

Zone Location Maps M-09-Z / L-09-Z

PROJECT NUMBER: 2018 - 001373  
 Application Number: SI-2018-00233

**DRB SITE DEVELOPMENT PLAN APPROVAL**

<i>Raymond M. Miller</i>	12/19/18
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>Christy Cochran</i>	11-19-18
ABCWUA	DATE
N/A	DATE
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	12/19/18
CITY ENGINEERING / HYDROLOGY	DATE
<i>[Signature]</i>	12/19/18
CODE ENFORCEMENT	DATE
N/A	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
<i>[Signature]</i>	12-19-18
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	12-27-18
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**WESTGATE COMMUNITY CENTER • CONCEPTUAL SITE PLAN**  
 1" = 50'-0"

**PROJECT SUMMARY**

THE PROPOSED WESTGATE COMMUNITY CENTER BUILDING WILL BE APPROX. 35,400 GSF FACILITY, TO BE CONSTRUCTED IN PHASES. SEE THE COMMUNITY CENTER BUILDING PHASES / AREA LEGEND BELOW.

**COMMUNITY CENTER BUILDING AND SITE IMPROVEMENTS PHASES AND AREAS LEGEND:**

- PHASE 1 / AREA 1: 15,327 GSF: LOBBY, OFFICES, ACTIVITY ROOMS, COMPUTER ROOM, GAME ROOM AND FITNESS ROOM.
- FUTURE PHASE, AREA 2: 7,004 GSF: MEETING ROOMS AND WARMING KITCHEN.
- FUTURE PHASE, AREA 3: 2,717 GSF: HEADSTART CLASSROOMS.
- FUTURE PHASE, AREA 4: 9,345 GSF: GYMNASIUM

TOTAL BUILDING AREA FOR ALL PHASE 1 AND FUTURE PHASE BUILDING AREAS: 35,400 GSF

**LEGEND**

- EXISTING CMU BLOCK WALL. (GREY COLOR)
- EXISTING CHAIN LINK FENCE.
- EXISTING WIRE FENCE.
- EXISTING PROPERTY LINE.
- AREA OF PROPOSED 24" WIDE PUBLIC SIDEWALK AND ROADWAY ACCESS EASEMENT.
- LIGHT POLE NOT TO EXCEED 25'
- LIGHT POLE NOT TO EXCEED 12'
- STEP LIGHT WITHIN 24" CONCRETE CUBE BOLLARD.
- FIRE HYDRANT.
- 24" GABION WALL. HEIGHT VARIES FROM 1'-0" TO 4'-0" ABOVE GRADE.
- CONCRETE PAVING (SIDEWALKS, CURB AND GUTTER, ETC.)
- 8" THICK AGGREGATE BASE COURSE COMPACTED TO 95% MIN. OVER EXISTING GRADE COMPACTED TO 95% MIN. ENGINEERED TO SUPPORT FIRE APPARATUS EQUIPMENT / VEHICLES (75,000 LBS).

**ZONING LEGEND**

ZONE: NR-C	NON-RESIDENTIAL - COMMERCIAL
ZONE: R-T	RESIDENTIAL - TOWNHOUSE
ZONE: R-1B	RESIDENTIAL - SINGLE FAMILY
ZONE: R-1C	RESIDENTIAL - SINGLE FAMILY
ZONE: R-MC	MANUFACTURED HOME COMMUNITY
ZONE: MX-M	MIXED USE - MODERATE INTENSITY
ZONE: MX-L	MIXED USE - LOW INTENSITY
ZONE: NR-PO-A	NON-RESIDENTIAL - PARKS & OPEN SPACE, CITY OWNED OR MANAGED PARKS
UNCL	UNCLASSIFIED

**GENERAL NOTES**

- A. A CONDITIONAL USE APPLICATION FOR A COMMUNITY CENTER AND PARK AND RIDE IN THE NR-C ZONE WAS APPROVED BY THE ZONING HEARING EXAMINER. HEARING DATE: 9.18.18. SPECIAL EXCEPTION NO.: VA-2018-00054 PROJECT NO.: 2018-001373 THIS DRB APPLICATION IS ONLY FOR THE COMMUNITY CENTER.
- B. ALL SIDEWALKS, RAMPS, CURB CUTS, CURB AND GUTTER SHALL BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS: SIDEWALK (2430) RAMPS (2426 AND 2440) CURB CUTS (2426) CURB AND GUTTER (2415 A AND B)
- C. LIGHT FIXTURES SHALL HAVE FULL CUT-OFF SHIELDS SO THAT NO FUGITIVE LIGHT ESCAPES BEYOND THE PROPERTY LINE. ALL LIGHT FIXTURES SHALL BE SHIELDED ACCORDINGLY. MAXIMUM ILLUMINATION AT THE PROPERTY LINE IS NOT TO EXCEED 200 FOOT LAMBERTS. EXTERIOR LIGHTING IS TO BE EXTINGUISHED NO LATER THAN 11:00PM EXCEPT TO COMPLETE AN ACTIVITY THAT IS IN PROGRESS PRIOR TO 11:00PM. LIGHT FIXTURES SHALL BE LED, METAL HALIDE OR HALOGEN.
- D. LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

**SITE INFORMATION**

SITE AREA: 12.84 ACRES  
 UPC: 100905502447920905  
 LEGAL DESCRIPTION: TR OF LAND WITHIN NW/4 NW/4 EXC A S'WLY POR SEC 33 T10N22E (AKA PARCEL 1 SURVEY OF TOWN OF ATRISCO GRANT) CONT 12.8369 AC ML  
 ZONING: NR-C  
 LAND USE: COMMUNITY CENTER  
 COMMUNITY CENTER PARKING REQUIREMENTS [PER IDO TABLE 5-5-1]: 2 SPACES PER 1,000 GFA COMMUNITY CENTER AREA = 31,676 GSF. (31,676 / 1000) X 2 = 63,352 SPACES  
 DAY CARE PARKING REQUIREMENTS [PER IDO TABLE 5-5-1]: 1 SPACES PER 400 GFA DAYCARE CENTER AREA = 2,717. (2,717 / 400) = 6,7925 SPACES  
**TOTAL PARKING SPACES REQUIRED:** COMMUNITY CENTER PARKING (63,352) + DAYCARE PARKING (6,7925) = 70,115 = **70 SPACES**  
 MOTORCYCLE PARKING SPACES REQUIRED BASED ON 70 SPACES [PER IDO TABLE 5-5-4]: **3 SPACES**  
 ACCESSIBLE PARKING SPACES REQUIRED [PER NM BUILDING CODE TABLE 1106.1]: **8 SPACES (2 VAN ACCESSIBLE)**  
 ELECTRIC VEHICLE CHARGING STATION REQUIREMENTS: WHEN >200 SPACES PROVIDED = 2% OF TOTAL SPACES TO BE ELECTRIC CHARGING SINCE TOTAL NO. OF SPACES IS <200, NO ELECTRIC CHARGING STATIONS REQUIRED.  
**PARKING SPACES PROVIDED:** 123 FULL SIZE SPACES + 8 ACCESSIBLE SPACES (2 VAN ACCESSIBLE) + 3 MOTORCYCLE SPACES + 2 ELECTRIC VEHICLE CHARGING SPACES = **136 TOTAL SPACES PROVIDED**  
**BICYCLE PARKING SPACES REQUIRED:** [PER IDO TABLE 5-5-5]: 10% OF REQUIRED OFF-STREET PARKING SPACES. 70 REQUIRED VEHICULAR PARKING SPACES x (10) = 7 REQUIRED BICYCLE PARKING SPACES  
**BICYCLE PARKING SPACES PROVIDED:** 10 BICYCLE SPACES PROVIDED

**INDEX OF DRAWINGS**

1	AS-100	SITE PLAN
2	AS-101	ENLARGED SITE PLAN
3	AS-102	ENLARGED SITE PLAN
4	AS-103	SITE DETAILS, REFUSE ENCLOSURE, AND SIGNAGE
5	L-100	LANDSCAPE PLAN
6	L-101	ENLARGED LANDSCAPE PLAN (SOUTH)
7	L-102	ENLARGED LANDSCAPE PLAN (NORTH)
8	C-100	OVERALL GRADING AND DRAINAGE PLAN
9	C-101	GRADING AND DRAINAGE: SOUTH
10	C-102	GRADING AND DRAINAGE: EAST
11	C-103	GRADING AND DRAINAGE: WEST
12	C-200	UTILITY PLAN
13	A-200	EXTERIOR BUILDING ELEVATIONS - COMMUNITY CENTER RENDERING (8-1/2 X 11) ATTACHED SEPARATELY
14	R-100	

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**WESTGATE COMMUNITY CENTER**  
 10001 De Vargas Road SW, Albuquerque, New Mexico 87121  
 PROJECT ARCHITECT:  
 LEE GAMESKY, AIA  
 Date: 13 DECEMBER 2018  
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 DRB PROJECT NO.: 2018-001373

**SITE PLAN**  
 By: JPW  
 Sheet: Of:  
 SITE DEVELOPMENT PLAN  
**AS-100**

# GENERAL NOTES

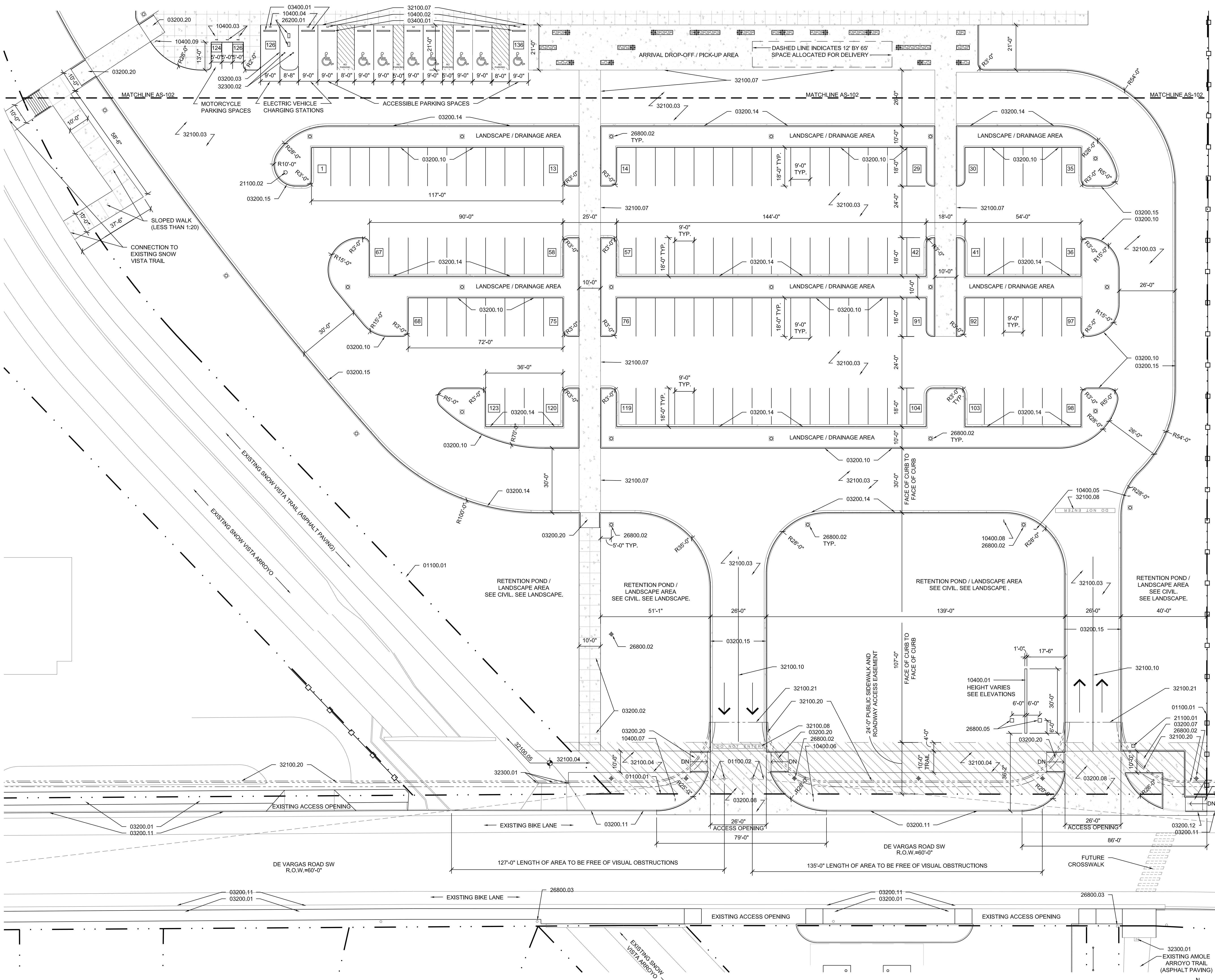
A. ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST 12" HIGH AND AT LEAST 2" WIDE, PLACED AT THE REAR OF THE PARKING SPACES

# KEYED NOTES

- 01100.01 PROPERTY LINE.
- 01100.02 DRIVER'S EYE POINT AND DASHED LINE USED TO ILLUSTRATE INTERSECTION SIGHT DISTANCE PER TABLE 3.9.5-2 MINIMUM INTERSECTION SIGHT DISTANCE IN DEVELOPMENT PROCESS MANUAL.
- 03200.01 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 03200.02 CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG. 2430.
- 03200.03 3000 PSI AIR-ENTRAINED CONCRETE ISLAND, 6" HIGH.
- 03200.08 CONCRETE PAVING PER CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOR PRIVATE ENTRANCE.
- 03200.10 CONCRETE HEADER CURB PER COA STANDARD DWG. 2415 B. SEE SITE DETAILS.
- 03200.11 EXISTING CONCRETE CURB AND GUTTER.
- 03200.12 CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE SPECIFICATIONS. REFER TO CITY STANDARD DETAIL 2415.
- 03200.13 FLUSH CONCRETE HEADER CURB. SEE SITE DETAILS.
- 03200.14 MEDIAN CURB AND GUTTER WITH OPENINGS FOR DRAINAGE INTO LANDSCAPE AREA.
- 03200.15 MEDIAN CURB AND GUTTER PER COA STANDARD DWG. 2415 B. SEE SITE DETAILS.
- 03200.20 ACCESSIBLE SIDEWALK RAMP WITH TRUNCATED DOMES. PER COA STANDARD DWGS. 2440 AND 2426.03400.01 6'-0" LONG PRECAST CONCRETE WHEEL STOP.
- 03400.01 6'-0" LONG PRECAST CONCRETE WHEEL STOP.
- 10400.01 COMMUNITY CENTER BUILDING IDENTIFICATION MONUMENT SIGNAGE (PREMISE ID / ADDRESS) WITH 10" HIGH CHARACTERS / 2" MIN. BRUSH STROKE PER FIRE ORDINANCE SECTION 505. LETTERS RECESSED WITHIN WALL. SEE SIGN ELEVATIONS.
- 10400.02 ADA ACCESSIBLE PARKING SIGN. SEE DETAIL A3/AS-103.
- 10400.03 MOTORCYCLE PARKING SIGN. SEE SIM. DETAIL A3/AS-103.
- 10400.04 ELECTRIC VEHICLE PARKING SIGN. SEE SIM. DETAIL A3/AS-103.
- 10400.05 DO NOT ENTER SIGNAGE (R5-1) PER COA TRAFFIC CONTROL SIGNING DWG. 2802 / MUTCD STANDARDS. SEE TYPICAL TRAFFIC SIGNAGE DETAIL A4/AS-103.
- 10400.06 NO RIGHT TURN SIGN (R3-1) PER COA TRAFFIC CONTROL SIGNING DWG. 2802 / MUTCD STANDARDS. SEE TYPICAL TRAFFIC SIGNAGE DETAIL A4/AS-103.
- 10400.07 NO LEFT TURN SIGN (R3-2) PER COA TRAFFIC CONTROL SIGNING DWG. 2802 / MUTCD STANDARDS. SEE TYPICAL TRAFFIC SIGNAGE DETAIL A4/AS-103.
- 10400.08 STOP SIGN (R1-1) AND NO RIGHT TURN SIGN (R3-1) PER MUTCD STANDARDS. SEE TYPICAL TRAFFIC SIGNAGE DETAIL A4/AS-103.
- 10400.09 SIGNAGE STATING "SERVICE VEHICLES ONLY". SEE TYPICAL TRAFFIC SIGNAGE DETAIL.
- 21100.01 EXISTING RELOCATED FIRE HYDRANT.
- 21100.02 FIRE HYDRANT.
- 26200.01 ELECTRIC VEHICLE RECHARGING STATION.
- 26800.02 LIGHT POLE, TYP. SEE LEGEND
- 26800.03 EXISTING LIGHT POLE.
- 26800.05 20" X 20" CONCRETE LIGHT BOLLARD. SEE DETAIL A3/A-200.
- 32100.03 ASPHALT PAVING PER COA STANDARD SPECIFICATIONS.
- 32100.04 ASPHALT PAVING. 10' WIDE BIKE TRAIL. PER COA STANDARD SPECIFICATIONS. PROVIDE CENTER YELLOW SKIP STRIPE AND SOLID WHITE LINES ON EDGES OF PAVING.
- 32100.05 EXISTING ASPHALT PAVING.
- 32100.07 CONCRETE PAVING FLUSH WITH SURFACE OF ASPHALT PAVING THIS LOCATION.
- 32100.08 DO TO ENTER MARKING PAINTED ON ASPHALT PAVING.
- 32100.10 LANE STRIPING AS INDICATED.
- 32100.20 LINES INDICATES CURB AND GUTTER OF FUTURE WIDENED ROAD ALONG DE VARGAS.
- 32100.21 LINE INDICATES EDGE OF FUTURE CONCRETE APRON / TRANSITION AT PRIVATE ENTRANCE.
- 32300.01 EXISTING STEEL PIPE BOLLARD.
- 32300.02 8" Ø STEEL PIPE BOLLARD FILLED WITH CONCRETE.
- 32900.01 GABION WALL. SEE LEGEND. SEE LANDSCAPING PLAN.

