



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY		Phone: (505) 289-3404
Address: 1 CIVIC PLAZA NW		Email: rcarroll@abcwua.org
City: ALBUQUERQUE	State: NM	Zip: 87102
Professional/Agent (if any): AECOM TECHNICAL SERVICES, INC.		Phone: (505) 855-7415
Address: 6501 AMERICAS PKWY NE, STE. 900		Email: robert.hawthorne@aecom.com
City: ALBUQUERQUE	State: NM	Zip: 87110
Proprietary Interest in Site: NONE		List all owners: ABCWUA

BRIEF DESCRIPTION OF REQUEST

Minor Amendment to Site Plan for addition of two small storage buildings to the site for storage of non-combustible pipes and valves for facility operations and maintenance.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: A	Block: 0000	Unit:
Subdivision/Addition: CITY OF ABQ WATER TREATMENT FACILITY	MRGCD Map No.: N/A	UPC Code: 101606133843910153
Zone Atlas Page(s): F-16-Z, attached	Existing Zoning: NR-SU	Proposed Zoning: NR-SU
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 161.24

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 6000 ALEXANDER BLVD NE Between: MISSION AVE NE and: CHAPPELL DR.

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Project #1003170, #2018-001355

Signature:	Date: March 19, 2021
Printed Name: Robert E Hawthorne	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled


ALTERNATIVE SIGNAGE PLAN


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: March 19, 2021
Printed Name: Robert E Hawthorne	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	

March 12, 2021

Chair

Steven Michael Quezada
County of Bernalillo
Commissioner, District 2

Vice Chair

Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Pat Davis

City of Albuquerque
Councilor, District 6

Trudy E. Jones

City of Albuquerque
Councilor, District 8

Timothy M. Keller

City of Albuquerque
Mayor

Charlene Pyskoty

County of Bernalillo
Commissioner, District 5

Walt Benson

County of Bernalillo
Commissioner, District 4

Ex-Officio Member

Pablo R. Rael
Village of Los Ranchos
Board Trustee

Executive Director

Mark S. Sanchez

Website

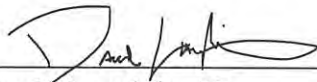
www.abcwua.org

City of Albuquerque
Planning Department
Development Services Division
PO Box 1293
Albuquerque, NM 87103

SUBJECT: Letter of Authorization for AECOM to apply for a Minor Amendment to an Existing Site Plan on behalf of the Albuquerque Bernalillo County Water Utility Authority

The Albuquerque Bernalillo County Water Utility Authority authorizes the consultant AECOM Technical Services, Inc. to submit an application for a Minor Amendment to an Existing Site plan for the WUA Groundwater & Field Distribution Sheds project on behalf of the Albuquerque Bernalillo County Water Utility Authority.

Sincerely,



David Laughlin, PE
Chief Engineer – Planning & Engineering Department

3-11-21
Date



Stan Allred
Chief Operating Officer

3/11/21
Date



AECOM
6501 Americas Pkwy NE
Suite 900
Albuquerque, NM 87110
www.aecom.com

505-855-7500 tel
505-855-7555 fax

March 19, 2021

Mr. Jay Rodenbeck
Senior Planner
Albuquerque Planning Department

Justification Letter for Minor Amendment to Existing Site Plan

Hello,

On behalf of the Albuquerque Bernalillo County Water Utility Authority (WUA), AECOM is requesting a Minor Amendment to the Existing Site Plan. The WUA needs to add two storage buildings for storage of non-combustible pipes and valves for facility operations and maintenance. The storage building sizes are as follows:

<u>Building No.</u>	<u>Height</u>	<u>Area (SF)</u>
1	18'-1"	1,254
2	18'-1"	1,370

AECOM has reviewed the City of Albuquerque Integrated Development Ordinance (IDO) amended as of November 2020 and the proposed Minor Amendment is in accordance with IDO Section 14-16-6-4(Y)(2). The reference for each item in IDO Section 14-16-6-4(Y)(2) has been provided with AECOM's comments to show that a Minor Amendment is justified.

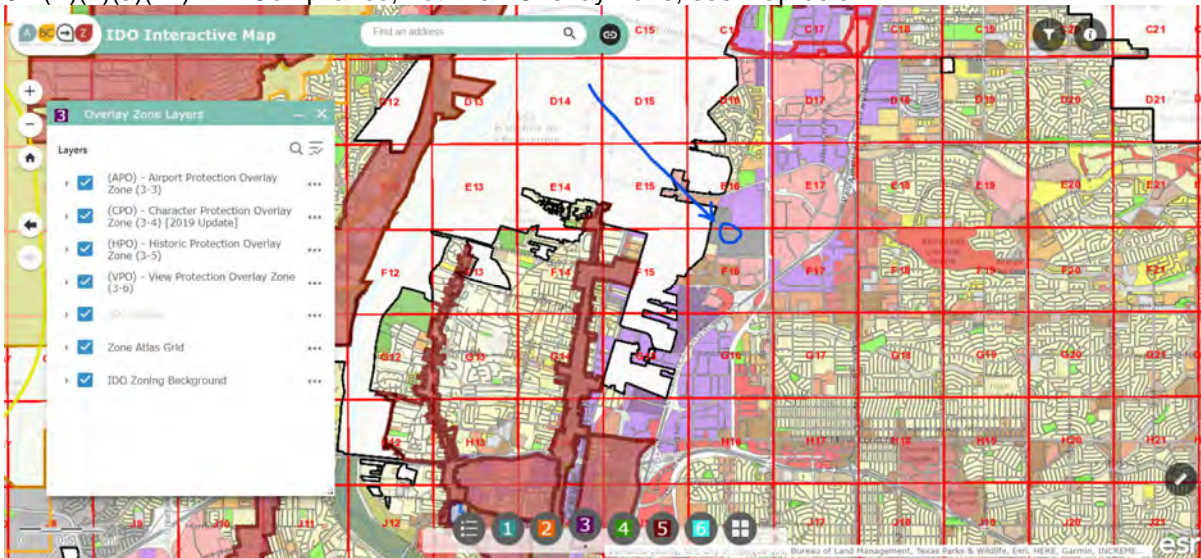
Respectfully,

Robert Hawthorne, PE
AECOM Associate Vice President, Water

Review of IDO Section 14-16-6-4(Y)(2)

6-4(Y)(2) Minor Amendments

- 6-4(Y)(2)(a)(1) – In Compliance, amendment required for site work not previously know.
- 6-4(Y)(2)(a)(2) – In Compliance, project dimensions are within thresholds listed in Table 6-4-4.
- 6-4(Y)(2)(a)(3) – In Compliance, no decrease in open space.
- 6-4(Y)(2)(a)(4) – In Compliance, buildings not adjacent to residential.
- 6-4(Y)(2)(a)(5) – In Compliance, buildings have no residential impact.
- 6-4(Y)(2)(a)(6) – In Compliance, no changes to building design standards.
- 6-4(Y)(2)(a)(7) – In Compliance, no changes to existing landscaping.
- 6-4(Y)(2)(a)(8) – In Compliance, no public traffic access changes.
- 6-4(Y)(2)(a)(9) – In Compliance, no public traffic access changes.
- 6-4(Y)(2)(a)(10) – In Compliance, upon review of Official Notification of Decision from the Planning Department dated 11/8/2018 no specific conditions would be violated by this Minor Amendment.
- 6-4(Y)(2)(a)(11) – In Compliance, not in an Overlay Zone, see map below:



- 6-4(Y)(2)(a)(12) – In Compliance, project is on WUA property.
- 6-4(Y)(2)(a)(13) – In Compliance, no expansions to nonconformity
- 6-4(Y)(2)(b) – Understood.
- 6-4(Y)(2)(c) – Understood.



City Address: 6000 ALEXANDER BLVD NE

County Address: 6000 ALEXANDER BLVD NE

3/8/2021

www.cabq.gov/gis

City of Albuquerque Property Report

Ownership Data from Bernalillo County Assessor

(County Assessor's data for tax year 2018)

Owner Name: ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY

Owner Address: PO BOX 1293, ALBUQUERQUE NM 87103-1293

UPC: 101606133843910153

Tax Year: 2018 **Tax District:** A1A

Legal Description: TR A PLAT OF TRACT A CITY OF ALBUQUERQUE
WATERTREATMENT FACILITY CONT 162.5256 AC

Property Class: C **Document Number:** 2008098317 072408 QC - EN

Acres: 161.24

City Zoning and Services

IDO Zone District: NR-SU

IDO District Definition: Sensitive Use

Old Zoning Designation: SU-1

Old Zoning Description: SAND & GRAVEL EXTR & REL ACT & USES PERM IN M-1
ZONE

Land Use: 16 | Utilities

Lot: A **Block:** 0000 **Subdivision:** CITY OF ABQ WATER TREATMENT FACILITY

Police Beat: 242 **Area Command:** VALLEY

Jurisdiction: ALBUQUERQUE

Zone Atlas Page: [F16](#) (opens in new window)

City Neighborhood Association: N/A

Residential Trash Pickup:

Political Districts

City Council District: [4 - Brook Bassan](#)

County Commission District: 1 - Debbie O'Malley

NM House of Representatives: Deborah A. Armstrong

NM Senate: Bill B. O'Neill

School Districts

Elementary: MISSION AVENUE

Middle: TAFT

High School: VALLEY

FEMA Flood Zone: X

For questions about floodplain information, please contact the COA Floodplain Manager at 924-3986 or email ccherne@cabq.gov

Run another Search [here](#)

This report was created by the GIS group of DTI. Please send comments to GIS@cabq.gov.
Please wait while the map loads below...

I want to...



0 100 200ft

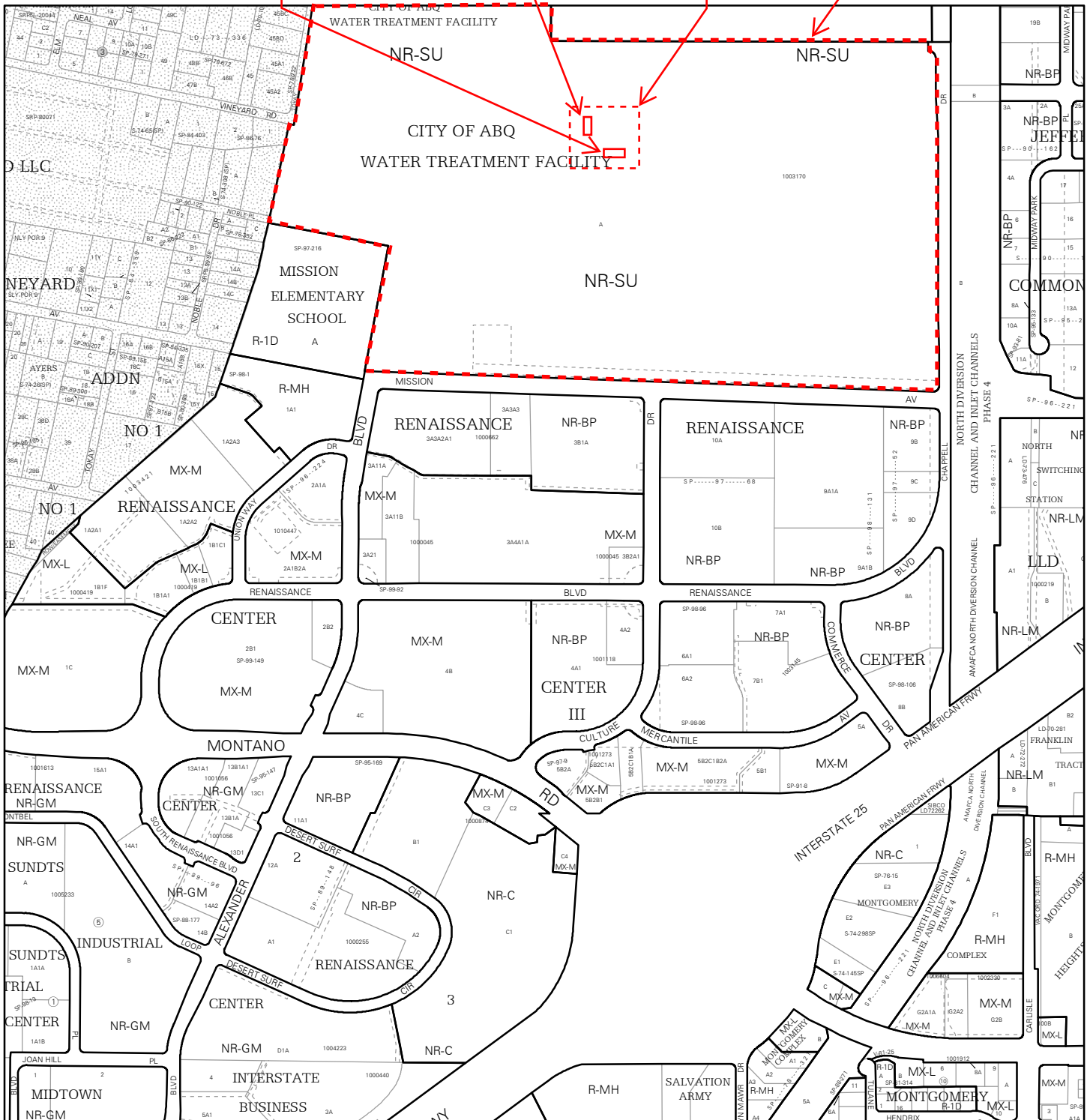
agis - agis@cabq.gov | CABQ, DMD, AGIS, Parks, A...

BLDG 1

BLDG 2


AREA OF WORK

SITE

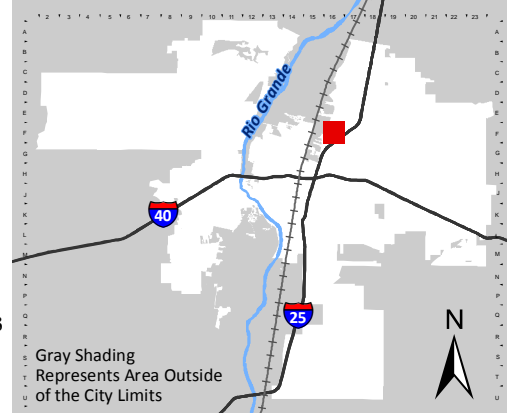


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>







IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
F-16-Z

-  Easement
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone








Easement Escarpment

Petroglyph National Monument

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000
Feet

Zone Atlas Page:
F-16-Z

-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

Easement Escarpment

Petroglyph National Monument

Areas Outside of City Limits

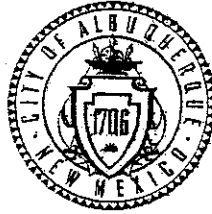
Airport Protection Overlay (APO) Zone

Character Protection Overlay (CPO) Zone

Historic Protection Overlay (HPO) Zone

View Protection Overlay (VPO) Zone

0 250 500 1,000
Feet



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: February 20, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003170***
03EPC-02194 EPC Site Development Plan-Building
Permit

COA Water Resources Dept.
P.O. Box 1293
Albuq. NM 87103

LEGAL DESCRIPTION: for **Elena Gallegos Grant**, zoned SU-1 for Sand & Gravel Extr & Rel. Act., located on MISSION AVE. NE, between TOKAY ST. NE and CHAPPELL DR. NE, containing approximately 161 acre(s). (E-16) Chris Hyer, Staff Planner

On February 19, 2004 the Environmental Planning Commission voted to approve Project 1003170/03EPC 02194, a request for site development plan for building permit, for 3 unplatted tracts in the Elena Gallegos Grant, Sections 27 & 34, Township 11-N, Range 3-E, NMPM, zoned SU-1 for sand and gravel extraction and related activities and uses permissive in the M-1 zone, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for site development plan for subdivision for a 161.8-acre site consisting of 3-tracts of land that are legally described as unplatted tracts in the Elena Gallegos Grant, portions of Sections 27 & 34, Township 11-N, Range 3-E, NMPM and located on the west side of Chappell Road NE and the east side of Tokay Street NE, the north side of Mission Avenue between Montgomery Boulevard NE and Osuna Road NE north of Renaissance Center.
2. This site is zoned SU-1 for sand and gravel extraction and related activities and permissive uses in the M-1 zone and is not requested for change.
3. The proposed Albuquerque City Water Treatment Plant is a permissive use in the M-1 zone.

OFFICIAL NOTICE OF DECISION

FEBRUARY 19, 2004

PROJECT #1003170

PAGE 2 OF 4

4. This request furthers the applicable goals and policies of the *Comprehensive Plan*, by helping to create a quality urban environment within the metropolitan area which will perpetuate the tradition of identifiable, individual but integrated communities by offering a variety in housing, transportation, work areas and life styles, while creating a visually pleasing built environment. (Established Urban Area Goal)
5. The request is in conformance with the *Comprehensive Plan's* policies for the Established Urban land-use designation which allow a full range of urban land uses and states that the location, intensity and design of new development shall respect existing neighborhood values and resources and where vacant land is contiguous to existing or programmed urban facilities and services and where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured. (Established Urban Area Policies a, d, e, g, i, and l)
6. The Water Quality Goal in the *Comprehensive Plan* is satisfied with this request by maintaining a dependable, quality supply of water for the urbanized area's needs and complies with policies a and d.
7. This request also complies with the Water Management Goal of the *Comprehensive Plan* in creating efficient water management and use.
8. This request complies with the intent, Goals and applicable policies of the *North Valley Area Plan* in creating an environment that will help to stabilize residential zoning and land use, encourage the smooth flow of traffic on arterials and limit industrial and heavy commercial traffic through residential areas in order to enhance residential stability and preserve area history and character. (policies 2, Zoning and Land Use Policy; 1 and 3, Transportation)
9. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION
FEBRUARY 19, 2004
PROJECT #1003170
PAGE 3 OF 4

2. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS and NMDOT:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Site plan shall comply and be designed per DPM Standards.
 - d. Platting should be a concurrent DRB action.
 - e. The applicant shall amend the Long Range Roadway System relative to Alexander Boulevard and Singer Boulevard to accommodate Home Land Security requirements.
 - f. Provision for the expansion of Chappell Drive, a major local street, in conformance with the City's Development Process Manual (DPM).
3. The City's Public Works Department's Water Resources Division shall contact the owner of the adjacent manufacturing business on the north side of the site, Mega-Corp, and develop a strategy to ensure that water in the facility will not become contaminated through atmospheric exposure or liquid spill, accidentally or deliberately.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MARCH 5, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.


Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
FEBRUARY 19, 2004
PROJECT #1003170
PAGE 4 OF 4

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Victor J. Chavez
Planning Director

VJC/CH/ac

cc: Sites Southwest, 121 Tijeras NE, Suite 3100, Albuq. NM 87109

CITY DEPARTMENT INFRASTRUCTURE LIST

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 9/8/04
Date Site Plan Approved: 9/8/04
Date Preliminary Plat Approved: 9/8/04
Date Preliminary Plat Expires: 9/8/05
DRB Project No.: 1003170
DRB Application No.: 04 DRB-01330

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Tract A City of Alb. Water Treatment Facility

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		6' wide	sidewalk, west side only	Chappell Dr	Mission Ave	300 N. of Singer Blvd	/	/	/
		66' wide F-E	CG plat side residential pavement median	Chappell	Mission Ave	300 N. of Singer Blvd	/	/	/
							/	/	/
		6'	Sidewalk	Mission Ave	Chappell	Alexander	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

ORIGINAL SITE PLAN

ORIGINAL

By signing below I, John Stomp, Director of Water Utility Dept for the City of Albuquerque, recognize that my department is financially responsible for the construction of the above listed improvements and this agreement will constitute the Subdivision Improvements Agreement (SIA). Funding for these improvements have been programmed within this department's budget. These improvements listed above will be constructed by _____, or within 6 months after written notification from the City Engineer. The estimated dollar amount for these improvements are \$ _____. A copy of the certified engineers estimate must accompany this infrastructure list.

NOTES

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
<u>John Stomp</u> <small>NAME (print)</small>	<u>[Signature]</u> 9/8/04 <small>DRB CHAIR - date</small>	<u>Christina Dandoral</u> 9/8/04 <small>PARKS & GENERAL SERVICES - date</small>
<u>[Signature]</u> 9-8-04 <small>FIRM SIGNATURE - date</small>	<u>[Signature]</u> 9/8/04 <small>TRANSPORTATION DEVELOPMENT - date</small>	 <small>AMAFCA - date</small>
<small>MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____</small>	<u>Nancy [Signature]</u> 9/8/04 <small>UTILITY DEVELOPMENT - date</small>	 <small>- date</small>
	<u>Bradley L. Blyden</u> 9/8/04 <small>CITY ENGINEER - date</small>	 <small>- date</small>

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

ORIGINAL SITE PLAN

PROJECT 1003170

CITY OF ALBUQUERQUE WATER TREATMENT PLANT ALBUQUERQUE, NEW MEXICO



DECEMBER 2003

BUILDING INFORMATION

OWNER: CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
WATER UTILITY DIVISION
5501 PINO AVE. NE, BLDG. J
ALBUQUERQUE, NM 87109
TEL: (505) 857-8200

ZONING: SU-1 FOR SAND AND GRAVEL EXTRACTION
AND RELATED ACTIVITIES USES PERMISSIVE
IN THE M-1 ZONE

LOT AREA: 7,049,750 SQ. FT. (161.84 ACRES)

BUILDING AREA: 334,800 SQ. FT. (7.68 ACRES)

DRYING BED AREA: 214,120 SQ. FT. (4.92 ACRES)

LEGAL DESCRIPTION: 161.84 ACRES UNPLATTED TRACT IN
ELENA GALLEGOS GRANT, SEC. 27 & 34,
T11N, R3E, WEST OF CHAPPELL DRIVE,
NORTH OF MISSION ROAD, N.E.

PROJECT NUMBER: 1003170

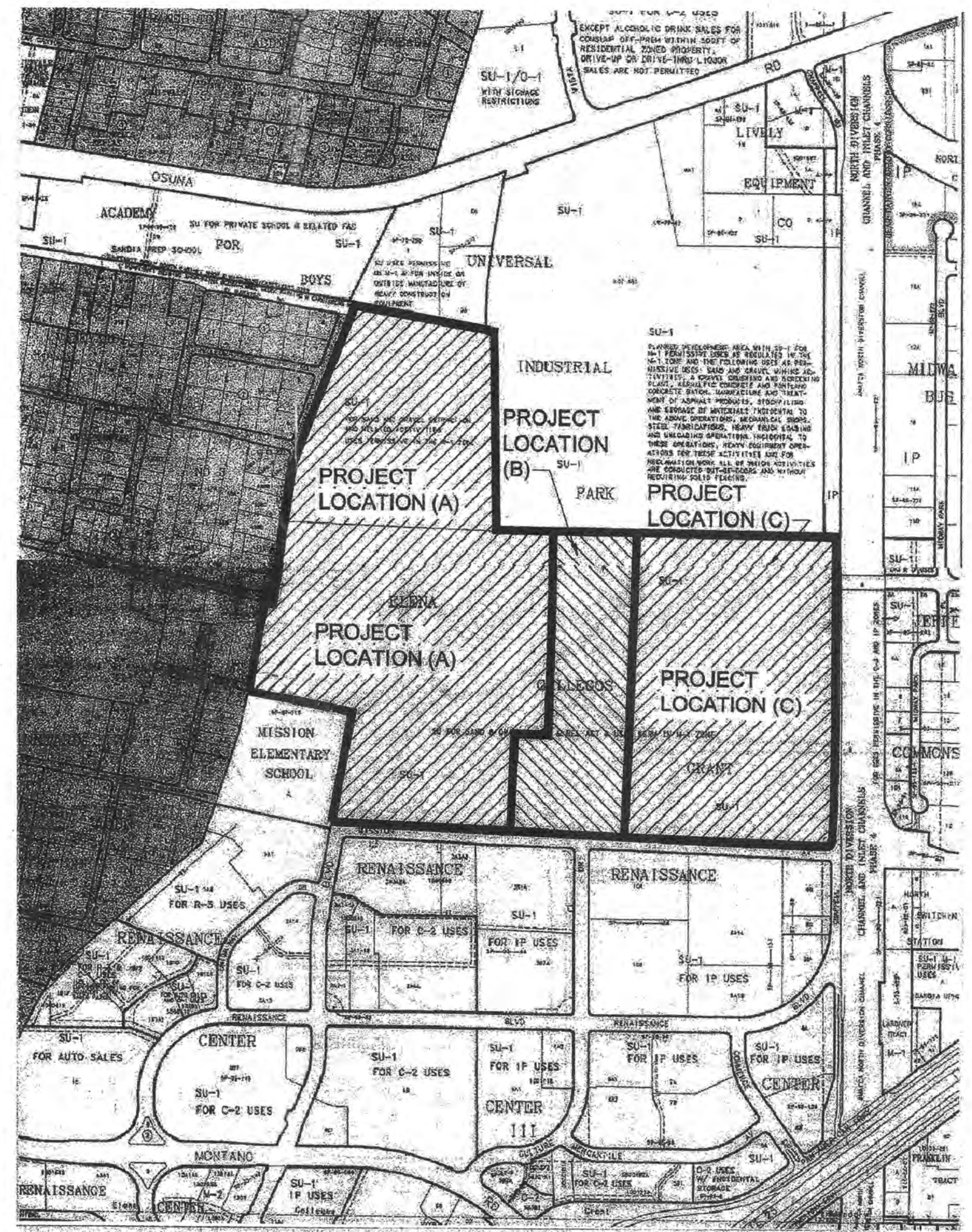
Application Number: 04DRB-01330 (SBP)

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated Feb. 19, 2004 and the Findings and Conditions in the Official Notification of Decision are satisfied.

<p><i>[Signature]</i> Traffic Engineering, Transportation Division</p> <p><i>[Signature]</i> Utilities Development</p> <p><i>[Signature]</i> Parks and Recreation Department</p> <p><i>[Signature]</i> City Engineer</p> <p><i>[Signature]</i> Environmental Health Department (conditional)</p> <p><i>[Signature]</i> Solid Waste Management</p> <p><i>[Signature]</i> DRB Chairperson, Planning Department</p>	<p>9-14-04 Date</p> <p>9/8/04 Date</p> <p>9/8/04 Date</p> <p>9/8/04 Date</p> <p>9-8-04 Date</p> <p>9/14/04 Date</p>
--	---

INDEX OF DRAWINGS

SEQ. NO.	SHEET NO.	DESCRIPTION
1 OF 20	G-1	COVER SHEET, INDEX OF DRAWINGS AND LOCATION MAP
2 OF 20	C-1	CONTEXT MAP - SITE DATA
3 OF 20	C-2	DIMENSIONED SITE PLAN AND UTILITY LAYOUT
4 OF 20	C-3	PRELIMINARY GRADING PLAN
5 OF 20	L-1	LANDSCAPE PLAN - OVERALL SITE
6 OF 20	L-2	LANDSCAPE PLAN - ADMINISTRATION BUILDING AREA
7 OF 20	L-3	LANDSCAPE PLAN - DETAILS
8 OF 20	A-2	ADMINISTRATION BUILDING-LAYOUT PLAN
9 OF 20	A-3	ADMINISTRATION BUILDING-OVERALL ELEVATION
10 OF 20	A-4	ADMINISTRATION BUILDING-ENLARGED ELEVATION
11 OF 20	A-5	ADMINISTRATION BUILDING-ENLARGED ELEVATION
12 OF 20	A-6	PROCESS BUILDING ELEVATION KEY PLAN
13 OF 20	A-7	RAPID MIX AND SETTLED WATER PUMP STATION - ELEVATIONS
14 OF 20	A-8	FLOCCULATION AND SEDIMENTATION FACILITY - ELEVATIONS
15 OF 20	A-9	OZONE BUILDING - ELEVATIONS
16 OF 20	A-10	FILTRATION FACILITY - ELEVATIONS
17 OF 20	A-11	CHEMICAL FACILITY - ELEVATIONS
18 OF 20	A-12	FINISHED WATER PUMP STATION - ELEVATIONS
19 OF 20	A-13	GRAVITY THICKENERS, GRAVITY THICKENER PUMP STATION AND OZONE CONTACTORS - ELEVATIONS
20 OF 20	A-14	BACKWASH WASTE EQUALIZATION TANK AND FINISHED WATER STORAGE TANKS - ELEVATIONS



LEGEND: PROJECT LOCATION (A) = PHASE 1 WATER TREATMENT PLANT FACILITIES
PROJECT LOCATION (B & C) = FUTURE DEVELOPMENTS

VICINITY MAP
(ZONE ATLAS MAP NO. E & F-16)

PRELIMINARY

NOT FOR CONSTRUCTION

DSGN											
DR											
CHK											
APVD											
	NO.	DATE	REVISION	BY	APVD						

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING.
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



CITY OF ALBUQUERQUE
NEW SURFACE WATER TREATMENT PLANT
ALBUQUERQUE, NEW MEXICO

**PHASE 1
COVER/INDEX SHEET**

SHEET 1 of 20
DWG G-1
DATE July 26, 2004
PROJ 175569.TP

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SITE INFORMATION

PROPOSED USE:
 PROVIDE STORAGE AND WATER TREATMENT FACILITIES FOR THE POTABLE WATER SYSTEM FOR THE CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

CURRENT ZONING:
 SU-1 FOR SAND AND GRAVEL EXTRACTION AND RELATED ACTIVITIES USES PERMISSIVE IN THE M-1 ZONE

PROPOSED ZONING:
 SU-1 FOR SAND AND GRAVEL EXTRACTION AND RELATED ACTIVITIES USES PERMISSIVE IN THE M-1 ZONE

ACREAGE:
 161.84 ACRES (TOTAL)
 91.84 ACRES (PHASE 1)
 70 ACRES (FUTURE PHASES)

SITE LIGHTING:

- PUBLIC ACCESS ROAD/ADMINISTRATION AREA
 HEIGHT - 25 FEET
 480 VOLT CASCIURUS MEDIUM VOLTAGE ARM MOUNT LUMINAIRE WITH CUTOFF OPTICS ON 25-FOOT POLE
- TREATMENT PROCESS AREA
 HEIGHT - 45 FEET
 480 VOLT M-400 MEDIUM VOLTAGE ARM MOUNT LUMINAIRE WITH CUTOFF OPTICS ON 45-FOOT POLE

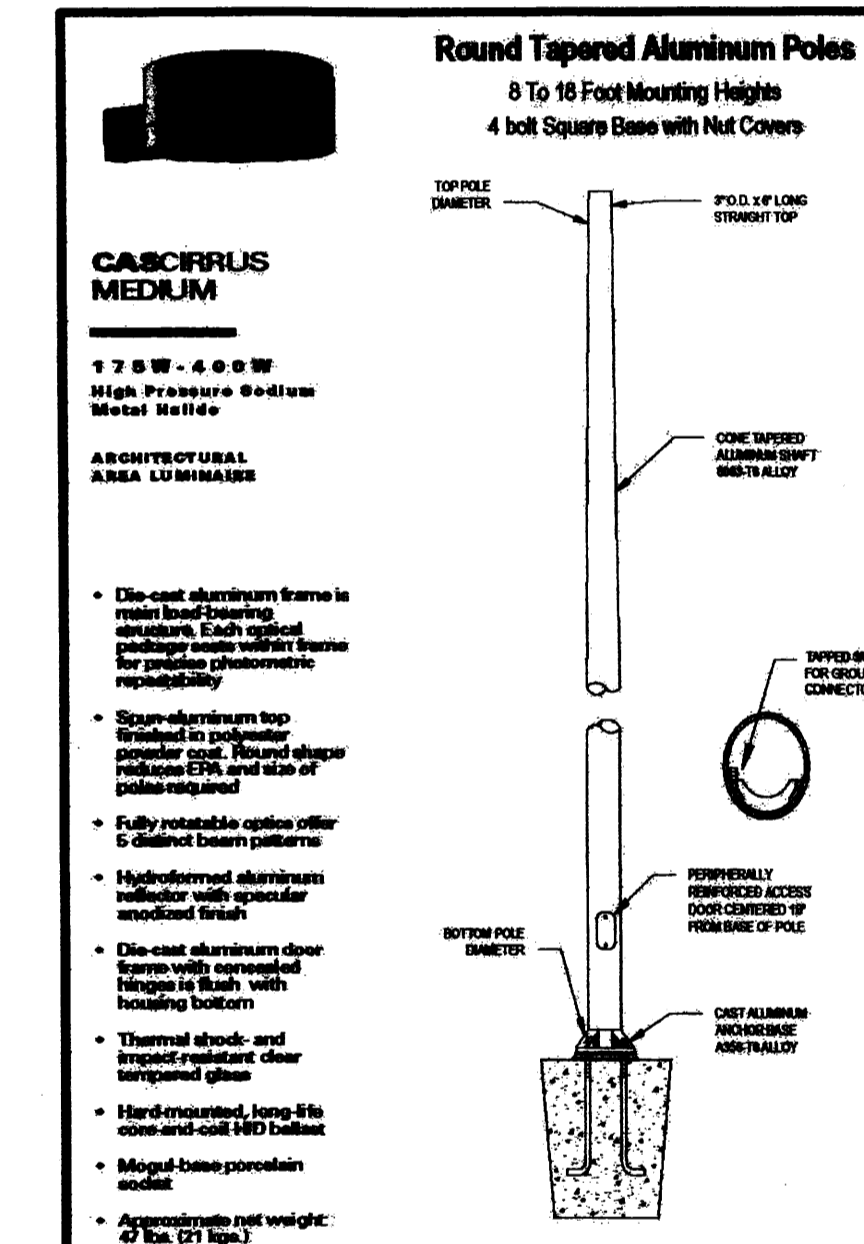
PARKING:

