



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>Administrative Decisions</b>	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<b>Policy Decisions</b>
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input checked="" type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
<b>Decisions Requiring a Public Meeting or Hearing</b>	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	<b>Appeals</b>
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

<b>APPLICATION INFORMATION</b>		
Applicant: V MOD LLC / ADIL & HUMA RIZVI	Phone:	
Address: 11010 RANCHITOS RD NE / 7515 TREVISO CT NE	Email:	
City: ALBUQUERQUE	State: NM	Zip: 87113
Professional/Agent (if any): ARCH + PLAN LAND USE CONSULTANTS	Phone: 505-980-8365	
Address: P.O. BOX 25911	Email: arch.plan@comcast.net	
City: ALBUQUERQUE	State: NM	Zip: 87125
Proprietary Interest in Site: OWNERS	List all owners:	

<b>BRIEF DESCRIPTION OF REQUEST</b>
LOT LINE REALIGNMENT
7 LOTS TO 5 LOTS

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: 1 THRU 6 & LOT 29	Block: 29	Unit: B
Subdivision/Addition: NORTH ALBUQUERQUE ACRES	MRGCD Map No.:	UPC Code: * See reverse side
Zone Atlas Page(s): C-18	Existing Zoning: NR-BP	Proposed Zoning: N/A
# of Existing Lots: 7	# of Proposed Lots: 4	Total Area of Site (acres): 56±

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: ALAMEDA BLVD	Between: SAN PEDRO DR	and: LOUISIANA BLVD

<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>		
1000682		

Signature: <i>Derrick Archuleta</i>	Date: 7.17.18
Printed Name: DERRICK ARCHULETA	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

<b>FOR OFFICIAL USE ONLY</b>		
Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:	Fee Total:	
Staff Signature:	Date:	Project #

**FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS**

*Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.*

*A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.*

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

**INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS**

- Interpreter Needed for Hearing?  if yes, indicate language: \_\_\_\_\_
- Zone Atlas map with the entire site clearly outlined and labeled

**SKETCH PLAT REVIEW AND COMMENT**

- Scale drawing of the proposed subdivision plat (7 copies, folded)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded)
- Letter describing, explaining, and justifying the request

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

- Proposed Final Plat (7 copies, 24" x 36" folded)
- Design elevations & cross sections of perimeter walls (3 copies)
- Copy of recorded IIA
- DXF file and hard copy of final plat data for AGIS submitted and approved
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer


**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL**

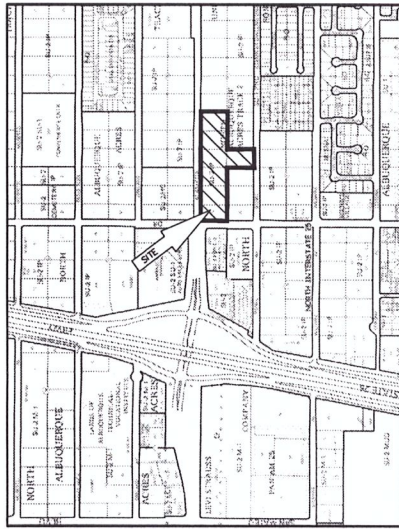
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal. (7 copies, folded)
- Cross sections of proposed streets (3 copies, 11" by 17" maximum)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
- Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- Proposed Infrastructure List, if applicable
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- DXF file and hard copy of final plat data for AGIS submitted and approved

**MINOR AMENDMENT TO PRELIMINARY PLAT**

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- Infrastructure List, if applicable
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)

**Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.**

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: <i>Derrick Archuleta</i></p>	<p>Date: <i>7/17/18</i></p>
<p>Printed Name: <i>DERRICK ARCHULETA</i></p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p><b>FOR OFFICIAL USE ONLY</b></p>	
<p>Project Number:</p>	<p>Case Numbers</p>
<p> </p>	<p style="text-align: center;">-</p>
<p> </p>	<p style="text-align: center;">-</p>
<p> </p>	<p style="text-align: center;">-</p>
<p>Staff Signature:</p>	
<p>Date:</p>	



VICINITY MAP NO. C-18-Z

**PURPOSE OF PLAT.**  
 THE PURPOSE OF THIS PLAT IS TO REALIGN THE LOT LINES BETWEEN LOTS ONE (1) THRU SIX (6) INCLUSIVE AND LOT 29, BLOCK 29, NORTH ALBUQUERQUE ACRES AND GRANT ANY EASEMENTS AS SHOWN.