# LEGEND

- EXISTING CMU BLOCK WALL. (GREY BLOCK COLOR)
- EXISTING CHAIN LINK FENCE.
- x — EXISTING WIRE FENCE.
- · · — EXISTING PROPERTY LINE.
- · · — EXISTING UTILITY EASEMENTS.
- ⊙ SITE LIGHTING POLES NOT TO EXCEED 25'
- ⊕ SITE LIGHTING NOT TO EXCEED 12'
- ⊞ STEP LIGHT WITHIN 24" SQUARE CONCRETE POST
- FIRE HYDRANT.
- ▨ GABION WALL. HEIGHT VARIES FROM 1'-0" TO 4'-0" ABOVE GRADE.
- ▨ CONCRETE PAVING (SIDEWALKS, CURB AND GUTTER, ETC.)
- ▨ 8" THICK AGGREGATE BASE COURSE COMPACTED TO 95% MIN. OVER EXISTING GRADE COMPACTED TO 95% MIN. ENGINEERED TO SUPPORT FIRE APPARATUS EQUIPMENT / VEHICLES (75,000 LBS).
- ▨ AREA OF PUBLIC SIDEWALK AND ROADWAY ACCESS EASEMENT.

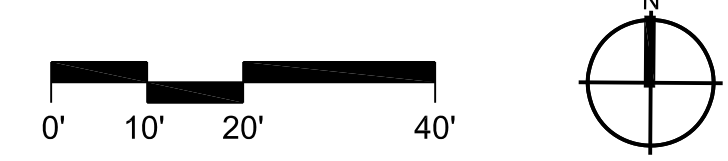


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**WESTGATE COMMUNITY CENTER**  
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 PROJECT ARCHITECT:  
**LEE GAMELSKY, AIA** Date: 13 DECEMBER 2018  
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 DRB PROJECT NO.: 2018-001373

**ENLARGED SITE PLAN**

By: JPW	Sheet: Of:
SITE DEVELOPMENT PLAN	<b>AS-101</b>



# GENERAL NOTES

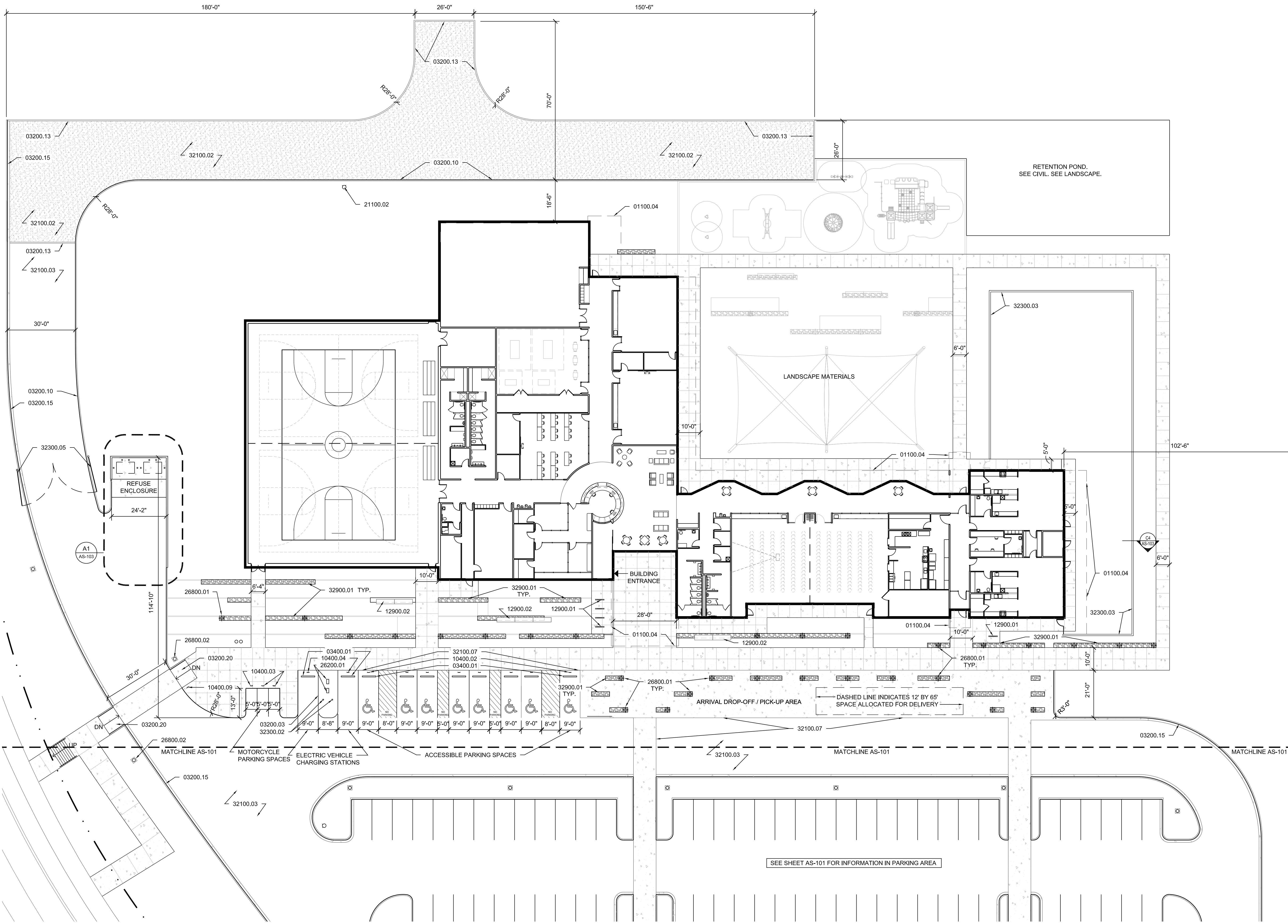
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- 01100.01 PROPERTY LINE.
- 01100.04 DASHED LINE INDICATES OVERHANG OF BUILDING ABOVE.
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- 03200.11 EXISTING CONCRETE CURB AND GUTTER.
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- 12900.01 BIKE RACK. SEE DETAIL C3 / AS-103.
- 12900.02 BENCH.
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- 32100.07 CONCRETE PAVING FLUSH WITH SURFACE OF ASPHALT PAVING THIS LOCATION.
- 32300.01 EXISTING STEEL PIPE BOLLARD.
- 32300.02 8" Ø STEEL PIPE BOLLARD FILLED WITH CONCRETE.
- 32300.03 4'-0" HIGH CORRUGATED METAL PANEL FENCE.
- 32300.05 STEEL PIPE SWING GATE. SIMILAR TO CITY OF ALBUQUERQUE STANDARD DETAIL DWG. 2251.
- 32900.01 GABION WALL. SEE LEGEND. SEE LANDSCAPING PLAN.

# LEGEND

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- EXISTING CHAIN LINK FENCE.
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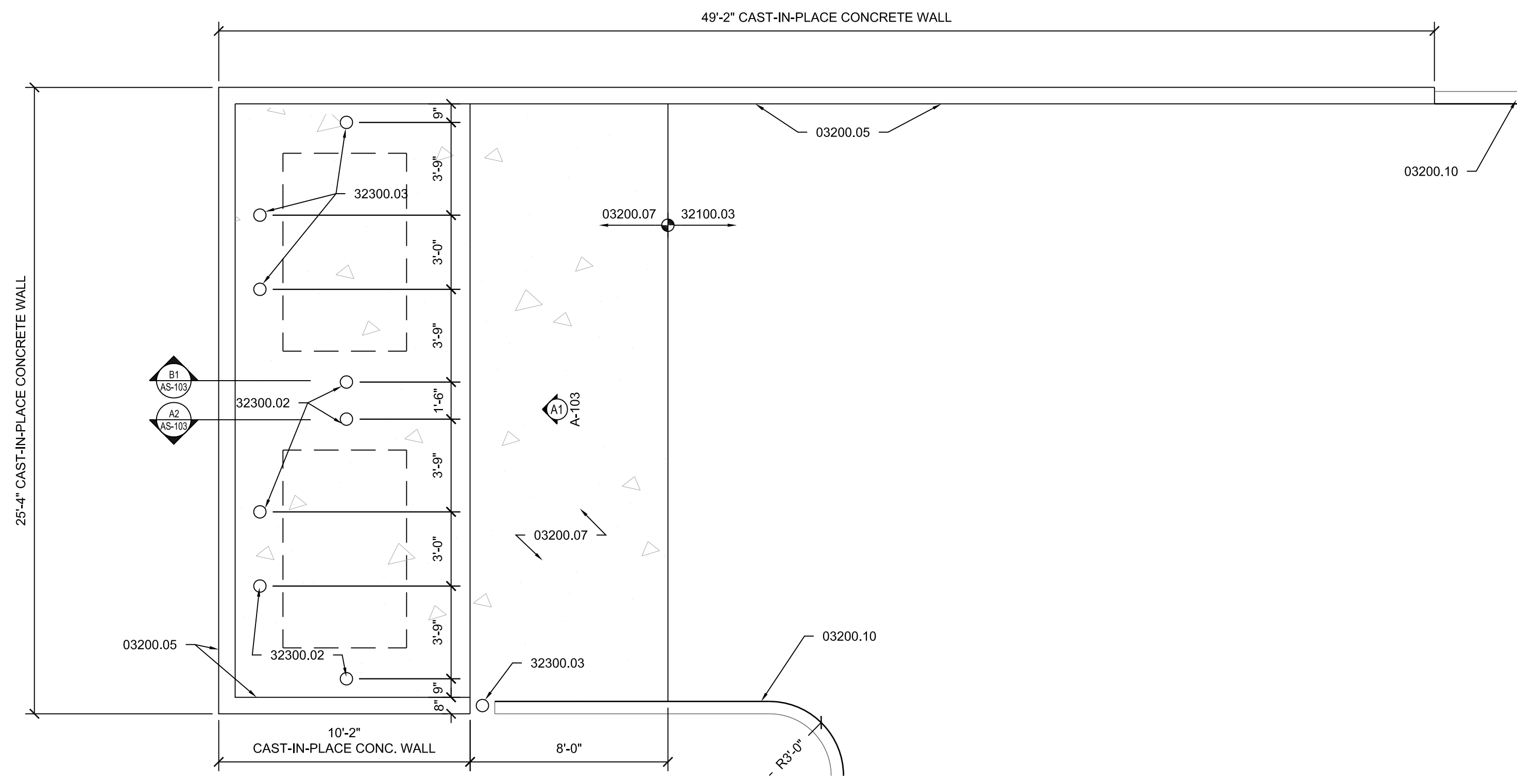
## WESTGATE COMMUNITY CENTER

10001 De Vargas Road SW, Albuquerque, New Mexico 87121

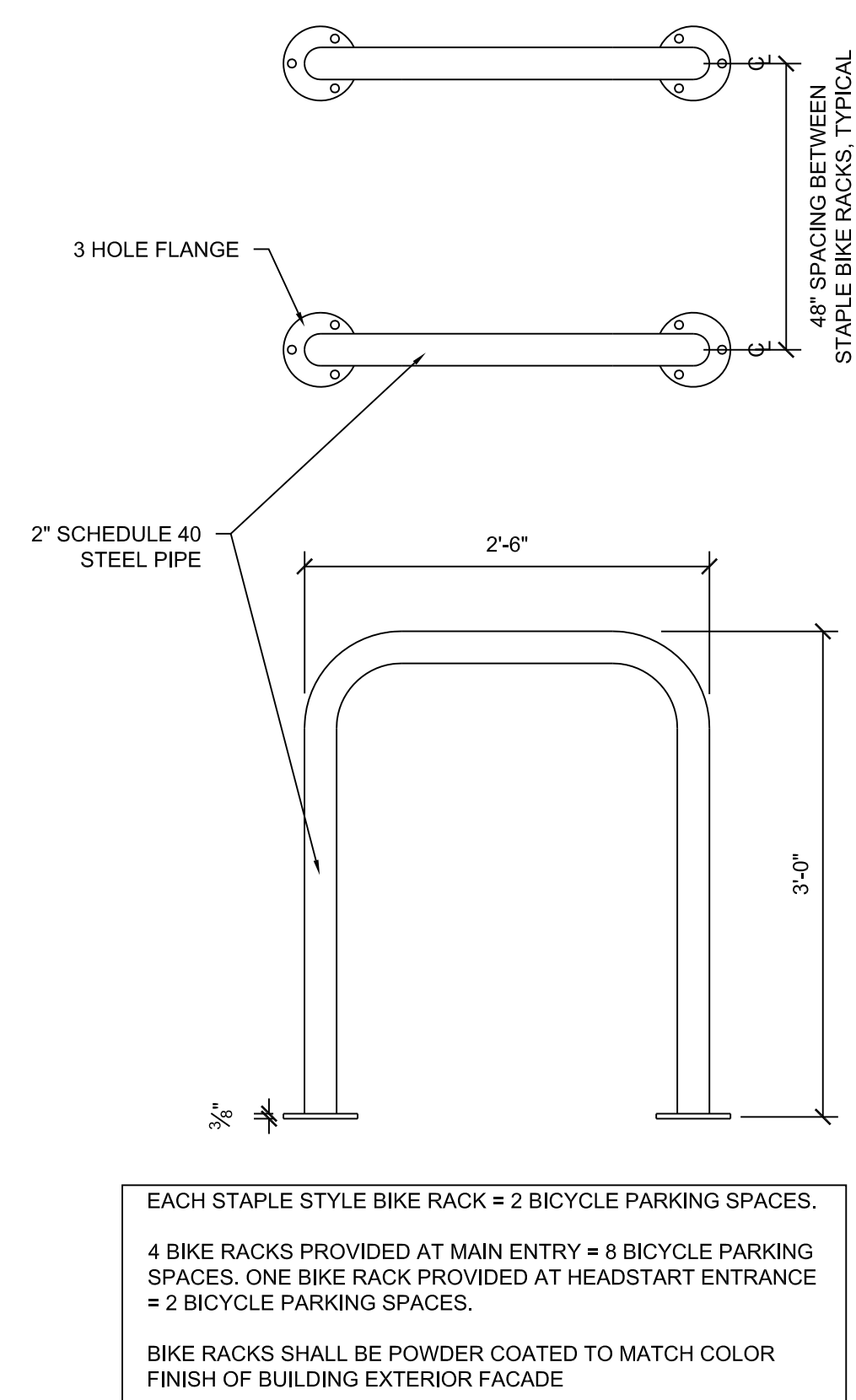
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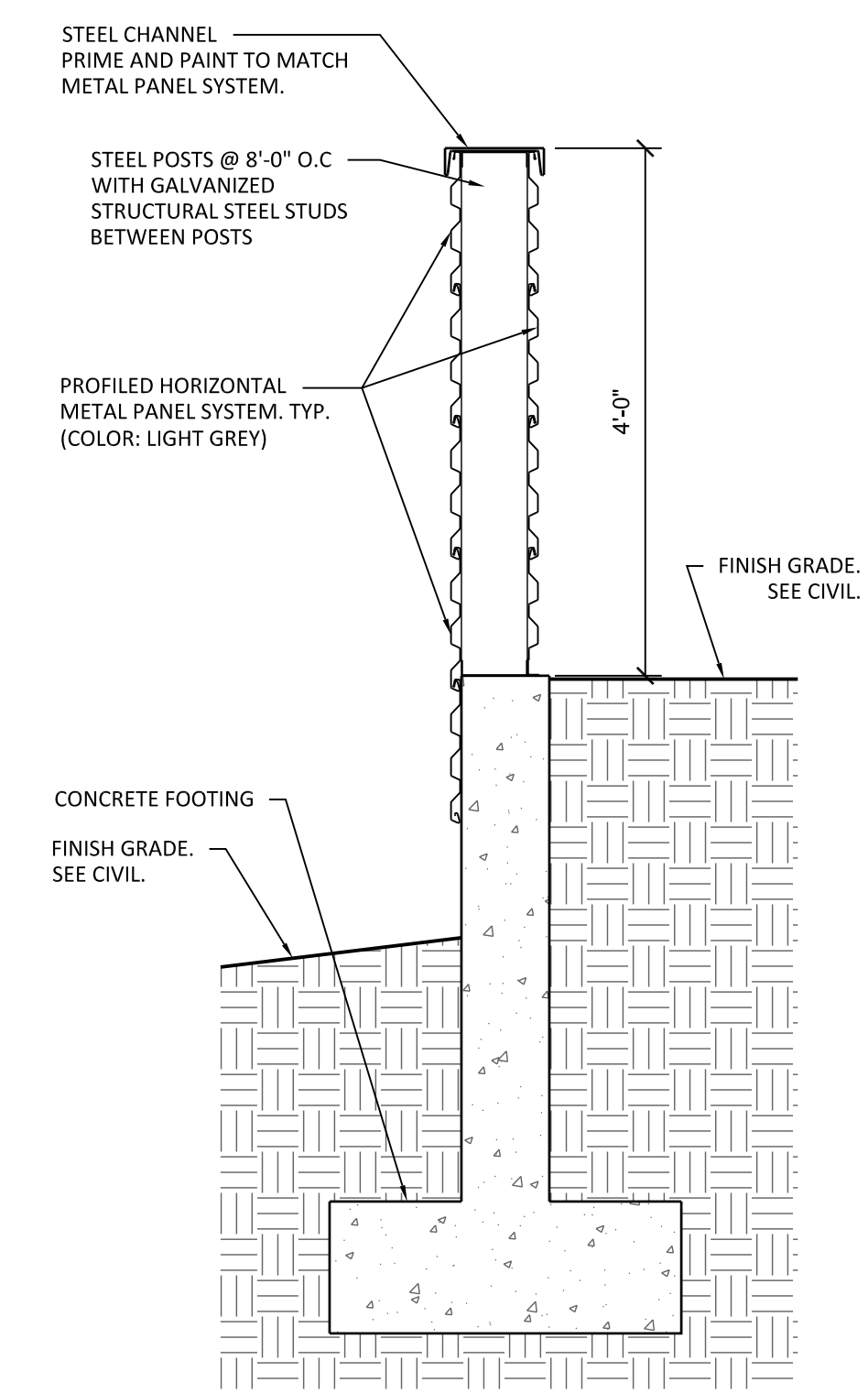
## ENLARGED SITE PLAN