- APPLICABLE CODES
 - 1997 NEW MEXICO BUILDING CODE, CHAPTER 11 ACCESSIBILITY, FOR REQUIRED NUMBER OF ACCESSIBLE PARKING SPACES.
 - ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE, REVISED 2002.
- STANDARDS
 - PARKING SPACES REQUIRED PER USE -
 - OFFICE: 1 SPACE PER 200 SF NET (LEASABLE) AREA
 - WAREHOUSE: 1 SPACE PER 2000 SF NET AREA
 - PUBLIC ASSEMBLY: 1 SPACE PER 4 PEOPLE (SEATING)
 - HANDICAPPED (ACCESSIBLE) PARKING SPACES REQUIRED
 - 1 TO 25: 1 HC SPACE REQUIRED OF WHICH 1 TO BE FOR VAN 25 TO 35: 2 HC SPACE REQUIRED OF WHICH 1 TO BE FOR VAN 35 TO 50: 3 HC SPACE REQUIRED OF WHICH 1 TO BE FOR VAN 50 TO 100: 4 HC SPACE REQUIRED OF WHICH 1 TO BE FOR VAN
 - TYPICAL SPACE TO BE 12' BY 20'
 - PARKING STALL TO BE 8.5' WIDE; AISLE TO BE 3.5' WIDE, MINIMUM
 - VEHICLES NOT TO OVERHANG SIDEWALKS
- BICYCLES
 - 1 SPACE OR RACK FOR EACH 20 PARKING SPACES, OR MORE
- CALCULATIONS
 - OFFICE (B) OCCUPANCY
 GROSS AREA 10,200 SF
 LESS SERVICE AREAS 1,626 SF
 NET AREA 8,574 SF
 REQUIRED STALLS = 8,574 SF/200 SF/STALL = 43 STALLS
 - ASSEMBLY (A3) OCCUPANCY - TRAINING ROOM
 8 ROWS @ 7 SEATS PER ROW = 56 PEOPLE
 REQUIRED STALLS = 56 PEOPLE / 4 PEOPLE/STALL = 14 STALLS
 - WAREHOUSE (F1) OCCUPANCY - MAINTENANCE
 NET AREA 5,719 SF
 REQUIRED STALLS = 5,719 SF/2,000 SF/STALL = 3 STALLS

TOTAL STALLS REQUIRED = 43 + 14 + 3 = 60 STALLS

 - STALLS PROVIDED

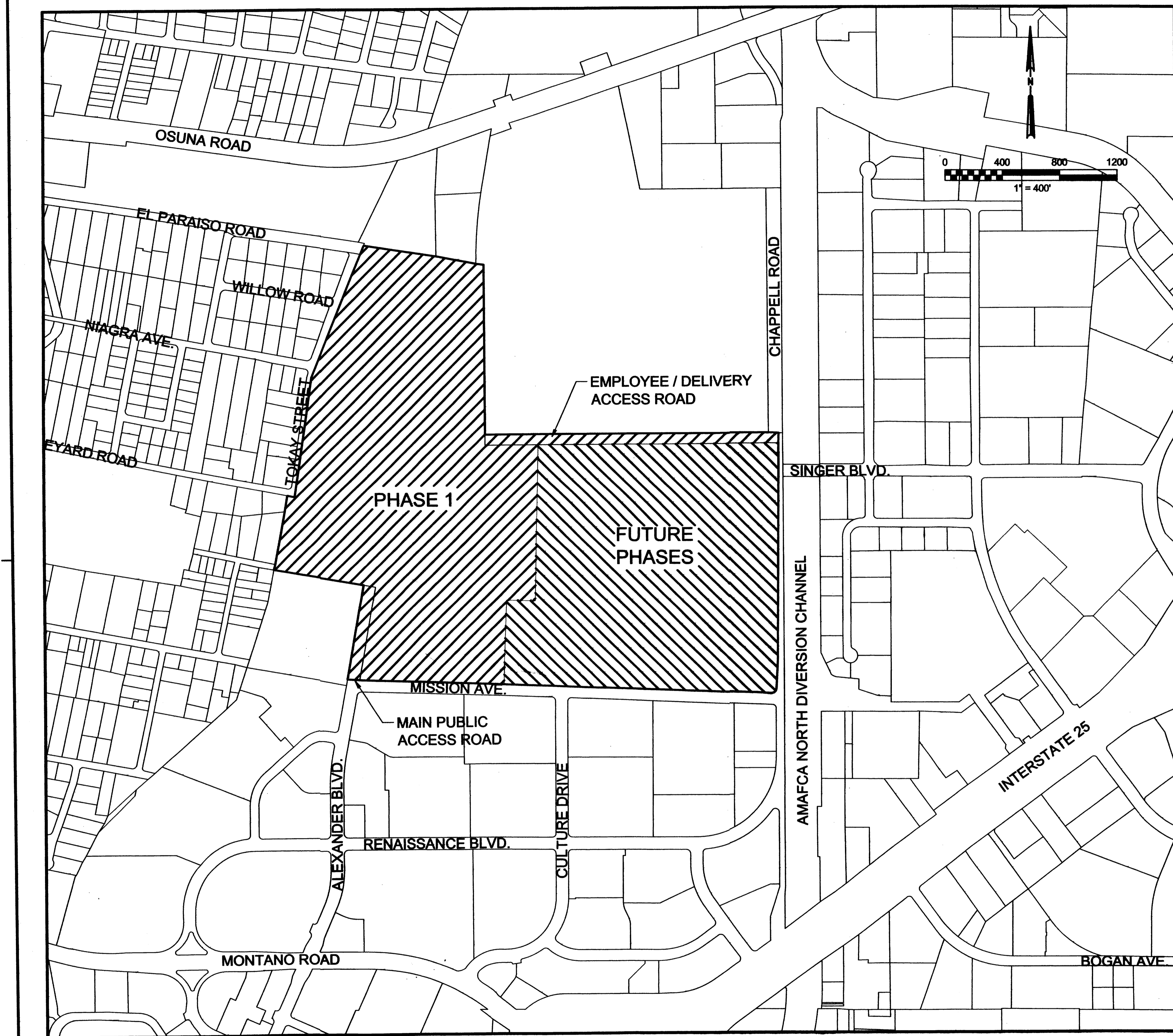
FRONT	30 STALLS
REAR	3 STALLS
MAINTENANCE	5 STALLS
EMPLOYEE	22 STALLS
TOTAL PROVIDED	60 STALLS
 - HANDICAPPED (ACCESSIBLE) STALLS
 - 4 SPACES REQUIRED - 6 SPACES PROVIDED
 - 2 IN FRONT
 - 1 IN REAR
 - 1 IN MAINTENANCE
 - 2 IN EMPLOYEE PARKING
 - BICYCLES
 - 3 SPACES OR RACKS REQUIRED - 4 PROVIDED
 - 2 IN FRONT
 - 1 IN REAR
 - 1 IN MAINTENANCE



LIGHTING FIXTURES ON 25-FOOT POLE



LIGHTING FIXTURES ON 45-FOOT POLE



DSGN									
DR									
CHK									
APVD									
	NO.	DATE	REVISION	BY	APVD				

CH2MHILL

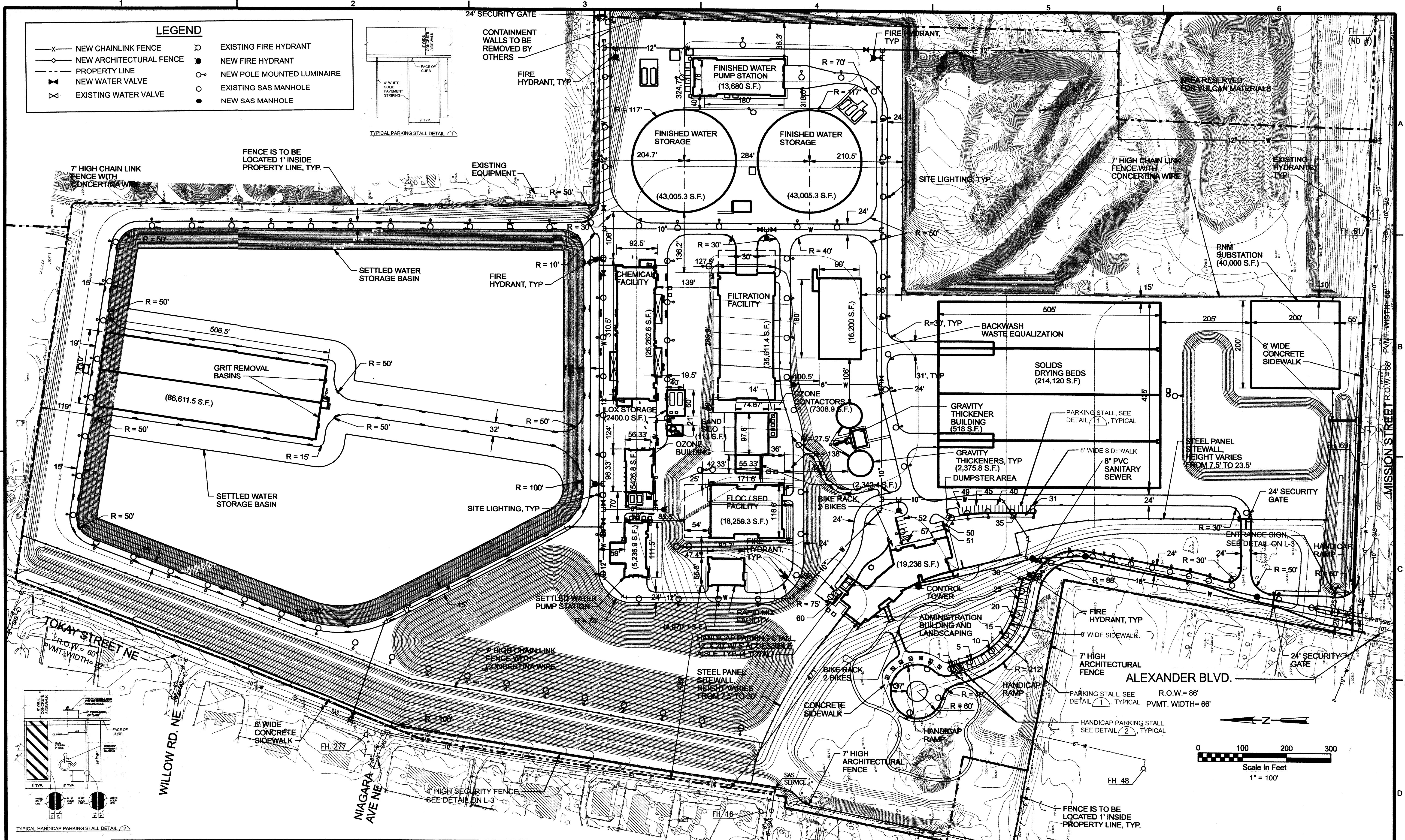
CITY OF ALBUQUERQUE
 WATER TREATMENT PLANT
 ALBUQUERQUE, NEW MEXICO

PHASE 1
 CONTEXT MAP
 AND SITE DATA

SHEET	2 of 20
DWG	C-1
DATE	DECEMBER 2003
PROJ	175569.TP

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DSGN	J. NESSL				
DR	L. GOODKIN				
CHK		NO.	DATE	DESCRIPTION	APVR
APVD		NO.	DATE	REVISION	BY

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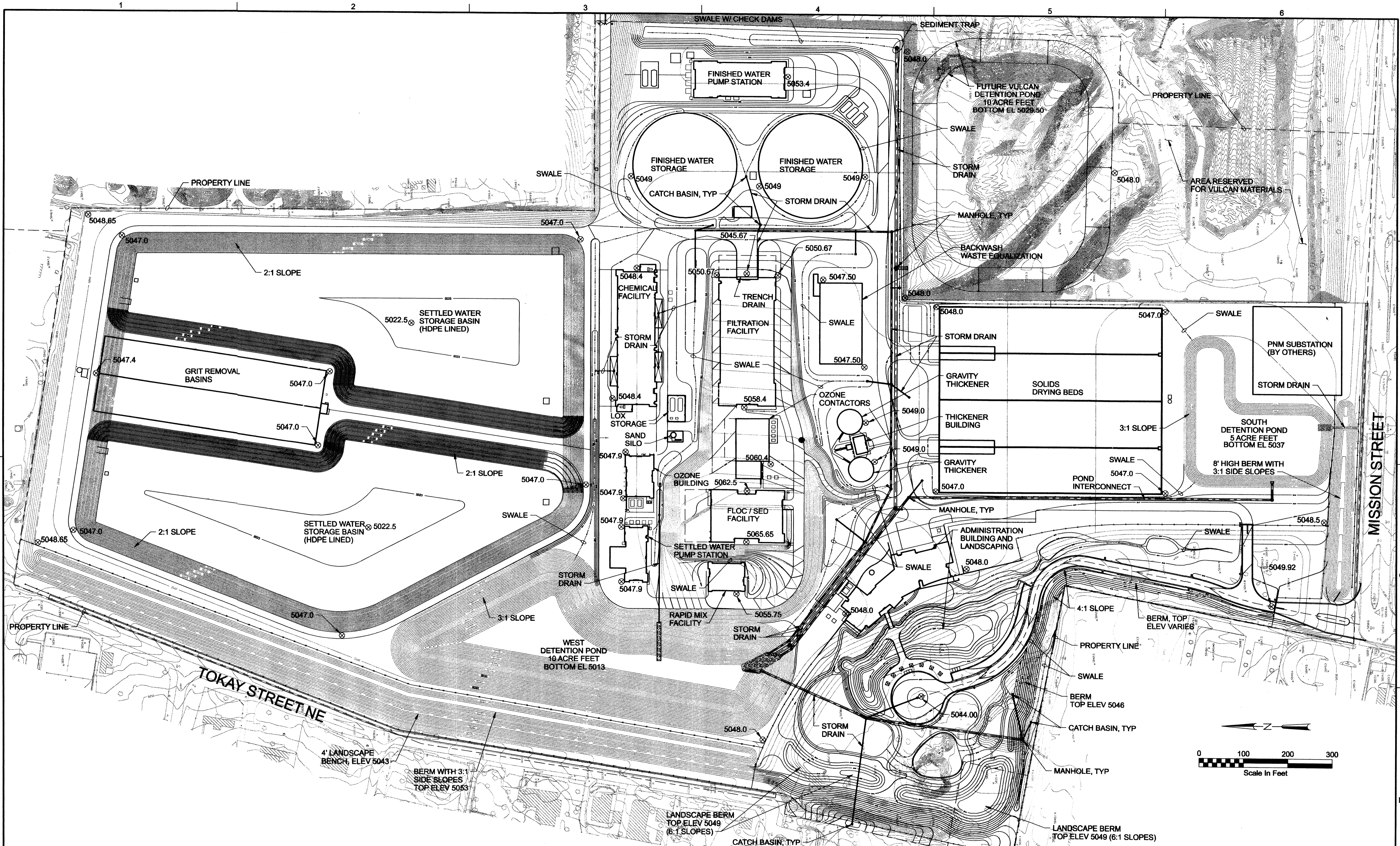


CITY OF ALBUQUERQUE
 WATER TREATMENT PLANT
 ALBUQUERQUE, NEW MEXICO

PHASE 1
 DIMENSIONED SITE PLAN & UTILITY LAYOUT

SHEET	3 of 20
DWG	C-2
DATE	DEC 30, 2003
PROJ	175569.TP

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DSGN	J. NESSL				
DR	L. GOODKIN				
CHK					
APVD		NO.	DATE	DESCRIPTION	APVR N
		NO.	DATE	REVISION	BY APVD

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CITY OF ALBUQUERQUE
 WATER TREATMENT PLANT
 ALBUQUERQUE, NEW MEXICO

PHASE 1
 PRELIMINARY GRADING PLAN

SHEET	4 of 20
DWG	C-3
DATE	DEC 30, 2003
PROJ	175569.TP

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TOTAL LANDSCAPE AREA

Total Site Area	78.8 Acres
Building Area	24.5 Acres
Net Site Area	54.3 Acres
Required Landscape (15%)	8.1 Acres
Landscape Provided	14.1 Acres

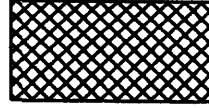
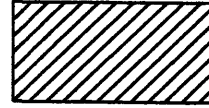
PUBLIC AREA

Site Area	15.9 Acres
Building Area	0.5 Acres
Net Site Area	15.4 Acres
Required Landscape (15%)	2.3 Acres
Landscape Provided	14.1 Acres

RESTRICTED ACCESS AREA

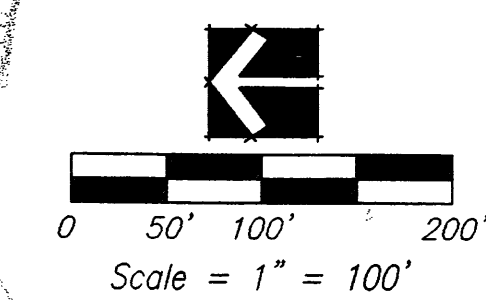
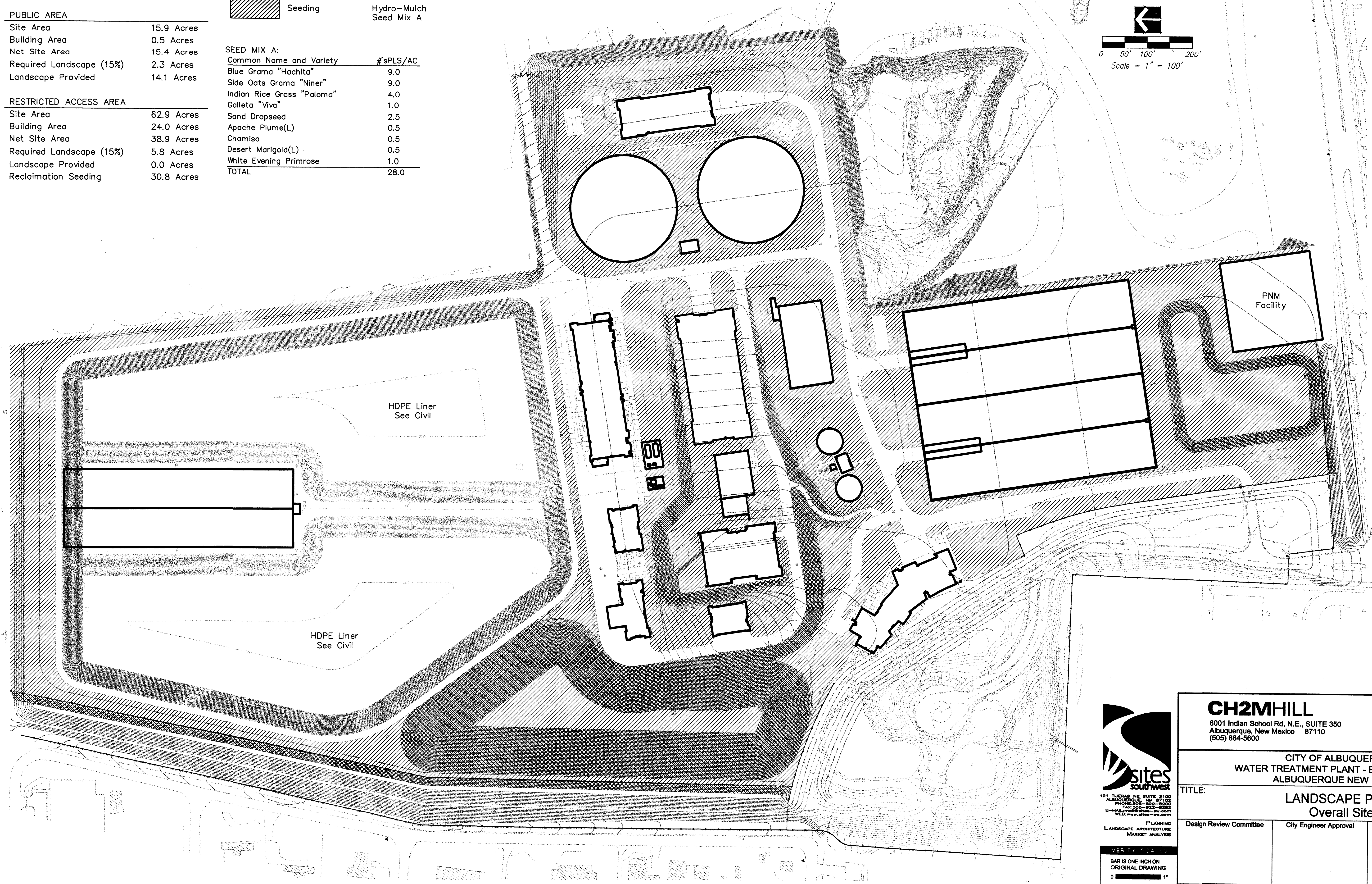
Site Area	62.9 Acres
Building Area	24.0 Acres
Net Site Area	38.9 Acres
Required Landscape (15%)	5.8 Acres
Landscape Provided	0.0 Acres
Reclamation Seeding	30.8 Acres

LEGEND:

	Cobble Mulch & Seeding	Broadcast Seed Mix A Over 2"-4" Angular Cobble Stone at 4" Depth,
	Seeding	Hydro-Mulch Seed Mix A

SEED MIX A:

Common Name and Variety	#sPLS/AC
Blue Grama "Hachita"	9.0
Side Oats Grama "Niner"	9.0
Indian Rice Grass "Paloma"	4.0
Galleta "Viva"	1.0
Sand Dropseed	2.5
Apache Plume(L)	0.5
Chamisa	0.5
Desert Marigold(L)	0.5
White Evening Primrose	1.0
TOTAL	28.0



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY NORTH	DATE	NO.	BY	NO.	BY
WORK BY	DATE	ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY NORTH	DATE				
INSPECTORS	DATE	DIVERSION CHANNEL BRASS CAP NUMBER 12-1D2 BRASS	DATE				
ACCEPTANCE BY	DATE	CAP SET ON CONCRETE POST PROJECTING 0.4 FEET ABOVE THE GROUND	DATE				
VERIFICATION BY	DATE	BM LOCATED 700 FEET SOUTH OF THE OSUNA BRIDGE OVER THE NORTH	DATE				
DRAWN BY	DATE	DIVERSION CHANNEL, WEST BANK, ELEV=5098.59 (NAVD88)	DATE				
CHECKED BY	DATE	NORTHING=1511047.540, EASTING=1534677.470 (NAVD88)	DATE				
RECORDED BY	DATE	NEW MEXICO STATE PLANE COORDINATE	DATE				
NO.		SYSTEM, CENTRAL ZONE					

NO.	DATE	REMARKS	BY
		DESIGN	

DESIGNED BY	GR	PROJECT NO.	175566 TP
DRAWN BY	JB	DATE	AUGUST 2004
CHECKED BY	TG	APPROVED BY	Approver



1211 TUESDAY HE SUITE 3100
ALBUQUERQUE, NM 87102
PHONE: 505-832-8200
FAX: 505-832-8202
E-MAIL: info@sites-sw.com
WEB: www.sites-sw.com

PLANNING
LANDSCAPE ARCHITECTURE
MARKET ANALYSIS

VERIFICATION
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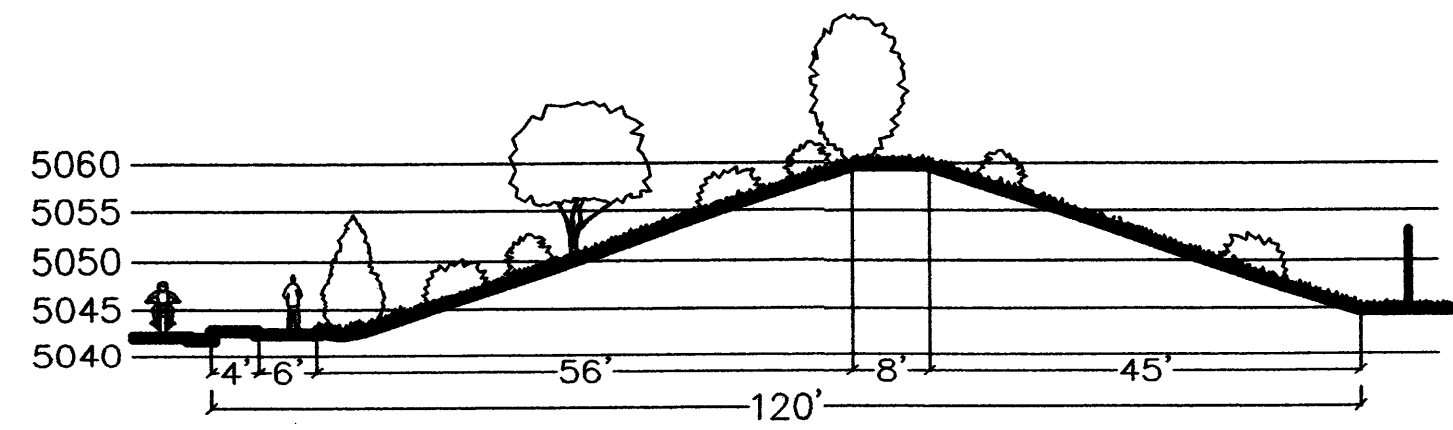
CH2MHILL
6001 Indian School Rd, N.E., SUITE 350
Albuquerque, New Mexico 87110
(505) 884-5600

CITY OF ALBUQUERQUE
WATER TREATMENT PLANT - BID DOCUMENTS
ALBUQUERQUE NEW MEXICO

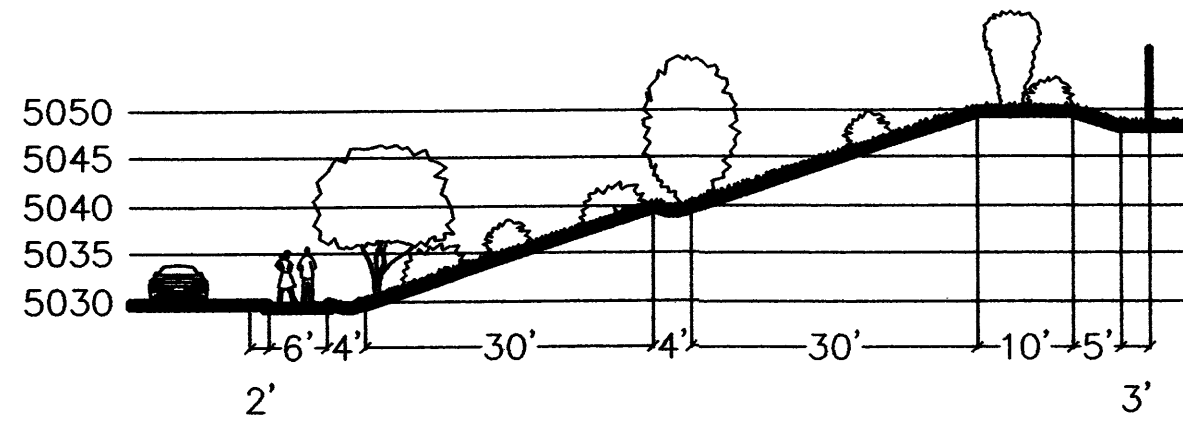
TITLE:
**LANDSCAPE PLAN
Overall Site**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

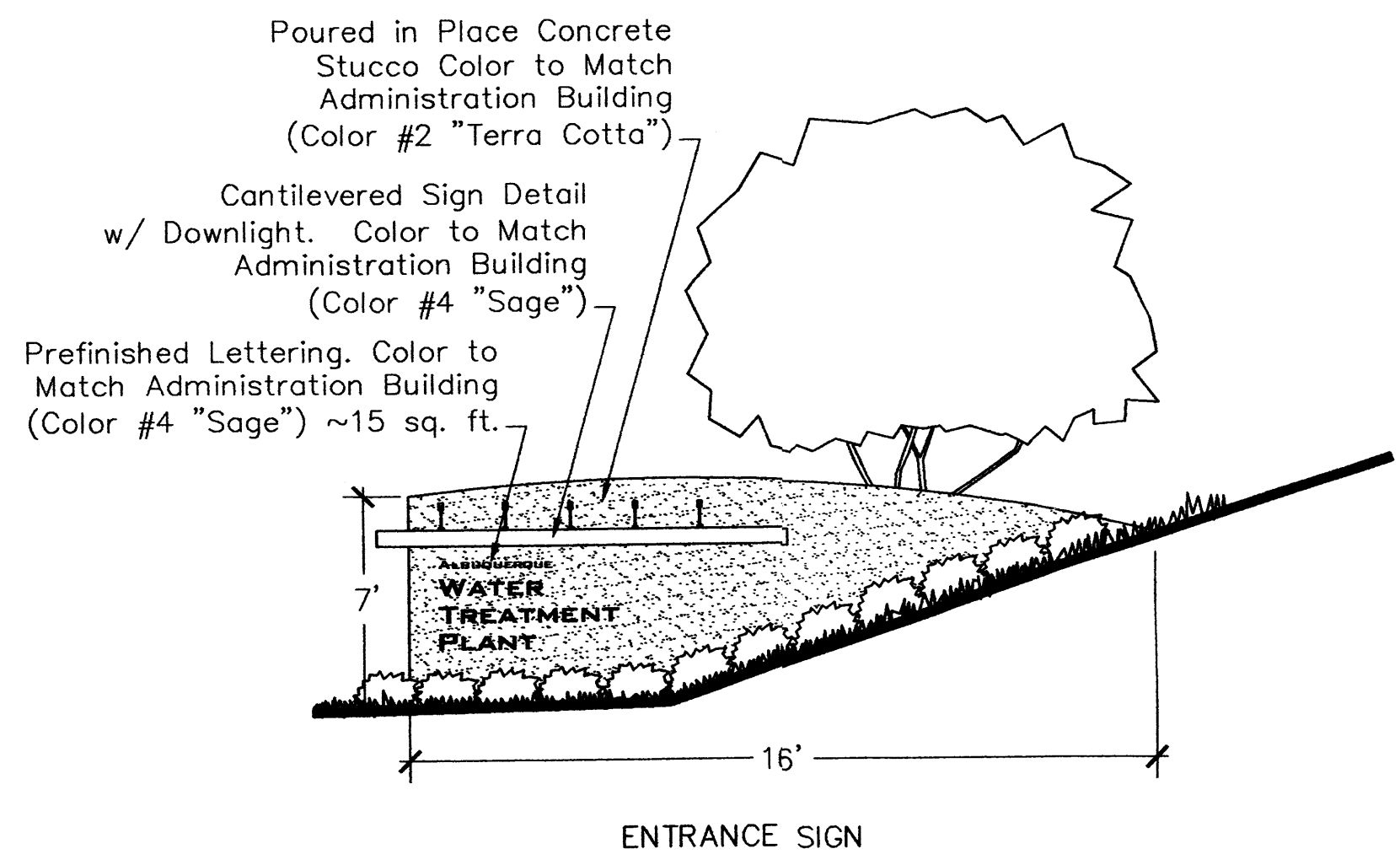
CITY PROJECT NO. 6806.02 Zone Map No. E & F-16 SHEET 5 OF 20
DRAWING NO. 95-L-1



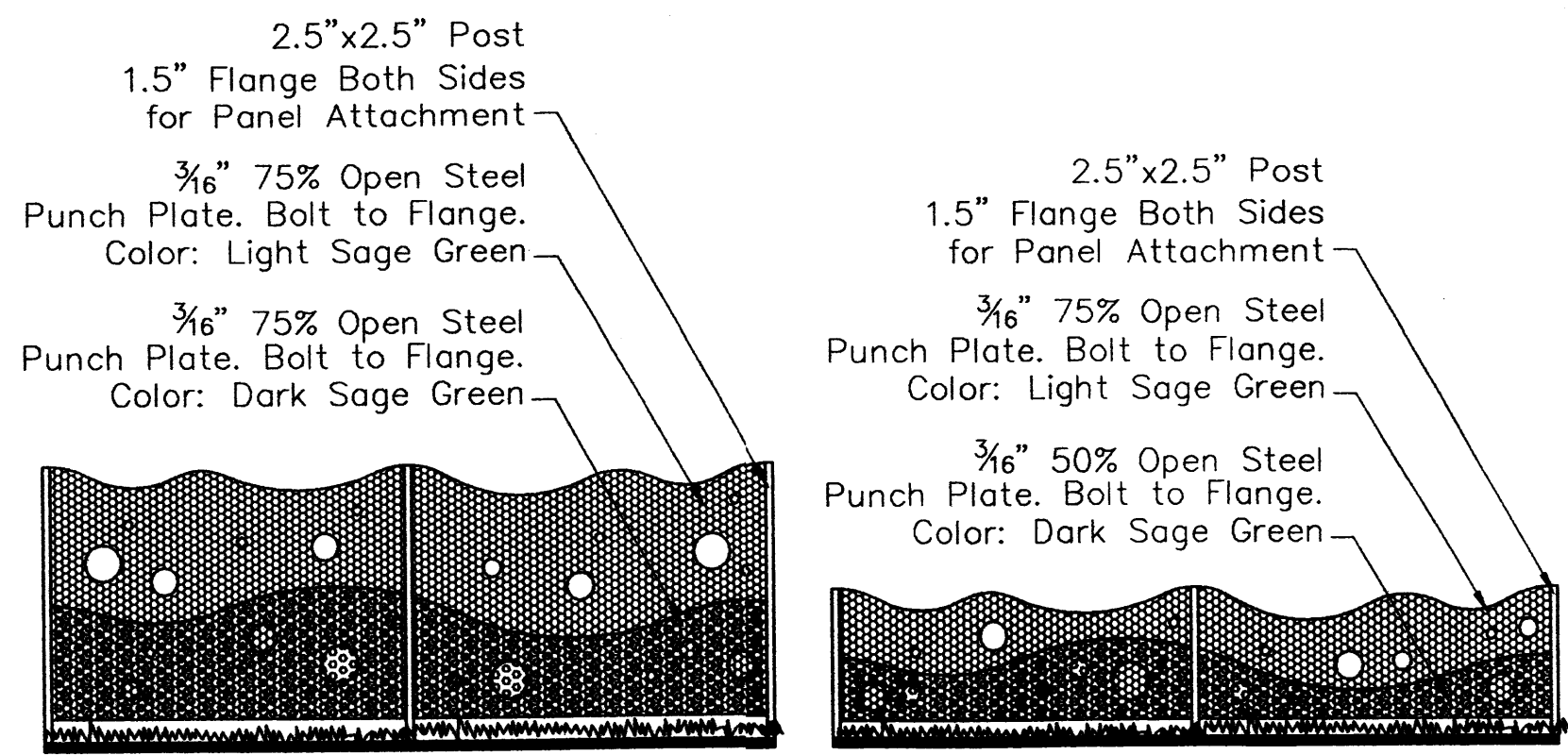
SECTION 1



SECTION 2



ENTRANCE SIGN



7' ARCHITECTURAL FENCE

4' ARCHITECTURAL FENCE

Note: Fence shall be constructed with 75% open punch plate or as necessary to meet security concerns for Water Treatment Plant.

