

SHEET INDEX

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Nuevo Atrisco

PROJECT TEAM

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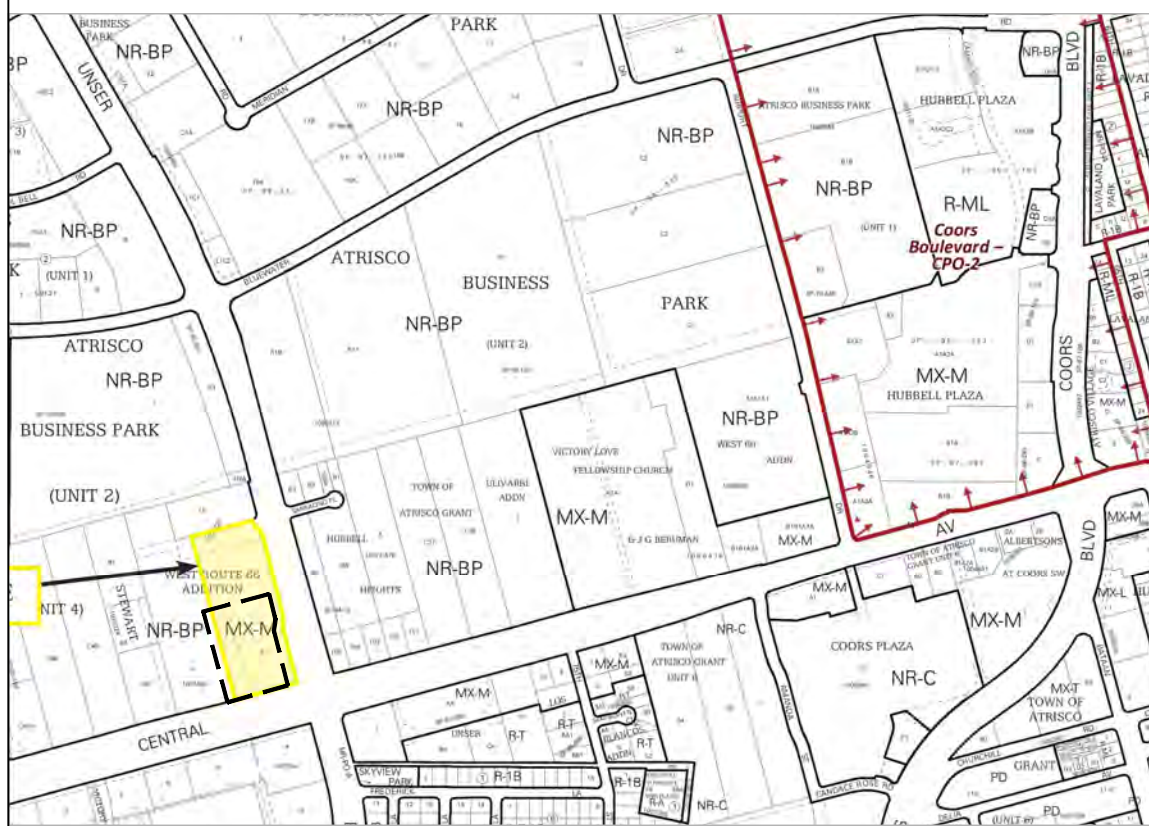
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GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- G. NEW CONSTRUCTION WILL ENSURE CONTINUOUS ACCESS FOR SOLID WASTE DURING CONSTRUCTION TO THE ADJACENT MULTI-FAMILY APARTMENTS.
- H. SITE LIGHTING SHALL BE PROVIDED BY LED LIGHT POLE FIXTURES APPROXIMATELY 20 FT IN HEIGHT, TYPICAL.

VICINITY MAP



LEGEND

- LANDSCAPE AREA
- SYNTHETIC TURF
- PROPERTY LINE
- LOT LINE
- ASPHALT PAVEMENT MARKING: WHITE DIRECTIONAL ARROW
- ASPHALT PAVEMENT MARKING: BLUE ACCESSIBLE PARKING SYMBOL
- EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- FIRE LANE PAINTING: RED
- FOOD TRAILER (MICRO-RESTAURANT)
- EXISTING LIGHT POLE