**C1** REFUSE ENCLOSURE PLAN  
1/4" = 1'-0"



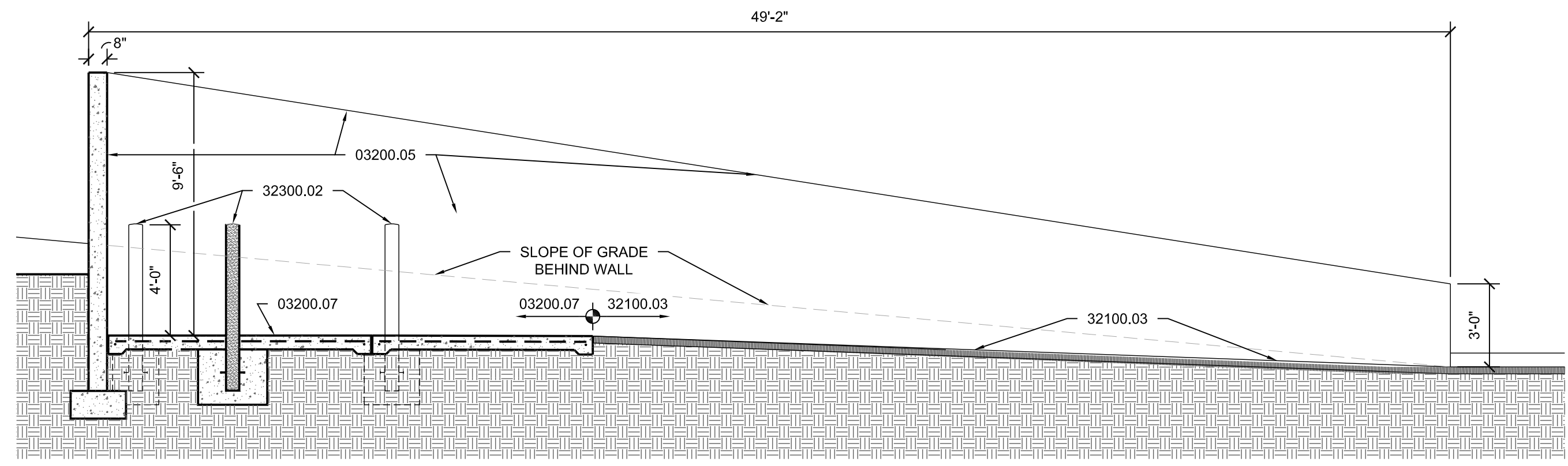
**C3** BIKE RACK DETAILS  
NTS



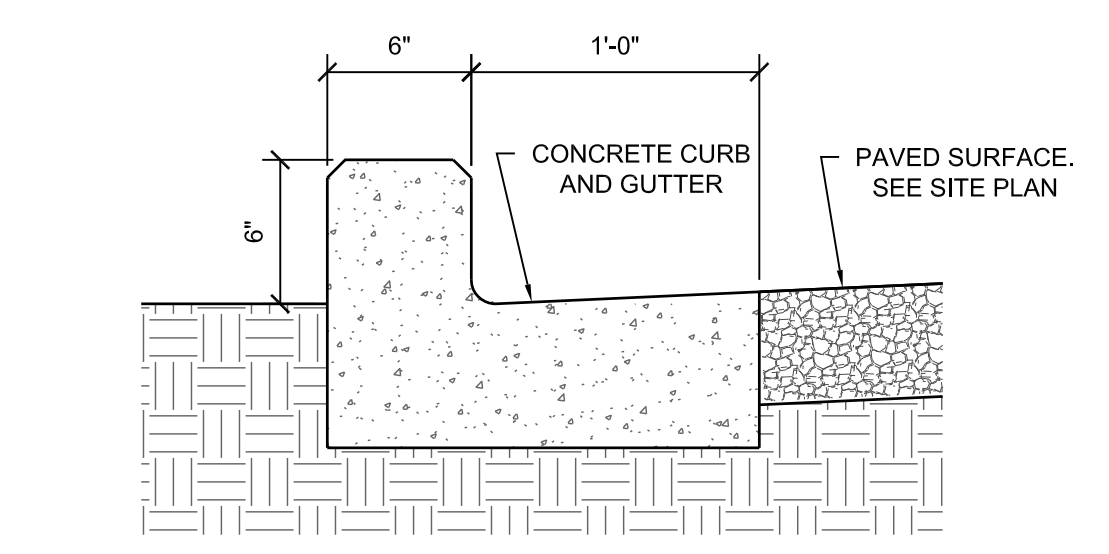
**C4** PROFILED HORIZONTAL METAL PANEL FENCE SYSTEM - TYP. DETAIL  
3/4" = 1'-0"

**KEYED NOTES**

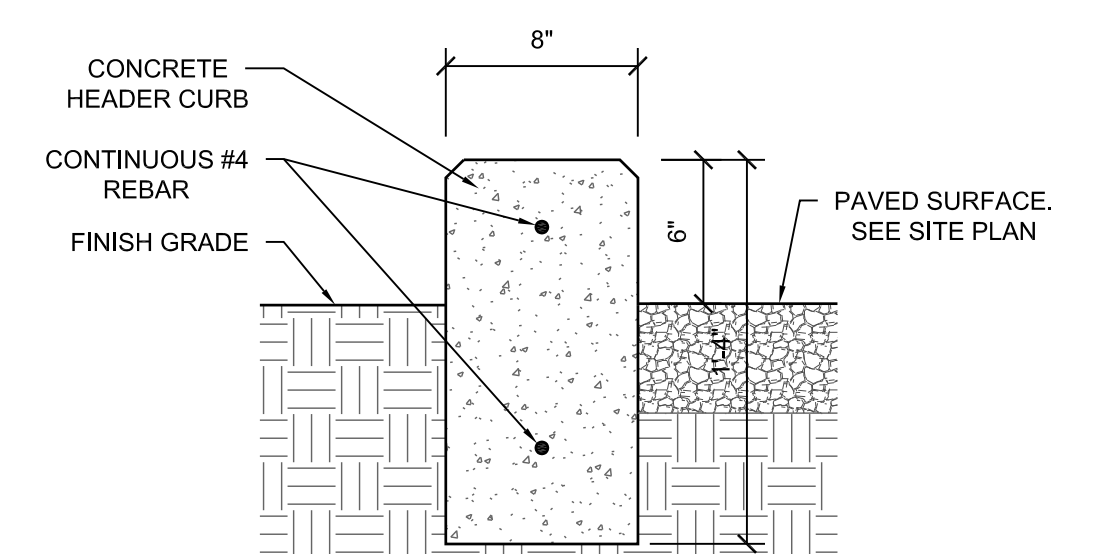
- 03200.05 CAST-IN-PLACE CONCRETE WALL.
- 03200.07 CONCRETE PAVING. AIR-ENTRAINED, 4000 PSI.
- 03200.08 CONCRETE PAVING PER CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOR PRIVATE ENTRANCE.
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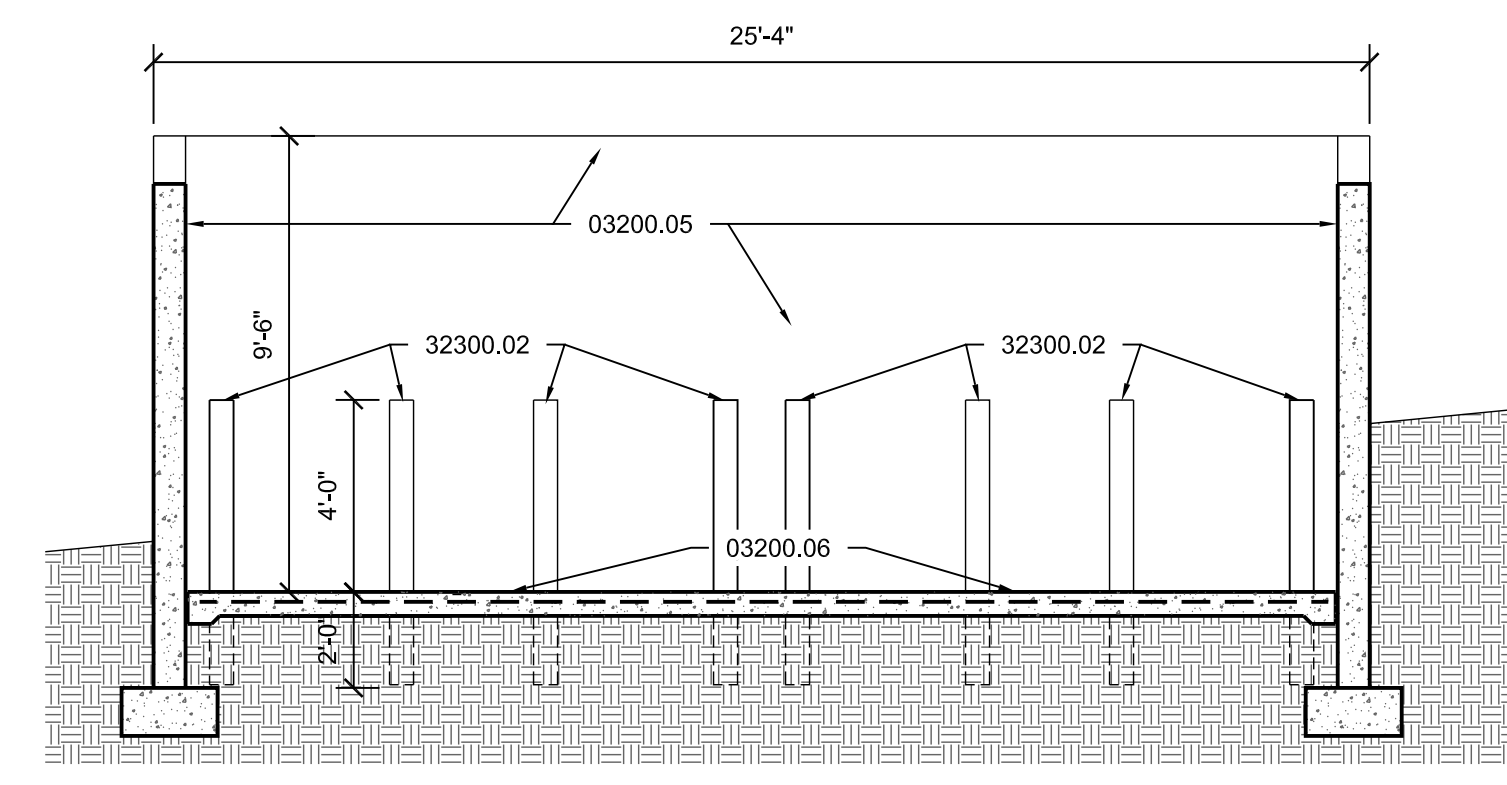
**B1** REFUSE ENCLOSURE SECTION / ELEVATION  
1/4" = 1'-0"



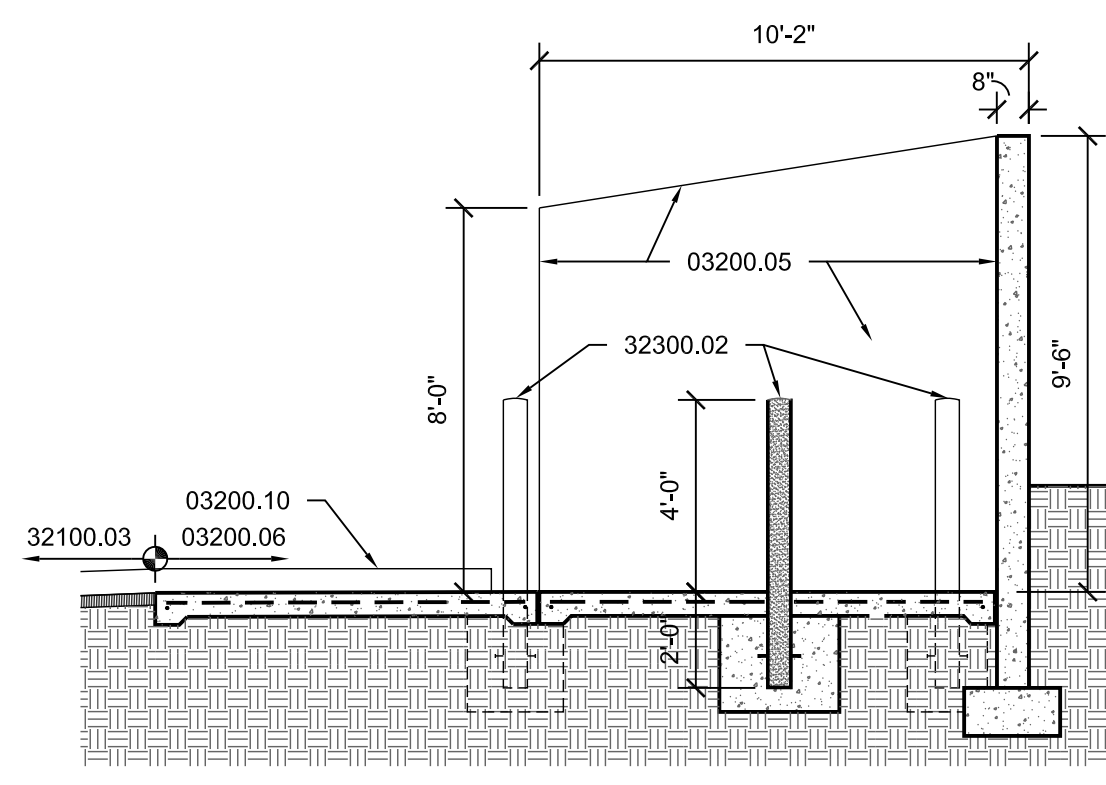
**B3** TYP. MEDIAN CURB AND GUTTER DETAIL  
1 1/2" = 1'-0" COA STANDARD DWG. # 2415 B



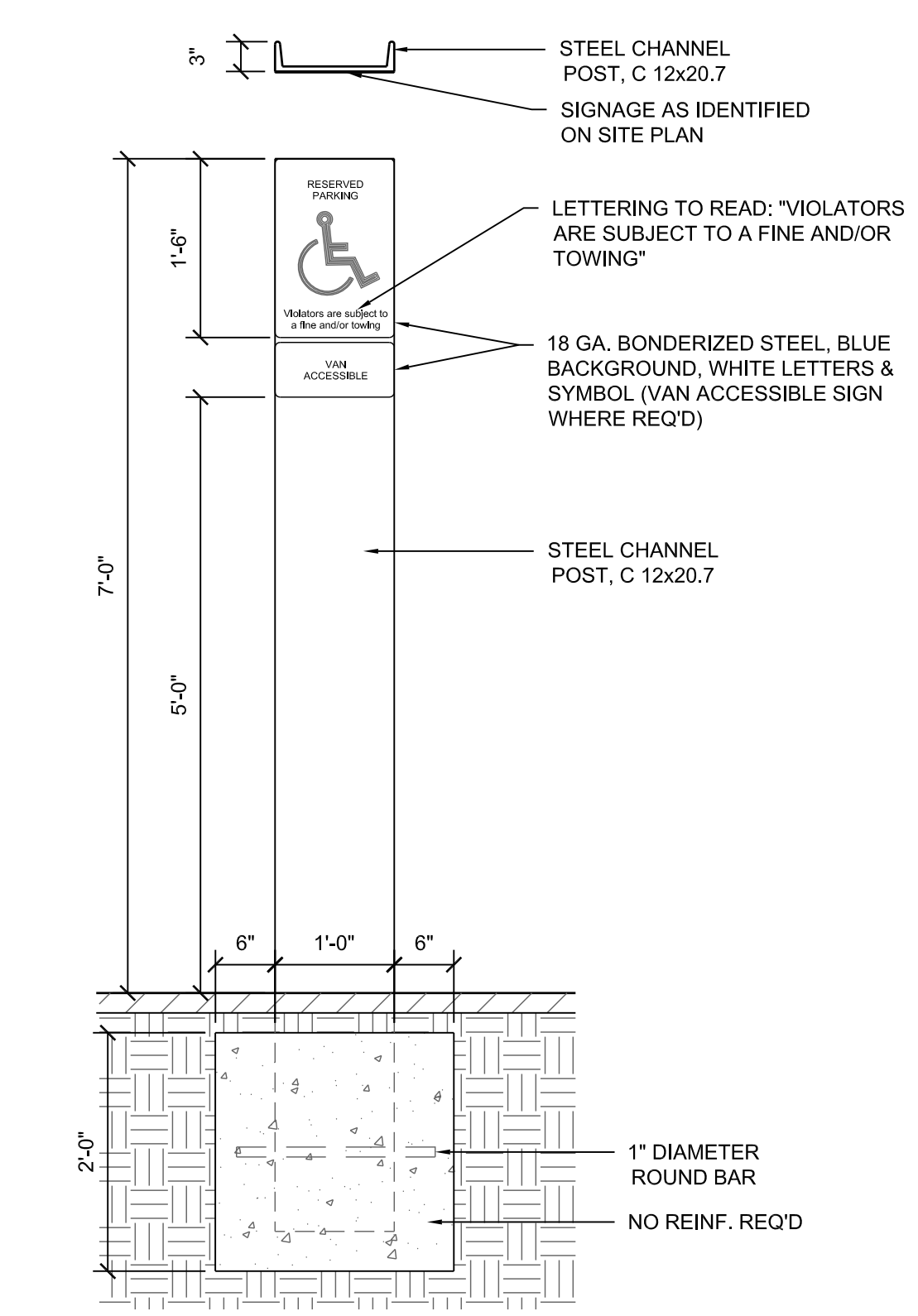
**B4** TYP. HEADER CURB DETAIL  
1 1/2" = 1'-0" COA STANDARD DWG. # 2415 B