Symbol	Botanical Name	Common Name	Size	Mature Size Ht.xSpread	Notes
TREES - BERM AND BUFFER:					
	One Seed Juniper	Juniperus monosperma	4' Ht.	8'x8'	B&B
	Mountain Mahogany	Cercocarpus montanus	15 Gal.	20'x15'	
	Shrub Live Oak	Quercus turbinella	5 Gal.	20'x15'	
TREES - ENTRY DRIVE AND OVERALL LANDSCAPE:					
	Southwestern White Pine	Pinus strobiformis	8'-12' Ht.	40'x25'	B&B
	New Mexico Sequoia	Taxodium mucronatum	15 Gal.	40'x30'	
	Alligator Juniper	Juniperus deppeana pachyphloea	4'-6' Ht.	20'x15'	B&B
	Desert Willow	Chilopsis linearis	2' Cal./6' Ht.	25'x15'	24" Box
	Yucca Sp.	Yucca sp.	5'-7' Ht.	8'x4'	Bare Root
	Smoke Tree	Cotinus coggygria	15 Gal.	15'x15'	
	Vitex	Vitex agnus-castus	2' Cal./6' Ht.	15'x15'	24" Box
	Curl-leaf Mountain Mahogany	Cercocarpus ledifolius	15 Gal.	20'x15'	
TREES - ADMINISTRATIVE AREA - RIPARIAN AREA:					
	Rocky Mountain Juniper	Juniperus scopulorum	15 Gal.	25'x15'	
	Limber Pine	Pinus flexilis	8'-10' Ht.	40'x30'	B&B
	Mountain Cottonwood	Populus acuminata	2' Cal.	50'x30'	B&B
	Valley Cottonwood	Populus fremontii 'Weitzen'	2' Cal.	60'x40'	B&B
	Arizona Sycamore	Platanus wrightii	2' Cal.	50'x30'	B&B
	New Mexico Ash (Berinda)	Fraxinus velutina 'Berinda'	2' Cal.	50'x30'	B&B
	Western Hackberry	Celtis occidentalis	2' Cal.	60'x40'	B&B
	Box Elder	Acer negundo	15 Gal.	30'x20'	
	Medican Elder	Sambucus mexicana	15 Gal.	20'x15'	
SHRUBS - BERM AND BUFFER:					
	Chamisa	Chrysothamnus nauseosus	5 Gal.	6'x8'	
	Beargrass	Nolina microcarpa	5 Gal.	6'x8'	
	Prickly Pear Sp.	Opuntia spp.	5 Gal.	3'x8'	
	Saltbush	Atriplex confertifolia	5 Gal.	6'x8'	
	Agave Sp.	Agave spp.	5 Gal.	3'x3'	
	Yucca Sp.	Yucca spp.	5 Gal.	3'x3'	
	Turpentine Bush	Ericameria laricina	5 Gal.	3'x3'	
	Marjole	Parthenium incanum	1 Gal.	2'x3'	
SHRUBS - ENTRY DRIVE AND OVERALL LANDSCAPE:					
	Sage Sp.	Artemisia spp.	5 Gal.	4'x3'	
	Damianita	Chrysoactinia mexicana	5 Gal.	3'x3'	
	Cliffrose	Parula mexicana stansburyana	5 Gal.	6'x4'	
	Broom Sp.	Cytisus spp., Genista spp., Spartium spp.	5 Gal.	5'x5'	
	Curry Plant	Helichrysum angustifolium	1 Gal.	2'x5'	
	Lavender	Lavendula spp.	1 Gal.	2'x5'	
	Rosemary	Rosmarinus officinalis	5 Gal.	4'x4'	
	Arizona Rosewood	Vauquelinia californica	5 Gal.	8'x5'	
	Fernbush	Chamaebotria millefolium	5 Gal.	4'x4'	
	Chamisa	Chrysothamnus nauseosus	5 Gal.	6'x8'	
	Sumac Sp.	Rhus spp.	5 Gal.	6'x6'	
	Dunebroom	Parryella filifolia	1 Gal.	4'x4'	
	Cherry Sage	Salvia greggii	1 Gal.	3'x3'	
SHRUBS - ADMINISTRATIVE AREA - RIPARIAN AREA:					
	New Mexico Olive	Forestaria neomexicana	15 Gal.	6'x8'	
	Gambel Oak	Quercus gambelii	15 Gal.	15'x12'	
	Buffaloberry	Shepherdia argentea	5 Gal.	8'x16'	
	Cinquefoil	Potentilla sp.	5 Gal.	3'x3'	
	Oregon Grape Holly	Mahonia aquifolium	5 Gal.	5'x4'	
	Sumac Sp.	Rhus spp.	5 Gal.	5'x6'	
	Golden Currant	Ribes aureum	5 Gal.	4'x4'	
	Western Virgin's Bower	Clematis ligusticifolia	1 Gal.	Varies	Vine Spreading
	Woods Rose	Rosa woodii	1 Gal.	4'x4'	
	False Indigo Bush	Amorpha fruticosa	5 Gal.	6'x6'	
	Redtwig Dogwood	Cornus stolonifera	5 Gal.	6'x5'	
GROUNDCOVERS - BERM AND BUFFER:					
	Creeping Oregon Grape	Mahonia repens	1 Gal.	1'x4'	
	Desert Marigold	Bolero multicaulis	1 Gal.	1'x1'	
	Paper Flower	Palafoxia tetralix	1 Gal.	1'x1'	
	Blue Flax	Linum perenne	1 Gal.	3'x1'	
	Gayfeather	Liatris punctata	1 Gal.	3'x1'	
	Globeamallow	Sphaeralcea spp.	1 Gal.	3'x1'	
GROUNDCOVERS - ENTRY DRIVE AND OVERALL LANDSCAPE:					
	Snow-in-summer	Cerastium tomentosum	1 Gal.	6'x1'	
	Broom Sp.	Cytisus spp.	1 Gal.	1'x3'	
	Greek Germander	Teucrium arcanum	1 Gal.	6'x1'	
	Desert Zinnia	Zinnia grandiflora	1 Gal.	6'x4'	
	Surrose	Helianthemum nummularium	1 Gal.	6'x2'	
GROUNDCOVERS - ADMINISTRATIVE AREA - RIPARIAN AREA:					
	Yerba de Manza	Anemopsis californica	1 Gal.	1'x4'	
	Hedgehog Cactus	Echinocactus spp.	1 Gal.	1'x3'	
	Allium Sp.	Allium spp.	1 Gal.	1'x1'	
	Mosmillon Sunflower	Helianthemum mosmillonii	1 Gal.	4'x2'	
	Yarrow Sp.	Achillea spp.	1 Gal.	1'x2'	
GRASSES - BERM AND BUFFER:					
	Blue Grama	Bouteloua gracilis	1 Qt. & Seeded	2'x1'	
	Gadleta	Hilaria jamesii	Seeded	2'x2'	
	Muhly Sp.	Muhlenbergia spp.	1 Qt. & Seeded	2'x2'	
	Sideoats Grama	Bouteloua curtipendula	1 Qt. & Seeded	2'x2'	
GRASSES - ENTRY DRIVE AND OVERALL LANDSCAPE:					
	Blue Grama	Bouteloua gracilis	1 Qt. & Seeded	2'x1'	
	Fescue Sp.	Festuca spp.	1 Gal.	1'x1'	
	Indian Ricegrass	Oryzopsis hymenoides	1 Gal.	2'x2'	
	Fountain Grass Sp.	Pennisetum spp.	5 Gal.	3'x3'	
	Threadgrass	Stipa tenuilima	1 Gal.	3'x3'	
GRASSES - ADMINISTRATIVE AREA - RIPARIAN AREA:					
	Blue Grama	Bouteloua gracilis	1 Qt. & Seeded	2'x1'	
	Buffalo Grass	Buchloe dactyloides	Sod	2'x1'	
	Alkali Sacaton	Sporobolus airoides	5 Gal.	4'x2'	
	Sideoats Grama	Bouteloua curtipendula	1 Qt. & Seeded	2'x2'	
	Indian Grass	Sorghastrum nutans	1 Qt. & Seeded	3'x2'	
	Western Wheatgrass	Agropyron smithii	1 Qt. & Seeded	2'x1'	

AS BUILT INFORMATION		CONTRACTOR	DATE
BENCHMARKS		INSPECTORS	DATE
SURVEY INFORMATION		FIELD	DATE
FIELD NOTES		VERIFICATION BY	DATE
ENGINEER'S SEAL		CORRECTED BY	DATE
REVISIONS		DESIGNED BY	DATE
NO. DATE		DRAWN BY	DATE
REMARKS		CHECKED BY	DATE
BY		APPROVED BY	DATE
DESIGN		PROJECT NO.	175588-TP
DESIGN		DATE	FEB 2004
DESIGN		APPROVED BY	Approver



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ALBUQUERQUE, NM 87102
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E-MAIL: ms@sites-aw.com
WEB: www.sites-aw.com

PLANNING
LANDSCAPE ARCHITECTURE
MARKET ANALYSIS

**CITY OF ALBUQUERQUE
WATER TREATMENT FACILITY
ALBUQUERQUE NEW MEXICO**

**TITLE: LANDSCAPE PLAN
Details**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

CITY PROJECT NO. _____ Zone Map No. E16, F16 SHEET 7 OF 20 DRAWING NO. L3

BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

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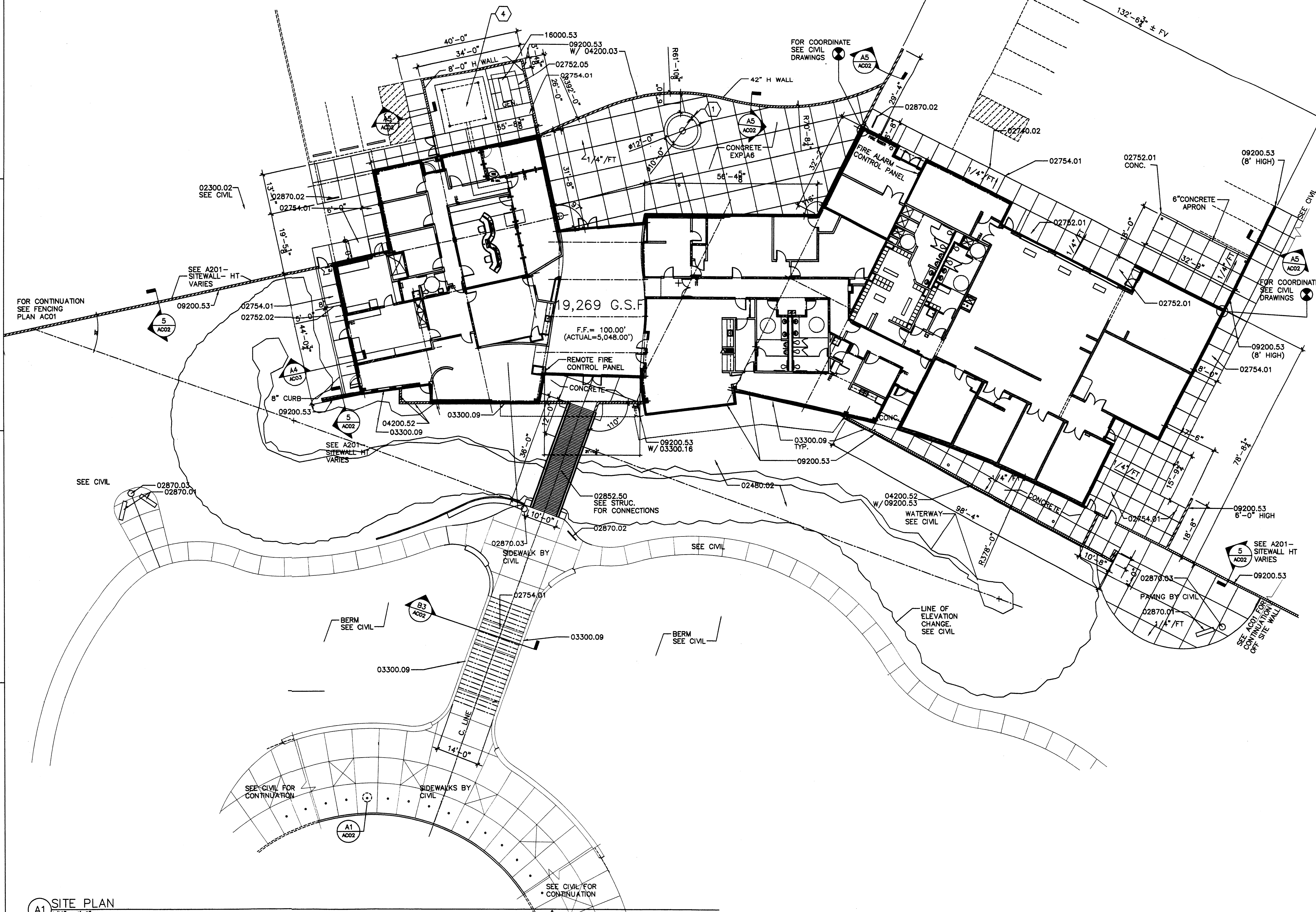
GENERAL SHEET NOTES

SPECIFICATION KEYNOTES

SHEET KEYNOTES

- 02300.02 FINISH GRADE, SLOPE AWAY FROM BUILDING
- 02300.05 SAND FILL
- 02740.01 ASPHALTIC CONCRETE PAVING - SEE CIVIL
- 02740.02 FLUSH JOINT AT CONCRETE/ASPHALT-SEE CIVIL
- 02752.01 CONC. PAVING - SEE SPECS & DETLS.
- 02752.02 CONC. CURB - SEE DETLS.
- 02752.03 CONC. EQUIP. PAD-8" W/REINF. U.O.N.
- 02754.01 CONC. SIDEWALK - SEE SPECS & CIVIL
- 02852.50 PREFABRICATED STEEL PEDESTRIAN BRIDGE- SEE SPECS
- 02870.01 SITE BENCH- SEE SPECS
- 02870.02 BIKE RACK- SEE SPECS
- 02870.03 PRECAST CONC. TRASH RECEPTACLE- SEE SPECS
- 03300.09 CONC. RETAINING WALL, SEE STRUCTURAL
- 03300.16 CONC. SITE WALL, SEE STRUCTURAL
- 04200.52 CMU RETAINING WALL- SEE STRUCT. & A5/AC02
- 09200.52 EXTERIOR WALL FINISH SYSTEM NO. 3
- 09200.53 EXTERIOR WALL FINISH SYSTEM NO. 4
- 16000.53 EMERGENCY GENERATOR, SEE ELEC.

1. STUB OUT POWER AND WATER, CAPPED, FOR FUTURE FOUNTAIN.
2. SLOPE PAVEMENT TO DRAIN 1/4"/FT.
3. STOP CMU WALL ±6" FROM FINISHED FACE OF BLDG AT THIS POINT. EXTEND PLASTER FINISH TO ALL EXPOSED SURFACES. TAPER END OF WALL AS SHOWN TO APPROACH BUILDING. NO WIDER THAN A 4" GAP BETWEEN THE FINISHED SURFACES OF THE WALLS SHOULD EXIST.
4. MICROWAVE TOWER- SEE WATER PLANT DRAWINGS AND SPECS



A1 SITE PLAN
1/16" = 1'-0"

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	BY	NO.	DATE
Albuquerque Metropolitan Flood Control Authority North							
Drawn by: KMD	175569.TP						
Checked by: STAFF	AUGUST 2004						
Approved by:							

Van H. Gilbert Architect P.C.
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 tel 505 . 247 . 9955 fax 505 . 247 . 1826

CH2MHILL
 6001 Indian School Rd, N.E., SUITE 350
 Albuquerque, New Mexico 87110
 (505) 884-5600

CITY OF ALBUQUERQUE
 WATER TREATMENT PLANT
 ALBUQUERQUE NEW MEXICO

TITLE: ADMINISTRATION / MAINTENANCE BUILDING

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

CITY PROJECT NO. 6806.02 Zone Map No. E & F-16 SHEET 8 OF 20 DRAWING NO. 95 - A-2

VERIFY SCALES
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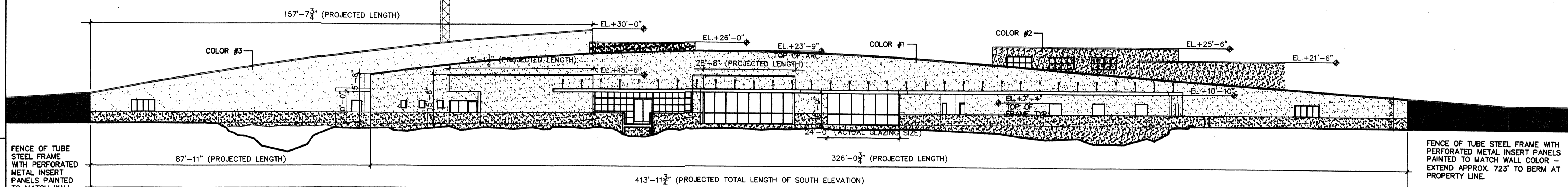
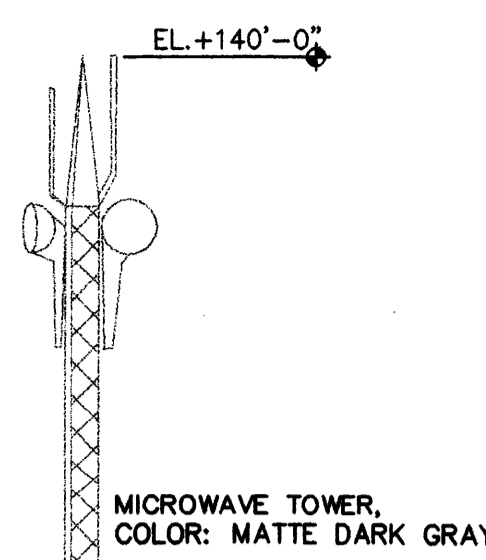
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A



FENCE OF TUBE STEEL FRAME WITH PERFORATED METAL INSERT PANELS PAINTED TO MATCH WALL COLOR - EXTEND APPROX. 396' TO WEST PROPERTY LINE.

FENCE OF TUBE STEEL FRAME WITH PERFORATED METAL INSERT PANELS PAINTED TO MATCH WALL COLOR - EXTEND APPROX. 723' TO BERM AT PROPERTY LINE.

B5 SOUTH ELEVATION - PUBLIC ENTRANCE
1/16" = 1'-0"

COLOR SELECTION:

COLOR #1 = EL REY STUCCO #3457 "LIGHT BEIGE"

COLOR #2 = EL REY STUCCO #3463 "TERRA COTTA" (BROWNISH ORANGE)

COLOR #3 = EL REY STUCCO #3456 "MAUVE" (LAVENDER)

COLOR #4 = ICI PAINT #743 "SAGE" (LIGHT GREEN)

(ALUMINIUM WINDOW/ DOOR FRAMES AND METAL AWNINGS)

GLASS: LIGHT GREEN TINT

NOTE: WHERE COLORS ARE CALLED FOR THAT ARE NOT STUCCO IN FINISH, PAINT COLOR IN SEMI-GLOSS TO MATCH ADJACENT WALL.

Van H. Gilbert Architect P.C.
ARCHITECTURE • INTERIORS • PLANNING

2428 Baylar Drive SE Albuquerque, NM 87106
Tel: 505.267.9900 Fax: 505.267.9026

File Name: WGA Project No: 246

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
WATER TREATMENT FACILITY

ELEVATIONS

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. Zone Map No. E AND F-16

A-3 Sheet 9 of 20

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
INSTRUCTORS	DATE
FIELD	DATE
REVISIONS	DATE
DESIGN	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

SURVEY NOTES	
FIELD NOTES	DATE
NO.	
BY	

BENCH MARKS	
NO.	DATE

ENGINEER'S SEAL	
(Seal Area)	

REVISIONS	By
DESIGN	
DESIGNED BY: STAFF	
DRAWN BY: STAFF	
CHECKED BY: STAFF	

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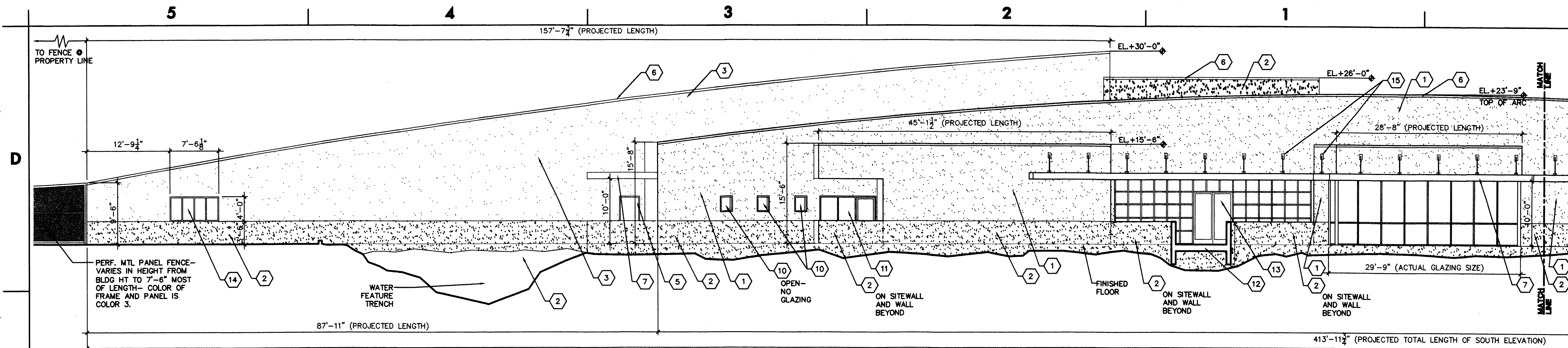
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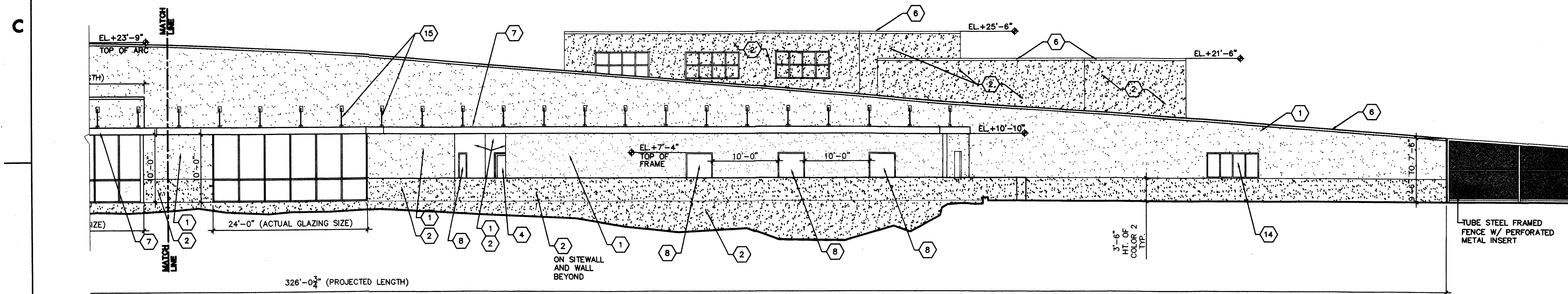
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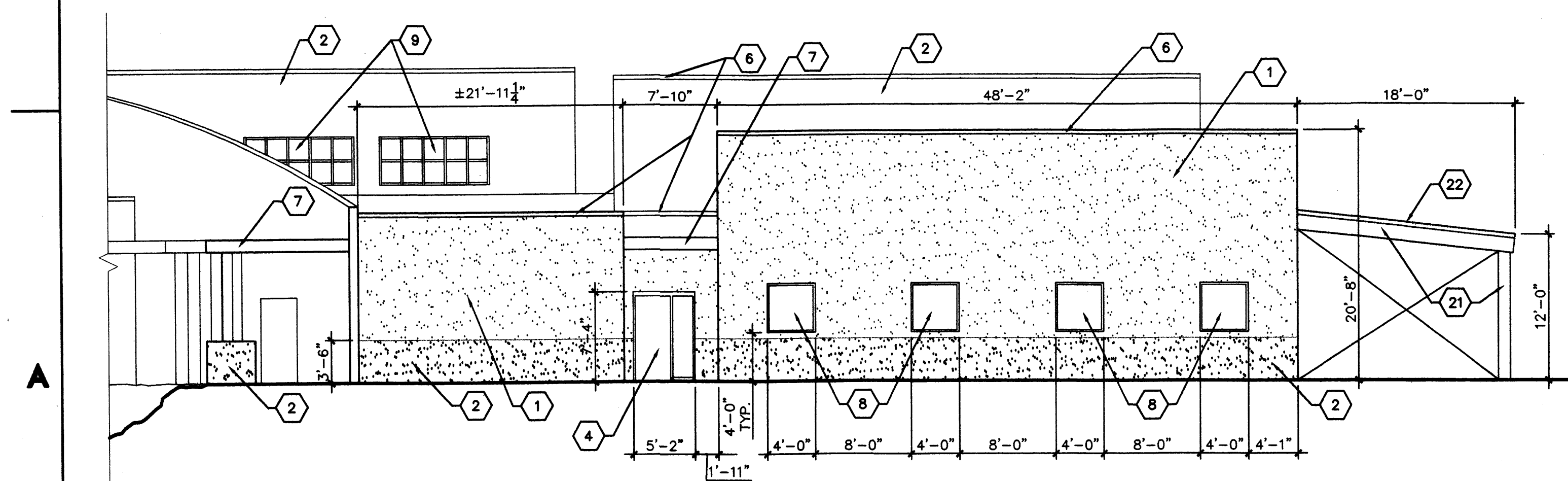
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C6 SOUTH ELEVATION- EAST END NOTE: EXCEPT WHERE NOTED ON THIS ELEVATION DIMENSIONS ARE SHOWN AS PROJECTED, NOT ACTUAL. SEE SITE PLAN FOR ADDITIONAL INFO.
1/8" = 1'-0"



B6 SOUTH ELEVATION- WEST END NOTE: EXCEPT WHERE NOTED ON THIS ELEVATION DIMENSIONS ARE SHOWN AS PROJECTED, NOT ACTUAL. SEE SITE PLAN FOR ADDITIONAL INFO.
1/8" = 1'-0"



A6 EAST ELEVATION
1/8" = 1'-0"

SHEET KEYNOTES

1. 3 COAT STUCCO SYSTEM- COLOR #1.
2. 3 COAT STUCCO SYSTEM- COLOR #2.
3. 3 COAT STUCCO SYSTEM- COLOR #3.
4. PAINTED HOLLOW METAL DOOR AND FRAME W/ SIDELITE- PAINT BOTH COLOR #4.
5. PAINTED HOLLOW METAL 3'-0" X 7'-0" DOOR AND FRAME- PAINT TO MATCH ADJACENT WALL COLOR.
6. METAL PARAPET CAP- COLOR TO MATCH ADJACENT WALL BELOW.
7. PERFORATED METAL PANEL/ STRUCTURAL STEEL AWNING- PAINTED COLOR #4.
8. 4'-0" W X 4'-0" H ALUMINUM STOREFRONT WINDOW W/ 1" INSULATING GLASS- COLOR OF FRAME TO BE COLOR #4.
9. 9'-9" W X 4'-0" H ALUMINUM STOREFRONT WINDOW W/ 1" INSULATING GLASS- 3 EA. SIDE OF LOBBY- COLOR OF FRAME TO BE COLOR #4.
10. 2'-4" W X 2'-4" H ALUMINUM STOREFRONT WINDOW W/ 1" INSULATING GLASS- COLOR OF FRAME TO BE COLOR #4.
11. ALUMINUM STOREFRONT DOOR W/ SIDE GLAZING- TOTAL OPENING SIZE IS 9'-0" W X 7'-4" H. COLOR TO BE COLOR #4.
12. PREFABRICATED WOOD AND STRUCTURAL STEEL BRIDGE. WOOD IS NATURAL FINISH, STEEL IS PTD COLOR #2.
13. ALUMINUM FRAMED STOREFRONT ENTRY AND GLAZING- 31'-0" W X 10'-10" H. ALUM. COLOR TO BE COLOR #4. GREEN COLOR GLASS.
14. 8'-0" W X 3'-8" H PAINTED HOLLOW METAL FRAME- DIVIDED EQUALLY AS SHOWN. COLOR TO MATCH ADJACENT WALL. OPEN - NO GLASS.
15. PAINTED STEEL CLEVIS AND ROD, TYP.- COLOR #1.
21. PAINTED STEEL FRAME, COLOR #4.
22. METAL ROOF, COLOR #4.

COLOR SELECTION:

COLOR #1 = EL REY STUCCO #3457 "LIGHT BEIGE"
 COLOR #2 = EL REY STUCCO #3463 "TERRA COTTA" (BROWNISH ORANGE)
 COLOR #3 = EL REY STUCCO #3456 "MAUVE" (LAVENDER)
 COLOR #4 = ICI PAINT #743 "SAGE" (LIGHT GREEN)
 (ALUMINIUM WINDOW/ DOOR FRAMES AND METAL AWNINGS)
 GLASS: LIGHT GREEN TINT
 NOTE: WHERE COLORS ARE CALLED FOR THAT ARE NOT STUCCO IN FINISH, PAINT COLOR IN SEMI-GLOSS TO MATCH ADJACENT WALL.

Van H. Gilbert Architect P.C.