PROJECT DATA - TOTAL

ZONING: IDO MX-M + PREMIUM TRANSIT (PT) DESIGNATION
LEGAL DESCRIPTION:
 TR A-1 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 3815 AC; TR A-2 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 2,725 AC; TR B PLAT OF TRACTS A AND B NUEVO ATRISCO (BEING A REPLAT OF TRACT B1, WEST ROUTE 66 ADDITION II) CONT. 3,136 AC
SITE AREA TOTAL: 3.136 ACRES = 136,604 SF
IDO ZONE ATLAS: K-10-Z (MAY 2018)
SETBACKS (MIN/MAX): FRONT 0'15", SIDE= 0'15", REAR= 0'
BUILDING INFORMATION: HEIGHT/OCCUPANCY/CONSTRUCTION TYPE
 BUILDING 1: COMMUNITY PLAZA BUILDING 29'-3" / A-2 / VB-SPRINKLED
 BUILDING 2: MULTI-TENANT BUILDING 27'-0" / M and A-2 / VB-SPRINKLED
 BUILDING 3: RESTAURANT 27'-0" / A-2 / VB-SPRINKLED
MAX HEIGHT ALLOWED: 65'-0"

PROJECT DATA - LOT 1 (PHASE 1)

LOT AREA TOTAL: 1.673 ACRES = 72,876 SF
AREA OF LOT COVERED BY BUILDING:
 BUILDING 1: 5,200 SF (= 5,200 GFA) this number is used to calculate net lot
USABLE OPEN SPACE:
 NOT REQUIRED PER IDO Table 5-1-2
PARKING CALCULATION (IDO Table 5-5-1):
 5 SPACES PER 1,000 GFA = 26 PARKING SPACES REQUIRED
 2 SPACES PER 1 FOOD TRUCK = 18 PARKING SPACES REQUIRED
 TOTAL PARKING REQUIRED = 44
 TOTAL PARKING PROVIDED = 94
MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)
 MOTORCYCLE PARKING PROVIDED = 2
BICYCLE PARKING REQUIRED = 4 (IDO Table 5-5-5)
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

