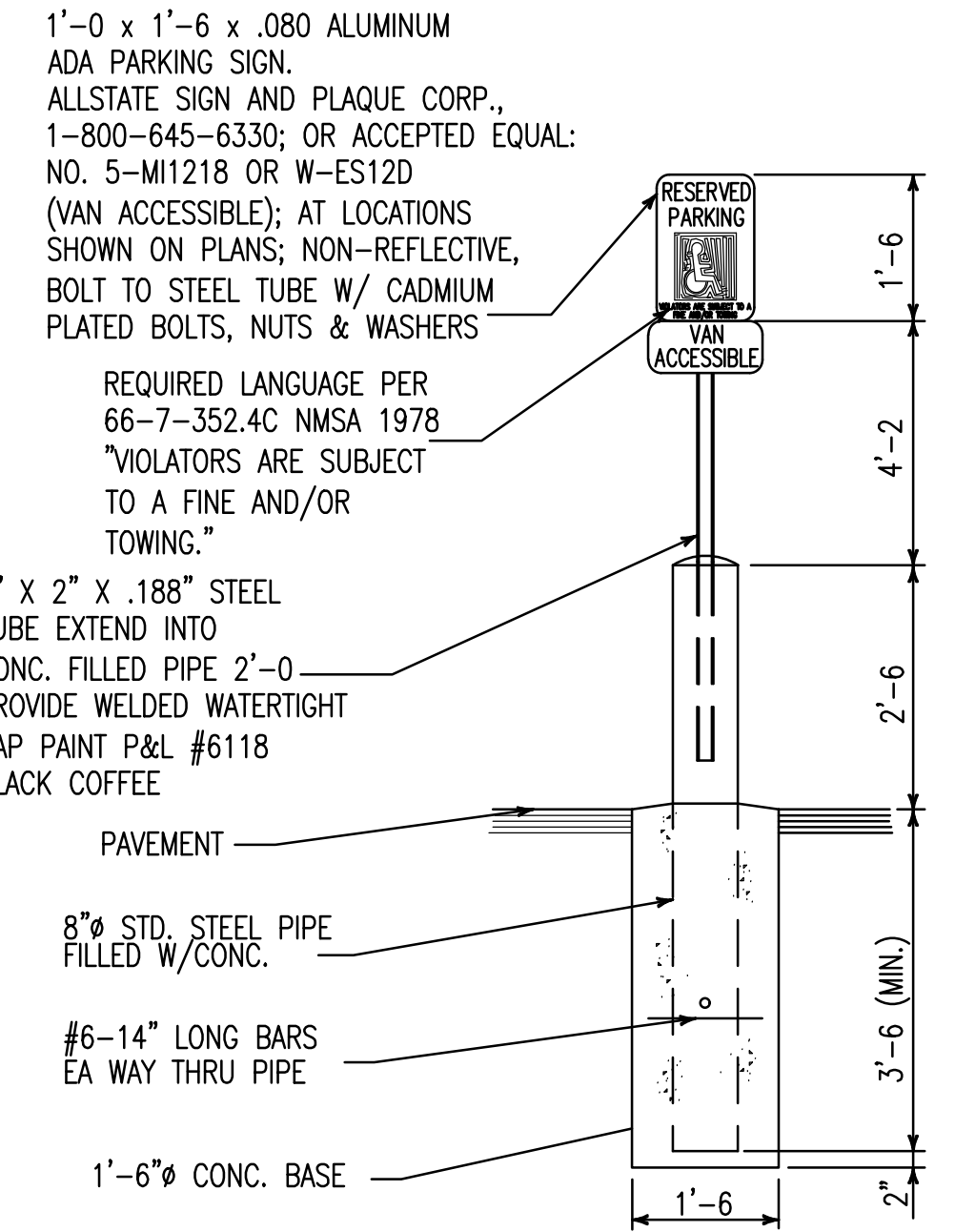
FIELD HANDICAP BLUE NUMBER 15090, FEDERAL STANDARD 595A OR EQUAL

SYMBOL: YELLOW HIGHWAY, PAINT (2) COATS 3" WIDE, TYP.

SYMBOL OF ACCESSIBILITY



1



1'-0 x 1'-6 x .080 ALUMINUM ADA PARKING SIGN.
ALLSTATE SIGN AND PLAQUE CORP.,
1-800-645-6330; OR ACCEPTED EQUAL:
NO. 5-M11218 OR W-ES12D
(VAN ACCESSIBLE); AT LOCATIONS SHOWN ON PLANS; NON-REFLECTIVE, BOLT TO STEEL TUBE W/ CADMIUM PLATED BOLTS, NUTS & WASHERS

REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."

2" X 2" X .188" STEEL TUBE EXTEND INTO CONC. FILLED PIPE 2'-0" PROVIDE WELDED WATERTIGHT CAP PAINT P&L #6118 BLACK COFFEE

PAVEMENT

8" Ø STD. STEEL PIPE FILLED W/CONC.

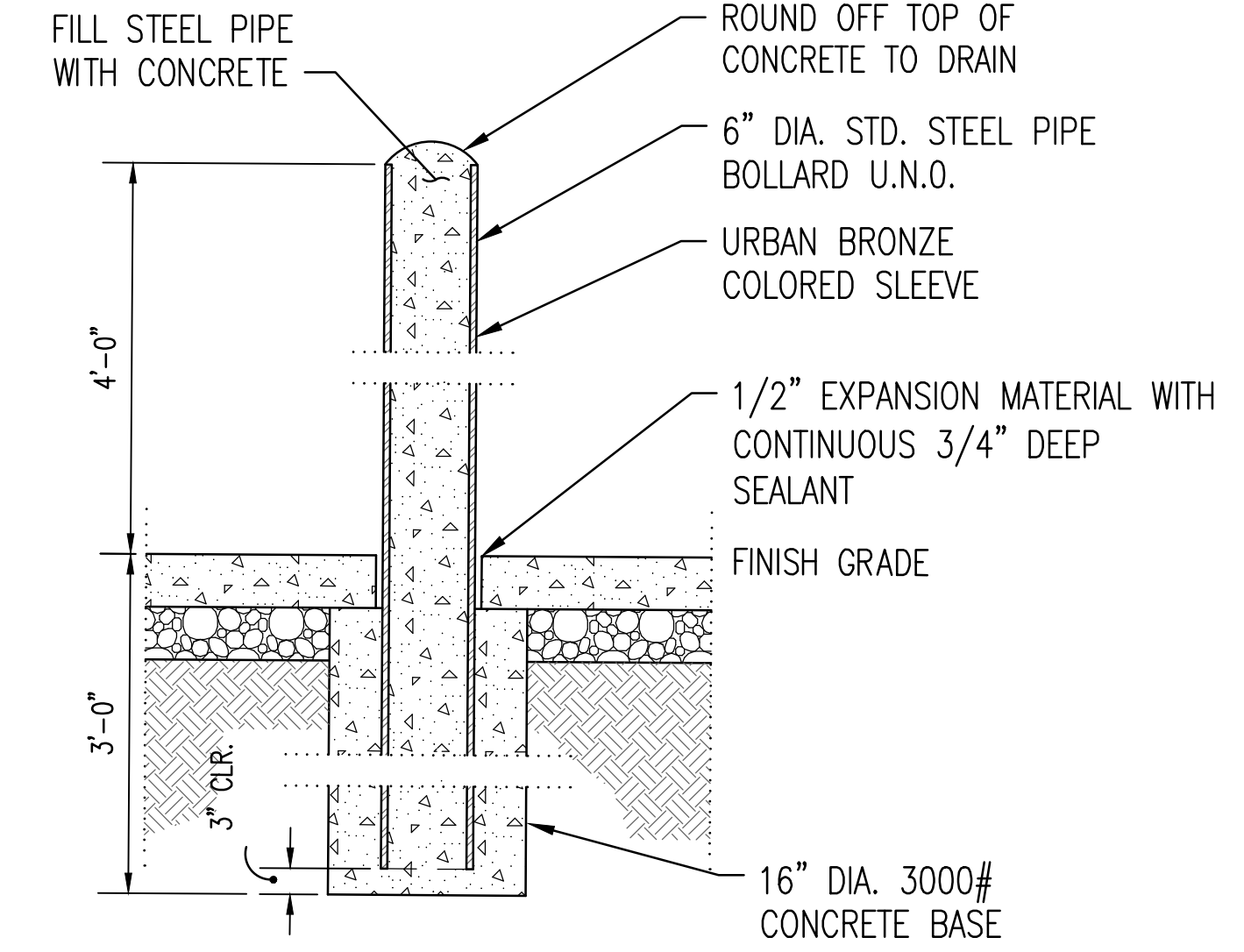
#6-14" LONG BARS EA WAY THRU PIPE

1'-6" Ø CONC. BASE

ACCESSIBLE PARKING SIGN



2



FILL STEEL PIPE WITH CONCRETE

ROUND OFF TOP OF CONCRETE TO DRAIN

6" DIA. STD. STEEL PIPE BOLLARD U.N.O.

URBAN BRONZE COLORED SLEEVE

1/2" EXPANSION MATERIAL WITH CONTINUOUS 3/4" DEEP SEALANT

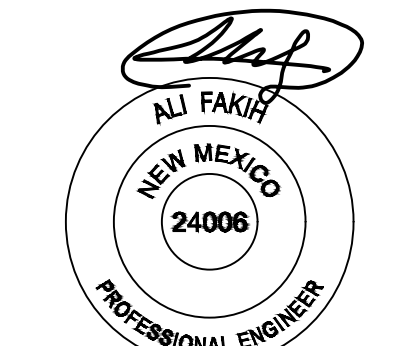
FINISH GRADE

16" DIA. 3000# CONCRETE BASE

STEEL PIPE BOLLARD IN CONCRETE
N.T.S.



3



EXPIRATION DATE: 12-31-2022
SIGNATURE DATE: 03-29-2022



PROJECT: WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE

LOCATION: 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM

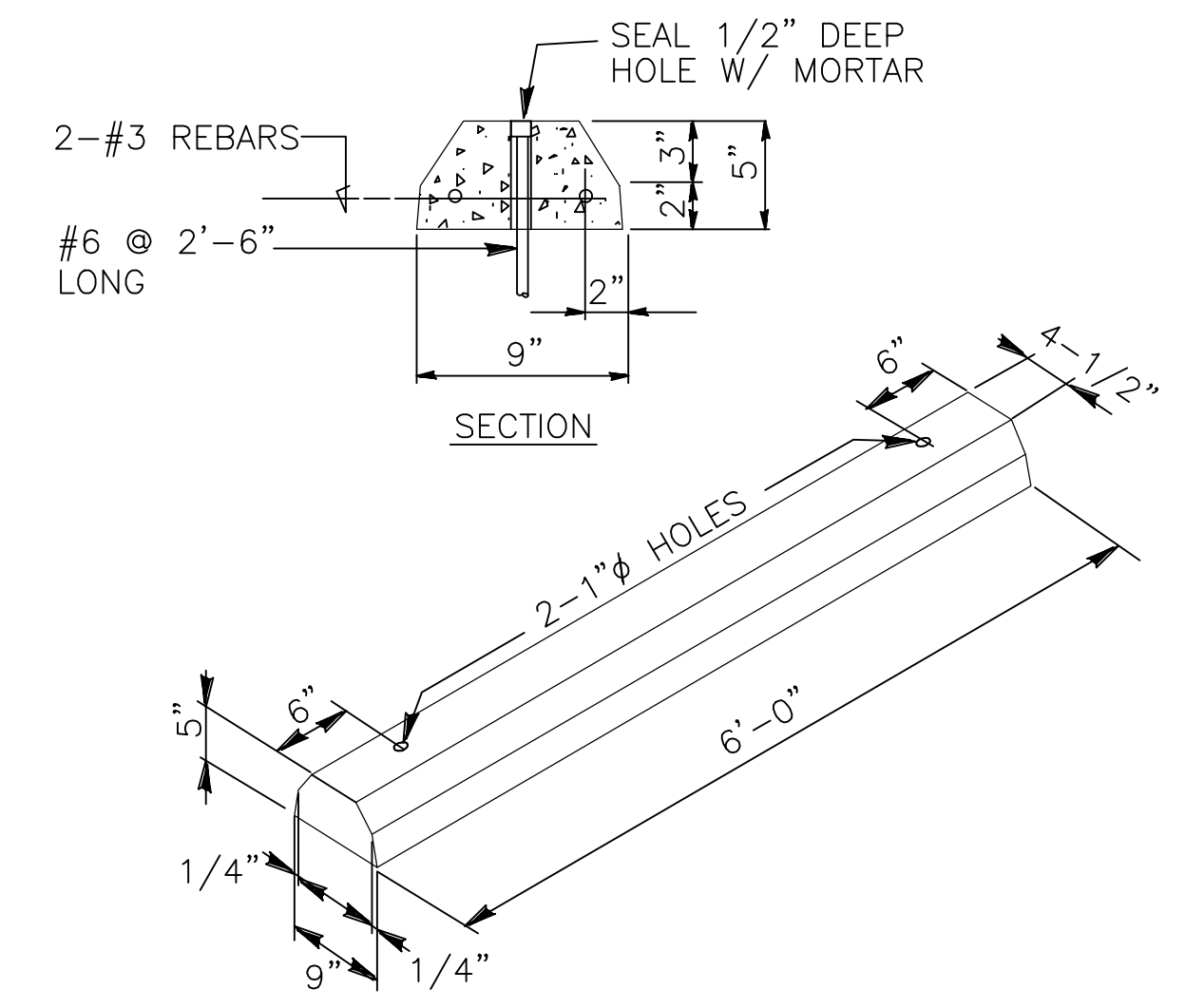
DRAWN: GA 01/27/2022
DESIGNED: LP 01/27/2022
QC: _____
FINAL QC: _____
PROJ. MGR: AF 03/23/2022
DATE: 03/23/2022
ISSUED FOR: DRB

REVISION NO.	DATE

JOB NO.: 210907

SHEET TITLE: PRELIMINARY SITE PLAN DETAILS

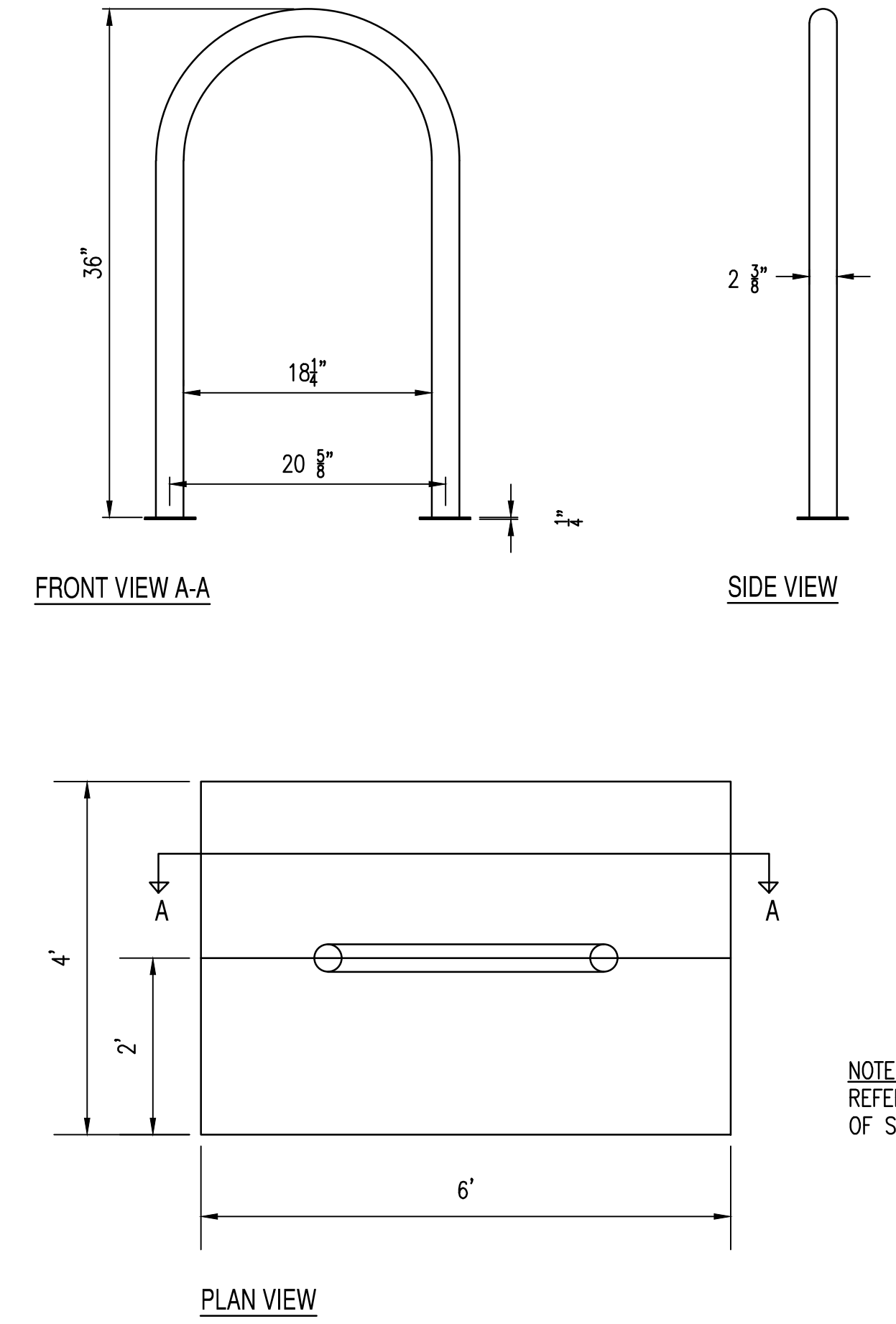
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PRECAST CONCRETE WHEEL STOP
N.T.S.