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2420 Ingalls Drive SE Albuquerque, NM 87106
 Tel: 505.247.9988 Fax: 505.247.9888

File Name: File Name WGA Project No: 346

CITY OF ALBUQUERQUE

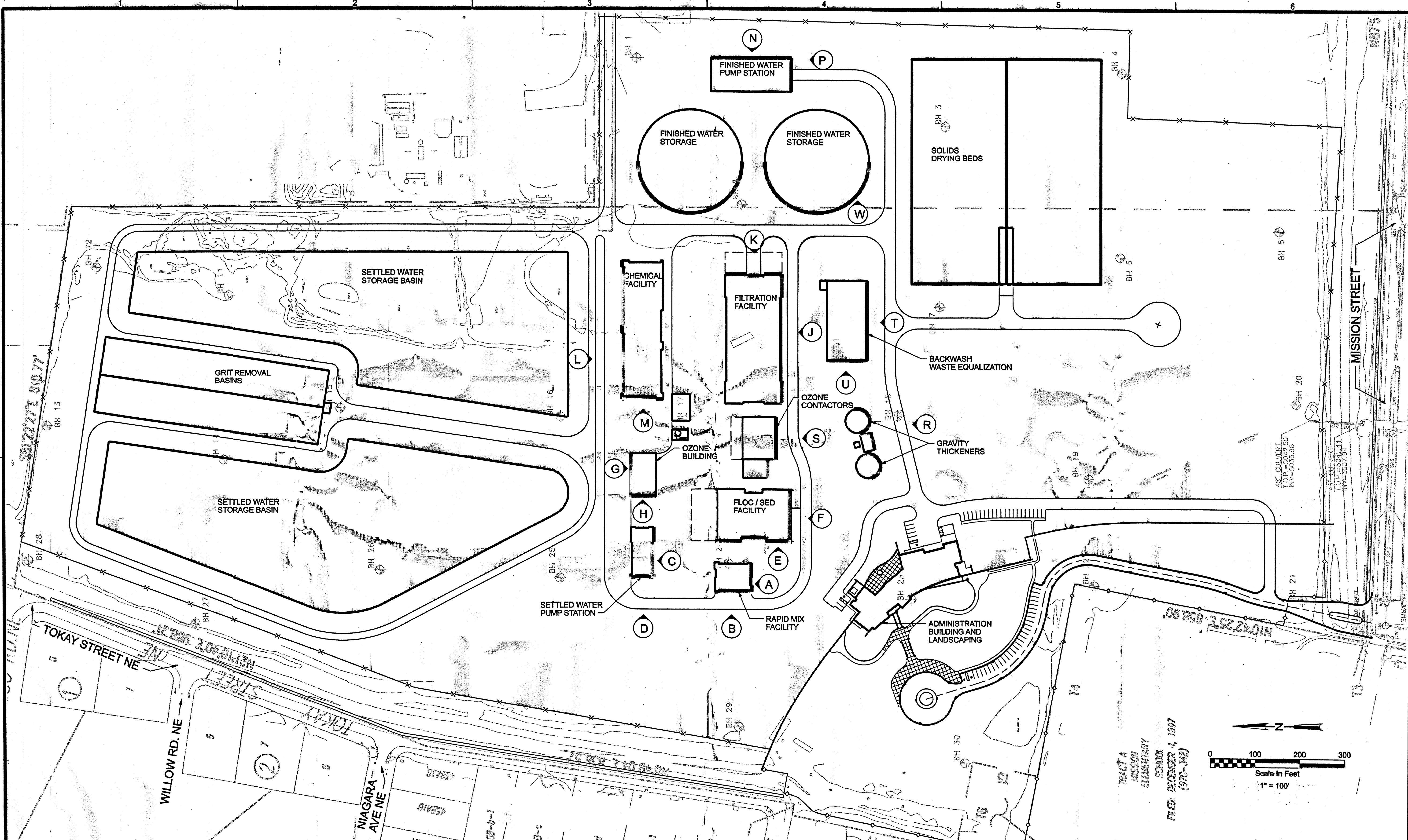
PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

WATER TREATMENT FACILITY

ELEVATIONS

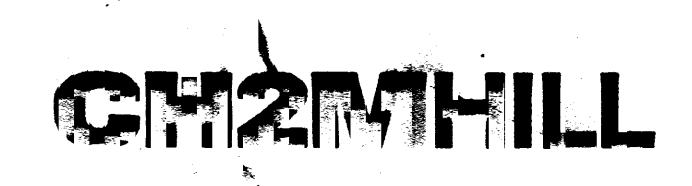
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	10 of 20
	E AND F-16	A-4	



DSGN	C. STEPHENS				
DR	A. CABAL				
CHK					
APVD					
	NO.	DATE	REVISION	BY	APVD

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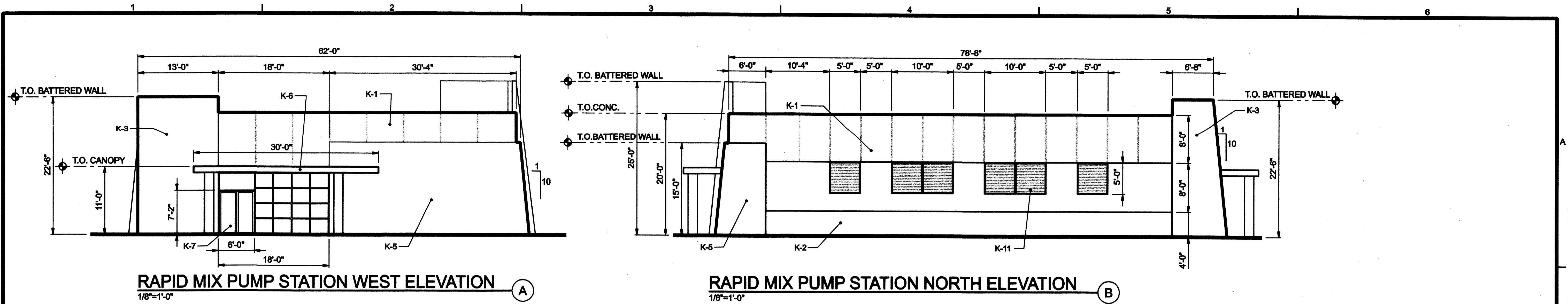


CITY OF ALBUQUERQUE
 WATER TREATMENT PLANT
 ALBUQUERQUE, NEW MEXICO

PHASE 1
 ELEVATION
 KEY PLAN

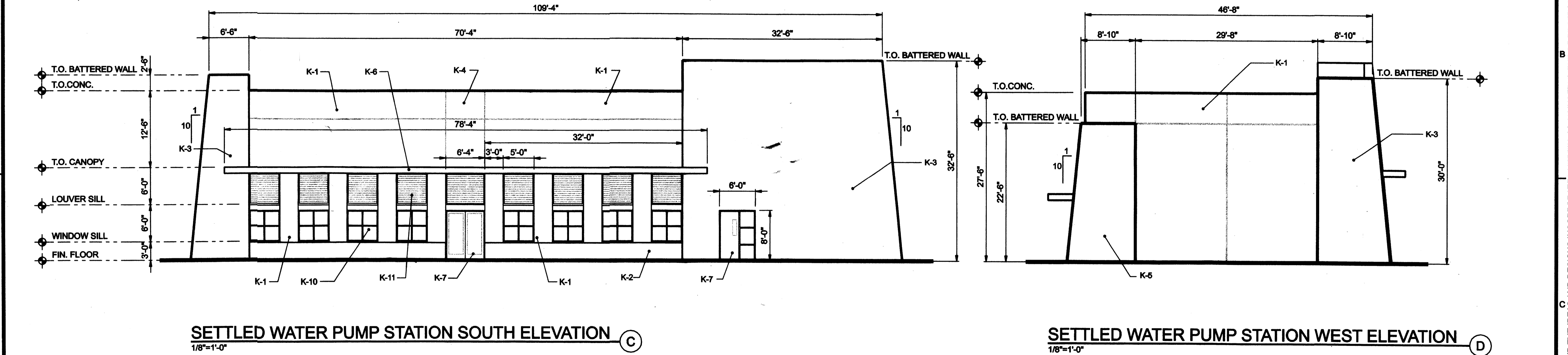
SHEET	12 of 20
DWG	A-6
DATE	DEC 30, 2003
PROJ	175569.TP

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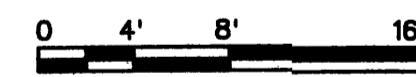
RAPID MIX PUMP STATION WEST ELEVATION
1/8"=1'-0" (A)

RAPID MIX PUMP STATION NORTH ELEVATION
1/8"=1'-0" (B)



SETTLED WATER PUMP STATION SOUTH ELEVATION
1/8"=1'-0" (C)

SETTLED WATER PUMP STATION WEST ELEVATION
1/8"=1'-0" (D)



NOTE:
ONLY SELECT ELEVATIONS ARE INCLUDED BECAUSE THE VIEW CORRIDORS OF THE SITE ARE LIMITED. THE ELEVATIONS SHOWN ARE THE ONES MOST VISIBLE FROM THE SITE BOUNDARY. THE ADMINISTRATION BUILDING IS THE ONLY BUILDING ACCESSIBLE BY THE GENERAL PUBLIC AND, THEREFORE, IS THE ONLY BUILDING WITH ALL ELEVATIONS SHOWN.

KEY NOTES:

- K-1 CAST IN PLACE CONCRETE WALL WITH ACCENT REVEALS, STAINED AND SEALED, COLOR C-1
- K-2 CAST IN PLACE CONCRETE WALL, STAINED AND SEALED, COLOR C-2
- K-3 CAST IN PLACE CONCRETE BATTERED WALL, STAINED AND SEALED, COLOR C-2
- K-4 CAST IN PLACE CONCRETE WALL, STAINED AND SEALED, COLOR C-3
- K-5 CAST IN PLACE CONCRETE BATTERED WALL, STAINED AND SEALED, COLOR C-3
- K-6 CAST IN PLACE CONCRETE CANOPY, STAINED AND SEALED, COLOR C-4
- K-7 ALUMINUM ENTRANCE DOOR AND FRAME SYSTEM WITH INSULATED LOW-E GLAZING, COLOR C-5 AND C-6
- K-8 INSULATED ALUMINUM DOOR AND FRAME, COLOR C-5
- K-9 INSULATED ALUMINUM OVERHEAD COILING DOOR, COLOR C-5
- K-10 ALUMINUM WINDOW WITH INSULATED LOW-E GLAZING, COLOR C-5 AND C-6
- K-11 ALUMINUM LOUVER, COLOR C-5
- K-12 ACCESS HATCH, PAINTED TO MATCH COLOR C-1

COLOR LIST:

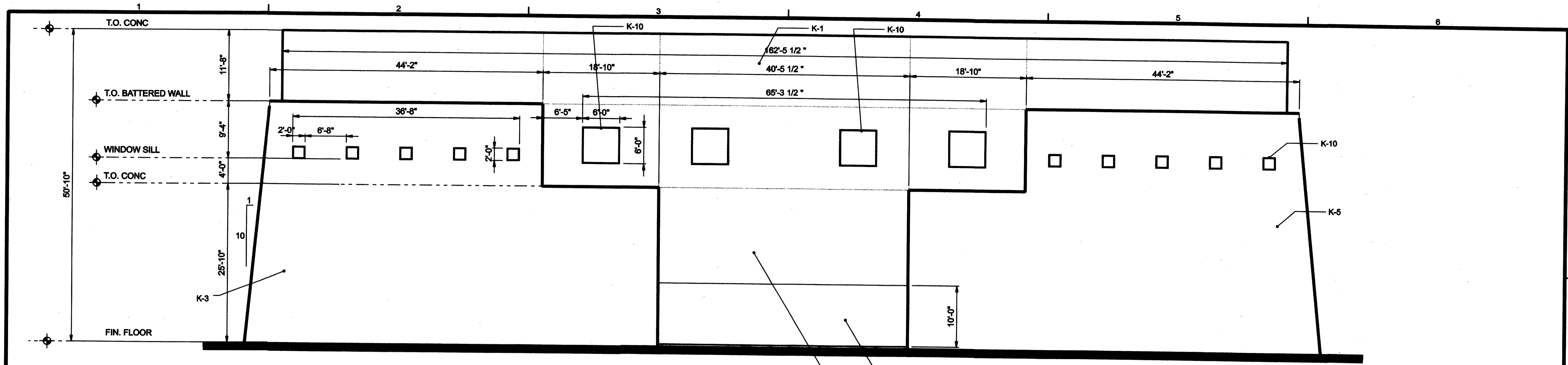
- C-1 CONCRETE STAIN TO MATCH EL REY STUCCO CO. NO.3457 "LIGHT BEIGE"
- C-2 CONCRETE STAIN TO MATCH EL REY STUCCO CO. NO.3463 "TERRA COTTA"
- C-3 CONCRETE STAIN TO MATCH EL REY STUCCO CO. NO.3458 "MAUVE"
- C-4 ICI NO.743 "SIERRA LEONE" (SAGE)
- C-5 KYNAR FINISH, COLOR TO MATCH C-4
- C-6 LIGHT GREEN GLASS

DSGN C. STEPHENS				VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING. 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.	CH2MHILL	CITY OF ALBUQUERQUE WATER TREATMENT PLANT ALBUQUERQUE, NEW MEXICO	PHASE 1 PROCESS BUILDING ELEVATIONS	SHEET 13 of 20
DR A. CABAL				DWG A-7				
CHK								DATE DEC 30, 2003
APVD								PROJ 175589.TP

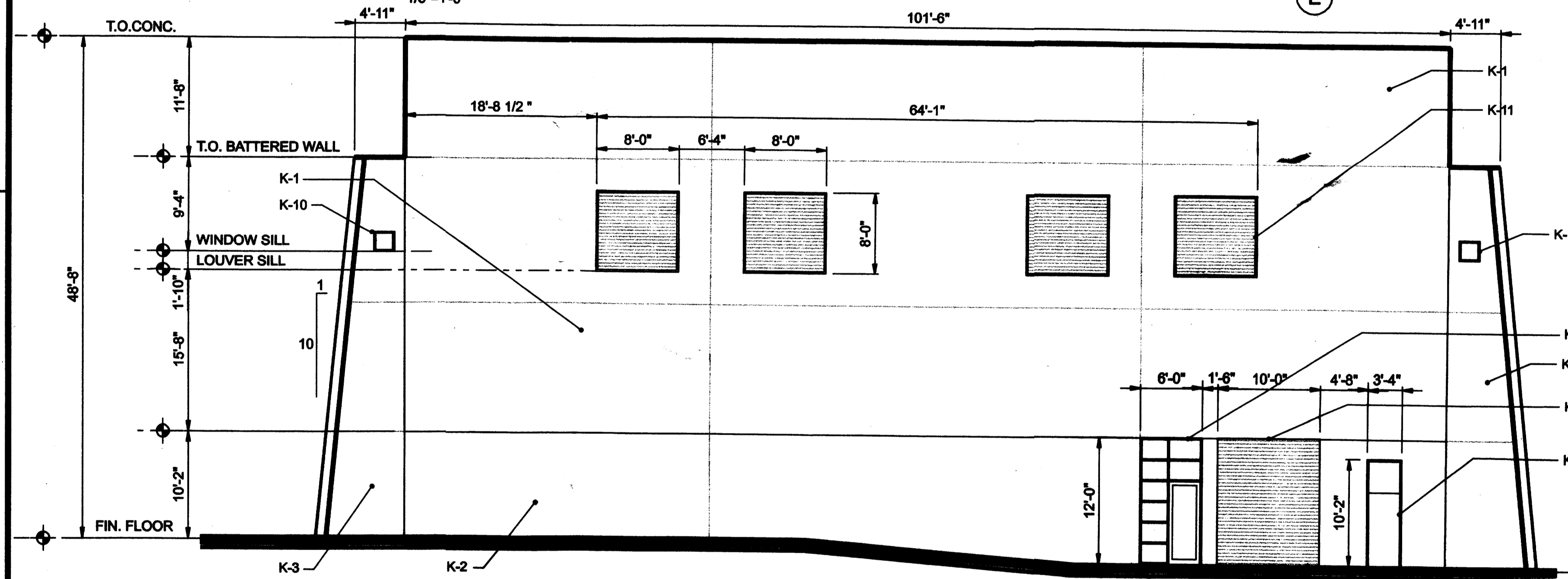
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FLOCCULATION AND SEDIMENTATION FACILITY WEST ELEVATION (E)



FLOCCULATION AND SEDIMENTATION FACILITY SOUTH ELEVATION (F)



NOTE:
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- K-9 INSULATED ALUMINUM OVERHEAD COILING DOOR, COLOR C-5
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COLOR LIST:

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- C-6 LIGHT GREEN GLASS

DSGN	T. DODGE				
DR	A. CABAL				
CHK					
APVD					
	NO.	DATE	REVISION	BY	APVD

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CITY OF ALBUQUERQUE
 WATER TREATMENT PLANT
 ALBUQUERQUE, NEW MEXICO

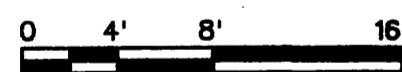
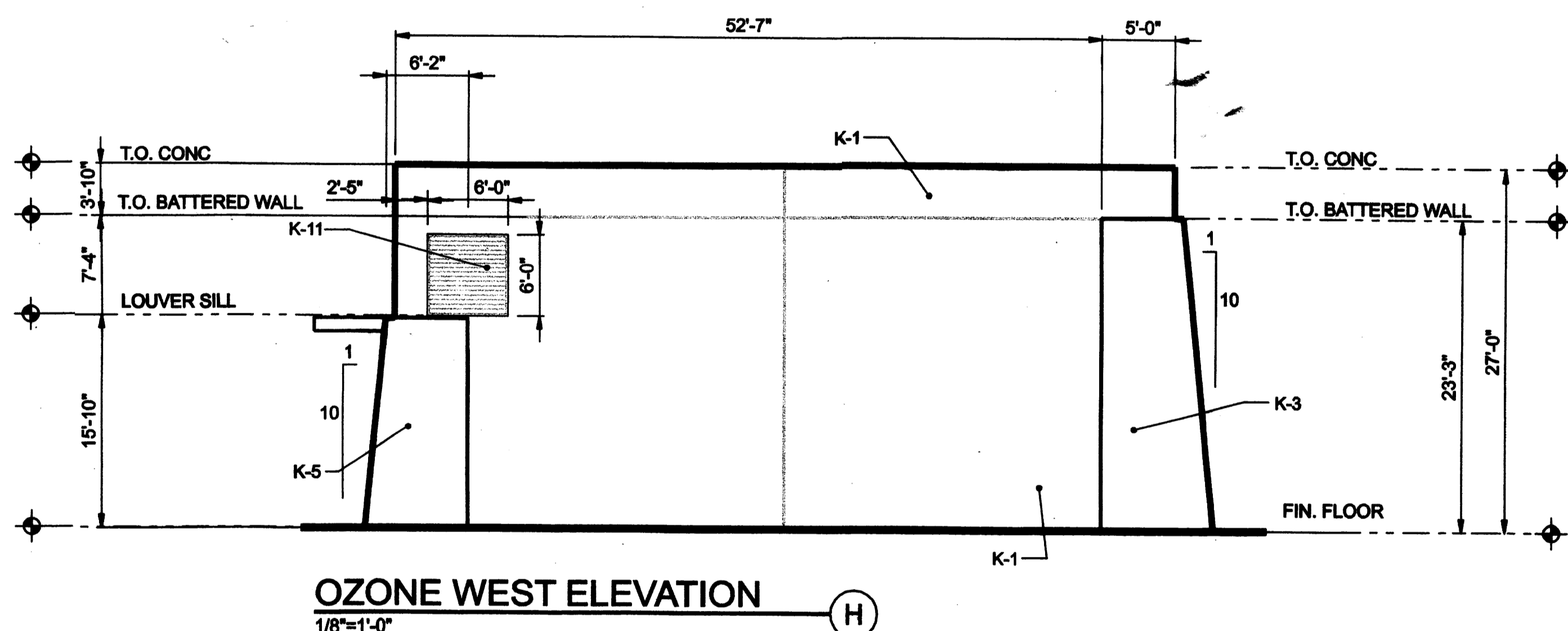
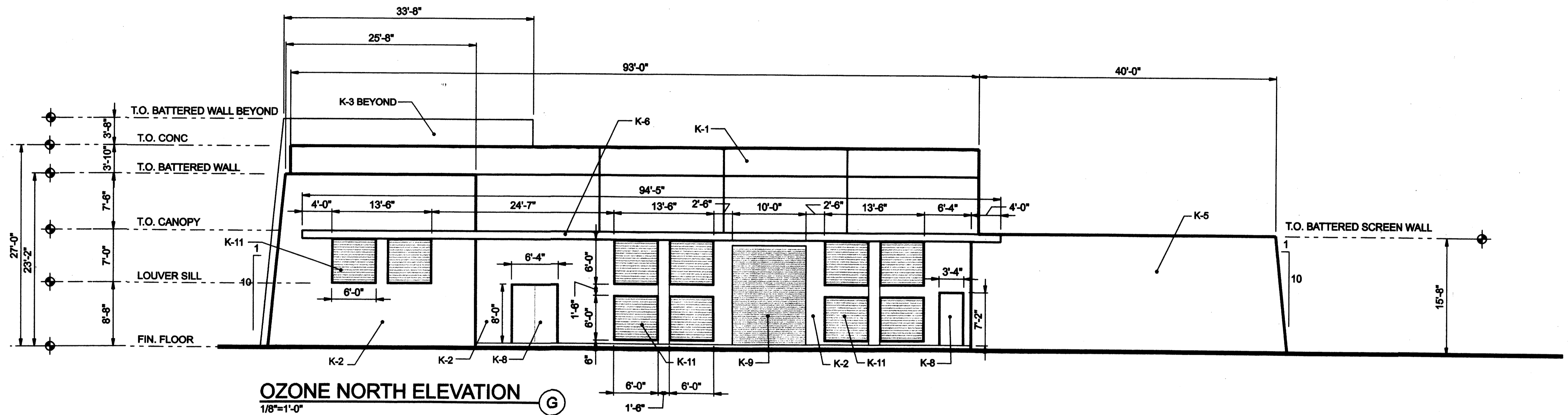
PHASE 1
 PROCESS BUILDING
 ELEVATIONS

SHEET	14 of 20
DWG	A-8
DATE	DEC 30, 2003
PROJ	175569.TP

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CHK					
APVD					
	NO.	DATE	REVISION	BY	APVD

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CITY OF ALBUQUERQUE
 WATER TREATMENT PLANT
 ALBUQUERQUE, NEW MEXICO

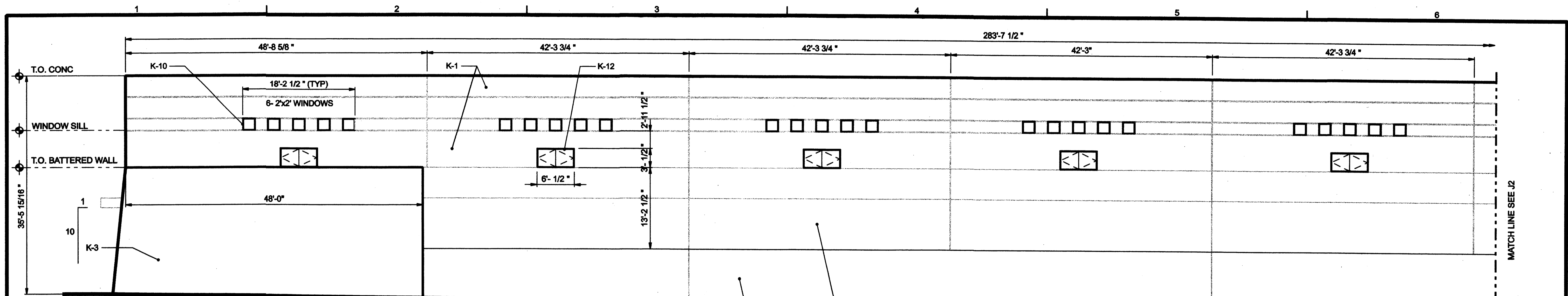
PHASE 1
 PROCESS BUILDING
 ELEVATION

SHEET	15 of 20
DWG	A-9
DATE	DEC 30, 2003
PROJ	175569.TP

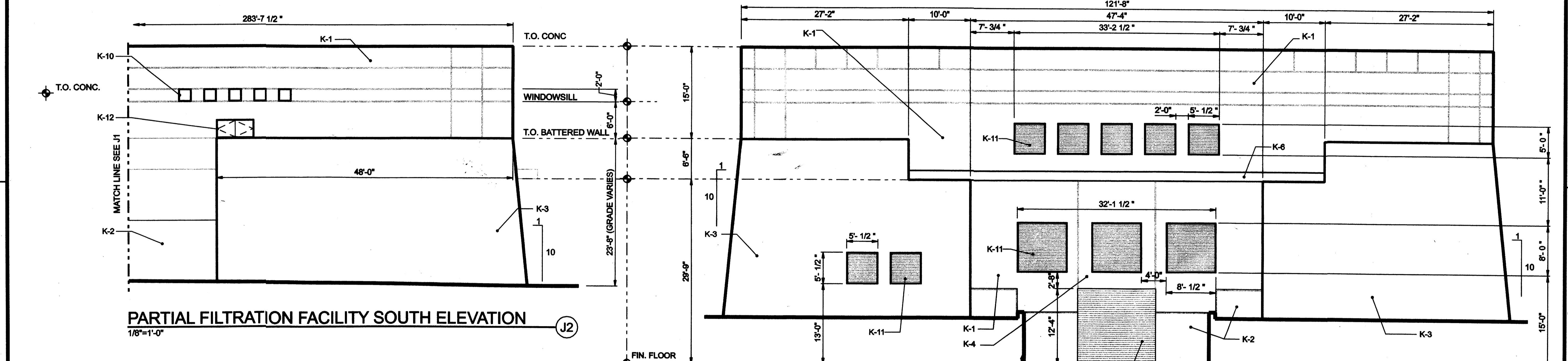
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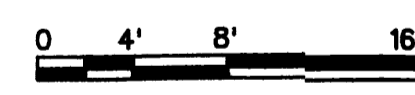


PARTIAL FILTRATION FACILITY SOUTH ELEVATION (J1)
1/8"=1'-0"



FILTRATION FACILITY EAST ELEVATION (K)
1/8"=1'-0"

PARTIAL FILTRATION FACILITY SOUTH ELEVATION (J2)
1/8"=1'-0"



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COLOR LIST:

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- C-3 CONCRETE STAIN TO MATCH EL REY STUCCO CO. NO.3456 "MAUVE"
- C-4 ICI NO.743 "SIERRA LEONE" (SAGE)
- C-5 KYNAR FINISH, COLOR TO MATCH C-4
- C-6 LIGHT GREEN GLASS

DSGN	C. STEPHENS				
DR	BJ NARAMORE				
CHK					
APVD		NO.	DATE	REVISION	BY

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CITY OF ALBUQUERQUE
WATER TREATMENT PLANT
ALBUQUERQUE, NEW MEXICO

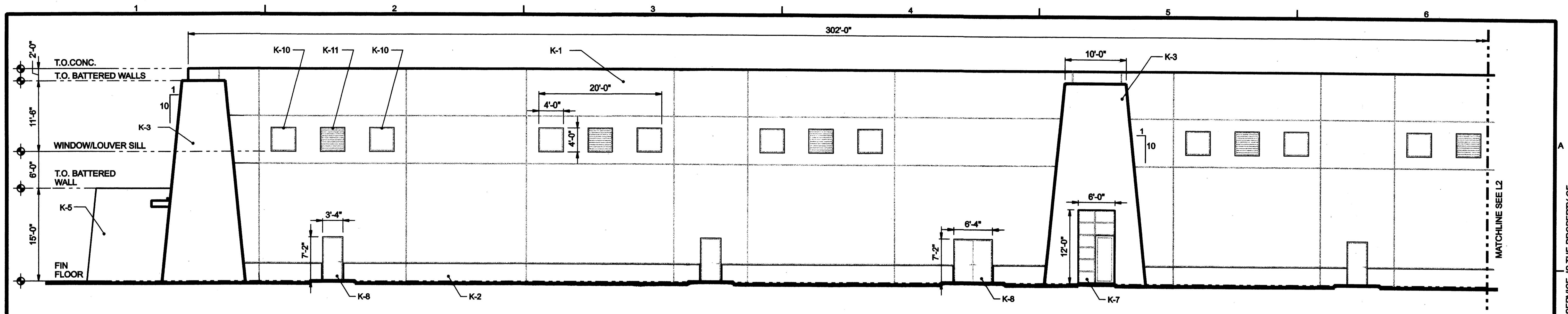
PHASE 1
PROCESS BUILDING
ELEVATIONS

SHEET	16 of 20
DWG	A-10
DATE	DEC 30, 2003
PROJ	175569.TP

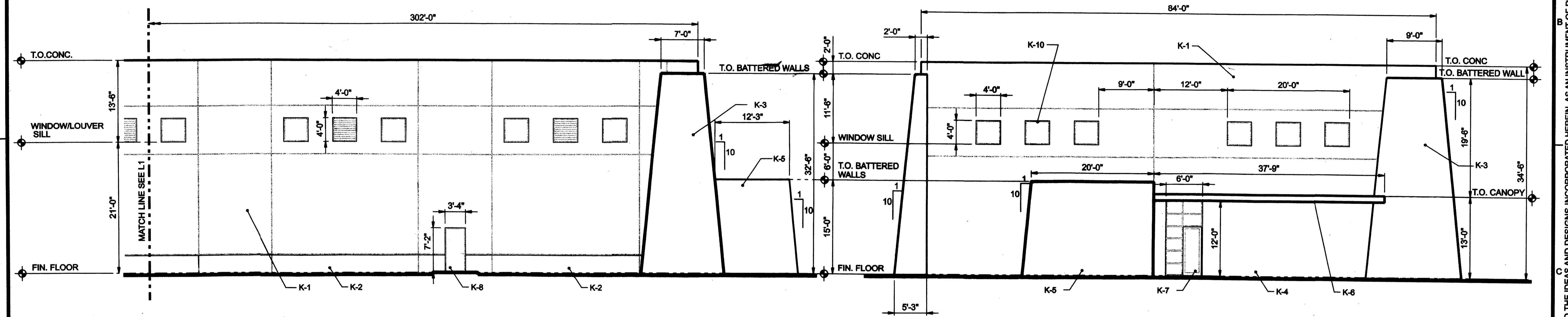
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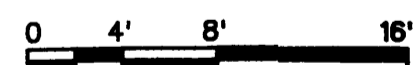


CHEMICAL NORTH ELEVATION (L1)
1/8"=1'-0"



CHEMICAL NORTH ELEVATION (L2)
1/8"=1'-0"

CHEMICAL WEST ELEVATION (M)
1/8"=1'-0"



NOTE:
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KEY NOTES:

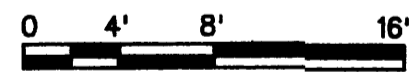
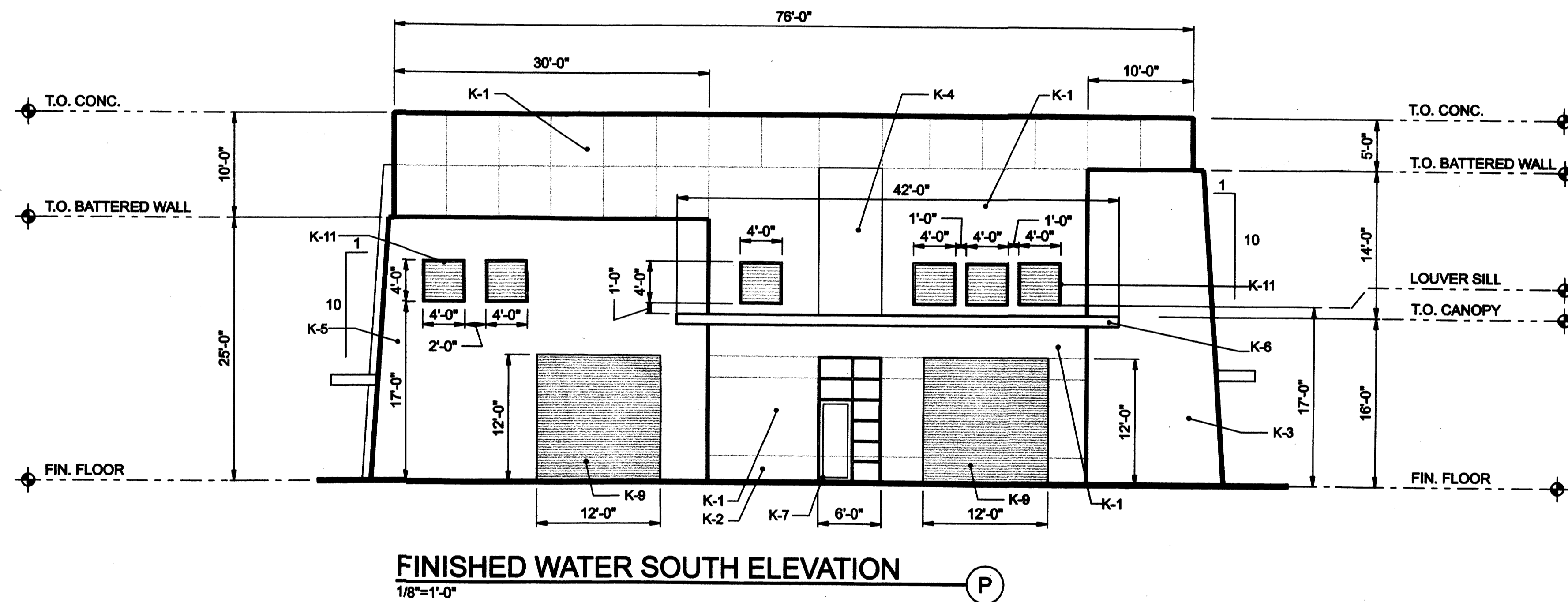
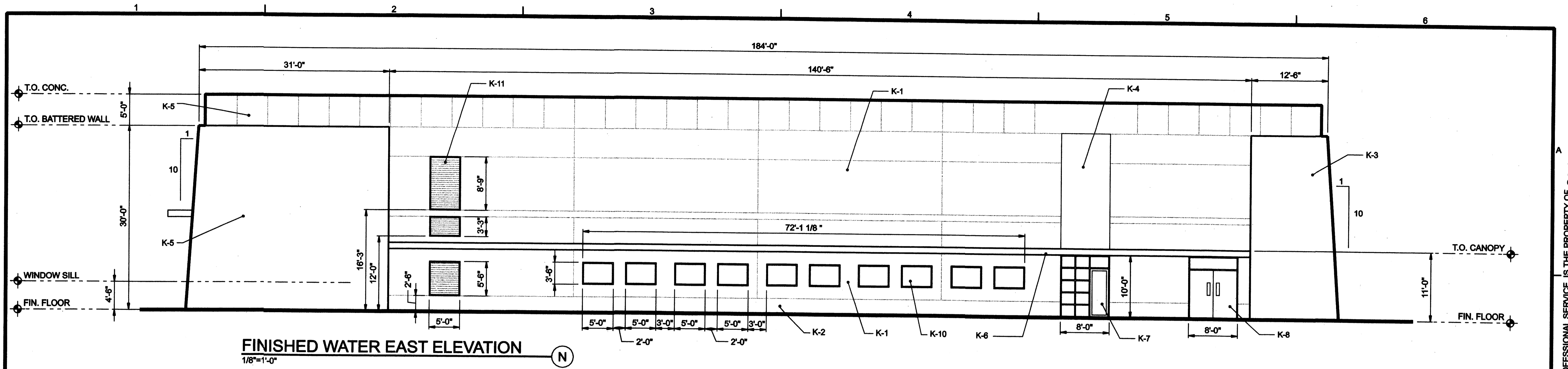
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DSGN T. DODGE						<p align="center">CH2MHILL</p> <p align="center">CITY OF ALBUQUERQUE WATER TREATMENT PLANT ALBUQUERQUE, NEW MEXICO</p>	<p align="center">PHASE 1 PROCESS BUILDING ELEVATIONS</p>	SHEET 17 of 20	
DR A. CABAL								DWG A-11	
CHK APVD								DATE DEC 30, 2003	
	NO.	DATE	REVISION	BY	APVD			PROJ 175569.TP	
							FILENAME:	PLOT DATE:	PLOT TIME:

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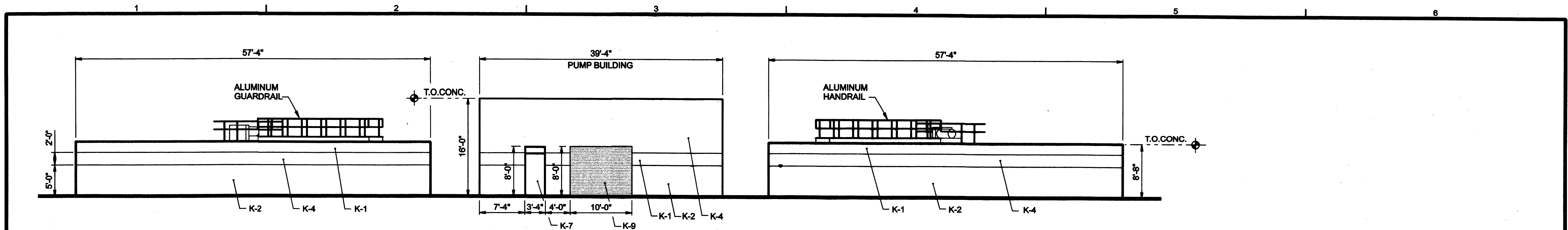
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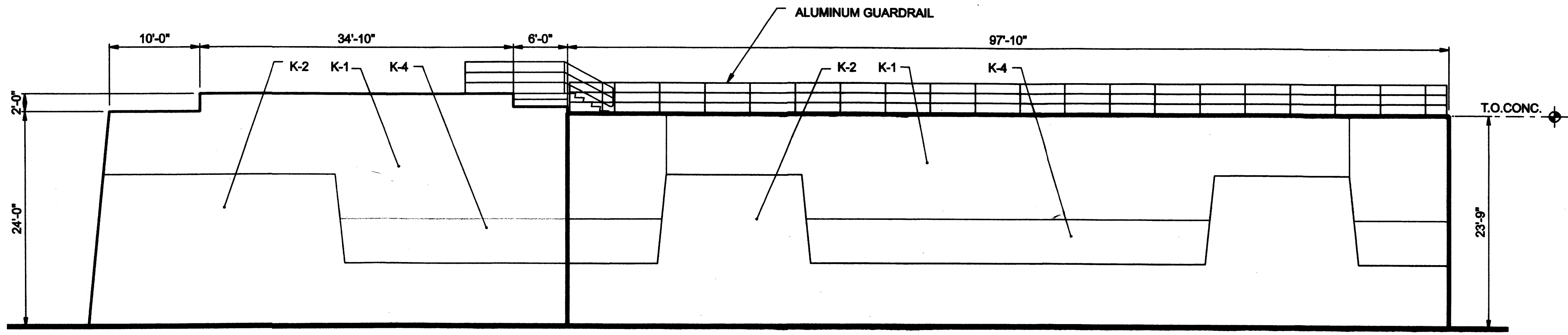
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DSGN C. STEPHENS	NO. DATE	REVISION	BY APVD	APVD	<p>VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.</p>	<p>CH2MHILL</p>	<p>CITY OF ALBUQUERQUE WATER TREATMENT PLANT ALBUQUERQUE, NEW MEXICO</p>	<p>PHASE 1 PROCESS BUILDING ELEVATIONS</p>	SHEET 18 of 20
DR A. CABAL									DWG A-12
CHK									DATE DEC 30, 2003
APVD									PROJ 175569.TP

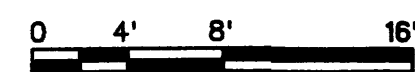
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GRAVITY THICKENERS SOUTH ELEVATION (R)
1/8"=1'-0"



OZONE CONTACTOR SOUTH ELEVATION (S)
1/8"=1'-0"



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CITY OF ALBUQUERQUE
WATER TREATMENT PLANT
ALBUQUERQUE, NEW MEXICO

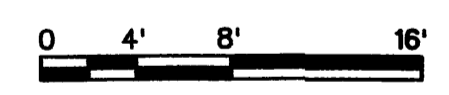
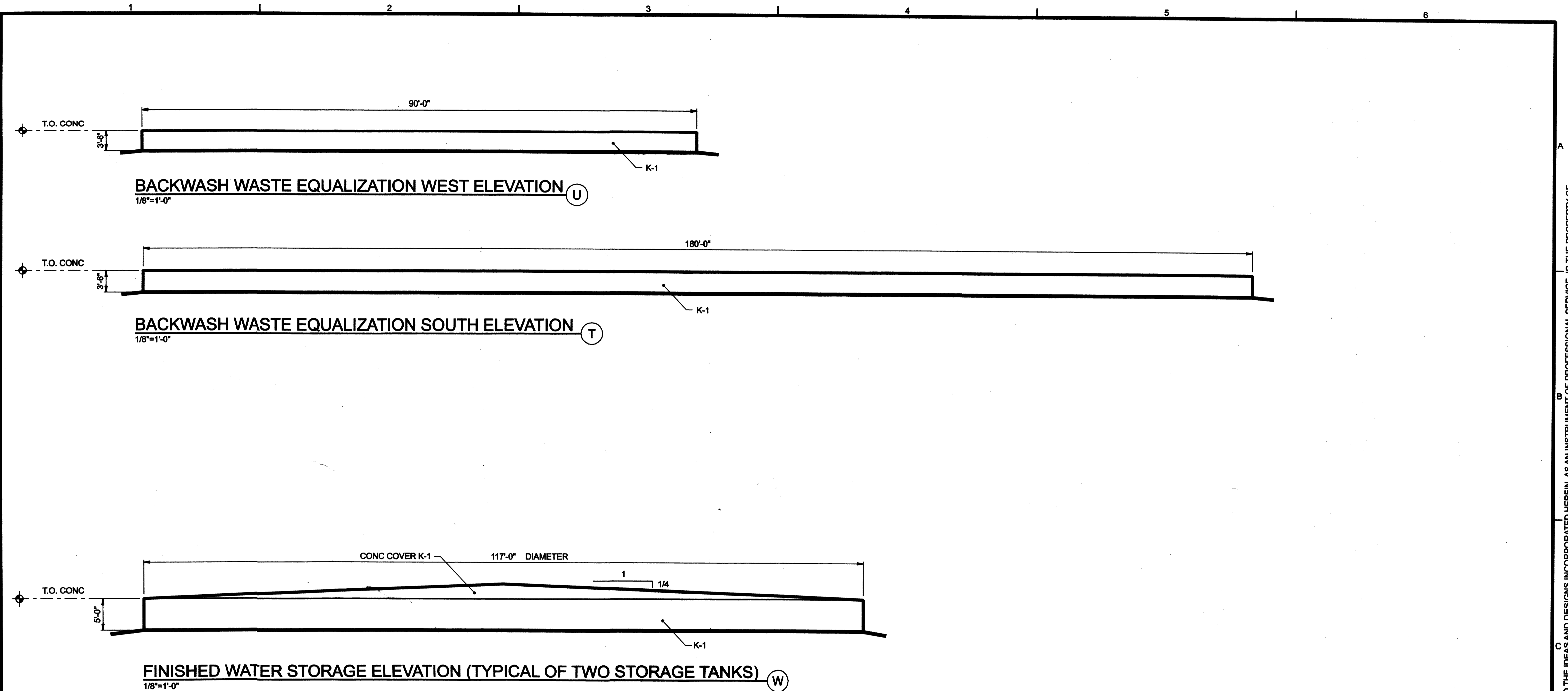
PHASE 1
PROCESS STRUCTURES
ELEVATIONS

SHEET	19 of 20
DWG	A-13
DATE	DEC 30, 2003
PROJ	175569.TP

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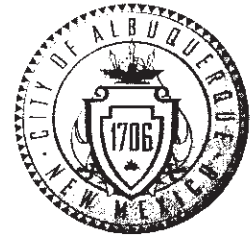
PHASE 1
 PROCESS STRUCTURES
 ELEVATIONS

SHEET	20 of 20
DWG	A-14
DATE	DEC 30, 2003
PROJ	175569.TP

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PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

APPROVED MAJOR AMENDMENT

OFFICIAL NOTIFICATION OF DECISION

November 8, 2018

Water Utility Authority
Attn: John Stomp (Operations)
6000 Alexander Blvd NE
ABQ, NM 87107

Project #2018-001355
SI-2018-00123 – Major Amendment of Prior Approval, Site
Development Plan

LEGAL DESCRIPTION:

The above action for all or a portion of Tract A, plat of Tract A, COA Water Treatment Facility, zoned NR-SU, located at 6000 Alexander Blvd. NE, on Mission Ave. NE between Alexander Blvd. NE and Chappell Dr. NE., containing approximately 163 acres. (F-16) (**DEFERRED FROM OCTOBER 11, 2018 HEARING**)

Staff Planner: Cheryl Somerfeldt

PO Box 1293

Albuquerque
On November 8, 2018 the Environmental Planning Commission (EPC) voted to APPROVE Project 2018-001355/SI-2018-00123, Major Amendment of Prior Approval, Site Development Plan, based on the following Findings:

NM 87103

FINDINGS:

- www.cabq.gov
1. This is a request for a Major Amendment of Prior Approval, Site Development Plan for all or a portion of Tract A, plat of Tract A, COA Water Treatment Facility addressed at 6000 Alexander Boulevard NE to be accessed from Mission Avenue NE, and containing approximately 163 acres.
 2. The prior approval for the Site Development Plan Phase 1 for the City of Albuquerque Water Treatment Plant was approved by the Environmental Planning Commission (EPC) in February of 2004 on the western half of the overall site.
 3. The Albuquerque Bernalillo County Water Authority (ABCWUA) owns the property and this request is for Phase 2 to relocate their Customer Service and Operations from the existing location to the south side of the San Juan-Chama Surface Water Treatment Plant on a 15-acre portion of the same property.
 4. The revised entrance will be off Mission Boulevard NE along the south side of the site.

OFFICIAL NOTICE OF DECISION

Project #2018-001355

November 8, 2018

Page 2 of 6

APPROVED MAJOR AMENDMENT

5. New facilities will include about 50,000 square feet for customer service, administrative offices, crew training, maintenance shops, and warehouse. The request will include parking for the public, employees, and fleet, plus a storage yard.
6. The subject site was previously owned by the existing sand and gravel extraction operation that negotiated a lease-back agreement with the City in order to continue their operations on the eastern third of the site.
7. Prior to the effective date of the IDO on May 17, 2018, the subject site's zoning was SU-1 for Sand and Gravel Extraction and Related Activities and Uses Permitted in the M-1 Zone. The IDO converted the zone to NR-SU because of the Natural Resource Extraction use; however Major Utility is permitted as an accessory use only. The applicant will pursue the Post-IDO Voluntary Zone Conversion Process to a zone where the use is permitted as a primary use in perpetuity.
8. The Planning Director has approved an Alternative Landscape Plan, pursuant to IDO Section 14-16-5-6(C)(16), Alternative Landscaping.
9. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
10. Site Development Plans are expected to meet the requirements of adopted city policies and procedures. The attached Site Development Plan has been evaluated for conformance with applicable goals and policies in the Comprehensive Plan and the Integrated Development Ordinance (IDO).
11. The subject site is located in an Area of Consistency as designated by the Comprehensive Plan. The following applicable Comprehensive Plan Goals and Policies are furthered by the proposed request for a Major Amendment to a Prior Approval of the Site Plan:
 - The request furthers Policy 4.1.2 because it protects the cohesiveness of the adjacent neighborhoods by locating the ABCWUA facilities in the center of their large property. In this way, the site is well buffered from the nearby neighborhood and fits in with the other surrounding uses.
 - The request further s Policy 5.3.8 because the request encourages solar energy collection and healthy living conditions by including solar panels or the PV system in the parking lot design, and the neighboring solar access is not affected.
 - The request furthers Policy 7.6.3a because the request blends the proposed ABCWUA facilities into the natural landscape by providing xeriscape demonstration gardens for customers. The proposed changes are harmonious with existing development on the site and in the surrounding area.
 - The request furthers Policy 12.1.2 because the ABCWUA is coordinating the Site Plan design of their facilities with the City through this process.
 - The request furthers Policy 12.3.1 because the request will provide a customer facility that will provide access to services for residents and other customers.
 - The request furthers Policies 13.1.1 and 13.1.3 because the proposed solar collectors utilize New Mexico's abundant access to photons and will decrease the ABCWUA's carbon footprint.

OFFICIAL NOTICE OF DECISION

Project #2018-001355

November 8, 2018

Page 3 of 6

APPROVED MAJOR AMENDMENT

- The request furthers Policy 13.2.1 because the request facilitates the sustainability of the ABCWUA and and the region's water supply.
 - The request furthers Policy 13.2.2 because the Landscape Plan and educational programming demonstrate the efficient water use and conservation.
12. The applicant notified the Hodgkin Neighborhood Association, the El Camino Real Neighborhood Association, the Vista Del Norte Alliance, the Greater Gardner and Monkbridge Neighborhood Association, the Los Alamos Addition Neighborhood Association, the Alameda North Valley Association, the North Edith Commercial Corridor Association, the North Valley Coalition, the District 4 Coalition of Neighborhood Associations, and the District 7 Coalition of Neighborhood Associations as well as property owners within 100 feet as required. There were no neighborhood or facilitated meetings requested or held. Staff has not received neighborhood comments in support or opposition to the request.

CONDITIONS OF APPROVAL

1. Prior to finalizing the Site Plan, the applicant shall coordinate with the staff planner to ensure that all conditions of approval are met. Unauthorized changes to this Site Plan, including before or after final sign-off, may result in forfeiture of approvals.
2. The applicant shall pursue the Post-IDO Voluntary Zone Conversion process to a zone where Major Utility is a permitted use.
3. Pursuant to IDO Section 14-16-5-3(D)(3)(c), on-site walkways and crosswalks shall be identified to motorists and pedestrians through the use of a special treatment.
4. Conditions of Approval from other agencies:
 - A) Development Services, Transportation Development
 - The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
 - The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
 - ADA curb ramps in the roadway right-of-way must be designed to current standards and have truncated domes installed.
 - Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
 - The Stop sign locations shown for the public parking lot to the south need to be relocated. The signs should be located to the right of the exiting vehicles at the point where the vehicle is expected to stop. Both signs are shown too far north of the exit and the sign at the southeast access is shown on the left of exiting vehicles.

OFFICIAL NOTICE OF DECISION

Project #2018-001355

November 8, 2018

Page 4 of 6

APPROVED MAJOR AMENDMENT

- B) Solid Waste Management Department
- All new/proposed refuse enclosures must be built to COA minimum requirements. Remove landscaping in front of East side refuse enclosure (Pg. LS101) and do not plant anything next to enclosures that will create an overhang.
- C) Albuquerque Bernalillo County Water Utility Authority (ABCWUA)
- An availability statement is required prior to DRB approval. Requests can be made at this link: http://www.abcwua.org/Availability_Statements.aspx
 - Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.
 - Provide an updated Utility Plan: Confirm the service line to the "Operations Building". The provided Utility Plan is indicating a 10".
 - Confirm all fire line sizes. The proposed relocation of the existing hydrant along Mission Ave. shall make a new connection to the existing waterline along Mission Ave. The indicated 90 deg. bend is not acceptable.
 - Confirm appropriate horizontal separation between the proposed onsite sanitary sewer and the water line.
- D) Albuquerque Public Schools (APS)
- The site is located across the street from Mission Avenue Elementary School. Any potential traffic impacts would be located in City of Albuquerque Right-Of-Way. Should there be issues of ingress and egress to the site adjacent to Mission Ave Elementary School, it is recommended that the SMPC Architects and ABCWUA coordinate with APS BLUZ (Bus Loading and Unloading Zone) Committee to address any concerns.
- E) Public Service Company of New Mexico (PNM)
- An existing substation is located along the western boundary of the subject property and an existing 115kV transmission line is located along the southern boundary of the site. It is the applicant's obligation to abide by any conditions or terms of these easements.
 - It will be necessary for the developer to contact the PNM New Service Delivery Department to coordinate electric service regarding this project. Contact: Andrew Gurule, PNM Service Center, 4201 Edith Boulevard NE, Albuquerque, NM 87107, Phone: (505) 241-0589.
 - Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.
5. The Site Development Plan shall comply with the General Regulations of the IDO, and all other applicable design regulations, except as specifically approved by the EPC.
6. The updated Site Plan reflects a new 10,000 square foot De-Watering Building (Building E) at the northwest corner of the Fleet Vehicle Storage. All sheets of the Site Plan set shall reflect this minor change, and be reviewed by Planning staff prior to submittal for building permit.

OFFICIAL NOTICE OF DECISION

Project #2018-001355

November 8, 2018

Page 5 of 6

APPROVED MAJOR AMENDMENT

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **NOVEMBER 26, 2018**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6 of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,



For David S. Campbell
Planning Director

DSC/CS

cc: Water Utility, Attn: John Stomp (Operations), 6000 Alexander Blvd NE, ABQ, NM 87107
SMPC Architects, Dave Cook, 219 Central Ave. NW, Suite 800, ABQ, NM 87102
Hodgin NA, Cathy Intemann, 3816 Delamar NE, ABQ, NM 87110
Hodgin NA, Kathy Kleyboecker, 3912 Momingside Dr NE, ABQ, NM 87110
El Camino Real NA, Chris Christy, P.O. Box 27288, ABQ, NM 87125
El Camino Real NA, Linda Trujillo, P.O. Box 27288, ABQ, NM 87125
Vista Del Norte Alliance, Fred Harsany, P.O. Box 6270, ABQ, NM 87197
Vista Del Norte Alliance, Janelle Johnson, P.O. Box 6270, ABQ, NM 87197
Greater Gardner & Monkbridge NA, Marcia Finical, 141 Griegos Rd NW, ABQ, NM 87107
Greater Gardner & Monkbridge NA, David Wood, 158 Pleasant NW, ABQ, NM 87107
Los Alamos Addition NA, Don Dudley, 302 Sandia Rd NW, ABQ, NM 87107
Los Alamos Addition NA, Jeremy Wilcox, 305 Sandia Rd NW, ABQ, NM 87107
Alameda North Valley Assoc., Mark Rupert, 909 Tijeras Ave NW, #116 ABQ, NM 87102
Alameda North Valley Assoc., Steve Wentworth, 8919 Boe Ln NE, ABQ, NM 87113
North Edith Comm. Corridor Assoc., Christine Benavidez, 10417 Edith NE, ABQ, NM 87113

OFFICIAL NOTICE OF DECISION

Project #2018-001355

November 8, 2018

Page 6 of 6

APPROVED MAJOR AMENDMENT

North Edith Comm. Corridor Assoc., Robert Warrick, 444 Niagara NE, ABQ, NM 87113, ABQ, NM 87113

North Valley Coalition, Peggy Norton, P.O. Box 70232, ABQ, NM 87197

North Valley Coalition, Doyle Kimbrough, 2327 Campbell Rd NW, ABQ, NM 87104

Dist. 4 Coali. Of NA's, Daniel Regan, 4109 Chama St NE, ABQ, NM 87109

Dist. 4 Coali. Of NA's, Michael Pridham, 6413 Northland Ave. NE, ABQ, NM 87109

Dist. 7 Coalition of Neigh. Assoc., David Haughawout, 2824 Chama St., NE, ABQ, NM 87110

Dist. 7 Coalition of Neigh. Assoc., Lynne Martin, 1531 Espejo NE, ABQ, NM 87112

Kevin Morrow kmorrow@cabq.gov

Kathy Berglund kberglund@cabq.gov



RENDERING OF SOLAR PV ARRAY OVER ENTRANCE AND EXISTING EXTERIOR



RENDERING OF SOLAR PV ARRAY OVER EXISTING GARAGE AND EXTERIOR PARKING

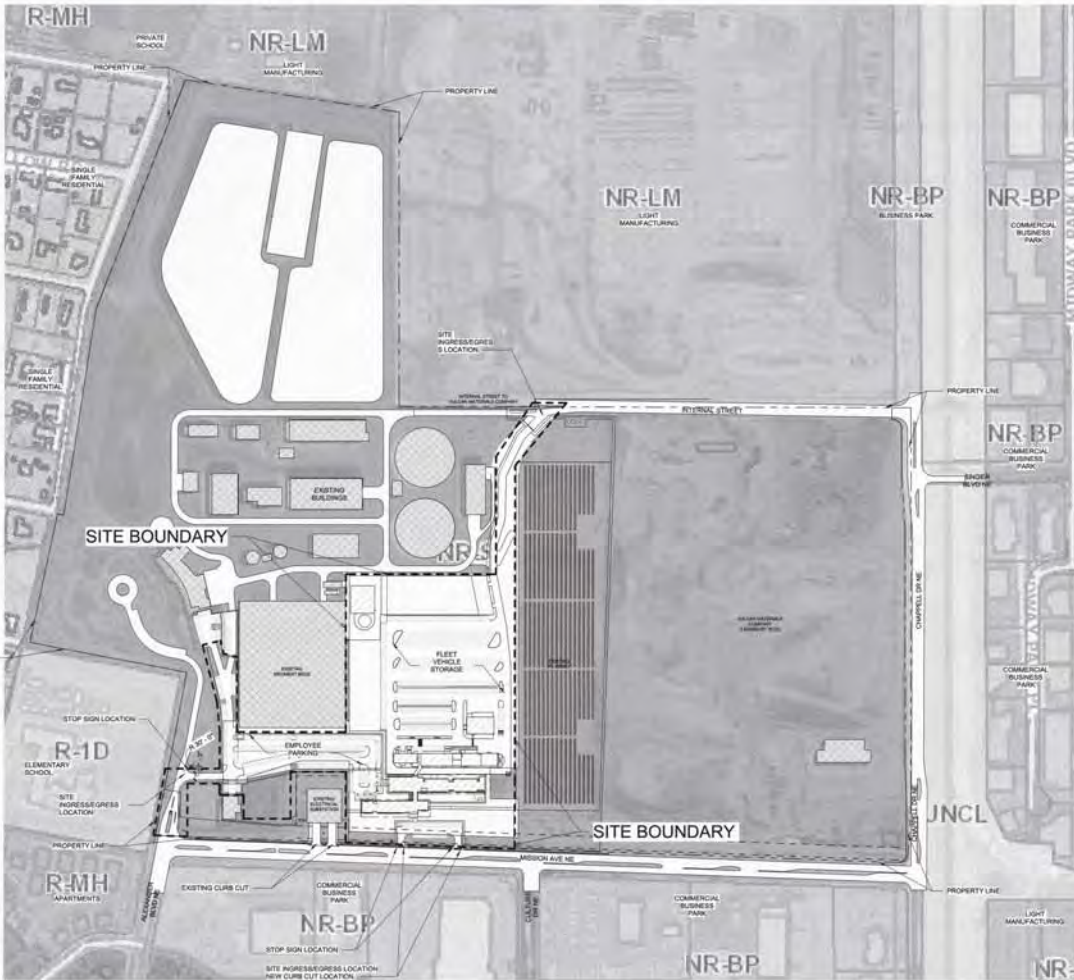


SOLAR PV ARRAY

A planned solar PV array system forms a shade canopy over the entire parking areas of both the employee parking and fleet storage lots. The design has not been completed (an RFP is in process); therefore the system is not yet incorporated into these drawings. The collectors will be mounted on a structural support approximately 14' high, and will continuously cover parking and storage areas, drainage medians and islands, and vehicle aisles. Images above of an existing system are similar to what is planned for this facility.



SITE DEVELOPMENT PLAN
FILE # 18-001355
Committed with RFP approval (4/16/2018)
APPROVED BY [Signature] DATE 01/26/2018



A1 VICINITY PLAN
1" = 300' @



LEGEND

- EXISTING STRUCTURES
- PROPOSED BUILDINGS
- CHAIN-LINK FENCE
- EXISTING EASEMENT BOUNDARY
- EXISTING PROPERTY LINES
- SITE BOUNDARY
- SHEET KEYNOTES

SHEET KEYNOTES

PROJECT NUMBER: 2018-001355 Site-Improvement #: SI-2018-00123

Application Number:

Is an infrastructure list required? Yes No. If yes, then a set of approved DFC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DBS SITE DEVELOPMENT PLAN APPROVAL

Traffic Engineering, Transportation Division	Date
ARCWUA	Date
Parks and Recreation Department	Date
City Engineer/Highways	Date
Code Enforcement	Date
EMS-01	Checker
Environmental Health Department (optional)	Date
Solid Waste Management	Date
DBS Chairperson, Planning Department	Date

*Environmental Health Department (optional)

2/16/2018

WUA CUSTOMER SERVICE AND OPERATIONS FACILITIES PHASE III

6000 Alexander Blvd NE
Albuquerque, NM 87107

VICINITY PLAN

EPC 2

APPROVED MAJOR AMENDMENT

PLANT LEGEND

KEY	QTY	INSTALLED SIZE	REMARKS	MATURE SIZE	WATER USE	DECIDUOUS/ EVERGREEN	COVERAGE	
SHADE TREES								
LARGE TREE	69	2" CAL., 10'-12" HT.	24" BOX	35" HT. X 35" SPD.	M	DECIDUOUS	963 SF	
LARGE TREE	17	5-7" HT.	8" B&B	40" HT. X 25" SPD.	M	EVERGREEN	490 SF	
MEDIUM TREE	16	2" CAL., 10'-12" HT.	24" BOX	30" HT. X 25" SPD.	M	DECIDUOUS	490 SF	
SMALL TREE	49	2" CAL., 10'-12" HT.	24" BOX	25" HT. X 20" SPD.	M	DECIDUOUS	315 SF	
TOTAL COVERAGE: 98,052 SF								
SHRUBS/GROUNDCOVERS/GRASSES/PERENNIALS								
VERTICAL SHRUB	64	MIN. 4" HT.		15 GALLON	8" HT. X 6" SPD.	L	DECIDUOUS	29 SF
LARGE SHRUB	209	MIN. 18" HT.		5 GALLON	6" HT. X 6" SPD.	L	DECIDUOUS	29 SF
LARGE SHRUB	190	MIN. 18" HT.		5 GALLON	4" HT. X 6" SPD.	L	EVERGREEN	29 SF
MEDIUM SHRUB	173	MIN. 12" HT.		5 GALLON	4" HT. X 4" SPD.	L	DECIDUOUS	15 SF
MEDIUM SHRUB	276	MIN. 12" HT.		5 GALLON	4" HT. X 4" SPD.	L	EVERGREEN	15 SF
SMALL SHRUB	179	MIN. 12" HT.		5 GALLON	3" HT. D 3" SPD.	L	DECIDUOUS	10 SF
SMALL SHRUB	241	MIN. 12" HT.		5 GALLON	3" HT. D 3" SPD.	L	EVERGREEN	10 SF
TOTAL COVERAGE: 24,362 SF								

HATCH LEGEND

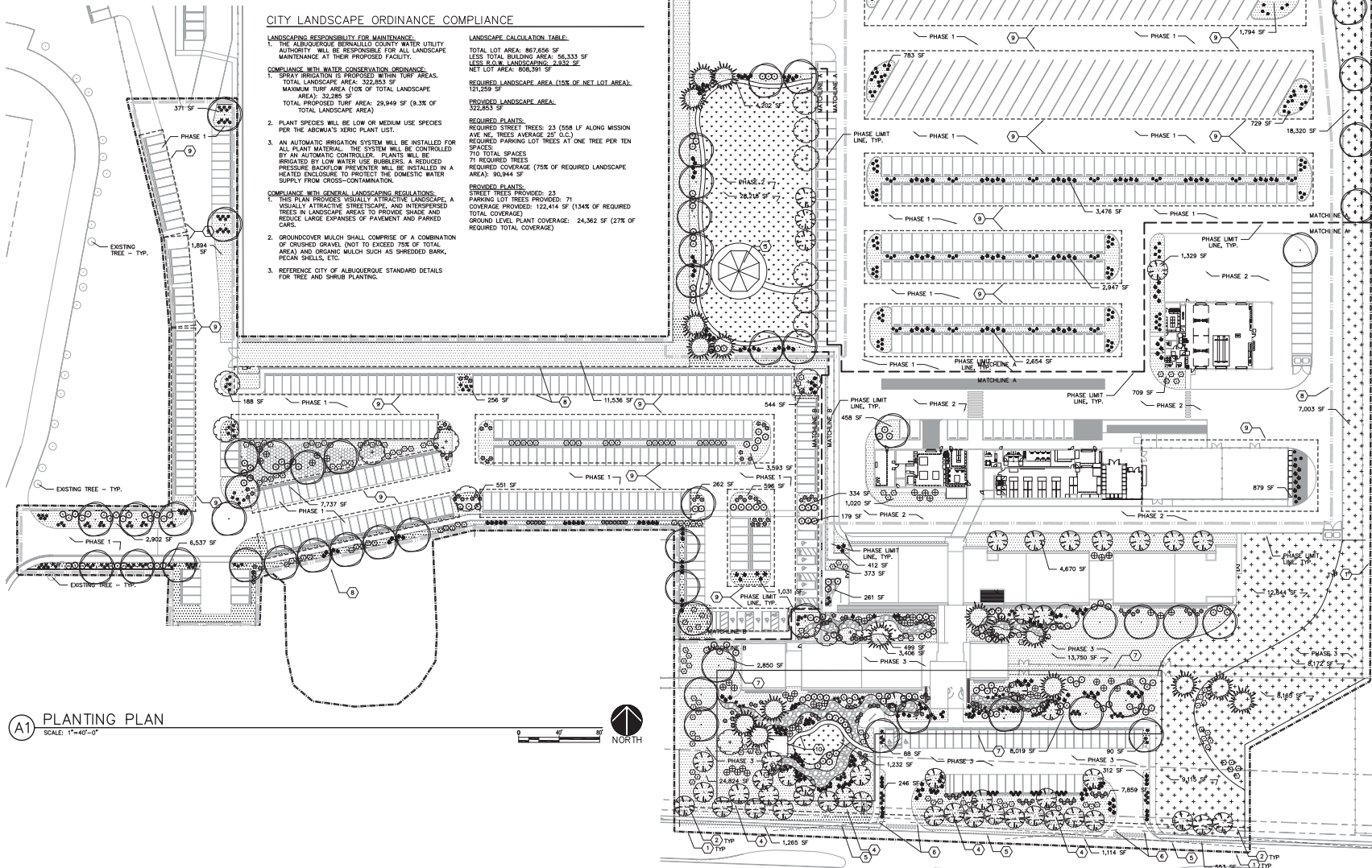
- GROUNDCOVER MULCH (TO BE A COMBINATION OF CRUSHED GRAVEL AND ORGANIC MULCH)
- 2"-4" ANGULAR COBBLE MULCH
- REVEGETATION SEEDING
- TURFGRASS SOD

CITY LANDSCAPE ORDINANCE COMPLIANCE

- LANDSCAPING RESPONSIBILITY FOR MAINTENANCE:**
 1. THE ALBUQUERQUE BERNALEDO COUNTY WATER UTILITY AUTHORITY WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AT THEIR PROPOSED FACILITY.
- COMPLIANCE WITH WATER CONSERVATION ORDINANCE:**
 1. SPRAY IRRIGATION IS PROPOSED WITHIN TURF AREAS.
 TOTAL LANDSCAPE AREA: 322,823 SF
 MAXIMUM TURF AREA (10% OF TOTAL LANDSCAPE AREA): 32,282 SF
 TOTAL PROPOSED TURF AREA: 29,949 SF (9.3% OF TOTAL LANDSCAPE AREA)
2. PLANT SPECIES WILL BE LOW OR MEDIUM USE SPECIES PER THE ARIZONA'S XERIC PLANT LIST.
3. AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW WATER USE BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN A HEATED ENCLOSURE TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.
- COMPLIANCE WITH GENERAL LANDSCAPING REGULATIONS:**
 1. THE PLAN PROVIDES VISUALLY ATTRACTIVE LANDSCAPE A VISUALLY ATTRACTIVE STREETScape, AND INTERSPERSED TREES IN LANDSCAPE AREAS TO PROVIDE SHADE AND REDUCE LARGE EXPANSES OF PAVEMENT AND PARKED CARS.
2. GROUNDCOVER MULCH SHALL COMPRISE OF A COMBINATION OF CRUSHED GRAVEL (NOT TO EXCEED 75% OF TOTAL AREA) AND ORGANIC MULCH SUCH AS SHREDDED BARK, PECAN SHELLS, ETC.
3. REFERENCE CITY OF ALBUQUERQUE STANDARD DETAILS FOR TREE AND SHRUB PLANTING.

KEY NOTES

1. LIMIT OF WORK.
2. 20' STREET TREE OFFSET.
3. SHADE STRUCTURE WITH SEATING, LIGHTING AND TRASH RECEPTACLES WILL BE PROVIDED.
4. BENCH - LOCATED BEHIND SIDEWALK, APPROXIMATELY 3' HT.
5. RIGHT OF WAY LANDSCAPING - LOCATED BETWEEN CURB AND WALK.
6. SIGHT TRIANGLE.
7. THE LANDSCAPE PLANTINGS IN THE PUBLIC AREAS OF THE SITE WILL BE UTILIZED AS DEMONSTRATION GARDENS TO PROVIDE EXAMPLES OF KENNESAW PLANTING PRACTICES SHOWING VISITORS HOW ATTRACTIVE KENNESAW CAN BE WHEN IMPLEMENTED PROPERLY. THIS WILL ENCOURAGE AND INSPIRE HOMEOWNERS AND BUSINESS OWNERS TO ADOPT SOME OF THE WATER CONSERVING TECHNIQUES IN THEIR OWN LANDSCAPES.
8. THE OWNER HAS AN RFP OUT TO INCORPORATE A SOLAR PV SYSTEM FORMING A SHADE CANOPY OVER THE ENTIRE PARKING AREAS OF THE EMPLOYEE PARKING AND FLEET PARKING. THE COLLECTORS WILL BE MOUNTED ON A STRUCTURAL SUPPORT APPROXIMATELY 14' HIGH AND WILL CONTINUOUSLY COVER PARKING AREAS, DRAINAGE MEDANS AND ISLANDS AND VEHICLE AISLES. A VARIANCE HAS BEEN REQUESTED THAT WILL ALLOW THE RELOCATION OF PARKING LOT TREES TO AREAS ADJACENT IN THE LANDSCAPE. LANDSCAPING WILL BE PROVIDED AROUND THE PERIMETER OF THE PV STRUCTURES WHERE THEY WILL RECEIVE ADEQUATE SUNSHINE FOR PROPER GROWTH. THE ADVANTAGES OF THE PV SYSTEM ARE THE USE OF AN ALTERNATIVE CLEAN ENERGY SOURCE, AND VEHICLE AND PAVED AREA SHADING, ADDING TO THE SITE COOLING EFFECT.
9. LOCATION OF PROPOSED SOLAR PANELS, LIMITS APPROXIMATE.
10. 400 SF OUTDOOR SEATING AND GATHERING AREA WITH LIGHTING AND TRASH RECEPTACLES LINKED TO PRIMARY ENTRANCE/DRIVEWAY WITH SIDEWALK.