KEYED NOTES

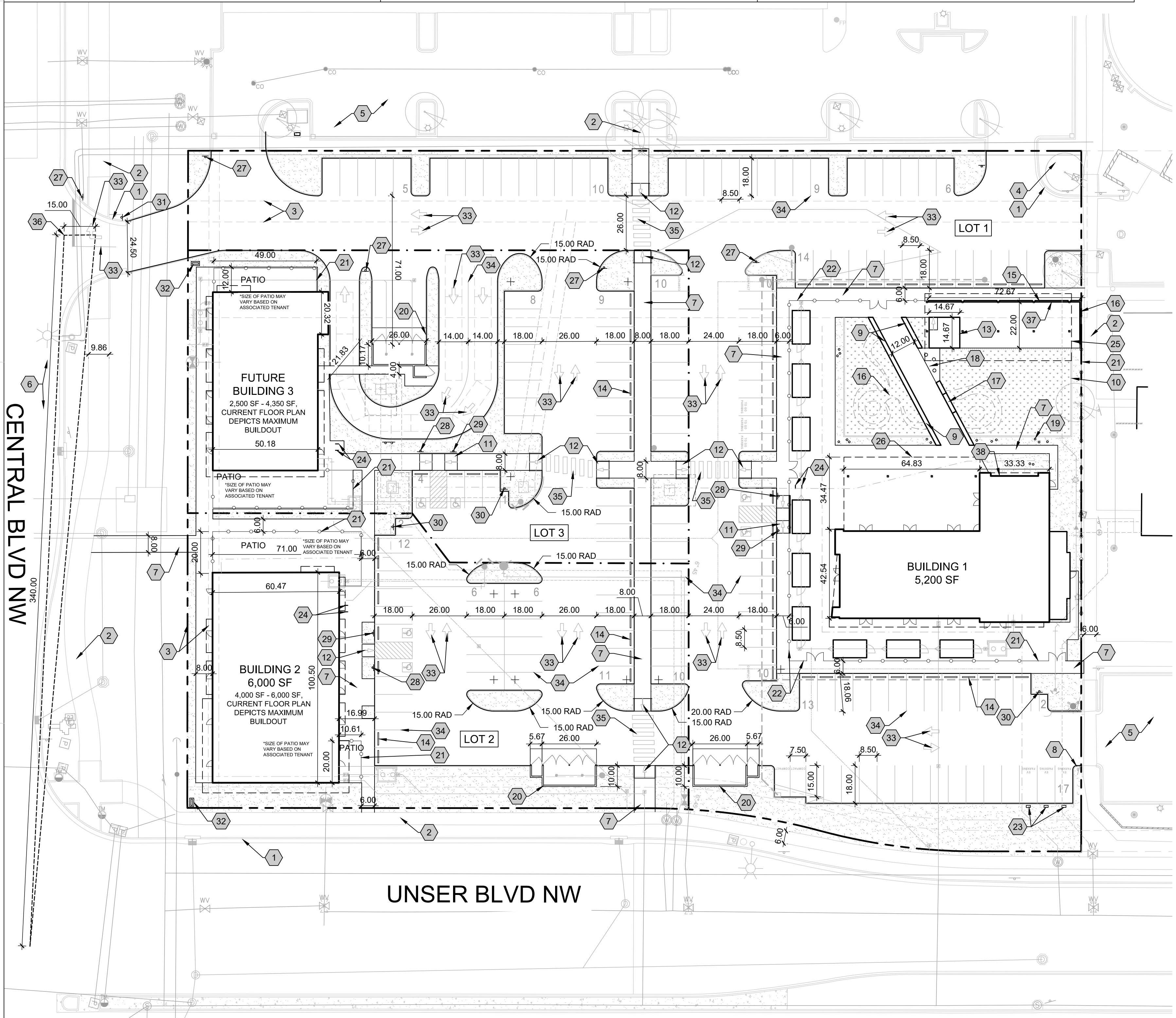
- | CODE | DESCRIPTION |
|------|--|
| 1 | EXISTING CONCRETE CURB |
| 2 | EXISTING CONCRETE SIDEWALK |
| 3 | EXISTING EASEMENT |
| 4 | EXISTING LANDSCAPE AND MULCH TO REMAIN |
| 5 | EXISTING ASPHALT PAVING |
| 6 | EXISTING DECEL LANE |
| 7 | CONCRETE SIDEWALK, SEE A2/SDP1.2 |
| 8 | CONCRETE CURB AND GUTTER, SEE A1/SDP1.2 |
| 9 | CONCRETE SEAT WALL, SEE B4/SDP1.2 |
| 10 | CONCRETE MOW CURB, SEE D4/SDP1.2 |
| 11 | CONCRETE ACCESSIBLE RAMP A, SEE B2/SDP1.2 |
| 12 | CONCRETE ACCESSIBLE RAMP B, SEE B3/SDP1.2 |
| 13 | CONCRETE STAGE RAISED 6" |
| 14 | CONCRETE PARKING BUMPER, SEE D2/SDP1.2 |
| 15 | PLAY ELEMENT: ART FEATURE WITH CHALK WALL |
| 16 | PLAY ELEMENT: ARTIFICIAL TURF TUNNEL |
| 17 | PLAY ELEMENT: LINEAR WATER FEATURE |
| 18 | PLAY ELEMENT: BUBBLER PAD |
| 19 | PLAY ELEMENT: FOSSIL HUNT FEATURE |
| 20 | TRASH ENCLOSURE WITH 5' X 5' GREASE RECYCLING STORAGE, SEE D5/SDP1.2 |
| 21 | FENCE: METAL 42" HEIGHT |
| 22 | FENCE: REMOVABLE FENCE SECTION |
| 23 | EV CHARGING STATION LV2 |
| 24 | TWO-POINT LOCK BICYCLE RACK, SEE D3/SDP1.2 |
| 25 | SHADE STRUCTURE |
| 26 | ATTACHED SHADE STRUCTURE |
| 27 | SITE SIGNAGE: STOP SIGN, SEE D1/SDP1.2 |
| 28 | SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE D1/SDP1.2 |
| 29 | SITE SIGNAGE: ACCESSIBLE PARKING, SEE D1/SDP1.2 |
| 30 | SITE SIGNAGE: MOTORCYCLE PARKING ONLY, SEE D1/SDP1.2 |
| 31 | SITE SIGNAGE: ONE WAY, SEE D1/SDP1.2 |
| 32 | SITE SIGNAGE: FREE STANDING MULTI-TENANT SIGN, LIGHTING, SIZE, MATERIAL AND COLOR TO BE DETERMINED |
| 33 | DIRECTIONAL ARROW: WHITE, SEE B1/SDP1.2 |
| 34 | ASPHALT STRIPING: WHITE, SEE B1/SDP1.2 |
| 35 | CROSSWALK STRIPING, SEE SDP1.2 |
| 36 | CLEAR SIGHT TRIANGLE |
| 37 | PUBLIC ART DISPLAY ON INTERIOR WALL BENEATH SHADE STRUCTURE, SEE ARCHITECTURAL |
| 38 | PUBLIC ART DISPLAY ON WEST WALL OF BUILDING, SEE ARCHITECTURAL |