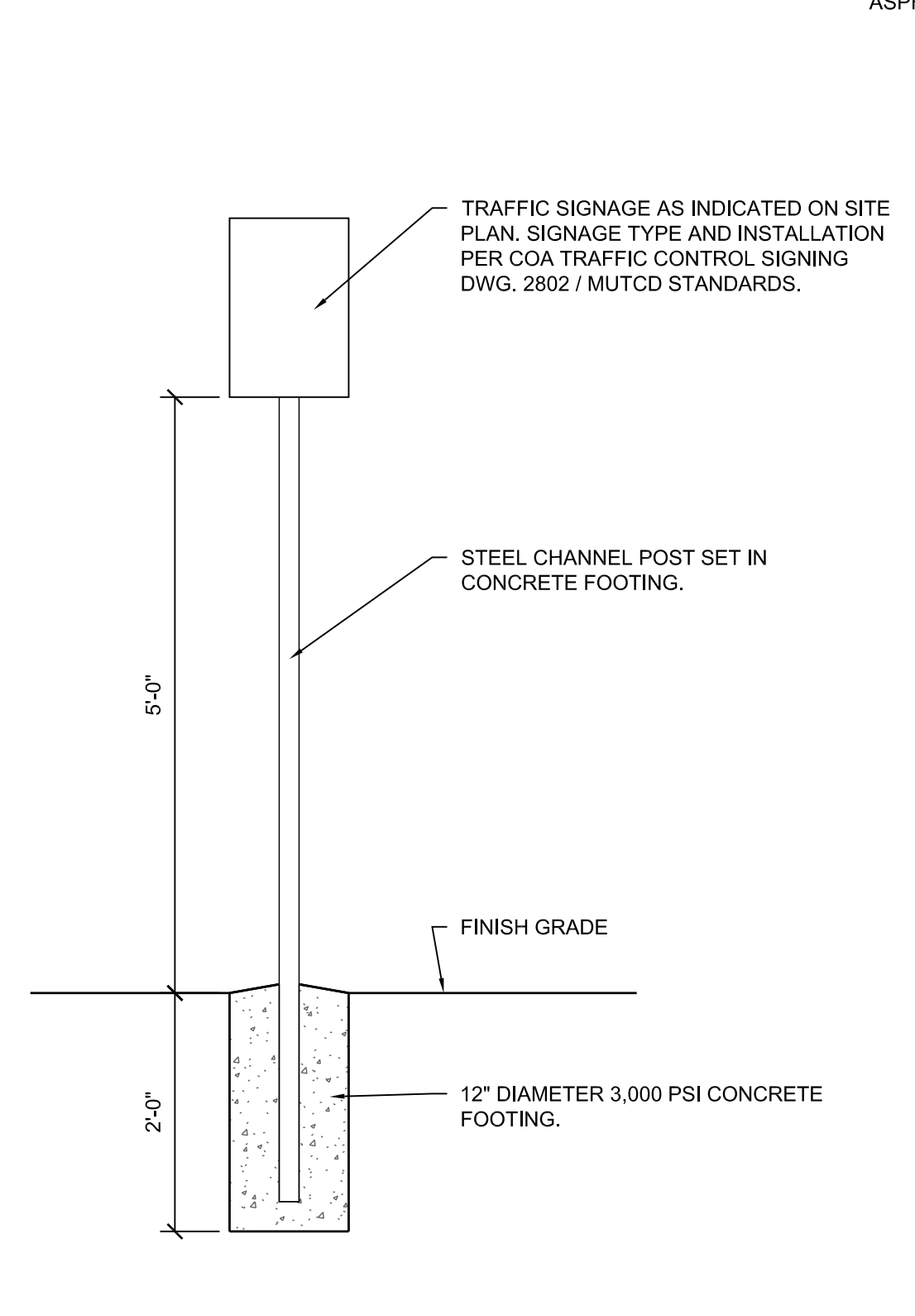
**A1** REFUSE ENCLOSURE SECTION / ELEVATION  
1/4" = 1'-0"



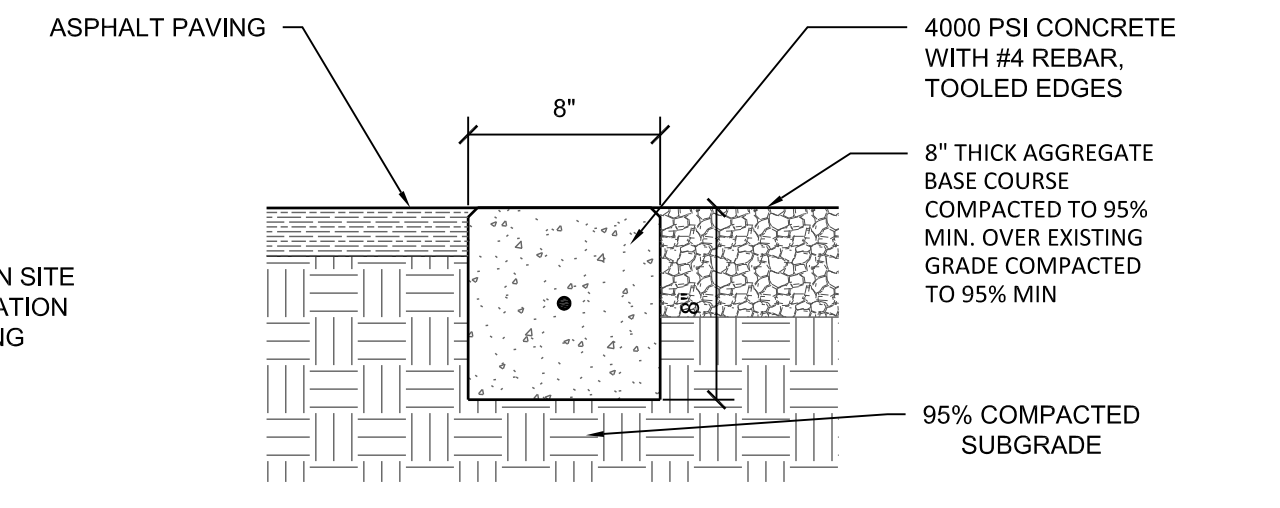
**A2** REFUSE ENCLOSURE SECTION / ELEVATION  
1/4" = 1'-0"



**A3** TYP. PARKING SIGN ELEV. / PLAN DETAIL  
3/4" = 1'-0"



**A4** TYP. TRAFFIC SIGN DETAIL.  
3/4" = 1'-0"



**B5** FLUSH CURB DETAIL  
1 1/2" = 1'-0"

LEE GAMESKY ARCHITECTS P.C.

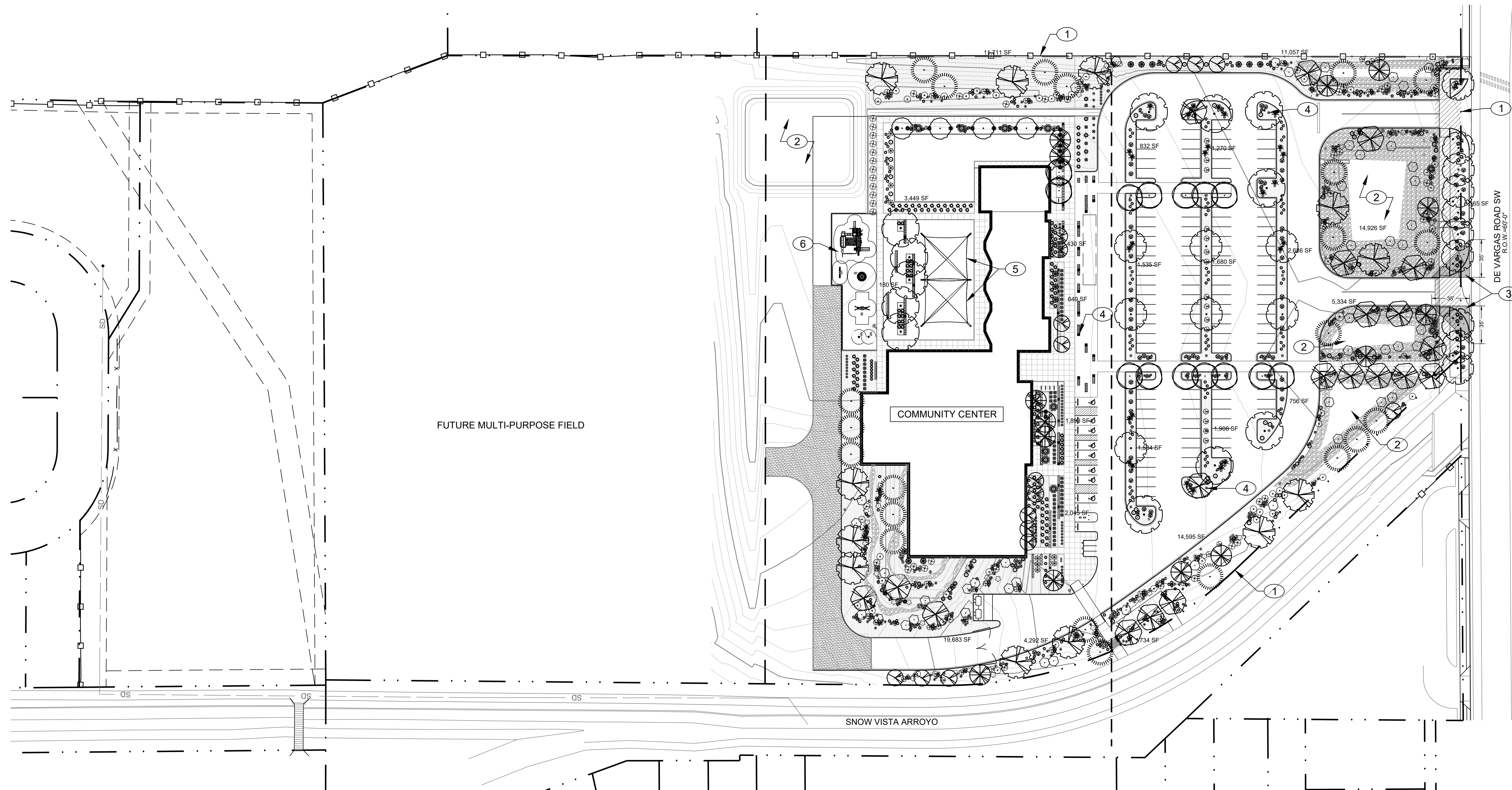
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**WESTGATE COMMUNITY CENTER**  
10001 De Vargas Road SW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT:  
LEE GAMESKY, AIA Date: 13 DECEMBER 2018

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
DRB PROJECT NO.: 2018-001373

**ENLARGED SITE PLAN AND SITE DETAILS**

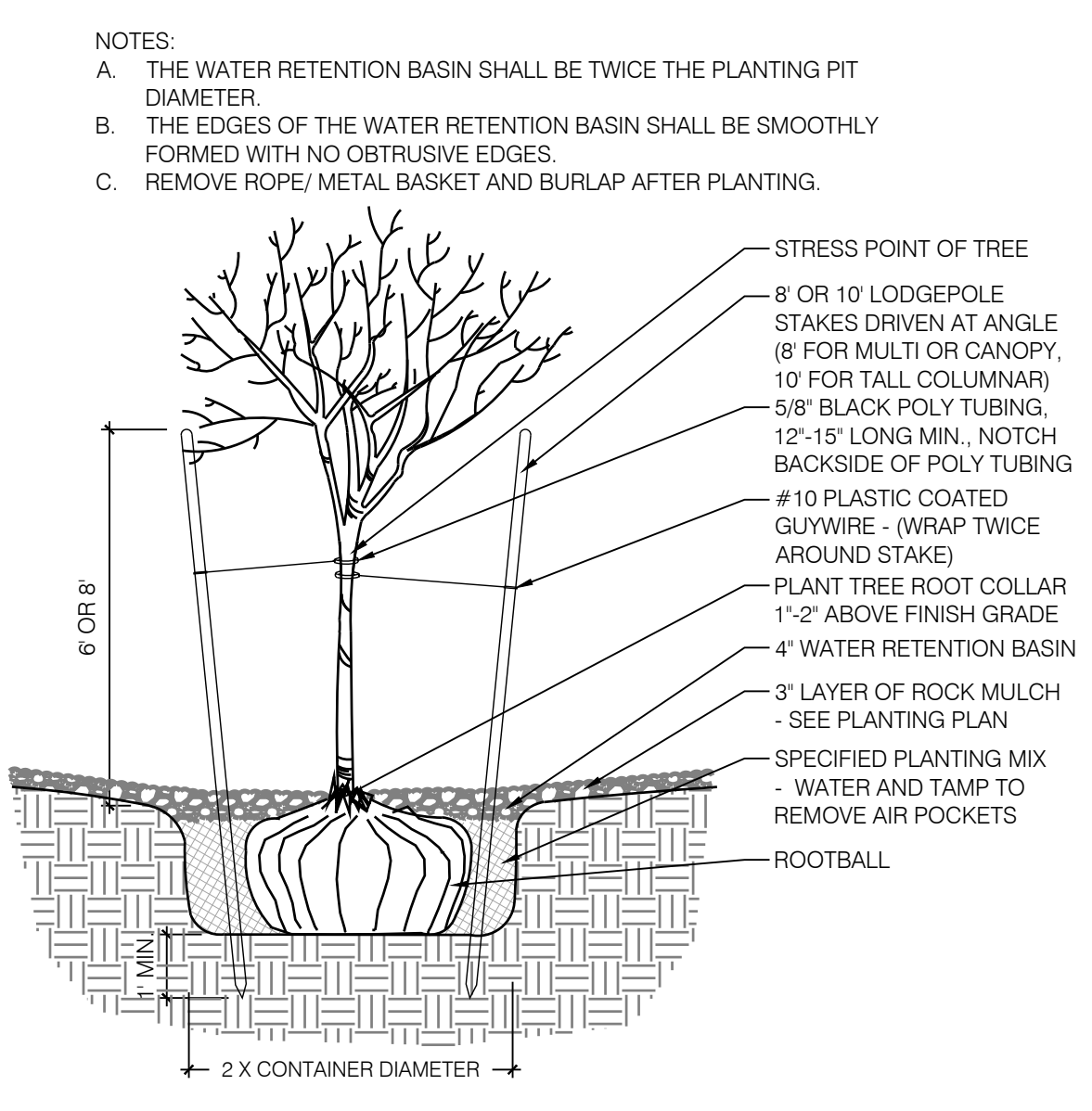


PLANT LEGEND				
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE MATURE SIZE
<b>TREES</b>				
16		CERCIS RENIFORMIS 'OKLAHOMA' OKLAHOMA REDBUD (M)	2.5' B&B	8' HT. X 4' SPR. 15 HT. X 15' SPR.
20		CHILOPSIS LINEARIS 'BUBBA' DESERT WILLOW (MULTI STEM) (RW)	24" BOX	6' HT. X 4' SPR. 20 HT. X 25' SPR.
30		GLEDITSIA TRIACANTHOS 'SKYLINE' SKYLINE HONEYLOCUST (M+)	2.5' B&B	8' HT. X 4' SPR. 12 HT. X 35' SPR.
12		JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER (L+)	B&B	6' HT. X 2' SPR. 40 HT. X 5' SPR.
22		PINUS NIGRA AUSTRIAN PINE (M+)	B&B	8' HT. X 4' SPR. 35 HT. X 25' SPR.
4		PYRUS CALLERYANA 'CLEVELAND SELECT' CLEVELAND SELECT FLOWERING PEAR (M+)	2.5' B&B	8' HT. X 4' SPR. 30 HT. X 15' SPR.
12		QUERCUS BUCKLEYI EMERALD SUNSHINE ELM (M)	2.5' B&B	8' HT. X 4' SPR. 35 HT. X 25' SPR.
14		ULMUS PROPINQUA 'JFS-BIEBERICH' EMERALD SUNSHINE ELM (M)	2.5' B&B	8' HT. X 4' SPR. 35 HT. X 25' SPR.
14		VITEX AGNUS-CASTUS CHASTETREE (MULTI STEM) (M)	24" BOX	6' HT. X 4' SPR. 20 HT. X 20' SPR.
<b>SHRUBS AND GROUNDCOVERS</b>				
91		ACHILLEA MOONSHINE MOONSHINE YARROW (M)	1-GAL.	2 HT. X 2' SPR.
39		BUDDLEIA DAVIDII 'BLACK KNIGHT' BLACK KNIGHT BUTTERFLY BUSH (M)	5-GAL.	7 HT. X 5' SPR.
80		CARYOPTERIS CLAN 'DARK KNIGHT' DARK KNIGHT SPIREA (L+)	5-GAL.	4 HT. X 4' SPR.
57		FALLUGIA PARADOXA APACHE PLUME (L)	5-GAL.	5 HT. X 5' SPR.
49		FORESTIERA NEOMEXICANA NEW MEXICO OLIVE (M)	5-GAL.	16 HT. X 14' SPR.
30		JUNIPERUS HORIZ 'BLUE CHIP' BLUE CHIP JUNIPER (L+)	5-GAL.	1' HT. X 7' SPR.
9		LAGERSTROEMIA INDICA 'DYNAMITE' DYNAMITE CRAPE MYRTLE (M)	15-GAL.	12 HT. X 6' SPR.
66		NEPETA HYBRID 'WALKERS LOW' WALKERS LOW CATMINT (L+)	1-GAL.	2 HT. X 3' SPR.
98		OENOTHERA BERLANDIERI NEW MEXICO PRIMROSE (L+)	1-GAL.	1' HT. X 3' SPR.
54		PINUS MUGO 'PUNILIO' DWARF MUGO PINE (M+)	5-GAL.	4 HT. X 4' SPR.
78		POTENTILLA FRUTICOSA 'JACKMANI' JACKMAN'S SHRUBBY CINQUEFOIL (M+)	5-GAL.	4 HT. X 4' SPR.
55		RHUS AROMATICA 'GRO-LOW' PROSTRATE SUMAC (L+)	5-GAL.	2 HT. X 8' SPR.
20		SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED CHERRY SAGE (L+)	3-GAL.	2 HT. X 3' SPR.
<b>DESERT ACCENTS</b>				
18		AGAVE HAVARDIANA HARVARD AGAVE (RW)	3-GAL.	3 HT. X 4' SPR.
12		AGAVE PERRYI VAR. TRUNCATA ARTICHOKE AGAVE (RW)	3-GAL.	2 HT. X 3' SPR.
22		DASYLIRION WHEELERI DESERT SPOON (RW)	5-GAL.	4 HT. X 4' SPR.
69		HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA (L+)	3-GAL.	3 HT. X 3' SPR.
13		YUCCA PENDULA SOFT LEAF YUCCA (L+)	5-GAL.	4 HT. X 5' SPR.
<b>ORNAMENTAL GRASSES</b>				
146		CALAMAGROSTIS A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS (M)	5-GAL.	30' HT. X 3' SPR.
213		MUHLENBERGIA C. 'REGAL MIST' MUHLY GRASS (M)	5-GAL.	3 HT. X 3' SPR.
37		SPOROBOLUS WRIGHTII 'LOS LUNAS' LOS LUNAS GIANT SACATON (M)	5-GAL.	8 HT. X 6' SPR.