A1 PLANTING PLAN
SCALE: 1"=40'-0"

APPROVED MAJOR AMENDMENT

SMPC Architects
ARCHITECTS OF COLORADO

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Boulder, Colorado 80502
P: 303.440.1000
www.smpace.com

LANDSCAPE ARCHITECTS
www.lap.com 801.269.2266

WUA CUSTOMER SERVICE AND OPERATIONS FACILITIES PHASE III

6000 ALEXANDER BLVD
ALBUQUERQUE, NM 87107

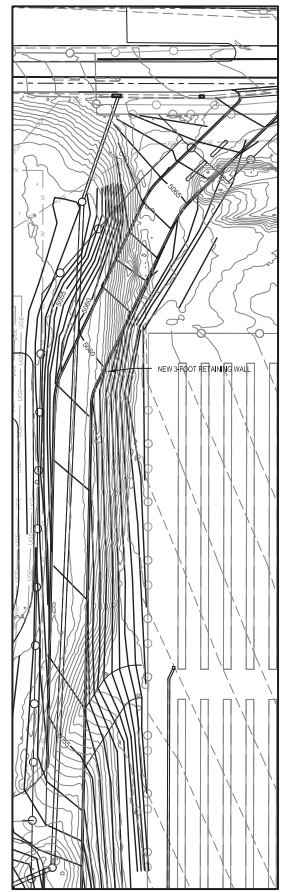
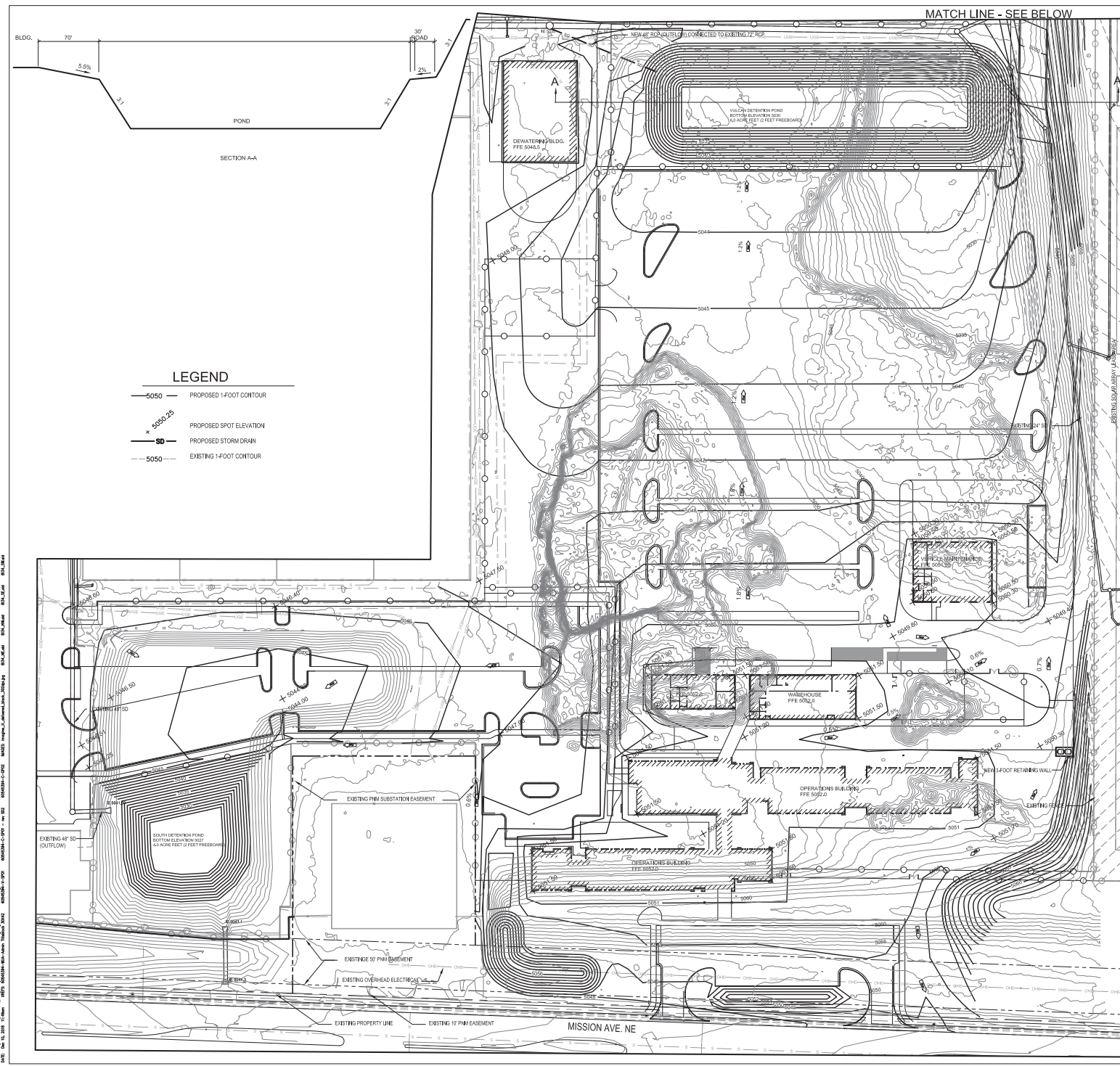
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1	OCTOBER 20TH, 2018	

PROJECT: WUA
 DRAWN BY: JAL
 CHECKED BY: GML
 DATE: 10/20/18
 SCALE: AS SHOWN
 SHEET: 1 OF 1

LANDSCAPE PLAN

LS101

APPROVED MAJOR AMENDMENT

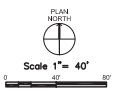


MATCH LINE - SEE BELOW

MATCH LINE - SEE ABOVE

THE SITE IS A PORTION OF THE LARGER 32 ACRE SITE OCCUPIED BY THE WATER TREATMENT PLANT. THIS PORTION OF THE SITE IS CURRENTLY UNDEVELOPED AND DRAINS NORTH TO A LARGE DEPRESSION AND WEST TO THE SOUTH DETENTION POND. THE EXISTING INTERCONNECTED SOUTH AND WEST DETENTION PONDS HAVE A COMBINED STORAGE VOLUME OF 18 ACRE-FEET. TOGETHER THESE PONDS CONTAIN ALL OF THE RUNOFF FROM THE WATER TREATMENT PLANT SITE PLUS OBLIGATED OFFSITE FLOWS.

UNDER DEVELOPED CONDITIONS THE RUNOFF FROM THE SITE WILL BE DIRECTED NORTH AND WEST VIA SURFACE SHEET FLOWS. THE RUNOFF TO THE NORTH WILL BE CONTAINED IN A DETENTION POND WITH 2:1 SIDE SLOPES, 3 FEET OF FREEBOARD AND A 6.5 ACRE-FEET STORAGE CAPACITY. THIS NEW POND WILL BE INTERCONNECTED TO THE EXISTING WEST STORAGE POND (10 ACRE-FEET) VIA A NEW 48" RCP AND EXISTING 72" RCP. THE RUNOFF TO THE WEST WILL BE CONTAINED BY THE SOUTH DETENTION POND WHICH IS INTERCONNECTED BY A 48 INCH RCP TO THE EXISTING 10 ACRE-FOOT WEST DETENTION POND. A SWALE WILL BE UTILIZED BETWEEN THE EMPLOYEE PARKING AREA AND PUMP SUBSTATION EASEMENT TO MAINTAIN DRAINAGE PATHWAYS FROM THE SUBSTATION.



EMPA Architects
ARCHITECTS OF COLORADO

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Fax: 303.555.8889
www.empaarchitects.com

AECOM

One Park Square, 3001 American Plaza NE
Suite 900 Albuquerque, New Mexico 87110
(505) 955-1100

DRAFT
12/10/18

**WJA CUSTOMER SERVICE AND OPERATIONS
FACILITIES PHASE III**

6000 Alexander Blvd NE
Albuquerque, NM 87107

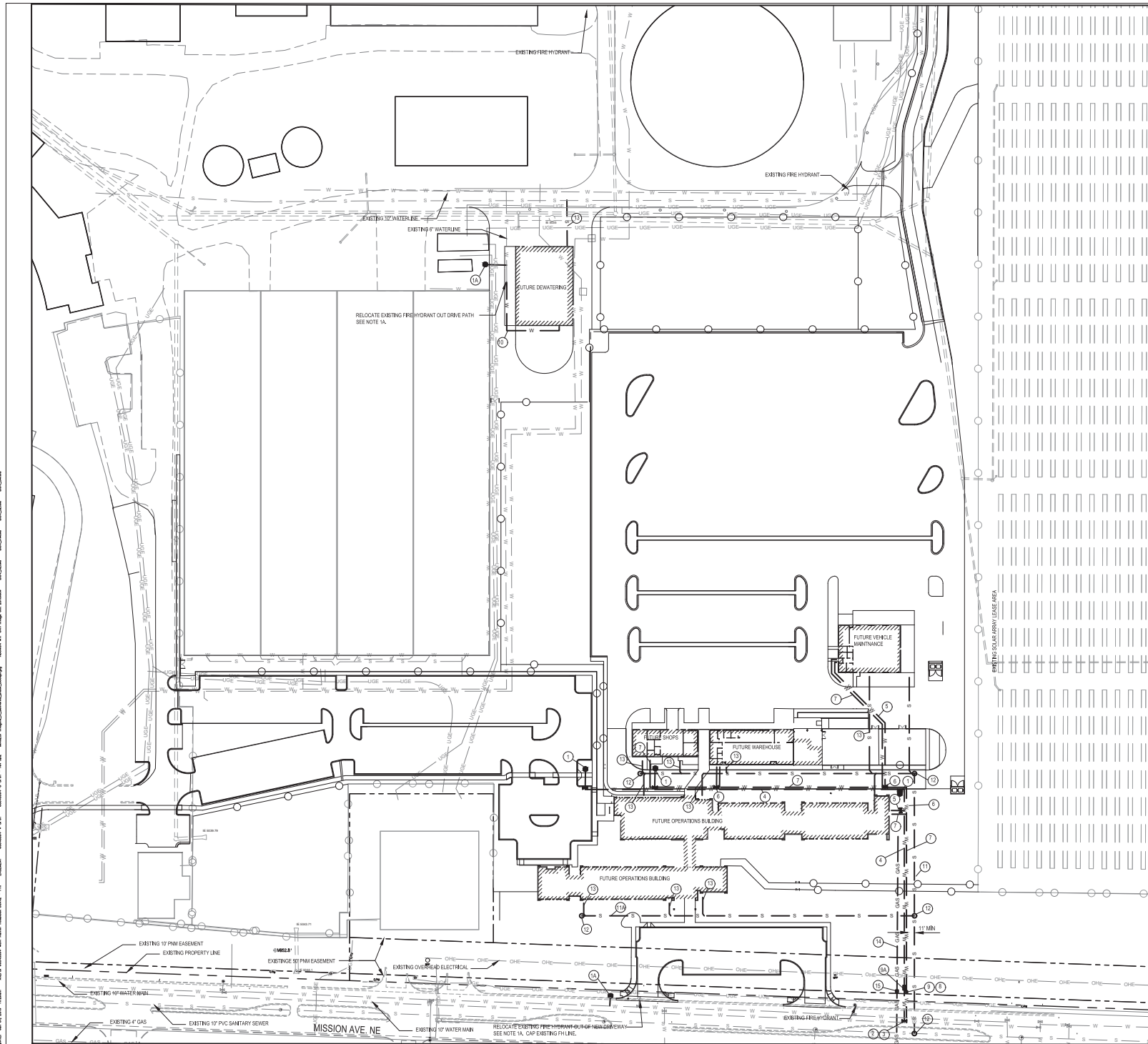
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SHEET TITLE:

CONCEPTUAL GRADING AND DRAINAGE PLAN

EPC
SHEET 02

APPROVED MAJOR AMENDMENT

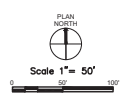


LEGEND

—W—	NEW WATER LINE
—S—	NEW SANITARY SEWER
—GAS—	NEW GAS LINE
—W—	EXISTING WATER LINE
—S—	EXISTING SANITARY SEWER
—G—	EXISTING GAS LINE
—CHE—	EXISTING OVERHEAD ELECTRIC

KEY NOTES

- WATER**
- INSTALL NEW FIRE HYDRANT (3' MIN CLEAR RADIUS) WITH VALVE PER WUA STD DWG 2340 AND VALVE BOX TYPE 'B' PER WUA DWG 2326
 - INSTALL RELOCATED HYDRANT WITH VALVE. CONNECT TO EXISTING WATER LINE PER WUA STD DWG 2340 AND VALVE BOX TYPE 'B' PER WUA DWG 2326
 - INSTALL 1-1/2" GATE VALVE W/VALVE BOX (TYPE 'A') PER WUA STD DWG 2325
 - INSTALL 10" PVC C-900 FIRE LINE, 4' MIN BURY
 - INSTALL 6" PVC C-900 FIRE LINE, 4' MIN BURY
 - INSTALL 10" X 10" DI TEE W/ 6" GATE VALVE AND TYPE 'A' VALVE BOX PER WUA STD DWG 2325
 - INSTALL 3" PE C-801 WATER SERVICE LINE, 3' MIN BURY
 - INSTALL 3" WATER METER SERVICE AND METER BOX PER WUA DETAIL 2353
 - INSTALL 3" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER WITH HEAT SOURCE PER WUA STD DWGS 2385 AND 2389. CONTRACTOR TO INSTALL ELECTRICAL SERVICE AND CONNECTIONS
 - INSTALL 1/2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER WITH HEAT SOURCE PER WUA STD DWGS 2385 AND 2389. CONTRACTOR TO INSTALL NEW ELECTRICAL SERVICE AND CONNECTIONS
 - INSTALL 4" PVC C-900 WATER SERVICE LINE, 4' MIN BURY
- SANITARY SEWER**
- INSTALL 6" PVC SDR-35 SANITARY SEWER
 - INSTALL 6" PVC SDR-35 SANITARY SEWER
 - CONSTRUCT 4" DIAMETER TYPE E SEWER MANHOLE PER WUA STD DWG 2102
 - INSTALL 4" CS GAS SERVICE PIPE. CONNECT TO 1/2" LINE AND CAP FOR FUTURE BUILDING CONNECTION
- GAS**
- INSTALL 2" GAS SERVICE YARD IN. (SEE PLUMBING PLAN FOR SERVICE LINE CONTINUATION)
 - GAS METER



DRAFT
1/14/17

WUA CUSTOMER SERVICE AND OPERATIONS FACILITIES PHASE I
6000 Alexander Blvd NE
Albuquerque, NM 87107

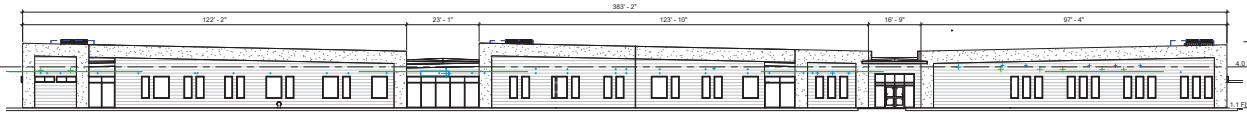
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CONCEPTUAL UTILITY PLAN

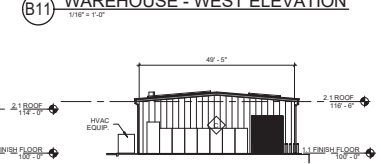
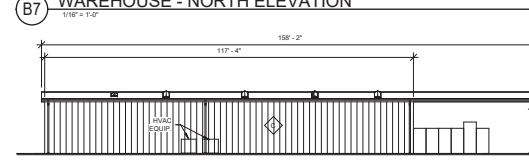
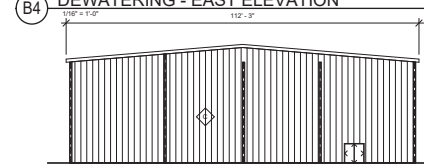
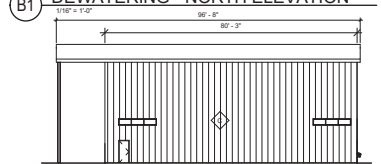
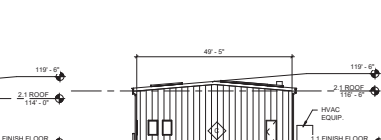
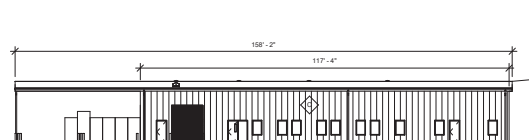
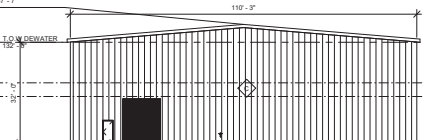
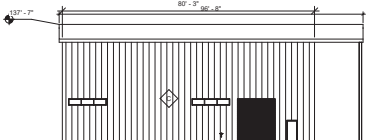
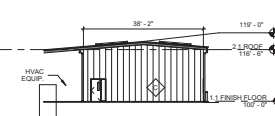
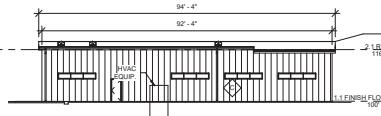
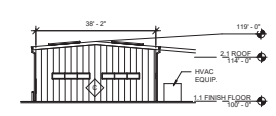
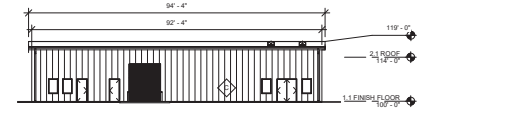
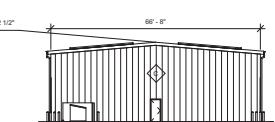
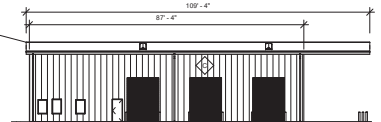
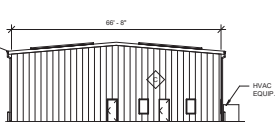
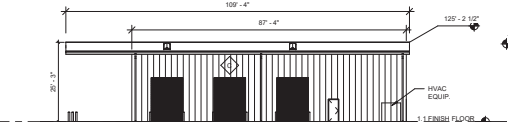
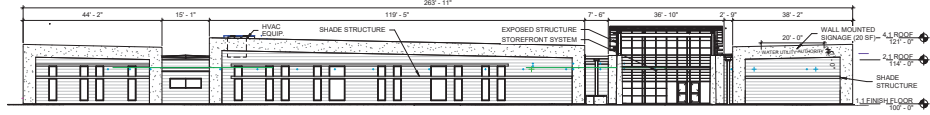
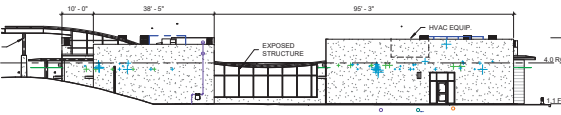
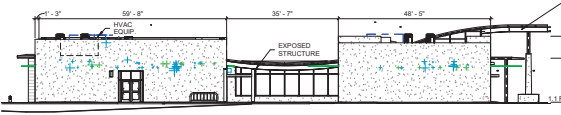
C-400
SHEET OF

Albuquerque Bernalillo County
Water Utility Authority
 CUSTOMER SERVICE + OPERATIONS



GENERAL NOTES

- IF THIS SHEET IS NOT 30" X 42", THEN THE DRAWINGS ON IT ARE NOT TO SCALE.
- MATERIALS LEGEND**
- OPERATIONS BUILDING - WALL ASSEMBLY
 METAL PANEL
 COLOR: TAN
 - OPERATIONS BUILDING - WALL ASSEMBLY
 METAL PANEL
 COLOR: TERRACOTA
 - METAL BUILDINGS - WALL ASSEMBLY
 METAL PANEL
 COLOR: TAN
- ALL EXPOSED STRUCTURE SHALL BE PAINTED IN EARTH TONES.
- ALL STOREFRONT SYSTEMS SHALL BE CLEAR. FRAMES SHALL BE CLEAR NATURAL ALUMINUM. AND DOORS SHALL BE PAINTED TO MATCH WALLS.
- ALL ROOF MOUNTED HVAC EQUIPMENT LOCATED ON THE OPERATIONS BUILDING SHALL BE LOCATED BEHIND PARAPET SCREEN WALLS. THEY SHALL BE APPROXIMATELY 9'-0" X 12'-0" X 4'-0".
- ALL GROUND-MOUNTED HVAC EQUIPMENT SHALL BE APPROXIMATELY 9'-0" X 7'-0" X 4'-0".
- PREMISE ADDRESS SIGNS SHALL BE WALL-MOUNTED WITH 'F' LETTERS AND LOCATED NEAR BUILDING ENTRANCES.



APPROVED MAJOR AMENDMENT

NO.	DATE	DESCRIPTION
10	DECEMBER 11, 2018	

PROJECT # 18074
 DRAWN BY: AUSTIN
 CDS BY: CHECKED

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BUILDING ELEVATIONS
EPC 5
 SHEET 05



CONSTRUCTION DRAWINGS FOR GROUND WATER & FIELD DISTRIBUTION SHEDS

JANUARY 2021

ON CALL PROJECT NO. 2323.031YY
A/E PROJECT NO. 2333.008



LOCATION MAP
SCALE: 1"=500'
(ZONE ATLAS MAP NO. P-13-Z)
CHAMA WATER TREATMENT
1441 MISSION AVE. ALBUQUERQUE, NM. 87123



VICINITY MAP
SCALE: 1"=2 MILES

SPECIFICATIONS	
SECTION NUMBER	DESCRIPTION
13 34 19	METAL BUILDING SYSTEM
08 33 23	OVERHEAD COILING DOOR

INDEX OF DRAWINGS		
SHEET NUMBER	DRAWING NAMES	SHEET DESCRIPTION
1	G-1	COVER SHEET AND INDEX
2	G-2	ABBREVIATIONS AND SYMBOLS
3	G-3	SITE PLAN
4	G-4	GENERAL STRUCTURAL NOTES
5	G-5	LIFE SAFETY PLAN / FIRE 2 PLAN
DEMOLITION		
6	D-1	DEMOLITION PLAN
7	D-2	DEMOLITION SECTIONS DETAILS
CIVIL		
8	C-1	BUILDING 1 SITE IMPROVEMENT PLAN
9	C-2	BUILDING 2 SITE IMPROVEMENT PLAN
ARCHITECTURAL		
10	A-1	BUILDING 1 FLOOR PLAN
11	A-2	BUILDING 1 ROOF PLAN
12	A-3	BUILDING 1 ELEVATIONS
13	A-4	BUILDING 2 FLOOR PLAN
14	A-5	BUILDING 2 ROOF PLAN
15	A-6	BUILDING 2 ELEVATIONS
16	A-7	SECTIONS AND DETAILS
STRUCTURAL		
17	S-1	BUILDING 1 FOUNDATION PLAN
18	S-2	BUILDING 1 ROOF PLAN
19	S-3	BUILDING 1 SECTIONS AND DETAILS
20	S-4	BUILDING 2 FOUNDATION PLAN
21	S-5	BUILDING 2 ROOF PLAN
22	S-6	BUILDING 2 SECTIONS AND DETAILS

CONTACT:
Randall Carroll, PE,
505-289-3404
rcarroll@abcwua.org



WATER AUTHORITY CONSTRUCTION PROJECT NO.	2323.031YY	SHEET OF	2333.008
		G-1	

DWG: C:\Users\glemhess@abcc\Documents\2333.008 Ground Water & Field Distribution\Sheet\20-SHEETS\C-1.dwg
 USER: glemhess@abcc
 DATE: Jan 23, 2021 4:13pm
 PLOT: imagine-it-delivered_black_30dpi.plt
 SITE LOCATION 1.dwg
 SITE LOCATION 1.dwg

GROUND WATER & FIELD DISTRIBUTION SHEDS

GENERAL NOTES:

1. THE NOTES ON THIS SHEET AND THE STANDARD DETAILS ARE GENERAL AND APPLY TO THE ENTIRE PROJECT WHETHER SPECIFICALLY CALLED OUT OR NOT, EXCEPT WHERE THERE ARE SPECIFIC INDICATIONS TO THE CONTRARY ON SHEETS. IF THERE ARE QUESTIONS, THEY SHALL BE SUBMITTED TO THE ENGINEER AND ANSWERED IN WRITING PRIOR TO CONSTRUCTION.
2. SAFETY AND STRUCTURE STABILITY DURING CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. STRUCTURES HAVE BEEN DESIGNED TO RESIST THE DESIGN LIVE LOADS ONLY AS A COMPLETED STRUCTURE. PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED FOR STABILITY DURING CONSTRUCTION.
3. THE STANDARD DETAILS DEPICT TYPICAL DETAILING TO BE USED ON THIS PROJECT. IF CONDITIONS ARE NOT EXPLICITLY SHOWN ON THE DRAWINGS THEY SHALL BE MADE SIMILAR TO THE STANDARD DETAILS. OBTAIN APPROVAL OF ENGINEER IN WRITING FOR SIMILAR CONDITIONS PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING CONSTRUCTION AS REQUIRED TO COORDINATE NEW CONSTRUCTION. SUBMIT REQUIRED CHANGES FOR APPROVAL.
5. CONTRACTOR TO SUBMIT FOR APPROVAL ALL EQUIPMENT SIZES, OPERATING WEIGHTS, VIBRATION FORCES, SUPPORT LOCATIONS, ALONG WITH ANY OPENINGS, NOTCHES, AND RECESSES REQUIRED BY SUCH EQUIPMENT.
6. SHOP DRAWINGS SHALL BE FURNISHED FOR APPROVAL BEFORE ANY FABRICATION AND ERECTION IS STARTED. POORLY EXECUTED SHOP DRAWINGS SHALL BE REJECTED AND RESUBMITTED AT NO COST TO OWNER.
7. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT N.M. ONE-CALL SYSTEM, INC., 1-800-321-ALERT, FOR LOCATION OF EXISTING UTILITIES.
8. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AMENDMENT 1 TO UPDATE 9, REFERENCED TO HEREIN AS THE "STANDARD SPECIFICATIONS".
9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES HAS BEEN DETERMINED BY INFORMATION PROVIDED BY OTHERS, AND SHALL BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND SIZE OF ALL EXISTING UTILITY LINES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES RESULTING FROM FAILURE TO LOCATE ANY AND ALL UTILITIES.
10. THE CONTRACTOR SHALL SUPPORT AND MAINTAIN OPERATIONAL ALL UTILITIES EXPOSED DURING TRENCHING AND OTHER CONSTRUCTION OPERATIONS. ALL CONSTRUCTION ACTIVITIES INVOLVING GAS, POWER, WATER, FIBER OPTIC, TRAFFIC SIGNAL EQUIPMENT, AND/OR OTHER UTILITY LINES SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY PRIOR TO ANY DISTURBANCE. NO UTILITY SERVICE SHALL BE DISRUPTED WITHOUT FIRST NOTIFYING ALL AFFECTED PARTIES 48 HOURS IN ADVANCE.
11. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING VALVE BOXES, MANHOLES, SEWER SERVICES, PAVEMENTS, PAVEMENT MARKINGS, SIGN AND SIGNAL EQUIPMENT, CURB & GUTTER, DRIVE PADS, RIP-RAP, DRAINAGE CULVERTS AND ASSOCIATED APPURTENANCES, WHEEL CHAIR RAMPS, AND SIDEWALKS DURING CONSTRUCTION. APART FROM THESE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COUNTY STANDARDS AT CONTRACTOR'S EXPENSE.
12. QUANTITIES SHOWN FOR THE VARIOUS BID ITEMS ARE FOR CONTRACTOR INFORMATION ONLY. PAYMENT SHALL BE BASED ON ACTUAL QUANTITIES AS CONSTRUCTED.
13. ALL OPEN EXCAVATIONS SHALL BE BACKFILLED OR ADEQUATELY FENCED AT THE END OF EACH WORK DAY TO PREVENT PEDESTRIANS AND/OR VEHICLES FROM ENTERING THE EXCAVATIONS. ALL OPEN EXCAVATIONS SHALL BE BACKFILLED OVER WEEKENDS AND WHEN THE CONTRACTOR IS NOT WORKING THE FOLLOWING DAY.
14. THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENT AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
15. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

CONTINUED ON SHEET G-4



2333.008

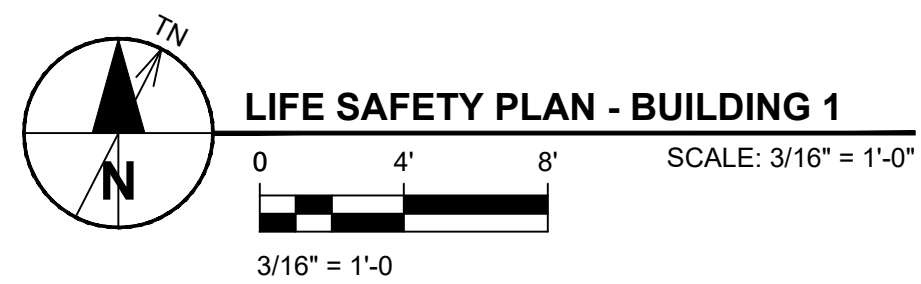
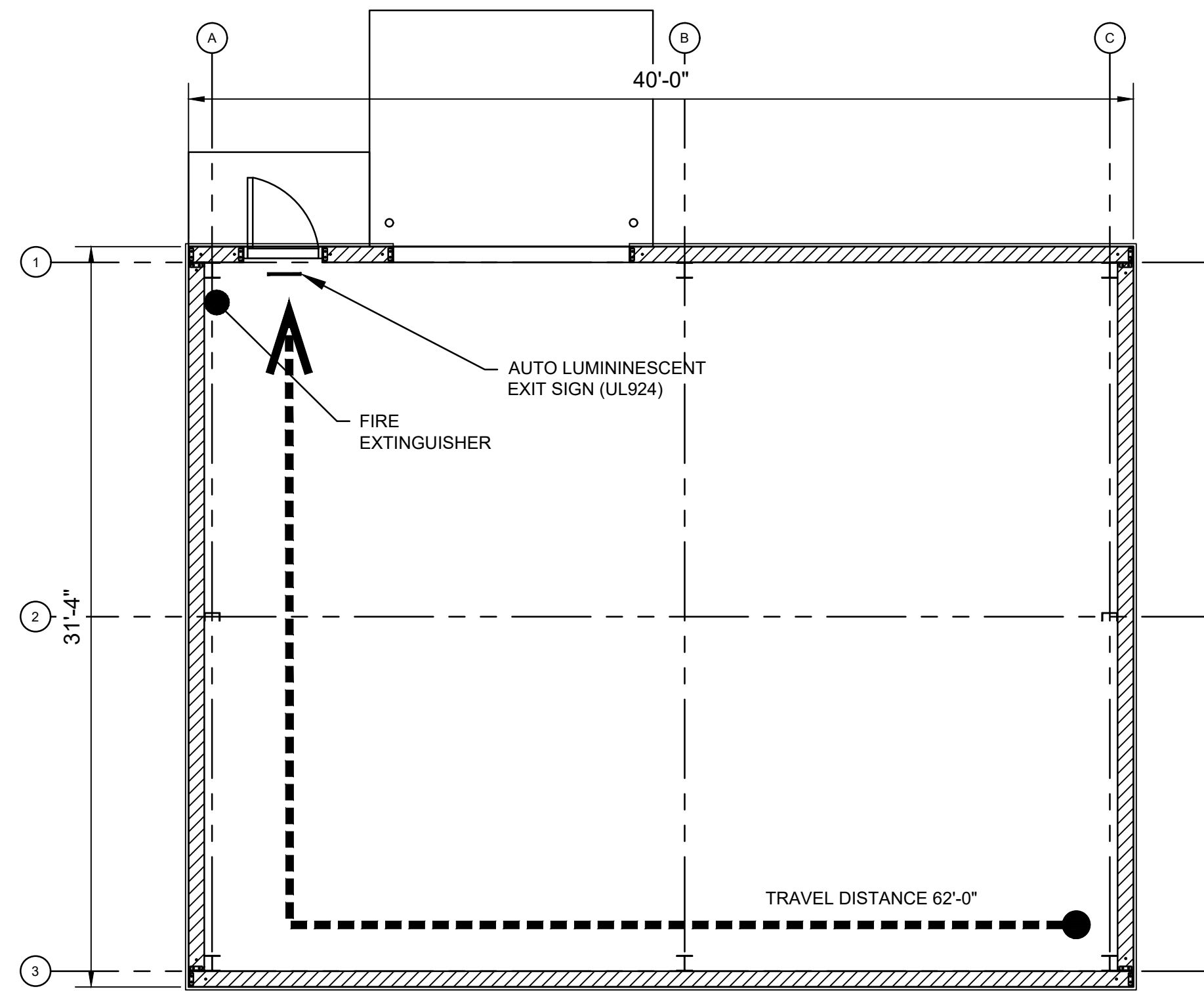
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-	-	-	-		CHECKED BY: REH DATE: JAN. 2021
-	-	-	-		CROSS CHK'D BY: - DATE: -
-	-	-	-		APPROVED BY: - DATE: -
					MAPS/RECORDS INFO.

