



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

**APPLICATION INFORMATION**

Applicant: <b>ABC Water Utility Authority</b>		Phone: <b>505.289.3000</b>
Address: <b>P.O. Box 568 6000 Alexander Blvd NE</b>		Email: <b>jstomp@abcwua.org</b>
City: <b>Albuquerque</b>	State: <b>NM</b>	Zip: <b>87107</b>
Professional/Agent (if any): <b>SMPC Architects</b>		Phone: <b>255.8668</b>
Address: <b>219 Central NW, Suite 800</b>		Email: <b>d.cook@smpcarchitects.com</b>
City: <b>87107</b>	State: <b>NM</b>	Zip: <b>87107</b>
Proprietary Interest in Site:	List <u>all</u> owners:	

**BRIEF DESCRIPTION OF REQUEST**

**Project site has increase approximately 1.25 acre to the East along Mission Ave frontage, with full landscaping**

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: <b>Tr A Plat of Tract A COA Water Treatment Facility</b>	Unit:
Subdivision/Addition:	MRGCD Map No.:
Zone Atlas Page(s): <b>F-16-Z</b>	Existing Zoning: <b>NR-LM</b>
# of Existing Lots:	# of Proposed Lots:
	Total Area of Site (acres) <b>21.5 of 165</b>

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: <b>1441 Mission Ave</b>	Between: <b>Alexander Blvd</b>	and: <b>Chappel</b>
--	--------------------------------	---------------------

**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

**PR-2018-001355 SI-2018-00123**

Signature: <b>David A. Cook</b>	Digitally signed by <b>David A. Cook</b>	Date: <b>Aug 24, 2020</b>
Printed Name: <b>Dave Cook</b>	Date: 2020.08.24	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-00833	AA	\$50			

Meeting/Hearing Date: <b>N/A</b>	Fee Total: <b>\$50</b>
Staff Signature: <b>Vanessa A Segura</b>	Date: <b>8/28/2020</b> Project # <b>PR-2018-001355</b>

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**ARCHEOLOGICAL CERTIFICATE**

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**


**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**ALTERNATIVE SIGNAGE PLAN**

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>		
Signature:	Digitally signed by David A. Cook <b>Dave Cook David A. Cook</b>	Date: <b>August 24, 2020</b>
Printed Name:	Date: 2020.08.24 09:59:22 -06'00'	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
<b>FOR OFFICIAL USE ONLY</b>		
Project Number:	Case Numbers	
PR-2018-001355	SI-2020-00833	
-	-	
-	-	
Staff Signature:		
Date:	<b>8/28/2020</b>	

August 21, 2020

City of Albuquerque Planning Dept  
Plaza del Sol Building  
600 Second NW  
Albuquerque, NM 87102  
505.924.3860

Attn: Planning Department

Re: Minor Administrative Amendment to Site Plan Submittal  
Albuquerque Bernalillo County Water Utility Authority (ABCWUA)  
Customer Service and Operations Facility  
6000 Alexander Blvd NE

Zone Enforcement Officer:

As agents for the ABCWUA we are submitting a Minor Amendment to Site Plan for administrative approval. This amendment is for additional project site area of approximately 1.25 acres to the East between Mission Ave. and the existing PV array. This additional area is needed as a source for construction earthwork fill material and to improve the property frontage with new landscaping.

*1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the submittal that is proposed to be amended, and that were not created by the actions of the owner of the property.*

The exact amount of earthwork fill material was not known before the construction began, since major grading was required across the entire site, including removal of unsuitable material that had not previously been identified. The added site area had some earth berms that provided the needed fill.

*2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-5 (cumulative of any earlier deviations or amendments).*

The additional site area of approximately 1.25 acres is less than 10% of the total project site area of 22 acres.

*3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.*

The additional site area actually increases the total amount of open space in the development since it will only be used for landscaping.

*4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.*

The additional site area does not impact the building setbacks.

*5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.*

There are no residential dwelling units in this development. This is a public utility site.

*6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.*

The additional site area does not affect building design standards, except to improve the overall perceptive quality with the additional landscaping along the street.

*7. The amendment does not reduce the amount of total landscaping installed on the property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.*

The additional site area actually increases the amount of total landscaping, screening, and buffering as viewed from adjacent streets and public areas.

*8. The amendment does not increase the traffic accessing the property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.*

The additional site area does not contain any sidewalks, trails, or streets, and has no impact on traffic accessing the property.

*9. Other than those allowed within the threshold of a minor amendment pursuant to Table 6-4-4, the amendment does not affect a standard in Section 14-16-5-3 (Access and Connectivity), Section 14-16-5-4 (Subdivision of Land), Section 14-16-5-5 (Parking and Loading), or the DPM, in which case DRB review is required through a Site Plan – DRB pursuant to Subsection 14-16-6-6(G).*



The additional site area has no affect on any of the above standards.

*10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.*

The additional site area is not affected by and has no bearing on any of the conditions of approval in the Notification of Decision.

*11. The amendment does not affect a property in an Overlay zone as regulated per Part 14-16-3, in which case amendments may be granted per the original approval process for the Site Plan governing the site.*

There are no overlay zones that affect this site.

*12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the property.*

The additional site area is for the same approved land uses as the rest of the project property.

*13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).*

There are no nonconformities affected by this amendment.

Sincerely,

A handwritten signature in black ink that reads "D. Cook". The signature is written in a cursive, flowing style.

Dave Cook, AIA  
Principal Emeritus, SMPC Architects

August 28, 2018

**Chair**

Trudy E. Jones  
City of Albuquerque  
Councilor, District 8

**Vice Chair**

Debbie O'Malley  
County of Bernalillo  
Commissioner, District 1

Pat Davis  
City of Albuquerque  
Councilor, District 6

Timothy M. Keller  
City of Albuquerque  
Mayor

Klarissa J. Peña  
City of Albuquerque  
Councilor, District 3

Steven Michael Quezada  
County of Bernalillo  
Commissioner, District 2

Lonnie Talbert  
County of Bernalillo  
Commissioner, District 4

*Ex-Officio Member*  
Pablo R. Raei  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
www.abcwua.org

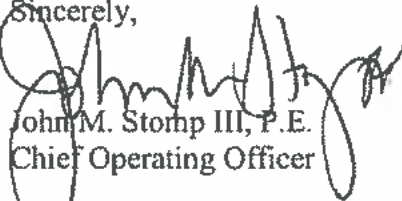
Derek Bohannon, Chair, Council District 5  
Environmental Planning Commission (EPC)  
City of Albuquerque  
Planning Department  
Plaza del Sol Building  
600 Second Street, NW  
Albuquerque, NM 87102

Dear Mr. Bohannon:

Re: Letter of Authorization - Development Review Application

The Water Utility Authority authorizes SMPC Architects to act as our agent in the development of designs and submissions of documents for approval for our proposed new Customer Services and Operations Facilities located at the San Juan-Chama Drinking Water Treatment Plant at 6000 Alexander Blvd., NE. We specifically require approval of an amended site development plan and resulting building permits.

Sincerely,



John M. Storp III, P.E.  
Chief Operating Officer

cc: Dave Cook, SMPC Architects  
Kris Cadena, Principal Engineer, ABCWUA





WUA CUSTOMER SERVICE AND OPERATION FACILITIES ENTRANCE

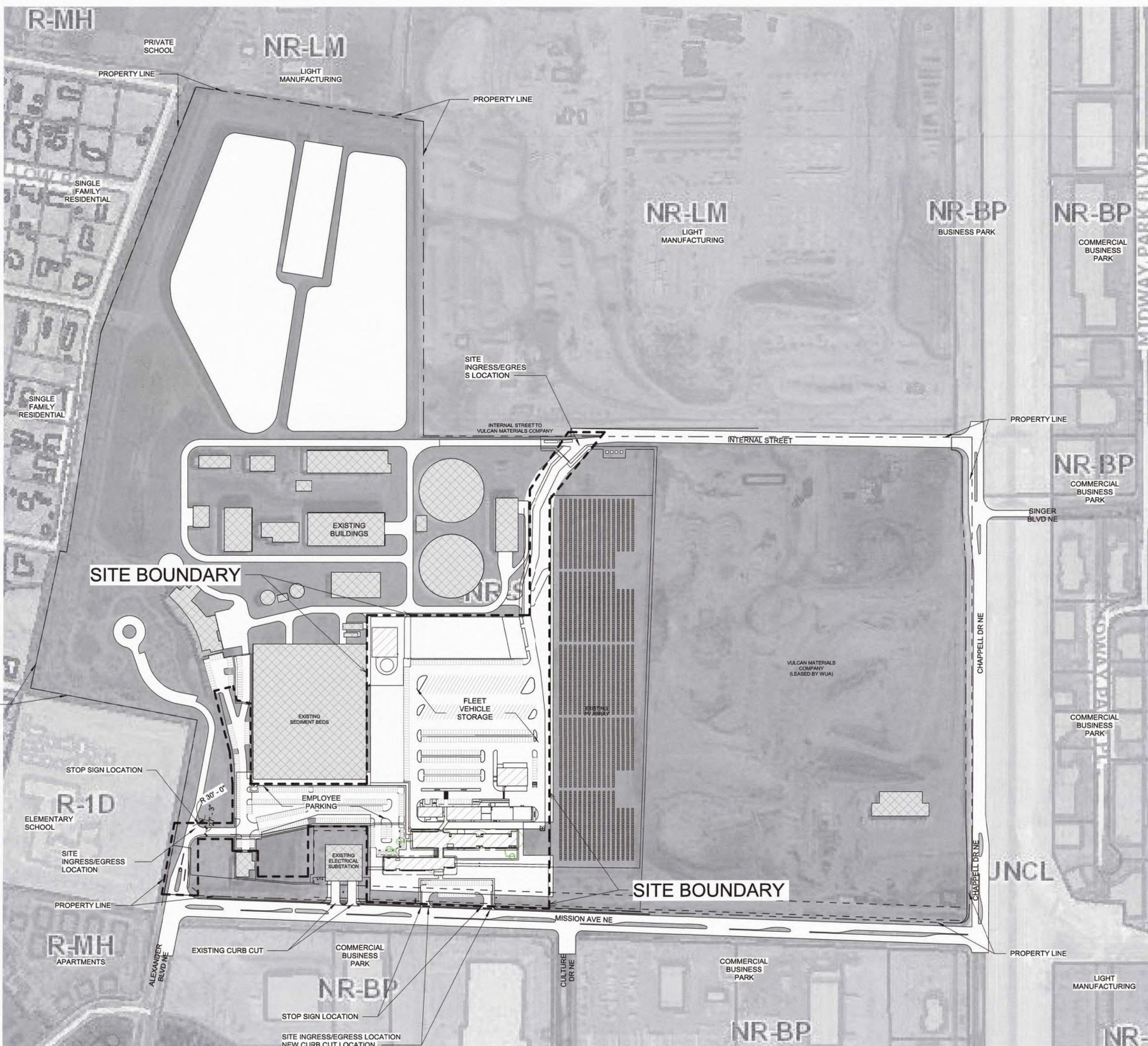


RENDERING OF SOLAR ARRAY OVER FLEET STORAGE AND EMPLOYEE PARKING.



### SOLAR PV ARRAY

A planned solar PV array system form a shade canopy over the entire parking areas of both the employee parking and fleet storage lots. The design has not been completed (an RFP is in process); therefore the system is not yet incorporated into these drawings. The collectors will be mounted on a structural support approximately 14' high, and will continuously cover parking and storage areas, drainage medians and islands, and vehicle aisles. Images above of an existing system are similar to what is planned for this facility.



SITE DEVELOPMENT PLAN  
 FILE # 21-2018-001353  
 Consistent with EPC  
 approval (08 Nov 2018)  
 APPROVED BY: [Signature] DATE: 04 Feb 2019

### LEGEND

- EXISTING STRUCTURES
- PROPOSED BUILDINGS
- CHAINLINK FENCE
- EXISTING EASEMENT BOUNDARY
- EXISTING PROPERTY LINES
- SITE BOUNDARY
- SHEET KEYNOTES

### SHEET KEYNOTES

PROJECT NUMBER: 2018-001355 Site-Improvement #: SI-2018-00123

Application Number: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

### DRB SITE DEVELOPMENT PLAN APPROVAL:

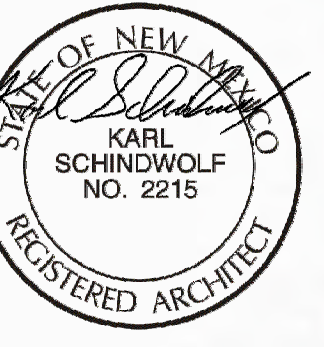
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\*Environmental Health, if necessary

2/16/2018

A1 VICINITY PLAN  
 1" = 200'-0"

0' 100' 200' 400'



Karl Schindewolf  
 2019.04.24 13:50:55-06'00"

## WUA CUSTOMER SERVICE AND OPERATIONS FACILITIES PHASE III

6000 Alexander Blvd NE  
 Albuquerque, NM 87107

NO	DATE	DESCRIPTION
DATE:	February 02, 2019	
PROJECT #:	18018	
DRAWN BY:	Author	
CHK BY:	Checker	

Copyright SMPC Architects © 2019  
 These documents were prepared for this specific project only. SMPC Architects' liability is limited to the specific project, and does not extend to reuse of these documents for other projects.