- GENERAL NOTES.**
- UNLESS OTHERWISE NOTED, NO. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
  - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
  - TOTAL AREA OF PROPERTY: 5.6058 ACRES.
  - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL.
  - DISTANCES ARE GROUND, BEARINGS ARE GRID.
  - BEARINGS AND DISTANCES SHOWN IN PARENTHESES ( ) ARE RECORD BASED ON WARRANTY DEED, BEARINGS AND DISTANCES SHOWN IN BRACKETS [ ] ARE RECORD BASED ON PLAT OF RECORD.
  - DATE OF FIELD WORK: APRIL 17, 2018
  - NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT
  - PLATS USED TO ESTABLISH BOUNDARY.  
 A: FILED APRIL 24, 1936 IN PLAT BOOK D, FOLIO 130  
 B: WARRANTY DEED  
 FILED AUGUST 5, 2013 AS DOCUMENT NO. 213087104  
 10: THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FEMA ZONE X, WHICH IS NOT CONSIDERED TO BE WITHIN THE 100 YEAR FLOOD PLAIN FIRM PANEL NO. 3500101037H, DATED 8/16/2012.

**LEGAL DESCRIPTION**

A CERTAIN TRACT OF LAND BEING THE REMAINING PORTIONS OF LOTS NUMBERED ONE (1), TWO (2) AND THREE (3) AND ALL OF LOTS NUMBERED FOUR (4), FIVE (5), SIX (6) AND SEVEN (7) IN BLOCK NUMBERED TWENTY-NINE (29) OF TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936 IN VOLUME D, FOLIO 130, ALL OF WHICH ARE HEREBY REFERRED TO AS THE "PREVIOUS PLAT". THE PROPERTY DESCRIBED IN THE NORTHERLY LINE OF SIGNAL AVENUE, BEING THE SOUTHWEST CORNER OF SAID LOT 29, WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT "9-C18" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) N=1,521,497.624 AND E=1,542,501.428 BEARS S. 41 DEG. 47' 34" W., A DISTANCE OF 785.68 FEET RUNNING THE NORTHWEST CORNER OF SAID LOT 29; THENCE N. 89 DEG. 44' 24" W., A DISTANCE OF 444.81 FEET TO THE SOUTHWEST CORNER AND BEING A POINT ON THE EASTERLY LINE OF SAID PEDRO DRIVE, A DISTANCE OF 99 FEET FROM THE EASTERLY LINE OF SAID PEDRO DRIVE, A DISTANCE OF 30.00 FEET TO THE SOUTHWEST CORNER, CONTINUING ALONG THE EASTERLY LINE OF SAID PEDRO DRIVE, 47.08 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 89 DEG. 54' 53" AND HAVING A CHORD BEARING AND DISTANCE OF N. 45 DEG. 09' 37" E., 42.39 FEET TO A POINT OF TANGENCY AND BEING A POINT ON THE SOUTHERLY LINE OF ALAMEDA BOULEVARD; THENCE ALONG THE SOUTHERLY LINE OF ALAMEDA BOULEVARD FORE A POINT OF CALL: S. 89 DEG. 46' 17" E., A DISTANCE OF 414.87 FEET TO AN INTERSECTION POINT; THENCE S. 89 DEG. 46' 17" E., A DISTANCE OF 198.11 FEET TO THE NORTHEAST CORNER; THENCE LEAVING THE SOUTHERLY LINE OF ALAMEDA BOULEVARD, S. 00 DEG. 14' 44' 24" W., A DISTANCE OF 234.33 FEET TO THE SOUTHEAST CORNER; THENCE N. 89 DEG. 14' 20" W., A DISTANCE OF 329.72 FEET TO AN ANGLE POINT; THENCE S. 00 DEG. 13' 10" W., A DISTANCE OF 233.82 FEET TO A POINT ON THE NORTHERLY LINE OF SIGNAL AVENUE; THENCE N. 89 DEG. 44' 24" W., ALONG THE NORTHERLY LINE OF SIGNAL AVENUE, A DISTANCE OF 164.92 FEET TO THE POINT AND PLACE OF BEGINNING CONTAINING 5.6058 ACRES MORE OR LESS.