AECOM Imagine it. Delivered.
 One Park Square, 6501 Americas Pkwy NE,
 Suite 900 Albuquerque, New Mexico 87110
 (505)-855-7500

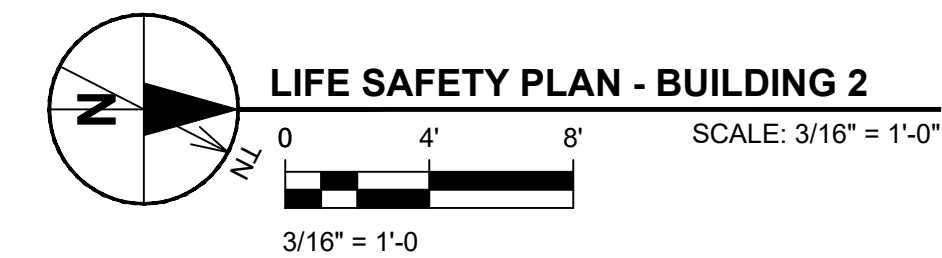
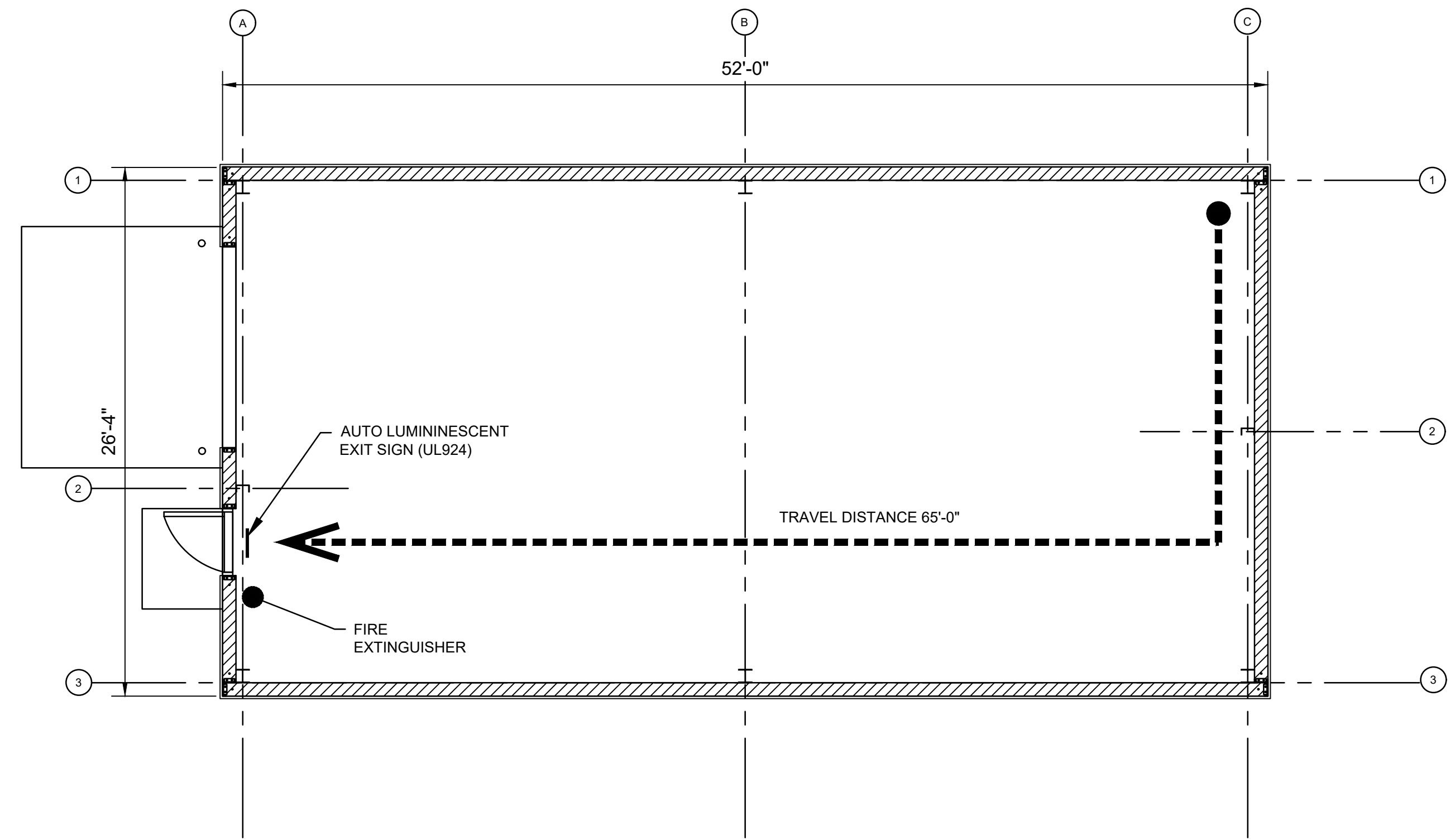
AS BUILT INFORMATION	
CONTRACTOR	-
WORK STAKED BY	DATE -
INSPECTOR'S ACCEPTANCE BY	DATE -
INSPECTOR'S NAME	-
FIELD VERIFICATION BY	DATE -
DRAWINGS CORRECTED BY	DATE -

ENGINEER'S SEAL

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
TITLE: GROUND WATER & FIELD DISTRIBUTION SHED SITE PLAN
 WATER AUTHORITY CONSTRUCTION PROJECT NO. **2323.031YY** ZONE MAP NO. SHEET **G-3**



LIFE SAFETY PLAN - BUILDING 1



LIFE SAFETY PLAN - BUILDING 2

SCOPE OF WORK

STORAGE SHEDS FOR PIPES AND VALVES FOR DISTRIBUTION TO THE FIELD.

STRUCTURAL NOTES:

1. APPLICABLE SPECIFICATIONS AND CODES
 - A. INTERNATIONAL BUILDING CODE (IBC) 2015 WITH APPLICABLE EDITIONS OF THE CODE REFERENCED STANDARDS.
 - B. ACI 318-14
 - C. ASCE 7-10
 - D. LOCAL JURISDICTION AMENDMENTS
 - E. AISC STEEL CONSTRUCTION MANUAL, 13TH EDITION
2. DESIGN CRITERIA

APPLIES TO ALL STRUCTURES (UNO)
OCCUPANCY CATEGORY: III

 - A. DEAD LOAD:
 1. ACTUAL TRIBUTARY STRUCTURE WEIGHT
 2. SUPERIMPOSED DEAD LOAD: 10 PSF
 - B. LIVE LOAD:
 1. SLAB ON GRADE: 250 PSF
 2. ROOF: 20 PSF (NOT REDUCIBLE)
 - C. WIND:
 1. BASIC WIND SPEED: 125 MPH
 2. EXPOSURE: C
 3. PARTIALLY ENCLOSED
 - D. SEISMIC:
 1. IMPORTANCE FACTOR: 1.0
 2. SPECTRAL RESPONSE ACCELERATION, SS = 0.448
 3. SPECTRAL RESPONSE ACCELERATION, S1 = 0.135
 4. SITE CLASS: D
 5. SEISMIC DESIGN CATEGORY: D
 6. SPECTRAL RESPONSE COEFFICIENT, SDS = 0.43
 7. SPECTRAL RESPONSE COEFFICIENT, SD1 = 0.203
 8. ANALYSIS PROCEDURE: PER PEMB MFR
 - E. SNOW LOAD:
 1. GROUND SNOW LOAD = 20 PSF
 2. EXPOSURE COEFFICIENT: Ce = 1.0
 3. THERMAL COEFFICIENT: Ct = 1.0
 4. IMPORTANCE FACTOR: I = 1.1
 5. FLAT ROOF SNOW LOAD: Ps = 20 PSF

BUILDING CODE ANALYSIS

BUILDING CODES

2015 NEW MEXICO COMMERCIAL BUILDING CODE
2015 NEW MEXICO EXISTING BUILDING CODE
2009 NEW MEXICO ENERGY CONSERVATION CODE
2017 NEW MEXICO ELECTRICAL CODE
2015 NEW MEXICO MECHANICAL CODE
2015 NEW MEXICO PLUMBING CODE
2018 UNIFORM ADMINISTRATION CODE

USE & OCCUPANCY CLASSIFICATION

U	UTILITY	
BUILDING HEIGHT		
	ALLOWED	ACTUAL
BLDG 1	55/ 2 STORIES	18'-11" 1 STORY
BLDG 2	55/ 2 STORIES	18'-0" 1 STORY

BUILDING AREA

	ALLOWED	ACTUAL
BLDG 1	8,500 SF	1,254 SF
BLDG 2	8,500 SF	1,370 SF

TYPES OF CONSTRUCTION & FIRE PROTECTION

FIRE RESISTANCE RATING FOR(S) CONSTRUCTION	
PRIMARY STRUCTURAL FRAME	0 HR
BEARING WALLS	0 HR
NON BEARING WALLS	0 HR
FLOOR CONSTRUCTION	N/A
ROOF CONSTRUCTION	0 HR
FIRE SEPARATION DISTANCE	>30'
AUTOMATIC SPRINKLERS	
FIRE EXTINGUISHERS	NO 75' DISTANCE TYP

FINISHES

ROOMS CLASS C

OCCUPANT LOAD

	FUNCTION	AREA	LOAD FACTOR	OCCUPANTS
BLDG 1	STORAGE	1,254 SF	300 GROSS	4.18 (5)
BLDG 2	STORAGE	1,370 SF	300 GROSS	4.56 (5)

MEANS OF EGRESS

BUILDINGS WITH 1 EXIT MUST MEET THE COMMON PATH AND MAX OCCUPANT LOAD PER TABLE 1006.2.1

ALLOWED:	COMMON PATH	OCCUPANTS
	100'	<30

ACTUAL:	COMMON PATH	OCCUPANTS
BLDG 1	62'	5
BLDG 2	65'	5

ACCESSIBILITY

PER SECTION 1103.2.4 GROUP U OCCUPANCIES ARE NOT REQUIRED TO COMPLY.

PLUMBING FACILITIES

TOILET FACILITIES ARE PROVIDED ON THE SITE FOR EMPLOYEE USE. NO FIXTURES TO BE LOCATED WITHIN PROPOSED SHEDS.

ENERGY CODE REQUIREMENTS (BERNALILLO COUNTY 4B)

PROPOSED UTILITY SHEDS ARE NOT HEATED OR COOLED AND ARE NOT PROVIDED WITH ELECTRICAL SERVICE. NOT REQUIRED TO MEET ENERGY CODE REQUIREMENTS.

PER PHONE CALL WITH ROBERT NEVAREZ, FIRE 1 SHEET IS NOT REQUIRED. FIREFLOW HAS NOT INCREASED - NO ADDITIONAL HYDRANT REQUIRED.

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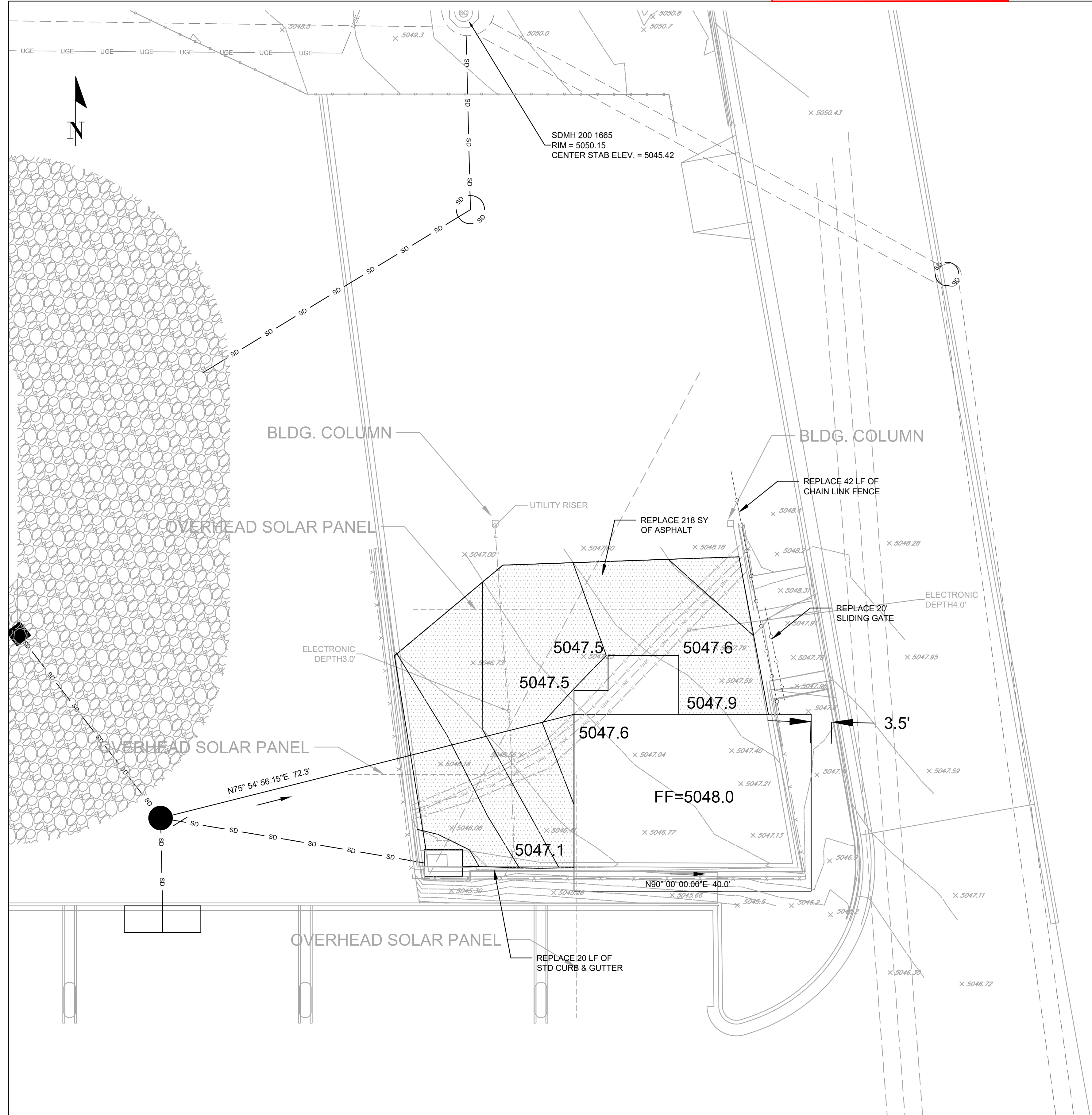
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-	-	-	-	ATTENTION	DRAWN BY: GH DATE: JAN. 2021
-	-	-	-	0 1/2" 1"	CHECKED BY: REH DATE: JAN. 2021
-	-	-	-	GRAPHIC SCALE	CROSS CHK'D BY: - DATE: -
-	-	-	-	THIS BAR MEASURES 1" AT FULL SCALE (ANSI D)	APPROVED BY: - DATE: -
-	-	-	-		MAPS/RECORDS INFO.

AECOM Imagine it. Delivered.
One Park Square, 6501 Americas Pkwy NE, Suite 900 Albuquerque, New Mexico 87110 (505)-855-7500

AS BUILT INFORMATION	
CONTRACTOR	-
WORK STAKED BY	-
INSPECTOR'S ACCEPTANCE BY	-
INSPECTOR'S NAME	-
FIELD VERIFICATION BY	-
DRAWINGS CORRECTED BY	-

ENGINEER'S SEAL
ROBERT E. HAWTHORNE
NEW MEXICO
REG. NO. 8178
1-26-2021
REGISTERED PROFESSIONAL ENGINEER

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
TITLE: GROUND WATER & FIELD DISTRIBUTION SHED
LIFE SAFETY PLAN / FIRE PLAN 2
WATER AUTHORITY CONSTRUCTION PROJECT NO. 2323.031YY ZONE MAP NO. P13 SHEET G-5



GENERAL NOTES

1. CONTRACTOR SHALL SALVAGE BASE COARSE MATERIAL AND UTILIZED MATERIAL FOR GRADING.
2. HEADER CURB SHALL BE BUILT AS PER ABQ STD DWG 2415B.
3. NEW ASPHALT SHALL BE BUILT AS PER ABQ STD DWG 2465 WITH 2" THICK SP-III SURFACE COARSE.

DRAINAGE NOTES

1. THE PURPOSE OF THIS GRADING PLAN IS TO INCLUDE NEW SHEDS FOR THE WUA CUSTOMER SERVICE AND OPERATIONS FACILITY (ENGR'S STAMP DATE: 7/8/2019, F16D014C).
2. BUILDING 1 (SHEET C1) IS PROPOSED OVER A NEW (BUILT UNDER THE MASTER GRADING AND DRAINAGE PLAN- F16D014C) PARKING AREA. A PORTION OF THE NEW ASPHALT PARKING LOT WILL BE REMOVED, THE FOUNDATION PLACED, AND THE ASPHALT REPLACED TO DRAIN AWAY FROM THE BUILDING. THIS IMPERVIOUS AREA HAS ALREADY BEEN ACCOUNTED FOR IN THE APPROVED G&D PLAN.
3. THIS REVISED AREA IS WITHIN BASIN "FLEET LOT" FROM THE APPROVED DRAINAGE REPORT (PG. 7 & ATTACHMENT H)
4. DISCHARGE VOLUMES, PEAK FLOWS, AND SWQV'S WILL REMAIN UNCHANGED WITH THE ADDITION OF BUILDING 1:

ZONE	DEPTH (INCHES) AT 100-YEAR STORM					EXCESS PRECIPITATION, E (INCHES) - 6 HOUR STORM				PEAK DISCHARGE (CFS/ACRE)			
	P _{60MIN}	P _{360MIN}	P _{1440MIN}	P _{DAY}	P _{10DAY}	A	B	C	D	A	B	C	D
2	1.78	2.29	2.59	2.96	3.62	0.62	0.8	1.03	2.33	1.71	2.36	3.05	4.34

BASIN NAME	ZONE	BASIN SIZE		LAND TREATMENT PERCENT BY TYPE				LAND TREATMENT BY AREA (ACRES)				AREA CHK ACRES
		SF	ACRES	A	B	C	D	A	B	C	D	
Prev. Approved "Fleet Lot"	2	503307	11.55	0%	0%	21%	79%	0	0	2.42	9.13	11.550
Revised "Fleet Lot"	2	503307	11.55	0%	0%	21%	79%	0	0	2.42	9.13	11.550

BASIN NAME	WEIGHTED E INCHES	V ₃₆₀ / 6HR VOL.		V ₁₄₄₀ / 24HR VOL.		V ₄₈ / 4DAY VOL.		V _{10d} / 10DAY VOL.		Q _p CFS	YIELD CFS/AC	NEW DVLPM/TST FLUSH VOL.	
		AC-FT	CF	AC-FT	CF	AC-FT	CF	AC-FT	CF			AC-FT	CF
Prev. Approved "Fleet Lot"	2.06	1.98	86269	2.21	96211	2.49	108474	2.99	130347	47.01	4.07	0.259	11268
Revised "Fleet Lot"	2.06	1.98	86269	2.21	96211	2.49	108474	2.99	130347	47.01	4.07	0.259	11268

New Impervious: Bldg 1 Area
None

6. THIS AREA DISCHARGES TO "NORTH DETENTION POND" (PG. 6 OF THE APPROVED DRAINAGE REPORT) WHICH HAS A CAPACITY OF 5.1 AC-FT. THIS POND CURRENTLY RECEIVES 2.99 AC-FT FROM ALL SOURCES; THE PROPOSED WORK WILL NOT INCREASE THIS VOLUME.
7. SWQV FOR THE EXISTING PARKING AREA IS ALSO CONTAINED IN "NORTH DETENTION POND", WHICH IS CURRENTLY A RETENTION POND OVERSIZED FOR THE 100-YR, 10-DAY VOLUME WITH EMERGENCY OVERFLOW (48" RCP). THE SWQV OF WILL CONTINUE TO BE RETAINED IN THIS POND.



LOCATION MAP NO SCALE

ZONE ATLAS MAP NO. P-13-Z
CHAMA WATER TREATMENT PLANT
1441 MISSION AVE. ALBUQUERQUE, NM 87123



THIS PROJECT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA, PER FEMA FIRM 350010C0138H, EFFECTIVE

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 02/22/21
BY: *Kevin Brissett*
HydroTeam F16D014C

THE APPROVAL OF THESE PLANS BY THE CITY OF ALBUQUERQUE DOES NOT CONSTITUTE A GUARANTEE OF ANY KIND, NOR SHALL THE CITY BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE CITY OF ALBUQUERQUE DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED IN THESE PLANS. THE CITY OF ALBUQUERQUE DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED IN THESE PLANS. THE CITY OF ALBUQUERQUE DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED IN THESE PLANS.

NO.	DATE	REVISION NO. & DESCRIPTION	BY
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SCALE:
NONE
ATTENTION
0 1/2" = 1"
GRAPHIC SCALE
THIS BAR MEASURES 1" AT FULL SCALE (ANSI D)

DESIGN TRACKING		
DESIGNED BY:	AJ	DATE: JAN. 2021
DRAWN BY:	GH	DATE: JAN. 2021
CHECKED BY:	REH	DATE: JAN. 2021
CROSS CHK'D BY:	-	DATE: -
APPROVED BY:	-	DATE: -

MAPS/RECORDS INFO.

AECOM Imagine it. Delivered.
One Park Square, 6501 Americas Pkwy NE,
Suite 900 Albuquerque, New Mexico 87110
(505)-855-7500

AS BUILT INFORMATION	
CONTRACTOR	-
WORK STAKED BY	-
INSPECTOR'S ACCEPTANCE BY	-
INSPECTOR'S NAME	-
FIELD VERIFICATION BY	-
DRAWINGS CORRECTED BY	-

ENGINEER'S SEAL
ALVIN S. MEDINA
NEW MEXICO
16454
12-2021
LICENSED PROFESSIONAL ENGINEER

ALBUQUERQUE BERNALILLO COUNTY
WATER UTILITY AUTHORITY
TITLE: GROUND WATER & FIELD DISTRIBUTION SHED
BUILDING 1 SITE IMPROVEMENT PLAN
WATER AUTHORITY CONSTRUCTION PROJECT NO. 2321.024YY ZONE MAP NO. SHEET C-1

GENERAL NOTES

1. CONTRACTOR SHALL SALVAGE BASE COARSE MATERIAL FROM DEMOLITION OF ASPHALT. SALVAGED BASE COARSE SHALL BE UTILIZED FROM FILL MATERIAL FOR NEW ASPHALT ELEVATIONS.
2. CONTRACT SHALL PROTECT EXISTING STORAGE TANK DURING CONSTRUCTION.
3. HEADER CURB SHALL BE BUILT AS PER ABQ STD DWG 2415B.
4. NEW ASPHALT SHALL BE BUILT AS PER ABQ STD DWG 2465 WITH 2" THICK SP-III SURFACE COARSE.

DRAINAGE NOTES

1. THE PURPOSE OF THIS GRADING PLAN IS TO INCLUDE NEW SHEDS FOR THE WUA CUSTOMER SERVICE AND OPERATIONS FACILITY (ENGR'S STAMP DATE: 7/8/2019, F16D014C).
2. BUILDING 2 (SHEET C2) IS PROPOSED OVER AN UNUSED DIRT AREA AND GRAVEL SLOPE (BUILT UNDER THE MASTER GRADING AND DRAINAGE PLAN- F16D014C). A NEW FOUNDATION (1389SF) AND NEW ASPHALT PARKING LOT (4230SF) WILL BE CONSTRUCTED TO DRAIN AWAY FROM THE NEW BUILDING.
4. THIS REVISED AREA IS WITHIN BASIN "WTP SITE" FROM THE APPROVED DRAINAGE REPORT (PG. 7 & ATTACHMENT H)
5. THE NEW IMPERVIOUS AREA WILL INCREASE THE DISCHARGE BY 0.17CFS, VOLUME BY 0.03 AC-FT, AND SWQV BY 159CF (PRE-2020 DPM STANDARD):

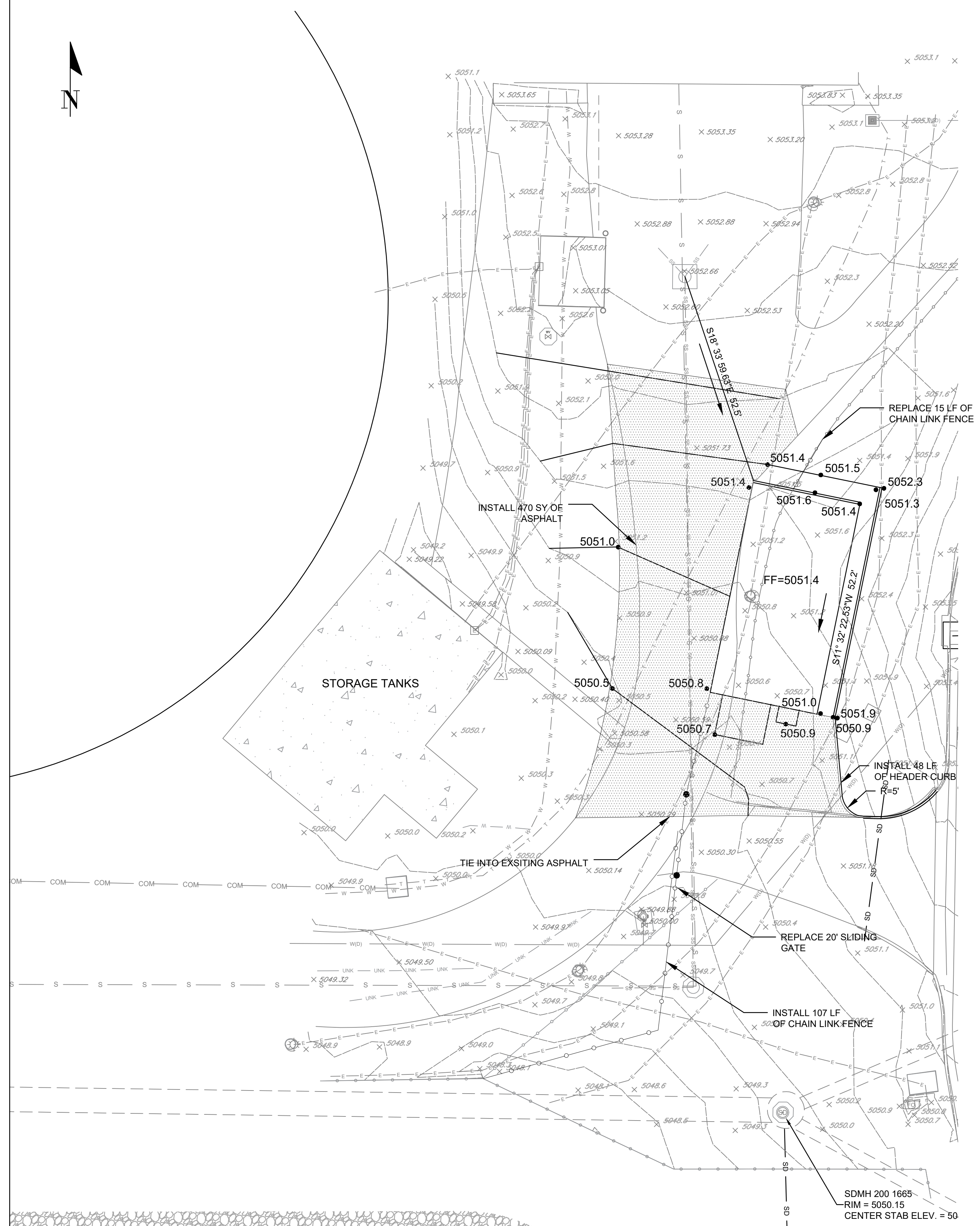
ZONE	DEPTH (INCHES) AT 100-YEAR STORM					EXCESS PRECIPITATION, E (INCHES) - 6 HOUR STORM				PEAK DISCHARGE (CFS/ACRE)			
	P _{60MIN}	P _{360MIN}	P _{1440MIN}	P _{24HR}	P _{10DAY}	A	B	C	D	A	B	C	D
2	1.78	2.29	2.59	2.96	3.62	0.62	0.8	1.03	2.33	1.71	2.36	3.05	4.34

BASIN NAME	ZONE	BASIN SIZE		LAND TREATMENT PERCENT BY TYPE				LAND TREATMENT BY AREA (ACRES)				AREA CHK	
		SF	ACRES	A	B	C	D	A	B	C	D	ACRES	
Prev. Approved "Fleet Lot"		2	503307	11.55	0%	0%	21%	79%	0	0	2.42	9.13	11.550
Revised "Fleet Lot"		2	503307	11.55	0%	0%	21%	79%	0	0	2.42	9.13	11.550

BASIN NAME	WEIGHTED E	V ₃₆₀ / 6HR VOL.	V ₁₄₄₀ / 24HR VOL.	V ₆₀ / 4DAY VOL.	V ₁₀₀ / 10DAY VOL.	Q _p	YIELD	NEW DVLPMT 1ST FLUSH VOL.					
								AC-FT	CF				
Prev. Approved "WTP Site"	1.45	5.31	231189	5.66	246652	6.10	265724	6.88	299745	152.25	3.47	0.402	17526
Revised "WTP Site"	1.45	5.32	231796	5.68	247401	6.12	266646	6.91	300975	152.41	3.47	0.406	17685
Increases:								0.03	0.17				

New Impervious: Bldg 2 Area			
Bldg 2 Foundation:	1389 sf		
Asphalt:	4230 sf		
Sum:	5619 sf	0.13 ac	

6. THIS AREA DISCHARGES TO "WEST DETENTION POND" (PG. 6 OF THE APPROVED DRAINAGE REPORT) WHICH HAS A CAPACITY OF 28.0-AC-FT. THIS POND CURRENTLY RECEIVES 15.29 AC-FT FROM ALL SOURCES; THE ADDITIONAL RUNOFF WILL INCREASE THIS VOLUME TO 15.32 AC-FT. THE POND HAS ADEQUATE CAPACITY TO ACCEPT THE INCREASED RUNOFF.
7. SWQV FOR THE INCREASED IMPERVIOUS IS ALSO CONTAINED IN "WEST DETENTION POND", WHICH IS CURRENTLY A RETENTION POND OVERSIZED FOR THE 100-YR, 10-DAY VOLUME. THE INCREASED SWQV OF 159CF WILL BE RETAINED IN THIS POND.