SHEET TITLE

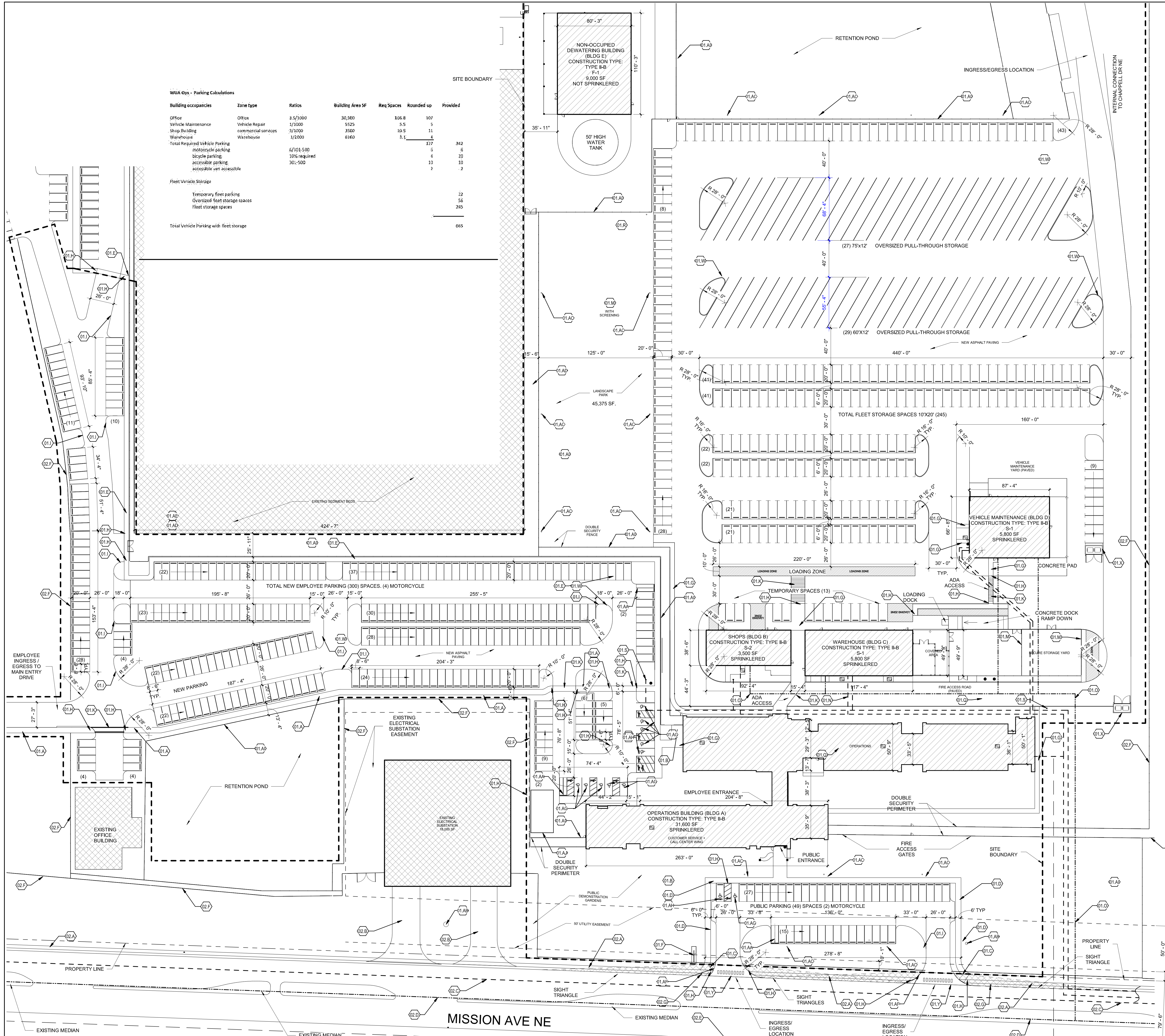
VICINITY PLAN

EPC 2  
 SHEET OF



**WUA Opt - Parking Calculations**

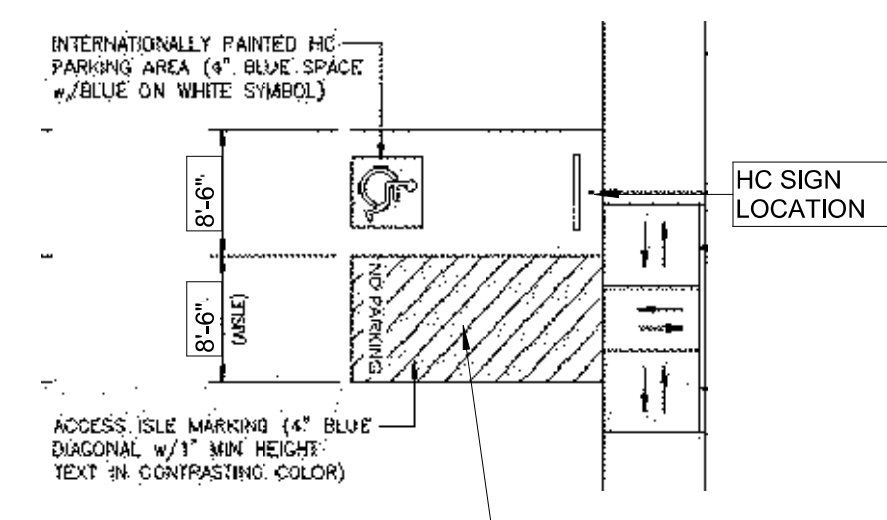
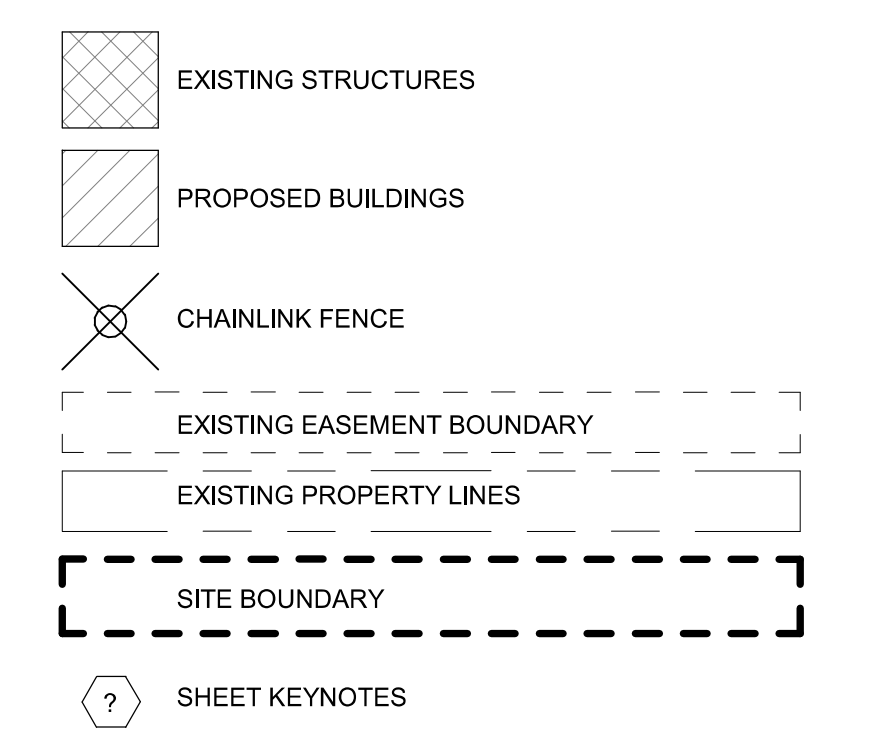
Building occupancies	Zone Type	Ratios	Building Area SF	Req Spaces	Rounded up	Provided
Office	Office	3.5/1000	30,500	106.8	107	
Vehicle Maintenance	Vehicle Repair	1/1000	5125	5.1	5	
Shop Building	commercial services	3/1000	3500	10.5	11	
Warehouse	Warehouse	1/2000	6160	3.1	4	
<b>Total Required Vehicle Parking</b>						
motorcycle parking		4/101,500		5	5	342
bicycle parking		10% required		4	4	20
accessible parking		301-500		13	13	10
accessible van accessible				2	2	2
<b>Fleet Vehicle Storage</b>						
Temporary fleet parking						22
Oversized fleet storage spaces						56
Fleet storage spaces						245
<b>Total Vehicle Parking with fleet storage</b>						
						665



**GENERAL NOTES**

- IF THIS SHEET IS NOT 30" X 42" THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
- ALL ACCESSIBLE PARKING AISLES TO BE ASPHALT PAVED.
- LIGHTING FOR FLEET STORAGE AND EMPLOYEE PARKING WILL BE INTEGRATED INTO ALL OVERHEAD PV ARRAYS.
- ALL HANDICAP SPACES ARE TO BE IN ACCORDANCE WITH 66-7-352.4C AND HAVE ADA SIGNAGE LOCATED AT HEAD OF EACH SPACE.
- ALL ADA CURB RAMPS ARE TO BE EQUIPPED WITH TRUNCATED DOMES AND BE BUILT TO CURRENT STANDARDS.
- THE APPLICANT'S WILL ABIDE BY ANY CONDITIONS OF ALL EASEMENTS LOCATED ON THE SITE.

**LEGEND**



NOTE: HC SIGNS TO COMPLY WITH 66-7-352.4C NMSA 1978 - VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.

**SHEET KEYNOTES**

- 01.A PAVED BIKE PATH 6' WIDE
- 01.AA MOTORCYCLE PARKING WITH FREE-STANDING SIGN, PER ZONING CODE
- 01.AB EXISTING UTILITY POLE
- 01.AC SITE LIGHTING, 25'-0" POLE
- 01.AD MAINTENANCE ACCESS
- 01.AF STOP SIGN LOCATION
- 01.AG ADA ACCESSIBLE PARKING SPACE WITH HC SIGN TO COMPLY WITH 66-7-352.4C NMSA 1978
- 01.AH ADA ACCESSIBLE PARKING SPACE VAN ACCESSIBLE
- 01.AI NEW 6'-0" SECURITY CHAIN-LINK FENCE WITH BARBED WIRE CAP
- 01.AJ GROUND-MOUNTED EQUIPMENT SCREENING, DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- 01.B BIKE RACK (10) SPACES
- 01.C ADA CONNECTION FROM EXISTING SIDEWALK
- 01.D CUSTOMER PARKING 6' CONCRETE SIDEWALK
- 01.E EMPLOYEE PARKING 6' CONCRETE SIDEWALK WITH ASPHALT SURFACE
- 01.F FREE STANDING STREET SIGN (REFER TO C1/EPC 5)
- 01.G 5'-0" CONCRETE SIDEWALK
- 01.H ADA CURB RAMP WITH TRUNCATED DOMES
- 01.I LANDSCAPE MEDIAN (TYP)
- 01.K CONCRETE PEDESTRIAN CROSSWALK TO CONTRAST WITH BLACK ASPHALT
- 01.M NEW 6'-0" CHAIN-LINK FENCE
- 01.N NEW WATER LINE
- 01.O NEW SANITARY SEWER
- 01.P NEW GAS LINE
- 01.Q NEW FIRE LINE
- 01.S NEW FIRE HYDRANT
- 01.V LOCATION OF NEW STOP SIGN
- 01.W CONCRETE CURB AND GUTTER
- 01.X CMU REFUSE ENCLOSURE 10'-4"x10'-0" @6'-0" PER COA MIN REQUIREMENTS
- 01.Y NEW CURB CUT
- 02.A EXISTING 6" CONCRETE SIDEWALK
- 02.B EXISTING DRIVEWAY
- 02.C EXISTING 10" WATER MAIN
- 02.D EXISTING SANITARY SEWER
- 02.E EXISTING GAS LINE
- 02.F EXISTING SECURITY FENCE
- 02.G EXISTING FIRE HYDRANT

2018-001355 #: SI-2018-00123

**PROJECT NUMBER:**

Application Number:

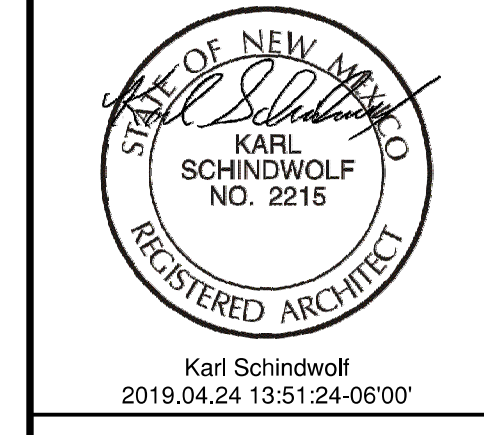
Is an infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Agency	Date
Traffic Engineering, Transportation Division	
ABQWUA	February 02, 2019
Parks and Recreation Department	
City Engineer/Hydrology	
Code Enforcement	
Environmental Health Department (conditional)	
Solid Waste Management	
DRB Chairperson, Planning Department	

**SMPC Architects**  
PRINCIPLES OF DESIGN

219 Central Ave NW, Suite 602  
Albuquerque, New Mexico 87102  
T 505 252 8888  
F 505 252 8865  
www.smpcarchitects.com



Karl Schindewolf  
2019.04.24 13:51:24-0600'

**WUA CUSTOMER SERVICE AND OPERATIONS FACILITIES PHASE III**  
6000 Alexander Blvd NE  
Albuquerque, NM 87107

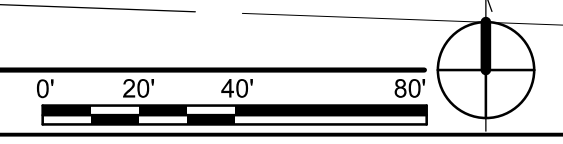
Environmental Health, if necessary  
2/16/2019

NO	DATE	DESCRIPTION
DATE:	February 02, 2019	
PROJECT #:	18018	
DRAWN BY:	Author	
CHK BY:	Checker	
Copyright SMPC Architects © 2019		
These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.		
SHEET TITLE		

**SITE PLAN**

**EPC 1**  
SHEET OF

**A1 SITE PLAN**  
1" = 40'-0"





# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT**  
**URBAN DESIGN & DEVELOPMENT DIVISION**  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339

## OFFICIAL NOTIFICATION OF DECISION

November 8, 2018

Water Utility Authority  
Attn: John Stomp (Operations)  
6000 Alexander Blvd NE  
ABQ, NM 87107

**Project #2018-001355**  
SI-2018-00123 – Major Amendment of Prior Approval, Site  
Development Plan

### LEGAL DESCRIPTION:

The above action for all or a portion of Tract A, plat of Tract A, COA Water Treatment Facility, zoned NR-SU, located at 6000 Alexander Blvd. NE, on Mission Ave. NE between Alexander Blvd. NE and Chappell Dr. NE., containing approximately 163 acres. (F-16) (**DEFERRED FROM OCTOBER 11, 2018 HEARING**)

Staff Planner: Cheryl Somerfeldt

PO Box 1293

On November 8, 2018 the Environmental Planning Commission (EPC) voted to APPROVE Project 2018-001355/SI-2018-00123, Major Amendment of Prior Approval, Site Development Plan, based on the following Findings:

NM 87103

### FINDINGS:

1. This is a request for a Major Amendment of Prior Approval, Site Development Plan for all or a portion of Tract A, plat of Tract A, COA Water Treatment Facility addressed at 6000 Alexander Boulevard NE to be accessed from Mission Avenue NE, and containing approximately 163 acres.
2. The prior approval for the Site Development Plan Phase 1 for the City of Albuquerque Water Treatment Plant was approved by the Environmental Planning Commission (EPC) in February of 2004 on the western half of the overall site.
3. The Albuquerque Bernalillo County Water Authority (ABCWUA) owns the property and this request is for Phase 2 to relocate their Customer Service and Operations from the existing location to the south side of the San Juan-Chama Surface Water Treatment Plant on a 15-acre portion of the same property.
4. The revised entrance will be off Mission Boulevard NE along the south side of the site.