**PUBLIC UTILITY EASEMENTS**

Public utility easements shown on this plat are granted for the common and joint use of:  
 A. Public electric lines for the transmission and distribution of electric energy for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and facilities reasonably necessary to provide electrical services.  
 B. Public gas lines for the transmission and distribution of natural gas for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and facilities reasonably necessary to provide natural gas services.  
 C. WEST D/B/A CENTURYLINK for the installation, maintenance, and service of such lines, cable, and other equipment and facilities reasonably necessary to provide cable services.  
 D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, in the right to build, reconstruct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over the same, and the right to use the same for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantco, including sufficient working area space for electric transformers, with the right and authority to install, maintain, and service overhead and underground electrical lines, transformers, and other building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property shall be used for the purposes described herein and shall not be used for any other purpose. Property construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformers/switchgear, as installed, shall extend ten (10) feet in front of transformers/switchgear doors and five (5) feet on each side.

Disclaimer:  
 In approving this plat, Public Service Company of New Mexico (PNA), WEST D/B/A CENTURYLINK and New Mexico Gas Company (NMGCO) do not waive or release any easement or easement rights which may have been granted by prior plat, register or other document and which are not shown on this plat.

PLAT OF  
**LOTS 1-A, 2-A, 4-A, & 6-A, & 6-A, BLOCK 29**  
**TRACT A, UNIT B NORTH ALBUQUERQUE ACRES**  
 WITHIN  
 PROJECTED SECTION 13, T.11N., R.3E., N.M.P.M.  
 WITHIN THE ELENA CALLEGOS GRANT  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JULY, 2018

PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_  
 UTILITY APPROVALS:  
 PUBLIC SERVICE COMPANY OF NEW MEXICO \_\_\_\_\_ DATE \_\_\_\_\_  
 NEW MEXICO GAS COMPANY \_\_\_\_\_ DATE \_\_\_\_\_  
 QWEST CORPORATION D/B/A CENTURYLINK QC \_\_\_\_\_ DATE \_\_\_\_\_  
 COMCAST \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY APPROVALS:  
 CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_  
 REAL PROPERTY DIVISION (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_  
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_  
 ARCHA \_\_\_\_\_ DATE \_\_\_\_\_  
 PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
 DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 CODE ENFORCEMENT \_\_\_\_\_ DATE \_\_\_\_\_

**FREE CONSENT**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF, SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

ACKNOWLEDGMENT  
 STATE OF NEW MEXICO ) S.S.  
 COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
 BY: \_\_\_\_\_ OWNERS NAME \_\_\_\_\_  
 MY COMMISSION EXPIRES: \_\_\_\_\_ BY: \_\_\_\_\_ NOTARY PUBLIC

**SURVEYORS CERTIFICATE:**  
 STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I AM RESPONSIBLE UNDER MY DIRECT SUPERVISION THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.  
 GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018