MULCHES AND BOULDERS	
211	PUEBLO ROSE LANDSCAPE BOULDERS
25,776 - SF	AMARETTO BROWN CRUSHER FINES (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
58,938 - SF	3/4" COYOTE MIST CRUSHED GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
21,949 - SF	2"-4" PUEBLO ROSE ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)

# 1 WESTGATE COMMUNITY CENTER • LANDSCAPE PLAN

1" = 50'-0"



**GENERAL LANDSCAPE NOTES**  
**LANDSCAPE DESIGN**  
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH MULCHES AS DEFINED IN THE LEGEND AT RIGHT.

**IRRIGATION**  
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (3) .25 GPM BUBBLERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (1) .25 GPM BUBBLERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. THE IRRIGATION SYSTEM WILL BE DESIGNED IN ACCORDANCE WITH CITY OF ALBUQUERQUE DETAILS AND SPECIFICATIONS.

WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, A SEPARATE VALVE(S) WILL BE PROVIDED AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY.

**RESPONSIBILITY OF MAINTENANCE**  
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
 THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 10 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION**  
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE:**  
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**LANDSCAPE AREA COVERAGE**

TOTAL SITE AREA:	299,693 SF (6.88 AC)
BUILDING AREA (BUILDING ENVELOPE):	-34,399 BLDG ENVL SF
NET AREA:	265,294 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 39,794 SF  
 PROVIDED LANDSCAPE AREA 106,626 SF (40%)

**LANDSCAPE LIVE VEGETATIVE COVERAGE**  
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE 97,651 SF (91% OF LANDSCAPE AREA)  
 PROVIDED GROUND-LEVEL PLANT COVERAGE 24,435 SF (25% OF LIVE VEGETATIVE COVERAGE)

**LANDSCAPE TURF**  
 NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS. NO TURF GRASS IS USED.

**PARKING LOT AREA**  
 AT LEAST 10% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES, AND AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

WESTGATE COMMUNITY CENTER IS PROVIDING 133 PARKING SPACES.  
 TOTAL PARKING LOT AREA: 93,422 SF  
 LANDSCAPE AREA: 18,740 SF (20% OF PARKING LOT AREA)

**PARKING LOT TREES**  
 PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

WESTGATE COMMUNITY CENTER IS PROVIDING 133 PARKING SPACES.  
 PARKING LOT TREES REQUIRED: 14  
 PARKING LOT TREES PROVIDED: 16

**STREET TREES**  
 DE VARGAS ROAD REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C.

DE VARGAS ROAD SW FRONTAGE IS 297'.  
 STREET TREES REQUIRED: 12 (2 PROVIDED IN ADJACENT LANDSCAPE)  
 STREET TREES PROVIDED: 12

**WALKWAY TREES**  
 SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL PEDESTRIAN WALKWAYS.

**KEY NOTES:**

- PROPERTY BOUNDARY
- PONDING AREA, SEE CIVIL
- CLEAR SIGHT TRIANGLE
- SITE LIGHTING, TYP., SEE ARCHITECTURAL
- 40'X40' FABRIC SHADE STRUCTURE
- PLAY AREA WITH VARIOUS PLAY EQUIPMENT FOR AGES 2-5 AND 5-12 WITH ENGINEERED WOOD FIBER MULCH SURFACING.

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**WESTGATE COMMUNITY CENTER**

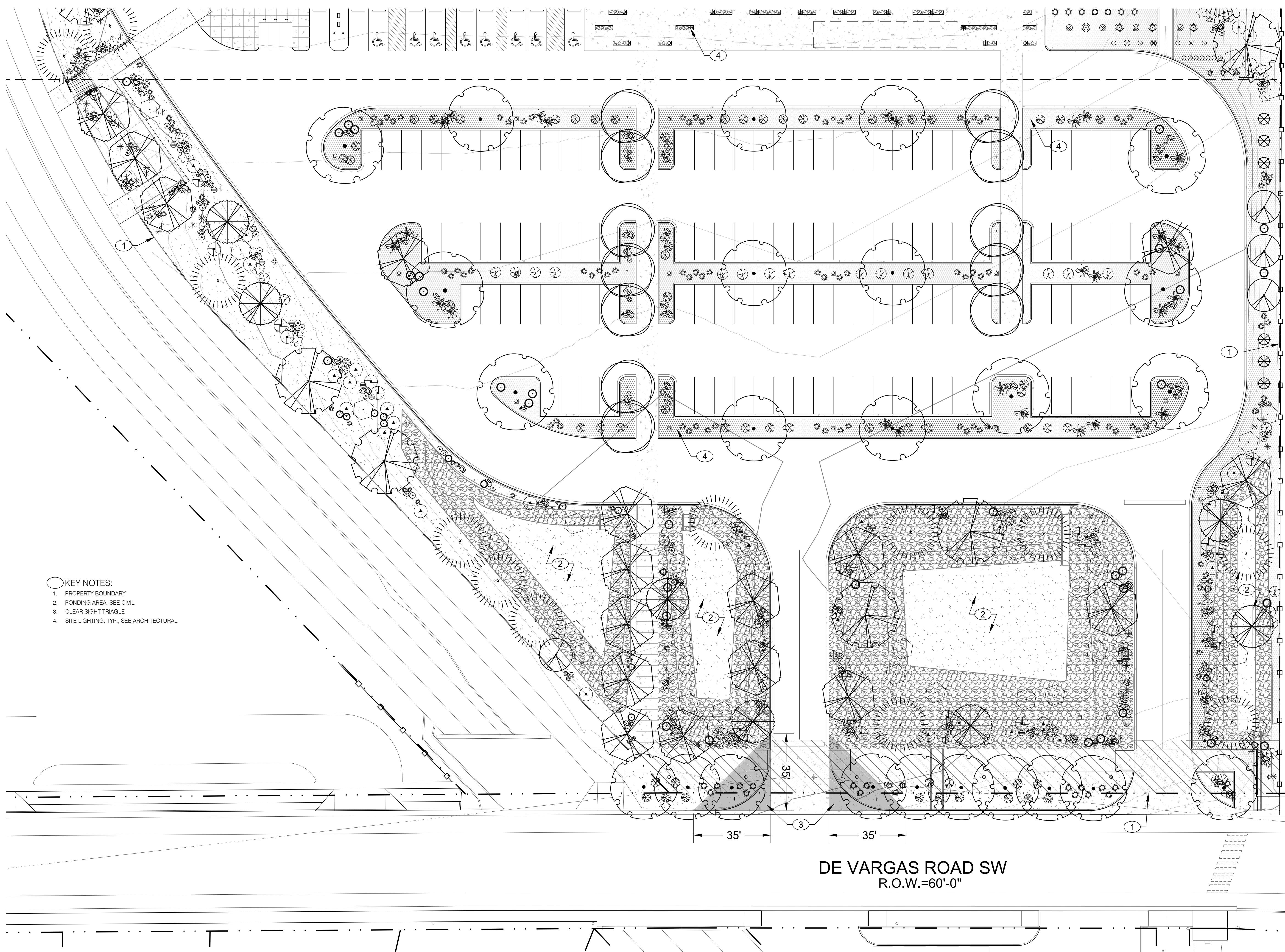
10001 De Vargas Road SW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT: LEE GAMESKY, AIA	Project #: Date: 13 DECEMBER 2018
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**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 DRB PROJECT NO.:**

**LANDSCAPE PLAN**

By: JPW	Sheet: Of:
<b>SITE DEVELOPMENT PLAN</b>	<b>L-100</b>



- KEY NOTES:**
1. PROPERTY BOUNDARY
  2. PONDING AREA, SEE CIVIL
  3. CLEAR SIGHT TRIANGLE
  4. SITE LIGHTING, TYP., SEE ARCHITECTURAL

**PLANT LEGEND**

SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE MATURE SIZE
<b>TREES</b>			
	CERCIS RENIFORMIS 'OKLAHOMA' OKLAHOMA REDBUD (M)	2.5' B&B	8 HT. X 4' SPR. 15 HT. X 15' SPR.
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	GLEDITSIA TRIACANTHOS 'SKYLINE' SKYLINE HONEYLOCUST (M+)	2.5' B&B	8 HT. X 4' SPR. 45 HT. X 35' SPR.
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	VITEX AGNIUS-CASTUS CHASTETREE (MULTI STEM) (M)	24' BOX	6 HT. X 4' SPR. 20 HT. X 20' SPR.
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	CARYOPTERIS CLAN 'DARK KNIGHT' DARK KNIGHT SPIREA (L+)	5-GAL	4 HT. X 4' SPR.
	FALLUGIA PARADOXA APACHE PLUME (L)	5-GAL	5 HT. X 5' SPR.
	FORESTIERA NEOMEXICANA NEW MEXICO OLIVE (M)	5-GAL	16 HT. X 14' SPR.
	JUNIPERUS HORIZ. BLUE CHIP BLUE CHIP JUNIPER (L+)	5-GAL	1' HT. X 7' SPR.
	LAGERSTROEMIA INDICA 'DYNAMITE' DYNAMITE CRAPE MYRTLE (M)	15-GAL	12 HT. X 6' SPR.
	NEPETA HYBRID WALKERS LOW WALKERS LOW CATMINT (L+)	1-GAL	2 HT. X 3' SPR.
	OENOTHERA BERLANDIERI NEW MEXICO PRIMROSE (L+)	1-GAL	1' HT. X 3' SPR.
	PINUS MUGO PUNILIO DWARF MUGO PINE (M+)	5-GAL	4 HT. X 4' SPR.
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<b>MULCHES AND BOULDERS</b>			
	211 PUEBLO ROSE LANDSCAPE BOULDERS		
	25,776 - SF AMARETTO BROWN CRUSHER FINES (3' DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)		
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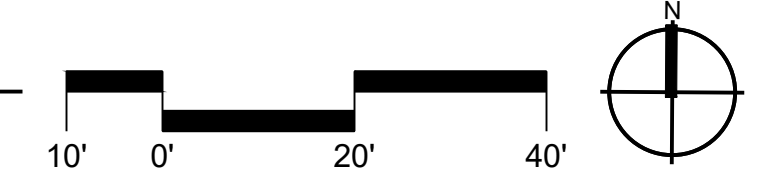
**WESTGATE COMMUNITY CENTER**

10001 De Vargas Road SW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT: LEE GAMESKY, AIA Project #: Date: 13 DECEMBER 2018

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
DRB PROJECT NO.:

ENLARGED LANDSCAPE PLAN - SOUTH

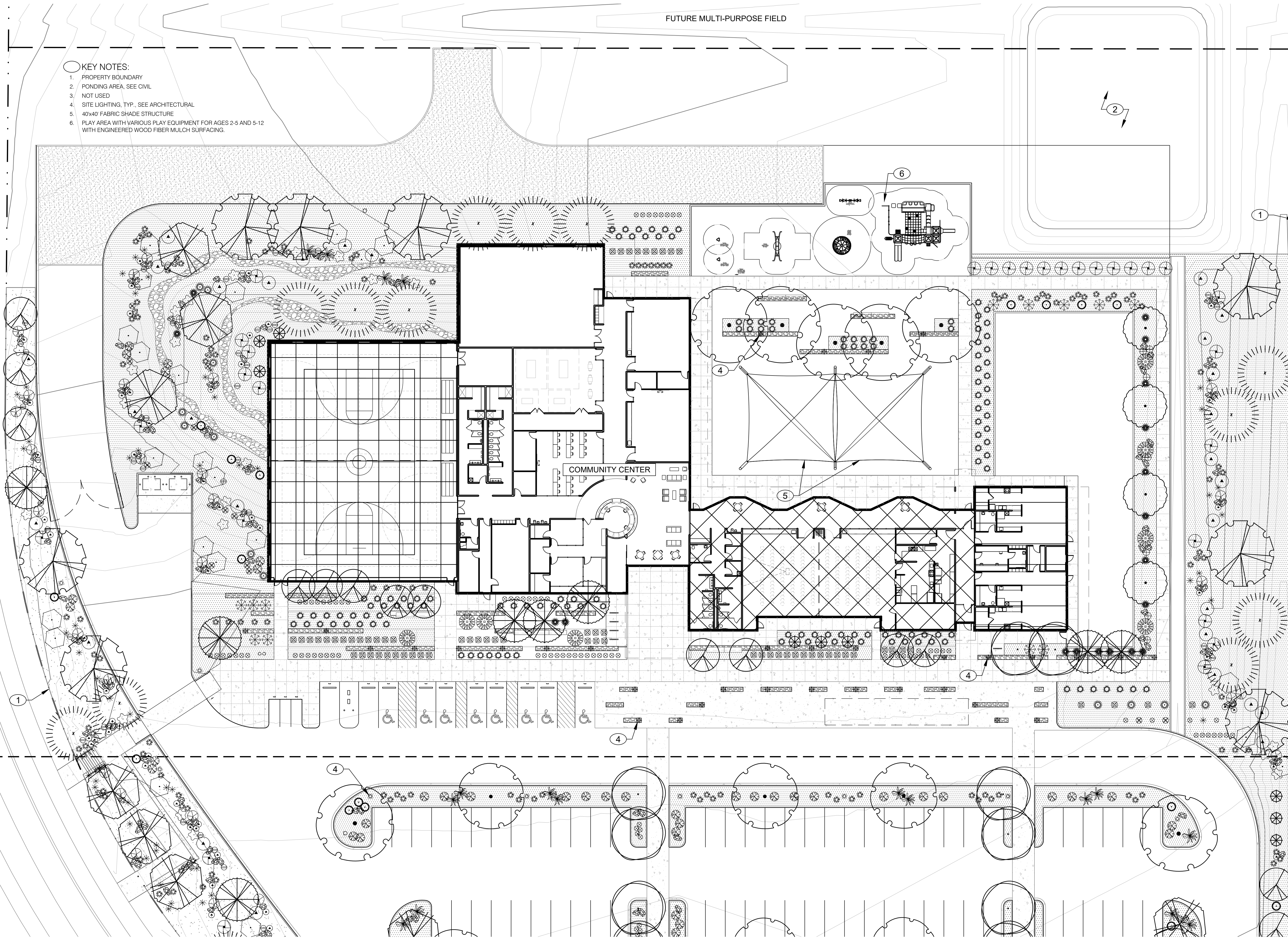


CONSENSUS PLANNING, INC.  
Planning / Landscape Architecture  
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Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

By: JPW	Sheet: Of:
SITE DEVELOPMENT PLAN	L-101

FUTURE MULTI-PURPOSE FIELD

- KEY NOTES:**
1. PROPERTY BOUNDARY
  2. PONDING AREA, SEE CIVIL
  3. NOT USED
  4. SITE LIGHTING, TYP., SEE ARCHITECTURAL
  5. 40x40 FABRIC SHADE STRUCTURE
  6. PLAY AREA WITH VARIOUS PLAY EQUIPMENT FOR AGES 2-5 AND 5-12 WITH ENGINEERED WOOD FIBER MULCH SURFACING.