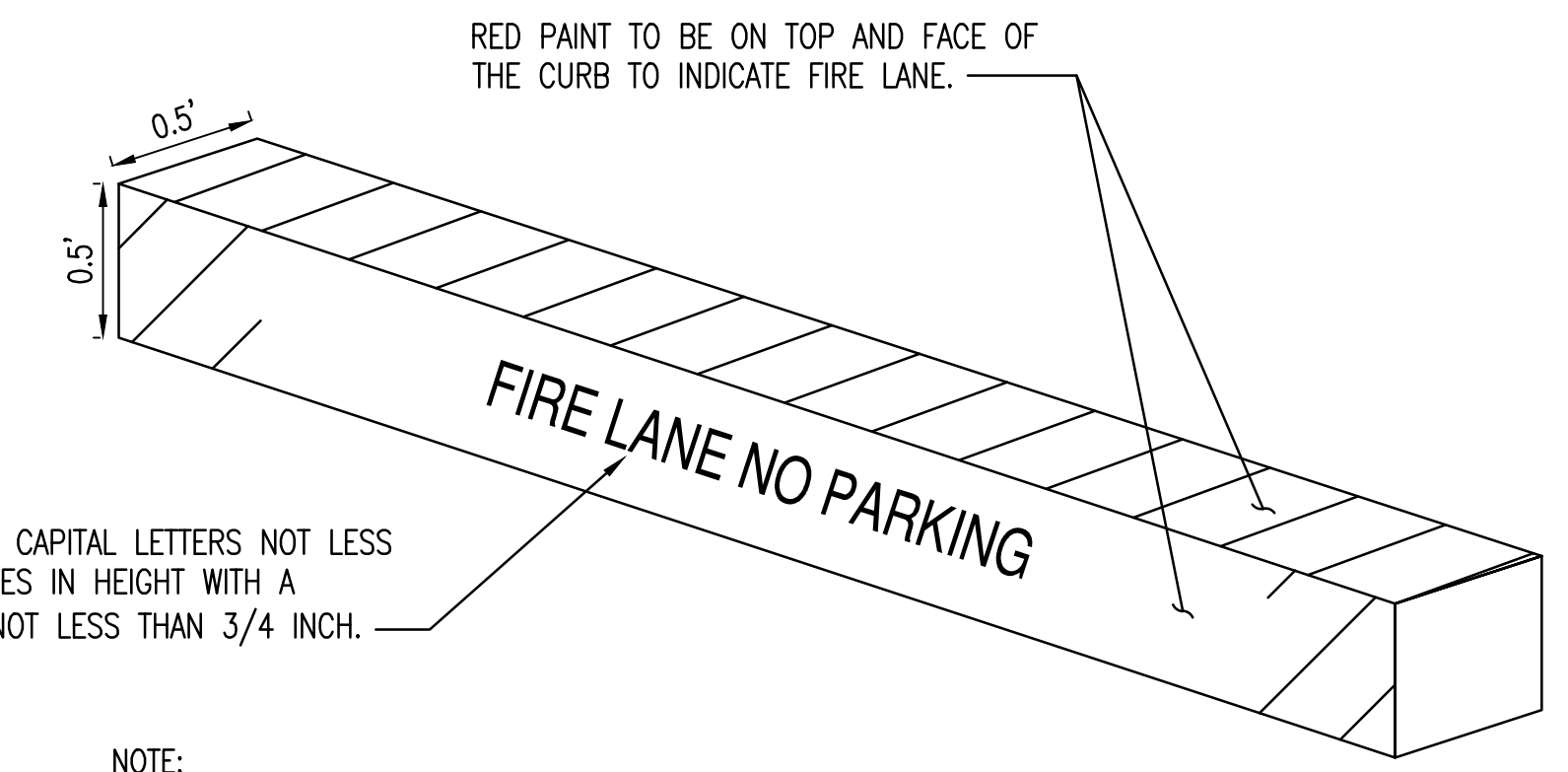
4



BICYCLE RACK



5



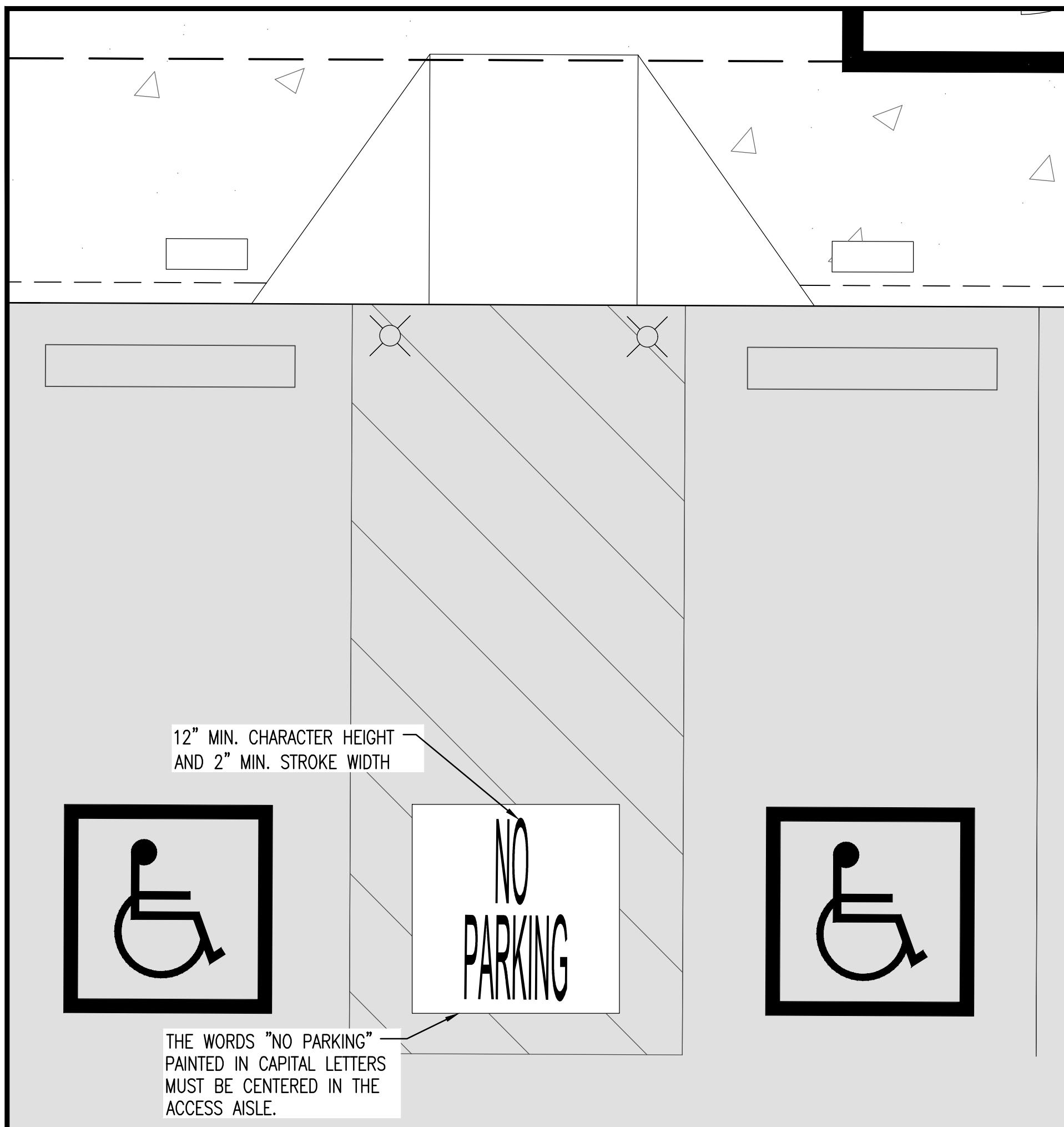
WHITE BLOCK CAPITAL LETTERS NOT LESS THAN 5 INCHES IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4 INCH.

NOTE:
"NO PARKING-FIRE LANE" SHALL BE MARKED EVERY 15-FEET ALONG THE LENGTH OF THE FIRE LANE. ALL SIGNS AND MARKINGS SHALL BE AT EXPENSE OF THE OWNER, LESSEE, OR PERSON IN CONTROL OF THE PROPERTY.

RED PAINTED FIRE CURB



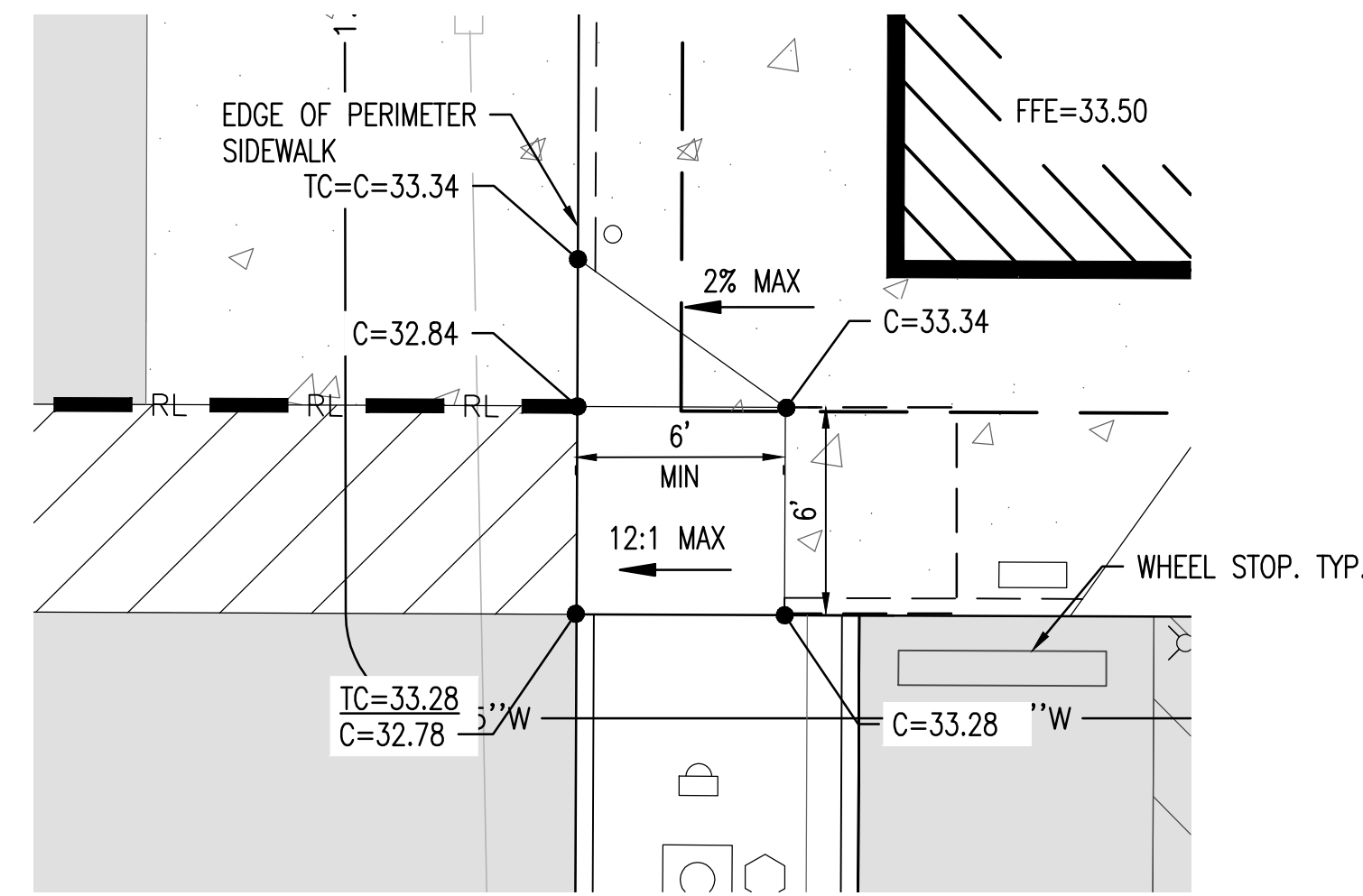
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ADA ACCESS AISLE