**OFFICIAL NOTICE OF DECISION**

**Project #2018-001355**

**November 8, 2018**

**Page 2 of 6**

5. New facilities will include about 50,000 square feet for customer service, administrative offices, crew training, maintenance shops, and warehouse. The request will include parking for the public, employees, and fleet, plus a storage yard.
6. The subject site was previously owned by the existing sand and gravel extraction operation that negotiated a lease-back agreement with the City in order to continue their operations on the eastern third of the site.
7. Prior to the effective date of the IDO on May 17, 2018, the subject site's zoning was SU-1 for Sand and Gravel Extraction and Related Activities and Uses Permitted in the M-1 Zone. The IDO converted the zone to NR-SU because of the Natural Resource Extraction use; however Major Utility is permitted as an accessory use only. The applicant will pursue the Post-IDO Voluntary Zone Conversion Process to a zone where the use is permitted as a primary use in perpetuity.
8. The Planning Director has approved an Alternative Landscape Plan, pursuant to IDO Section 14-16-5-6(C)(16), Alternative Landscaping.
9. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
10. Site Development Plans are expected to meet the requirements of adopted city policies and procedures. The attached Site Development Plan has been evaluated for conformance with applicable goals and policies in the Comprehensive Plan and the Integrated Development Ordinance (IDO).
11. The subject site is located in an Area of Consistency as designated by the Comprehensive Plan. The following applicable Comprehensive Plan Goals and Policies are furthered by the proposed request for a Major Amendment to a Prior Approval of the Site Plan:
  - The request furthers Policy 4.1.2 because it protects the cohesiveness of the adjacent neighborhoods by locating the ABCWUA facilities in the center of their large property. In this way, the site is well buffered from the nearby neighborhood and fits in with the other surrounding uses.
  - The request furthers Policy 5.3.8 because the request encourages solar energy collection and healthy living conditions by including solar panels or the PV system in the parking lot design, and the neighboring solar access is not affected.
  - The request furthers Policy 7.6.3a because the request blends the proposed ABCWUA facilities into the natural landscape by providing xeriscape demonstration gardens for customers. The proposed changes are harmonious with existing development on the site and in the surrounding area.
  - The request furthers Policy 12.1.2 because the ABCWUA is coordinating the Site Plan design of their facilities with the City through this process.
  - The request furthers Policy 12.3.1 because the request will provide a customer facility that will provide access to services for residents and other customers.
  - The request furthers Policies 13.1.1 and 13.1.3 because the proposed solar collectors utilize New Mexico's abundant access to photons and will decrease the ABCWUA's carbon footprint.



## OFFICIAL NOTICE OF DECISION

Project #2018-001355

November 8, 2018

Page 3 of 6

- The request furthers Policy 13.2.1 because the request facilitates the sustainability of the ABCWUA and the region's water supply.
  - The request furthers Policy 13.2.2 because the Landscape Plan and educational programming demonstrate the efficient water use and conservation.
12. The applicant notified the Hodgin Neighborhood Association, the El Camino Real Neighborhood Association, the Vista Del Norte Alliance, the Greater Gardner and Monkbridge Neighborhood Association, the Los Alamos Addition Neighborhood Association, the Alameda North Valley Association, the North Edith Commercial Corridor Association, the North Valley Coalition, the District 4 Coalition of Neighborhood Associations, and the District 7 Coalition of Neighborhood Associations as well as property owners within 100 feet as required. There were no neighborhood or facilitated meetings requested or held. Staff has not received neighborhood comments in support or opposition to the request.

### CONDITIONS OF APPROVAL

1. Prior to finalizing the Site Plan, the applicant shall coordinate with the staff planner to ensure that all conditions of approval are met. Unauthorized changes to this Site Plan, including before or after final sign-off, may result in forfeiture of approvals.
2. The applicant shall pursue the Post-IDO Voluntary Zone Conversion process to a zone where Major Utility is a permitted use.
3. Pursuant to IDO Section 14-16-5-3(D)(3)(c), on-site walkways and crosswalks shall be identified to motorists and pedestrians through the use of a special treatment.
4. Conditions of Approval from other agencies:
  - A) Development Services, Transportation Development
    - The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
    - The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
    - ADA curb ramps in the roadway right-of-way must be designed to current standards and have truncated domes installed.
    - Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
    - The Stop sign locations shown for the public parking lot to the south need to be relocated. The signs should be located to the right of the exiting vehicles at the point where the vehicle is expected to stop. Both signs are shown too far north of the exit and the sign at the southeast access is shown on the left of exiting vehicles.

**OFFICIAL NOTICE OF DECISION**

Project #2018-001355

November 8, 2018

Page 4 of 6

- B) Solid Waste Management Department
- All new/proposed refuse enclosures must be built to COA minimum requirements. Remove landscaping in front of East side refuse enclosure (Pg. LS101) and do not plant anything next to enclosures that will create an overhang.
- C) Albuquerque Bernalillo County Water Utility Authority (ABCWUA)
- An availability statement is required prior to DRB approval. Requests can be made at this link: [http://www.abcwua.org/Availability\\_Statements.aspx](http://www.abcwua.org/Availability_Statements.aspx)
  - Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.
  - Provide an updated Utility Plan: Confirm the service line to the "Operations Building". The provided Utility Plan is indicating a 10".
  - Confirm all fire line sizes. The proposed relocation of the existing hydrant along Mission Ave. shall make a new connection to the existing waterline along Mission Ave. The indicated 90 deg. bend is not acceptable.
  - Confirm appropriate horizontal separation between the proposed onsite sanitary sewer and the water line.
- D) Albuquerque Public Schools (APS)
- The site is located across the street from Mission Avenue Elementary School. Any potential traffic impacts would be located in City of Albuquerque Right-Of-Way. Should there be issues of ingress and egress to the site adjacent to Mission Ave Elementary School, it is recommended that the SMPC Architects and ABCWUA coordinate with APS BLUZ (Bus Loading and Unloading Zone) Committee to address any concerns.
- E) Public Service Company of New Mexico (PNM)
- An existing substation is located along the western boundary of the subject property and an existing 115kV transmission line is located along the southern boundary of the site. It is the applicant's obligation to abide by any conditions or terms of these easements.
  - It will be necessary for the developer to contact the PNM New Service Delivery Department to coordinate electric service regarding this project. Contact: Andrew Gurule, PNM Service Center, 4201 Edith Boulevard NE, Albuquerque, NM 87107, Phone: (505) 241-0589.
  - Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.
5. The Site Development Plan shall comply with the General Regulations of the IDO, and all other applicable design regulations, except as specifically approved by the EPC.
6. The updated Site Plan reflects a new 10,000 square foot De-Watering Building (Building E) at the northwest corner of the Fleet Vehicle Storage. All sheets of the Site Plan set shall reflect this minor change, and be reviewed by Planning staff prior to submittal for building permit.

**OFFICIAL NOTICE OF DECISION**

Project #2018-001355

November 8, 2018

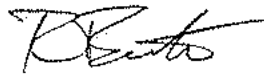
Page 5 of 6

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **NOVEMBER 26, 2018**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6 of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,



For David S. Campbell  
Planning Director

DSC/CS

- cc: Water Utility, Attn: John Stomp (Operations), 6000 Alexander Blvd NE, ABQ, NM 87107
- SMPC Architects, Dave Cook, 219 Central Ave. NW, Suite 800, ABQ, NM 87102
- Hodgin NA, Cathy Intemann, 3816 Delamar NE, ABQ, NM 87110
- Hodgin NA, Kathy Kleyboecker, 3912 Morningside Dr NE, ABQ, NM 87110
- El Camino Real NA, Chris Christy, P.O. Box 27288, ABQ, NM 87125
- El Camino Real NA, Linda Trujillo, P.O. Box 27288, ABQ, NM 87125
- Vista Del Norte Alliance, Fred Harsany, P.O. Box 6270, ABQ, NM 87197
- Vista Del Norte Alliance, Janelle Johnson, P.O. Box 6270, ABQ, NM 87197
- Greater Gardner & Monkbridge NA, Marcia Finical, 141 Griegos Rd NW, ABQ, NM 87107
- Greater Gardner & Monkbridge NA, David Wood, 158 Pleasant NW, ABQ, NM 87107
- Los Alamos Addition NA, Don Dudley, 302 Sandia Rd NW, ABQ, NM 87107
- Los Alamos Addition NA, Jeremy Wilcox, 305 Sandia Rd NW, ABQ, NM 87107
- Alameda North Valley Assoc., Mark Rupert, 909 Tijeras Ave NW, #116 ABQ, NM 87102
- Alameda North Valley Assoc., Steve Wentworth, 8919 Boe Ln NE, ABQ, NM 87113
- North Edith Comm. Corridor Assoc., Christine Benavidez, 10417 Edith NE, ABQ, NM 87113

**OFFICIAL NOTICE OF DECISION**

**Project #2018-001355**

**November 8, 2018**

**Page 6 of 6**

North Edith Comm. Corridor Assoc., Robert Warrick, 444 Niagara NE, ABQ, NM 87113, ABQ, NM 87113

North Valley Coalition, Peggy Norton, P.O. Box 70232, ABQ, NM 87197

North Valley Coalition, Doyle Kimbrough, 2327 Campbell Rd NW, ABQ, NM 87104

Dist. 4 Coali. Of NA's, Daniel Regan, 4109 Chama St NE, ABQ, NM 87109

Dist. 4 Coali. Of NA's, Michael Pridham, 6413 Northland Ave. NE, ABQ, NM 87109

Dist. 7 Coalition of Neigh. Assoc., David Haughawout, 2824 Chama St., NE, ABQ, NM 87110

Dist. 7 Coalition of Neigh. Assoc., Lynne Martin, 1531 Espejo NE, ABQ, NM 87112

Kevin Morrow [kmorrow@cabq.gov](mailto:kmorrow@cabq.gov)

Kathy Berglund [kberglund@cabq.gov](mailto:kberglund@cabq.gov)





WVA CUSTOMER SERVICE AND OPERATION FACILITIES ENTRANCE

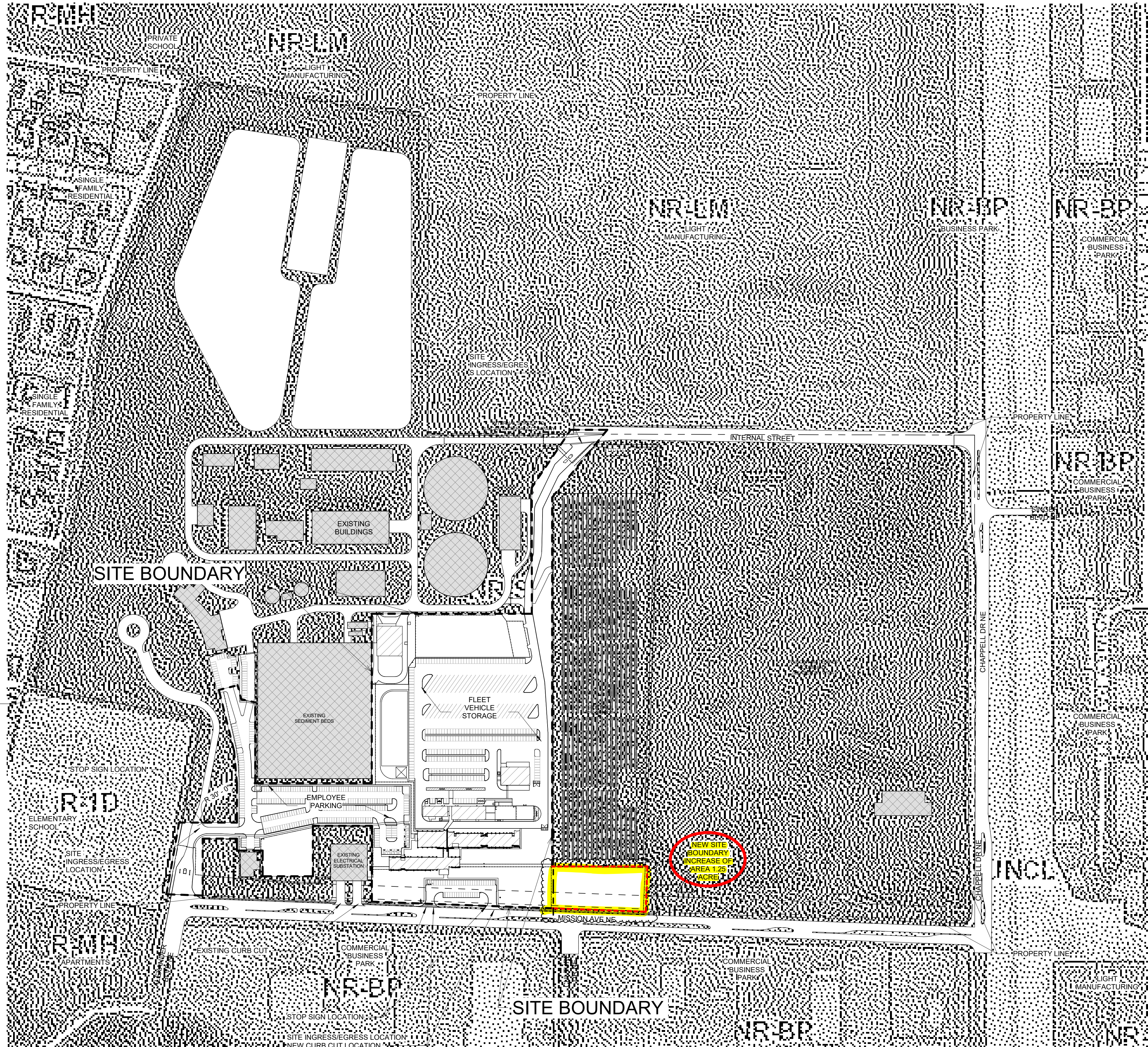


RENDERING OF SOLAR ARRAY OVER FLEET STORAGE AND EMPLOYEE PARKING



**SOLAR PV ARRAY**

A planned solar PV array system form a shade canopy over the entire parking areas of both the employee parking and fleet storage lots. The design has not been completed (an RFP is in process); therefore the system is not yet incorporated into these drawings. The collectors will be mounted on a structural support approximately 14' high, and will continuously cover parking and storage areas, drainage medians and islands, and vehicle aisles. Images above of an existing system are similar to what is planned for this facility.



