



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	<input type="checkbox"/> Variance for Carport within setback(s) (Form V)
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Amendment to Infrastructure List (Form P1)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form P2)
	<input type="checkbox"/> Sidewalk Waiver (Form V)	
SITE PLANS	<input type="checkbox"/> Variance to IDO (Form V)	APPEAL
<input checked="" type="checkbox"/> DRB Site Plan (Form XX)	<input type="checkbox"/> Variance to DPM (Form V)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

Site Plan DRB

APPLICATION INFORMATION

Applicant: Ben E. Keith Company		Phone:
Address: 601 E 7th Street		Email:
City: Fort Worth	State: Texas	Zip: 76102
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park Place NE		Email: vcarrica@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner	List all owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: LT 1A Bulk of Plat of Lot 1-A	Block:	Unit:
Subdivision/Addition: Unser Towne Crossing	MRGCD Map No.:	
Zone Atlas Page(s): J-09-Z/J-10-Z	Existing Zoning: NR-BP	UPC Code: 101005807714730501
# of Existing Lots: 1	# of Proposed Lots: 1	Proposed Zoning: NR-BP

LOCATION OF PROPERTY BY STREETS

Site Address/Street: Unser Blvd. NW	Between: Los Volcanes Rd NW	and: Gallatin PI NW
-------------------------------------	-----------------------------	---------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2018-001361

Signature:	Date: 4/12/19
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for hearing dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

SITE PLAN – DRB

MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB

N/A Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)
- Signed Traffic Impact Study (TIS) Form
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)

Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)

N/A Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
 Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.

- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (not required for Extension)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - If a meeting was requested or held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing

Completed Site Plan Checklist

Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)

N/A Copy of the original approved Site Plan or Master Development Plan (for amendments only) (1 copy, 24" x 36")

Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)

N/A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

- ___ Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ___ PDF of application as described above
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Solid Waste Department signature on Site Plan
- ___ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ Approved Grading and Drainage Plan
- ___ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)
- ___ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- ___ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- ___ Infrastructure List, if required

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 4/12/2012
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers:	Project Number:
Staff Signature:	
Date:	





TIERRA WEST, LLC

April 11, 2019

Ms. Kim Dicome, Chairwoman
Development Review Board
P.O. Box 1293
Albuquerque, NM 87103

**RE: ATRISCO BUSINESS PARK
REQUEST FOR SITE PLAN FOR BUILDING PERMIT AND
INFRASTRUCTURE LIST APPROVAL
601 GALLATIN PL NW ALBUQUERQUE NM
ZONE ATLAS PAGE J-10-Z**

Dear Ms. Dicome:

Tierra West, LLC on behalf of Ben E Keith Foods (BEK), requests approval for Site Plan for Building Permit and Infrastructure List approval.

BEK proposes to develop a 50.35 acre site located in the northwest corner of Los Volcanes Rd and Gallatin Pl. This site is currently vacant and is comprised of one existing platted lot. Their plan is to develop the site as a food distribution facility. The initial phase will be approximately 241,232 sf with an additional 325,394 sf to be added on in the future, bringing the overall size of the facility to 566,626 sf.

The site is Zoned NR-BP and falls within the Atrisco Business Park Master Plan. BEK has been through the DRB and EPC for various actions in the recent past. These actions include amendment of the Atrisco Park Master Plan to include specific design guidelines for sites within the plan area that are greater than 40 acres. The remnant Towne Crossing Ave roadway right-of-way was recently approved for vacation by the City Council. Several easements that exist along the roadway right-of-way for uses including sidewalk, storm drain and public utilities were also approved recently at DRB for vacation. BEK is on the DRB agenda for the week of April 15th for approval of a final plat that will memorialize the roadway right of way and easements vacations. The resulting lot will be of appropriate size and shape to meet intended use of land consistent with the zoning provisions and the development standards in the IDO.

The attached site plan for building permit complies with the amended Atrisco Park Master Plan and the development standards in the IDO. The use fits well within the park and the close proximity to the interstate makes this site ideal for the intended use. For the most part, the majority of the required offsite area infrastructure exists today. Base on a recent traffic impact study (TIS) BEK will be required to widen Los Volcanes Rd to allow for southbound dual left turn lanes on Unser Blvd. A proposed infrastructure list is enclosed for your review.

We therefore request approval of the attached site plan for building permit and infrastructure list.

5571 Midway Park Pl. NE
(505) 858-3100
Albuquerque, NM 87109
1-800-245-3102
tierrawestllc.com

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

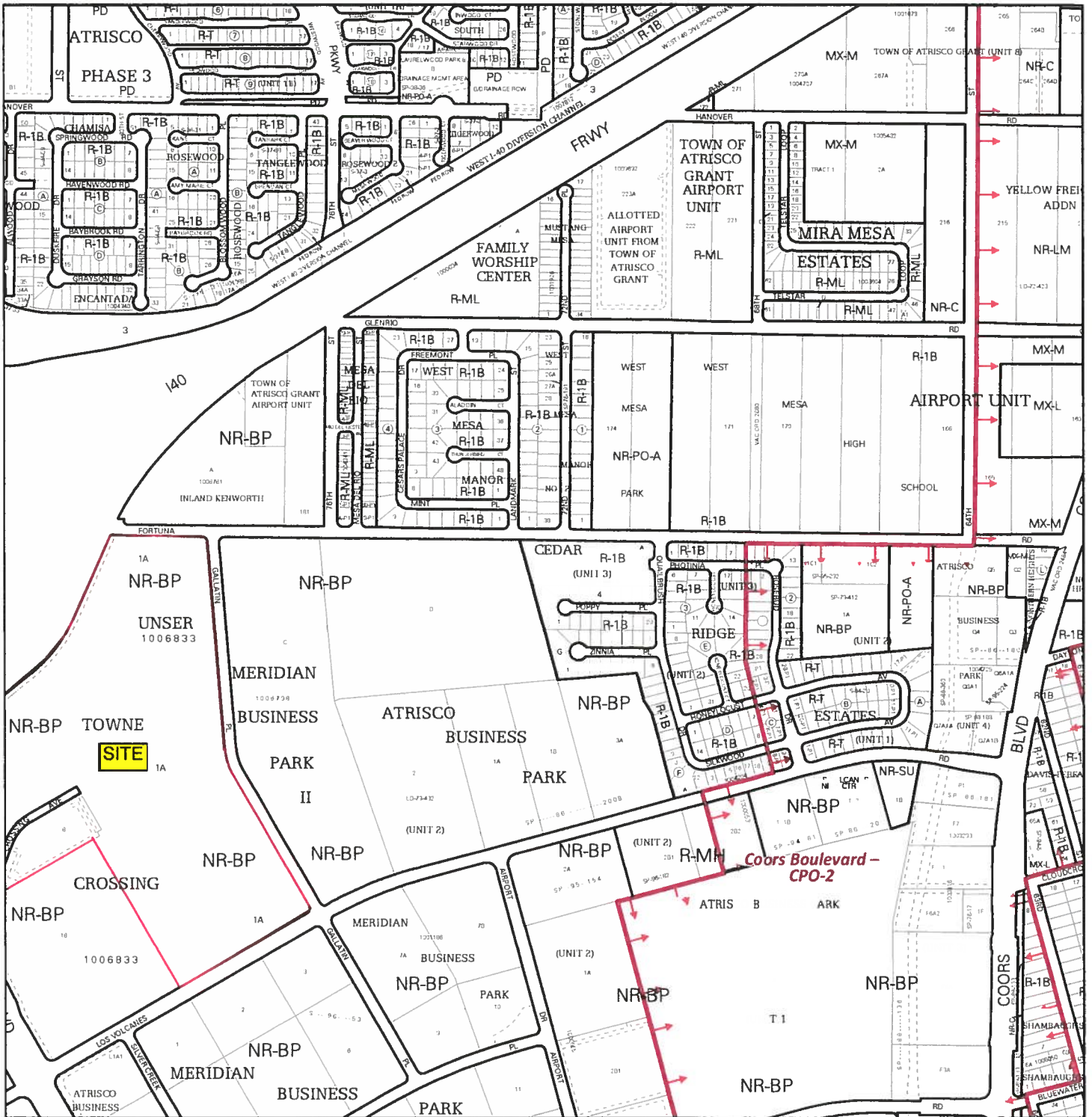
Sincerely,



Ronald R. Bohannon, PE


cc: Ben E. Keith, Ben E. Keith Company

JN: 2018014
RRB/vc/jg



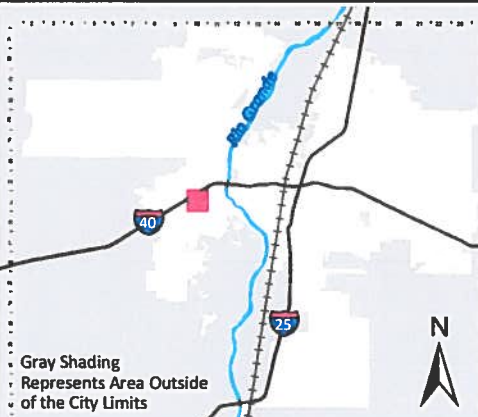
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading Represents Area Outside of the City Limits

**Zone Atlas Page:
J-10-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



April 11, 2019

Ms.Kym Dicome, Chairwoman
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

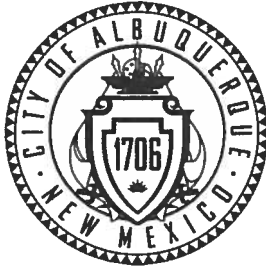
RE: BEN E KEITH - ALBUQUERQUE

Dear Chairwoman Dicome,

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of BEN E KEITH COMPANY, pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

A handwritten signature in blue ink, appearing to read "R. Markham", is written over the text of the letter.

Roy L. Markham
Vice President of Operations and Transportation



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

Interoffice Memorandum

November 20, 2007

Subject: Albuquerque Archaeological Ordinance—Compliance Documentation

Project Number(s):

Case Number(s):

Agent:

Applicant:

Legal Description: Tract S2-A1, Atrisco Business Park

Acreage: 59 acres

Zone Atlas Page: J-9 / J-10

CERTIFICATE OF NO EFFECT: Yes No

SUPPORTING DOCUMENTATION:

A Cultural Resources Survey of a 59-Acre Parcel Located at Unser Boulevard and Interstate 40 in Bernalillo County, New Mexico. by Amador Minjares (TRC Solutions; Todd Howell P.I. November 2007). NMCRIS #108167.

SITE VISIT: Yes, on November 7 2007. Determination that the former West Mesa Airport should be recorded as a historic site.

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 72 Section 4B(1)—no significant sites in project area and 4B(3), information potential exhausted for LA 157883).***

NOTE: *Information potential for LA 157883 has been exhausted not only by in-field recordation but also from other oral history and documentary evidence.*

SUBMITTED:

Matthew Schmader, PhD

Superintendent, Open Space Division

Acting City Archaeologist

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Tierra West, LLC DATE OF REQUEST: 04/10/19 ZONE ATLAS PAGE(S): J-09/J-10

CURRENT: ZONING NR-BP LEGAL DESCRIPTION: LOT OR TRACT # 1-A-1 & 8-A BLOCK # _____

PARCEL SIZE (AC/SQ. FT.) 50.35 acres

SUBDIVISION NAME Unser Towne Crossing

REQUESTED CITY ACTION(S):

ANNEXATION []

SITE DEVELOPMENT PLAN:

ZONE CHANGE []: From _____ To _____

SUBDIVISION* [] AMENDMENT []

SECTOR, AREA, FAC, COMP PLAN []

BUILDING PERMIT [X] ACCESS PERMIT []

AMENDMENT (Map/Text) []

BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

GENERAL DESCRIPTION OF

ACTION:

NO CONSTRUCTION/DEVELOPMENT []

OF UNITS: _____

NEW CONSTRUCTION [X]

BUILDING SIZE: 566,626 (sq. ft.)

EXPANSION OF EXISTING DEVELOPMENT []

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature] DATE _____

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [X] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [X]

Notes: This site has a TIS currently under review

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. *Any subsequent changes to the development proposal identified above may require an update or new TIS.*

[Signature]
TRAFFIC ENGINEER

DATE 4/11/19

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS

-SUBMITTED 1/1/

-FINALIZED 1/1/

TRAFFIC ENGINEER
DATE

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Ben E. Keith

AGIS MAP # J-9-2 / J-10-2

LEGAL DESCRIPTIONS: Lots 1-A-1 and 8-A Unser Towne
Crossing.

NA

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on _____ (date).

[Signature]
Applicant/Agent

4/3/2019
Date

[Signature]
Hydrology Division Representative

4/3/2019
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

NA

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on _____ (date).

[Signature]
Applicant/Agent

4-3-19
Date

[Signature]
ABCWUA Representative

4-3-19
Date

PROJECT # PR-2018-001361

Ron B.
Vince C.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-141 Date: 6-5-18 Time: 2:00 pm

Address: SE corner of Unser Blvd. + I-40

AGENCY REPRESENTATIVES AT MEETING:

Planning: Catalina Lehner

Code Enforcement: Vince Montañño

Fire Marshall: Eric Gonzales

Transportation: Mojgan Maadandan

Other: _____

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: Amend the Atrisco Business Park Master Devel
Plan to allow users 720 ac.

SITE INFORMATION:

Zone: NR-BP (Business Park) Size: 50.35 ac.

Use: Distribution center
(warehouse, docks, office). Overlay Zone: none

Comp Plan: Area of Change

Associated Plans: Atrisco Business Park Master Devel Plan

MPOS / Sensitive Lands / MR Area / CPO: West Central MRA

Parking / Landscaping / Street Trees: Atrisco Business Park - Design Standards

Use Specific Standards: 14-16-4-3

Dimensional Standards: 14-16-5-1

*Neighborhood Organization/s: Westside Coalition, Avalon, Los Volcanes, etc

*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods/resources.

PROCESS:

Review and Approval Body: EPC Is this PRT a requirement? yes

Type of Action: Sps amend + spbp.

Notification: NAs (per ONC) + prop owners

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-141 Date: 6-5-18 Time: 2:00 pm

Address: SE corner of Unken Blvd. + I-40

NOTES: *second PRT for this Request*

- propose to add new design standards to the Atascocito Business Park for a new category - sites ≥ 20 feet.
- 2 part proposal - amend SPS and new SPBP
- please underline changes in this new category's design standards
- notification of property owners w/in 100' of master plan boundaries
- new submittal forms
- follow up PRT for SPBP
- submit availability statement early
- vacation of roadway leading west
- archaeology form + TIS form required
- user is a food processing plant
- what about delegation? maybe ask for how would that work under the T170 - or would it even be needed.

Jaimie Garcia

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Friday, February 1, 2019 1:46 PM
To: Kristl Walker
Subject: Neighborhood Meeting Inquiry_Unser and Los Volcanes_DRB
Attachments: Page_J-10-Z.PDF; Neighborhood Meeting Inquiry_Unser and Los Volcanes_DRB.xlsx

See list of associations below and attached regarding your DRB submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1	City
Los Volcanes NA	Doug	Cooper	douglascooper@hotmail.com	6800 Silkwood Avenue NW	Albuquerque
Los Volcanes NA	Ted	Trujillo	nedcarla@live.com	6601 Honeylocust Avenue NW	Albuquerque

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Respectfully,

Vicente M. Quevedo, MCRP
Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [<mailto:webmaster=cabq.gov@mailgun.org>] **On Behalf Of** webmaster@cabq.gov

Sent: Friday, February 01, 2019 11:14 AM

To: Office of Neighborhood Coordination <kwalker@tierrawestllc.com>



TIERRA WEST, LLC

December 7, 2018

Mr. Ted Trujillo
Los Volcanes NA
6601 HoneyLocust Avenue NW
Albuquerque, NM 87121

**RE: NEIGHBORHOOD MEETING ABOUT FUTURE DEVELOPMENT APPLICATION]
SITE PLAN APPROVAL AND INFRASTRUCTURE LIST APPROVAL
601 GALLATIN PL NW ALBUQUERQUE NM 87121
LOT 1-A UNSER TOWNE CROSSING
ZONE ATLAS PAGES J-29-Z AND J-30-Z**

Dear Mr. Trujillo:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss a the site development plan for building permit for the new Ben E. Keith food distribution project located at Unser and Gallatin NW. which is near your neighborhood before we submit an application. This would be an information meeting where Tierra West LLC, Agent for Ben E. Keith would present the proposal, and we could discuss any ideas or concerns you may have.

As part of the submittal, Tierra West LLC, on behalf of Ben E. Keith Company, requests site plan approval and infrastructure list approval for the referenced currently undeveloped site. The development is a two phased project located at the Northwest corner of Los Volcanoes and Gallatin on approximately 50.46 acres. Previous requests to the City included a master plan amendment and a roadway vacation request that were prepared for the development of this site. The master plan amendment was approved in November of this year and the vacation request was heard today at DRB and they voted in favor of recommending it for final approval to the City Council.

The site will be developed in two phases. The proposed first phase is approximately 241,232 square feet of office, support and warehouse areas including cold storage space. A second phase will add an additional 277,740 square feet of similar areas. A traffic study has been prepared and submitted to both the City of Albuquerque and the New Mexico Department of Transportation. Included in this notice is the site development plan and preliminary landscape plan for the site.

Per the IDO, you have 15 days from December 7, 2018 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on December 24, 2018.

If you would like to meet, please let us know when your next regular neighborhood meeting is scheduled or provide a few alternative dates that fall within 30 days of your response to this letter.

Before submitting our application, we will send Mailed and/or Emailed Public Notice as required by IDO Table 6-1-1 to make you aware of the public hearing at which the project will be reviewed and decided by the City.

Anyone may request, and the City may require, an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4 (D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/> to view and download the Facilitated Meetings Criteria. If you wish to request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov of 505-924-3955.

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

December 7, 2018
Mr. Trujillo
Page 2

If you don't feel that facilitated meeting is needed but have questions, please call Vincent Carrica or myself.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vincent Carrica
5571 Midway Park Place NE
Albuquerque, NM 87109
vcarrica@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ben E. Keith Company

JN: 2018014
RRB/vc/jg



TIERRA WEST, LLC

December 7, 2018

Mr. Doug Cooper
Los Volcanes NA
6800 Silkwood Avenue NW
Albuquerque, NM 87121

**RE: NEIGHBORHOOD MEETING ABOUT FUTURE DEVELOPMENT APPLICATION]
SITE PLAN APPROVAL AND INFRASTRUCTURE LIST APPROVAL
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LOT 1-A UNSER TOWNE CROSSING
ZONE ATLAS PAGES J-29-Z AND J-30-Z**

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5571 Midway Park Pl. NE Albuquerque, NM 87109
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tierrawestllc.com

December 7, 2018
Mr. Cooper
Page 2

If you don't feel that facilitated meeting is needed but have questions, please call Vincent Carrica or myself.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vincent Carrica
5571 Midway Park Place NE
Albuquerque, NM 87109
vcarrica@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ben E. Keith Company

JN: 2018014
RRB/vc/jg

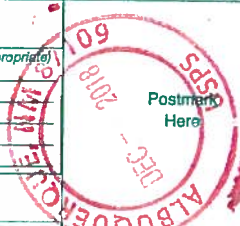
7018 0360 0001 4282 4707

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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To

Street and Apt. No.