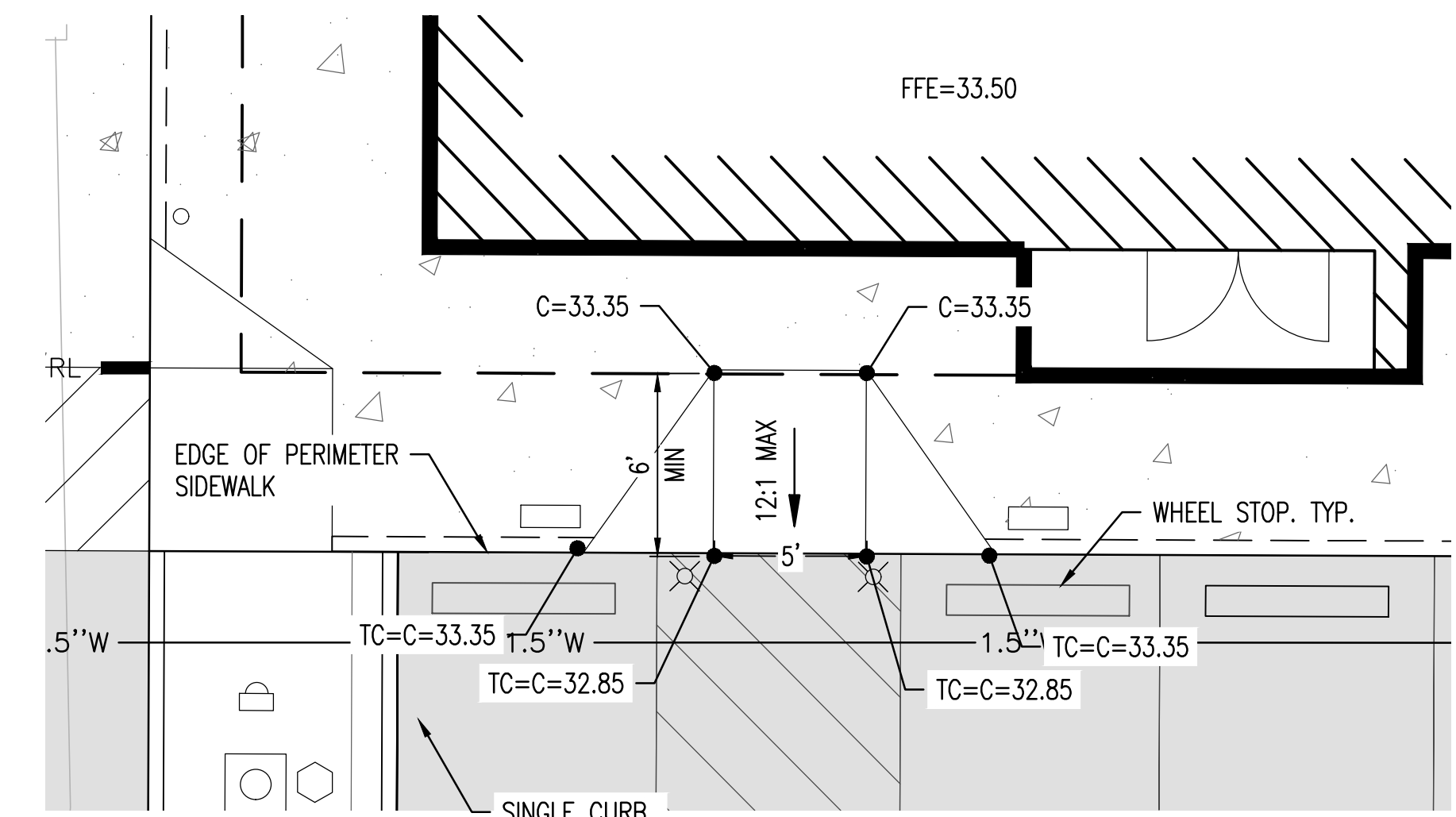
7



ADA ACCESSIBLE RAMP



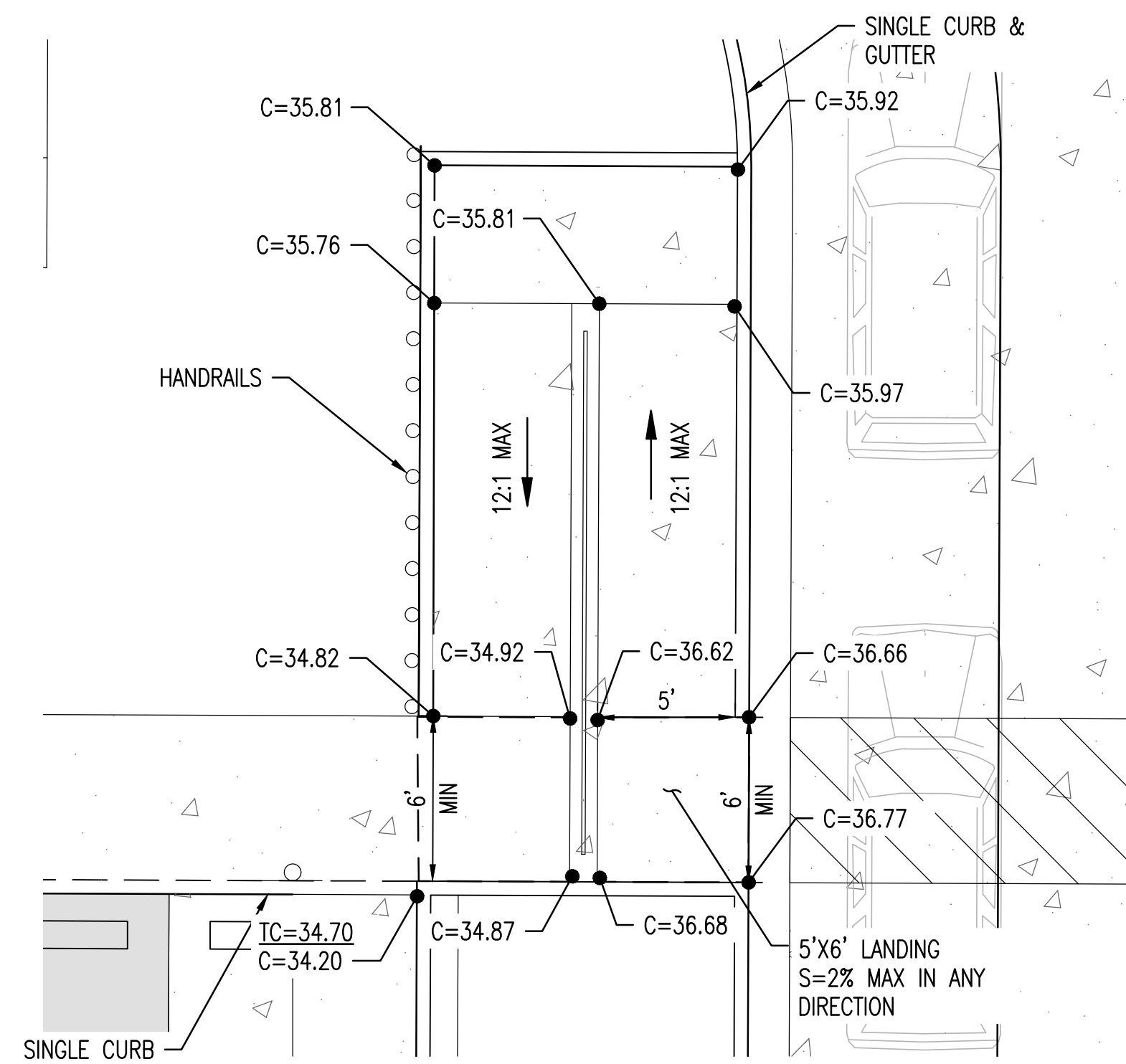
8



ADA ACCESSIBLE RAMP



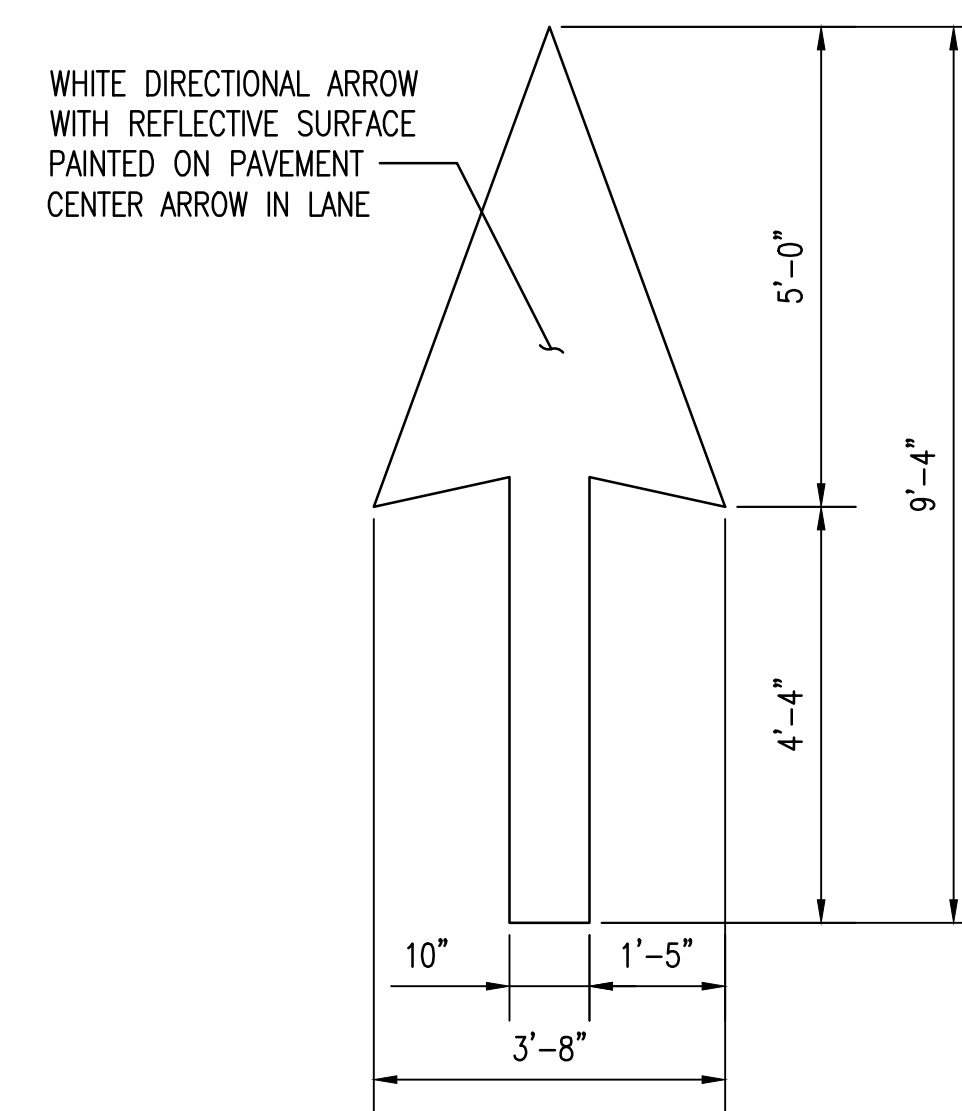
9



ADA ACCESSIBLE RAMP



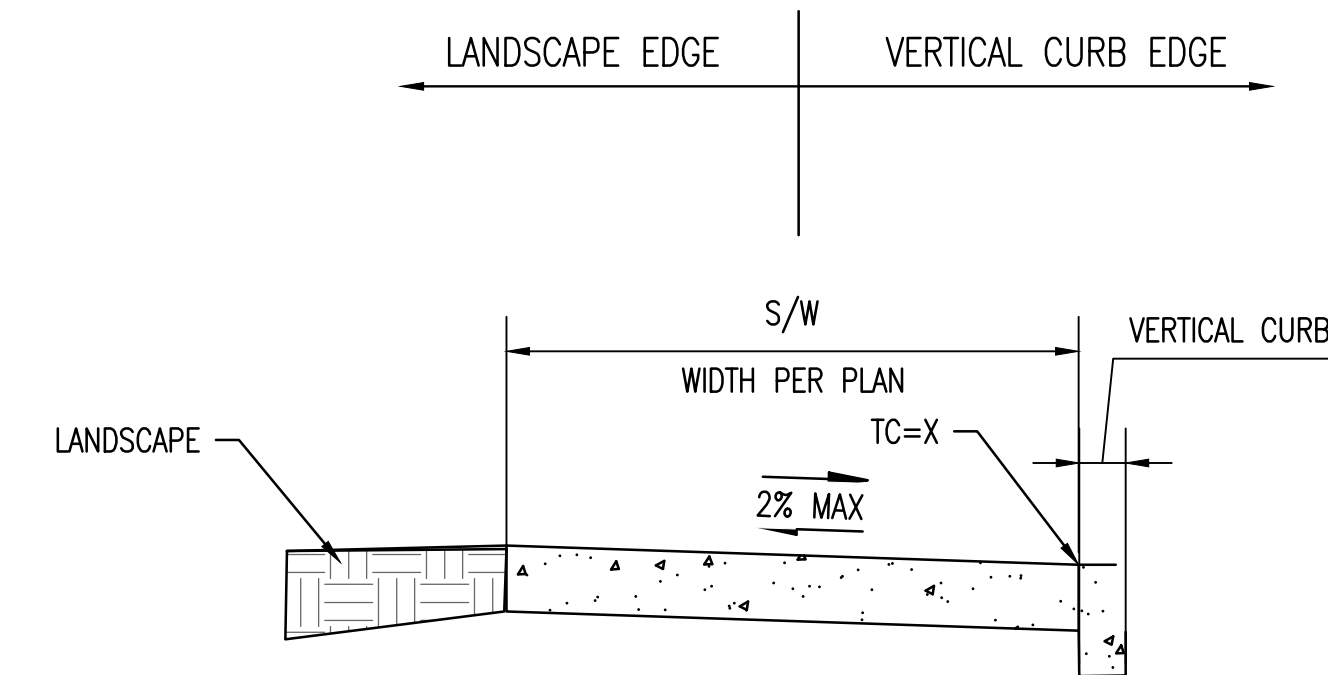
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DIRECTIONAL ARROW



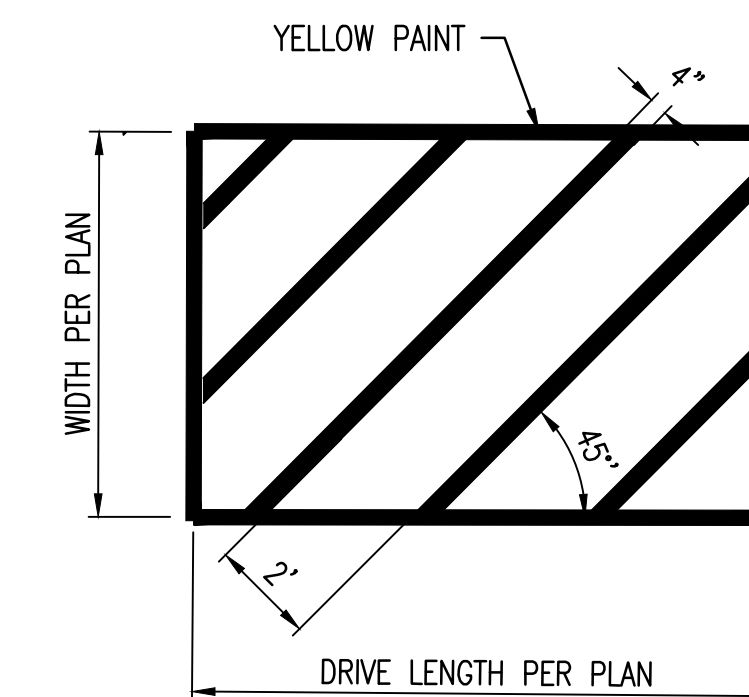
11



UNIFORM CURB & SIDEWALK
N.T.S.



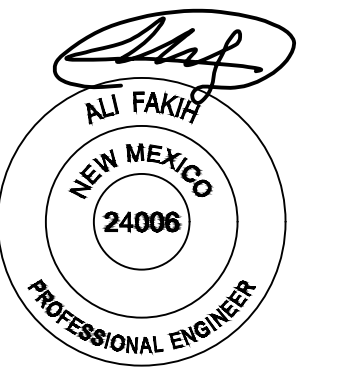
12



CROSSWALK STRIPPING DETAIL
N.T.S.



13



EXPIRATION DATE: 12-31-2022
SIGNATURE DATE: 03-29-2022

SUSTAINABILITY
ENGINEERING
GROUP

SEG



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

PROJECT: WHATABURGER NM
SEC ALAMEDA BLVD NE
& SAN PEDRO AVE NE

LOCATION: 6100 ALAMEDA BLVD NE
ALBUQUERQUE, NM

DATE: 03/23/2022
ISSUED FOR: DRB

REVISION NO.: DATE:

JOB NO.: 210907

SHEET TITLE:
**PRELIMINARY SITE
PLAN DETAILS**

PAGE NO.: 3 OF 3
SHEET NO.: C2.11

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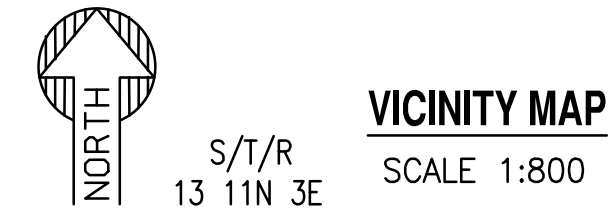
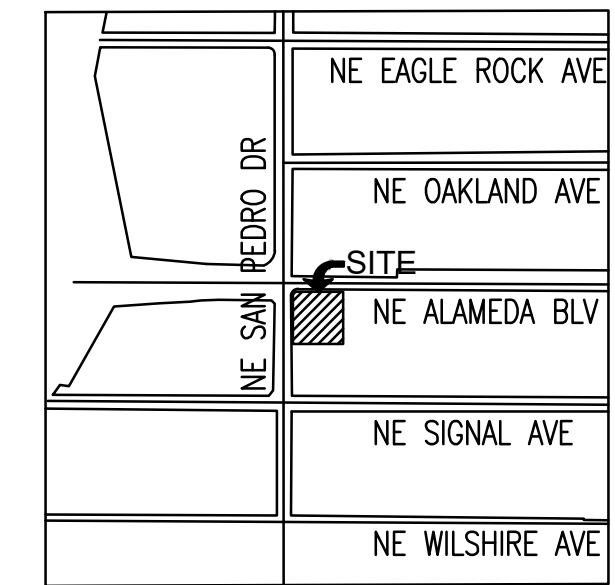
CIVIL ENGINEER
 SUSTAINABILITY ENGINEERING GROUP
 8280 E. GELDING DR, SUITE 101
 SCOTTSDALE, ARIZONA 85260
 PHONE: 480-237-2507
 ATTN: ALI FAKIH

OWNER
 GREEN JEANS WEST, LLC
 2929 MONTE VISTA BLVD NE
 ALBUQUERQUE, NM 87106

WHATABURGER

FIRE 1 SITE PLAN

6100 ALAMEDA NE BLVD, ALBUQUERQUE, NM
 LOT 1-A, BLOCK 29, TRACT A, UNIT B OF NORTH
 BERNALILLO COUNTY, NEW MEXICO.



PROJECT DATA
 BUILDING TYPE: VB
 SQUARE FOOTAGE: 2,999
 FIRE FLOW: 1,500 GPM (IFC APPENDIX B)

FIRE APPARATUS ACCESS ROADS:
 HEAVY DUTY ASPHALT PAVEMENT TO BE CONSTRUCTED FOR ALL FIRE APPARATUS ACCESS ROADS.
 PER "GEOTECHNICAL ENGINEERING REPORT" PREPARED BY TERRACON CONSULTANTS, INC AND DATED JANUARY 7, 2022, HEAVY DUTY PAVEMENT DESIGN SHALL BE AS FOLLOWS:

-4 INCHES AC OVER 6 INCHES GRANULAR BASE.

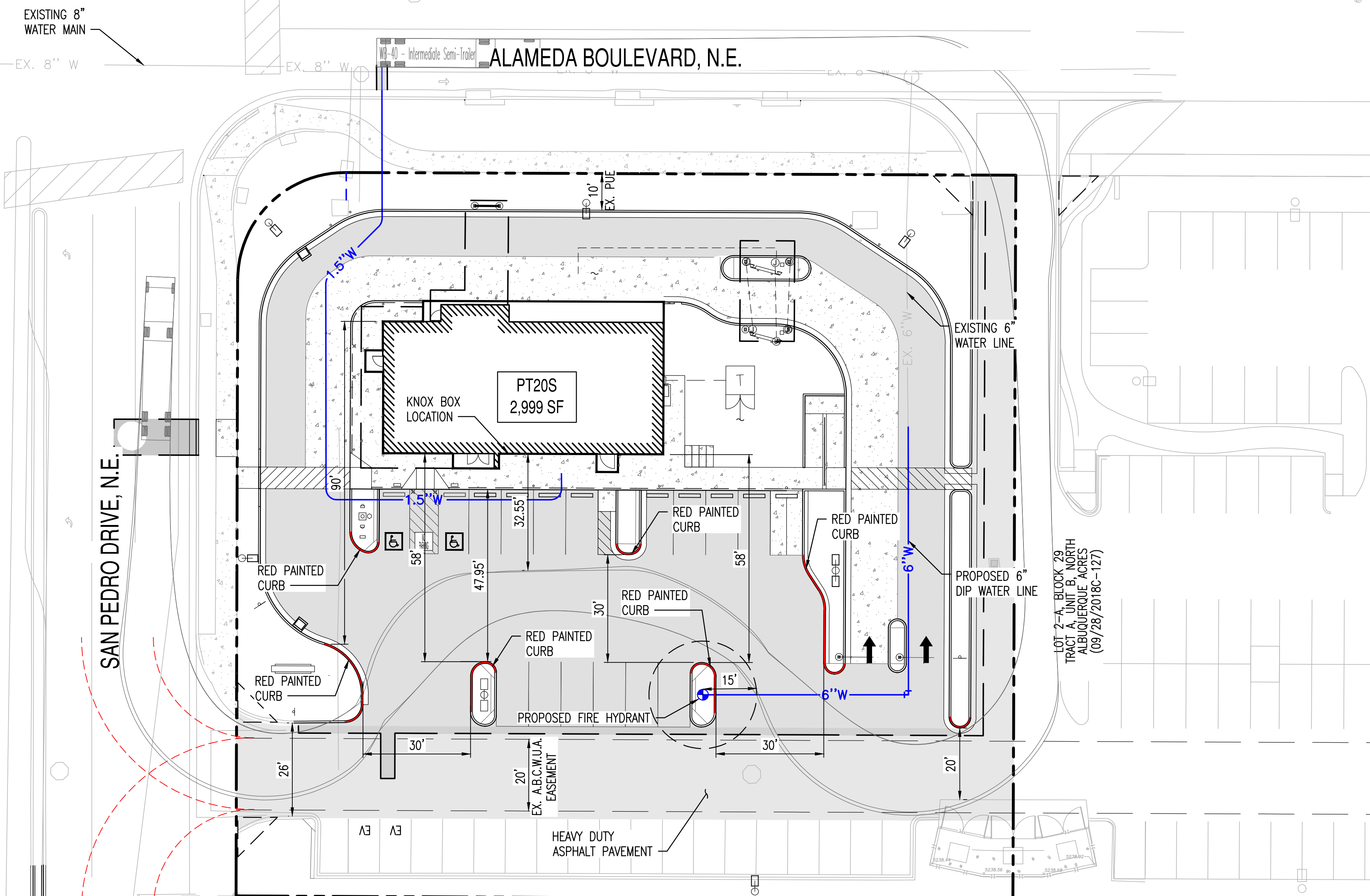
PAVEMENT DESIGN PERIOD IS 20 YEARS FOR UP TO 1 DELIVERY TRUCK PER DAY AND 3 TRASH TRUCKS PER WEEK.