**LEGEND**

- EXISTING STRUCTURES
- PROPOSED BUILDINGS
- CHAINLINK FENCE
- EXISTING EASEMENT BOUNDARY
- EXISTING PROPERTY LINES
- SITE BOUNDARY
- SHEET KEYNOTES
- ADDED SITE AREA

NO	DATE	DESCRIPTION
2020-05-19	EPC AA	
	May 15, 2019	
PROJECT #	18018	
DRAWN BY	Author	
CHKD BY	Checker	

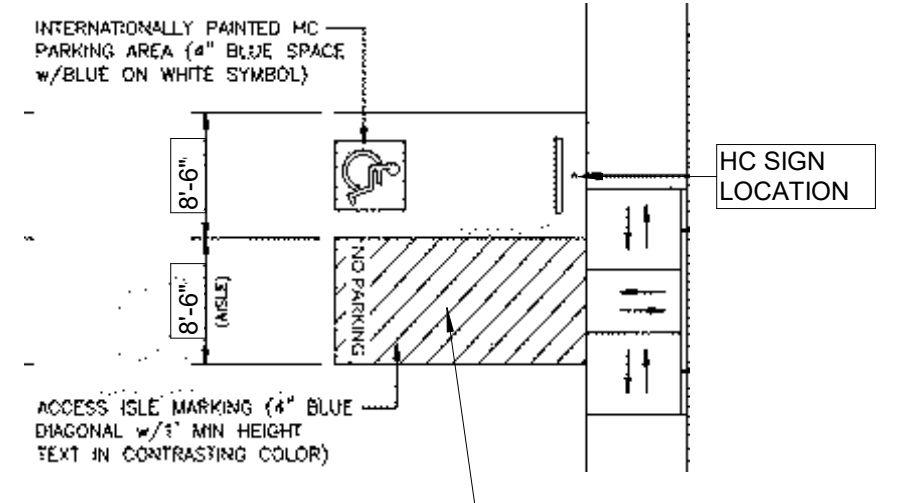
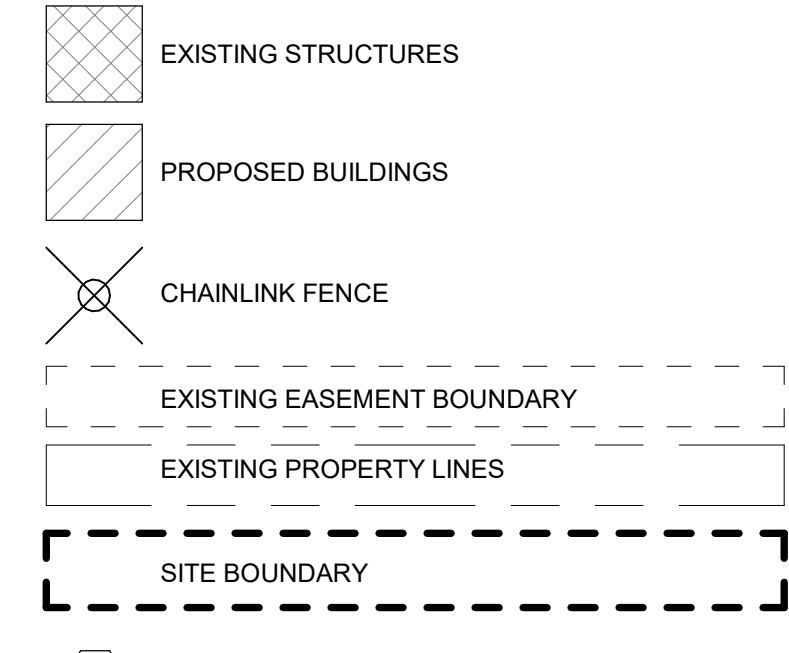
Copyright: SMPC Architects © 2019  
 These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to review of these documents for other projects.



**GENERAL NOTES**

- IF THIS SHEET IS NOT 30" X 42" THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
- ALL ACCESSIBLE PARKING AISLES TO BE ASPHALT PAVED.
- LIGHTING FOR FLEET STORAGE AND EMPLOYEE PARKING WILL BE INTEGRATED INTO ALL OVERHEAD PV ARRAYS.
- ALL HANDICAP SPACES ARE TO BE IN ACCORDANCE WITH 86-7-352.4C AND HAVE ADA SIGNAGE LOCATED AT HEAD OF EACH SPACE.
- ALL ADA CURB RAMPS ARE TO BE EQUIPPED WITH TRUNCATED DOMES AND BE BUILT TO CURRENT STANDARDS.
- THE APPLICANT'S WILL ABIDE BY ANY CONDITIONS OF ALL EASEMENTS LOCATED ON THE SITE.

**LEGEND**



NOTE: HC SIGNS TO COMPLY WITH 86-7-352.4C NMSA 1978 - VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.

**SHEET KEYNOTES**

- 01.A PAVED BIKE PATH 6' WIDE
- 01.AA MOTORCYCLE PARKING WITH FREE-STANDING SIGN, PER ZONING CODE.
- 01.AB EXISTING UTILITY POLE
- 01.AC SITE LIGHTING, 25'-0" POLE
- 01.AD MAINTENANCE ACCESS
- 01.AF STOP SIGN LOCATION
- 01.AG ADA ACCESSIBLE PARKING SPACE WITH HC SIGN TO COMPLY WITH 86-7-352.4C NMSA 1978
- 01.AH ADA ACCESSIBLE PARKING SPACE VAN ACCESSIBLE
- 01.AI NEW 6'-0" SECURITY CHAIN-LINK FENCE WITH BARBED WIRE CAP
- 01.AJ GROUND-MOUNTED EQUIPMENT SCREENING, DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- 01.C ADA CONNECTION FROM EXISTING SIDEWALK
- 01.D CUSTOMER PARKING 6' CONCRETE SIDEWALK
- 01.E EMPLOYEE PARKING 6' CONCRETE SIDEWALK WITH ASPHALT SURFACE
- 01.F FREE STANDING STREET SIGN (REFER TO C1/EPC 5)
- 01.G 5'-0" CONCRETE SIDEWALK
- 01.H ADA CURB RAMP WITH TRUNCATED DOMES
- 01.I LANDSCAPE MEDIAN (TYP)
- 01.K CONCRETE PEDESTRIAN CROSSWALK TO CONTRAST WITH BLACK ASPHALT.
- 01.M NEW 6'-0" CHAIN-LINK FENCE
- 01.N NEW WATER LINE
- 01.O NEW SANITARY SEWER
- 01.P NEW GAS LINE
- 01.Q NEW FIRE LINE
- 01.S NEW FIRE HYDRANT
- 01.V LOCATION OF NEW STOP SIGN
- 01.W CONCRETE CURB AND GUTTER
- 01.X CMU REFUSE ENCLOSURE 19'-4"x10'-0" @6'-0" PER COA MIN REQUIREMENTS
- 01.Y NEW CURB CUT
- 02.A EXISTING 6" CONCRETE SIDEWALK
- 02.B EXISTING DRIVEWAY
- 02.C EXISTING 10" WATER MAIN
- 02.D EXISTING SANITARY SEWER
- 02.E EXISTING GAS LINE
- 02.F EXISTING SECURITY FENCE
- 02.G EXISTING FIRE HYDRANT

PROJECT NUMBER: 2018-001355 #I-SI-2018-00123

Application Number:

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

NO	DATE	DESCRIPTION
	2020-05-19	EPC AA
		DATE: May 15, 2019
		PROJECT #: 18018
		DRAWN BY: Author
		CHK BY: Checker
		Copyright SMPC Architects © 2019
		These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.
		SHEET TITLE

Environmental Health, if necessary

2162018

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY  
**CUSTOMER SERVICE AND OPERATIONS FACILITIES - BUILDING SOUTH**  
6000 Alexander Blvd NE, Albuquerque, NM 87107