City, State, ZIP+4®

Mr. Doug Cooper
Los Volcanes NA
6800 Silkwood Avenue NW
Albuquerque, NM 87121

PS Form 3800, A

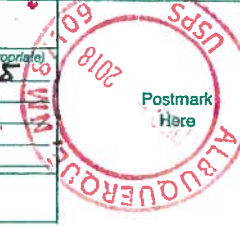
4714 4282 2824 4714

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Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 2.75
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

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Street and Apt. No.

City, State, ZIP+4®

Mr. Ted Trujillo
Los Volcanes NA
6601 HoneyLocust Avenue NW
Albuquerque, NM 87121

PS Form 3800, A

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

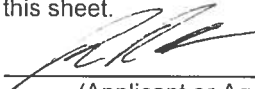
4. TIME

Signs must be posted from _____ To _____.

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 _____, 4/12/19
(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)



TIERRA WEST, LLC

April 11, 2019

Ms. Kym Dicome
Development Review Board
P.O. Box 1293
Albuquerque, NM 87103

RE: **DEVELOPMENT REVIEW BOARD (DRB)
GOOD FAITH ATTEMPT OF PUBLIC NOTICE
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AND
INFRASTRUCTURE LIST
601 GALLATIN PL NW ALBUQUERQUE NM 87121
ZONE ATLAS PAGE# J-09-Z AND J-10-Z**

Dear Ms. Dicome:

This letter is to inform you that on October 8, 2018 a required public notice was sent by certified mail to the following Neighborhood Associations per the City of Albuquerque's Integrated Development Ordinance (IDO):

- Los Volcanes Neighborhood Association

The neighborhood associations were notified of a pending request to the City for a request for a Site Plan for Building Permit and Infrastructure list to DRB. Per IDO section 14-16-6 6-4(K)(2)(e) the applicant shall be required to provide public notice 15 consecutive days before a monthly public meeting or hearing. Our good faith attempt to provide the information to the neighborhood associations was completed and within the requested timeframe. As of present day we have NOT received a response from any of the above listed Neighborhood Associations. Attached, please find evidence of the stamped certified mail receipt for your records and submission of the Site Plan for Building Permit to DRB.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

cc: Ben E. Keith

Enclosure/s:

JN: 2018014
RRB/vc/jg

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Jaimie Garcia

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Wednesday, April 10, 2019 10:14 AM
To: Jaimie Garcia
Subject: Public Notice Inquiry_Unser Blvd./ Los Volcanes Rd_DRB
Attachments: Page_J-10-Z.PDF; Public Notice Inquiry_Unser Blvd._Los Volcanes Rd_DRB.xlsx

Follow Up Flag: Follow up
Flag Status: Flagged

Jaimie,

See list of associations below and attached regarding your DRB submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	
Los Volcanes NA	Doug	Cooper	douglascooper@hotmail.com	680
Los Volcanes NA	Ted	Trujillo	nedcarla@live.com	660
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccd@gmail.com	592
South West Alliance of Neighborhoods (SWAN Coalition)	Cherise	Quezada	cherquezada@yahoo.com	103
Westside Coalition of Neighborhood Associations	Harry	Hendriksen	hlhen@comcast.net	105
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard10@juno.com	551

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Respectfully,

Vicente M. Quevedo, MCRP
Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



Jaimie Garcia

From: Jaimie Garcia
Sent: Friday, April 12, 2019 10:08 AM
To: douglascooper@hotmail.com; nedcarla@live.com; jgallegoswccdg@gmail.com; 'cherquezada@yahoo.com'; hlhen@comcast.net; aboard10@juno.com
Cc: Vince Carrica (VCarrica@tierrawestllc.com); Ron Bohannan (rrb@tierrawestllc.com); Kristl Walker
Subject: DRB Site Plan/ Infrastructure Submittal- BEK

Tracking:	Recipient	Delivery
	douglascooper@hotmail.com	
	nedcarla@live.com	
	jgallegoswccdg@gmail.com	
	'cherquezada@yahoo.com'	
	hlhen@comcast.net	
	aboard10@juno.com	
	Vince Carrica (VCarrica@tierrawestllc.com)	Delivered: 4/12/2019 10:08 AM
	Ron Bohannan (rrb@tierrawestllc.com)	Delivered: 4/12/2019 10:08 AM
	Kristl Walker	Delivered: 4/12/2019 10:08 AM

April 12, 2019

To: Douglascooper@hotmail.com, nedcarla@live.com, jgallegoswccdg@gmail.com, cherquezada@yahoo.com, hlhen@comcast.com, aboard10@juno.com

**RE: ATRISCO BUSINESS PARK
REQUEST FOR SITE PLAN FOR BUILDING PERMIT AND
INFRASTRUCTURE LIST APPROVAL
601 GALLATIN PL NW ALBUQUERQUE NM
ZONE ATLAS PAGE J-10-Z**

Dear Los Volcanes NW, South West Alliance of Neighborhoods (SWAN Coalition), and Westside Coalition of Neighborhood Associations:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K)(2)Emailed Public Notice, we are notifying you as a Neighborhood Association that Tierra West, LLC will be submitting an application for Site Plan for Building Permit and Infrastructure List approval to be reviewed and decided by the Development Review Board.

As noted in previous correspondence Ben E. Keith Foods (BEK) proposes to develop a 50.35 acre site located in the northwest corner of Los Volcanes Rd and Gallatin Pl. This site is currently vacant and is comprised of one existing platted lot. Their plan is to develop the site as a food distribution facility. The initial phase will be approximately 241,232 sf with an additional 325,394 sf to be added on in the future, bringing the overall size of the facility to 566,626 sf.

The site is Zoned NR-BP and falls within the Atrisco Business Park Master Plan. BEK has been through the DRB and EPC for various actions in the recent past. These actions include amendment of the Atrisco Park Master Plan to include specific design guidelines for sites within the plan area that are greater than 40 acres. The remnant Towne Crossing Ave roadway right-of-way was recently approved for vacation by the City Council. Several easements that exist along the roadway right-of-way for uses including sidewalk, storm drain

and public utilities were also approved recently at DRB for vacation. BEK is on the DRB agenda for the week of April 15th for approval of a final plat that will memorialize the roadway right of way and easements vacations. The resulting lot will be of appropriate size and shape to meet intended use of land consistent with the zoning provisions and the development standards in the IDO.

The anticipated public hearing for this request will be on May 8, 2019 at 9:00am in the Hearing Room (Basement Level) of Plaza Del Sol 600 2nd St NW, Albuquerque NM 87102. You can check the agenda for the relevant decision making body online here: <http://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me or Vince Carrica.

Tierra West LLC Contact(s)
Vince Carrica, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vcarrica@tierrawestllc.com
505-858-3100

Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Sincerely,
Ronald R. Bohannon, P.E.

PRIVILEGED AND CONFIDENTIAL

The information contained in this electronic mail message is confidential, may be privileged, and is intended only for the use of the individual(s) named above or their designee. If you are not the intended recipient of this message, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. Any unauthorized interception of this message is illegal under the law. If you have received this message in error, please immediately notify me by return message or by telephone and delete the original message from your email system. Thank you.



TIERRA WEST, LLC

April 11, 2019

Ms. Rene Horvath
Westside Coalition
5515 Palomino Drive
Albuquerque, NM 87120

**RE: ATRISCO BUSINESS PARK
REQUEST FOR SITE PLAN FOR BUILDING PERMIT AND
INFRASTRUCTURE LIST APPROVAL
601 GALLATIN PL NW ALBUQUERQUE NM
ZONE ATLAS PAGE J-10-Z**

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5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me or Vince Carrica.

Vince Carrica, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vcarrica@tierrawestllc.com
505-858-3100

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.



TIERRA WEST, LLC

April 11, 2019

Ms. Cherise Quezada
SWAN Coalition
10304 Paso Fino Place SW
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK
REQUEST FOR SITE PLAN FOR BUILDING PERMIT AND
INFRASTRUCTURE LIST APPROVAL
601 GALLATIN PL NW ALBUQUERQUE NM
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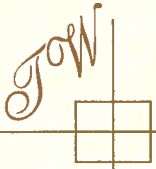
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Albuquerque, NM 87109
vcarrica@tierrawestllc.com
505-858-3100

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Sincerely,

A handwritten signature in blue ink, appearing to read "R. Bohannon", written over a horizontal line.

Ronald R. Bohannon, P.E.



TIERRA WEST, LLC

April 11, 2019

Mr. Harry Hendriksen
Westside Coalition of NA
10592 Rio Del Sol NW
Albuquerque, NM 87114

**RE: ATRISCO BUSINESS PARK
REQUEST FOR SITE PLAN FOR BUILDING PERMIT AND
INFRASTRUCTURE LIST APPROVAL
601 GALLATIN PL NW ALBUQUERQUE NM
ZONE ATLAS PAGE J-10-Z**

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If you have any questions or need additional information regarding this matter, please do not hesitate to contact me or Vince Carrica.

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5571 Midway Park Place NE
Albuquerque, NM 87109
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505-858-3100

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Sincerely,

A handwritten signature in blue ink, appearing to read 'R. Bohannon', is written above the printed name.

Ronald R. Bohannon, P.E.



TIERRA WEST, LLC

April 11, 2019

Mr. Jerry Gallegos
SWAN Coalition
5921 Central Avenue NW
Albuquerque, NM 87105

**RE: ATRISCO BUSINESS PARK
REQUEST FOR SITE PLAN FOR BUILDING PERMIT AND
INFRASTRUCTURE LIST APPROVAL
601 GALLATIN PL NW ALBUQUERQUE NM
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505-858-3100

Sincerely,

Ronald R. Bohannon, P.E.





TIERRA WEST, LLC

April 11, 2019

Mr. Ted Trujillo
Los Volcanes NA
6601 Honey Locust Avenue
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK
REQUEST FOR SITE PLAN FOR BUILDING PERMIT AND
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Albuquerque, NM 87109
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Tierra West LLC Contact(s):
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5571 Midway Park Place NE
Albuquerque, NM 87109
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Sincerely,

Ronald R. Bohannon, P.E.





TIERRA WEST, LLC

April 11, 2019

Mr. Doug Cooper
Los Volcanes NA
6800 Silkwood Avenue NW
Albuquerque, NM 87121

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INFRASTRUCTURE LIST APPROVAL
601 GALLATIN PL NW ALBUQUERQUE NM
ZONE ATLAS PAGE J-10-Z**

Dear Los Volcanes NW, South West Alliance of Neighborhoods (SWAN Coalition), and Westside Coalition of Neighborhood Associations:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K)(2) Emailed Public Notice, we are notifying you as a Neighborhood Association that Tierra West, LLC will be submitting an application for Site Plan for Building Permit and Infrastructure List approval to be reviewed and decided by the Development Review Board.

As noted in previous correspondence Ben E. Keith Foods (BEK) proposes to develop a 50.35 acre site located in the northwest corner of Los Volcanes Rd and Gallatin Pl. This site is currently vacant and is comprised of one existing platted lot. Their plan is to develop the site as a food distribution facility. The initial phase will be approximately 241,232 sf with an additional 325,394 sf to be added on in the future, bringing the overall size of the facility to 566,626 sf.

The site is Zoned NR-BP and falls within the Atrisco Business Park Master Plan. BEK has been through the DRB and EPC for various actions in the recent past. These actions include amendment of the Atrisco Park Master Plan to include specific design guidelines for sites within the plan area that are greater than 40 acres. The remnant Towne Crossing Ave roadway right-of-way was recently approved for vacation by the City Council. Several easements that exist along the roadway right-of-way for uses including sidewalk, storm drain and public utilities were also approved recently at DRB for vacation. BEK is on the DRB agenda for the week of April 15th for approval of a final plat that will memorialize the roadway right of way and easements vacations. The resulting lot will be of appropriate size and shape to meet intended use of land consistent with the zoning provisions and the development standards in the IDO.

The anticipated public hearing for this request will be on May 8, 2019 at 9:00am in the Hearing Room (Basement Level) of Plaza Del Sol 600 2nd St NW, Albuquerque NM 87102. You can check the agenda for the relevant decision making body online here: <http://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

5571 Midway Park Pl. NE
(505) 858-3100
Albuquerque, NM 87109
fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me or Vince Carrica.

Vince Carrica, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vcarrica@tierrawestllc.com
505-858-3100

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Sincerely,

A handwritten signature in blue ink, appearing to read 'RRB', is written above the printed name.

Ronald R. Bohannon, P.E.



TIERRA WEST, LLC

April 12, 2019

Ms. Kym Dicome, Chairwoman
Development Review Board
P.O. Box 1293
Albuquerque, NM 8103

**RE: CERTIFICATION LETTER FOR 100 FOOT BUFFER PROPERTY OWNERS
ATRISCO BUSINESS PARK – DRB REQUEST FOR SITE PLAN AND
INFRASTRUCTUR LIST APPROVAL
601 GALLATIN PL NW ALBUQUERQUE NM**

Dear Ms. Chairwoman Dicome:

This letter serves to certify that the letters for the Atrisco Business Park Site Development Plan and Infrastructure list submittal are being mailed to the one hundred foot buffer property owners per the City of Albuquerque's IDO requirement. Please find included with this submittal, a copy of the letter indicating the proposed project.

If you have any questions or need additional information regarding this matter, please don't hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

cc: Ben E. Keith

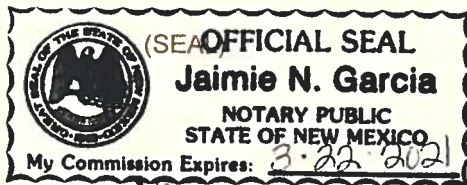
JN: 2018014

RRB/jg

STATE OF New Mexico)

COUNTY OF Bernalillo)
ss.

This instrument was acknowledged before me on this 12th day of April, 2019.

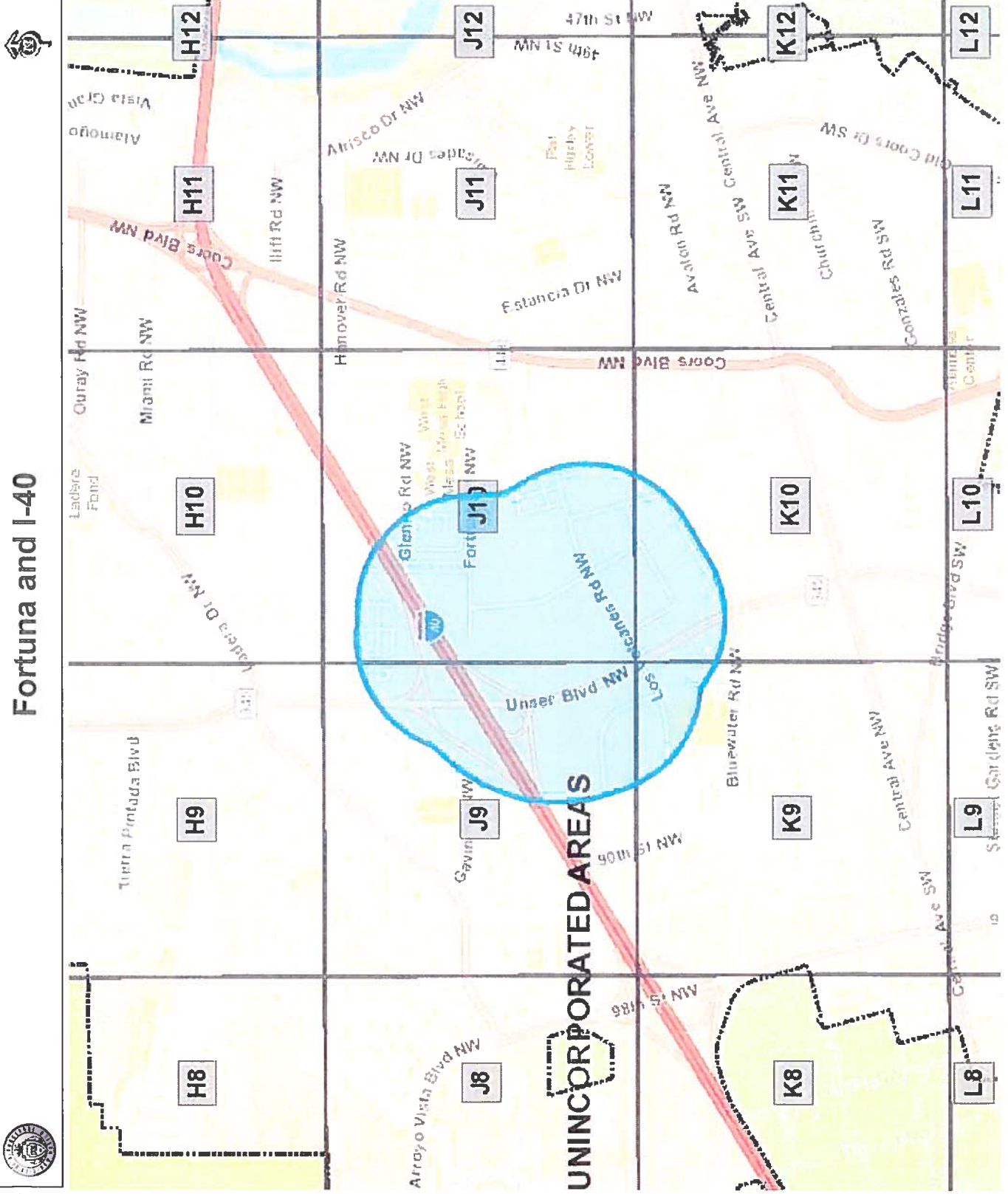


Notary Public

My Commission Expires: 3.22.2021

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Fortuna and I-40



- Legend**
- Zone Grid
 - Bernalillo County Parcels
 - Municipal Limits
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
 - World Street Map

Notes
 Buffer: 1927ft
 ROW: I-40 1827ft.

4,808 0 2,404 4,808 Feet

1: 28,847

WGS_1984_Web_Mercator_Auxiliary_Sphere
 4/10/2019 © City of Albuquerque

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THIS MAP IS NOT TO BE USED FOR NAVIGATION



TIERRA WEST, LLC

April 11, 2019

**RE: ATRISCO BUSINESS PARK
REQUEST FOR SITE PLAN FOR BUILDING PERMIT AND
INFRASTRUCTURE LIST APPROVAL
601 GALLATIN PL NW ALBUQUERQUE NM
ZONE ATLAS PAGE J-10-Z**

To Whom It May Concern:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K)(2) Emailed Public Notice, we are notifying you as a Neighborhood Association that Tierra West, LLC will be submitting an application for Site Plan for Building Permit and Infrastructure List approval to be reviewed and decided by the Development Review Board.