PROJECT DATA - LOT 2 (PHASE 1)

LOT AREA TOTAL: 0.707 ACRES = 30,797 SF
AREA OF LOT COVERED BY BUILDING:
 BUILDING 2: 6,000 SF (= 6,000 GFA) this number is used to calculate net lot
BUILDING SIZE: 4,000 SF - 6,000 SF. Current floor plan depicts maximum buildout
USABLE OPEN SPACE:
 NOT REQUIRED PER IDO Table 5-1-2
PARKING CALCULATION (IDO Table 5-5-1):
 5 SPACES PER 1,000 GFA = 30 PARKING SPACES REQUIRED
 TOTAL PARKING REQUIRED = 30
 TOTAL PARKING PROVIDED = 38
MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)
 MOTORCYCLE PARKING PROVIDED = 2
BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

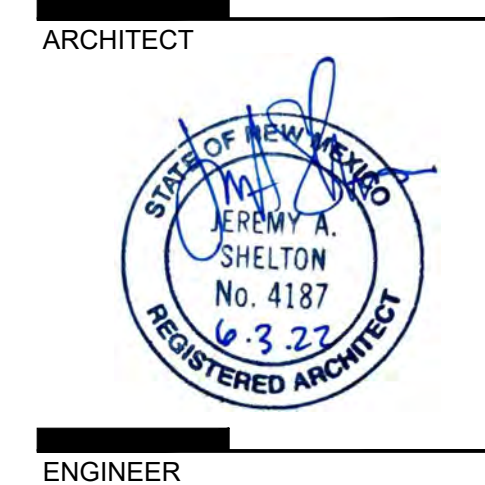
PROJECT DATA - LOT 3 (PHASE 2)

LOT AREA TOTAL: 0.756 ACRES = 32,931 SF
AREA OF LOT COVERED BY BUILDING:
 BUILDING 3: 4,350 SF (= 4,350 GFA) this number is used to calculate net lot
BUILDING SIZE: 2,500 SF - 4,350 SF. Current floor plan depicts maximum buildout
USABLE OPEN SPACE:
 NOT REQUIRED PER IDO Table 5-1-2
PARKING CALCULATION (IDO Table 5-5-1):
 5 SPACES PER 1,000 GFA = 22 PARKING SPACES REQUIRED
 TOTAL PARKING REQUIRED 22
 TOTAL PARKING PROVIDED = 38
MOTORCYCLE PARKING REQUIRED = 1 (IDO Table 5-5-4)
 MOTORCYCLE PARKING PROVIDED = 1
BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)
NOTE: SITE WORK AND PARKING AREA PAVING (EXCLUDING THE BUILDING, DRIVE-THROUGH AND DUMPSTER ENCLOSURE) MAY BE CONSTRUCTED SIMULTANEOUSLY WITH PHASE 1.



A1 SITE DEVELOPMENT PLAN
 1" = 30'-0"
 0 30' 60'