RED PAINTED FIRE CURB:

RED PAINT TO BE ON TOP AND FACE OF THE CURB TO INDICATE FIRE LANE. WHITE BLOCK CAPITAL LETTERS NOT LESS THAN 5 INCHES IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4 INCH. "NO PARKING-FIRE LANE" SHALL BE MARKED EVERY 15-FEET ALONG THE LENGTH OF THE FIRE LANE. ALL SIGNS AND MARKINGS SHALL BE AT EXPENSE OF THE OWNER, LESSEE, OR PERSON IN CONTROL OF THE PROPERTY.

PROPOSED LEGEND:

- VERTICAL CURB
- CURB AND GUTTER
- PAVEMENT STRIPING
- FIRE HYDRANT
- CONCRETE PAVEMENT/SIDEWALK
- HEAVY DUTY PAVEMENT
- EXISTING PAVEMENT
- 28' / 48' FIRE ACCESS TURN RADIUS
- RED PAINTED FIRE CURB
RE: DET. 6/C2.10

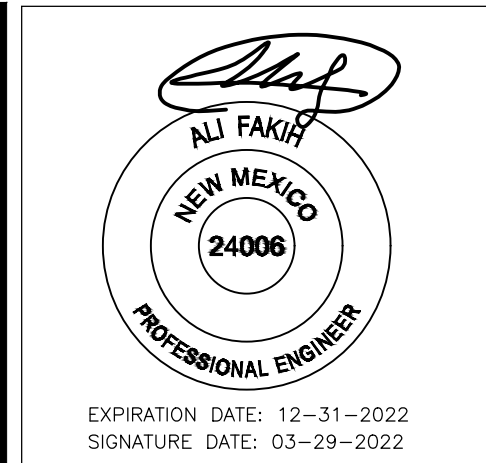


LOT 32, BLOCK 29
 TRACT A, UNIT B, NORTH
 ALBUQUERQUE ACRES
 (04/24/1936, D-130)

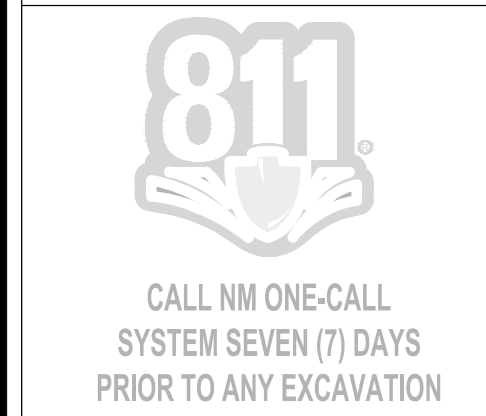
LOT 31, BLOCK 29
 TRACT A, UNIT B, NORTH
 ALBUQUERQUE ACRES
 (04/24/1936, D-130)

MONUMENT "10_C18"
 STANDARD C.O.A. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,524,123.885 US SURVEY FEET
 E= 1,542,565.263 US SURVEY FEET
 PUBLISHED EL=5222.09 US SURVEY FEET
 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999665042
 DELTA ALPHA ANGLE=-0°11'19.42"

A.G.R.S. MONUMENT "9_C18"
 STANDARD C.O.A. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,521,497.624 US SURVEY FEET
 E= 1,542,501.428 US SURVEY FEET
 PUBLISHED EL=5232.47 US SURVEY FEET
 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999664563
 DELTA ALPHA ANGLE=-0°11'19.69"



SUSTAINABILITY ENGINEERING GROUP
SEG
 8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
 WWW.AZSEG.COM TEL. 480.986.7226 FAX. 480.259.3534



PROJECT WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE	LOCATION 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM
DRAWN: GA 01/27/2022	DESIGNED: LP 01/27/2022
QC	FINAL QC
PROJ. MGR.: AF 03/23/2022	DATE: 03/23/2022
ISSUED FOR: DRB	REVISION NO.: DATE:
JOB NO.: 210907	SHEET TITLE: FIRE 1 SITE PLAN
PAGE NO.: 1 OF 1	SHEET NO.: C2.30

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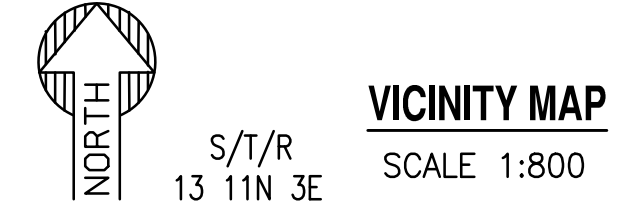
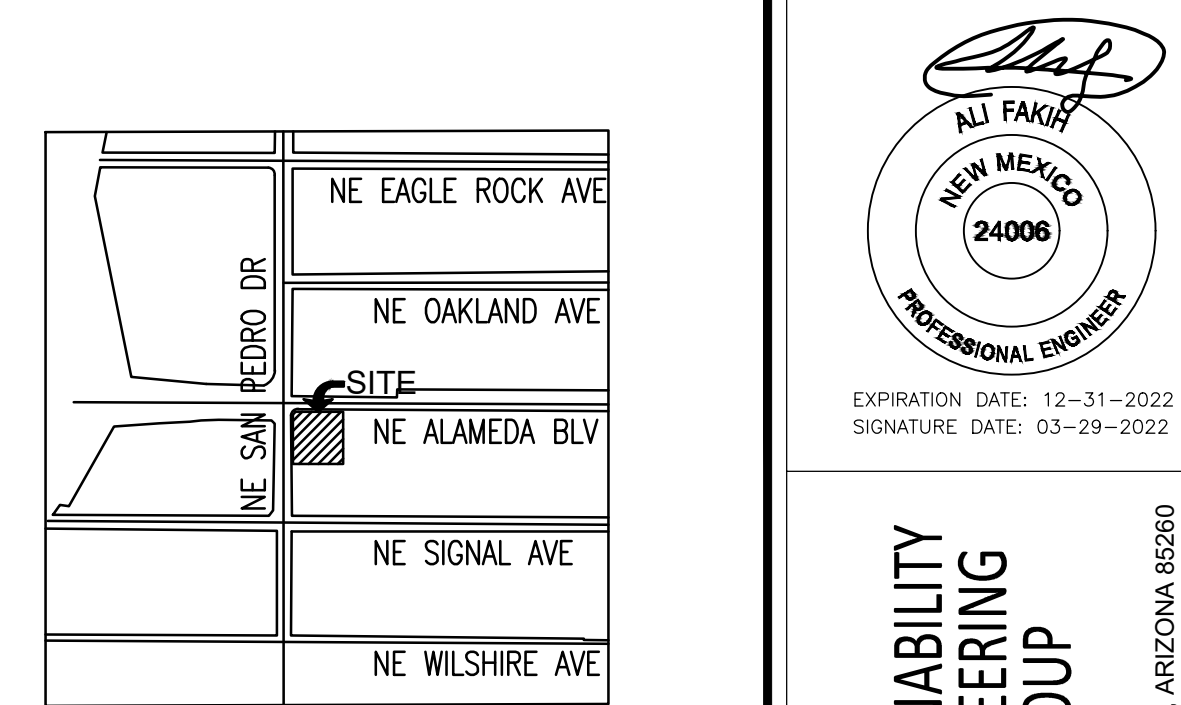
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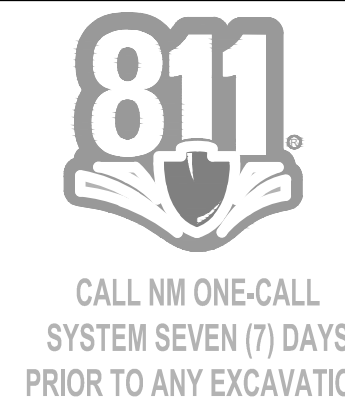
GRADING AND DRAINAGE PLAN

6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM
 A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST
 BERNALILLO COUNTY, NEW MEXICO.



EXPIRATION DATE: 12-31-2022
 SIGNATURE DATE: 03-29-2022

SUSTAINABILITY ENGINEERING GROUP



PROJECT
 WHATABURGER NM
 SEC ALAMEDA BLVD NE
 & SAN PEDRO AVE NE

LOCATION
 6100 ALAMEDA BLVD NE
 ALBUQUERQUE, NM

DRAWN GA 01/27/2022
DESIGNED LP 01/27/2022
QC
FINAL QC
PROJ. MGR. AF 03/23/2022

DATE: 03/23/2022
ISSUED FOR: DRB

REVISION NO.	DATE

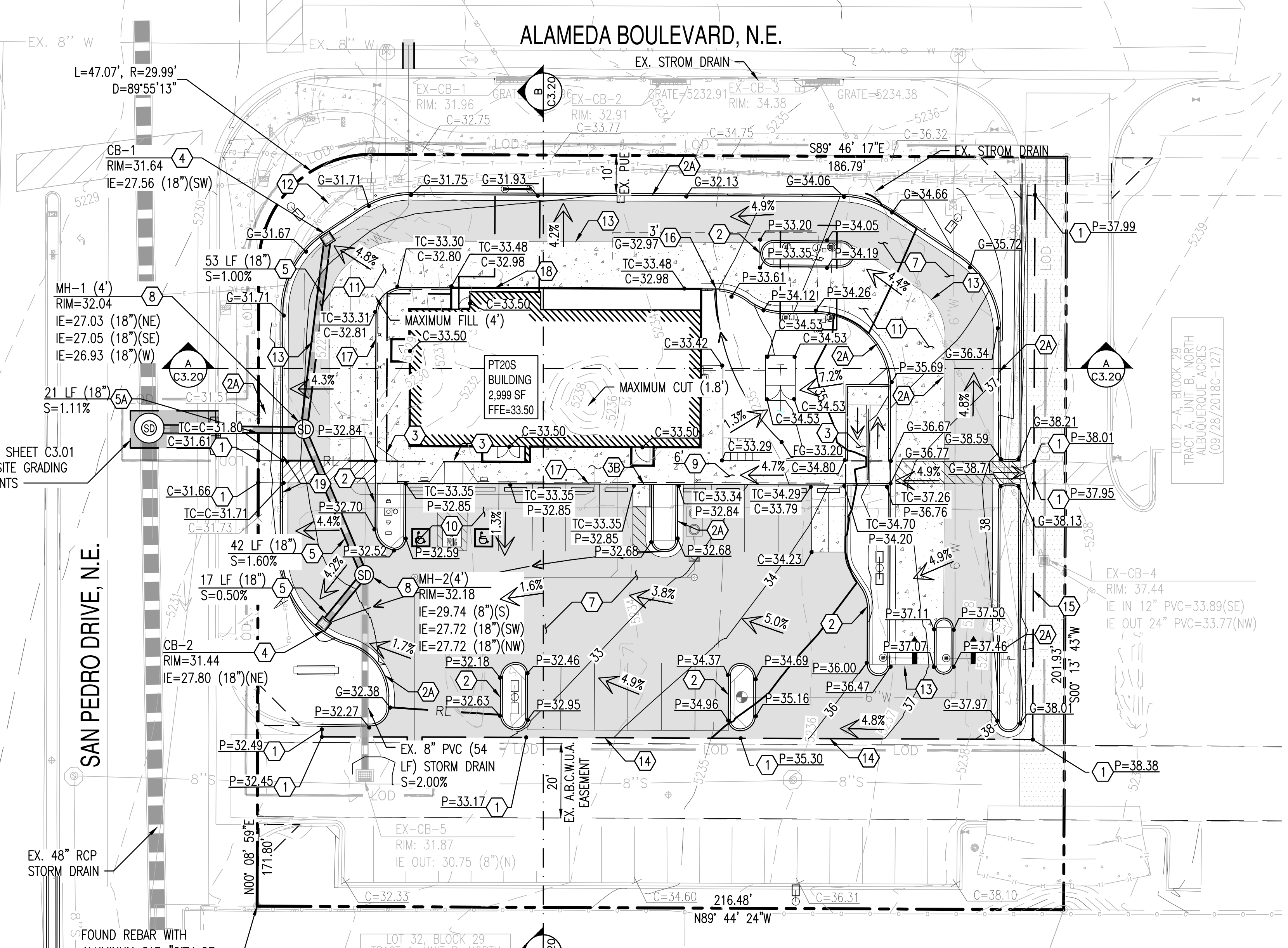
JOB NO.: 210907

SHEET TITLE: GRADING AND DRAINAGE PLAN

1 OF 5 **C3.00**

1 OF 5 **C3.00**

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- ### GRADING CONSTRUCTION KEY NOTES
- MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
 - CONSTRUCT 6" HEADER CURB PER COA STD. DET. 2415C
 - CONSTRUCT 6" VERTICAL CURB AND GUTTER PER COA STD DWG 2415-A.
 - CONSTRUCT ADA RAMP. PER SITE PLANS.
 - CONSTRUCT DELIVERY RAMP PER DET. 2/C3.10.
 - FURNISH AND INSTALL NYLOPLAST DRAIN BASIN WITH 30" RISER AND 2'X3' STEEL GRATE PER DET. 14/C3.20
 - FURNISH AND INSTALL HDPE DOUBLE WALL PIPE, CLASS 100; LENGTH, SIZE AND SLOPE PER PLAN.
 - FURNISH AND INSTALL REINFORCED CLASS III CONCRETE PIPE, LENGTH, SIZE AND SLOPE PER PLAN.
 - FURNISH AND INSTALL 30" NYLOPLAST DRAIN BASIN WITH SOLID LID. PER DET. 13/C3.12.
 - CONSTRUCT HEAVY DUTY PAVEMENT PER DETAIL 5/C3.10.
 - FURNISH AND INSTALL 4" MANHOLE PER COA DETAIL 2208.
 - CONSTRUCT CONCRETE SIDEWALK PER COA STD DWG 2430. WIDTH PER PLAN.
 - CONSTRUCT PAVEMENT WITH 2% MAXIMUM SLOPE IN ANY DIRECTION AT ACCESSIBLE PARKING STALLS AND 2% MAXIMUM CROSS SLOPE AT ADA ACCESSIBLE ROUTE.
 - CONSTRUCT CONCRETE PAVEMENT PER DETAIL 6/C3.10.
 - CAUTION! PROTECT EXISTING GAS AND POWER UTILITIES.
 - PAVING TRANSITION PER DET. 7/C3.10.
 - TRANSITION TO EXISTING PAVEMENT PER DET. 1/C3.10.
 - SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT.
 - CONSTRUCT 3' CURB OPENING. PER DET. 3/C3.10.
 - TURN DOWN SIDEWALK. PER DET. 9/C3.10.
 - TURN DOWN SIDEWALK. PER DET. 16/C3.11.
 - 5' CURB TRANSITION FROM 6" TO 0" REVEAL.

EXISTING LEGEND:

- XXXX--- EX. MAJOR CONTOURS
- XXXX--- EX. MINOR CONTOURS
- TC:XX.XX
GE:XX.XX EX. SPOT ELEVATION
- EASEMENT LINE AS NOTED
- EX. S SEWER LINE
- EX. W WATER LINE
- EX. WV WATER VALVE
- EX. FH FIRE HYDRANT
- S--- STORM DRAIN LINE
- CB STORM CATCH BASIN
- S--- STORM MANHOLE
- G--- GAS LINE
- F--- FENCE
- S--- SIGN
- S--- STREET LIGHT
- T--- TREE
- R--- ROAD CENTERLINE

PROPOSED GRADING LEGEND:

- G=XX.XX GUTTER ELEVATION, TC = G+0.5'
- P=XX.XX PAVEMENT ELEVATION
- C=XX.XX CONCRETE ELEVATION
- P--- PROPERTY LINE
- C&G--- CURB AND GUTTER
- V--- VERTICAL CURB
- RL--- RIDGELINE
- LOC--- LIMIT OF ONSITE CONSTRUCTION
- >--- FLOW ARROW
- CB--- CATCH BASIN
- S--- STORM PIPE
- SD STORM MANHOLE
- WM WATER METER
- GV GATE VALVE
- FH FIRE HYDRANT
- C--- CONCRETE PAVEMENT
- HDP--- HEAVY DUTY PAVEMENT
- S--- STORM INLET

MONUMENT "10_C18"
 STANDARD C.O.A. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,524,123.885 US SURVEY FEET
 E=1,542,565.263 US SURVEY FEET
 PUBLISHED EL=5222.09 US SURVEY FEET
 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999665042
 DELTA ALPHA ANGLE=-0°11'19.42"

A.G.R.S. MONUMENT "9_C18"
 STANDARD C.O.A. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,521,497.624 US SURVEY FEET
 E=1,542,501.428 US SURVEY FEET
 PUBLISHED EL=5232.47 US SURVEY FEET
 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999664563
 DELTA ALPHA ANGLE=-0°11'19.69"

NOTE:
 INVERT ELEVATIONS TO BE VERIFIED IN FIELD.

EXISTING CONDITIONS AND PROPOSED DEVELOPMENT:
 THE EXISTING SITE IS PARTIALLY DEVELOPED. THE SOUTHERN PORTION OF THE PROPERTY INCLUDES A PARKING LOT WITH LANDSCAPE ISLANDS WHILE THE NORTH AREA REMAINS UNDEVELOPED WITH AN EXISTING DRAINAGE POND, DIRT PILES AND STORAGE CONTAINER. DRAINAGE STRUCTURES, SEWER AND WATER LINES, AND DRY UTILITIES SUCH AS POWER, GAS AND ELECTRICITY EXIST WITHIN THE SITE. LOT ELEVATION DROP FROM 1,238' AT THE EAST PROPERTY LINE TO ABOUT 1,232' AT THE WEST PROPERTY LINE.