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If you have any questions or need additional information regarding this matter, please do not hesitate to contact me or Vince Carrica.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Albuquerque, NM 87109
5571 Midway Park Pl. NE
505) 858-3100
fax (505) 858-1118
tierrawestllc.com
1-800-245-3102

Vince Carrica, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vcarrica@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

cc: Ben E. Keith

JN: 2018014
RRB/vc/jg

4 AMIGOS HOLDINGS LLC
2432 W BIRCHWOOD AVE
MESA AZ 85202-1064

4 AMIGOS HOLDINGS LLC
2432 W BIRCHWOOD AVE
MESA AZ 85202-1064

4 AMIGOS HOLDINGS LLC
2432 W BIRCHWOOD AVE
MESA AZ 85202-1064

4 AMIGOS HOLDINGS LLC
2432 W BIRCHWOOD AVE
MESA AZ 85202-1064

NEW PHASE LLC
31 CHERRY LN
ENGLEWOOD CO 80113

NEW PHASE LLC
31 CHERRY LN
ENGLEWOOD CO 80113

NEW PHASE LLC
31 CHERRY LN
ENGLEWOOD CO 80113

NEW PHASE LLC
31 CHERRY LN
ENGLEWOOD CO 80113

BRITO EVELYN Y & RODRIQUEZ
ELEANOR Y & RODRIQUEZ MILTON A
7827 GRAYSON RD NW
ALBUQUERQUE NM 87120-5550

BARSTOW MATTHEW A & LAURA M
716 72ND ST NW
ALBUQUERQUE NM 87121-1302

COLEMAN ROBERT A JR & VIVIAN
7313 FREMONT PL NW
ALBUQUERQUE NM 87121

ARCHIBEQUE TED & DOLORES
1320 ALWOOD DR NW
ALBUQUERQUE NM 87120

GREATER ALBUQUERQUE HABITAT FOR
HUMANITY NEW MEXICO 501C3 NON
PROFIT CORPORATION
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3042

TAPIA PONCIANITA S
7709 BRENDAN CT NW
ALBUQUERQUE NM 87120

RAMIREZ DAVID P & YVONNE
729 72ND ST NW
ALBUQUERQUE NM 87121

DURAN EDWARD T & CATHERINE E
800 LANDMARK ST NW
ALBUQUERQUE NM 87121

VINCI ANTHONY D
7809 HAVENWOOD RD NW
ALBUQUERQUE NM 87120-5546

HERRERA MONICA
748 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1344

ANAYA DAISY ANN & ANAYA JASMINE
JESSICA
710 CESARS PALACE DR NW
ALBUQUERQUE NM 87105-1300

BEGAY MICHAEL & ADELE
1328 ALWOOD DR NW
ALBUQUERQUE NM 87120

BENCOMO-ITURRALDE RUBY N
728 SANDY DR NW
ALBUQUERQUE NM 87120-3211

MOSS FRED D & LOIS B
7115 POPPY PL NW
ALBUQUERQUE NM 87121

MARTINEZ PABLO C
7101 POPPY PL NW
ALBUQUERQUE NM 87121-1331

BROWN WALTER H III & KRISTEN L
1320 SOMERSET DR NW
ALBUQUERQUE NM 87120

SANCHEZ JENNIFER & DURAN
CANDELARIA
7309 THUNDERBIRD CT NW
ALBUQUERQUE NM 87121

HAZELTON DENISE
755 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

STATE HIGHWAY COMM
PO BOX 1149
SANTA FE NM 87504-1149

PADILLA-BARTH YVONNE
1308 SOMERSET DR NW
ALBUQUERQUE NM 87120-5516

MERIDIAN REALTY LTD CO
PO BOX 6363
ALBUQUERQUE NM 87197-6363

TRUJILLO DENNIS J & JOANNE
7716 BAYBROOK RD NW
ALBUQUERQUE NM 87120

MERIDIAN REALTY LTD CO
PO BOX 6363
ALBUQUERQUE NM 87197-6363

STAMPLEY MARIA A
863 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

G E RIO GRANDE DISTRIBUTION
CENTER LLC
123 W SAN FRANCISCO ST SUITE 200
SANTA FE NM 87501-2111

ARAGON ROBERTO A & BEATRICE M
1304 ALWOOD DR NW
ALBUQUERQUE NM 87120

REVARD DEBORAH E
1400 TARRINGTON DR NW
ALBUQUERQUE NM 87120

PATTON WILLARD M JR & DIANNE E
7308 FREMONT PL NW
ALBUQUERQUE NM 87121-1318

CHAVEZ LEROY & GONZALES ANGELICA
801 CESARS PALACE DR NW
ALBUQUERQUE NM 87121-1312

HEDLUND BILL R & JUDY K
7313 ALADDIN CT NW
ALBUQUERQUE NM 87121-1305

KELEHER KEVIN J & HELEN L
7400 FREMONT PL NW
ALBUQUERQUE NM 87121

LOVATO MICHAEL & THERESA N
7312 FREMONT PL NW
ALBUQUERQUE NM 87121-1318

MCMILLAN LISA & CHRISTOPHER
4608 CLOVER AVE
ODESSA TX 79762-6021

GORDON TRACY
PO BOX 5254
BERNALILLO NM 87004

GREATER ALBUQUERQUE HABITAT FOR
HUMANITY NEW MEXICO 501C3 NON
PROFIT CORPORATION
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3042

DUNKLEBERGER JEFFREY B & CHERI L
1331 DUSKFIRE DR NW
ALBUQUERQUE NM 87120

BOTELLO JOHN R & JACQUELINE R
1332 TARRINGTON DR NW
ALBUQUERQUE NM 87120-5540

MAESTAS DAVID P & DEBORAH C
1344 ALWOOD DR NW
ALBUQUERQUE NM 87120-4090

RAFFAY JASON L & SCHLACHTER
CARRIE N
7823 GRAYSON RD NW
ALBUQUERQUE NM 87120-5550

HARDY LEONARD JAMES & YVONNE
DIANA
7716 AMY MARIE CT NW
ALBUQUERQUE NM 87120-6543

ORTIZ FRANK & CHAVEZ TERRY
7827 HAVENWOOD RD NW
ALBUQUERQUE NM 87120

SALAZAR ERICA JUDE
7808 BAYBROOK RD NW
ALBUQUERQUE NM 87120-5544

LUJAN FRANCES A
7711 BRENDAN CT NW
ALBUQUERQUE NM 87120

MJ HOSPITALITY LLC
11900 GIACOMO AVE SE
ALBUQUERQUE NM 87123

SENA JOHN & LILLIAN L
7301 MINT PL NW
ALBUQUERQUE NM 87121

MANCHA GEORGE & PRISCILLA G
7304 FREEMONT PL NW
ALBUQUERQUE NM 87121-1318

MARQUEZ DAVID A & MARQUEZ
TIMOTHY J
8104 ASPEN AVE NE
ALBUQUERQUE NM 87110

SOLIS-SOTELO JAVIER & SOLIS IMELDA
7104 POPPY PL NW
ALBUQUERQUE NM 87121

GREATER ALBUQUERQUE HABITAT FOF
HUMANITY NEW MEXICO 501C3 NON
PROFIT CORPORATION
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3042

GONZALES DANNY A & AMELIA
812 LANDMARK ST NW
ALBUQUERQUE NM 87121-1322

ROMERO PETER D
7912 RICHWOOD RD NW
ALBUQUERQUE NM 87120-4088

PENA ISABEL
1300 MESA WOOD PL NW
ALBUQUERQUE NM 87120-6565

STATE HIGHWAY DEPT
PO BOX 1149
SANTA FE NM 87504-1149

WESTERMAN RYAN
7804 HAVENWOOD RD NW
ALBUQUERQUE NM 87120

LUCERO GLORIA J BACA
1312 SOMERSET DR NW
ALBUQUERQUE NM 87120-5516

CHAVEZ ROBERT E & CYNTHIA
7316 THUNDERBIRD CT NW
ALBUQUERQUE NM 87121

MARTINEZ ROBERT A & GOOD
STEPHANIE J
747 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

HALLGREN PROPERTIES INC
5909 63RD ST
LUBBOCK TX 79424-2711

GUTIERREZ JIM & MARGARET
1312 ALWOOD DR NW
ALBUQUERQUE NM 87120

VERIZON WIRELESS LLC C/O NETWORK
REAL ESTATE
180 WASHINGTON VALLEY RD
BEDMINSTER NJ 07921

SECRETARY OF HUD C/O MICHAELSON
CONNOR & BOUL
4400 WILL ROGERS PKWY SUITE 300
OKLAHOMA CITY OK 73108-1870

ALCALA OSVALDO H
7905 TAFWOOD RD NW
ALBUQUERQUE NM 87120

THOMAS HOWARD J JR & KATHY K
7309 ALADDIN CT NW
ALBUQUERQUE NM 87121

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

JIRON CANDIDO R JR & JUANITA M
10516 BOX CANYON PL NW
ALBUQUERQUE NM 87114

NICKERSON ABE W & PAULA K
3210 MUNICIPAL DR
FARMINGTON NM 87401-4061

VERIZON WIRELESS LLC C/O NETWORK
REAL ESTATE
180 WASHINGTON VALLEY RD
BEDMINSTER NJ 07921

WOOD LETICIA V
7300 ALADDIN CT NW
ALBUQUERQUE NM 87121

SISNEROS JONATHAN D
7904 HAVENWOOD CT NW
ALBUQUERQUE NM 87120

RADOVAN REYNALDO M & LAURA R
1335 DUSKFIRE DR NW
ALBUQUERQUE NM 87120

PRUDENCIO CHRISTINA &
CHRISTOPHER
1215 TANGLEWOOD RD NW
ALBUQUERQUE NM 87120

BERNAL OLIVIA M
1309 DUSKFIRE DR NW
ALBUQUERQUE NM 87120-5553

GDCLV LLC ATTN: GERALD LUCERO
7301 LOS VOLCANES RD NW
ALBUQUERQUE NM 87121-8452

WESTERN ALBUQ LAND HOLDINGS LLC
% GARRETT DEV CORP/JEFF GARRETT
PO BOX 56790
ALBUQUERQUE NM 87187

ARMIJO THEODORE & MARY H
7008 ZINNIA PL NW
ALBUQUERQUE NM 87121

LEGACY CHURCH INC
7201 CENTRAL AVE NW
ALBUQUERQUE NM 87121-2007

WORLIKAR VIRSEN R & MANGALA V
8020 ELIYAH CT NW
ALBUQUERQUE NM 87120

RSC PROPERTIES LLC
1717 LOUISIANA BLVD NE SUITE 111
ALBUQUERQUE NM 87110

MARTINEZ LEROY M & EDNA MAE
7305 MINT NW
ALBUQUERQUE NM 87105

GALLEGOS DANIEL GILBERT
8104 CRIMSON AVE NW
ALBUQUERQUE NM 87120-2072

BLEA FELIPE J & MARY R
7300 THUNDERBIRD CT NW
ALBUQUERQUE NM 87105

MERIDIAN REALTY LTD CO
PO BOX 6363
ALBUQUERQUE NM 87197-6363

TRUJILLO JESSICA
7712 BRENDEN CT NW
ALBUQUERQUE NM 87120

BACA MIGEL SETH
7805 GRAYSON RD NW
ALBUQUERQUE NM 87120-5550

SWIRE PACIFIC HOLDINGS INC DBA
SWIRE COCA COLA USA
12634 S 265 W
DRAPER UT 84020-7930

M & B INVESTMENTS LTD CO
PO BOX 6363
ALBUQUERQUE NM 87197-6363

CLIFFORD WEST LLC
PO BOX 35640
ALBUQUERQUE NM 87176

HERRERA FELIPE
816 LANDMARK ST NW
ALBUQUERQUE NM 87105

FORTIER HARRISON M & LESLIE A
7919 TAFWOOD RD NW
ALBUQUERQUE NM 87120

FERNANDEZ MICHAEL J & DOROTHY A
7816 GRAYSON RD NW
ALBUQUERQUE NM 87120-5551

FAIN ALFREDA L
7320 ALADDIN CT NW
ALBUQUERQUE NM 87121

SANTISTEVAN PRISCILLA M TRUSTEE
SANTISTEVAN RVT
813 CEASARS PALACE DR NW
ALBUQUERQUE NM 87121-1312

DURAN LARRY
7828 GRAYSON RD NW
ALBUQUERQUE NM 87120-5551

MCCARTY NICOLE L
6000 TOPKE PL NE APT 230
ALBUQUERQUE NM 87109

GARCIA FRANCISCO J & ALLENDE
FAZHICIRA A
7840 GRAYSON RD NW
ALBUQUERQUE NM 87120-5551

TRUJILLO CONNIE & DIEGO
555 N LUNA DR
LAS VEGAS NM 87701-9779

EGGERS CYNTHIA TRUSTEE EGGERS
RVT
2928 PAYNE RD SW
ALBUQUERQUE NM 87121

GABALDON CARLOS A
856 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

KLEIN MARIA E
7712 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120

HEDLUND BILLY R & JUDY K
7313 ALADDIN CT NW
ALBUQUERQUE NM 87121-1305

GRANADOS SILVIA M
7908 RICHWOOD RD NW
ALBUQUERQUE NM 87120

VILLA CLIFFORD J & SARITA L
7321 ALLADIN CT NW
ALBUQUERQUE NM 87105

SMITH DONNA RAE
2250 MONROE ST NE APT 148
SANTA CLARA CA 95050-3357

LEVAN JARRAD
7708 BAYBROOK RD NW
ALBUQUERQUE NM 87120-6535

CASAS HERMAN
801 72ND ST NW
ALBUQUERQUE NM 87121

WILEY BRIAN
7709 AMY MARIE CT NW
ALBUQUERQUE NM 87120

BREWER SOILA
7412 FREMONT PL NW
ALBUQUERQUE NM 87121-1320

KISIC-GONZALEZ DUBRAVKA & THE
KRINKA KISIC RVT
7303 LEES RIDGE RD
OAK RIDGE NC 27310-9837

MENDEZ VICTORIO & BLANCA
7828 HAVENWOOD RD NW
ALBUQUERQUE NM 87120-5547

MUIR ALAN M
815 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

PINO KELLEN J
732 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

ROSE MARITESS
7101 ZINNIA PL NW
ALBUQUERQUE NM 87121-9562

HARRISON OLIVIA M
1305 MESA WOOD PL NW
ALBUQUERQUE NM 87120

PAGLIALUNGO JAMES J
720 LANDMARK ST NW
ALBUQUERQUE NM 87121

LUCERO RODOLFO & EDNA M
7300 MINT PL NW
ALBUQUERQUE NM 87121-1324

RODRIGUEZ ELIZABETH M
9300 STARBOARD RD NW
ALBUQUERQUE NM 87121

GARCIA MARY LOU TRUSTEE GARCIA
RVLT
724 SANDY DR NW
ALBUQUERQUE NM 87120

HARWOOD DANIEL & MARY BETH
1405 DUSKFIRE DR NW
ALBUQUERQUE NM 87120-5554

COLON KAREN V & DAVID A
7709 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120

G & A LTD CO
PO BOX 6363
ALBUQUERQUE NM 87197

GONZALES JAMES A & RAMONA C
821 CEASAR'S PALACE DR NW
ALBUQUERQUE NM 87121

DURAN ENRIQUE
1312 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120-6540

MJ HOSPITALITY LLC
11900 GIACOMO AVE SE
ALBUQUERQUE NM 87123

ANGEL DOLORES R
1316 TANGLEWOOD RD NW
ALBUQUERQUE NM 87120

DORE DANIEL L
7832 GRAYSON RD NW
ALBUQUERQUE NM 87120-5551

JARAMILLO MICHELLE F
7800 BAYBROOK RD NW
ALBUQUERQUE NM 87120-5544

RODRIGUEZ PEGGY
717 CAESARS PALACE DR NW
ALBUQUERQUE NM 87121-1369

VELASCO RHODANTE C C/O CASTILLO
ERNIE
717 72ND ST NW
ALBUQUERQUE NM 87121-1301

EJM DEVELOPMENT CO ATTN: ROBIN
SCHYMAN
9061 SANTA MONICA BLVD
LOS ANGELES CA 90069-5520

GUTIERREZ LAWRENCE R & MARY G
MADRID
7108 ZINNIA PL NW
ALBUQUERQUE NM 87121

BLUEWATER GROUP LLC &
BLUEWATER 2320 LLC
7001 BLUEWATER RD NW
ALBUQUERQUE NM 87121-9901

MARES RONNIE E & JANET E
832 LANDMARK ST NW
ALBUQUERQUE NM 87121-1322

BALDONADO CYNTHIA
1308 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120

GUTIERREZ DANIELLE
723 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

JARAMILLO ERICA L
756 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

MONKA JEFFREY S
2003 SOUTHERN BLVD SE SUITE 102-2
RIO RANCHO NM 87124-3751

TORREZ FELIZ V & BERNICE TRUSTEES
FELIZ V & BERNICE FAMILY TRUST
7401 FREMONT PL NW
ALBUQUERQUE NM 87121

G BRUNACINI & SON DEVELOPMENT
LLC
P O BOX 6363
ALBUQUERQUE NM 87197-6363

GREATER ALBUQUERQUE HABITAT FOR
HUMANITY NEW MEXICO 501C3 NON
PROFIT CORPORATION
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3042

STATE HIGHWAY DEPT
PO BOX 1149
SANTA FE NM 87504-1149

BHENCE BLAZE & CHERYL
4190 ELIZABETH CT
CYPRESS CA 90630-4119

EAGLE INVESTORS INC
4505 ATHERTON WAY NW
ALBUQUERQUE NM 87120

ANGUIANO OMAR
817 72ND ST NW
ALBUQUERQUE NM 87121

BARSTOW RICHARD E & JULIE ANN
709 72ND ST NW
ALBUQUERQUE NM 87105

RODRIGUEZ LISA M & ROBERTO S
7701 BAYBROOK RD NW
ALBUQUERQUE NM 87120

HORLINGS MARK & GINNEIL R
7801 HAVENWOOD RD NW
ALBUQUERQUE NM 87120-5546

BD DEVELOPMENT II LLC
PO BOX 6992
ALBUQUERQUE NM 87192

ALFARO NORMA G
7305 THUNDERBIRD CT NW
ALBUQUERQUE NM 87105

ORTIZ DOMINIQUE
1320 BLOSSOMWOOD PL NW
ALBUQUERQUE NM 87120-6540

OLSON MARK C & DENISE I
7716 BRENDAN CT NW
ALBUQUERQUE NM 87120-6546

ALBUQUERQUE BERNALILLO COUNTY
WATER UTILITY AUTHORITY
PO BOX 1293
ALBUQUERQUE NM 87103-1293

BACA PAMELA M & MARK E
704 72ND ST NW
ALBUQUERQUE NM 87121

J2C LLC & FREDMAN GERALD S MD PC
MONEY PURCHASE PLAN & TRUST &
ETAL
PO BOX 35640
ALBUQUERQUE NM 87176-5640

TRUJILLO ERNEST A & ELIZABETH A
705 CESARS PALACE DR NW
ALBUQUERQUE NM 87105

WOOD LINDA S TRUSTEE WOOD TRUST
1270 HUNTING HOLLOW DR
HUDSON OH 44236

PERALTA JON C & BACA TELESFORA L
7715 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120