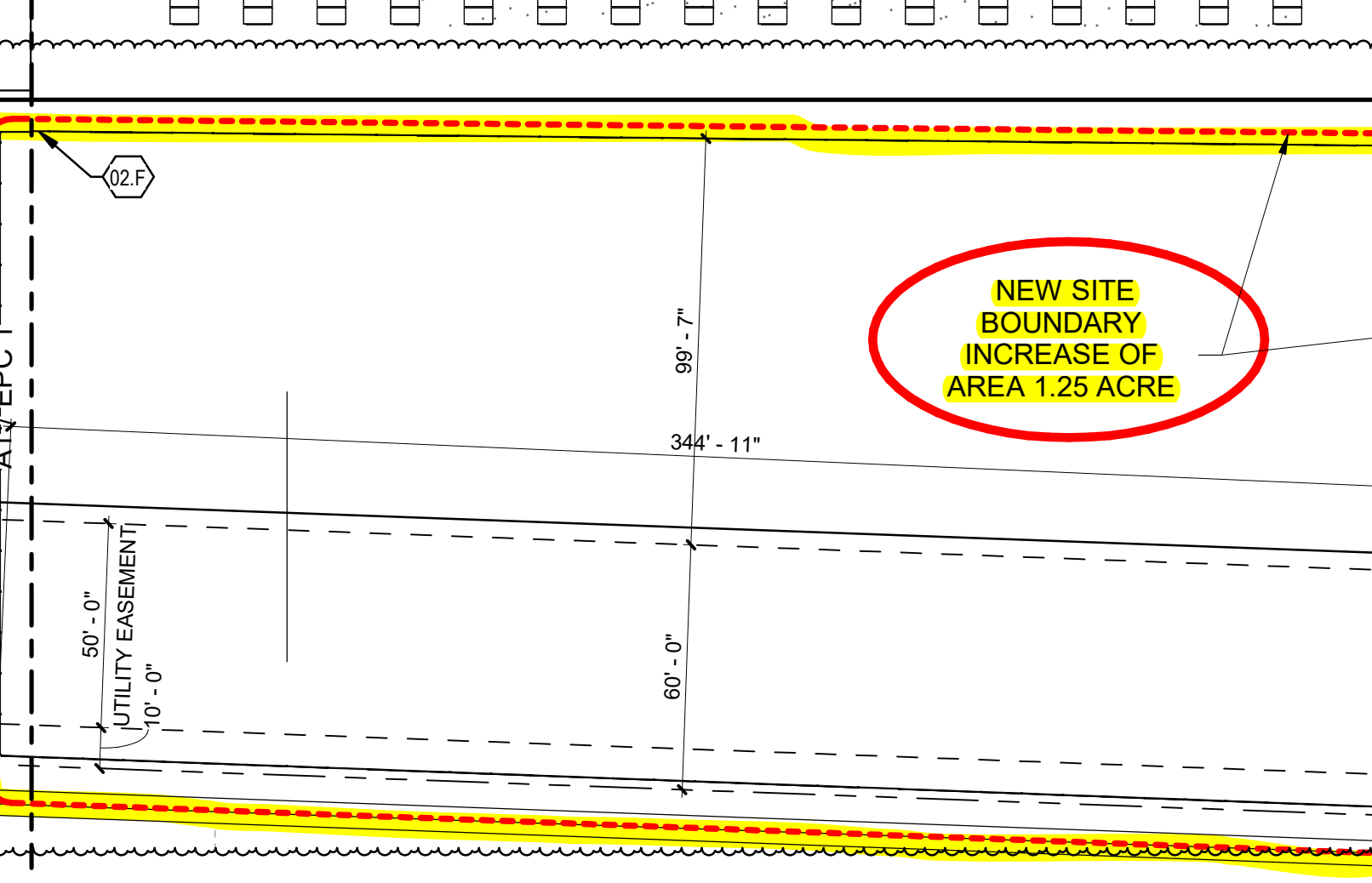
**SITE PLAN**

**EPC 1.R1**

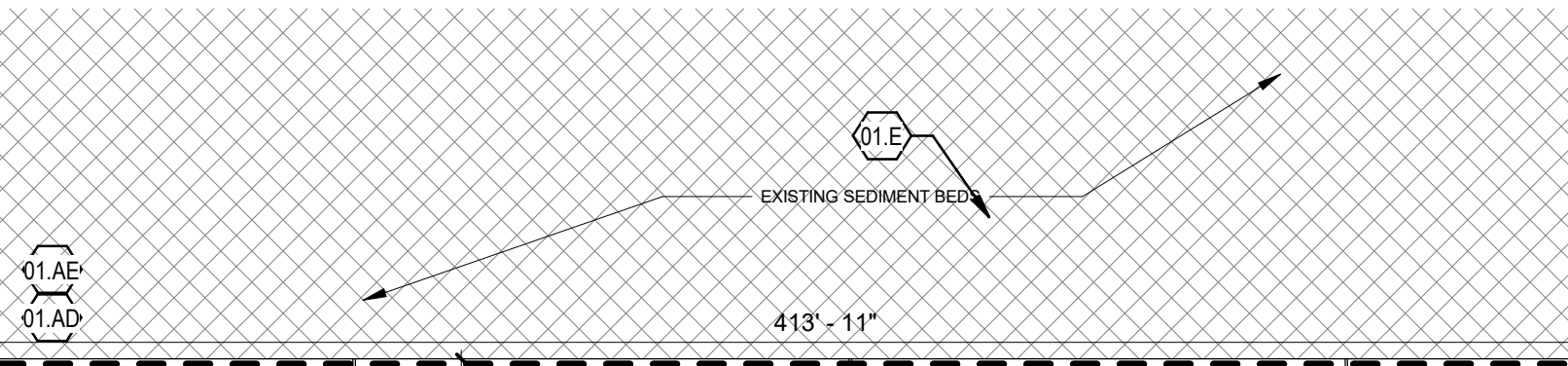
**WUA Ops - Parking Calculations**

Building occupancies	Zone type	Ratios	Building Area SF	Req Spaces	Rounded up	Provided
Office	Office	3.5/1000	30,500	106.8	107	
Vehicle Maintenance	Vehicle Repair	1/1000	5125	5.1	5	
Shop Building	Commercial services	3/1000	3500	10.5	11	
Warehouse	Warehouse	3/2000	6160	9.2	9	
Total Required Vehicle Parking						132
Total Required Motorcycle Parking						4
Total Required Accessible Parking						20
Total Required Accessible Van Accessible						2
Fleet Vehicle Storage						
Temporary fleet parking						22
Oversized fleet storage spaces						56
Fleet storage spaces						245
Total Vehicle Parking with fleet storage						665

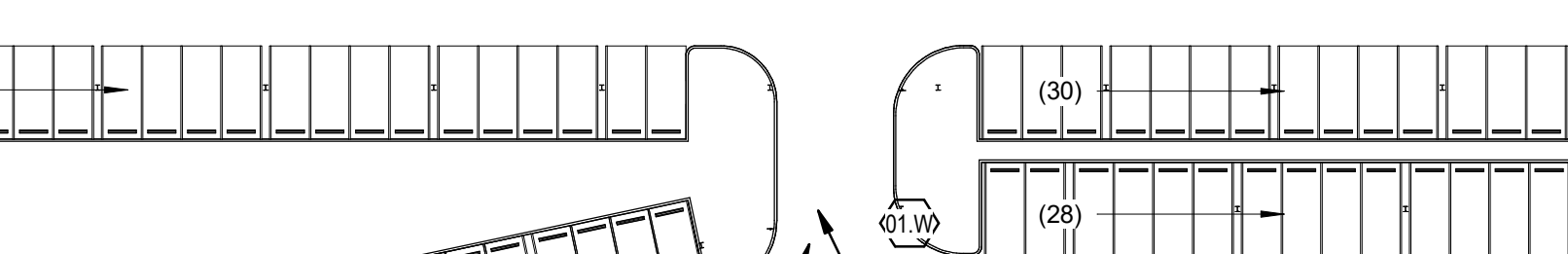
45,375 SF. LANDSCAPE PARK WITH SCREENING



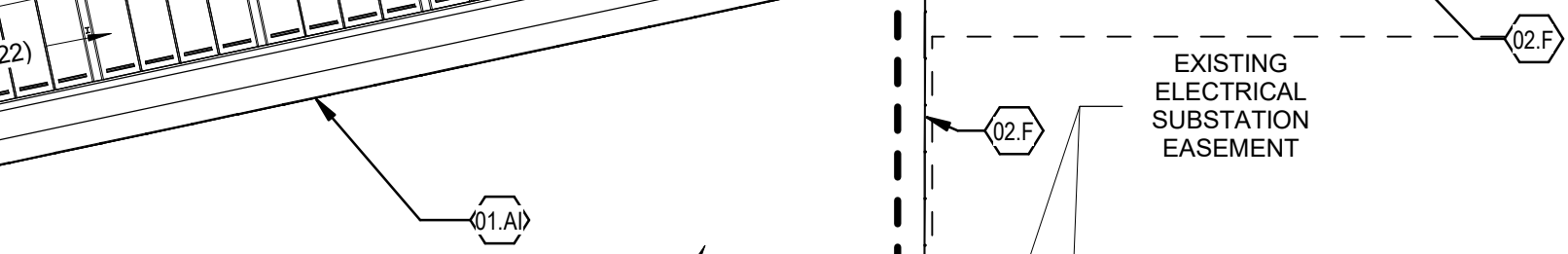
**H3 SITE PLAN EAST**  
1" = 40'-0"



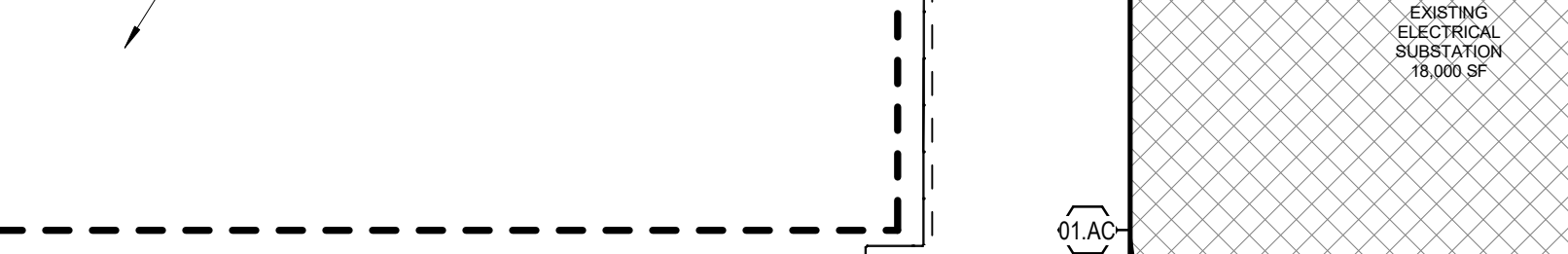
TOTAL NEW EMPLOYEE PARKING (300) SPACES. (4) MOTORCYCLE



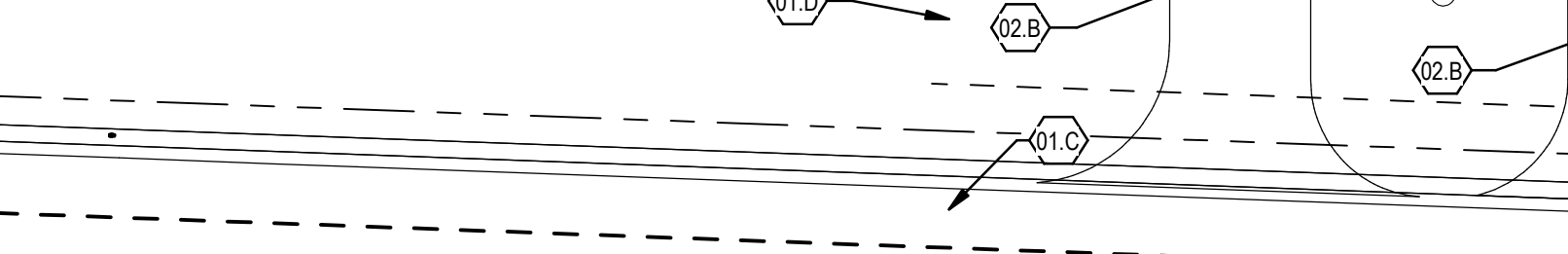
EXISTING ELECTRICAL SUBSTATION (8,000 SF)



OPERATIONS BUILDING (BLDG A) CONSTRUCTION TYPE: TYPE II-B 31,600 SF SPRINKLERED

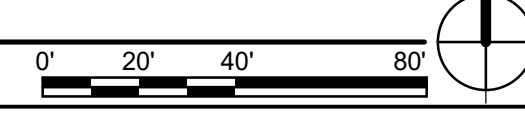


PUBLIC PARKING (49) SPACES (2) MOTORCYCLE



MISSION AVE NE

**A1 SITE PLAN**  
1" = 40'-0"





MATCH LINE - SEE DWG C-303

LEGEND

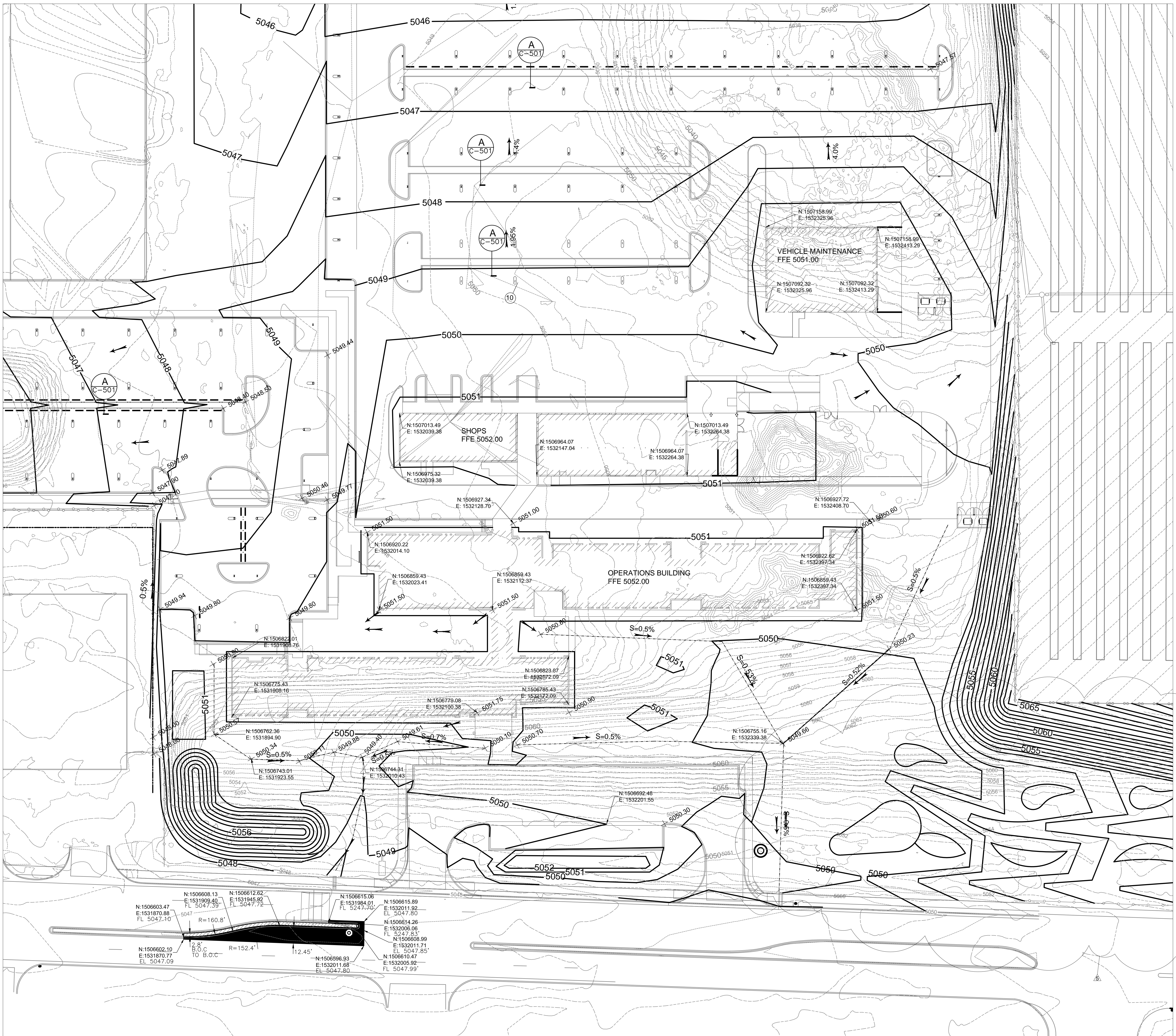
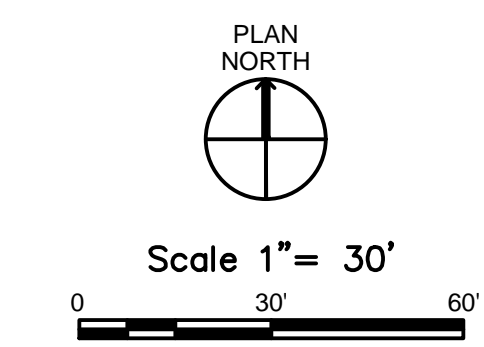
- 5050 --- EXISTING GRADE CONTOUR
- 5050 --- EXISTING STORM DRAIN
- 5050 --- NEW GRADE CONTOUR
- + 5050 NEW GRADE SPOT ELEVATION
- LIMITS OF GRADING
- NEW STORM DRAIN PIPE
- NEW RIP RAP SLOPE PROTECTION



115 Aherns Drive SE  
Albuquerque, New Mexico  
87108  
T 505.255.8888  
F 505.255.8888  
www.smparchitects.com

One Park Square, 6501 Americas Pkwy, NE,  
Suite 500, Albuquerque, New Mexico 87110  
(505)-855-7500