THE PROJECT WILL CONSIST IN THE DEMOLITION OF MOST OF THE EXISTING SOUTH PARKING LOT AND THE CONSTRUCTION OF A FAST FOOD RESTAURANT (2,999 SF) WITH A DRIVE-THRU, PARKING AREA, AND DESIGNATED LANDSCAPE.

DEVELOPER
 WHATABRANDS REAL ESTATE
 CONTACT: CINDY ESPINOZA
 300 CONCORD PLAZA DRIVE
 SAN ANTONIO, TX 78216
 PHONE: 210-476-6180
 EMAIL: CESPINOZA@WBHQ.COM

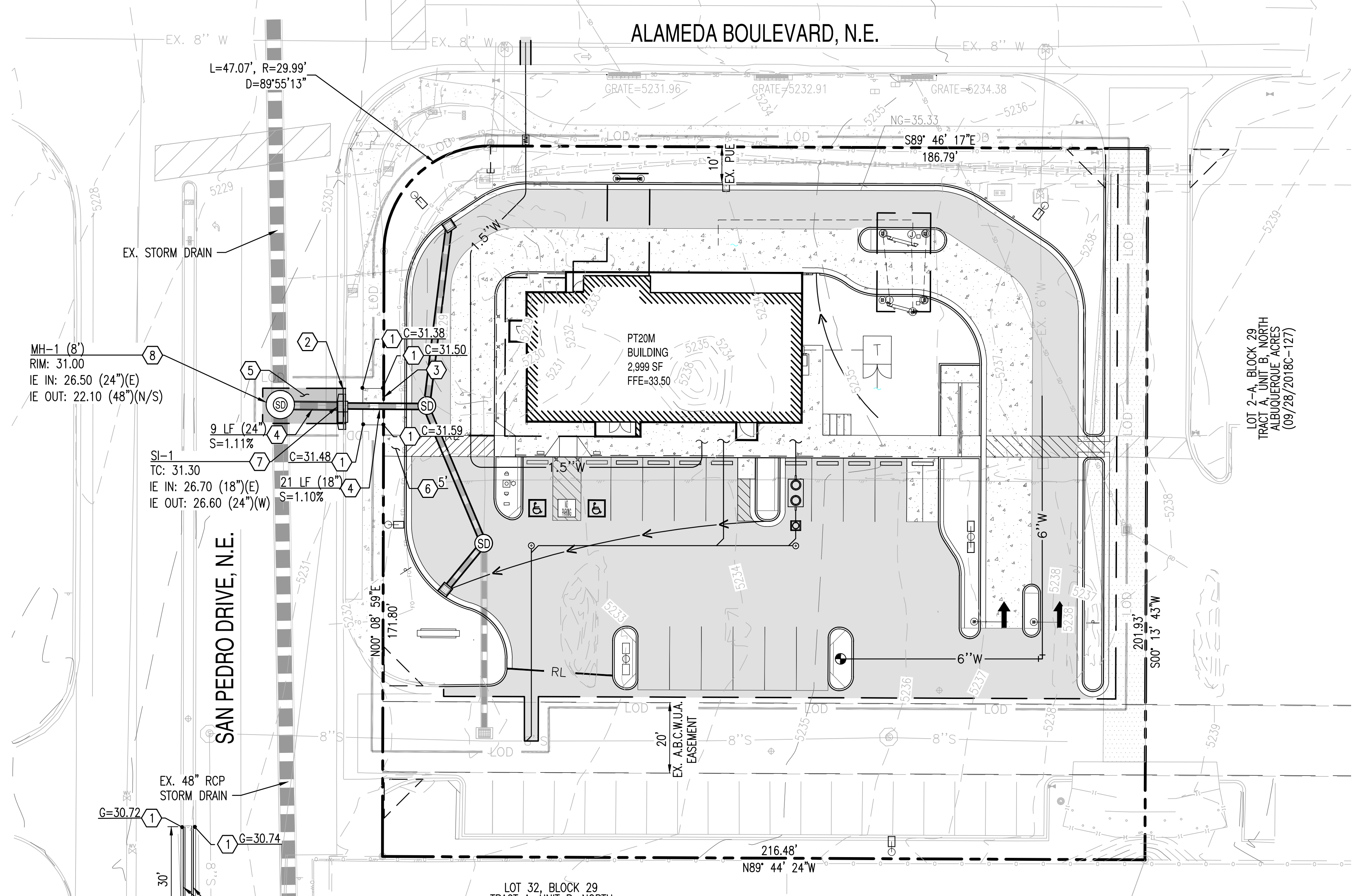
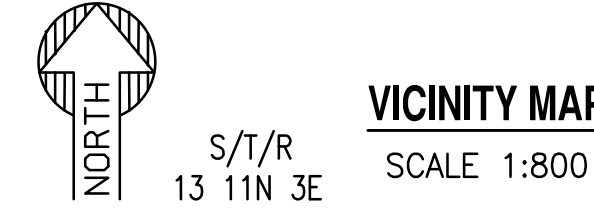
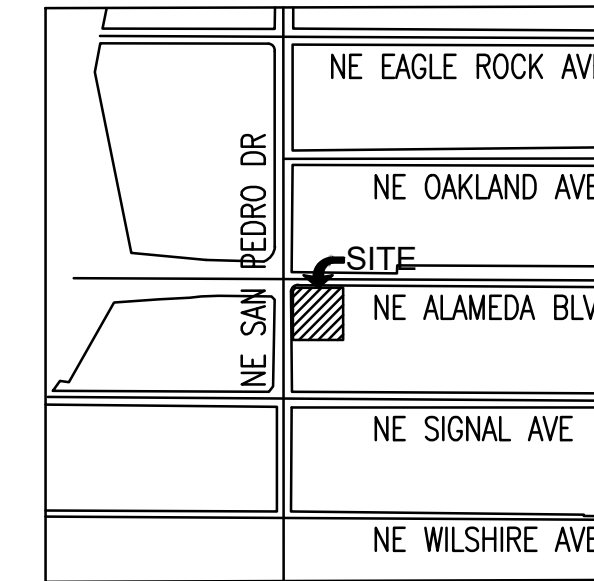
CIVIL ENGINEER
 SUSTAINABILITY ENGINEERING GROUP
 8280 E. GELDING DR, SUITE 101
 SCOTTSDALE, ARIZONA 85260
 PHONE: 480-237-2507
 ATTN: ALI FAKIH

OWNER
 GREEN JEANS WEST, LLC
 2929 MONTE VISTA NE
 ALBUQUERQUE, NM 87106

WHATABURGER

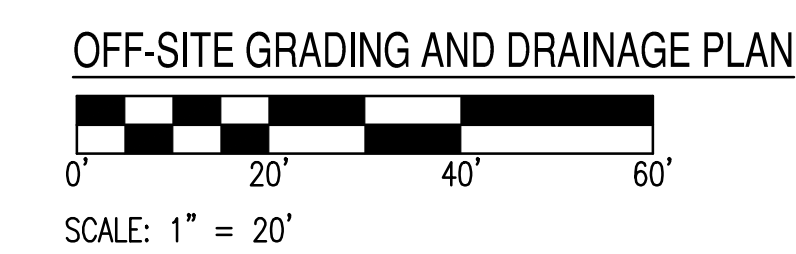
OFF-SITE GRADING AND DRAINAGE PLAN

6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM
 A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST
 BERNALILLO COUNTY, NEW MEXICO.



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- 1 MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
 - 2 REMOVE AND REPLACE 6" VERTICAL CURB AND GUTTER PER COA STD DWG 2415-A.
 - 3 REMOVE AND REPLACE EXISTING SIDEWALK AS REQUIRED FOR UTILITY CONSTRUCTION. REMOVE TO NEAREST JOINT.
 - 4 FURNISH AND INSTALL REINFORCED CLASS III CONCRETE PIPE, LENGTH, SIZE AND SLOPE PER PLAN.
 - 5 SAWCUT, REMOVE AND REPLACE ASPHALT AS NEEDED. PAVEMENT TO MATCH EXISTING SECTION.
 - 6 CONSTRUCT CONCRETE SIDEWALK PER COA STD DWG 2430. WIDTH PER PLAN.
 - 7 INSTALL PUBLIC STORM INLET TYPE DBL A-SGL WING. PER COA STD. DWG 2201.
 - 8 PUBLIC 8" DIA MANHOLE
 - 9 CONSTRUCT MOUNTABLE MEDIAN CURB PER COA STD. DWG 2415A.

NOTE:
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- PROPERTY LINE
- CURB AND GUTTER
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- RL RIDGELINE
- LOC LIMIT OF ONSITE CONSTRUCTION
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- WM WATER METER
- GATE VALVE
- FIRE HYDRANT
- CONCRETE PAVEMENT
- HEAVY DUTY PAVEMENT
- STORM INLET

CONSULTANTS

BENCH MARKS

SEG SUSTAINABILITY ENGINEERING GROUP

8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
 WWW.AZSEG.COM TEL: 480.588.7226 FAX: 480.298.3634

ALI FAKIH
 NEW MEXICO
 24006
 PROFESSIONAL ENGINEER

EXPIRATION DATE: 12-31-2022
 SIGNATURE DATE: 03-29-2022

NO.	DATE	DESCRIPTION	BY
		AS-BUILT INFORMATION <td> </td>	
		CONTRACTOR <td> </td>	
		WORK STAKED BY: <td> </td>	
		INSPECTOR'S ACCEPTANCE BY: <td> </td>	
		FIELD VERIFICATION BY: <td> </td>	
		DRAWINGS CORRECTED BY: <td> </td>	
		DESIGNED BY: SO <td> </td>	
		DRAWN BY: ER <td> </td>	
		CHECKED BY: SC <td> </td>	
		DATE: 03/2022 <td> </td>	

811
 CALL NM ONE-CALL
 SYSTEM SEVEN (7) DAYS
 PRIOR TO ANY EXCAVATION

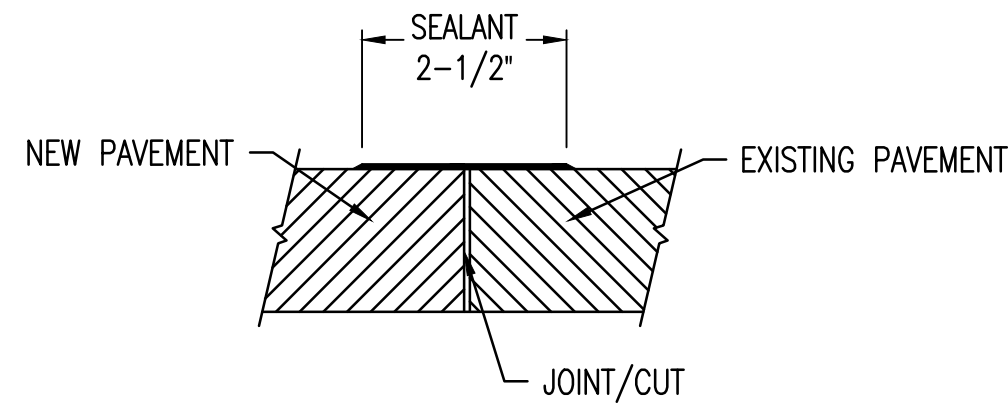
CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 ENGINEERING DIVISION

OFF-SITE GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. Z-99
		CITY PROJECT NO. 00000
		SHEET NO. C3.01

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 SAVED BY: LOUIS PRIETO DATE: 3/22/2022

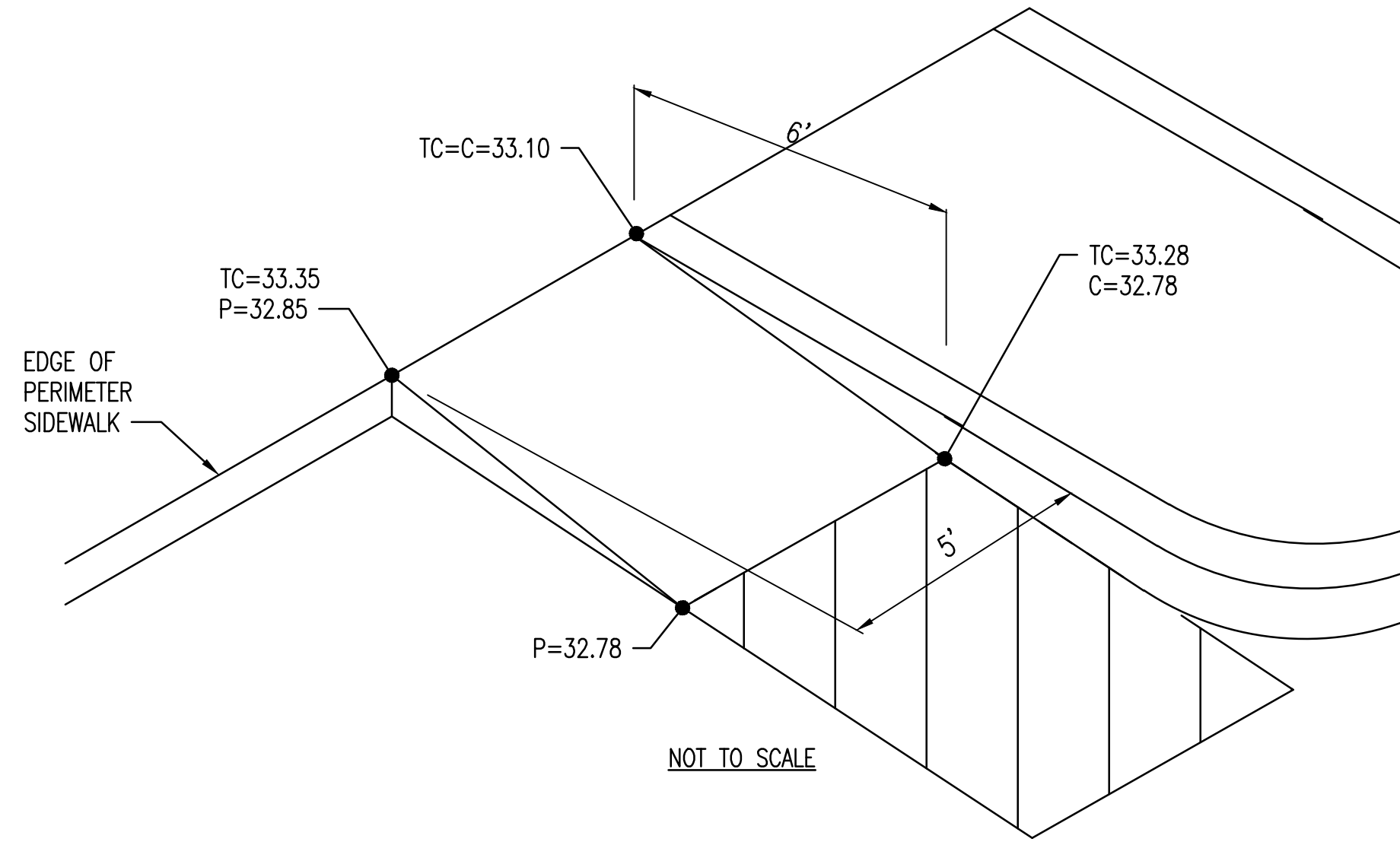
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TRANSITION TO EXISTING PAVEMENT



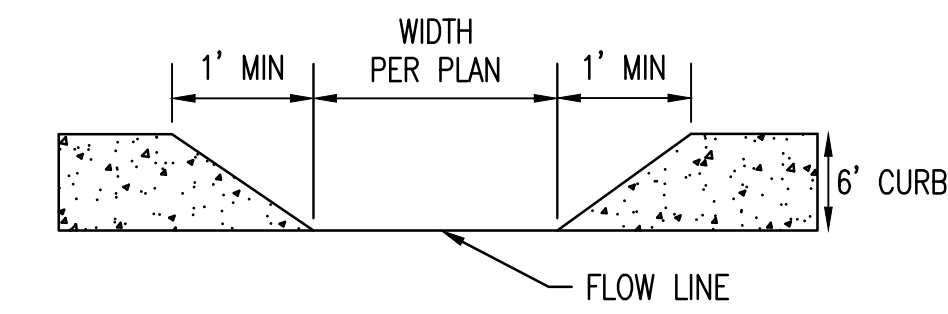
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DELIVERY RAMP