7801 GRAYSON LLC
3401 CANDELARIA RD NE SUITE A
ALBUQUERQUE NM 87107-1957

BIGHAM TRAVIS J & PENNY L
7305 FREMONT PL NW
ALBUQUERQUE NM 87121-1317

PERRY BRANDISCE
700 SANDY DR NW
ALBUQUERQUE NM 87120

ESPINOZA JUDITH A
7100 POPPY PL NW
ALBUQUERQUE NM 87121

FAMILY WORSHIP CENTER OF
ALBUQUERQUE
7311 GLENRIO RD NW
ALBUQUERQUE NM 87105

NORTON BILLY D & DARLENE A
1301 DUSKFIRE DR NW
ALBUQUERQUE NM 87120

ARCHULETA JASON & VICTORIA
7308 THUNDERBIRD CT NW
ALBUQUERQUE NM 87121-1325

BENAVIDEZ CHRISTINA A
7824 GRAYSON RD NW
ALBUQUERQUE NM 87120

BECKER LINDA M
7708 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120-6537

DOTY C STEWART & JEAN S
1324 TARRINGTON DR NW
ALBUQUERQUE NM 87120-5540

EJM DEVELOPMENT CO ATTN: ROBIN
SCHYMAN
9061 SANTA MONICA BLVD
LOS ANGELES CA 90069

ENCHANTMENT HOMES OF NM LLC
PO BOX 67305
ALBUQUERQUE NM 87193

JARAMILLO ATANACIO JR & DOLORES
721 CEASARS PALACE DR NW
ALBUQUERQUE NM 87120

STASZEWSKI GEORGIA A
1316 SOMERSET DR NW
ALBUQUERQUE NM 87120-5516

FLORES WESLEY JR & ERICA LENA
7816 HAVENWOOD RD NW
ALBUQUERQUE NM 87120

CLOWN MARIO G
731 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1345

BALLEJOS LEANNA J & NEVAREZ ELIUD
7828 BAYBROOK RD NW
ALBUQUERQUE NM 87120-5544

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

LOPEZ ARISTEO
7405 MINT PL NW
ALBUQUERQUE NM 87105

BRADLEY TIFFANI R
7805 BAYBROOK RD NW
ALBUQUERQUE NM 87120

HARRIS ALVIN A
7112 POPPY PL NW
ALBUQUERQUE NM 87121

HERNANDEZ LISA A & BERBER RAMON
P
7823 HAVENWOOD RD NW
ALBUQUERQUE NM 87120-5546

GARCIA MELISSA L
1323 DUSKFIRE DR NW
ALBUQUERQUE NM 87120-5553

LOPEZ PATRICIA B & ANTONIO LOPEZ
736 SANDY DR NW
ALBUQUERQUE NM 87120

KINTER KIMBERLY R
1320 TARRINGTON NW
ALBUQUERQUE NM 87120

PACHECO ANTONIO
739 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

HENDERSON LARRY A & NEVAREZ-
HENDERSON VALERIE M
1224 TANGLEWOOD PL NW
ALBUQUERQUE NM 87120-6549

TORREZ JANET D
7800 HAVENWOOD RD NW
ALBUQUERQUE NM 87120-5547

SALAZAR MANDI M
1328 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120-6540

LOPEZ LUIS A & JUAREZ MARIA
GUZMAN
9001 SANTA CATALINA AVE NW
ALBUQUERQUE NM 87121-8998

VP TIERRA POINTE LLC
850 NEW BURTON RD SUITE 201
DOVER DE 19901-5451

VIGIL ROBERTA J & HENRY F
1311 TANGLEWOOD PL NW
ALBUQUERQUE NM 87120

WINFIELD MIKE E
708 SANDY DR NW
ALBUQUERQUE NM 87120

PADILLA MANUEL MICHAEL
7308 MINT PL NW
ALBUQUERQUE NM 87121

MARTINEZ LORETTA L
832 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1346

MORROW NICHOLAS S
859 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

MCLAUGHLIN ROBERT J
2525 CAMINO ESTRIBO
SANTA FE NM 87505-5825

LUCERO STEVE F & ANGEL C
7708 BRENDAN CT NW
ALBUQUERQUE NM 87120

RIFFE TRUEX BRIANNA
712 SANDY DR NW
ALBUQUERQUE NM 87120

PONDEROSA ENTERPRISES LLC
PO BOX 53148
ALBUQUERQUE NM 87153

JARAMILLO CATHERINE A
1324 ALWOOD DR NW
ALBUQUERQUE NM 87120

DIAZ RAYMOND N
701 72ND ST NW
ALBUQUERQUE NM 87121

WALKER MICHAEL DAVID & HEIDI KAY
1404 TARRINGTON DR NW
ALBUQUERQUE NM 87120-5542

CHAVEZ VANESSA D
7820 HAVENWOOD RD NW
ALBUQUERQUE NM 87120-5547

PRESBYTERIAN HEALTHCARE SERVICES
REAL ESTATE OFFICE
PO BOX 26666
ALBUQUERQUE NM 87125-6666

PALAFIX ALICA
7313 THUNDERBIRD CT NW
ALBUQUERQUE NM 87121-1325

GONZALES MELONIE N
1336 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120

CARPENTER DANNY L
1220 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120-6590

HONTANOSAS GINO & KRISTINA
1400 ALWOOD DR NW
ALBUQUERQUE NM 87120

SANCHEZ CHRISTINA M
7416 MINT PL NW
ALBUQUERQUE NM 87121-1315

GALLATIN DEVELOPMENT LLC &
CLIFFORD ABQ C/O BURKE &
ASSOCIATES LLC
3336 E 32ND ST SUITE 217
TULSA OK 74135-4442

CORWELL JOHN E & DELLA C
7317 THUNDERBIRD CT NW
ALBUQUERQUE NM 87105

CASTILLO ASHLEY S
808 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

NYDES PROPERTIES LTC CO
PO BOX 4247
SANTA FE NM 87502

CARRION RICHARD & ROSINA A
7313 MINT PL NW
ALBUQUERQUE NM 87121

RAEL JOSEPH J
7836 GRAYSON RD NW
ALBUQUERQUE NM 87120

STATE HIGHWAY DEPT
PO BOX 1149
SANTA FE NM 87501

LSF9 MASTER PARTICIPATION TRUST
C/O CALIBER HOME LOANS INC
3701 REGENT BLVD
IRVING TX 75063-2312

MENDEZ DAVID
852 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1346

PIJ PROPERTIES LLC
9400 HOLLY AVE NE BLDG 4
ALBUQUERQUE NM 87122-2948

CHAVEZ DOLORES L
732 SANDY DR NW
ALBUQUERQUE NM 87120

BODE STEFFEN
1332 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120

VIGIL ROBERTA J
1309 TANGLEWOOD PL NW
ALBUQUERQUE NM 87120-6547

CHAVEZ MICHELLE A
1336 TARRINGTON DR NW
ALBUQUERQUE NM 87120

DEBLASSIE STEVEN M & GINA M
8310 CALLE PICAFLOR NW
ALBUQUERQUE NM 87120-3104

SCOTT ROGER
1208 TANGLEWOOD PL NW
ALBUQUERQUE NM 87120-6549

CADDELL BRENDA DIANE
7711 BAYBROOK RD NW
ALBUQUERQUE NM 87120

LEIF JOHN E & CAROLINA A
8027 ELIJAH CT NW
ALBUQUERQUE NM 87120

ROMERO JAMES P
809 72ND ST NW
ALBUQUERQUE NM 87121

SAENZ VERONICA
848 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

PADILLA PETE S
7321 THUNDERBIRD CT NW
ALBUQUERQUE NM 87121

CLAY THERESA E & MICHAEL L
7901 TAFWOOD RD NW
ALBUQUERQUE NM 87120-4089

STATE HIGHWAY DEPT
PO BOX 1149
SANTA FE NM 87501

BEAN RODNEY D & NAOMI
1319 DUSKFIRE DR NW
ALBUQUERQUE NM 87120

KAISER KATHRYN A
PO BOX 3472
ALBUQUERQUE NM 87190-3472

ULIBARRI LAWRENCE M & STEPHANIE I
7705 AMY MARIE CT NW
ALBUQUERQUE NM 87120

RIO GRANDE ENGINEERING
9171 GLENDALE AVE NE
ALBUQUERQUE NM 87122-3805

PEREA ANNA MARIE
3901 MONTGOMERY BLVD NE APT 914
ALBUQUERQUE NM 87109

MARRUFO JR JOSE R & MARLO L
1305 DUSKFIRE DR NW
ALBUQUERQUE NM 87120-5553

MEDINA MIGUEL E
716 SANDY DR NW
ALBUQUERQUE NM 87120-3211

HOAK VICTOR
816 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1346

GONZALES ANNA M
7409 MINT PL NW
ALBUQUERQUE NM 87121-1316

JIMENEZ ANGELA A R
7820 GRAYSON RD NW
ALBUQUERQUE NM 87120

MYGRANT MICHAEL R & CATHERINE L
TRUSTEES MYGRANT LVT
3271 ARDEN RD
HAYWARD CA 94545-3901

ORTIZ PATRICIA ANITA
820 LANDMARK ST NW
ALBUQUERQUE NM 87121-1322

PATRICK JOEY G & SUZANNE M
7900 HAVENWOOD CT NW
ALBUQUERQUE NM 87120

BACA ERNEST
713 72ND ST NW
ALBUQUERQUE NM 87121-1301

DELGADO ADRIAN & LEYVA MARIA G
1316 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120

LOPEZ SHERRI D
8024 GAVIN DR NW
ALBUQUERQUE NM 87120

NEW MEXICO REAL ESTATE LIMITED
PARTNERSHIP
PO BOX 8000-351
V2S 6H1

CARR STEVEN
754 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

AUSTIN KAREN A & BRIGHAM DAVID E
1201 TANGLEWOOD PL NW
ALBUQUERQUE NM 87120

GILBERT GREG W
1216 TANGLEWOOD RD NW
ALBUQUERQUE NM 87120

BURCIAGA EFREN
824 LANDMARK ST NW
ALBUQUERQUE NM 87121-1322

HERNANDEZ JOSEPH G & MELISSA S
1344 TARRINGTON DR NW
ALBUQUERQUE NM 87120

SAEGHI ALI & VANDIDAD RASOULI
7105 ZINNIA PL NW
ALBUQUERQUE NM 87121

SANDOVAL PHILLIP I
712 72ND ST NW
ALBUQUERQUE NM 87120

RICKETSON VIRGINIA
7413 MINT PL NW
ALBUQUERQUE NM 87105

GREATER ALBUQUERQUE HABITAT FOR
HUMANITY NEW MEXICO 501C3 NON
PROFIT CORP
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3042

RYAN ROSE & ROBERT B
721 72ND ST NW
ALBUQUERQUE NM 87121-1301

TRANQUILLO PARTNERS LLC
PO BOX 250
LOS ALAMOS NM 87544

CHAVEZ EDWARD L & JOAN H
8020 GAVIN RD NW
ALBUQUERQUE NM 87120

RIO GRANDE ENGINEERING
9171 GLENDALE AVE NE
ALBUQUERQUE NM 87122-3805

WASSENBERG DAVID W &
MARYLOUISE
7712 BAYBROOK RD NW
ALBUQUERQUE NM 87120-6535

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

HINDERA DAVID M
1400 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120-6541

TRUJILLO BRANDON J
7108 POPPY PL NW
ALBUQUERQUE NM 87121-1330

MTGLO INVESTORS LP C/O
SHELLPOINT MORTGAGE SERVICING
55 BEATTIE PL SUITE 500
GREENVILLE SC 29601-5116

GALLEGOS ROBERT P & D PADILLA
800 CESARS PALACE RD NW
ALBUQUERQUE NM 87105-1307

CHAVEZ ABRAN JR & ANNA ELIZABETH
7316 ALADDIN CT NW
ALBUQUERQUE NM 87105

GERBER JEROME KURT
1309 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120

GARCIA HELEN
828 LANDMARK ST NW
ALBUQUERQUE NM 87105

OSTERWEIL LEV M
246 N 11TH RD
CONNELLSVILLE PA 15425-2417

ENCHANTMENT HOMES OF NM LLC
PO BOX 67305
ALBUQUERQUE NM 87193

MARTIN KRIS & JENNIFER
30 LOS MIRADORES DR NE
RIO RANCHO NM 87124

FUENTES PAULINE
8023 ELIYAH CT NW
ALBUQUERQUE NM 87120

GREATER ALBUQUERQUE HABITAT FOR
HUMANITY NEW MEXICO 501C3 NON
PROFIT CORPORATION
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3042

BRITO GLORIA & TELLEZ CARLOS A
7705 BAYBROOK RD NW
ALBUQUERQUE NM 87120

RICHARDS TERRENCE J & ANN
7915 TAFWOOD RD NW
ALBUQUERQUE NM 87120

ROMERO JACOB J
7312 THUNDERBIRD CT NW
ALBUQUERQUE NM 87121-1325

CHAVEZ JOSE E & CARMEN L
7805 HAVENWOOD RD NW
ALBUQUERQUE NM 87120-5546

IRON MOUNTAIN RECORDS MGMT INC
1 FEDERAL ST FLOOR 7
BOSTON MA 02110-2003

MAESTAS GEORGE L & LILLIAN M
7320 THUNDERBIRD CT NW
ALBUQUERQUE NM 87121-1325

MORGAN KEVIN
7715 BAYBROOK RD NW
ALBUQUERQUE NM 87120

SILVA RENATO MARTINEZ & MOLINA
ERENDIRA
8102 CRIMSON AVE NW
ALBUQUERQUE NM 87120-2072

G & A LTD
PO BOX 6363
ALBUQUERQUE NM 87197

ELLINGTON MARK JAMES
7004 ZINNIA PL NW
ALBUQUERQUE NM 87121

GALLARDO GUS & SUSIE
709 CAESARS PALACE DR NW
ALBUQUERQUE NM 87121

PRESCOTT PATRICK M & LINDA S
7304 MINT PL NW
ALBUQUERQUE NM 87105

LUCERO STARLENE G
816 CAESARS PALACE DR NW
ALBUQUERQUE NM 87121-1307

MCGRAW SHIRLEY D
7711 AMY MARIE CT NW
ALBUQUERQUE NM 87120

CASTILLO JOAQUIN R & NORA G
664 GALLEON DR NW
ALBUQUERQUE NM 87121

SECRIST ADRIAN GENE
705 72ND ST NW
ALBUQUERQUE NM 87121

GREATER ALBUQUERQUE HABITAT FOR
HUMANITY NEW MEXICO 501C3 NON
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3042

WADE DENEEN
728 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

TTK PROPERTIES LLC
713 CAESARS PALACE DR NW
ALBUQUERQUE NM 87121-1369

AHEPA 501 INC
6700 LOS VOLCANES RD NW
ALBUQUERQUE NM 87121-8479

GRAYLAND CORPORATION & J2C LLC &
CLIFFORD JACK J & LEE RVT & ETAL
PO BOX 35640
ALBUQUERQUE NM 87176-5640

WILLIAMS MIKE L & MONICA C
7831 GRAYSON RD NW
ALBUQUERQUE NM 87120-5550

ROMERO CHRIS & GINA
7808 HAVENWOOD RD NW
ALBUQUERQUE NM 87120

MAJEC LIMITED PARTNERSHIP A NM
PARTNERSHIP
PO BOX 3168
CORRALES NM 87048-3168

ACOSTA MARIA G & DE JESUS ACOSTA
MARIA
7309 FREMONT PL NW
ALBUQUERQUE NM 87121

TORRES MAGDALENA
7715 AMY MARIE CT NW
ALBUQUERQUE NM 87120

TAFOYA VALERIE
7100 ZINNIA PL NW
ALBUQUERQUE NM 87121-9563

GREATER ALBUQUERQUE HABITAT FOR
HUMANITY NEW MEXICO 501C3 NON
PROFIT CORPORATION
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3042

BACA MICHAEL A & VIRGINIA L
7417 FREMONT PL NW
ALBUQUERQUE NM 87105

JOHN GARY & BLEA PAMELA
7304 THUNDERBIRD CT NW
ALBUQUERQUE NM 87121

MEDRANO MANUEL E & ROMELIA L
1340 TARRINGTON DR NW
ALBUQUERQUE NM 87120-5540

BUSTOS TARA
1308 MESA WOOD PL NW
ALBUQUERQUE NM 87120

GREATER ALBUQUERQUE HABITAT FOR
HUMANITY
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110

JARAMILLO LEROY ETUX
7409 FREEMONT PL NW
ALBUQUERQUE NM 87121-1319

ESTRADA DANIEL L
7816 BAYBROOK RD NW
ALBUQUERQUE NM 87120-5544

SOSA KASSONDRA J
7109 POPPY PL NW
ALBUQUERQUE NM 87121

GUTIERREZ LINDA PAULETTE
12008 STILWELL DR NE APT B
ALBUQUERQUE NM 87112-3486

MERIDIAN REALTY LTD CO
PO BOX 6363
ALBUQUERQUE NM 87197-6363

RICHARDSON BOBBY E TRUSTEE
RICHARDSON RVT
700 72ND ST NW
ALBUQUERQUE NM 87121

FULCHER LISA MICHELLE
1401 DUSKFIRE DR NW
ALBUQUERQUE NM 87120-5554

WUJICK JAMES R & KATHY M
808 LANDMARK ST NW
ALBUQUERQUE NM 87121-1322

SHORTER KRAIG M & KAYLA G
8012 SADDLEBROOK AVE NW
ALBUQUERQUE NM 87120-6513

GRANONE KERALYN R
7701 BRENDAN CT NW
ALBUQUERQUE NM 87120

AMERACE CORPORATION
6625 BLUEWATER RD NW
ALBUQUERQUE NM 87105

GAIER ANTHONY LEWIS & TERESA
JEANNE
7716 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120

FRANCISCO DANILO M & MARIA
HELENA PASQUIN
1305 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120-6539

ROYBAL JEANETTE
764 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1344

OLEARY ERIKA & KEVIN
1308 ALWOOD DR NW
ALBUQUERQUE NM 87120-4090

PERRILLIAT SHARON A
1212 TANGLEWOOD RD NW
ALBUQUERQUE NM 87120

MONTANO JOSE & MARY J DODGE
7705 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120