WUA CUSTOMER SERVICE AND  
OPERATIONS FACILITIES  
6100 ALEXANDER BLVD  
ALBUQUERQUE, NM



MATCH LINE - SEE DWG C-302

DWG: C:\Users\Scott Medina\Documents\WUA\WUA Operations\DWG\Site\Sheets\6100 Alexander Blvd - C-301R5.dwg  
 DATE: Jan 10, 2020 2:30pm  
 USER: Scott Medina  
 PLOT: 6100 Alexander Blvd - C-301R5.dwg  
 PLOT DATE: 6/15/19 10:45:11 AM  
 PLOT SCALE: 1/8" = 1'-0"  
 PLOT SHEET: 1 of 1  
 PLOT TITLE: 6100 Alexander Blvd - C-301R5.dwg

NO.	DATE	DESCRIPTION
5	2020-05-28	LANDSCAPE
4	2019-10-14	REV. BERM
3	2019-07-26	BLDG COORD.
2	2019-06-26	REV GRADES
1	2019-04-11	ADDENDUM 3

DATE: 5/15/19  
PROJECT #: 18018  
DRAWN BY: DRW  
CHD BY: CR

Copyright:  
SMP Architects © 2016  
These documents were prepared for this specific project only. SMP Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

ENLARGED  
GRADING  
PLAN

C-301R5  
SHEET OF

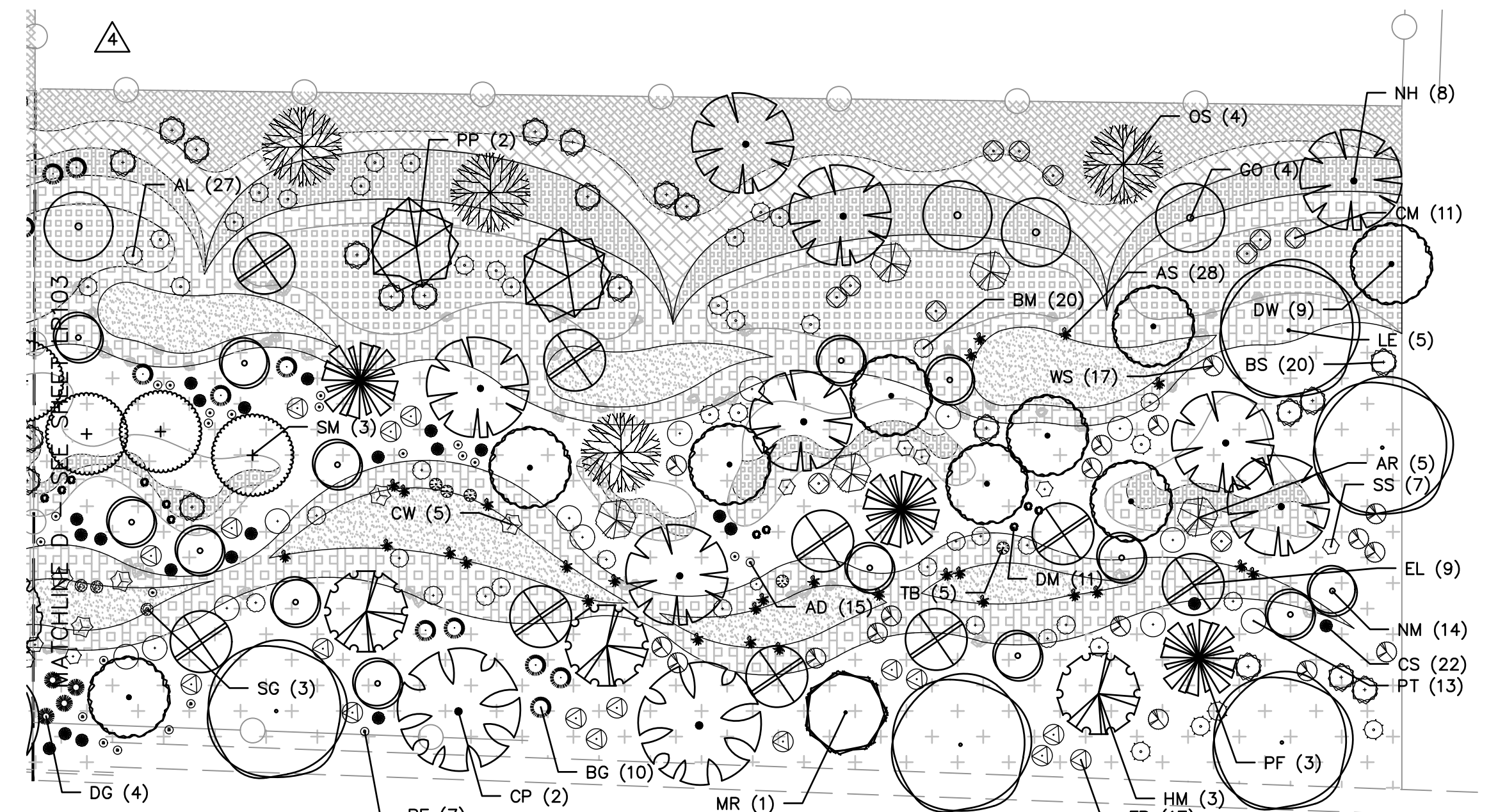




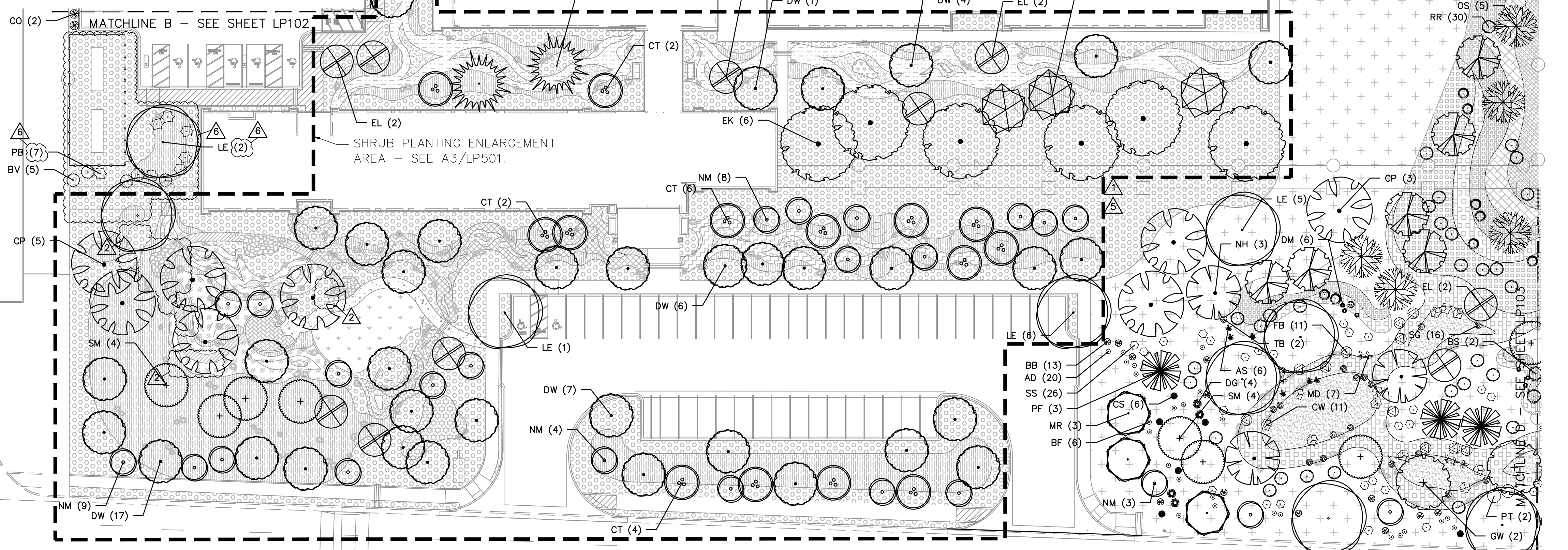
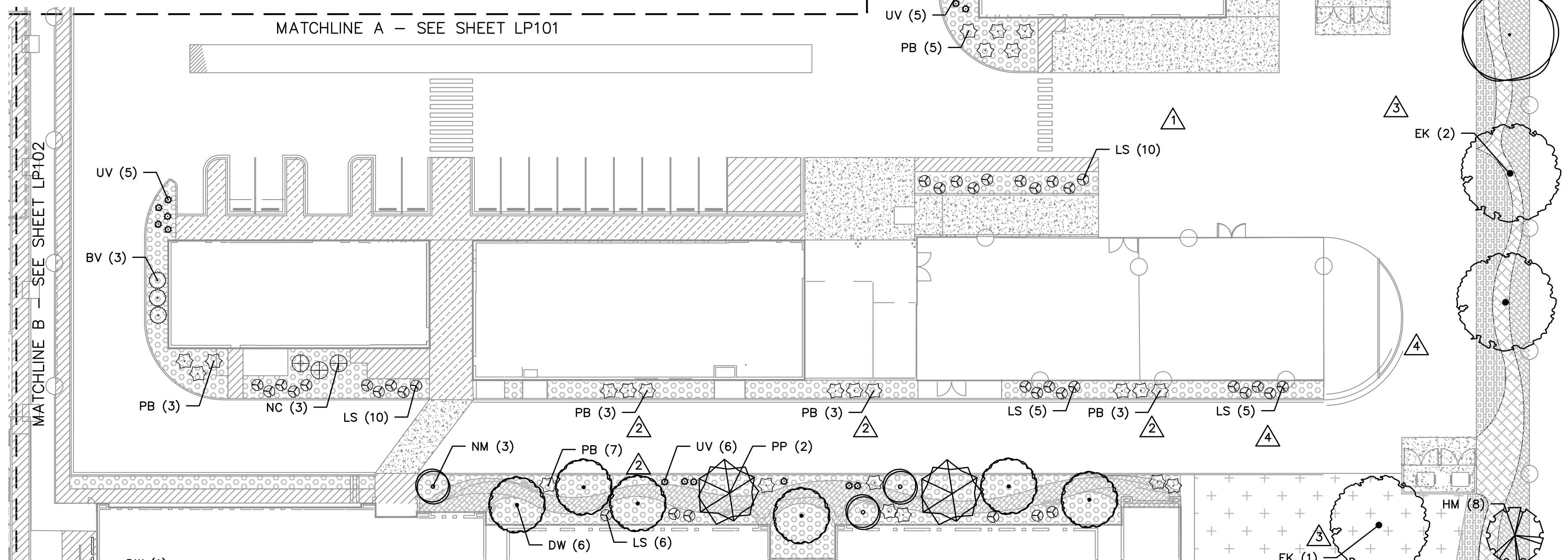
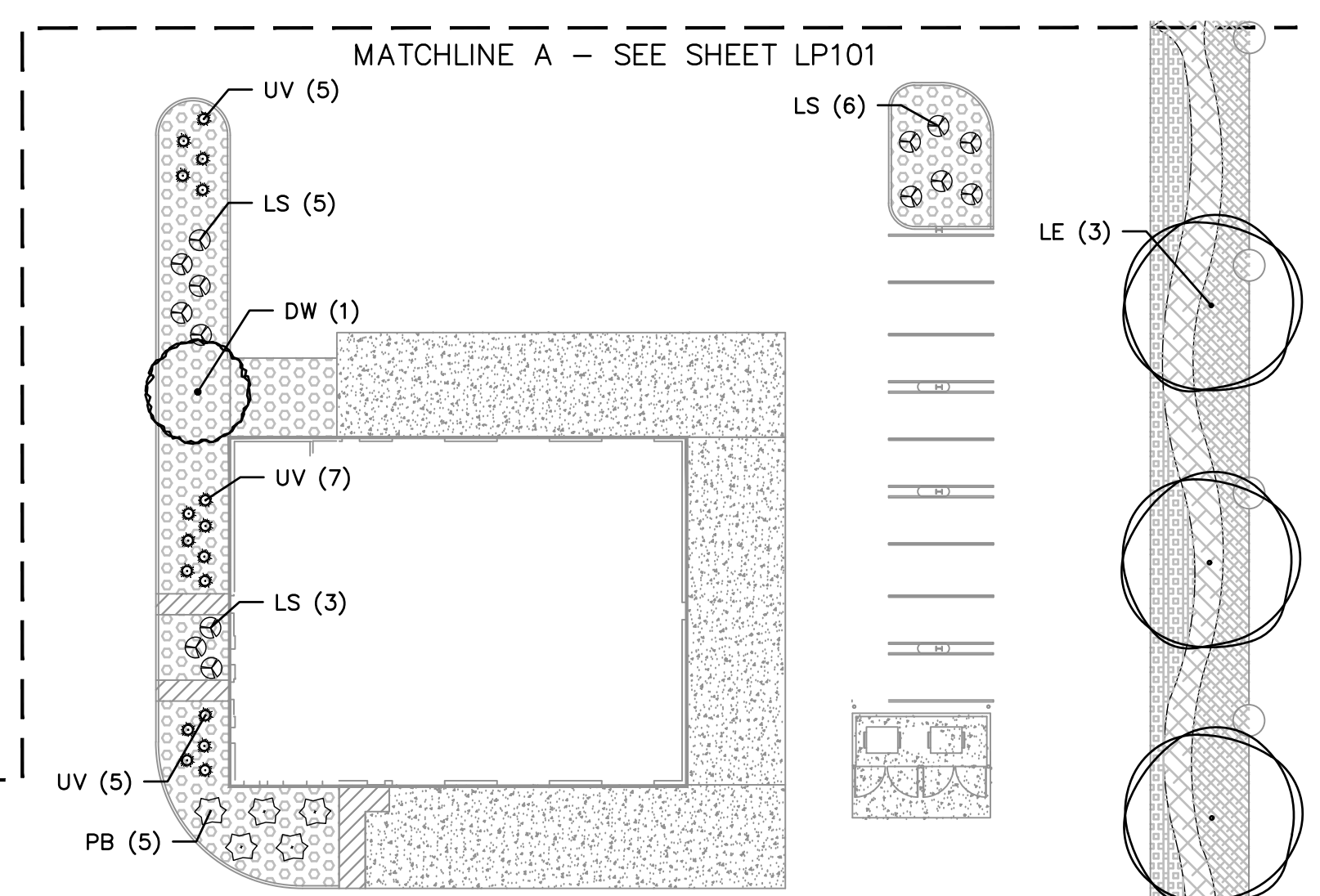