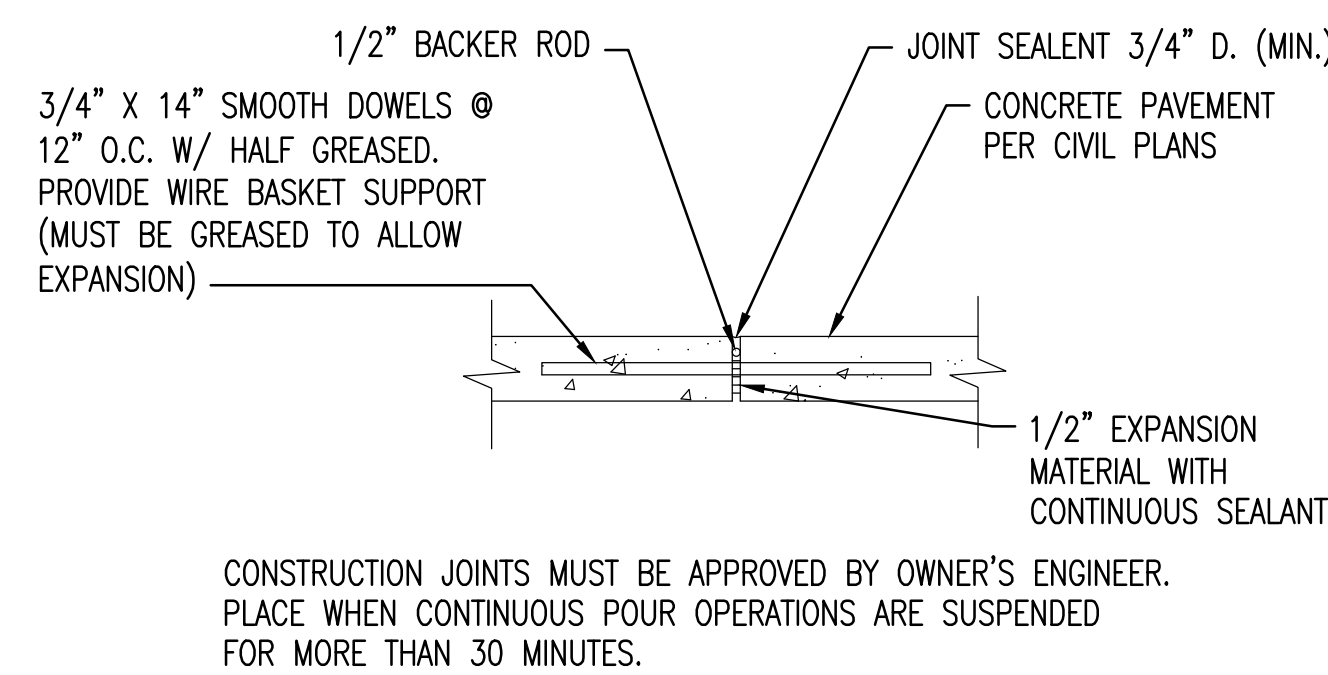
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CURB OPENING



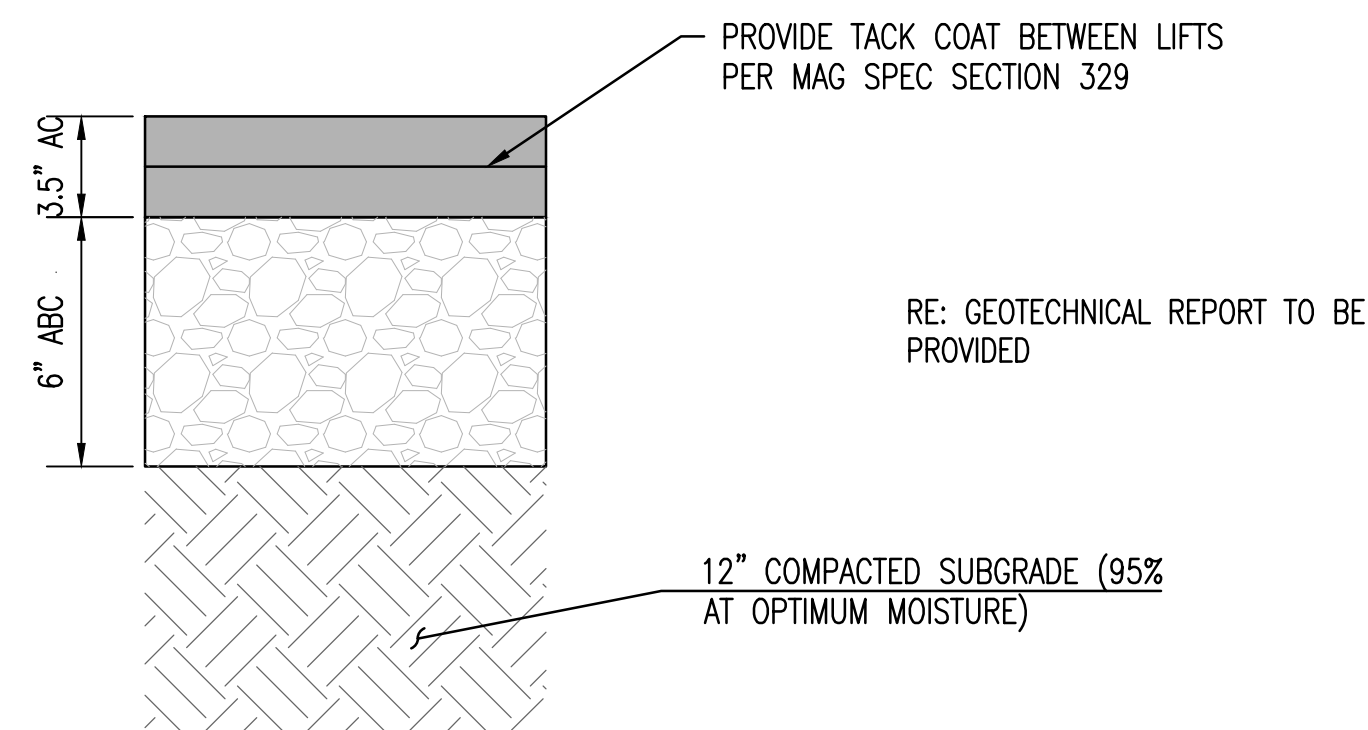
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CONSTRUCTION JOINT



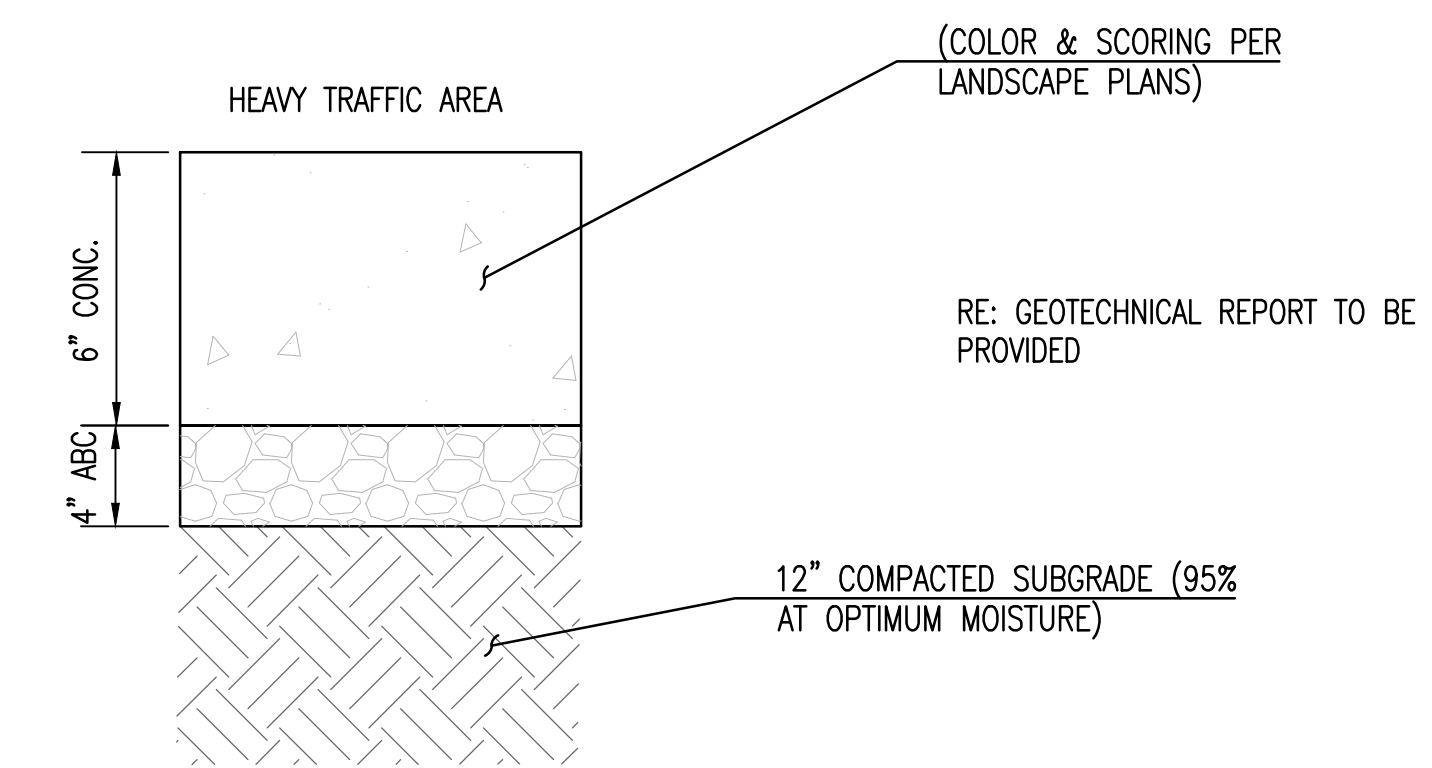
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ASPHALT PAVEMENT SECTION



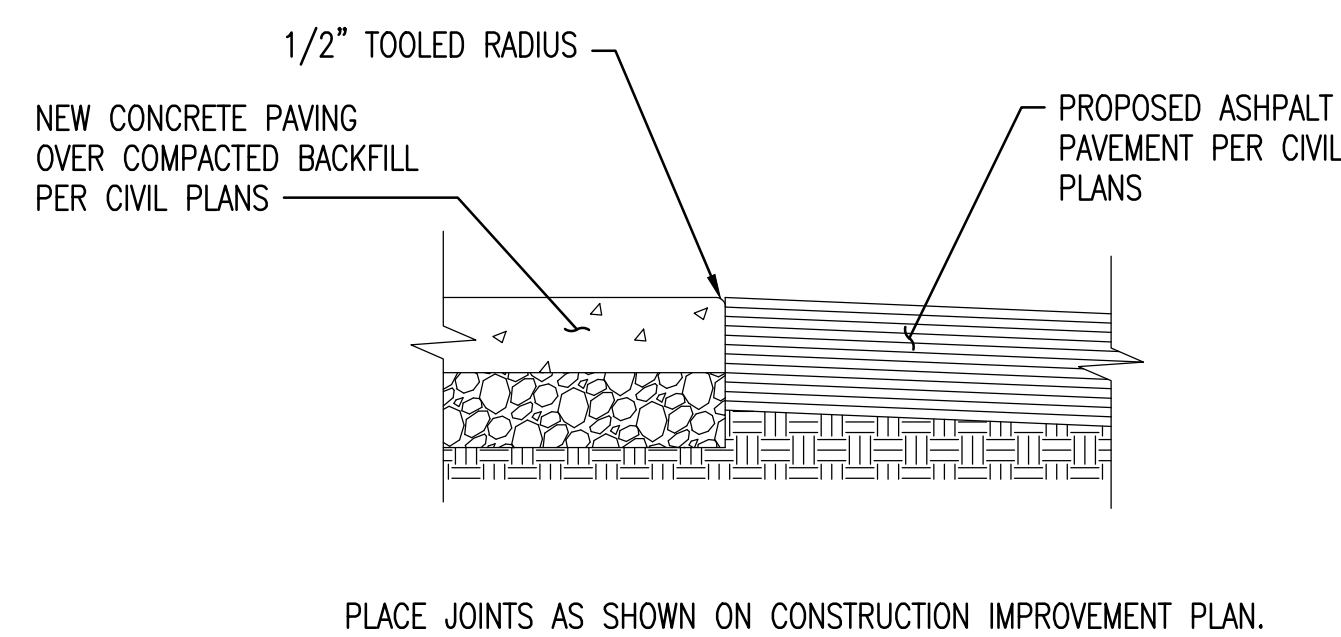
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CONCRETE PAVEMENT SECTION



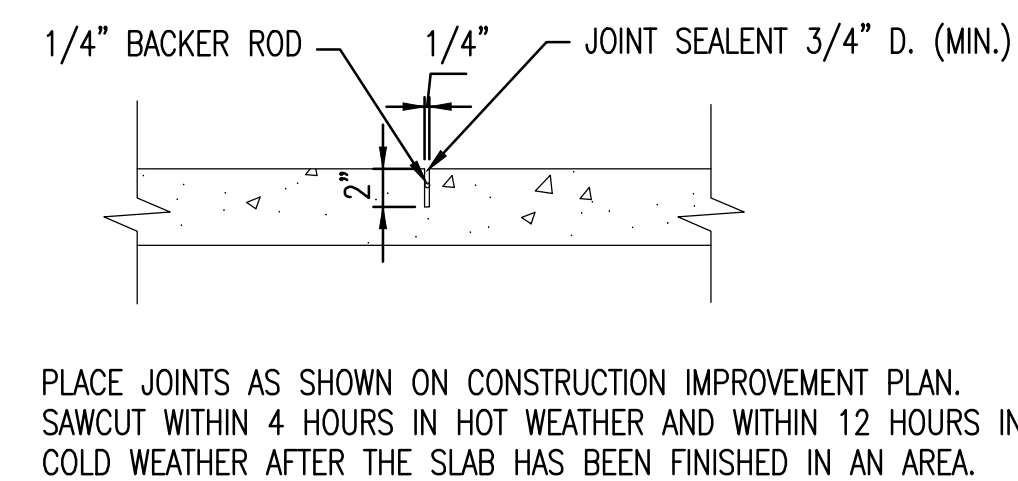
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PAVING TRANSITION



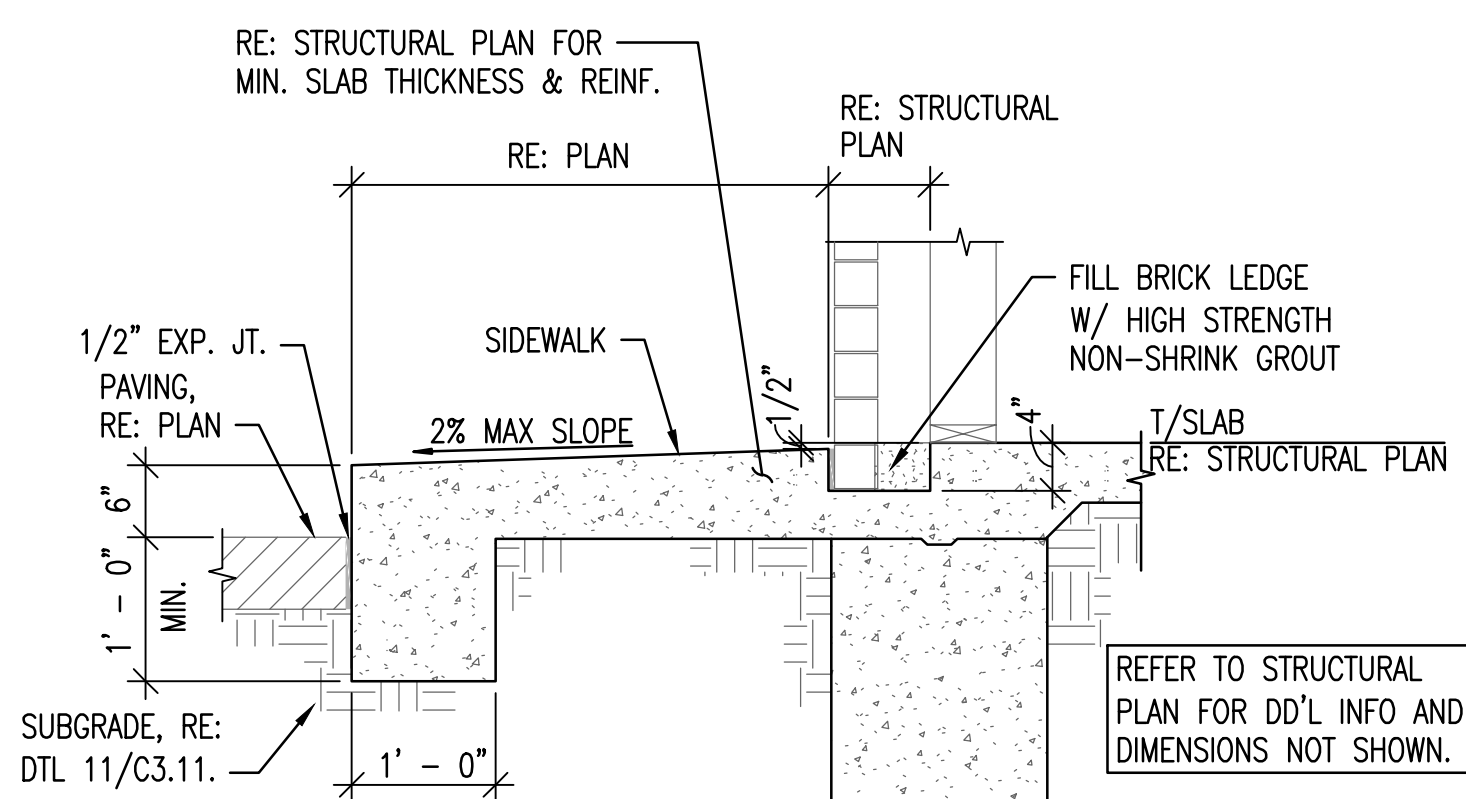
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CONTROL JOINT



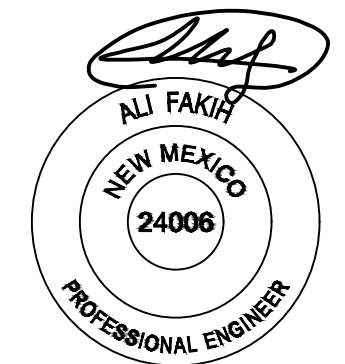
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TURNDOWN SIDEWALK - TYPE 1



9



EXPIRATION DATE: 12-31-2022
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SUSTAINABILITY
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CALL NM ONE-CALL
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PRIOR TO ANY EXCAVATION

PROJECT: WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE
LOCATION: 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM

DRAWN: GA 01/27/2022
DESIGNED: LP 01/27/2022
QC: _____
FINAL QC: _____
PROJ. MGR: AF 03/23/2022

DATE: 03/23/2022
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REVISION NO.: _____ DATE: _____