SPRUNK VIRGINIA G TRUSTEE SPRUNK
TRUST
7413 FREMONT PL NW
ALBUQUERQUE NM 87121-1319

CANASTU JAIRO
1200 TANGLEWOOD PL NW
ALBUQUERQUE NM 87120

ARCHULETA DANIEL I & KATHY M
1304 MESA WOOD PL NW
ALBUQUERQUE NM 87120-6565

WILMINGTON SAVINGS FUND SOCIETY
TRUSTEE STANWICH MTG LOAN TRUST
A
P O BOX 10826
GREENVILLE SC 29603-0826

SANCHEZ GREG J & VINCENZA L
1323 ALWOOD DR NW
ALBUQUERQUE NM 87120

LYON JAMES J & MARY LOUISE
708 LANDMARK ST NW
ALBUQUERQUE NM 87121-1321

CORTEZ ALBERT R & VIRGINIA P
1312 TANGLEWOOD RD NW
ALBUQUERQUE NM 87120

UNSER JERI
844 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

UTTER LEONARD P & IDA T
7405 FREMONT PL NW
ALBUQUERQUE NM 87121-1319

RIOS MICHAEL R
7712 AMY MARIE CT NW
ALBUQUERQUE NM 87120-6543

ALGIRE JOHN & DOLORES P
7820 BAYBROOK RD NW
ALBUQUERQUE NM 87120-5544

HOAK JOSEFINA G
704 LANDMARK ST NW
ALBUQUERQUE NM 87121

BROWN GEORGE R & DONNA MARCIA
660 GALLEON DR NW
ALBUQUERQUE NM 87121

GARCIA TONY L
1300 TARRINGTON DR NW
ALBUQUERQUE NM 87120

STATE HIGHWAY COMM
PO BOX 1149
SANTA FE NM 87504-1149

CASTILLO ROSARIO
724 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

VP TIERRA POINTE LLC
6801 LOS VOLCANES RD NW
ALBUQUERQUE NM 87121-8402

WOMBLE GEORGE E
1339 DUSKFIRE DR NW
ALBUQUERQUE NM 87120-5553

HERRING FLETCHER J
7317 ALADDIN CT NW
ALBUQUERQUE NM 87121-1305

7301 BLUEWATER PARTNERS LLC
PO BOX 90367
ALBUQUERQUE NM 87199-0367

HINOJOS SONIA
824 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1346

YANKEE FANS LLC C/O MAYME
BRUNACINI
4310 WELLESLEY DR NE
ALBUQUERQUE NM 87107-4824

WATTS CHRISTINE D
751 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

MONTELONGO ROSA I
716 LANDMARK ST NW
ALBUQUERQUE NM 87121-1321

SALAZAR TONY & JEANETTE
7109 ZINNIA PL NW
ALBUQUERQUE NM 87121

RASCON ARMANDO SR & ELLEN
7309 MINT PL NW
ALBUQUERQUE NM 87105

SERNA SANTIAGO & SERNA JOE L &
KELLER THERESA & ETAL
7801 BAYBROOK RD NW
ALBUQUERQUE NM 87120-5545

BRUNACINI DEVELOPMENT LTD CO
PO BOX 6363
ALBUQUERQUE NM 87197

VIGIL GLORIA
7408 MINT PL NW
ALBUQUERQUE NM 87121-1315

CHENG KWANG-TING & YA-PING HSU
5340 JEAN LN
SANTA BARBARA CA 93111

SELL VALERIE L & JEFFREY A
1404 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120

AKES LINDY K & BARBARA L RVT
PO BOX 4601
FAIRVIEW NM 87533

BUSTOS JOSEPH JOAQUIN
8019 GAVIN CT NW
ALBUQUERQUE NM 87120-5592

HERRERA KRISTINA A
820 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1346

MILLER TONY H
8842 GUADALUPE TRL NW
LOS RANCHOS NM 87114-1314

RODRIGUEZ ROSE A
1304 TANGLEWOOD PL NW
ALBUQUERQUE NM 87120-6548

SAVEDRA JAKE & ROSEANN V
1209 TANGLEWOOD PL NW
ALBUQUERQUE NM 87120

STATE HIGHWAY COMM
PO BOX 1149
SANTA FE NM 87504-1149

WINTERS JEFFREY A & CARRIE L
1340 ALWOOD DR NW
ALBUQUERQUE NM 87120-4090

WILLIAMS KENNETH D
705 WALNUT HOLLOW DR
MANSFIELD TX 76063

SUMMERS BRANDY LYNN & SUMMERS
DUANE L & BRENDA R
86 MADOLE RD
EDGEWOOD NM 87015-9503

BONAVITA ANGELO M
1304 TARRINGTON DR NW
ALBUQUERQUE NM 87120-5540

GRADY WEST LLC
PO BOX 30801
ALBUQUERQUE NM 87190

ANGLADA PATRICIA
735 MESA DEL RIO ST NW
ALBUQUERQUE NM 87112

ESPARZA LORENA Y
828 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1346

GREENFIELD JOHN ANDREW &
LATHROP JAMEY RUTH
7912 HAVENWOOD CT NW
ALBUQUERQUE NM 87120

JONES RONY D & MICHELE L
1301 BLOSSOM WOOD PL NW
ALBUQUERQUE NM 87120

PAGE JEFFREY A & CHAVEZ MARIE A
1308 TARRINGTON DR NW
ALBUQUERQUE NM 87120

DOMINGUEZ EDWIN & PRISCILLA
825 CESARS PALACE DR NW
ALBUQUERQUE NM 87121-1312

RODRIGUEZ TERESA LYNN & GERMAIN
DAVID
7809 GRAYSON RD NW
ALBUQUERQUE NM 87120-5550

DE PALMA PATRICK M
7715 BRENDAN CT NW
ALBUQUERQUE NM 87120

LA MAME LLC
4310 WELLESLEY DR NE
ALBUQUERQUE NM 87107

MONROE EFFORT & GENICE
7923 TAFWOOD RD NW
ALBUQUERQUE NM 87120

GREATER ALBUQUERQUE HABITAT FOR
HUMANITY NEW MEXICO 501C3 NON
PROFIT CORPORATION
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3042

VER PLOEGH JAMES H & MARY L
7312 MINT PL NW
ALBUQUERQUE NM 87105

GUTIERREZ DANIEL JOSEPH TRUSTEE
GUTIERREZ RVL T
832 TRUMAN ST NE
ALBUQUERQUE NM 87110

GORDON TRACY
PO BOX 5254
BERNALILLO NM 87004

MALLORY KEITH J & SANDRA L
2717 SAN MATEO BLVD NE
ALBUQUERQUE NM 87110-3143

GUTIERREZ ROBERT C & DONNA J
805 CESARS PALACE DR NW
ALBUQUERQUE NM 87121

CALLINAN SEAN P & ADRIANE K
1221 TANGLEWOOD PL NW
ALBUQUERQUE NM 87120

LOVATO EMILY A
759 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1345

OLGUIN RICHARD SR & RIVERA
IGNACIO
2231 PAJARITO RD SW
ALBUQUERQUE NM 87105

NEW MEXICO STATE HIGHWAY DEPT
PO BOX 1149
SANTA FE NM 87501

GREATER ALBUQUERQUE HABITAT FOI
HUMANITY NEW MEXICO 501C3 NON
PROFIT CORPORATION
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3042

LAMAR MONIKA
720 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1344

MARTINEZ DIANE
812 CEASARS PALACE DR NW
ALBUQUERQUE NM 87121

TORRES GERALD P & ROSALIE M
7719 BLOSSOMWOOD PL NW
ALBUQUERQUE NM 87120

HOLGUIN CARMEN & PAUL
7404 FREMONT PL NW
ALBUQUERQUE NM 87121

JONES GINA I CORVETTO
12047 SE 214TH ST
KENT WA 98031-2285

LOPEZ EILEEN
7408 FREMONT PL NW
ALBUQUERQUE NM 87121

MCKNIGHT MARIANNE G & SELDEN W
JR
27585 BERDUN
MISSION VIEJO CA 92691

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

ARROYO PAUL DANIEL & SARAH
REGINA-ELISE
864 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1346

HUTTON JOSEPH
7815 BAY BROOK RD NW
ALBUQUERQUE NM 87120-5545

TOVAR ANTONIO A & MARIA D
708 72ND ST NW
ALBUQUERQUE NM 87105

BRUCH DOUGLAS H
7304 ALADDIN CT NW
ALBUQUERQUE NM 87121

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

LEH DEAN T
719 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1345

HOWARD W HERBERT & BARBARA L
HERBERT RVT HERBERT W HOWARD JR
& JEAN F
5212 VALLE VISTA NW
ALBUQUERQUE NM 87120-2417

RODDY ANTHONY R & MARISA
1312 MESA WOOD PL NW
ALBUQUERQUE NM 87120

BACA SYLVIA
720 CEASARS PALACE DR NW
ALBUQUERQUE NM 87121-1300

YEPA GARRON & YEPA ANTHONY
8019 ELIJAH CT NW
ALBUQUERQUE NM 87120

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

JIRON GREGORY M
7316 FREMONT PL NW
ALBUQUERQUE NM 87121

IRON MOUNTAN RECORDS
MANAGMENT INC
1 FEDERAL ST FLOOR 7
BOSTON MA 02110-2003

RODRIGUEZ JORGE & CYNTHIA
725 72ND ST NW
ALBUQUERQUE NM 87121

HONE JAY R
9220 GUADALUPE TRL NW
ALBUQUERQUE NM 87114

SANCHEZ CATHIE
1300 SOMERSET DR NW
ALBUQUERQUE NM 87120-5516

LINDSAY BRUCE D & KATHLEEN S
GREENAWAY
7819 BAYBROOK RD NW
ALBUQUERQUE NM 87120

MCFALL WILLIAM E & TANYA
7916 RICHWOOD RD NW
ALBUQUERQUE NM 87120

CHAVEZ DAVID R
5108 ALPHA AVE NW
ALBUQUERQUE NM 87120

SLOAN HARRY W JR
8224 LOMA DEL NORTE DR NE
ALBUQUERQUE NM 87109

PERALES ERIC
7800 GRAYSON RD NW
ALBUQUERQUE NM 87120

MARQUEZ ISAAC F
716 CESARS PALACE DR NW
ALBUQUERQUE NM 87121

ALIRES ERIC P
8016 AMY AVE NW
ALBUQUERQUE NM 87120

POWERS TERRY & PRENTICE
7916 HAVENWOOD CT NW
ALBUQUERQUE NM 87120-4087

WATTLEY GEOFFREY J
354 MEADOW LAKE RD
LOS LUNAS NM 87031

CASTILLO TIMOTHY
7823 BAYBROOK RD NW
ALBUQUERQUE NM 87120-5545

REGIONS BEYOND INC C/O THE
POTTERS HOUSE
PO BOX 7486
ALBUQUERQUE NM 87194-7486

SARATE JAMES T & MARY SYLVIA
700 LANDMARK ST NW
ALBUQUERQUE NM 87121-1321

CLICK DAUNE D & CLICK LORIE
7401 MINT PL NW
ALBUQUERQUE NM 87121

BERTRAM ISABEL R
1316 TARRINGTON DR NW
ALBUQUERQUE NM 87120-5540

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

WITTE CAREY N & JULIE L WITTE
7815 HAVENWOOD PL NW
ALBUQUERQUE NM 87120

SEGURA-VILLA MARIA DE JESUS &
PINTO JESSE
7908 HAVENWOOD CT NW
ALBUQUERQUE NM 87120-4087

HOHNER DUSTIN T & HOHNER SHAWN
P
760 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

JARAMILLO URSULA VICTORIANA
809 CESARS PALACE DR NW
ALBUQUERQUE NM 87121

YANKEE FANS LLC C/O MAYME
BRUNACINI
4310 WELLESLEY DR NE
ALBUQUERQUE NM 87107-4824

LAWSON COLLEEN T & LEONARD E
1332 ALWOOD DR NW
ALBUQUERQUE NM 87120-4090

BACA MAX & BACA TIMOTHY
2609 20TH ST NW
ALBUQUERQUE NM 87104

TAPIA MICHAEL & SHARON
7804 BAYBROOK RD NW
ALBUQUERQUE NM 87120

LOWE KIMBERLE
736 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121

CORDOVA RENEE A
812 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1346

CHAVEZ LOUIE A
7704 AMY MARIE CT NW
ALBUQUERQUE NM 87120-6543

MIERA ELAINE S & WALKER EDNA V
1319 ALWOOD DR NW
ALBUQUERQUE NM 87120

CHAVEZ GENEVIEVE J & CHAVEZ
MICHELLE A
7705 BRENDAN CT NW
ALBUQUERQUE NM 87120

BELL GROUP INC (THE)
7500 BLUEWATER RD NW
ALBUQUERQUE NM 87121-1962

WESTERN ALBUQ LAND HOLDINGS LLC
% GARRETT DEV CORP/JEFF GARRETT
PO BOX 56790
ALBUQUERQUE NM 87187

ANDERS/HARRITY JOAN & TIMOTHY &
BRADLEY
PO BOX 7102
ALBUQUERQUE NM 87194

GRAYLAND CORPORATION & J2C LLC &
CLIFFORD JACK J & LEE RVT & ETAL
PO BOX 35640
ALBUQUERQUE NM 87176-5640

COTHAM PHILIP A SR TRUSTEE
COTHAM SR TRUST
6032 CHAYOTE RD NE
RIO RANCHO NM 87144-5226

CURLEY GERALD SR
1204 TANGLEWOOD PL NW
ALBUQUERQUE NM 87120

ORTIZ SOSTENES A JR
860 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1346

BD DEVELOPMENT II LLC
PO BOX 6992
ALBUQUERQUE NM 87192

COOPER PATRICK
8032 ELIYAH CT NW
ALBUQUERQUE NM 87120

GUTIERREZ LARRY P
512 CINLANTRO LN NW
ALBUQUERQUE NM 87104-1770

CORDOVA CYNTHIA M
PO BOX 66883
ALBUQUERQUE NM 87193

GALLIARD JEANETTE
712 LANDMARK ST NW
ALBUQUERQUE NM 87121

LUCERO MANUEL H & NANCY J
7815 GRAYSON RD NW
ALBUQUERQUE NM 87120

GALLEGOS ROSLYNN L
804 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1346

PSC PROPERTIES LLC C/O MICHAEL
LADUE
80458 CHAMPIONS WAY
LA QUINTA CA 92253-8629

ZIA TRUST INC TRUSTEE JENNIFER
REED CALLINAN TRUST
6301 INDIAN SCHOOL RD NE #800
ALBUQUERQUE NM 87110

WAYMEL ROBERT FRANK & LINDSELL
STEPHANIE CLARE
743 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1345

DUNCAN JEFFERY D
1316 ALWOOD DR NW
ALBUQUERQUE NM 87120-4090

BOWNS BILL & LISA A
740 MONELL DR NE
ALBUQUERQUE NM 87123-1622

GREATER ALBUQUERQUE HABITAT FOI
HUMANITY
4900 MENAUL BLVD NW
ALBUQUERQUE NM 87110

GALLEGOS JOHN & MARY ALICE
7301 ALADDIN CT NW
ALBUQUERQUE NM 87105

PERDOMO PATRICIA P
7305 ALADDIN CT NW
ALBUQUERQUE NM 87105

GUTIERREZ FREDDI A & MARIA VIOLA
7308 ALADDIN CT NW
ALBUQUERQUE NM 87121

GREATER ALBUQUERQUE HABITAT FOR
HUMANITY NEW MEXICO 501C3 NON
PROFIT CORPORATION
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3042

BUSTILLOS MELISSA
836 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1346

FELLOWSHIP BAPTIST CHURCH DBA
FELLOWSHIP MISSIONARY CHURCH
8550 SAUL BELL RD NW
ALBUQUERQUE NM 87121

CHAVEZ JENNIFER L
1300 ALWOOD DR NW
ALBUQUERQUE NM 87120-4090

GUTIERREZ PHILIP L & JUANITA V
804 CESARS PALACE DR NW
ALBUQUERQUE NM 87105-1307

ADCOX TAMMY S
1336 ALWOOD DR NW
ALBUQUERQUE NM 87120

BRYANT SHADE K
840 MESA DEL RIO ST NW
ALBUQUERQUE NM 87121-1346

MARTINEZ ALBERT & MARY J &
PADILLA LINA
728 2ND ST NW
ALBUQUERQUE NM 87121

NICKERSON ABE W & PAULA K
3210 MUNICIPAL DR
FARMINGTON NM 87401-4061

GREATER ALBUQUERQUE HABITAT FOR
HUMANITY NEW MEXICO 501C3 NON
PROFIT CORPORATION
4900 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3042

I-40 GATEWAY WEST LLC
PO BOX 28216
SCOTTSDALE AZ 85255

STATE HIGHWAY DEPT
PO BOX 1149
SANTA FE NM 87501

STATE HIGHWAY COMM
PO BOX 1149
SANTA FE NM 87504-1149

AMAFCA
2600 PROSPECT AVE NE
ALBUQUERQUE NM 87107-1836

LORENTZEN JOHN
2909 YALE BLVD SE
ALBUQUERQUE NM 87106

LORENTZEN JOHN
2909 YALE BLVD SE
ALBUQUERQUE NM 87106

LORENTZEN JOHN
2909 YALE BLVD SE
ALBUQUERQUE NM 87106

LORENTZEN JOHN
2909 YALE BLVD SE
ALBUQUERQUE NM 87106

LORENTZEN JOHN
2909 YALE BLVD SE
ALBUQUERQUE NM 87106

BOARD OF EDUCATION
PO BOX 25704
ALBUQUERQUE NM 87125-0704

BAIRD PERRY & OLGUIN RICHARD &
PHILLIPS JIM TR WEST CONG OF
JEHOVAH WITNESSES
8600 LOS VOLCANES RD NW
ALBUQUERQUE NM 87121