DEKKER PERICH SABATINI



ARCHITECT
 ENGINEER
 PROJECT

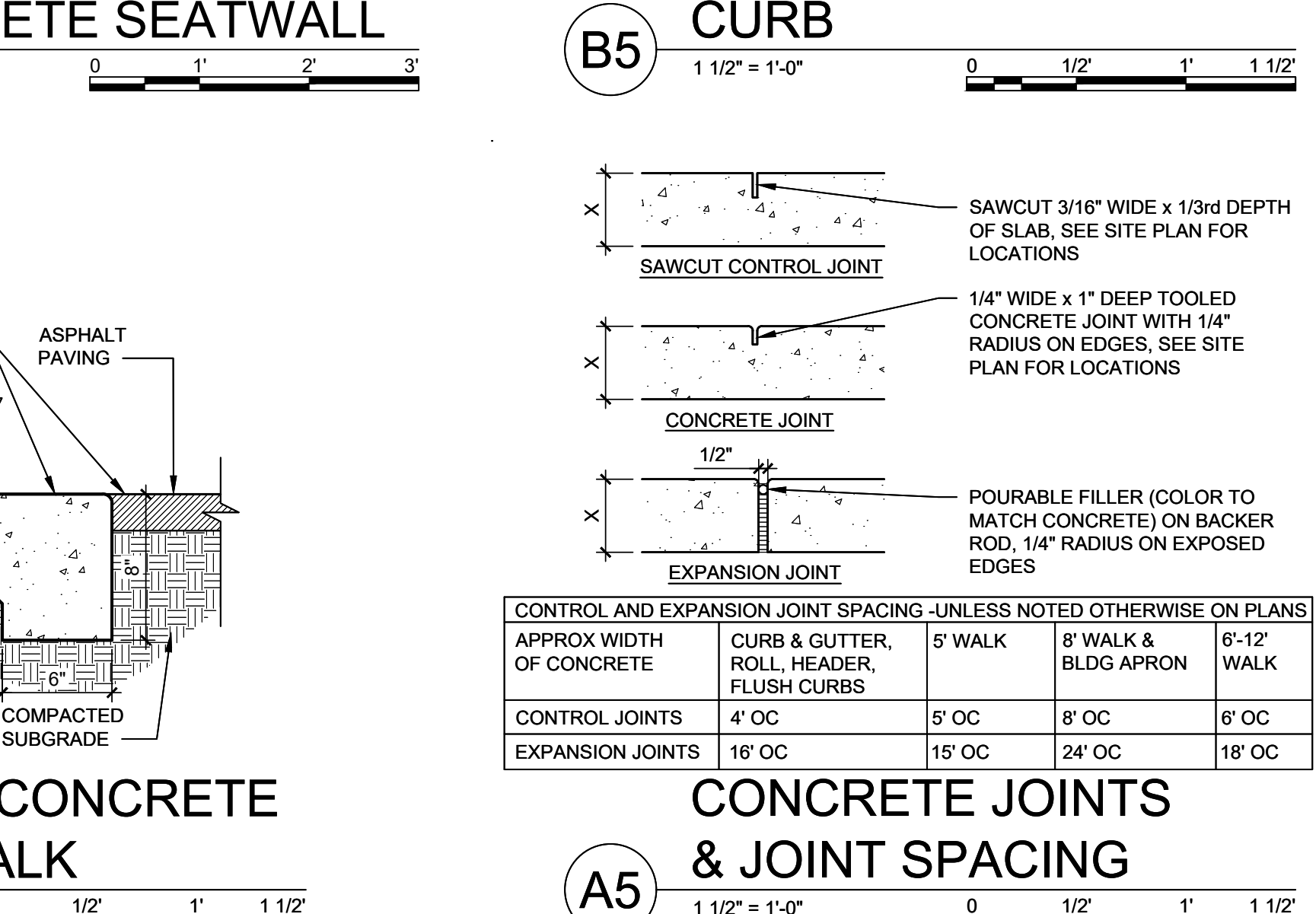
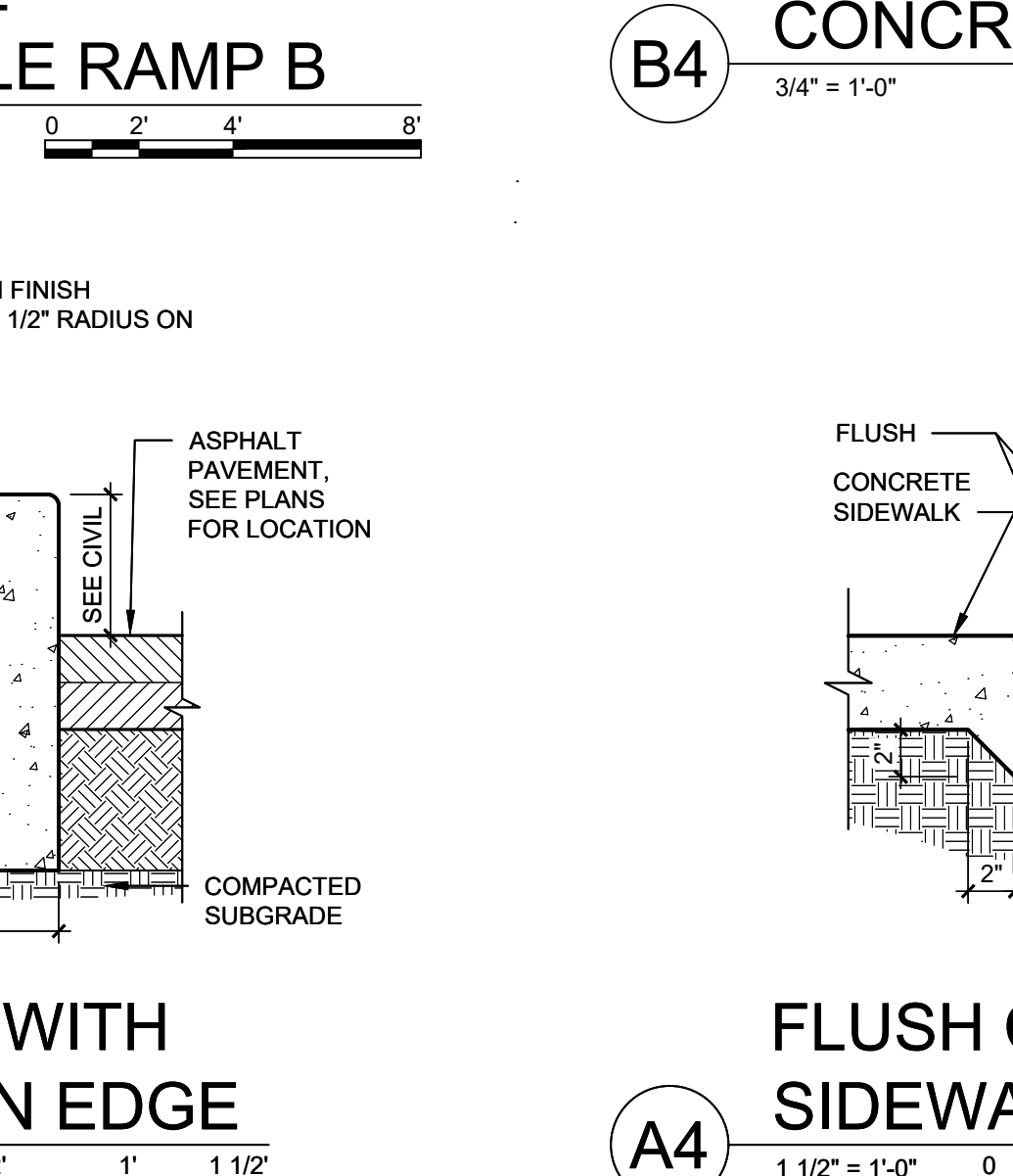