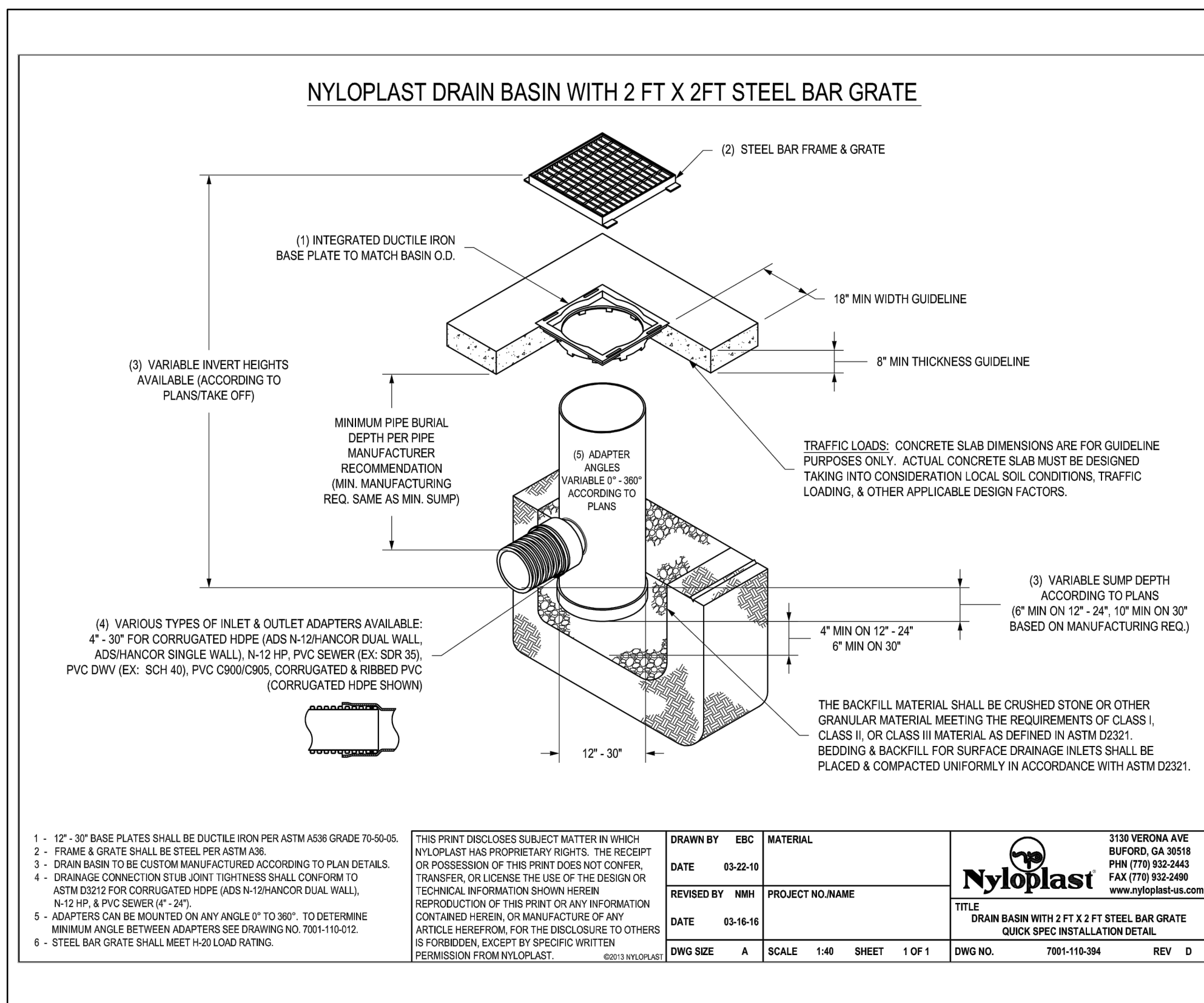
JOB NO.: 210907

SHEET TITLE:

GRADING AND
DRAINAGE DETAILS

PAGE NO.: 3 OF 5
SHEET NO.: C3.10

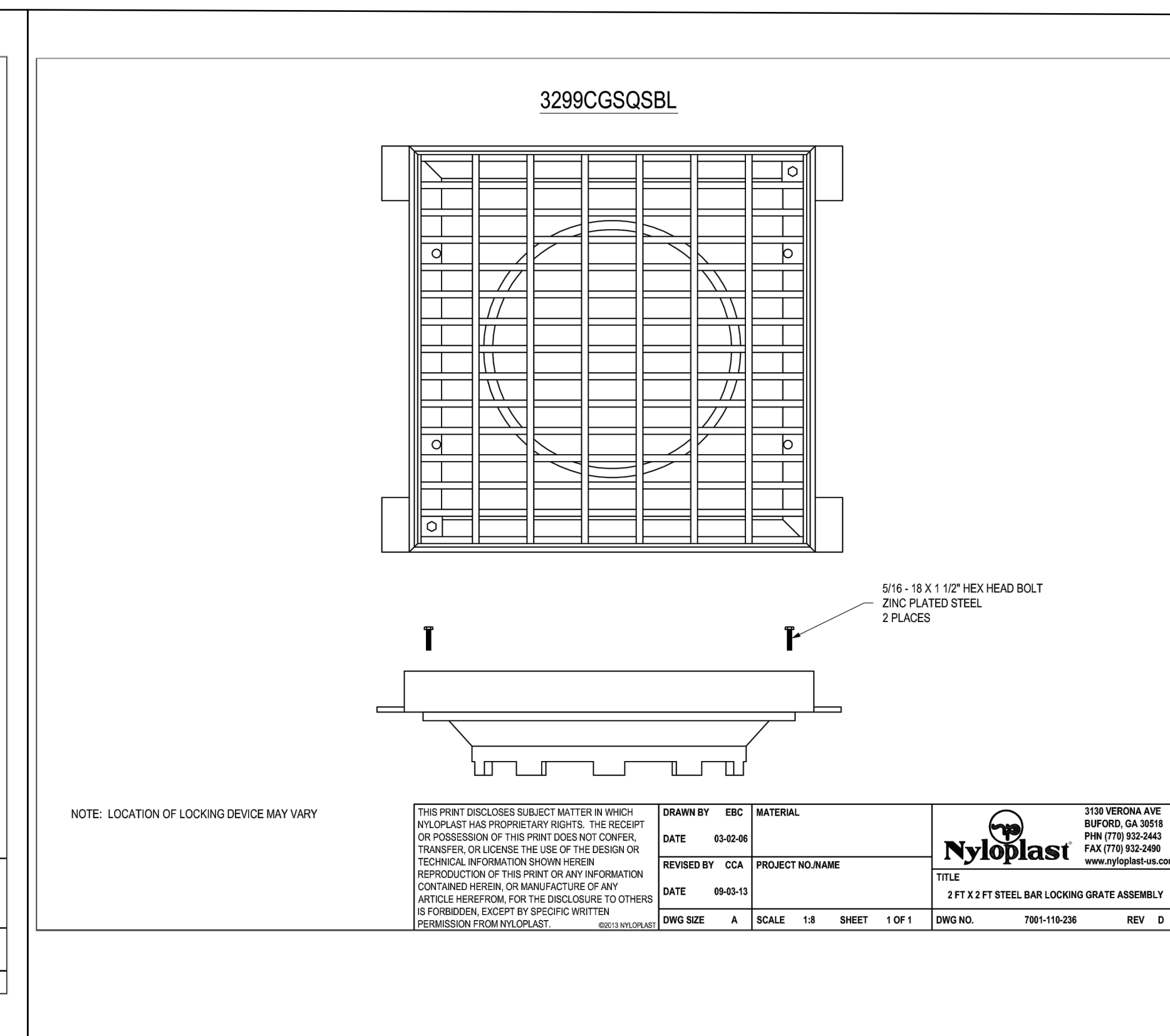
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NYLOPLAST DRAIN BASIN



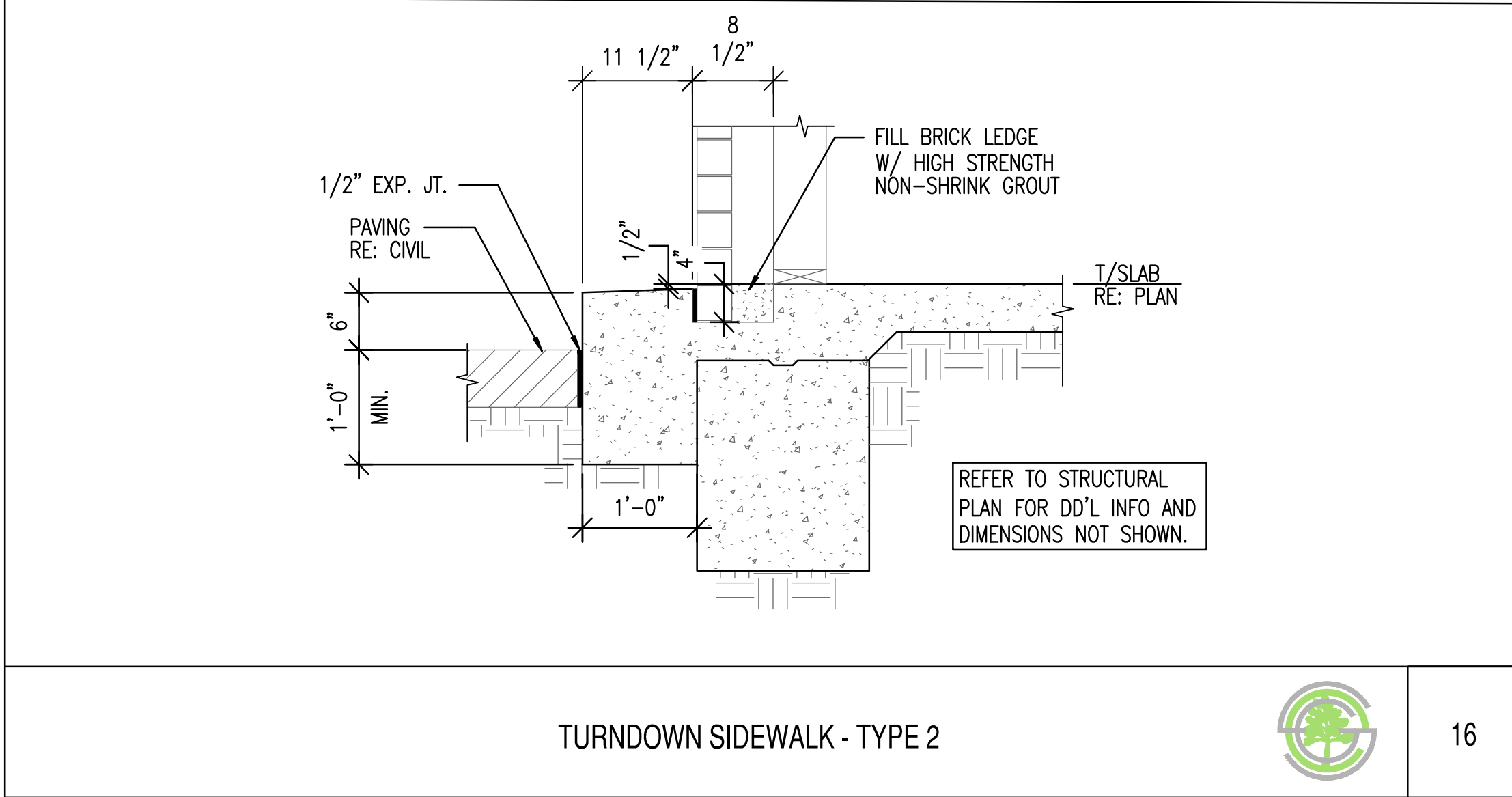
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NYLOPLAST GRATE



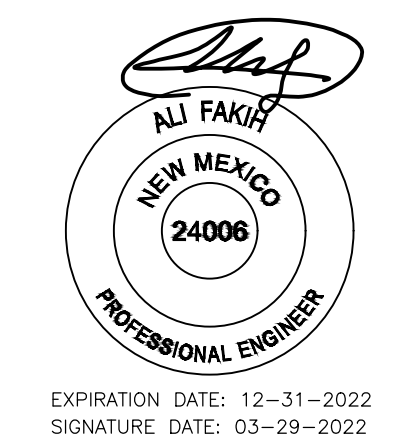
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TURNDOWN SIDEWALK - TYPE 2



16



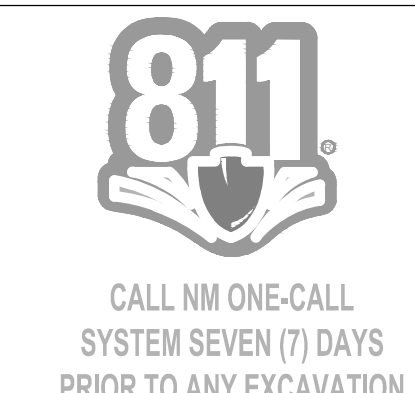
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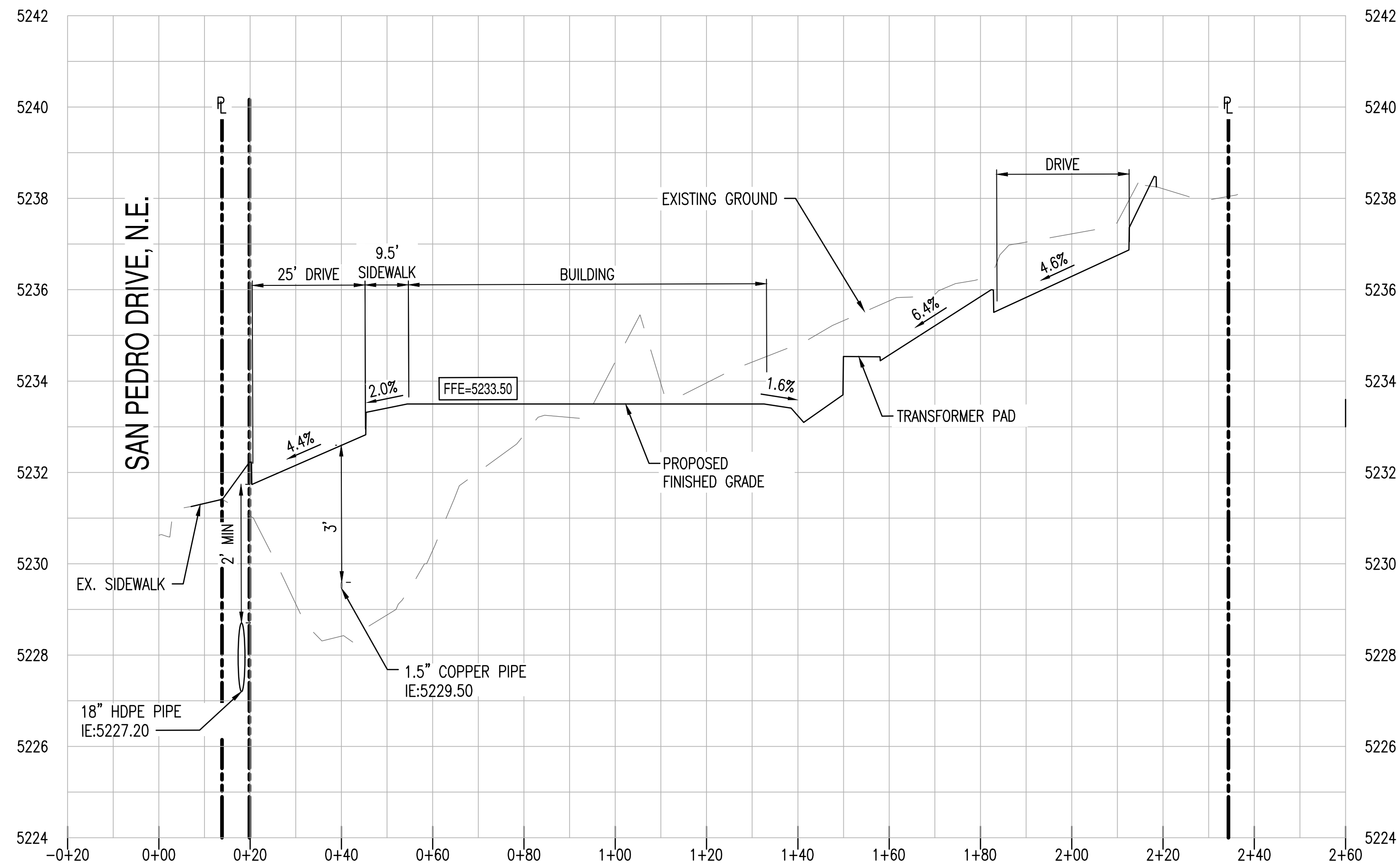
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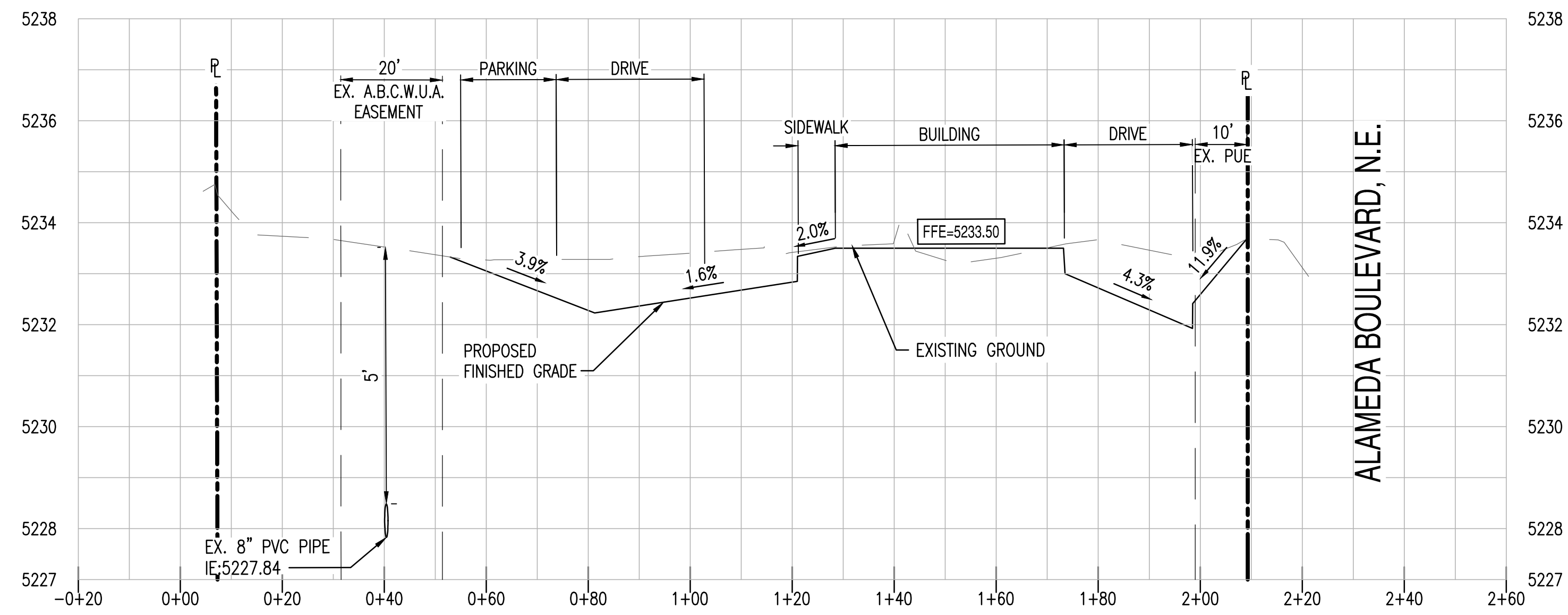
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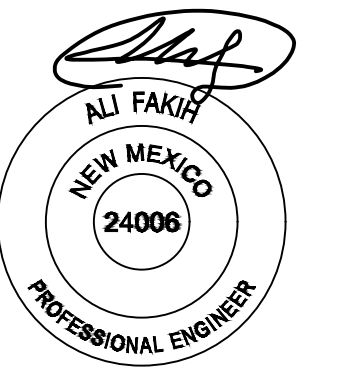
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SECTION A-A C3.00
 HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 2'



SECTION B-B C3.00
 HORIZONTAL SCALE: 1" = 20'
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SUSTAINABILITY
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SEG



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SHEET TITLE: SITE CROSS SECTIONS

PAGE NO.: 5 OF 5
 SHEET NO.: C3.20

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 ALBUQUERQUE, NM 87106

WHATABURGER

PRELIMINARY UTILITY PLAN

6100 NE ALAMEDA BLVD, ALBUQUERQUE, NM
 A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3
 EAST, BERNALILLO COUNTY, NEW MEXICO.