STATE HIGHWAY DEPT
PO BOX 1149
SANTA FE NM 87501

STATE HIGHWAY DEPT
PO BOX 1149
SANTA FE NM 87501

AMAFCA
2600 PROSPECT AVE NE
ALBUQUERQUE NM 87107-1836

MARRUFO JEANETTE B & ANTONIA B
TORRES & MATTHEW BLEA & PATRICIA
GARCIA ETAL
2317 BARTOLO AVE SW
ALBUQUERQUE NM 87105

LORENTZEN JOHN & LOIS
2909 YALE BLVD SE
ALBUQUERQUE NM 87106-4232

LORENTZEN JOHN
2909 YALE BLVD SE
ALBUQUERQUE NM 87106

LORENTZEN JOHN
2909 YALE BLVD SE
ALBUQUERQUE NM 87106

LORENTZEN JOHN
2909 YALE BLVD SE
ALBUQUERQUE NM 87106

VERTZ JEFFREY
1546 S BUSH ST
FRESNO CA 93727-5910

STATE HIGHWAY DEPT
PO BOX 1149
SANTA FE NM 87501

STATE HIGHWAY COMM
PO BOX 1149
SANTA FE NM 87504-1149

AMAFCA
2600 PROSPECT AVE NE
ALBUQUERQUE NM 87107-1836

LORENTZEN JOHN
2909 YALE BLVD SE
ALBUQUERQUE NM 87106

LORENTZEN JOHN
2909 YALE BLVD SE
ALBUQUERQUE NM 87106

INLAND PROPERTIES INC
2482 DOUGLAS RD
V5C 6C9 CANADA

LORENTZEN JOHN
2909 YALE BLVD SE
ALBUQUERQUE NM 87106

LORENTZEN JOHN
2909 YALE BLVD SE
ALBUQUERQUE NM 87106

STATE HIGHWAY DEPT
PO BOX 1149
SANTA FE NM 87501

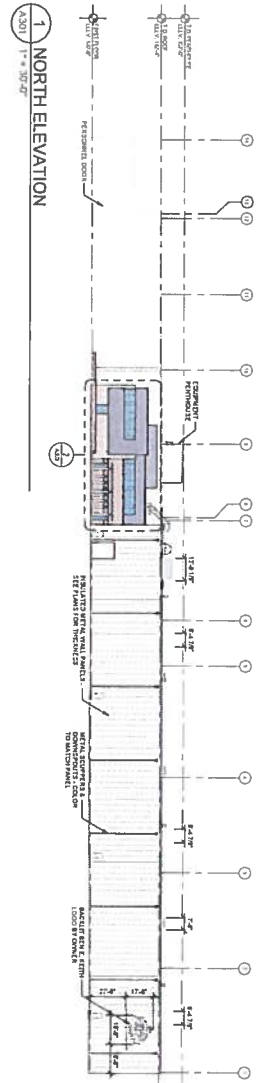
2500 BATES
4080 MALLARD DR
CONCORD CA 94520-1245

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

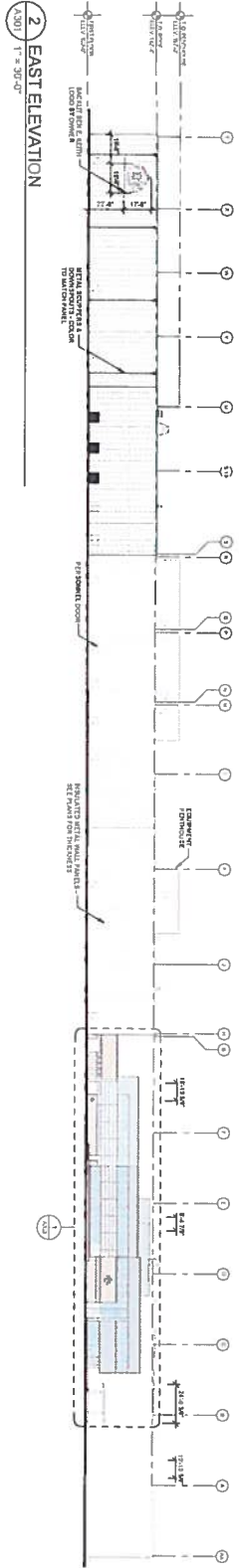
CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

BEN E KEITH COMPANY
601 E 7TH ST
FORT WORTH TX 76102

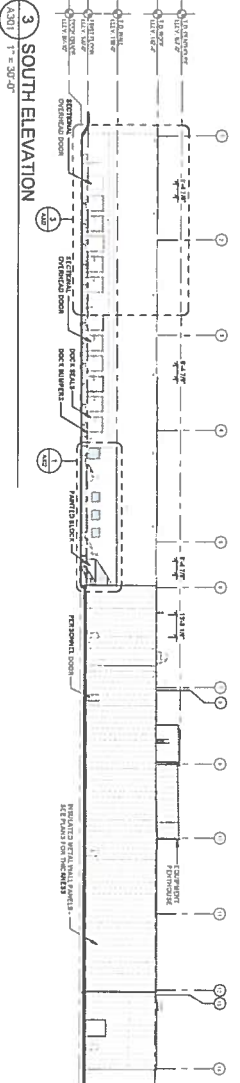
SWIRE PACIFIC HOLDINGS INC DBA
SWIRE COCA-COLA USA
12634 S 265 W
DRAPER UT 84020-7930



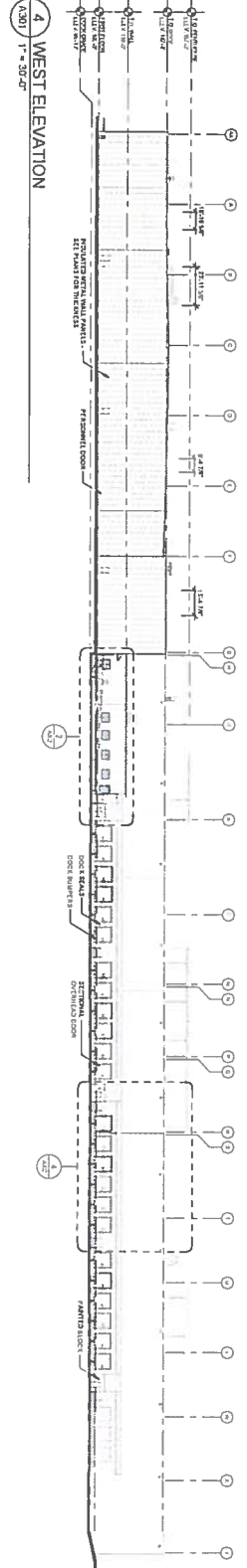
1 NORTH ELEVATION
A301 1" = 30'-0"



2 EAST ELEVATION
A301 1" = 30'-0"



3 SOUTH ELEVATION
A301 1" = 30'-0"



4 WEST ELEVATION
A301 1" = 30'-0"

NEW DISTRIBUTION FACILITY
BEN E. KEITH COMPANY
601 GALLATIN PL NW
ALBUQUERQUE NM 87121



800 West Regal Drive | Suite 400 | Denver, CO 80202 | 303.733.1234 | www.esidesign.com

DATE	NO.	DESCRIPTION
04/11/18	1	ISSUED FOR PERMITS
03/15/18	2	REVISED PER COMMENTS
02/28/18	3	REVISED PER COMMENTS
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01/15/97	257	REVISED PER COMMENTS
12/15/96	258	REVISED PER COMMENTS
11/15/96	259	REVISED PER COMMENTS
10/15/96	260	REVISED PER COMMENTS
09/15/96	261	REVISED PER COMMENTS
08/15/96	262	REVISED PER COMMENTS
07/15/96	263	REVISED PER COMMENTS
06/15/96	264	REVISED PER COMMENTS
05/15/96	265	REVISED PER COMMENTS
04/15/96	266	REVISED PER COMMENTS
03/15/96	267	REVISED PER COMMENTS
02/15/96	268	REVISED PER COMMENTS
01/15/96	269	REVISED PER COMMENTS
12/15/95	270	REVISED PER COMMENTS
11/15/95	271	REVISED PER COMMENTS
10/15/95	272	REVISED PER COMMENTS
09/15/95	273	REVISED PER COMMENTS
08/15/95	274	REVISED PER COMMENTS
07/15/95	275	REVISED PER COMMENTS
06/15/95	276	REVISED PER COMMENTS
05/15/95	277	REVISED PER COMMENTS
04/15/95	278	REVISED PER COMMENTS
03/15/95	279	REVISED PER COMMENTS
02/15/95	280	REVISED PER COMMENTS
01/15/95		

INFRASTRUCTURE LIST

(Rev. 2-16-19)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

BEN E. EITHER FOOD DISTRIBUTION CENTER
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN
LOT 1-A-1 UNSER TOWNE CROSSING
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Crst Engineer
		12'	SOUTH BOUND LEFT TURN LANE EXTENSION	UNSER BLVD	LOS VOLCANES	SOUTH 350 FEET	/	/	/
		F-F VARIES	MAJOR LOCAL PAVING / WIDENING CURB & GUTTER, SIDEWALK, MEDIAN WIDTH VARIES	LOS VOLCANES	UNSER BLVD	GALLATIN PL	/	/	/
		----	TRAFFIC SIGNAL MODIFICATIONS	UNSER / LOS VOLCANES	----	----	/	/	/
		.475 AC-FT	PERMANENT RETENTION AND DETENTION PONDS	TRACT L-1-A-1	----	----	/	/	/
		12'	MAJOR LOCAL PAVING / WIDENING CURB & GUTTER, SIDEWALK SOUTH SIDE ONLY	FORTUNA RD	GALLATIN PL	WEST PROPERTY LINE	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/
<input type="text"/>	<input type="text"/>						/	/

Approval of Creditable Items:	
Impact Fee Administrator Signature	Date
Approval of Creditable Items:	
City User Dept. Signature	Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

NAME (print) _____	DRB CHAIR - date _____	PARKS & RECREATION - date _____
FIRM _____	TRANSPORTATION DEVELOPMENT - date _____	AMAFCA - date _____
SIGNATURE - date _____	UTILITY DEVELOPMENT - date _____	CODE ENFORCEMENT - date _____
	CITY ENGINEER - date _____	_____ - date _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

SITE PLAN CHECKLIST

Project #: PR-2018-001361 Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 4-12-19
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

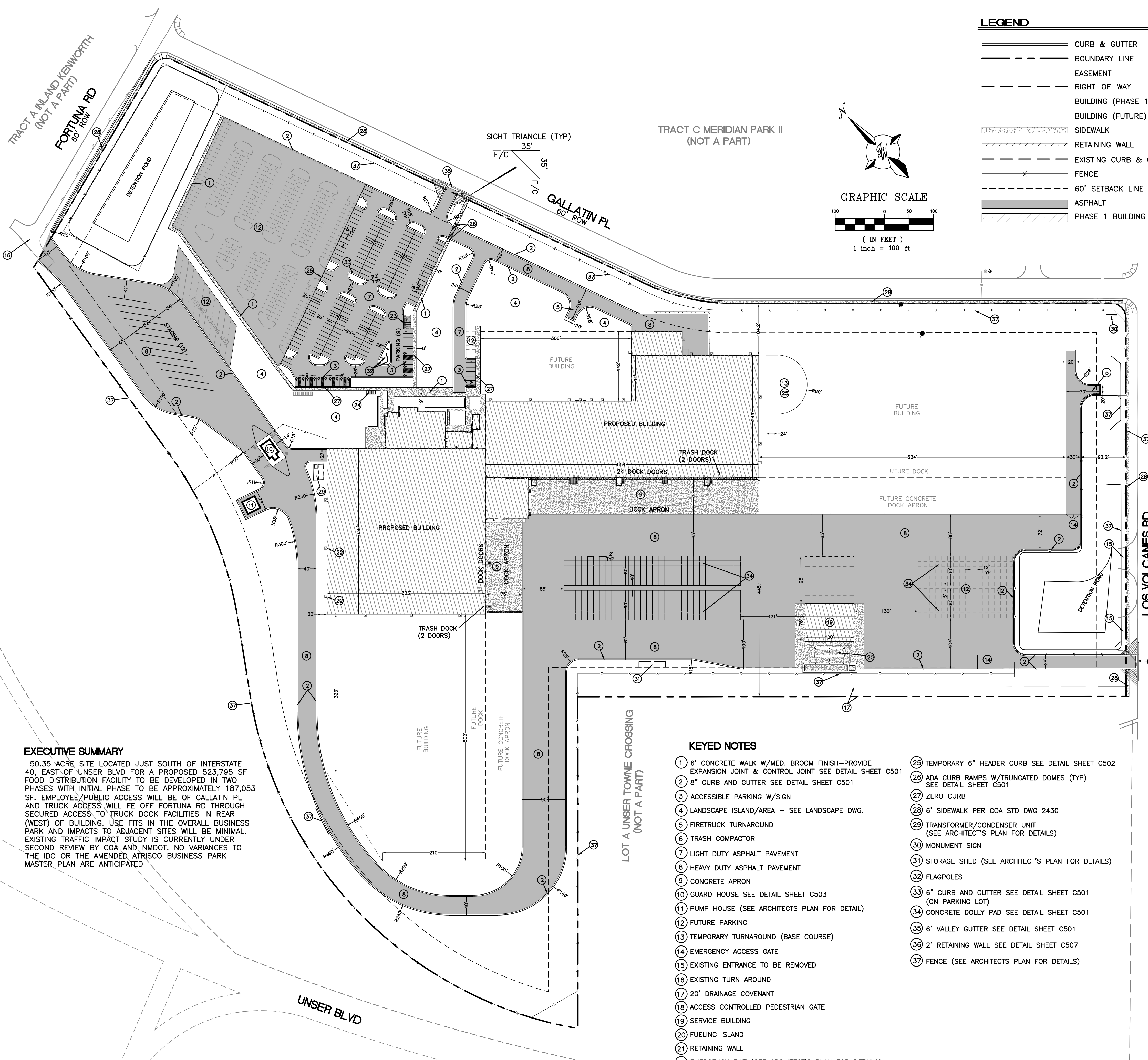
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

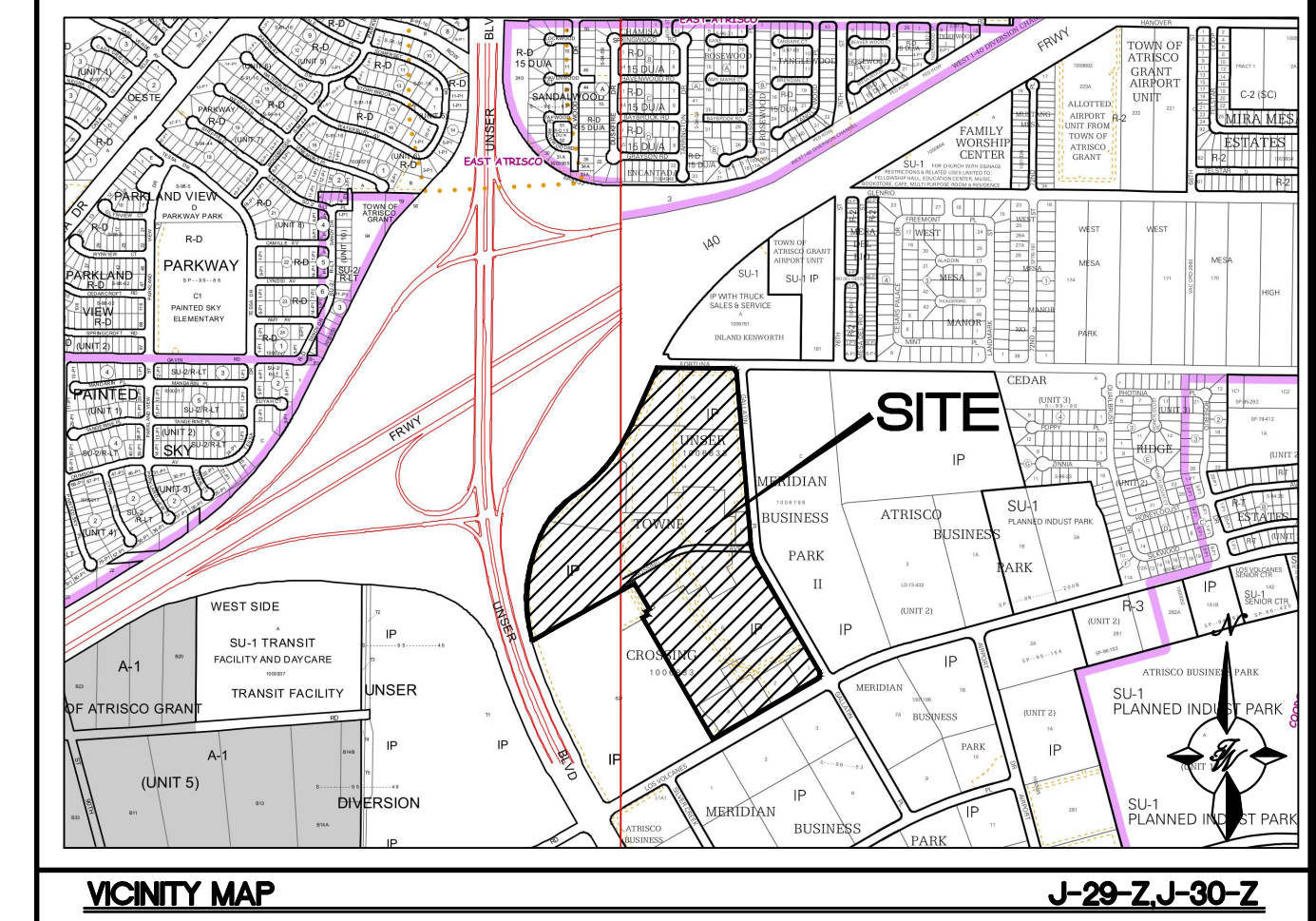
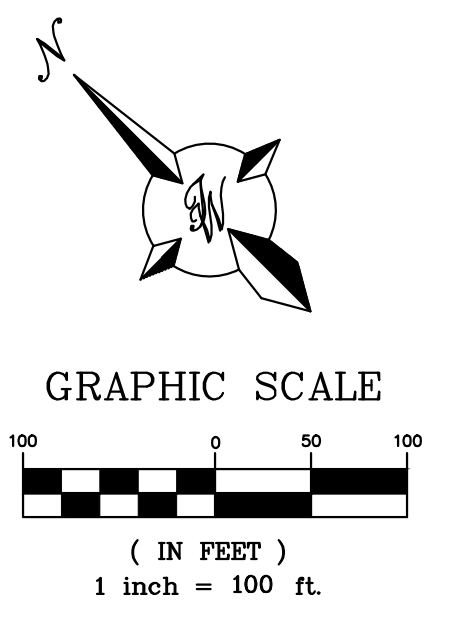
B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



LEGEND

[Symbol]	CURB & GUTTER
[Symbol]	BOUNDARY LINE
[Symbol]	EASEMENT
[Symbol]	RIGHT-OF-WAY
[Symbol]	BUILDING (PHASE 1)
[Symbol]	BUILDING (FUTURE)
[Symbol]	SIDEWALK
[Symbol]	RETAINING WALL
[Symbol]	EXISTING CURB & GUTTER
[Symbol]	FENCE
[Symbol]	60' SETBACK LINE
[Symbol]	ASPHALT
[Symbol]	PHASE 1 BUILDING



VICINITY MAP J-29-Z-J-30-Z
LEGAL DESCRIPTION: LOT 1-A UNSER TOWNE CROSSING
 ADDRESS - 601 GALLATIN PL NW
 ALBUQUERQUE, NM 87121

SITE DATA

PROPOSED USAGE	DISTRIBUTION FACILITY
LOT AREA	2,193,246 SF (50.35 ACRES)
BUILDING AREA	
OFFICE AREAS	33,365 SF
SUPPORT AREAS	17,484 SF
WAREHOUSE AREAS	136,204 SF
FUTURE BUILDING	325,394 SF
TOTAL	566,626 SF