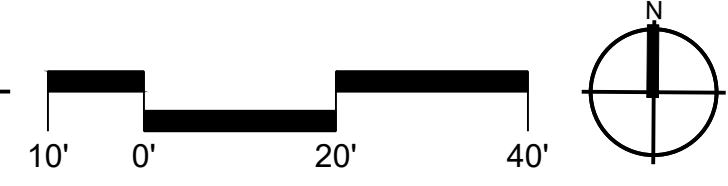


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**3 WESTGATE COMMUNITY CENTER • ENLARGED LANDSCAPE PLAN - NORTH**

1" = 20'-0"



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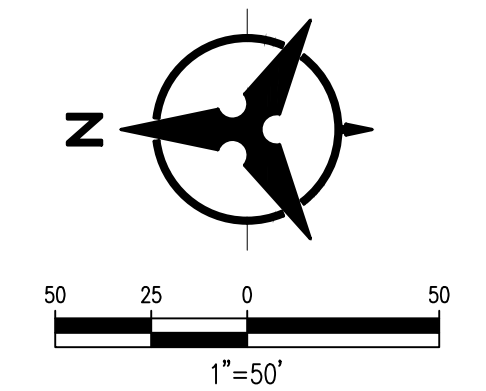
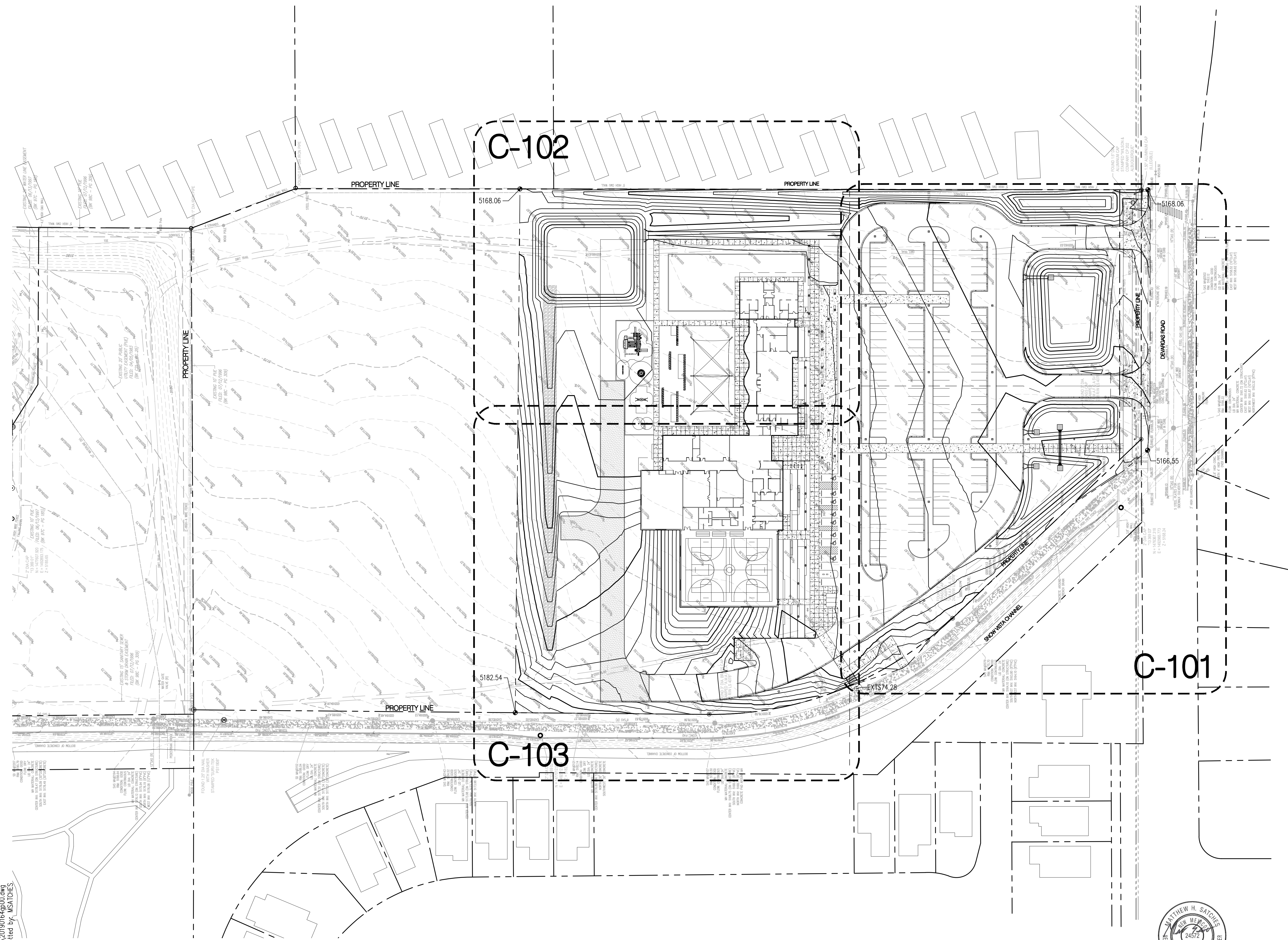
**WESTGATE COMMUNITY CENTER**  
 10001 De Vargas Road SW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT: LEE GAMELSKY, AIA	Project #: Date: 13 DECEMBER 2018
---	--------------------------------------

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 DRB PROJECT NO.:

**ENLARGED LANDSCAPE PLAN - NORTH**

By: JPW	Sheet: Of:
SITE DEVELOPMENT PLAN	L-102



**LEGEND**

- PROPERTY LINE
- LIMITS OF GRADING
- - - 5025 - - - EXISTING INDEX CONTOUR
- - - 5024 - - - EXISTING INTERMEDIATE CONTOUR
- EX5025.25 EXISTING GROUND SPOT ELEVATION
- 5025 — PROPOSED INDEX CONTOUR
- 5024 — PROPOSED INTERMEDIATE CONTOUR
- PROPOSED FINISHED GRADE SPOT ELEVATION  
 TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
- PROPOSED CURB & GUTTER
- S=2.0% — DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- ← SWALE FLOWLINE
- TOP OF BERM
- ~ GRADE BREAK

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 lee@lgam.com

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10001 De Vargas Road SW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT: LEE GAMESKY, AIA  
 PROJECT #: [blank]  
 Date: 13 DECEMBER 2018

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 DRB PROJECT NO.: [blank]

**OVERALL GRADING AND DRAINAGE PLAN**

By: JPW Sheet: Of:  
 SITE DEVELOPMENT PLAN C-100



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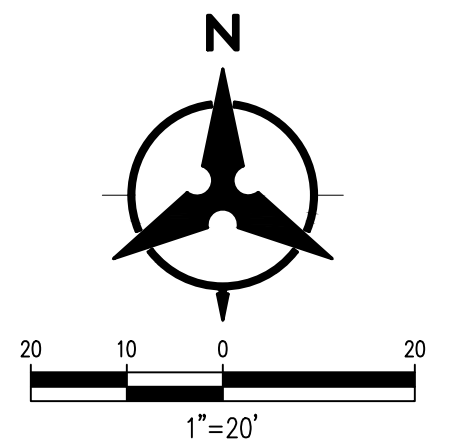
MATCHLINE C-103

MATCHLINE C-102

GRADING KEYED NOTES\*

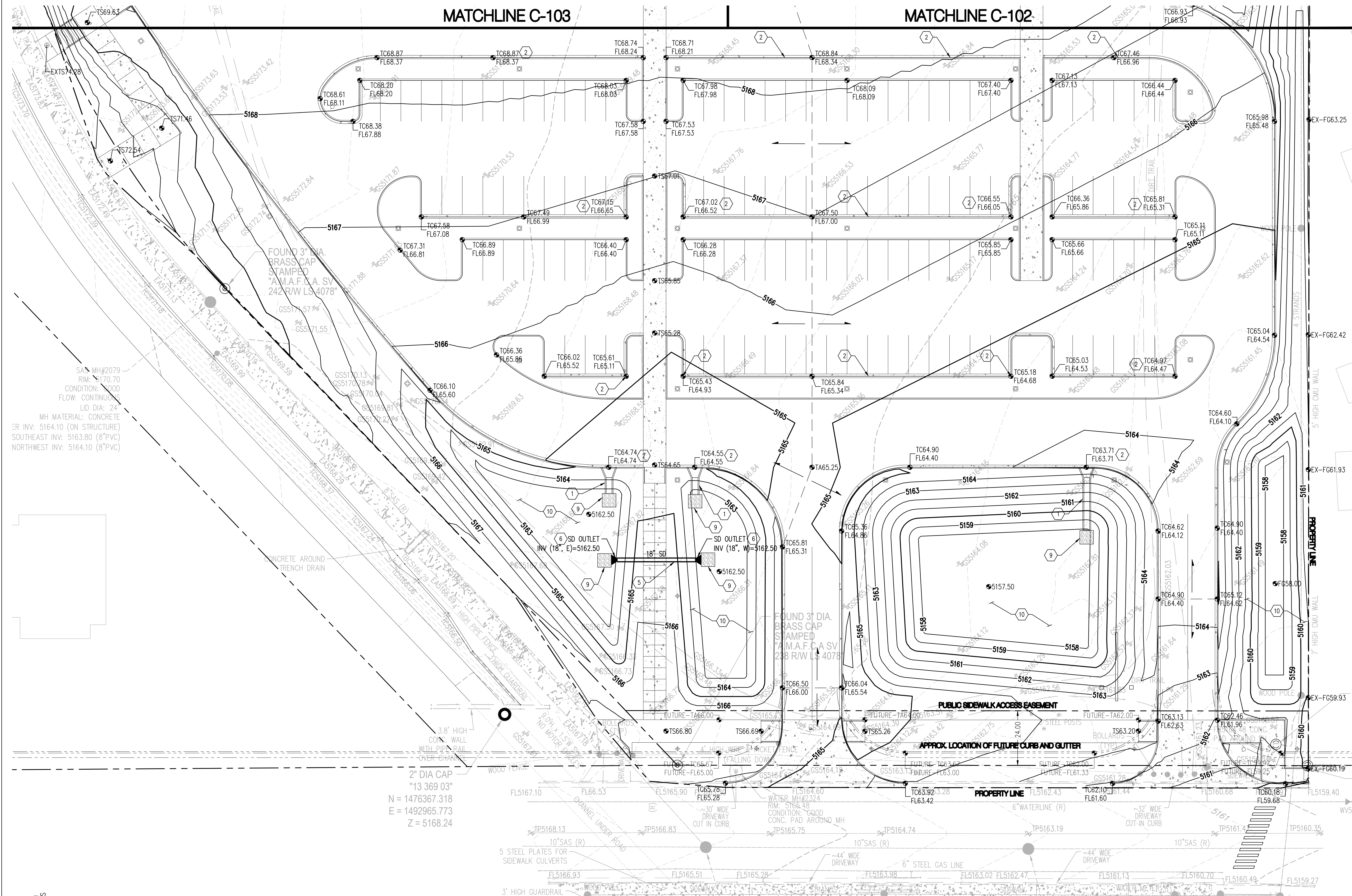
1. INSTALL CONCRETE RIBBON CHANNEL PER COA STD DWG 2260.
2. INSTALL CONCRETE CURB OPENING
3. INSTALL RIP-RAP SWALE
4. INSTALL EMERGENCY OVERFLOW WEIR
5. INSTALL STORM DRAIN
6. INSTALL STORM DRAIN END SECTION
7. RETAINING WALL
8. INSTALL LANDSCAPED BERM
9. INSTALL RIP-RAP PAD
10. RETENTION POND

\*NOT ALL KEYED NOTES ARE USED ON THIS SHEET



LEGEND

- PROPERTY LINE
- LIMITS OF GRADING
- - - 5025 EXISTING INDEX CONTOUR
- - - 5024 EXISTING INTERMEDIATE CONTOUR
- EX5025.25 EXISTING GROUND SPOT ELEVATION
- - - 5025 PROPOSED INDEX CONTOUR
- - - 5024 PROPOSED INTERMEDIATE CONTOUR
- PROPOSED FINISHED GRADE SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK
- TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
- PROPOSED CURB & GUTTER
- S=2.0% DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- SWALE FLOWLINE
- TOP OF BERM
- GRADE BREAK
- XX.XX FUTURE SPOT ELEVATION



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 PROJECT ARCHITECT: LEE GAMESKY, AIA  
 PROJECT #: [blank]  
 Date: 13 DECEMBER 2018

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 DRB PROJECT NO.: [blank]  
**GRADING AND DRAINAGE - SOUTH**  
 By: JPW Sheet: Of: [blank]  
 SITE DEVELOPMENT PLAN C-101



NOT FOR CONSTRUCTION

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 www.bhinc.com 800.877.5332

SAN MH#2079  
 RIM: 170.70  
 CONDITION: GOOD  
 FLOW: CONTINUOUS  
 LID DIA: 24"  
 MH MATERIAL: CONCRETE  
 ER INV: 5164.10 (ON STRUCTURE)  
 SOUTHEAST INV: 5163.80 (8\"/>

FOUND 3\"/>
 BRASS CAP  
 STAMPED  
 \"A.M.A.F.C.A. SV  
 242 R/W L.S. 4078\"

CONCRETE AROUND  
 TRENCH DRAIN

3.8\"/>
 HIGH  
 CONC. WALL  
 WITH PIPE RAIL  
 OVER CHAN.

2\"/>
 DIA CAP  
 \"13 369 03\"  
 N = 1476367.318  
 E = 1492965.773  
 Z = 5168.24

10\"/>
 SAS (R)  
 5 STEEL PLATES FOR  
 SIDEWALK CULVERTS

3\"/>
 HIGH GUARDRAIL

10\"/>
 SAS (R)  
 ~44\"/>
 WIDE DRIVEWAY  
 CUT IN CURB

6\"/>
 WATERLINE (R)  
 6\"/>
 STEEL GAS LINE

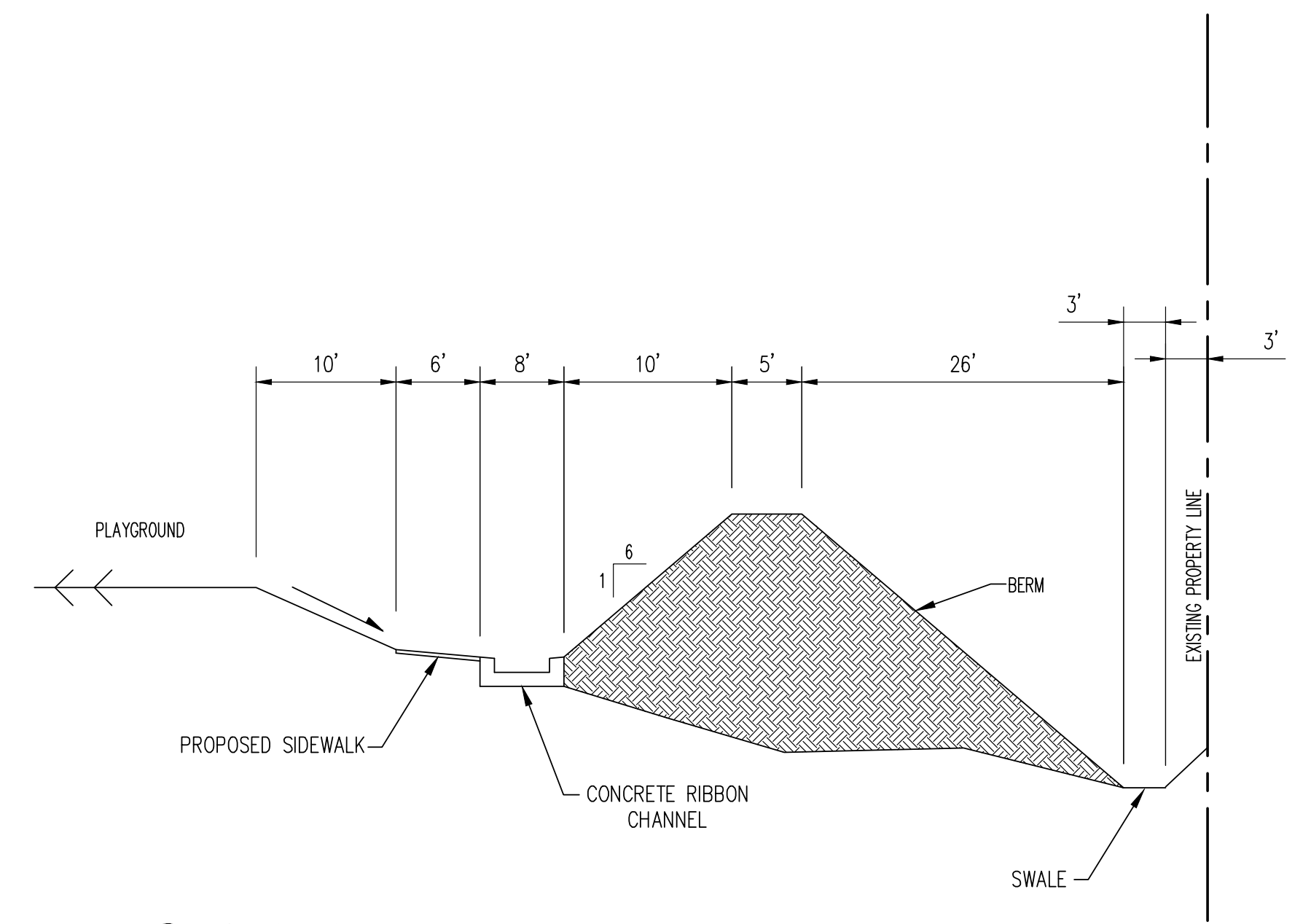
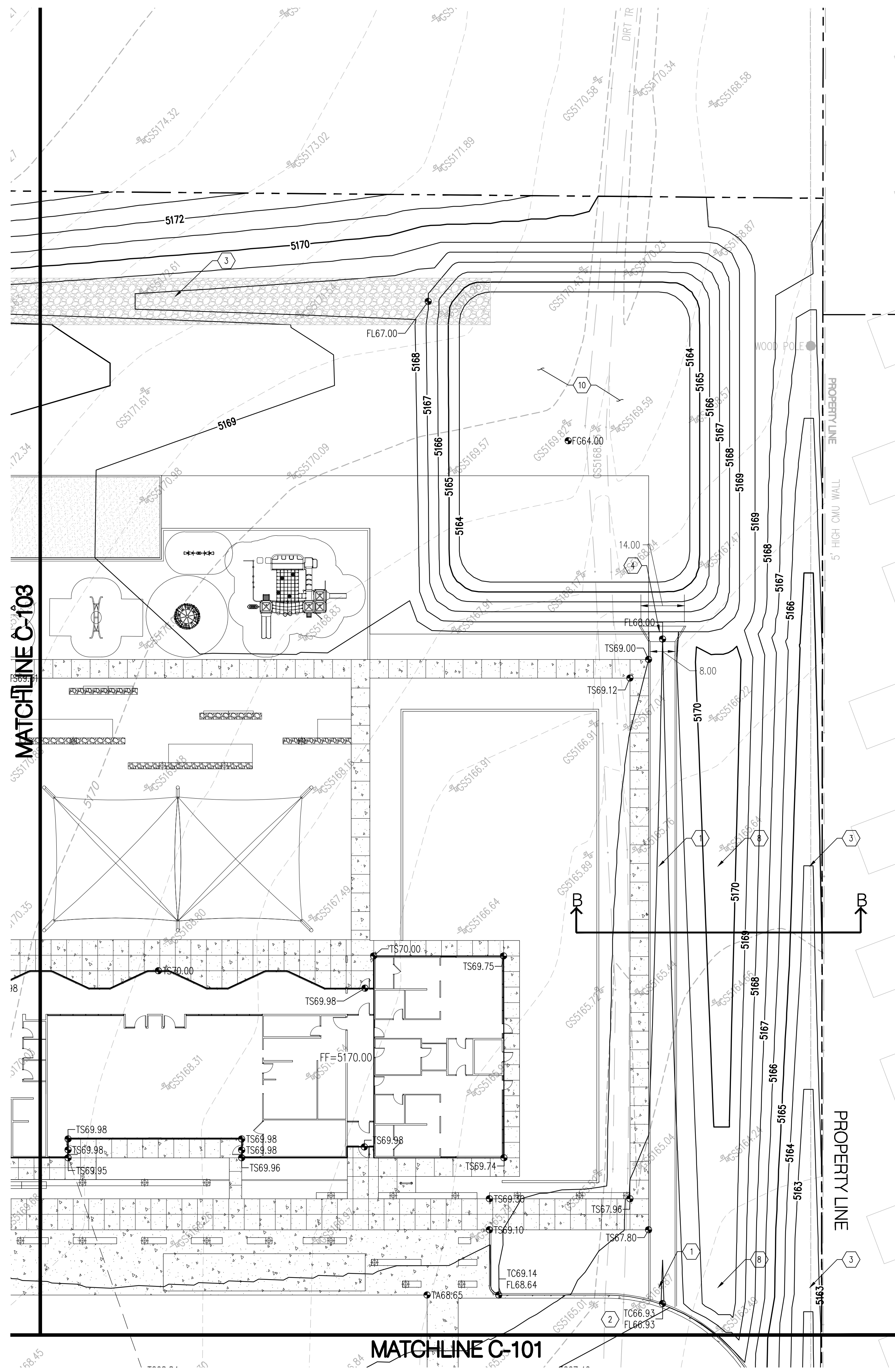
~32\"/>
 WIDE DRIVEWAY  
 CUT IN CURB