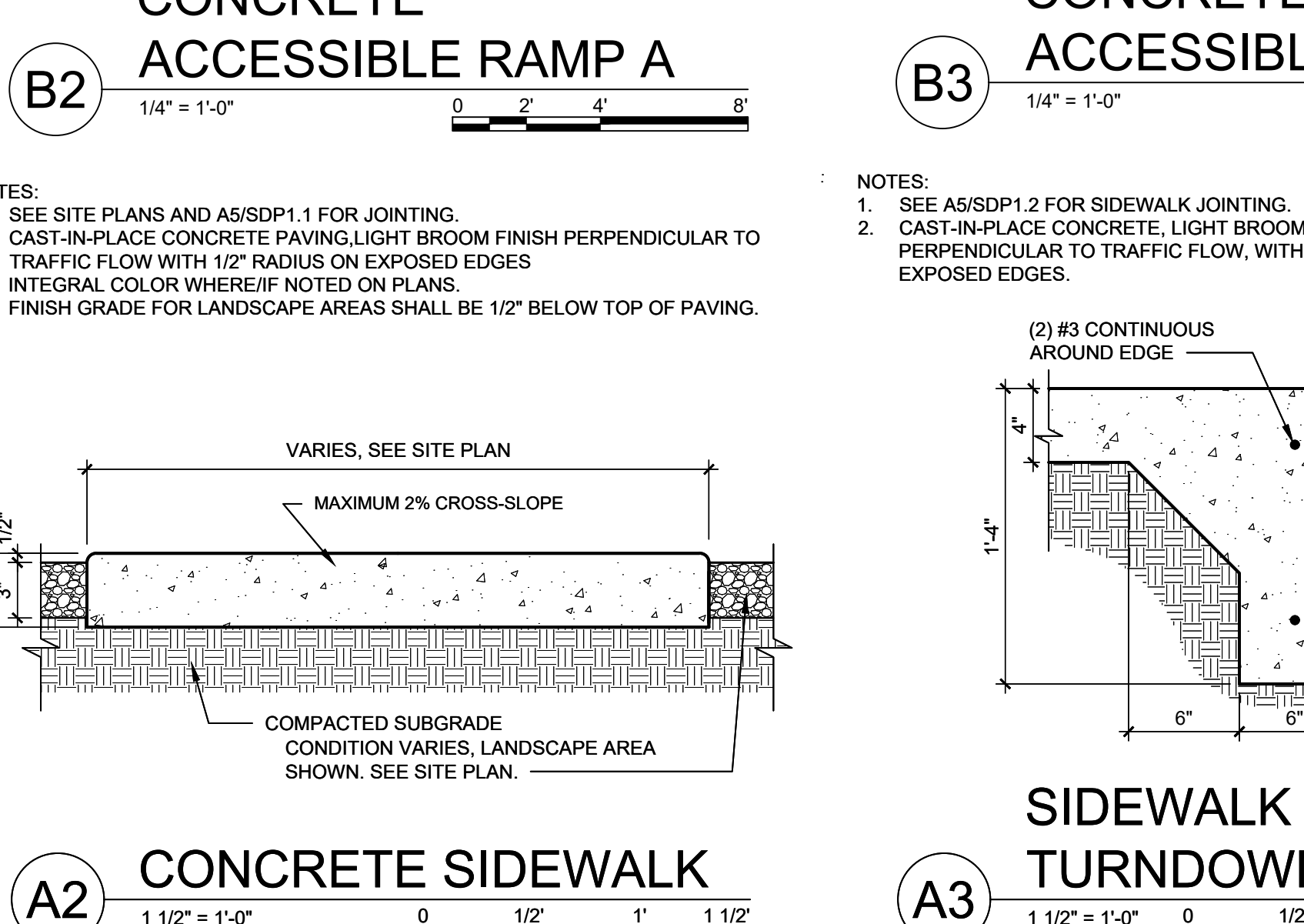