NO.	DATE	REVISION NO. & DESCRIPTION	BY
-	-	-	-
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-	-	-	-
-	-	-	-
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SCALE:
NONE
ATTENTION
0 1/2" = 1"
GRAPHIC SCALE
THIS BAR MEASURES 1" AT FULL SCALE (ANSI D)

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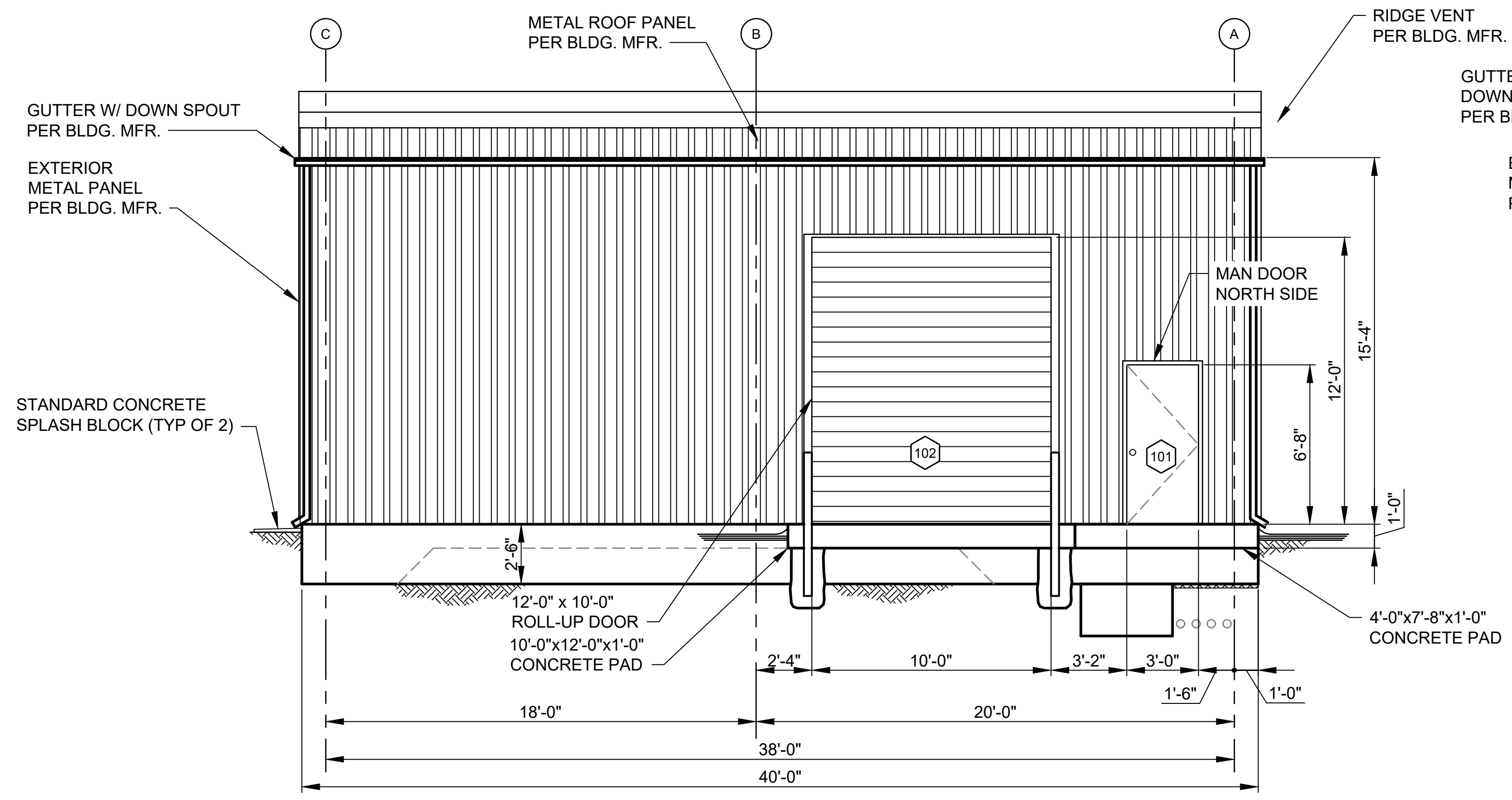
AS BUILT INFORMATION	
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ENGINEER'S SEAL
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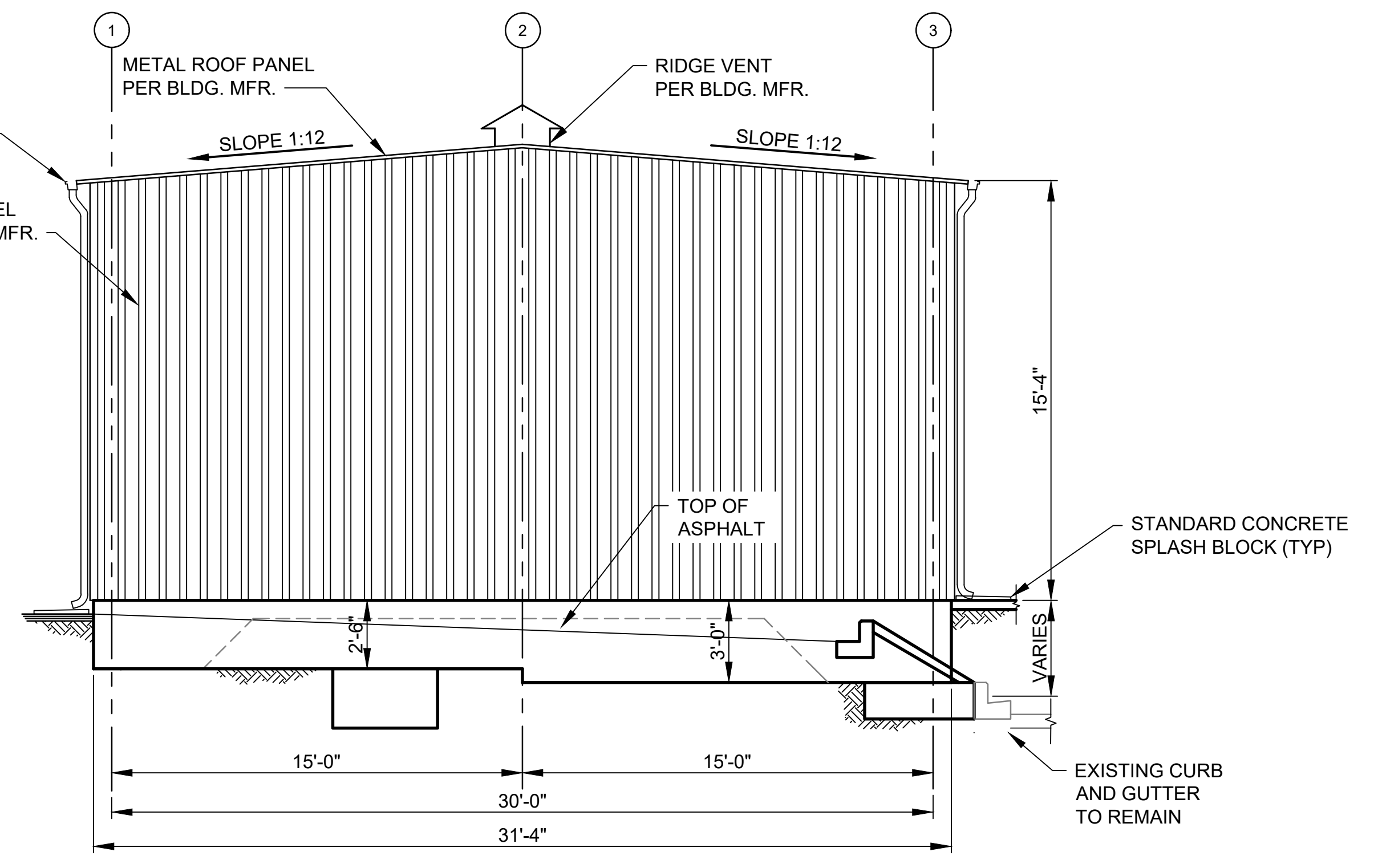
ALBUQUERQUE BERNALILLO COUNTY
WATER UTILITY AUTHORITY
TITLE: GROUND WATER & FIELD DISTRIBUTION SHED
BUILDING 2 SITE IMPROVEMENT PLAN
WATER AUTHORITY CONSTRUCTION PROJECT NO. 2321.024YY ZONE MAP NO. SHEET C-2

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 02/22/21
BY: *Rebecca Brissett*
HydroTeam # F16D014C

2333.008

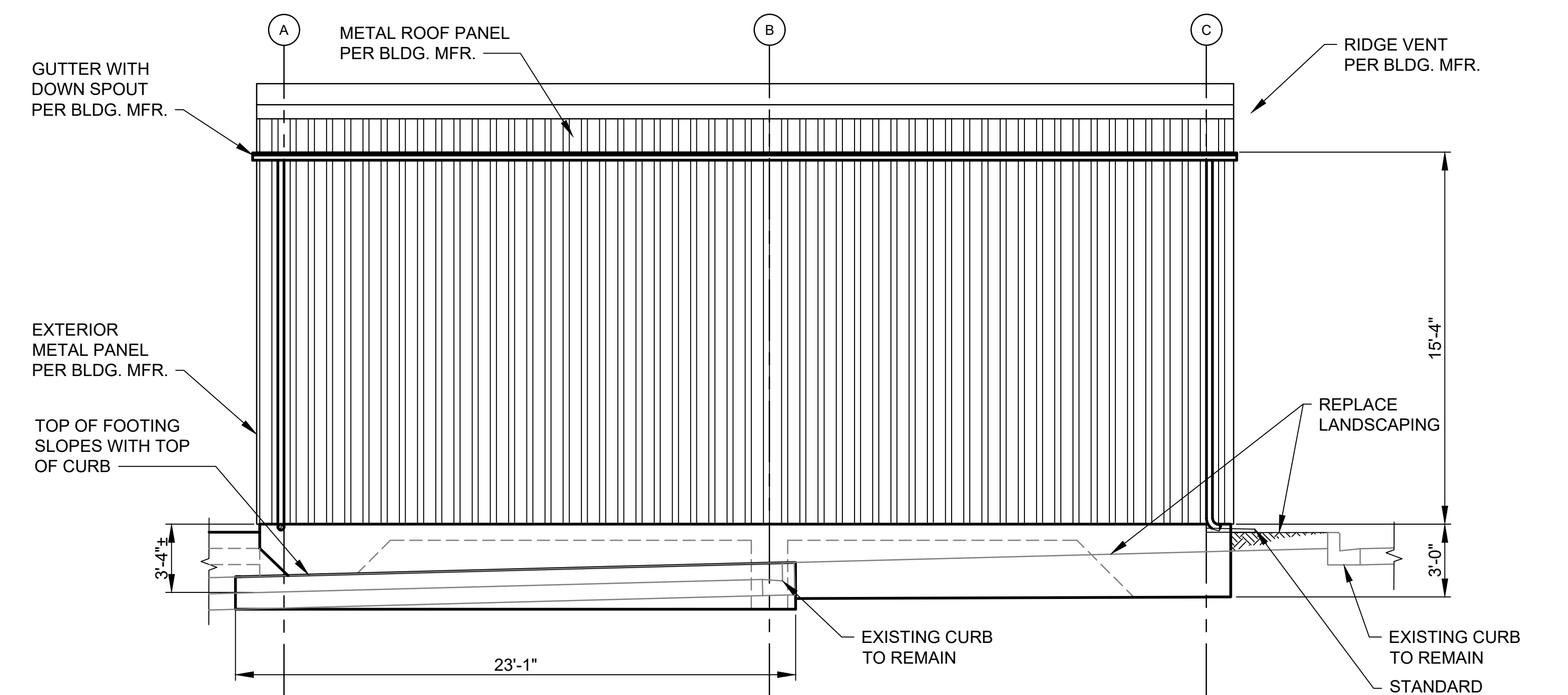


1 NORTH ELEVATION
Scale: 1/4"=1'-0"

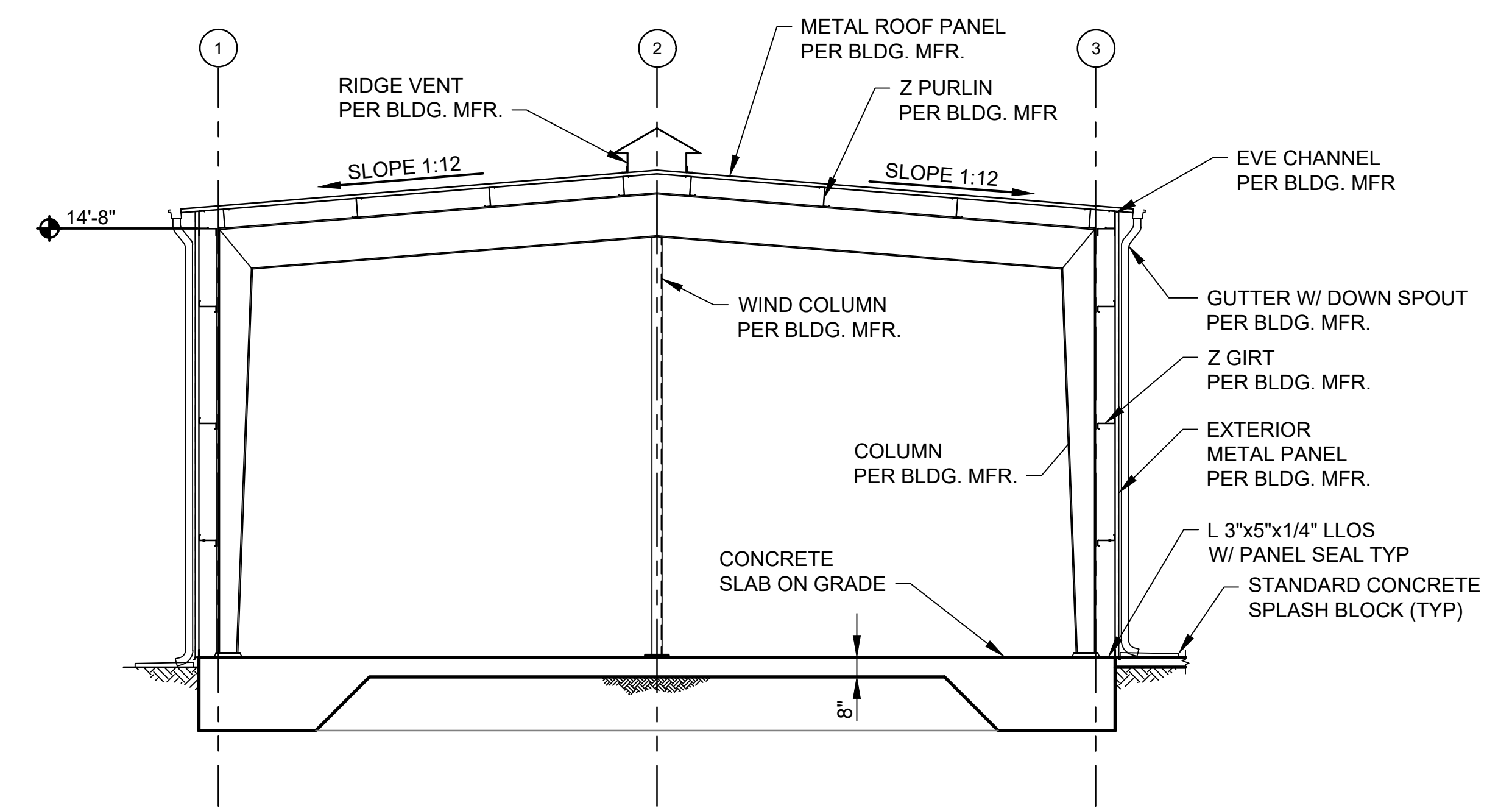


2 WEST ELEVATION - EAST ELEVATION (SIM)
Scale: 1/4"=1'-0"

BUILDINGS DO NOT HAVE ANY ELECTRICAL



3 SOUTH ELEVATION
Scale: 1/4"=1'-0"



4 INTERIOR SECTION
Scale: 1/4"=1'-0"

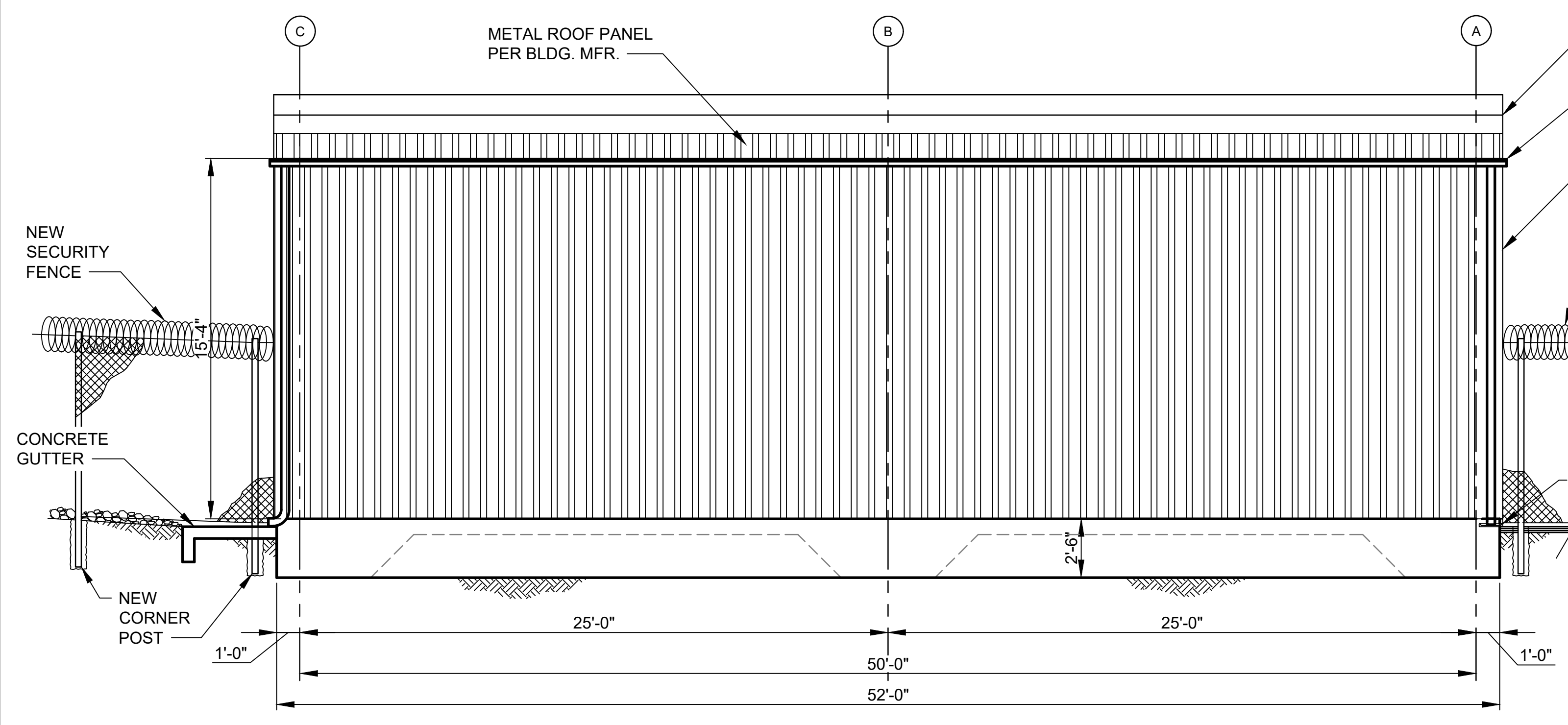
NO.	DATE	REVISION NO. & DESCRIPTION	BY	SCALE:	DESIGN TRACKING
-	-	-	-	AS SHOWN	DESIGNED BY: AFJ DATE: JAN. 2021
-	-	-	-	ATTENTION	DRAWN BY: GH DATE: JAN. 2021
-	-	-	-	0 1/2" 1"	CHECKED BY: REH DATE: JAN. 2021
-	-	-	-	GRAPHIC SCALE	CROSS CHK'D BY: - DATE: -
-	-	-	-	THIS BAR MEASURES 1" AT FULL SCALE (ANSI D)	APPROVED BY: - DATE: -
-	-	-	-		MAPS/RECORDS INFO.

AECOM Imagine it. Delivered.
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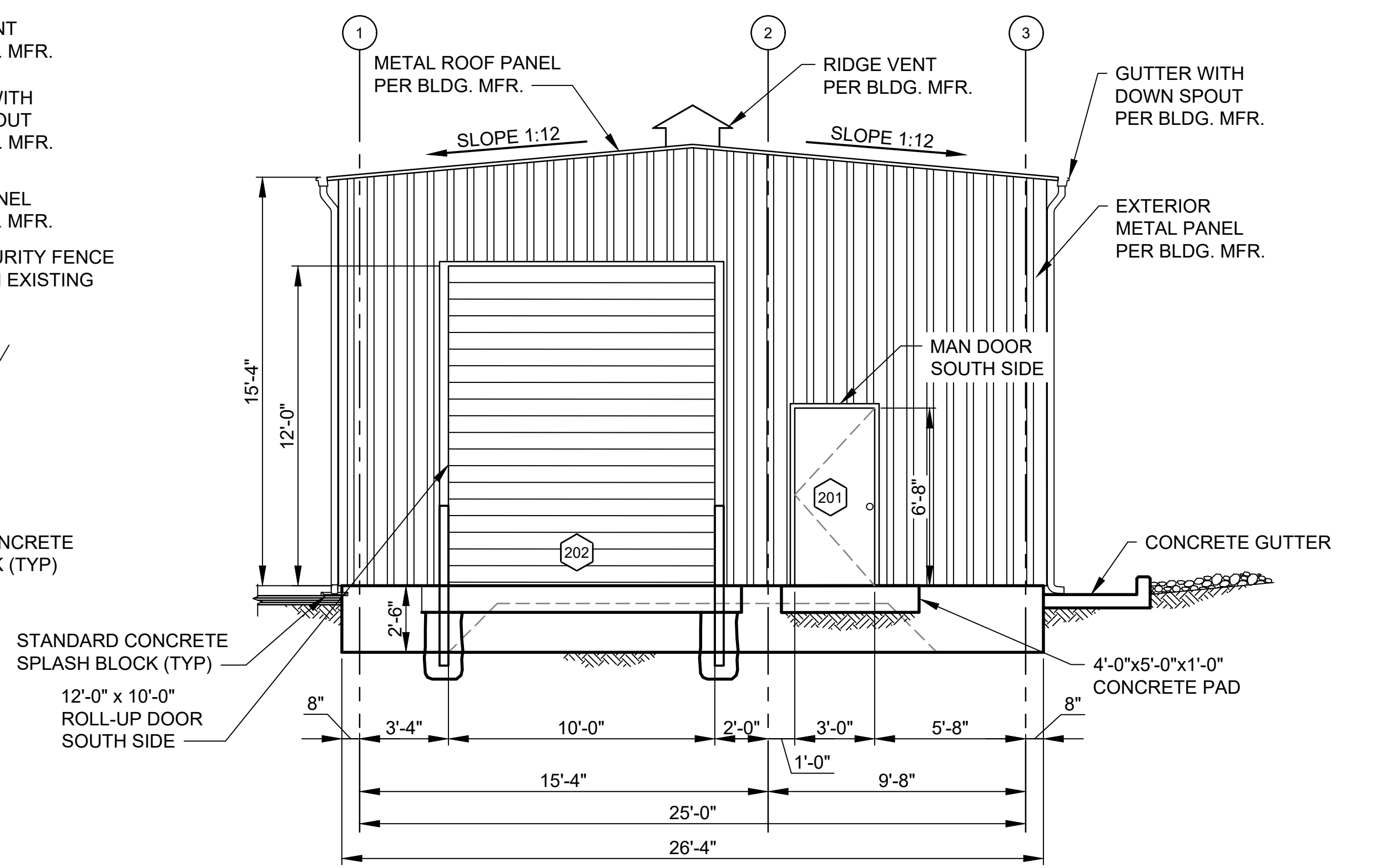
AS BUILT INFORMATION	
CONTRACTOR	-
WORK STAKED BY	-
INSPECTOR'S ACCEPTANCE BY	-
INSPECTOR'S NAME	-
FIELD VERIFICATION BY	-
DRAWINGS CORRECTED BY	-

ENGINEER'S SEAL
ROBERT E. HAWTHORNE
NEW MEXICO
8178
1-26-2021
REGISTERED PROFESSIONAL ENGINEER

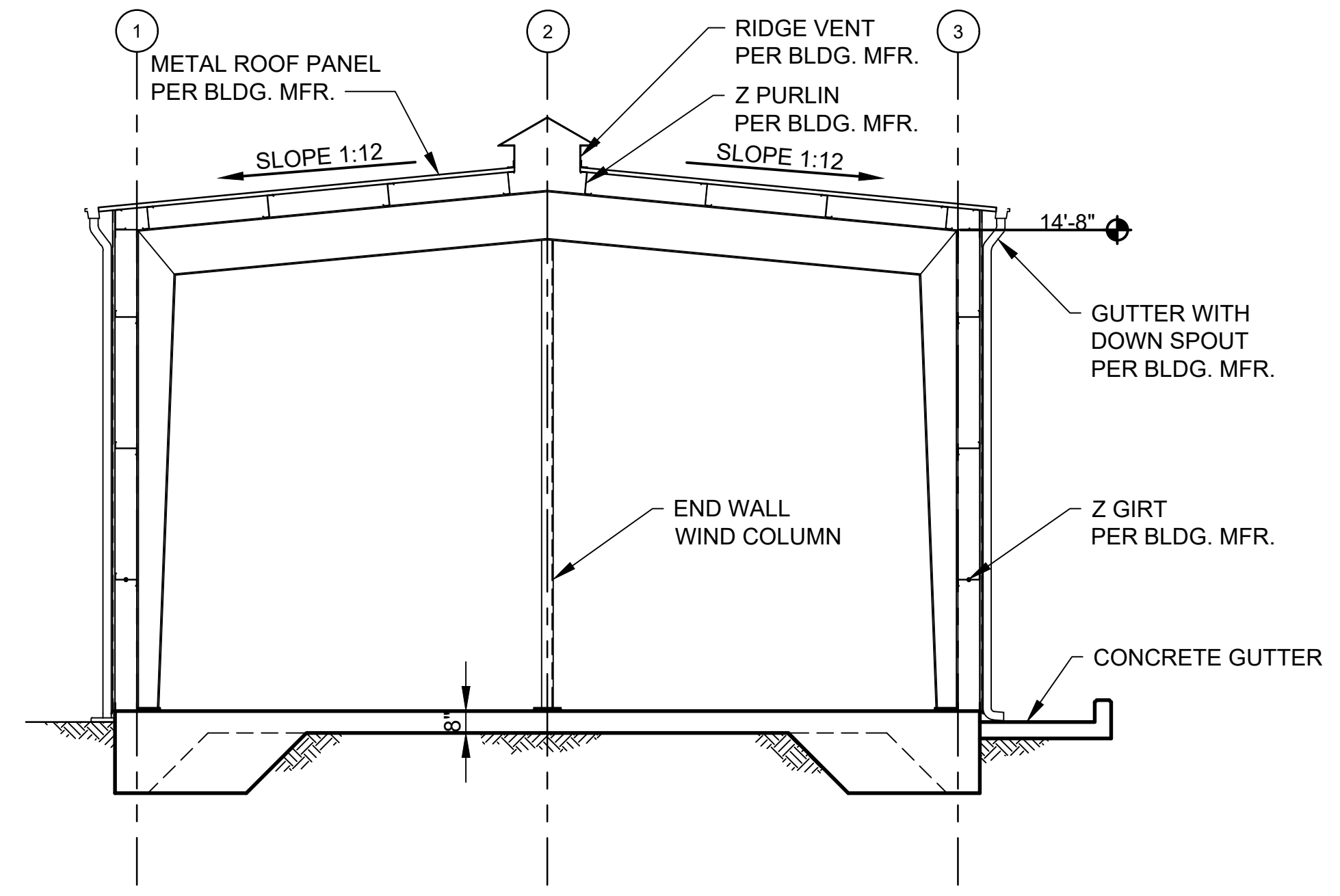
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
GROUND WATER & FIELD DISTRIBUTION SHED
BUILDING 1 ELEVATIONS
WATER AUTHORITY CONSTRUCTION PROJECT NO. 2323.031YY ZONE MAP NO. P13 SHEET A-3



1 WEST ELEVATION - EAST ELEVATION (SIM)
Scale: 1/4"=1'-0"



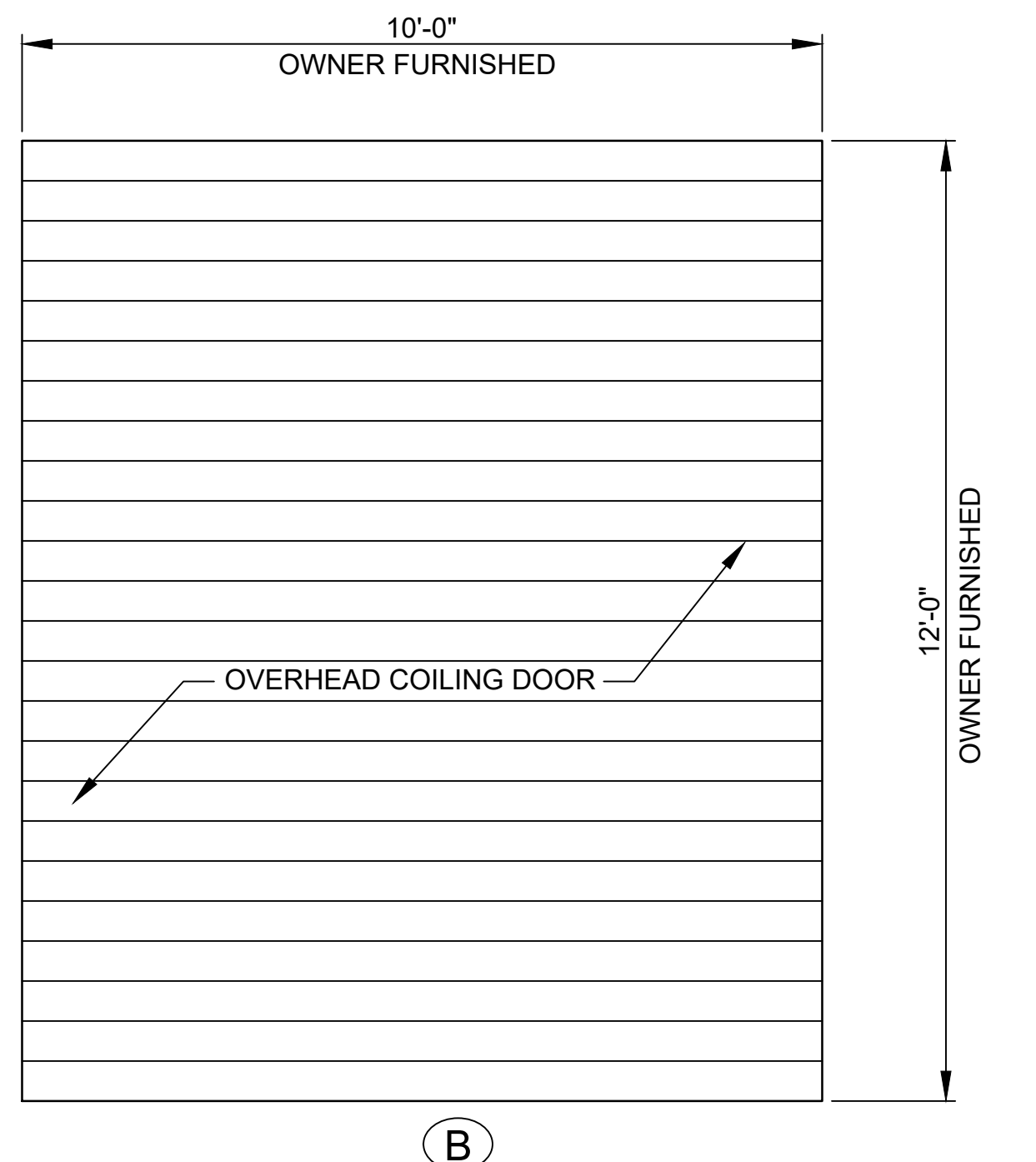
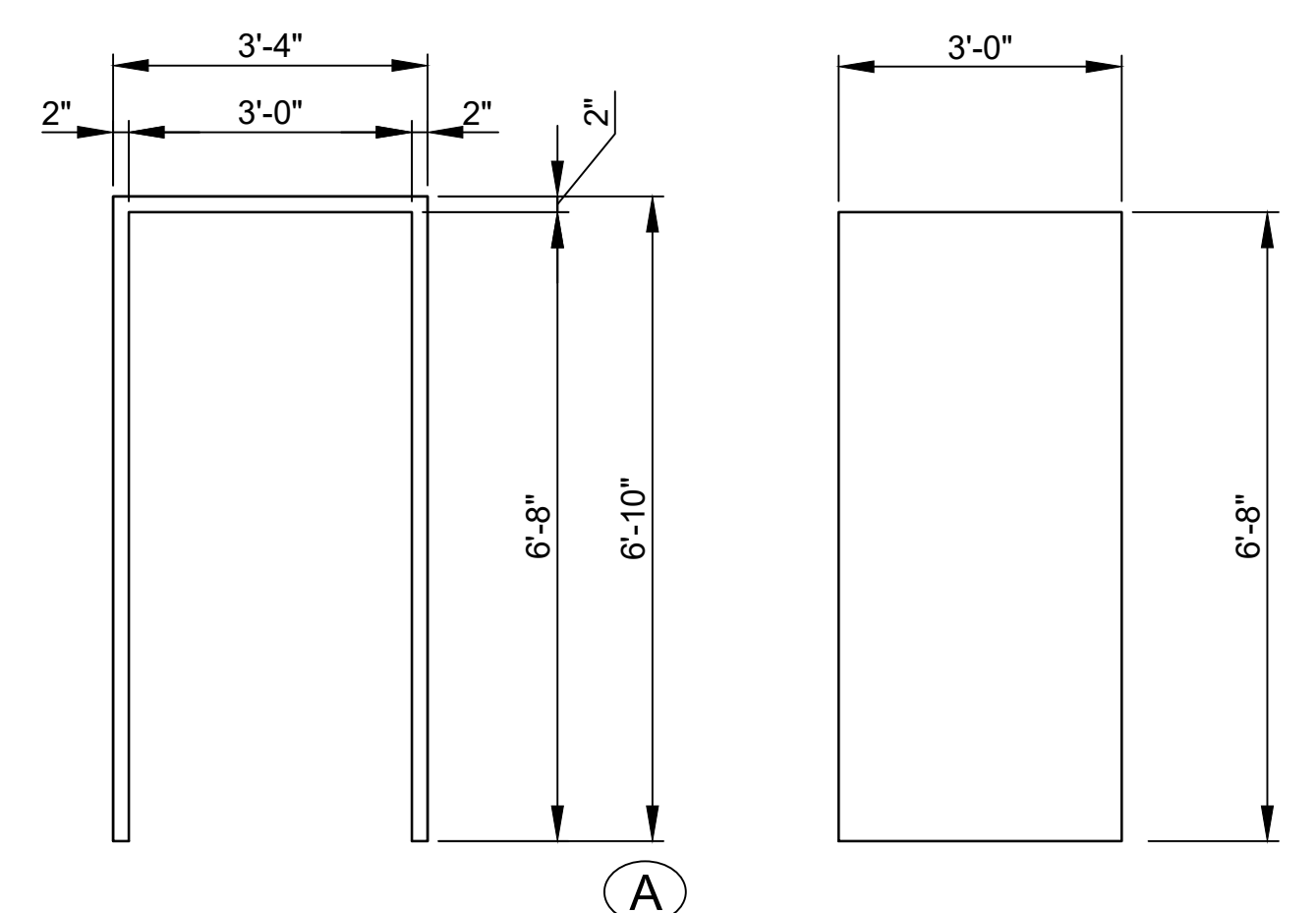
2 SOUTH ELEVATION - NORTH ELEVATION (SIM)
Scale: 1/4"=1'-0"



3 INTERIOR SECTION
Scale: 1/4"=1'-0"

DOOR SCHEDULE									
MARK	SIZE	THK	FACE MATERIAL	CORE MATERIAL	DOOR TYPE	FRAME TYPE	HARDWARE	FRAME MATERIAL	REMARKS
101/201	3'-0"x6'-8"	1 3/4"	STEEL	HM	A	1	1	HM	INSULATED
102/202	10'-0"x12'-0"	-	STEEL	-	B	-	-	-	OWNER FURNISHED CHAIN OPERATED, STEEL GUIDE INSULATED (SELF-SUPPORTING) PICKUP AT SWRP

- NOTES:
 1. MAN DOOR SHALL BE PAINTED WITH EPOXY PAINT.
 2. HARDWARE GROUP I FOR SINGLE DOOR ENTRY SHALL BE BRUSHED STAINLESS STEEL:
 HINGES IVES 5BB SERIES
 LOCKSET SCHLAGE OR SARGENT
 CLOSER LCN 4000 SERIES HANDED
 OVERHEAD STOP / HOLDERS GLYNN-JOHNSON
 DOOR STOPS / HOLDERS IVES
 THRESHOLDS / SEALS / SWEEPS NATIONAL GUARD PRODUCT, REESE



NO.	DATE	REVISION NO. & DESCRIPTION	BY	SCALE:	DESIGN TRACKING
-	-	-	-	AS SHOWN	DESIGNED BY: AFJ DATE: JAN. 2021
-	-	-	-	ATTENTION	DRAWN BY: GH DATE: JAN. 2021
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AS BUILT INFORMATION		ENGINEER'S SEAL
CONTRACTOR	-	
WORK STAKED BY	-	
INSPECTOR'S ACCEPTANCE BY	-	
INSPECTOR'S NAME	-	
FIELD VERIFICATION BY	-	
DRAWINGS CORRECTED BY	-	

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
 GROUND WATER & FIELD DISTRIBUTION SHED
BUILDING 2 ELEVATIONS AND DOOR SCHEDULE
 WATER AUTHORITY CONSTRUCTION PROJECT NO. 2323.031YY ZONE MAP NO. P13 SHEET A-6