ALLI FAKIH
 NEW MEXICO
 24006
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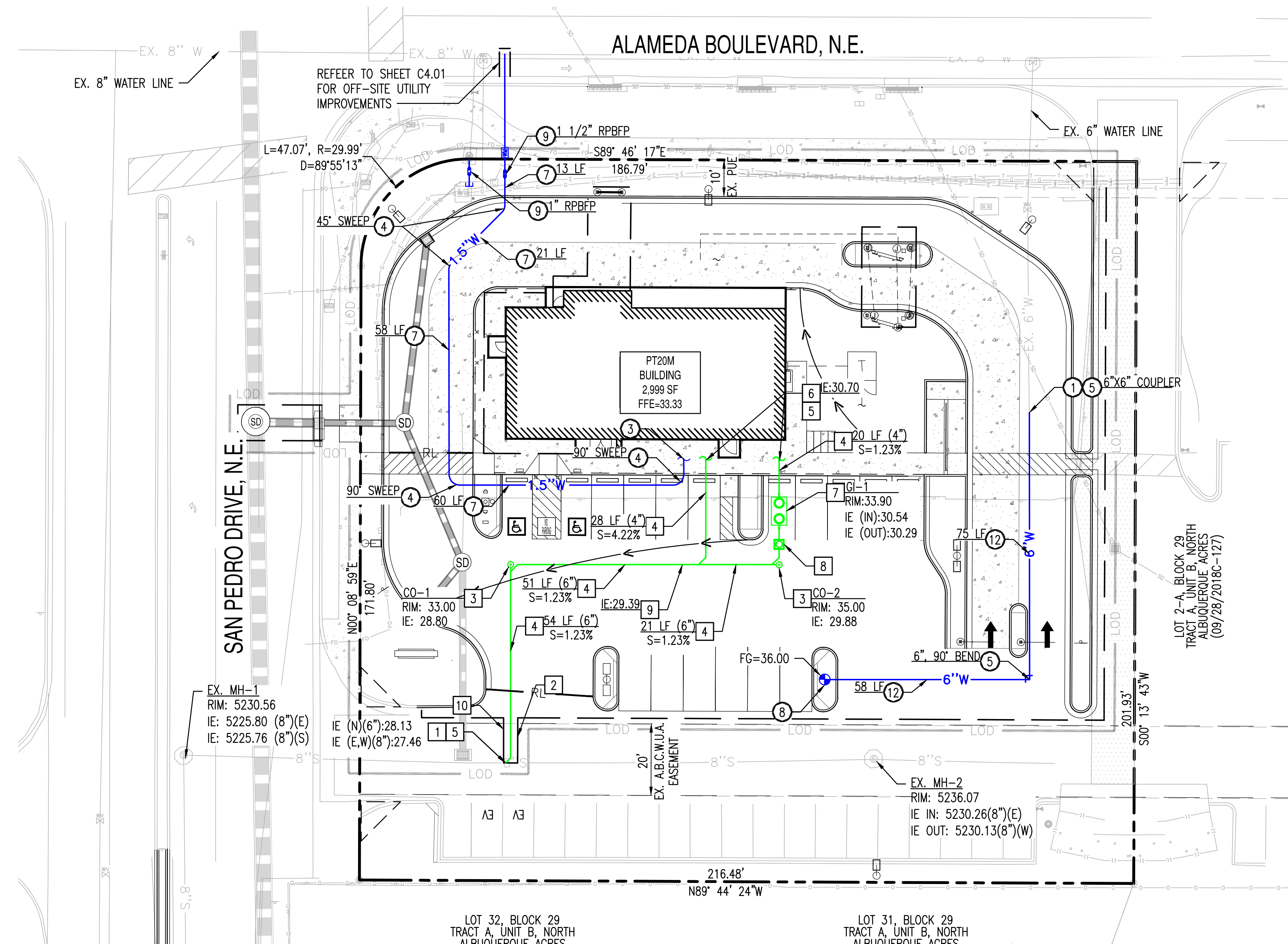
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REVISION NO.: _____ **DATE:** _____

JOB NO.: 210907

SHEET TITLE: PRELIMINARY UTILITY PLAN

PAGE NO.: 1 OF 2 **SHEET NO.:** C4.00



PRELIMINARY WATER CONSTRUCTION KEY NOTES

- 1 CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO CONSTRUCTION.
- 2 SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT.
- 3 DOMESTIC CONNECTION TO BUILDING, REFER MEP PLAN FOR CONTINUATION.
- 4 TYPE "K" COPPER SWEEP, SIZE TO MATCH WATER LINE.
- 5 FITTING, SIZE & ANGLE PER PLAN.
- 6 WATER METER, SIZE PER PLAN.
- 7 TYPE "K" 1 1/2" COPPER DOMESTIC SERVICE CONNECTION, LENGTH PER PLAN.
- 8 RELOCATED FIRE HYDRANT.
- 9 BACKFLOW PREVENTION, SIZE PER PLAN.
- 12 6" DUCTILE IRON PIPE, CLASS 350, CEMENT MORTAR LINED, MAINTAIN 3' MINIMUM COVER. LENGTH PER PLAN.

PRELIMINARY SEWER CONSTRUCTION KEY NOTES

- 1 CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING SANITARY SEWER LINE BEFORE PROCEEDING WITH TRENCHING. CONTRACTOR SHALL CONTACT ENGINEER IF EXISTING SEWER ELEVATION IS HIGHER THAN PROPOSED TIE-IN INVERT PRIOR TO ANY CONSTRUCTION ACTIVITY.
- 2 CONTRACTOR SHALL VERIFY ALL INVERTS AND CLEARANCE OF CROSSING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- 3 SEWER CLEAN-OUT PER MAG STD. DET. 441.
- 4 PVC SDR-35 SEWER LINE. S= 2.00% MINIMUM. SIZE, LENGTH AND SLOPE PER PLAN. MAINTAIN 4' MINIMUM COVER.
- 5 REFER TO MEP PLANS FOR CONTINUATION.
- 6 PLUG AND MARKER FOR SEWER STUB PER MAG STD. DET. 427.
- 7 GREASE INTERCEPTOR. PER BUILDING PLUMBING PLANS.
- 8 SAMPLE WELL.
- 9 WYE. MATCH SIZE WITH PLAN.
- 10 SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT.

PROPOSED UTILITY LEGEND:

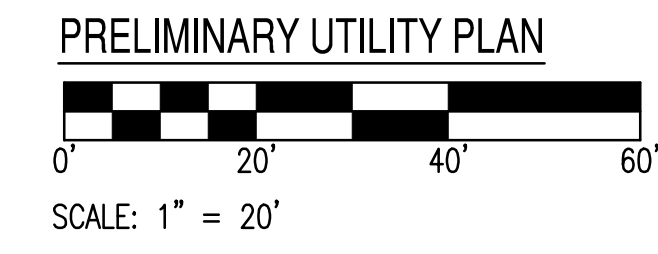
- PROPERTY LINE
- EASEMENT LINE
- 8"W WATER LINE
- 8"S SEWER LINE
- FIRE HYDRANT
- FDC
- WATER METER
- BACK FLOW PREVENTER
- CAP
- BUILDING CONNECTION
- SEWER CLEAN OUT

EXISTING LEGEND:

- CENTERLINE
- EASEMENT LINE AS NOTED
- CHAINLINK FENCE
- TREE
- EX. S SEWER LINE
- SEWER MANHOLE
- EX. W WATER LINE
- WATER VALVE
- FIRE HYDRANT
- STORM DRAIN LINE
- CB STORM CATCH BASIN
- STORM MANHOLE
- GAS GAS LINE
- IRR IRRIGATION LINE
- SIGN
- STREET LIGHT
- FO FIBER OPTIC LINE

MONUMENT "10_C18"
 STANDAR C.O.A. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,524,123.885 US SURVEY FEET
 E= 1,542,565.263 US SURVEY FEET
 PUBLISHED EL=5222.09 US SURVEY FEET
 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999665042
 DELTA ALPHA ANGLE=-0°11'19.42"

A.G.R.S. MONUMENT "9_C18"
 STANDAR C.O.A. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,521,497.624 US SURVEY FEET
 E= 1,542,501.428 US SURVEY FEET
 PUBLISHED EL=5232.47 US SURVEY FEET
 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999664563
 DELTA ALPHA ANGLE=-0°11'19.69"



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DEVELOPER
 WHATABRANDS REAL ESTATE
 CONTACT: CINDY ESPINOZA
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 PHONE: 210-476-6180
 EMAIL: CESPINOZA@WBHQ.COM

CIVIL ENGINEER
 SUSTAINABILITY ENGINEERING GROUP
 8280 E. GELDING DR, SUITE 101
 SCOTTSDALE, ARIZONA 85260
 PHONE: 480-237-2507
 ATTN: ALI FAKIH

OWNER
 GREEN JEANS WEST, LLC
 2929 MONTE VISTA NE
 ALBUQUERQUE, NM 87106

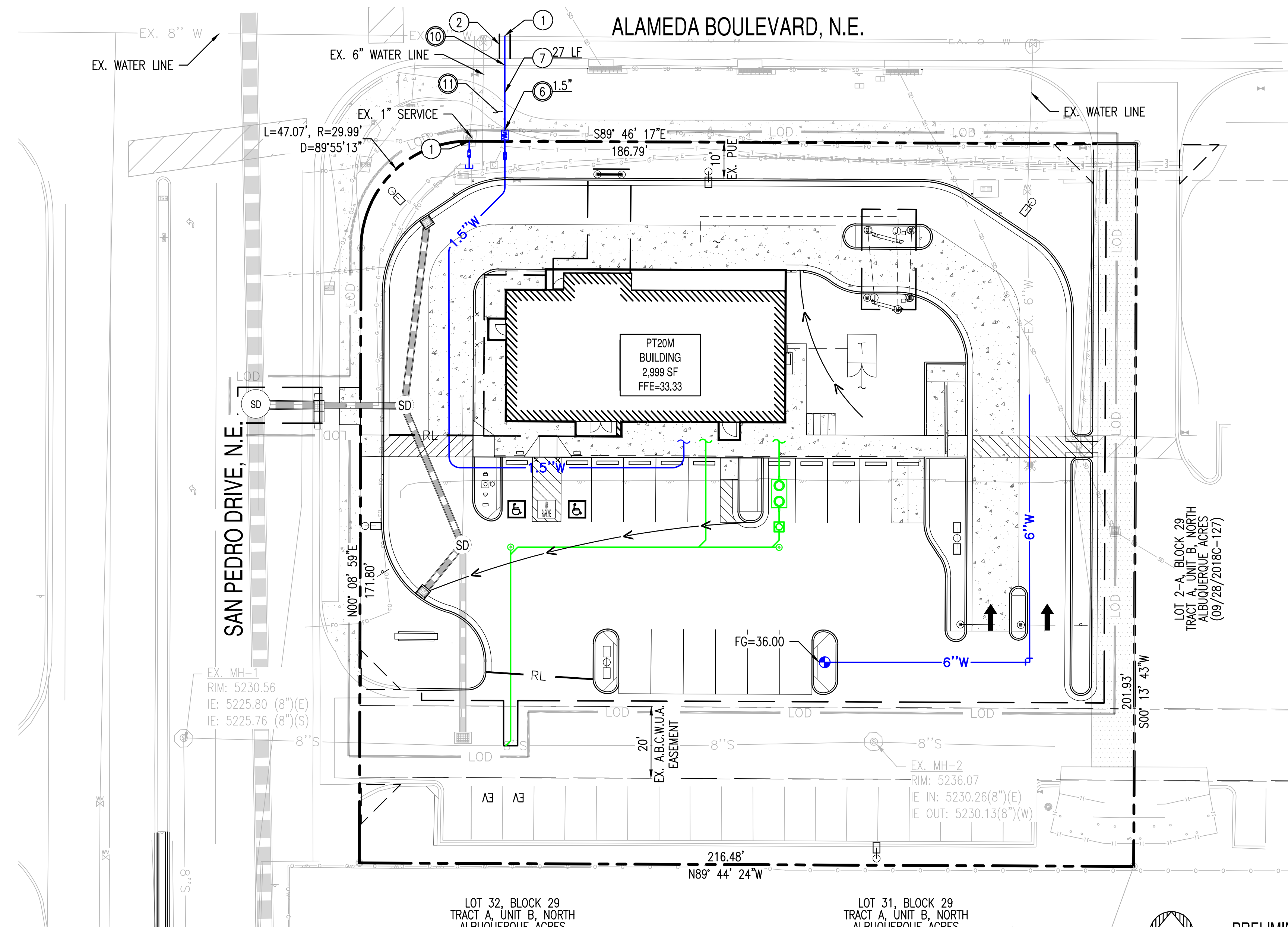
WHATABURGER

PRELIMINARY OFF-SITE UTILITY PLAN

6100 NE ALAMEDA BLVD, ALBUQUERQUE, NM
 A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3
 EAST, BERNALILLO COUNTY, NEW MEXICO.

SE
 CONSULTANTS

VICINITY MAP
 SCALE 1:800
 S/T/R 13 11N 3E



- PRELIMINARY WATER CONSTRUCTION KEY NOTES**
- CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO CONSTRUCTION.
 - SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT.
 - WATER METER, SIZE PER PLAN.
 - TYPE "K" 1 1/2" COPPER DOMESTIC SERVICE CONNECTION, LENGTH PER PLAN.
 - REMOVE AND REPLACE EXISTING VERTICAL CURB AND GUTTER.
 - REMOVE AND REPLACE EXISTING SIDEWALK.

MONUMENT "10_C18"
 STANDAR C.O.A. ALUMINUM DISC
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PRELIMINARY OFF-SITE UTILITY PLAN
 SCALE: 1" = 20'

PROPOSED UTILITY LEGEND:

- PROPERTY LINE
- EASEMENT LINE
- 8" W WATER LINE
- 8" S SEWER LINE

EXISTING LEGEND:

- CENTERLINE
- EASEMENT LINE AS NOTED
- CHAINLINK FENCE
- TREE
- EX. S SEWER LINE
- SEWER MANHOLE
- EX. W WATER LINE
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- IRR IRRIGATION LINE
- SIGN
- STREET LIGHT
- FO FIBER OPTIC LINE

CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 ENGINEERING DIVISION

PRELIMINARY OFF-SITE UTILITY PLAN

DESIGNED BY: SO	DRAWN BY: ER	CHECKED BY: SC	DATE: 03/2022
NO. DATE	DESCRIPTION	CONTRACTOR	BY
AS-BUILT INFORMATION			
WORK STAKED BY:	INSPECTOR'S ACCEPTANCE BY:	DATE:	DATE:
FIELD VERIFICATION BY:	DRAWINGS CORRECTED BY:	DATE:	DATE:

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL ZONE MAP NO. **Z-99**
 CITY PROJECT NO. **000000**
 SHEET NO. **C4.01**

LOCATION: Z:\SHARED\PROJECTS\WHATABURGER\ALBUQUERQUE, NM - SVC ALAMEDA BLVD & SAN PEDRO AVE - 210907\11 CAD (SEG)\11.4 CD\S\CD210907-C4.00-C4-01.DWG
 DATE: 3/22/2022
 SAVED BY: PAOLA GONZALEZ

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