ANTHONY L. HARRIS, P.S. # 11463

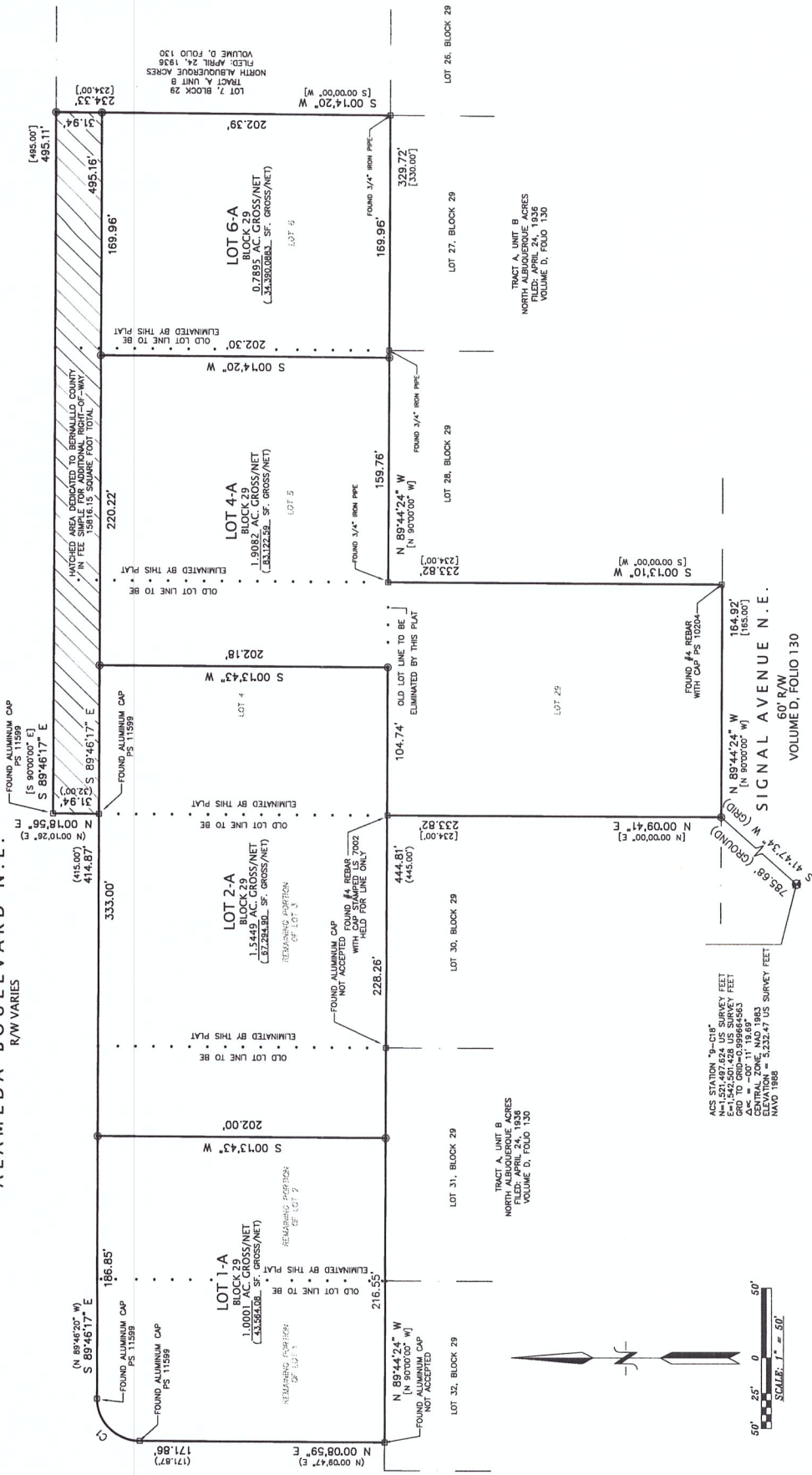
THE SURVEY OFFICE, LLC  
 ALBUQUERQUE, NEW MEXICO, PHONE: (505) 998-6309  
 333 LOMAS BLVD., N.E. 87102 FAX: (505) 998-6305

PLAT OF  
**LOTS 1-A, 2-A, 4-A, & 6-A, BLOCK 29**  
**TRACT A, UNIT B NORTH ALBUQUERQUE ACRES**

WITHIN  
 PROJECTED SECTION 13, T.11N., R.3E., N.M.P.M.  
 WITHIN THE ELENA CALLEGOS GRANT  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JULY, 2018

**ALAMEDA BOULEVARD N.E.**  
 R/W VARIES

**SAN PEDRO DRIVE N.E.**  
 R/W VARIES



CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	47.06'	130.00'	89°54'53"	N 45°09'37" E	142.39'





**ARCH+PLAN**  
**LAND USE CONSULTANTS**  
**ALBUQUERQUE NM**

July 17, 2018

Kym Dicome, Chair  
City of Albuquerque  
Development Review Board  
600 2<sup>nd</sup> St NW  
Albuquerque NM

**RE: LOTS 1 thru 6 AND LOT 29, BLOCK 29, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES**

Ms. Dicome and members of the Board:

I would like to request Sketch Plat review for a minor subdivision for the above mentioned property.

The property owner would like to realign the lot lines reducing the number of lots from seven (7) to five (5). Proposed Lots 1-A is to be 1± acre, Lot 2-A is to be 1.5± acres, Lot 4-A is to be 1.9± and Lot 6-A is to be 0.78± on property zoned NR-BP (Business Park)

The property is currently vacant.

The request also includes the granting of additional right-of-way to Bernalillo County along Alameda Boulevard.

The site is located within the North Albuquerque Planning Area and governed by the Area of Change of the Albuquerque/Bernalillo County Comprehensive Plan.

Thank you for your time and consideration of the proposed application.

Sincerely,



Derrick Archuleta, MCRP  
Principal