10\"/>
 SAS (R)  
 ~44\"/>
 WIDE DRIVEWAY

WATER METER

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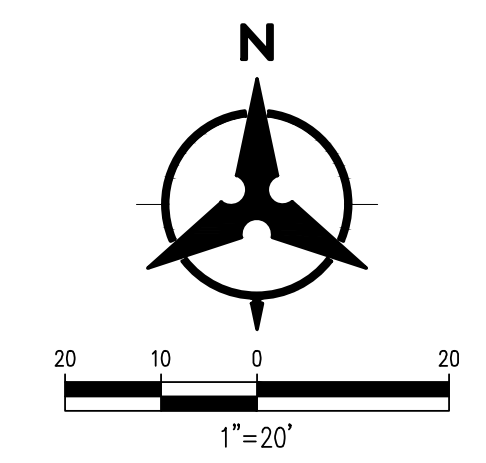


**B-B** SECTION B-B  
 NOT TO SCALE

**GRADING KEYED NOTES\***

1. INSTALL CONCRETE RIBBON CHANNEL PER COA STD DWG 2260.
2. INSTALL CONCRETE CURB OPENING
3. INSTALL RIP-RAP SWALE
4. INSTALL EMERGENCY OVERFLOW WEIR
5. INSTALL STORM DRAIN
6. INSTALL STORM DRAIN END SECTION
7. RETAINING WALL
8. INSTALL LANDSCAPED BERM
9. INSTALL RIP-RAP PAD
10. RETENTION POND

\*NOT ALL KEYED NOTES ARE USED ON THIS SHEET



**LEGEND**

- PROPERTY LINE
- LIMITS OF GRADING
- - - 5025 EXISTING INDEX CONTOUR
- - - 5024 EXISTING INTERMEDIATE CONTOUR
- EX5025.25 EXISTING GROUND SPOT ELEVATION
- 5025 PROPOSED INDEX CONTOUR
- 5024 PROPOSED INTERMEDIATE CONTOUR
- PROPOSED FINISHED GRADE SPOT ELEVATION  
 TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
- ==== PROPOSED CURB & GUTTER
- S=2.0% DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- SWALE FLOWLINE
- TOP OF BERM
- GRADE BREAK
- XX.XX FUTURE SPOT ELEVATION

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 lee@lganm.com

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PROJECT ARCHITECT:  
 LEE GAMESKY, AIA

Project #:  
 Date: 13 DECEMBER 2018

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 DRB PROJECT NO.:

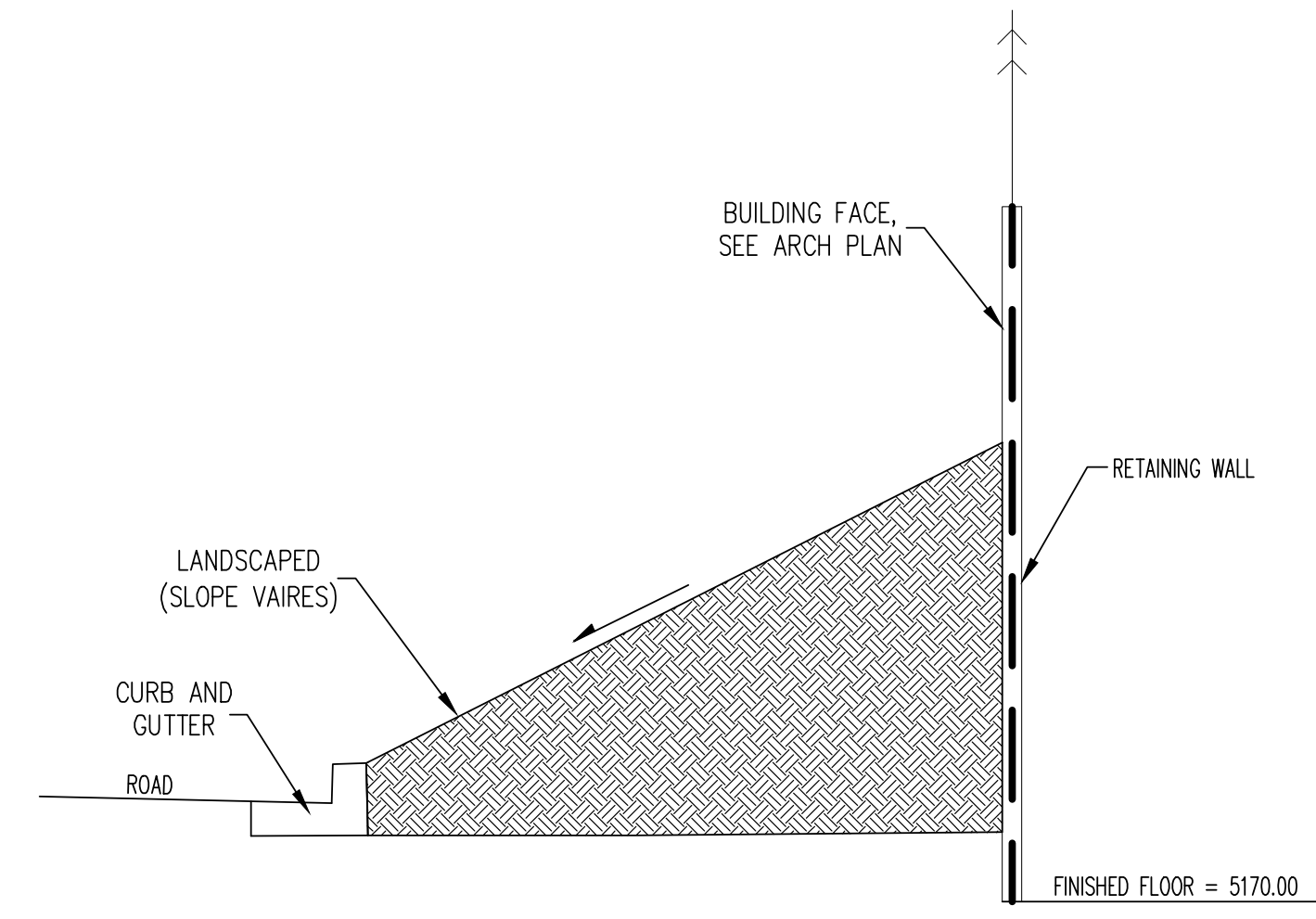
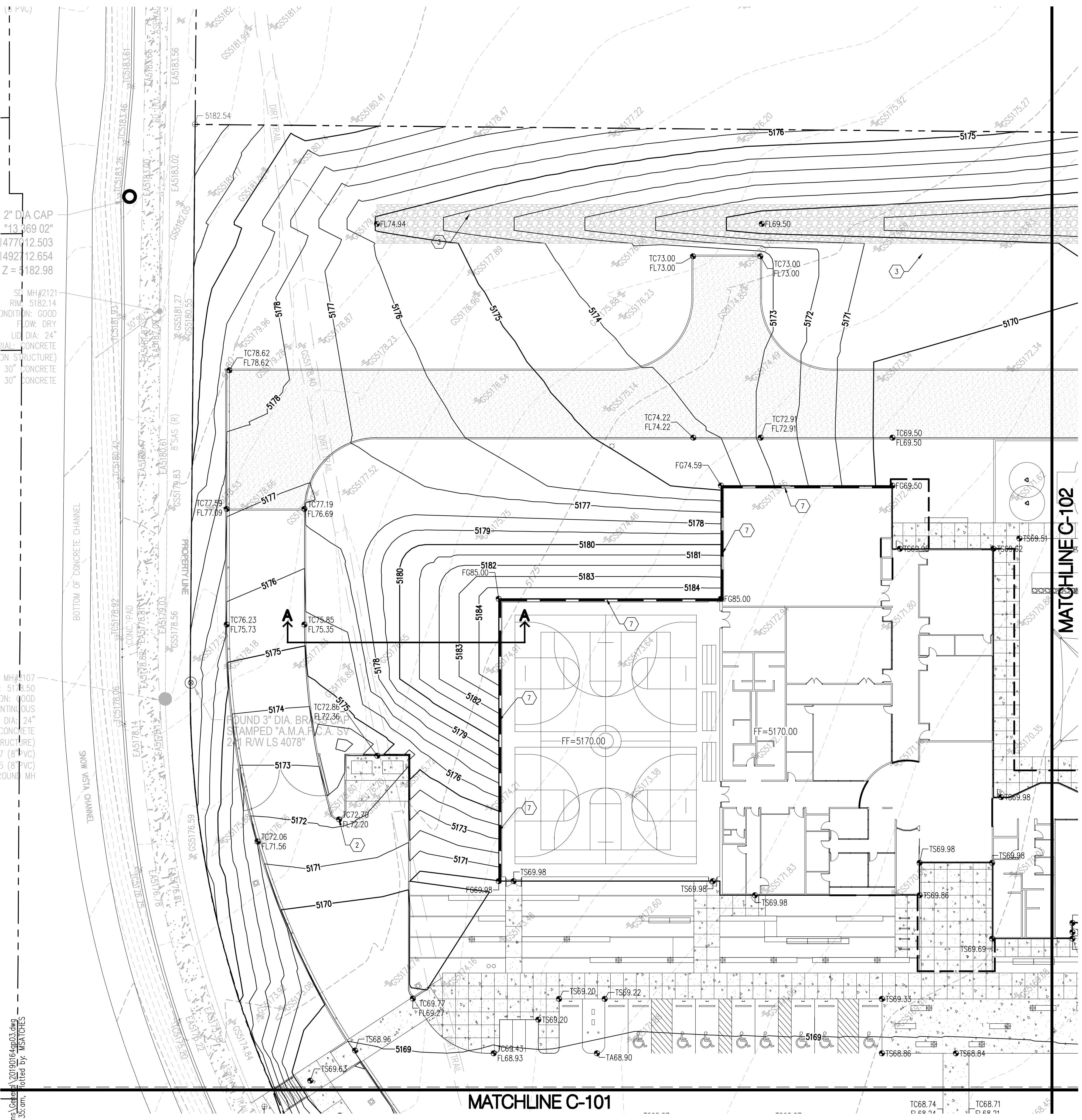
**GRADING AND DRAINAGE - EAST**

By: JPW Sheet: Of:  
 SITE DEVELOPMENT PLAN C-102



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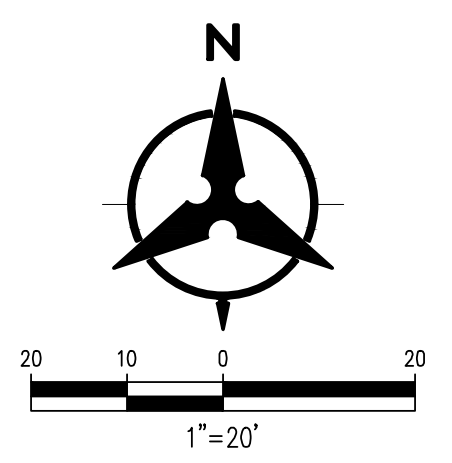
**Bohannon & Huston**  
 www.bhinc.com 800.877.5332



**A-A RETAINING WALL DETAIL**  
NOT TO SCALE.

**GRADING KEYED NOTES\***

1. INSTALL CONCRETE RIBBON CHANNEL PER COA STD DWG 2260.
  2. INSTALL CONCRETE CURB OPENING
  3. INSTALL RIP-RAP SWALE
  4. INSTALL EMERGENCY OVERFLOW WEIR
  5. INSTALL STORM DRAIN
  6. INSTALL STORM DRAIN END SECTION
  7. RETAINING WALL
  8. INSTALL LANDSCAPED BERM
  9. INSTALL RIP-RAP PAD
  10. RETENTION POND
- \*NOT ALL KEYED NOTES ARE USED ON THIS SHEET



**LEGEND**

- PROPERTY LINE
- LIMITS OF GRADING
- - - - - 5025 EXISTING INDEX CONTOUR
- - - - - 5024 EXISTING INTERMEDIATE CONTOUR
- EX5025.25 EXISTING GROUND SPOT ELEVATION
- 5025 PROPOSED INDEX CONTOUR
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- PROPOSED FINISHED GRADE SPOT ELEVATION
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- PROPOSED CURB & GUTTER
- S=2.0% DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- SWALE FLOWLINE
- TOP OF BERM
- GRADE BREAK
- XX.XX FUTURE SPOT ELEVATION

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lee@gamnm.com

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PROJECT ARCHITECT: LEE GAMESKY, AIA  
Date: 13 DECEMBER 2018