PARKING

TOTAL PARKING REQUIRED	283 SPACES (1 SPACE PER 2000 SF)
TOTAL BICYCLE PARKING REQUIRED	29 SPACES (10% OF REQUIRED PARKING)
TOTAL MOTORCYCLE PARKING REQUIRED	5 SPACES
PROVIDED	
PHASE 1	
PARKING PROVIDED	185 SPACES
HC PARKING REQUIRED	7 SPACES
HC PARKING PROVIDED	15 SPACES (7 VAN ACCESSIBLE)
MOTORCYCLE PARKING PROVIDED	6 SPACES
BICYCLE SPACES PROVIDED	10 SPACES
FUTURE	
PARKING PROVIDED	216 SPACES
BICYCLE PARKING PROVIDED	20 SPACES
LANDSCAPE REQUIRED:	372,852 SF
LANDSCAPE PROVIDED:	801,716 SF

NOTES

- SITE FALLS WITHIN THE ATRISCO BUSINESS PARK MASTER PLAN
- PARKING FIELD GRADES ARE 1% MINIMUM AND 4% MAXIMUM
- ENTRANCE DRIVES DO NOT EXCEED 6% GRADE

EXECUTIVE SUMMARY

50.35 ACRE SITE LOCATED JUST SOUTH OF INTERSTATE 40, EAST OF UNSER BLVD FOR A PROPOSED 523,795 SF FOOD DISTRIBUTION FACILITY TO BE DEVELOPED IN TWO PHASES WITH INITIAL PHASE TO BE APPROXIMATELY 187,053 SF. EMPLOYEE/PUBLIC ACCESS WILL BE OF GALLATIN PL AND TRUCK ACCESS WILL FE OFF FORTUNA RD THROUGH SECURED ACCESS TO TRUCK DOCK FACILITIES IN REAR (WEST) OF BUILDING. USE FITS IN THE OVERALL BUSINESS PARK AND IMPACTS TO ADJACENT SITES WILL BE MINIMAL. EXISTING TRAFFIC IMPACT STUDY IS CURRENTLY UNDER SECOND REVIEW BY COA AND NMDOT. NO VARIANCES TO THE IDO OR THE AMENDED ATRISCO BUSINESS PARK MASTER PLAN ARE ANTICIPATED

KEYED NOTES

- 6" CONCRETE WALK W/MED. BROOM FINISH-PROVIDE EXPANSION JOINT & CONTROL JOINT SEE DETAIL SHEET C501
- 8" CURB AND GUTTER SEE DETAIL SHEET C501
- ACCESSIBLE PARKING W/SIGN
- LANDSCAPE ISLAND/AREA - SEE LANDSCAPE DWG.
- FIRETRUCK TURNAROUND
- TRASH COMPACTOR
- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE APRON
- GUARD HOUSE SEE DETAIL SHEET C503
- PUMP HOUSE (SEE ARCHITECTS PLAN FOR DETAIL)
- FUTURE PARKING
- TEMPORARY TURNAROUND (BASE COURSE)
- EMERGENCY ACCESS GATE
- EXISTING ENTRANCE TO BE REMOVED
- EXISTING TURN AROUND
- 20' DRAINAGE COVENANT
- ACCESS CONTROLLED PEDESTRIAN GATE
- SERVICE BUILDING
- FUELING ISLAND
- RETAINING WALL
- EMERGENCY EXIT (SEE ARCHITECT'S PLAN FOR DETAILS)
- MOTORCYCLE PARKING W/SIGN SEE DETAIL SHEET C501
- BICYCLE RACKS SEE DETAIL SHEET C501
- TEMPORARY 6" HEADER CURB SEE DETAIL SHEET C502
- ADA CURB RAMPS W/TRUNCATED DOMES (TYP) SEE DETAIL SHEET C501
- ZERO CURB
- 6" SIDEWALK PER COA STD DWG 2430
- TRANSFORMER/CONDENSER UNIT (SEE ARCHITECT'S PLAN FOR DETAILS)
- MONUMENT SIGN
- STORAGE SHED (SEE ARCHITECT'S PLAN FOR DETAILS)
- FLAGPOLES
- 6" CURB AND GUTTER SEE DETAIL SHEET C501 (ON PARKING LOT)
- CONCRETE DOLLY PAD SEE DETAIL SHEET C501
- 6" VALLEY GUTTER SEE DETAIL SHEET C501
- 2' RETAINING WALL SEE DETAIL SHEET C507
- FENCE (SEE ARCHITECTS PLAN FOR DETAILS)

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

TERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
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 www.tierwestllc.com

ENGINEER'S SEAL
 RONALD R. BOHANNAN
 P.E. #7868



NEW DISTRIBUTION CENTER
BEN E KEITH
 ALBUQUERQUE, NM 00000

Revision No. _____

Job No. 2018014

CAD/CHK'D By: pm / vc

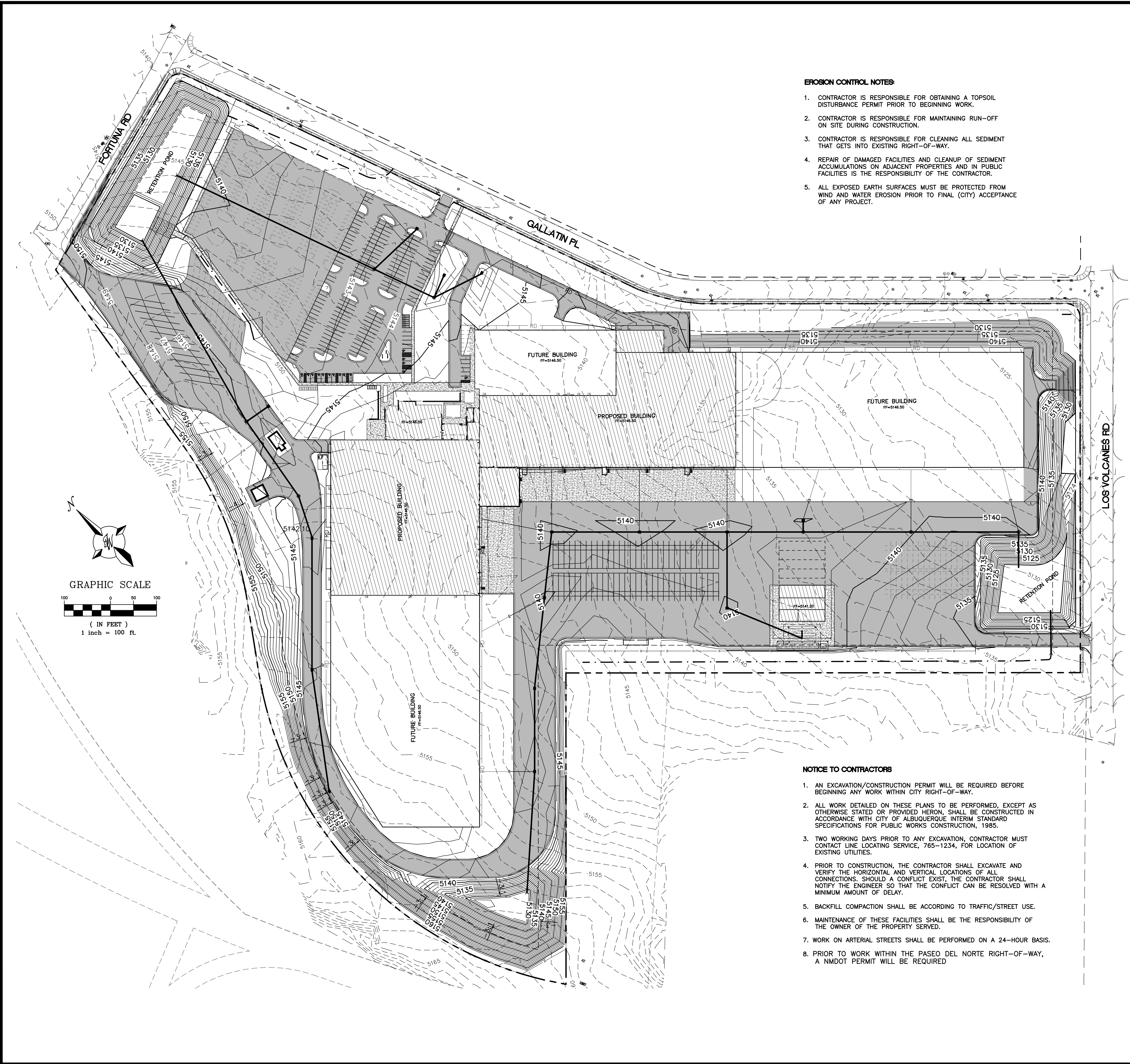
Date: 4-8-19

Sheet Title

SITE PLAN FOR BUILDING PERMIT

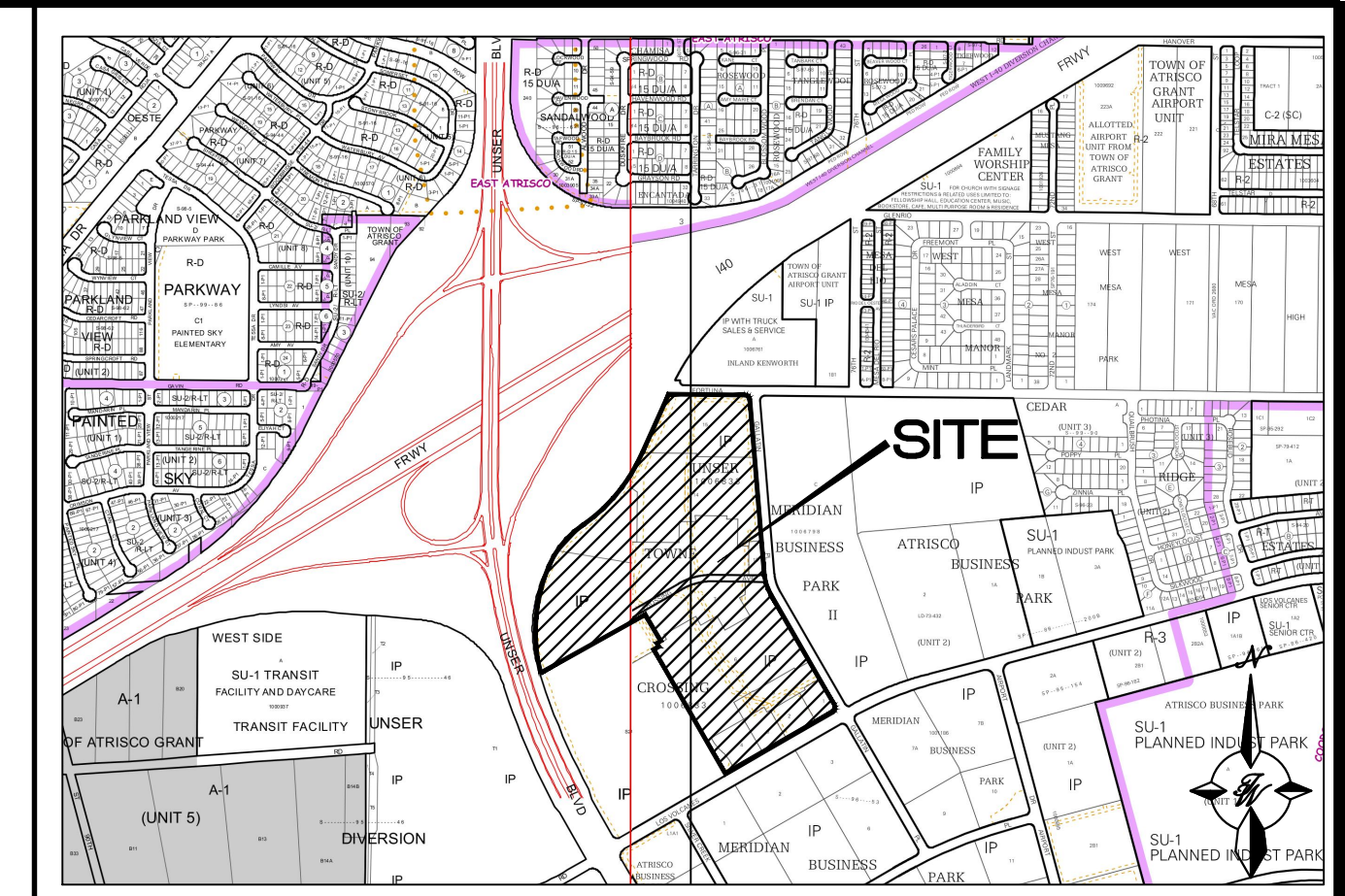
Sheet No. C101

CIVIL

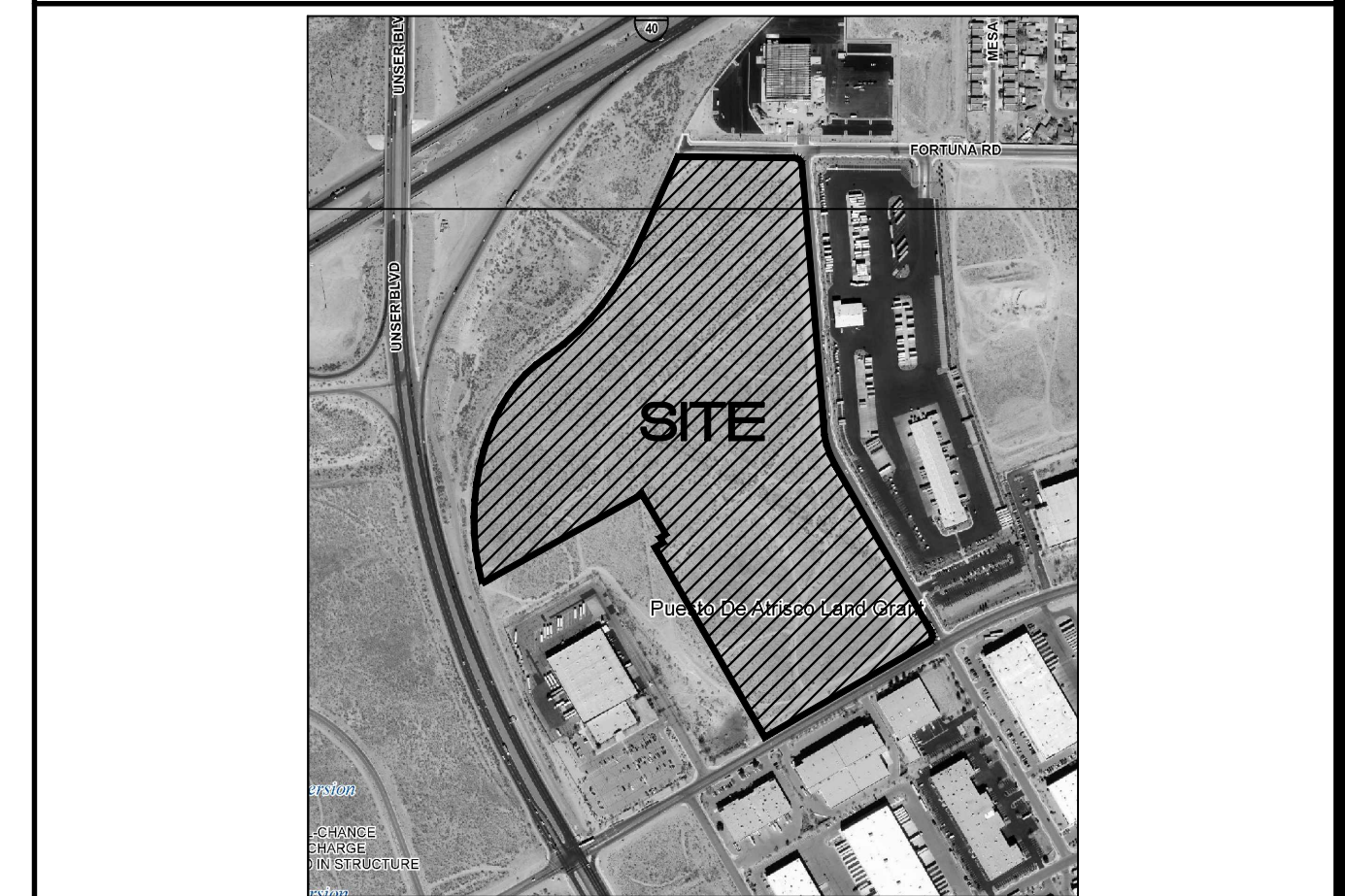


- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 8. PRIOR TO WORK WITHIN THE PASEO DEL NORTE RIGHT-OF-WAY, A NMDOT PERMIT WILL BE REQUIRED.