**PLANT LEGEND – QUANTITIES SHOWN FOR THIS SHEET ONLY**

KEY	COMMON NAME	BOTANICAL NAME	QTY	INSTALLED SIZE	REMARKS	MATURE SIZE
<b>TREES</b>						
AP	AUSTRIAN PINE	PINUS NIGRA	2	6'-8" HT.	B&B	40' HT. X 30' SPD.
CT	CHASTE TREE	VITEX AGNUS-CASTUS	14	4'-6" HT.	15 GA. MULTI	20' HT. X 20' SPD.
CP	CHINESE PISTACHE	PISTACHIA CHINENSIS	10	2" CAL., 10'-12' HT.	24" BOX	30' HT. X 30' SPD.
DW	DESERT WILLOW	CHILOPSIS LINEARIS	51	6'-8" HT.	24" BOX	20' HT. X 20' SPD.
EL	ESCAPMENT LIVE OAK	QUERCUS FUSIFORMIS	19	4'-6" HT.	24" BOX	20' HT. X 20' SPD.
EK	ESPRESSO KENTUCKY COFFEE	GYMNOCLADUS DIOICUS 'ESPRESSO'	9	2" CAL., 10'-12' HT.	24" BOX	50' HT. X 35' SPD.
GO	GAMBEL OAK	QUERCUS GAMBELII	4	2" CAL., 10'-12' HT.	24" BOX	25' HT. X 25' SPD.
GW	GOODINGS WILLOW	SALIX GOODINGII	2	2" CAL., 10'-12' HT.	24" BOX	25' HT. X 25' SPD.
HM	HONEY MESQUITE	PROSOPIS GLANDULOSA	11	2" CAL., 10'-12' HT.	24" BOX	25' HT. X 30' SPD.
LE	LACEBARK ELM	ULMUS PARVIFOLIA	17	2" CAL., 10'-12' HT.	24" BOX	40' HT. X 35' SPD.
MR	MEXICAN REDBUD	CERCIS MEXICANA	4	2" CAL., 10'-12' HT.	24" BOX	20' HT. X 15' SPD.
NH	NETLEAF HACKBERRY	CELTIS LAEVIGATA RETICULATA	11	2" CAL., 10'-12' HT.	24" BOX	25' HT. X 25' SPD.
NM	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	41	4'-6" HT.	15 GA. MULTI	15' HT. X 12' SPD.
OS	ONE SEED JUNIPER	JUNIPERUS MONOSPERMA	9	6'-8" HT.	24" BOX	15' HT. X 20' SPD.
PP	PRAIRIE FLAMELEAF SUMAC	RHUS LANCEOLATA	6	6'-8" HT.	24" BOX	15' HT. X 20' SPD.
PF	PINON PINE	PINUS EDULIS	7	6'-8" HT.	24" BOX	25' HT. X 20' SPD.
SM	SCREWBEE MESQUITE	PROSOPIS PUBESCENS	11	4'-6" HT.	15 GA. MULTI	20' HT. X 20' SPD.
<b>SHRUBS/GROUNDCOVERS/GRASSES/PERENNIALS</b>						
AL	APACHE PLUME	FALLUGIA PARADOXA	27	MIN. 18" HT.	5 GALLON	5' HT. X 5' SPD.
AD	ANGELITA DAISY	HYMENOXYS ACUALIS	35	MIN. 18" HT.	5 GALLON	1' HT. X 1' SPD.
AR	ARIZONA ROSEWOOD	VAUQUELINIA CALIFORNICA	5	MIN. 48" HT.	5 GALLON	15' HT. X 10' SPD.
AS	ALKALI SACATON	SPOROBOLUS AIROIDES	34	MIN. 18" HT.	5 GALLON	2' HT. X 2' SPD.
BB	BIG BLUESTEM	ANDROPOGON GERARDII	12	MIN. 18" HT.	5 GALLON	4' HT. X 2' SPD.
BF	BLANKETFLOWER	GALLARDIA ARISTATA	13	MIN. 18" HT.	1 GALLON	1' HT. X 1' SPD.
BG	BEAR GRASS	NOLINA TEXANA	20	MIN. 12" HT.	5 GALLON	4' HT. X 5' SPD.
BS	BIG SAGE	ARTEMISIA TRIDENTATA	22	MIN 18" HT.	5 GALLON	6' HT. X 6' SPD.
BM	BLUE MIST SPIREA	CARYOPTERIS CLANDONENSIS	20	MIN. 18" HT.	5 GALLON	2' HT. X 3' SPD.
BV	BURKWOOD VIBURNUM	VIBURNUM X BURKWOODII	8	MIN. 18" SPD.	5 GALLON	8' HT. X 6' SPD.
CM	CURLLEAF MOUNTAIN MAHOGANY	CERCOCARPUS LEDIFOLIUS	11	MIN. 12" HT.	5 GALLON	3' HT. X 5' SPD.
CO	CREeping OREGON GRAPE	MAHONIA AQUIFOLIUM 'COMPACTA'	2	MIN. 12" SPD.	5 GALLON	3' HT. X 4' SPD.
CH	CHERRY SAGE	SALVIA GREGII	28	MIN. 18" HT.	5 GALLON	2' HT. X 3' SPD.
CW	COYOTE WILLOW	SALIX EXIGUA	16	MIN. 18" HT.	5 GALLON	5' HT. X 3' SPD.
DG	DEER GRASS	MUHLENBERGIA RIGENS	8	MIN. 18" HT.	5 GALLON	4' HT. X 4' SPD.
DM	DESERT MARI GOLD	BALLEVA RADIATA	17	MIN. 18" HT.	1 GALLON	1' HT. X 1' SPD.
FB	FERNBUSH	CHAMAEBATIARIA MILLEFOLIUM	28	MIN. 18" HT.	5 GALLON	5' HT. X 5' SPD.
MD	MAXIMILIAN DAISY	HELIANTHUS MAXIMILIANI	7	MIN. 18" HT.	5 GALLON	5' HT. X 4' SPD.
PB	PINK BUTTERFLY BUSH	BUDDLEIA DAVIDII 'PINK'	31	MIN. 18" HT.	5 GALLON	6' HT. X 6' SPD.
PR	PROSTRATE THREE-LEAF SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'	15	MIN. 18" HT.	5 GALLON	2' HT. X 6' SPD.
RR	RUBBER RABBITBRUSH	ERICAMERIA NAUSEOSA	30	MIN. 18" HT.	5 GALLON	5' HT. X 6' SPD.
SG	SWITCHGRASS	PANICUM VIRGATUM	19	MIN. 18" HT.	5 GALLON	3' HT. X 2' SPD.
SS	SAND SAGE	ARTEMISIA FILIFOLIA	33	MIN. 18" HT.	5 GALLON	4' HT. X 4' SPD.
TB	TURPENTINE BUSH	ERICAMERIA LARICIFOLIA	7	MIN. 12" HT.	1 GALLON	3' HT. X 3' SPD.
WS	WESTERN SAND CHERRY	PRUNUS BESSEYI	17	MIN. 18" HT.	5 GALLON	5' HT. X 5' SPD.



**F1 PLANTING PLAN**  
SCALE: 1"=30'-0"



**A1 PLANTING PLAN**  
SCALE: 1"=30'-0"

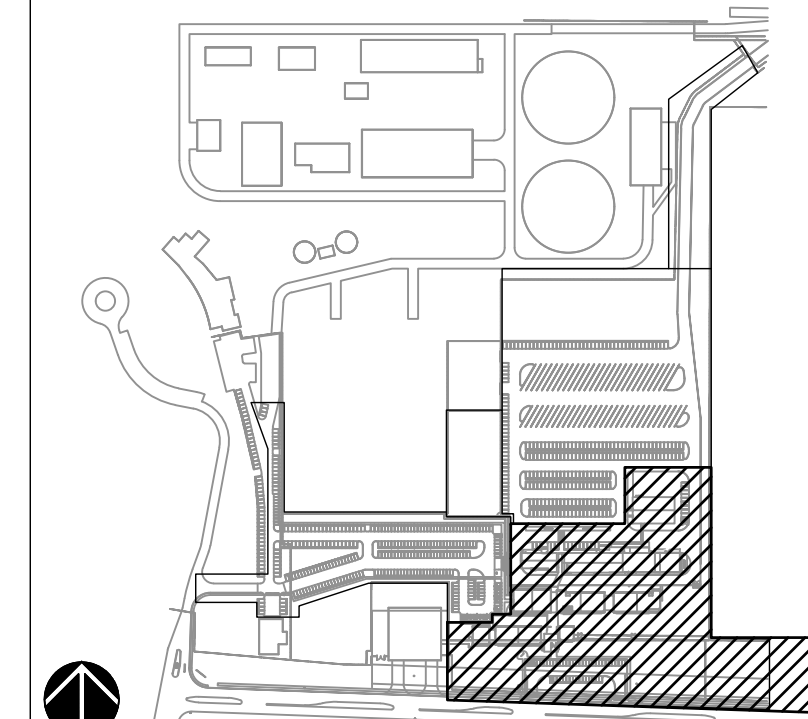
**KEYED NOTES**

- APPROXIMATE LOCATION OF PROPOSED SOLAR PANELS, REFERENCE CIVIL PLANS.

**PLANTING NOTES**

- IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT LEGEND AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION. NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT LIST.
- CONTRACTOR SHALL PRUNE LOWER BRANCHES OF DECIDUOUS TREES AS DIRECTED BY LANDSCAPE ARCHITECT IN THE FIELD.
- TREES SHALL BE INSTALLED PER DETAIL A1/LP501.
- SHRUBS SHALL BE INSTALLED PER DETAIL E1/LP501.
- IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE CALLED OUT UNDER "REMARKS" AND HEIGHT & SPREAD CALLED OUT UNDER "SIZE", THE SPECIFIED PLANT MUST MEET HEIGHT & SPREAD REQUIREMENTS SPECIFIED UNDER "SIZE". EVEN IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER.
- TREES INSTALLED WITHIN NATIVE SEED AREAS SHALL HAVE A 4" DEPTH OF ORGANIC MULCH WITHIN A 6" DIAMETER AREA AT THE BASE OF EACH TREE, REFERENCE CONSTRUCTION PLAN, SHEET LS101 FOR MATERIAL.
- SHRUBS INSTALLED WITHIN NATIVE SEED AREAS SHALL HAVE A 4" DEPTH OF ORGANIC MULCH WITHIN A 3" DIAMETER AREA AT THE BASE OF EACH SHRUB, REFERENCE CONSTRUCTION PLAN, SHEET LS101 FOR MATERIAL.

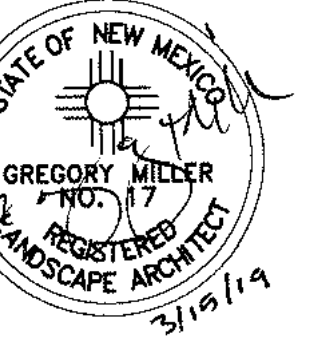
**KEYMAP**



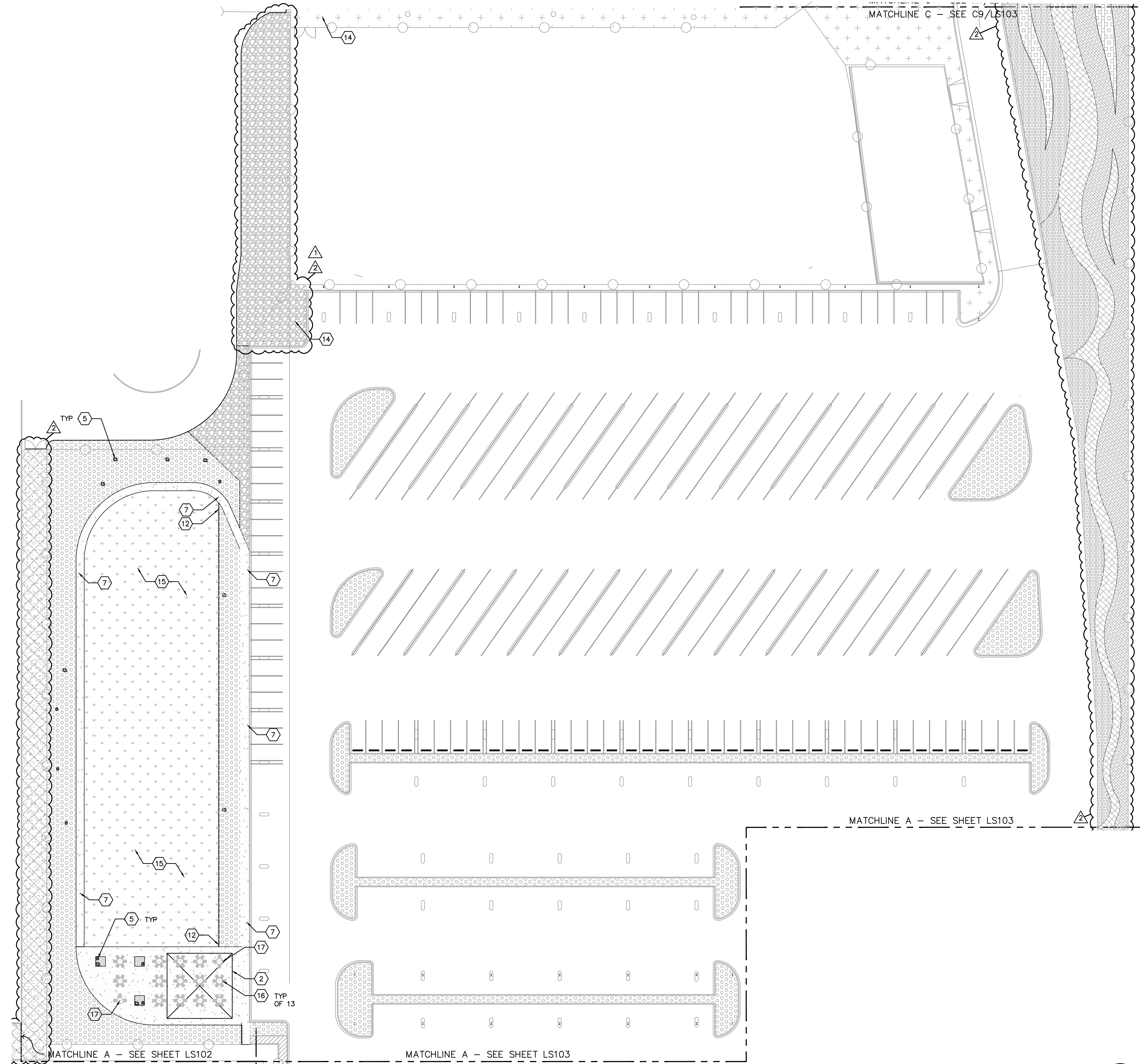
NO.	DATE	DESCRIPTION
6	2020-08-13	ASI-RFI 237R0
5	2020-08-25	ASI-064R0
4	2020-06-10	ASI-060R0
3	2019-10-10	PERMIT UPDATE
2	2019-08-06	ASI-060R0
1	2019-03-28	ADDENDUM 1

DATE: MAY 15TH, 2019  
PROJECT #: 18018  
DRAWN BY: JW  
CHK BY: GM  
Copyright: SMPC Architects © 2019  
These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to review of these documents for other projects.





ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY  
**CUSTOMER SERVICE AND OPERATIONS FACILITIES -  
SITEWORK**  
6000 Alexander Blvd NE, Albuquerque, NM 87107



**CONSTRUCTION KEYED NOTES**

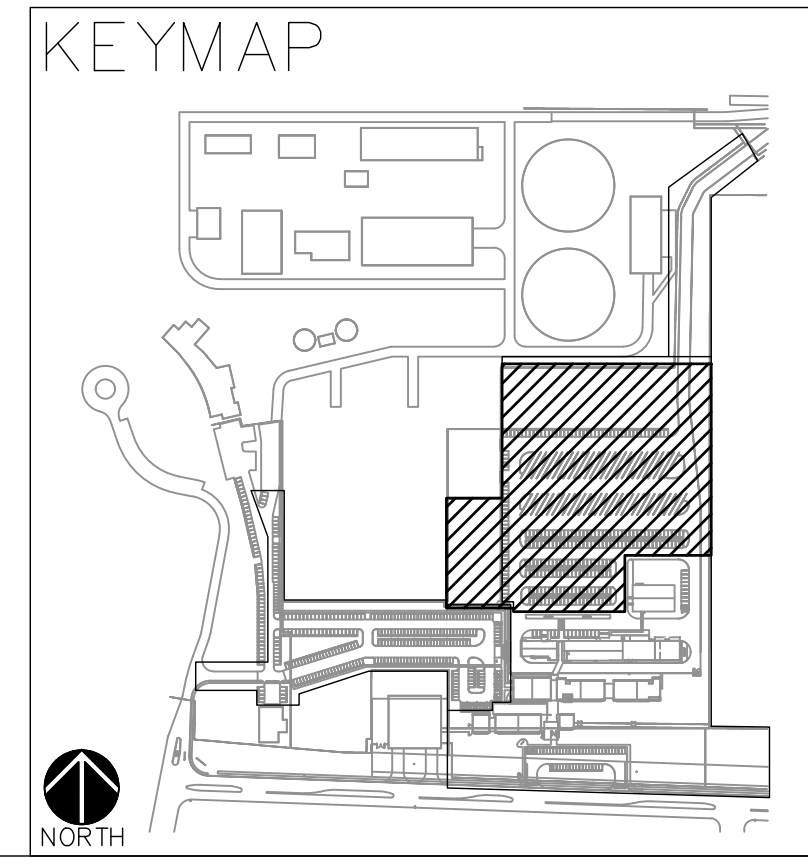
- APPROXIMATE LIMIT OF LANDSCAPE SWALE, CONSTRUCT SWALE PER DETAIL J1/LP501. REFERENCE CIVIL PLANS FOR SWALE EXTENTS AND GRADING.
- FURNISH AND INSTALL SUPERIOR SHADE 40'X40' SOLAR SHADE STRUCTURE, HIP DESIGN, AS AVAILABLE FROM PLAY-NM (505) 321-0453. REFERENCE PROPOSAL NUMBER 21632705. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- INSTALL PERMEABLE CONCRETE PAVEMENT PLAZA PER DETAIL A7/L5501. PAVERS SHALL BE BELGARD 'AQUA ROC II', OR PRE-APPROVED EQUAL PATTERN: HERRINGBONE, COLOR: DESERT BLEND. INSTALL ALUMINUM PAVEMENT EDGING PER DETAIL E7/L5501 WHERE PAVERS ABUT MULCHES.
- CONSTRUCT 12" WIDE FREE STANDING CONCRETE SEATWALL PER DETAIL G10/L5501.
- FURNISH AND INSTALL ACCENT LANDSCAPE BOULDER, BOULDERS SHALL BE 12-18 CF, SANDSTONE, INSTALLED PER DETAIL J4/LP501.
- CONSTRUCT 8" WIDE CONCRETE ACCENT CURB, REFERENCE DETAIL H4/L5501.
- CONSTRUCT 4" THICK CONCRETE WALK OR PAVING. CONTROL JOINT SPACING SHALL BE 5' O.C. MAXIMUM, EXPANSION JOINT SPACING SHALL BE 20' O.C. MAXIMUM. REFERENCE CIVIL DETAILS FOR CONCRETE CONSTRUCTION.
- FLAGSTONE WALK, INSTALL PER DETAIL A4/L5501.
- CONSTRUCT BIKE RACK ASSEMBLY, REFERENCE DETAIL H1/L5501. BIKE RACKS SHALL BE LANDSCAPE FORMS MODEL LOOP, AS AVAILABLE FROM ENVALL ASSOCIATES, INC. (505) 453-5315.
- CONSTRUCT RAINWATER CATCHMENT BASIN, REFERENCE DETAIL A1/L5501.
- CONSTRUCT DRAINAGE CULVERT, (2) 6" DIA. CORRUGATED DRAINAGE CULVERT PIPES. INSTALL FOR POSITIVE DRAINAGE UNDER SIDEWALK. INVERT ELEVATION SHALL BE EQUAL TO BOTTOM OF SWALE ELEVATIONS. EXTEND PIPE A MINIMUM OF 18" BEYOND EDGE OF WALKWAY ABOVE IN BOTH DIRECTIONS.
- CONSTRUCT 6" CONCRETE MOW CURB PER DETAIL H7/L5501.
- BERM, REFERENCE CIVIL PLANS.
- REVEGETATION SEEDING SHALL BE 'PIONEERS PRIDE', AS AVAILABLE FROM CURTIS & CURTIS (575-762-4759), OR EQUAL. DRILL SEED AT 2 POUNDS PER 1000 SQUARE FEET. SEE SPECIFICATIONS. INSTALL UNDER
- SOD SHALL BE 'PARK BLEND', AS AVAILABLE FROM EVERGREEN TURF, (505-384-2430), OR APPROVED EQUAL. TOP OF SOD SHALL BE INSTALLED 1" BELOW TOP OF ADJACENT CONCRETE SURFACES.
- FURNISH AND INSTALL ANOVA L13925 - RENDEZVOUS TABLE WITH 6 CONTOUR SWIVEL SEATS, AS AVAILABLE FROM EXERPLAY, INC. (800) 457-5444.
- FURNISH AND INSTALL ANOVA L13955 - RENDEZVOUS ADA ACCESSIBLE TABLE WITH 3 CONTOUR SWIVEL SEATS, AS AVAILABLE FROM EXERPLAY, INC. (800) 457-5444.
- FURNISH AND INSTALL DIMOR 188-09 BIKE RACK, COLOR: BLACK, AS AVAILABLE FROM EXERPLAY, INC. (800) 457-5444.

**CONSTRUCTION GENERAL NOTES**

- LANDSCAPE ARCHITECT WILL PROVIDE AUTOCAD ELECTRONIC VERSIONS OF THE PLAN FOR SURVEYING AND LAYOUT PURPOSES.
- ALL GRAVEL MULCHES THAT DO NOT ABUT OTHER GRAVELS OR CONCRETE PAVING SHALL HAVE AN UNBOUND EDGE PER DETAIL F4/LP501 UNLESS SHOWN OTHERWISE PER PLAN.

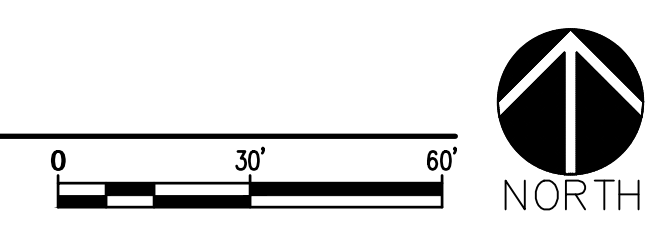
**HATCH LEGEND**

- PAVERS - SEE CONSTRUCTION KEYED NOTE 3.
- CONCRETE - SEE CONSTRUCTION KEYED NOTE 7.
- GRAVEL MULCH SHALL BE 1" 'AMARETTO BROWN', INSTALLED AT A 4" DEPTH OVER FILTER FABRIC.
- COBBLE MULCH, 2"-4" 'PUEBLO ROSE', INSTALLED AT A 4" DEPTH OVER FILTER FABRIC.
- COBBLE MULCH, 2"-4" 'SANGRIA', INSTALLED AT A 4" DEPTH OVER FILTER FABRIC.
- COBBLE MULCH, 2"-4" 'COYOTE MIST', INSTALLED AT A 4" DEPTH OVER FILTER FABRIC.
- COBBLE MULCH, 2"-4" 'BLUE SCHIST', INSTALLED AT A 4" DEPTH OVER FILTER FABRIC.
- COBBLE MULCH, 2"-4" 'PINK SCHIST', INSTALLED AT A 4" DEPTH OVER FILTER FABRIC.
- SAND/GRAVEL MULCH BLEND, INSTALL AT A 6" DEPTH WITHOUT FILTER FABRIC.
- STABILIZED CRUSHER FINES PATH WITH UNBOUND EDGE, CRUSHER FINES SHALL BE 'AMARETTO BROWN', INSTALL PER DETAIL E4/L5501.
- ORGANIC SCREENED MULCH OVER REVEGETATION SEEDING - SEE CONSTRUCTION KEYED NOTE 14. ORGANIC MULCH, AS AVAILABLE FROM SOLUTIONS, INC. (505) 877-0220, INSTALLED AT A 4" DEPTH WITH NO FILTER FABRIC.
- TURFGRASS SOD - SEE CONSTRUCTION KEYED NOTE 15.
- ORGANIC MULCH - SCREENED MULCH, AS AVAILABLE FROM SOLUTIONS, INC. (505) 877-0220, INSTALLED AT A 4" DEPTH WITH NO FILTER FABRIC.
- COBBLE MULCH, 2"-4" 'AMARETTO BROWN', INSTALLED AT A 4" DEPTH OVER FILTER FABRIC.
- GRAVEL MULCH SHALL BE 1" 'AMARETTO BROWN', INSTALLED AT A 1" DEPTH OVER REVEGETATION SEEDING WITHOUT FILTER FABRIC. SEE CONSTRUCTION KEYED NOTE 14 FOR REVEGETATION SEEDING INFORMATION.
- GRAVEL MULCH SHALL BE 2"-4" 'AMARETTO BROWN', INSTALLED AT A 4" DEPTH WITHOUT FILTER FABRIC, OVER REVEGETATION SEEDING WITHOUT FILTER FABRIC. CONSTRUCTION KEYED NOTE 14 FOR REVEGETATION SEEDING INFORMATION.
- GRAVEL MULCH SHALL BE 1" 'PUEBLO ROSE', INSTALLED AT A 1" DEPTH WITHOUT FILTER FABRIC OVER REVEGETATION SEEDING. SEE CONSTRUCTION KEYED NOTE 14 FOR REVEGETATION SEEDING INFORMATION.
- GRAVEL MULCH SHALL BE 2"-4" 'PUEBLO ROSE', INSTALLED AT A 4" DEPTH WITHOUT FILTER FABRIC OVER REVEGETATION SEEDING. SEE CONSTRUCTION KEYED NOTE 14 FOR REVEGETATION SEEDING INFORMATION.
- GRAVEL MULCH SHALL BE 1" 'ANGULAR TAN', INSTALLED AT A 1" DEPTH WITHOUT FILTER FABRIC OVER REVEGETATION SEEDING. SEE CONSTRUCTION KEYED NOTE 14 FOR REVEGETATION SEEDING INFORMATION.
- MAINTENANCE DRIVE AISLE BASE SHALL BE 2" MINUS 'BLUE SAIS' INSTALLED AT A 4" DEPTH WITH NO FILTER FABRIC, ADD WATER ROLL, AND COMPACT TO 95%.



**A2 LANDSCAPE CONSTRUCTION PLAN**

SCALE: 1"=30'-0"



NO	DATE	DESCRIPTION
2	2020-06-10	ASI-060RO
1	2020-03-13	RFL-150RO
NO	DATE	DESCRIPTION
DATE:	MAY 15TH, 2019	
PROJECT #	18018	
DRAWN BY:	JW	
CHK BY:	GM	
Copyright	SMP Architects © 2019	
These documents were prepared for this specific project only. SMP Architects' liability is limited to this specific project, and does not extend to review of these documents for other projects.		
SHEET TITLE		

**LANDSCAPE CONSTRUCTION PLAN**