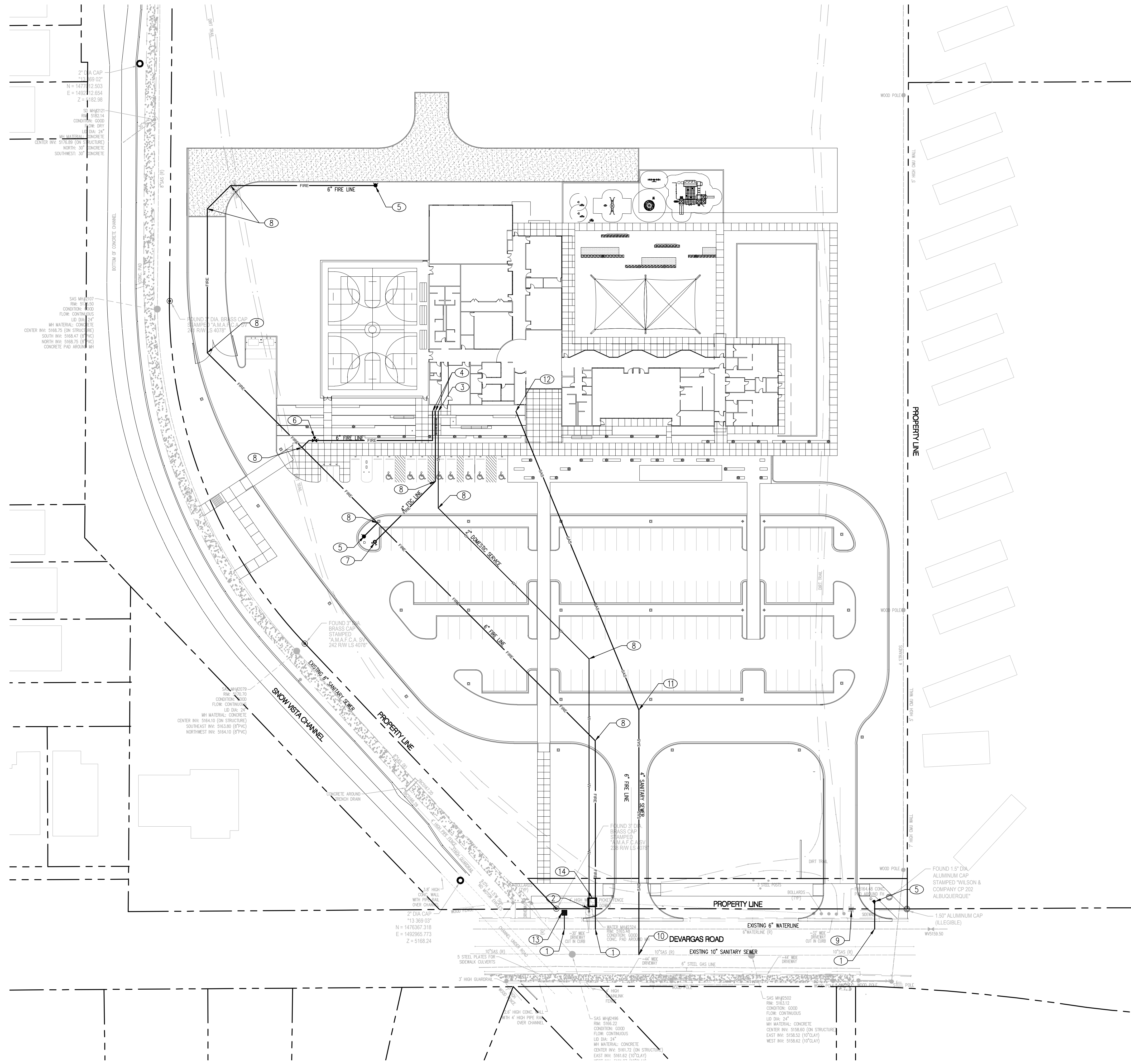
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
DRB PROJECT NO.: GRADING AND DRAINAGE - WEST  
By: JPW Sheet: Of:  
SITE DEVELOPMENT PLAN C-103



NOT FOR CONSTRUCTION

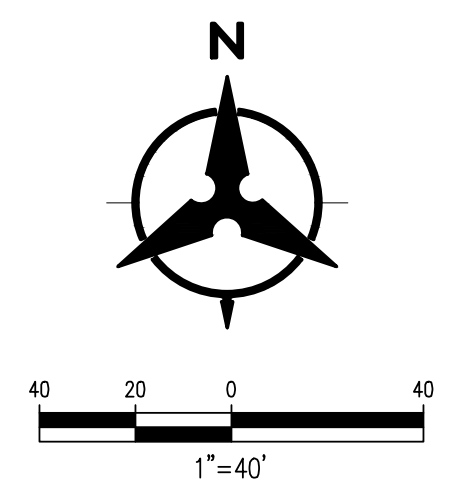


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**UTILITY KEYED NOTES**

1. CONNECT TO EXISTING WATERLINE.
2. CONNECT DOMESTIC SERVICE TO EXISTING WATER METER.
3. INSTALL 2" DOMESTIC SERVICE TO WITHIN 5' OF BUILDING.
4. INSTALL 6" FIRE PROTECTION LINE TO WITHIN 5' OF BUILDING.
5. INSTALL FIRE HYDRANT.
6. INSTALL POST INDICATOR VALVE.
7. INSTALL REMOTE FIRE DEPARTMENT CONNECTION.
8. INSTALL BEND/TEE WITH RESTRAINED JOINTS AS NECESSARY.
9. REMOVE AND DISPOSE OF EXISTING FIRE HYDRANT.
10. CONNECT TO EXISTING SANITARY SEWER.
11. INSTALL SANITARY SEWER CLEANOUT.
12. INSTALL 4" SANITARY SEWER SERVICE TO WITHIN 5' OF BUILDING.
13. INSTALL 2" IRRIGATION METER SERVICE. SEE LANDSCAPE PLAN FOR CONTINUATION.
14. INSTALL DOMESTIC AND FIRE BACKFLOW PREVENTION DEVICE IN DUAL HEATED ENCLOSURE.



**LEGEND**

	PROPERTY LINE
	EXISTING EASEMENT
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING WATER METER
	EXISTING CAP
	EXISTING VALVE
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED EASEMENT
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED CLEANOUT
	PROPOSED WATER LINE
	PROPOSED VALVE
	PROPOSED FIRE WATER LINE
	PROPOSED HYDRANT
	PROPOSED CAP
	PROPOSED WATER METER
	PROPOSED PIV

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**WESTGATE COMMUNITY CENTER**  
 10001 De Vargas Road SW, Albuquerque, New Mexico 87121  
 PROJECT ARCHITECT:  
**LEE GAMESKY, AIA**  
 Date: 29 OCTOBER 2018

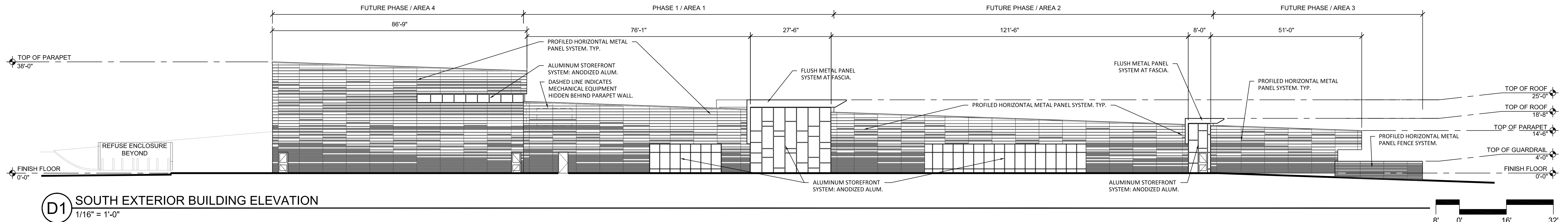
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 DRB PROJECT NO.:  
**UTILITY PLAN**  
 By: JPW Sheet: Of:  
 SITE DEVELOPMENT PLAN **C-200**



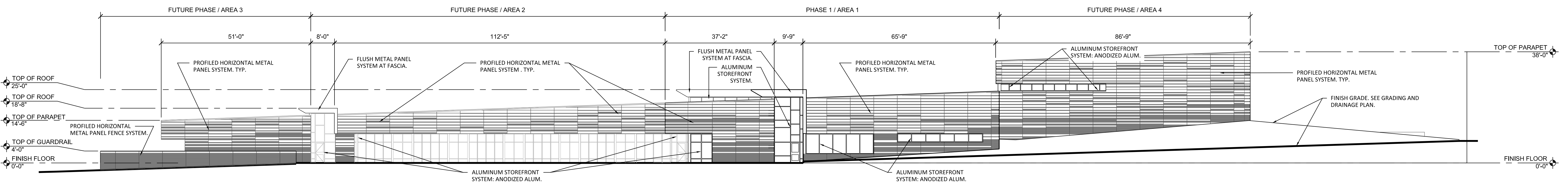
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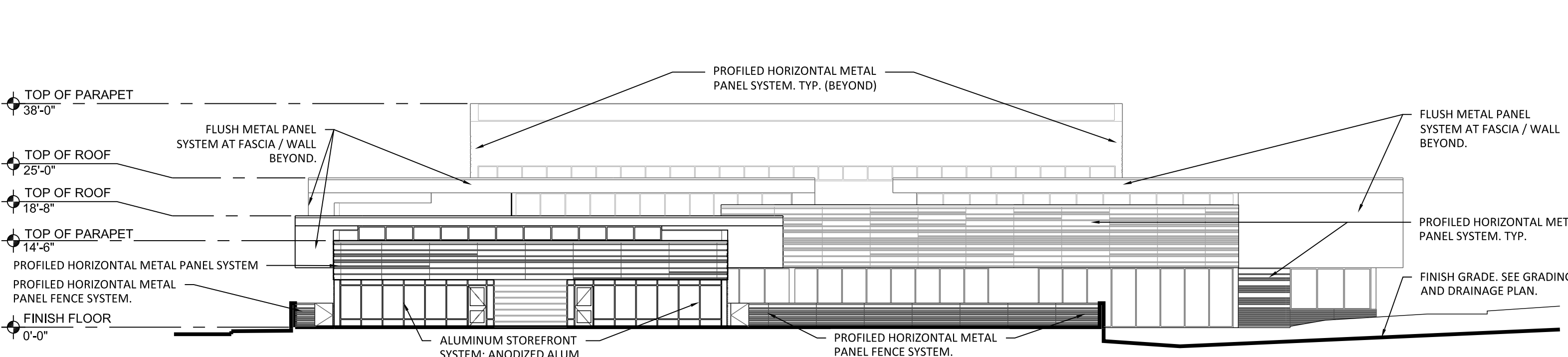
- A. PROFILED HORIZONTAL METAL PANEL SYSTEM TO INCORPORATE THREE COLORS OF METAL PANELS: LIGHT GREY, LIGHT BLUE AND SAGE.
- B. FLUSH METAL PANEL SYSTEM TO HAVE DARK BLUE COLOR FINISH.
- C. BUILDING ADDRESS SIGNAGE (MONUMENT SIGN) WILL BE 10" MIN. HIGH LETTERS WITH 2" MIN. STROKE. INSTALLED AS 2" DEEP RECESS WITHIN CAST-IN-PLACE CONCRETE WALL.



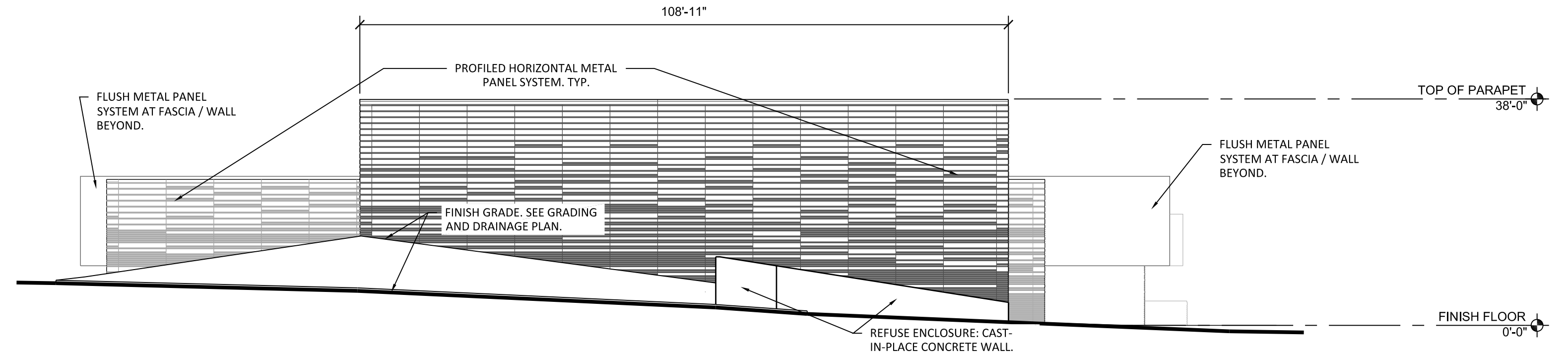
**D1 SOUTH EXTERIOR BUILDING ELEVATION**  
1/16" = 1'-0"



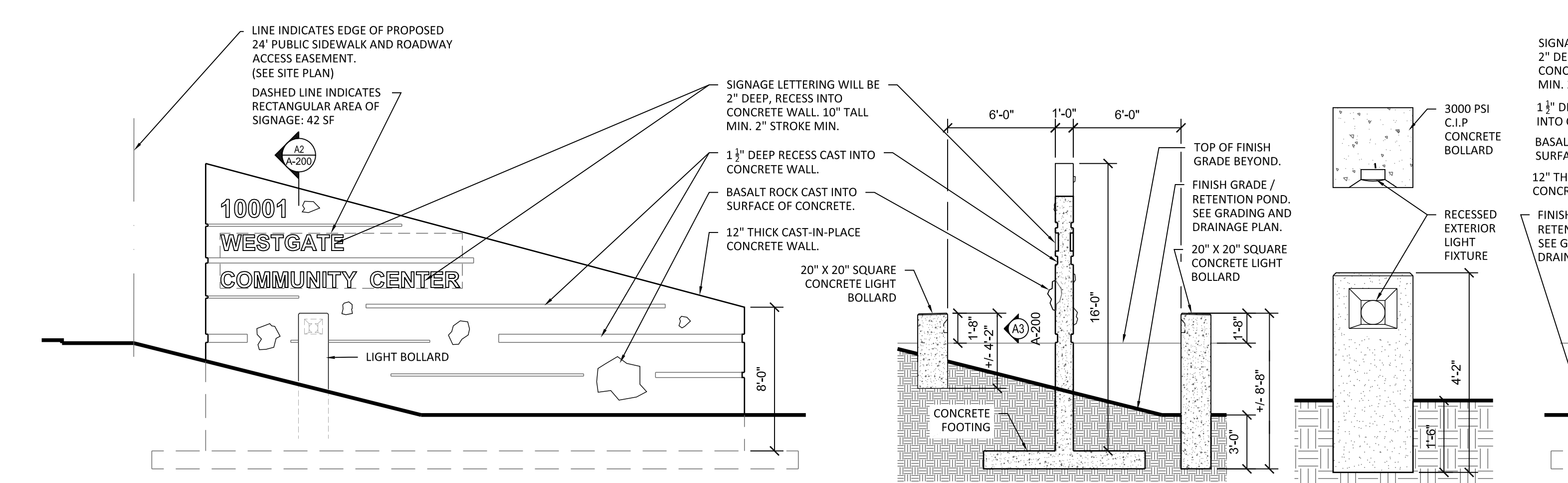
**C1 NORTH EXTERIOR BUILDING ELEVATION**  
1/16" = 1'-0"



**B1 EAST EXTERIOR BUILDING ELEVATION**  
1/16" = 1'-0"

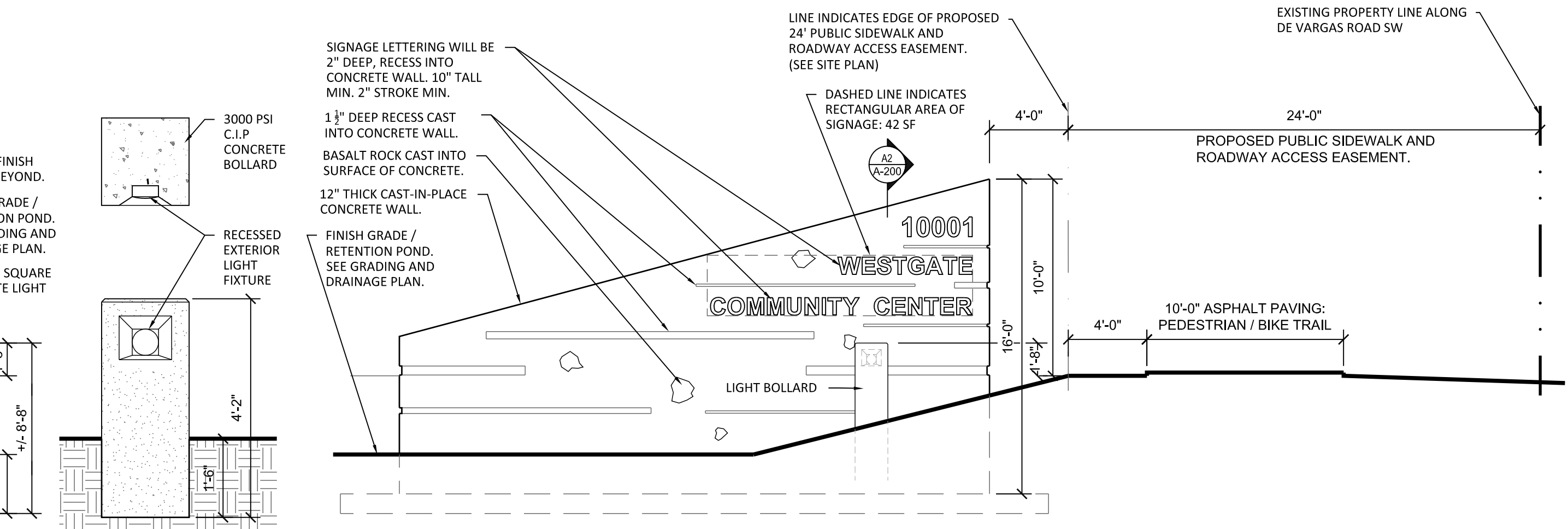


**B3 WESTGATE COMMUNITY CENTER • WEST EXTERIOR BUILDING ELEVATION**  
1/16" = 1'-0"



**A1 MONUMENT SIGN EAST ELEVATION**  
3/16" = 1'-0"

**A2 MONUMENT SIGN SECTION**  
3/16" = 1'-0"



**A3 TYP. PLAN / ELEV. AT LIGHT BOLLARD**  
1/2" = 1'-0"

**A4 MONUMENT SIGNAGE WEST ELEVATION**  
3/16" = 1'-0"

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lee@gkam.com

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10001 De Vargas Road SW, Albuquerque, New Mexico 87121  
PROJECT ARCHITECT:  
LEE GAMESKY, AIA  
Date: 13 DECEMBER 2018  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
DRB PROJECT NO.: 2018-001373  
**EXTERIOR BUILDING ELEVATIONS**