VICINITY MAP J-29-Z-J-30-Z



FLOOD MAP 35001C0326J, 35001C0328J

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	RETAINING WALL
	5010 CONTOUR MAJOR
	5011 CONTOUR MINOR
	x 5048.25 SPOT ELEVATION (FLOWLINE)
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	5010 EXISTING CONTOUR MAJOR
	5011 EXISTING CONTOUR MINOR
	ASPHALT PAVING
	PROPOSED BUILDING

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

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NEW DISTRIBUTION CENTER
 BEN E KEITH
 ALBUQUERQUE, NM 00000

Revision No.	△
Job No.	2018014
CAD/CHK'D By:	pm / vc
Date	4-8-19
Sheet Title	OVERALL GRADING PLAN
Sheet No.	C201
	CIVIL

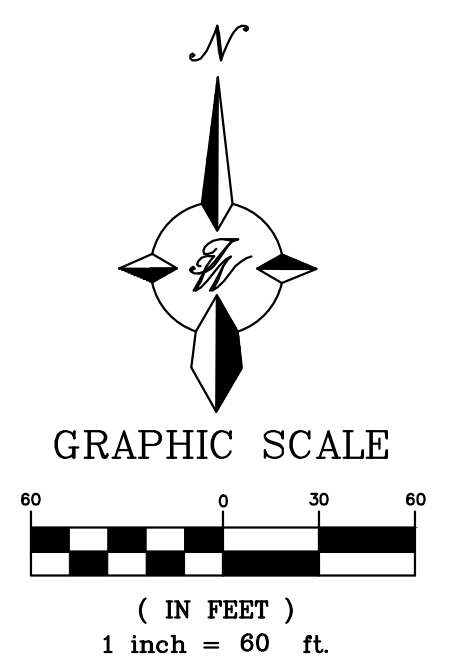


LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ SIDEWALK
- ▩ RETAINING WALL
- 5010— CONTOUR MAJOR
- 5011— CONTOUR MINOR
- x 5048.25 SPOT ELEVATION (FLOWLINE)
- FLOW ARROW
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - -5010— EXISTING CONTOUR MAJOR
- - -5011— EXISTING CONTOUR MINOR
- ▭ ASPHALT PAVING
- ▨ PROPOSED BUILDING
- RD — ROOF DRAIN

STRUCTURE TABLE

STRUCTURE	RIM	INVERT
MH 1	5143.33	5137.00
MH 2	5142.00	5133.17
MH 3	5144.30	5140.30
MH 4	5142.69	5135.90
INLET 1	5142.00	5131.73
INLET 2	5142.00	5138.00
INLET 3	5142.00	5138.85
INLET 4	5142.80	5137.00
INLET 5	5142.10	5132.57
INLET 6	5142.10	5135.37
INLET 7	5142.00	5138.00



CAUTION:
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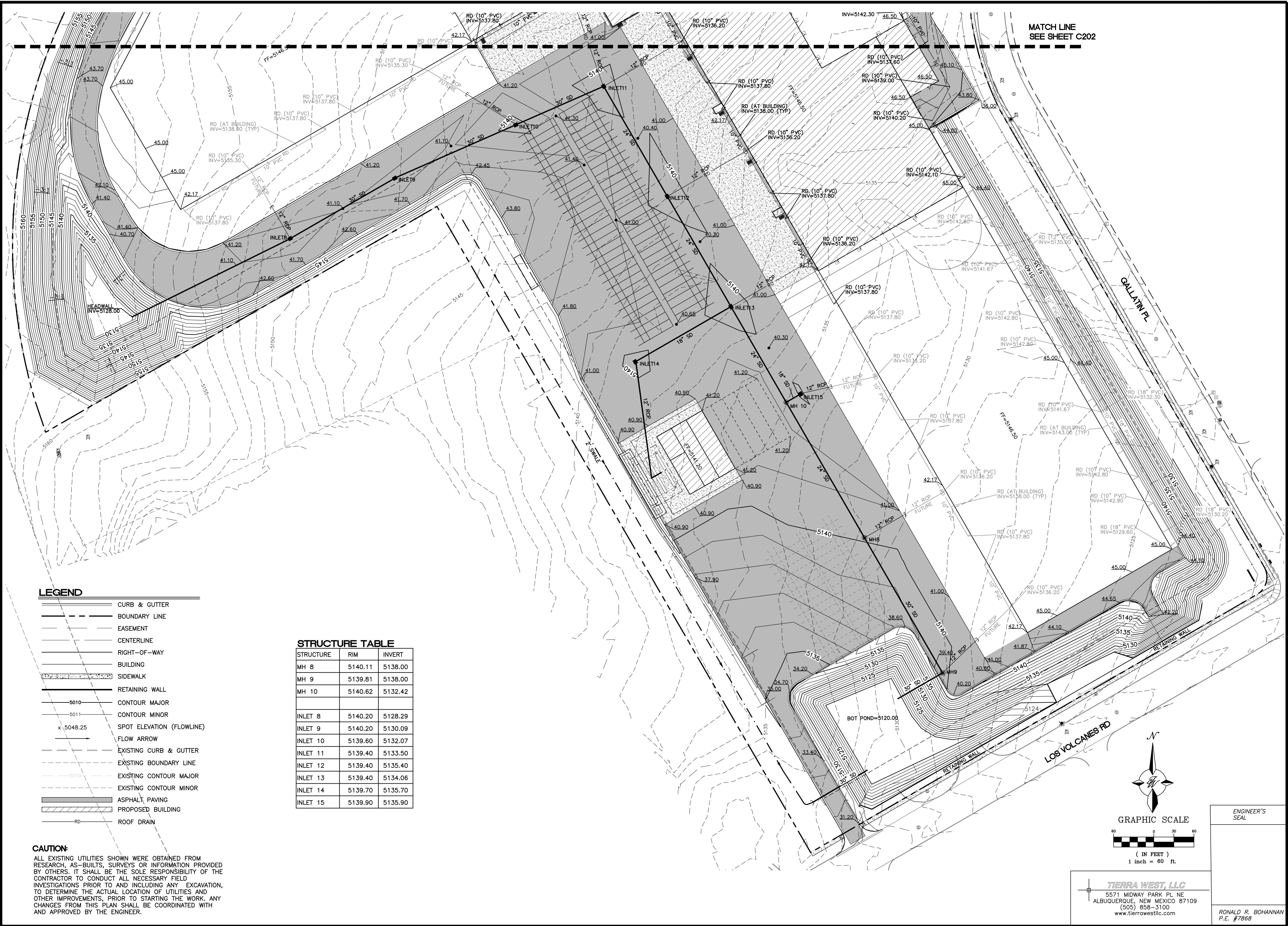
MATCH LINE
SEE SHEET C203

TERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7868

Revision No.

 Job No. **2018014**
 CAD/CHK'D By: **pm / vc**
 Date **4-8-19**
 Sheet Title **GRADING AND DRAINAGE PLAN**
 Sheet No. **C202**
CIVIL



MATCH LINE
SEE SHEET C202

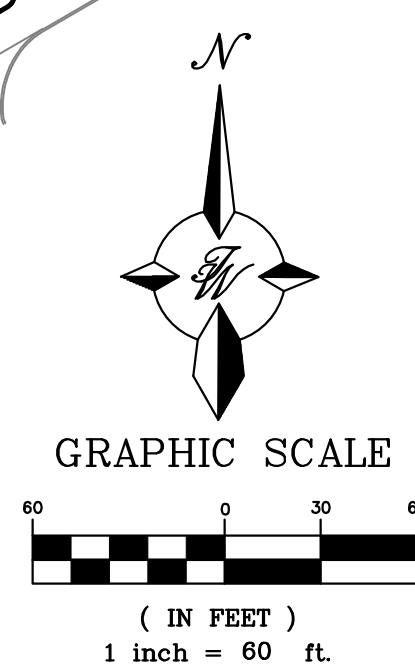
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION (FLOWLINE)
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- ASPHALT PAVING
- PROPOSED BUILDING
- ROOF DRAIN

STRUCTURE TABLE

STRUCTURE	RIM	INVERT
MH 8	5140.11	5138.00
MH 9	5139.81	5138.00
MH 10	5140.62	5132.42
INLET 8	5140.20	5128.29
INLET 9	5140.20	5130.09
INLET 10	5139.60	5132.07
INLET 11	5139.40	5133.50
INLET 12	5139.40	5135.40
INLET 13	5139.40	5134.06
INLET 14	5139.70	5135.70
INLET 15	5139.90	5135.90

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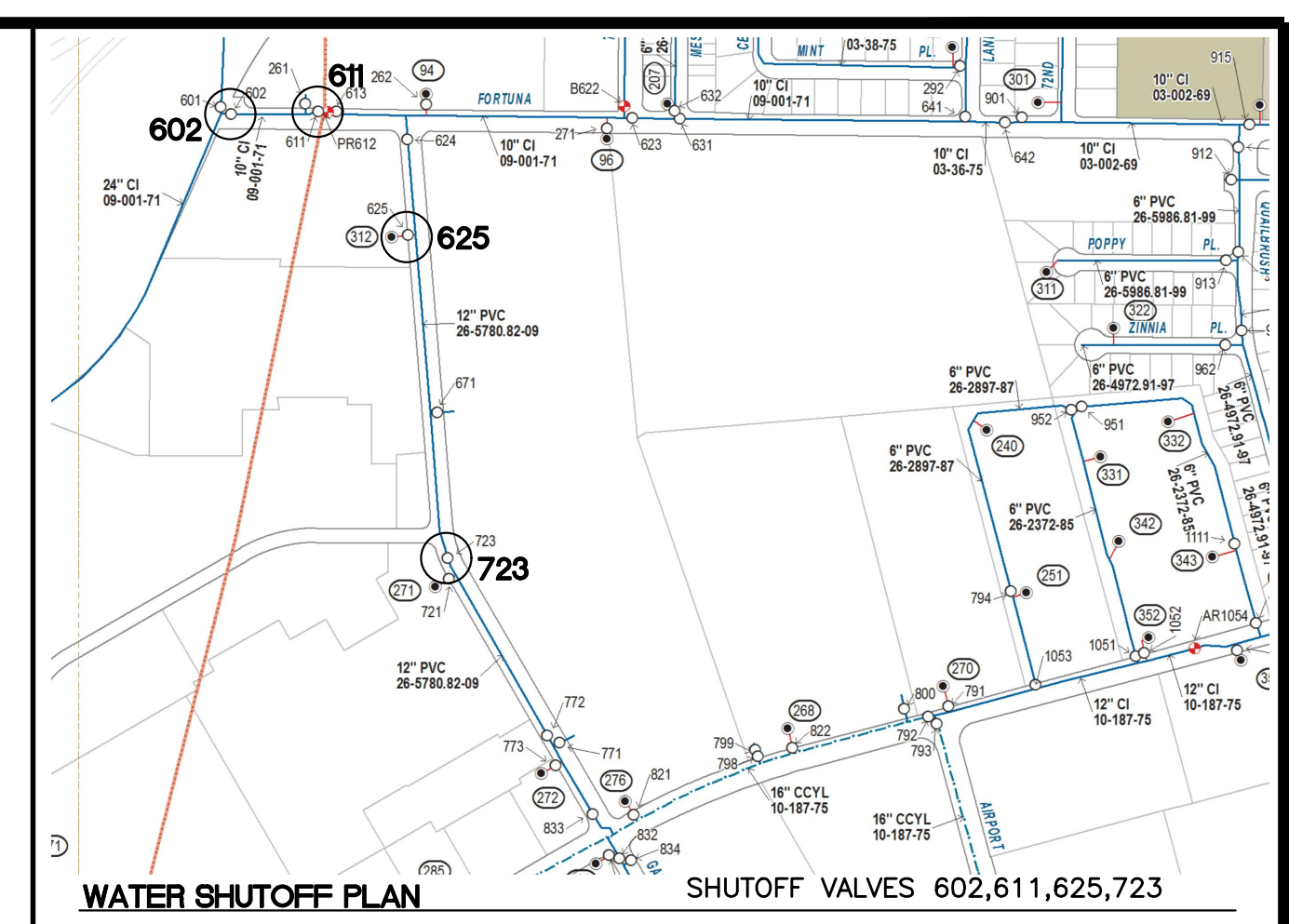
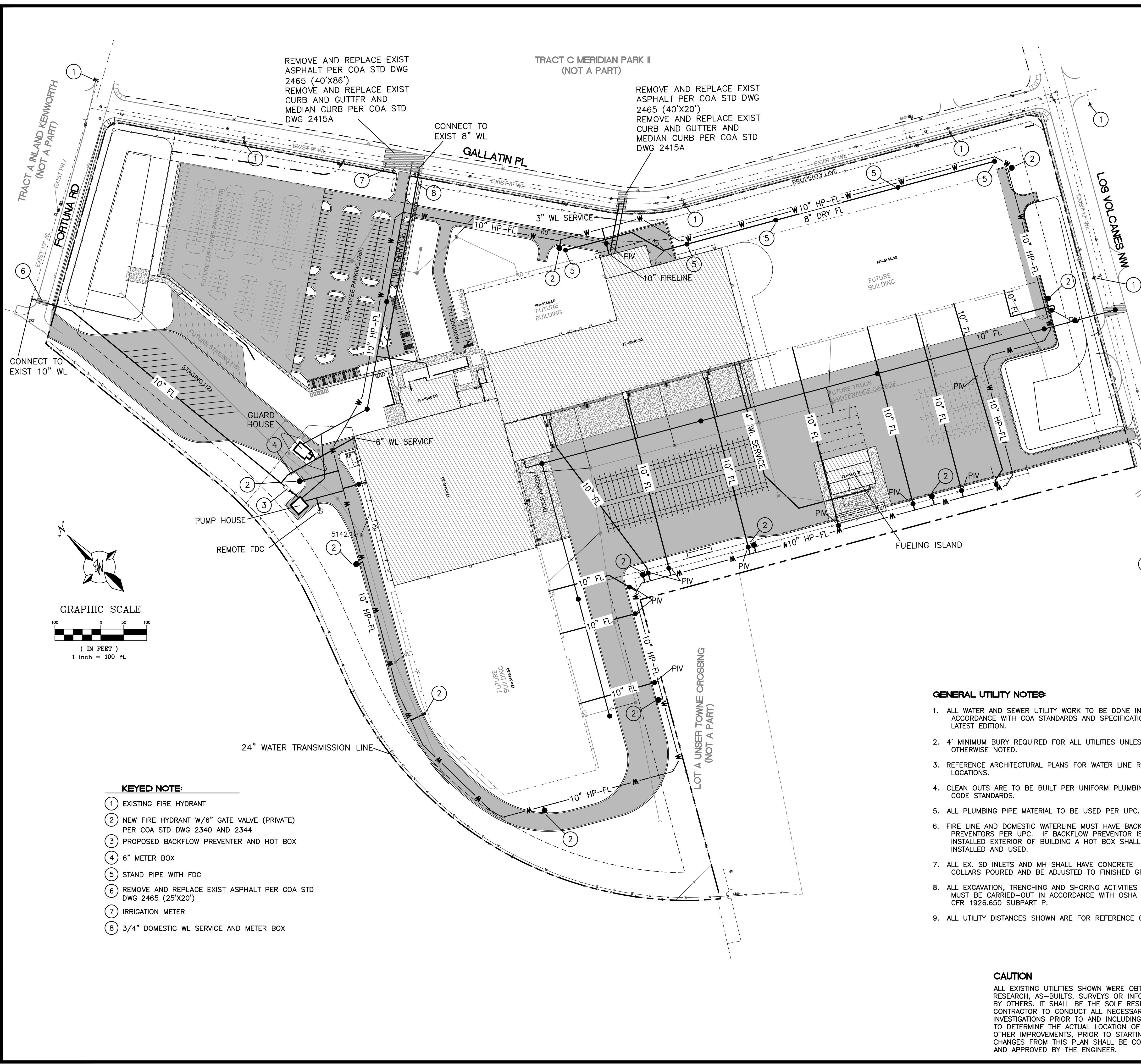
ENGINEER'S SEAL

RONALD R. BOHANNAN
P.E. #7868

NEW DISTRIBUTION CENTER
BEN E KEITH
ALBUQUERQUE, NM 00000

Revision No. _____

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 2018014
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 GRADING AND DRAINAGE PLAN
 Sheet No. _____
 C203
 CIVIL



THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- G — EXISTING GAS
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. WL — EXISTING WATER LINE
- EX. RCP — EXISTING STORM SEWER LINE
- G — PROPOSED GAS
- P — PROPOSED POWER
- T — PROPOSED TELEPHONE

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. ALL BUILDINGS — CONSTRUCTION TYPE IS II-B

CAUTION

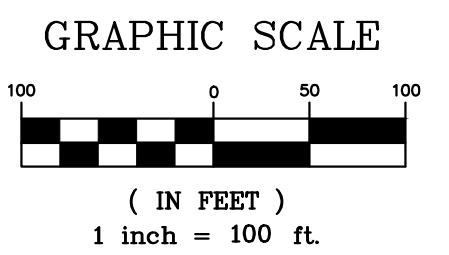
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KEYED NOTE:

- ① EXISTING FIRE HYDRANT
- ② NEW FIRE HYDRANT W/6" GATE VALVE (PRIVATE) PER COA STD DWG 2340 AND 2344
- ③ PROPOSED BACKFLOW PREVENTER AND HOT BOX
- ④ 6" METER BOX
- ⑤ STAND PIPE WITH FDC
- ⑥ REMOVE AND REPLACE EXIST ASPHALT PER COA STD DWG 2465 (25'X20')
- ⑦ IRRIGATION METER
- ⑧ 3/4" DOMESTIC WL SERVICE AND METER BOX



Revision No.

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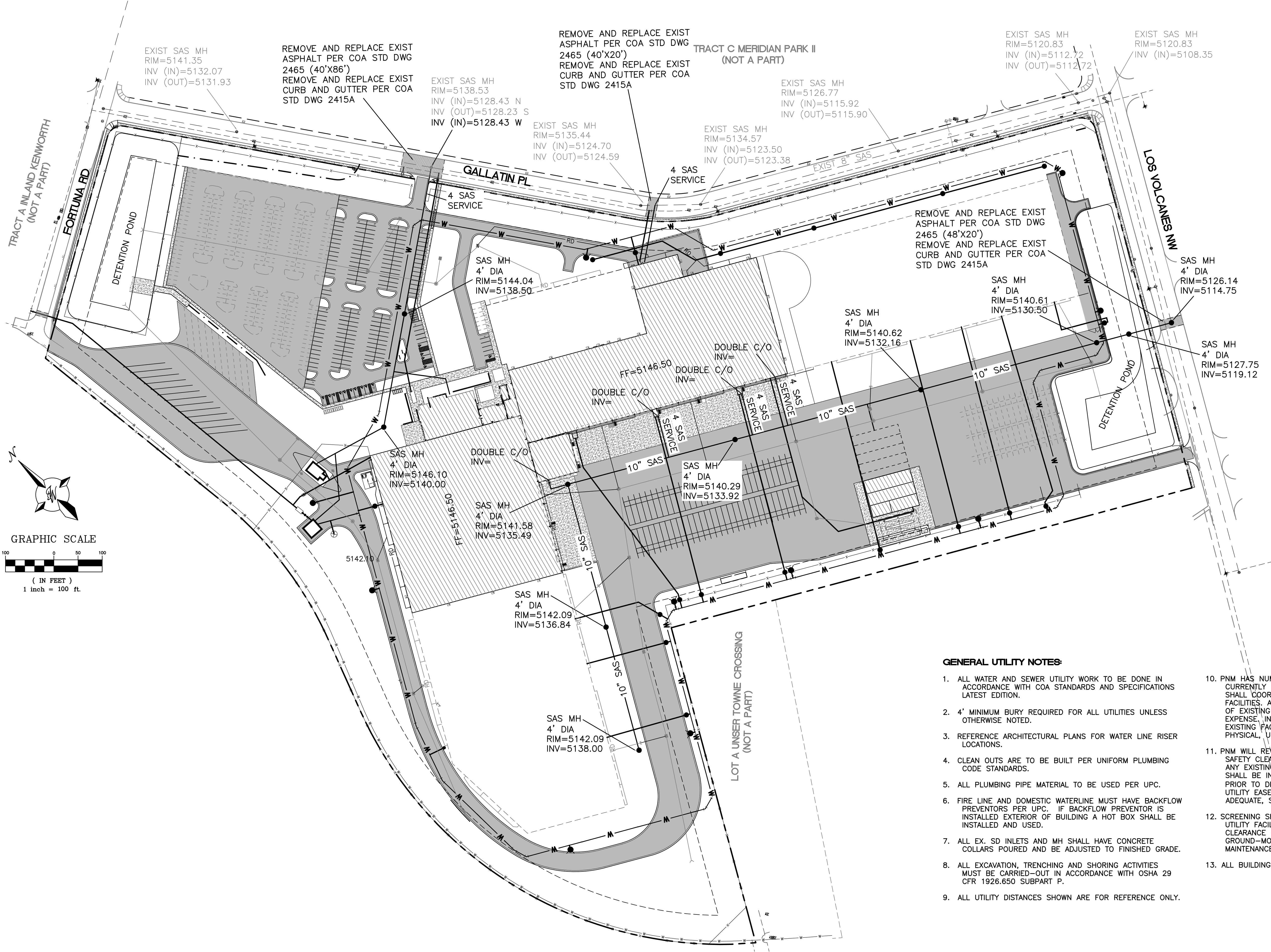
Sheet Title

MASTER UTILITY
PLAN (SAS)

Sheet No.

C402

CIVIL



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	STORM SEWER LINE
	8" SAS
	8" WL
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	PROPOSED GAS
	PROPOSED POWER
	PROPOSED TELEPHONE

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