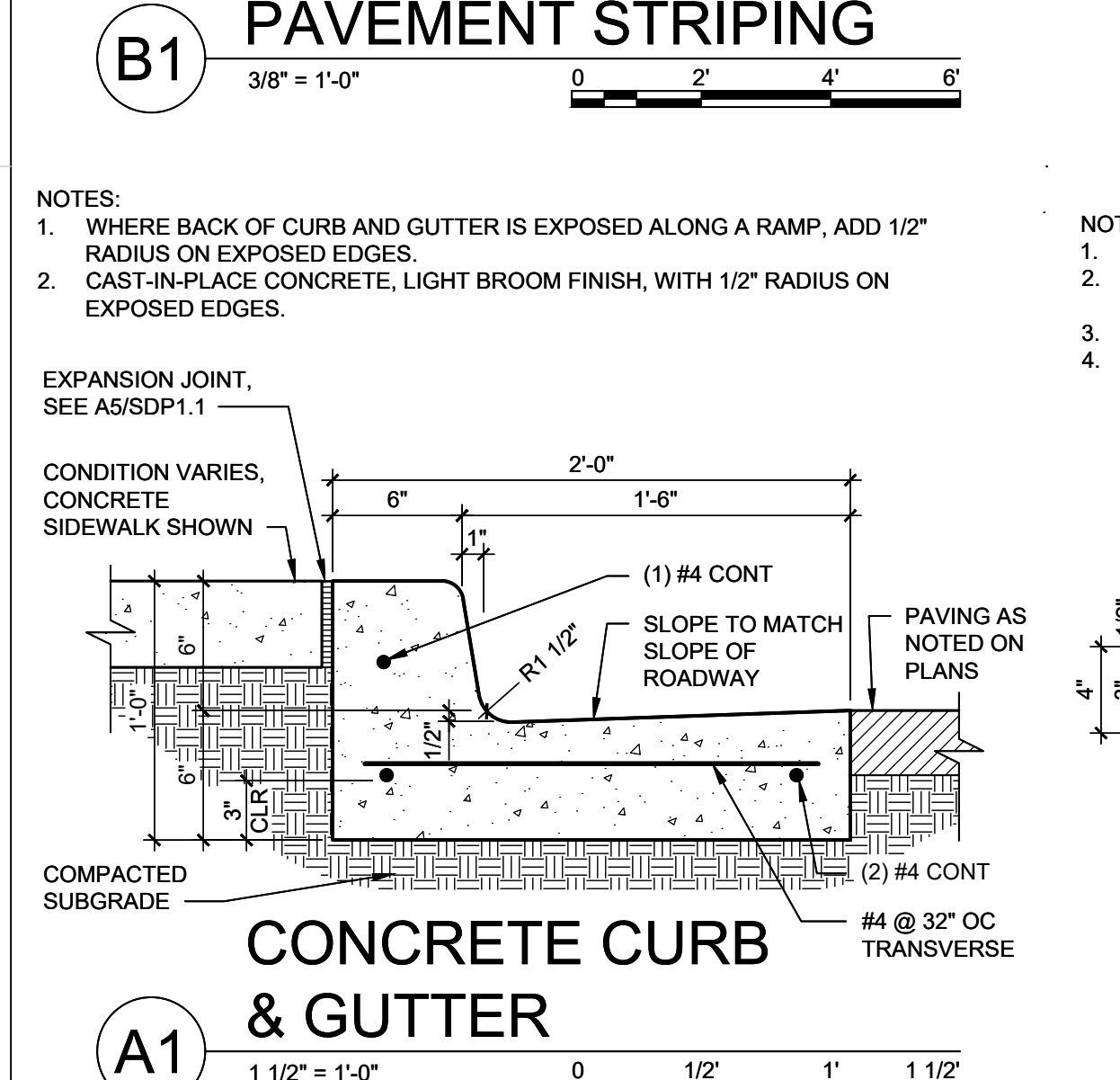
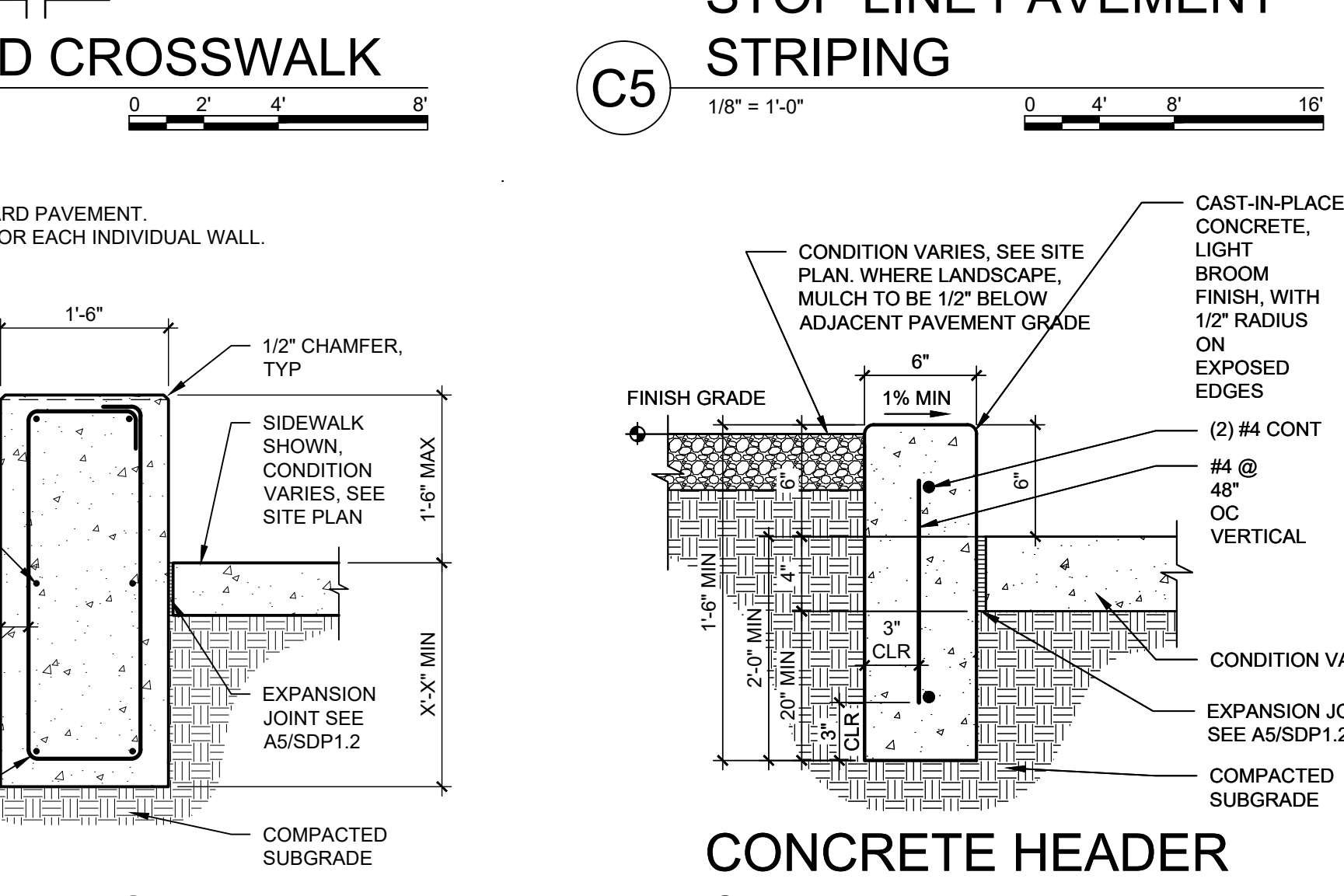
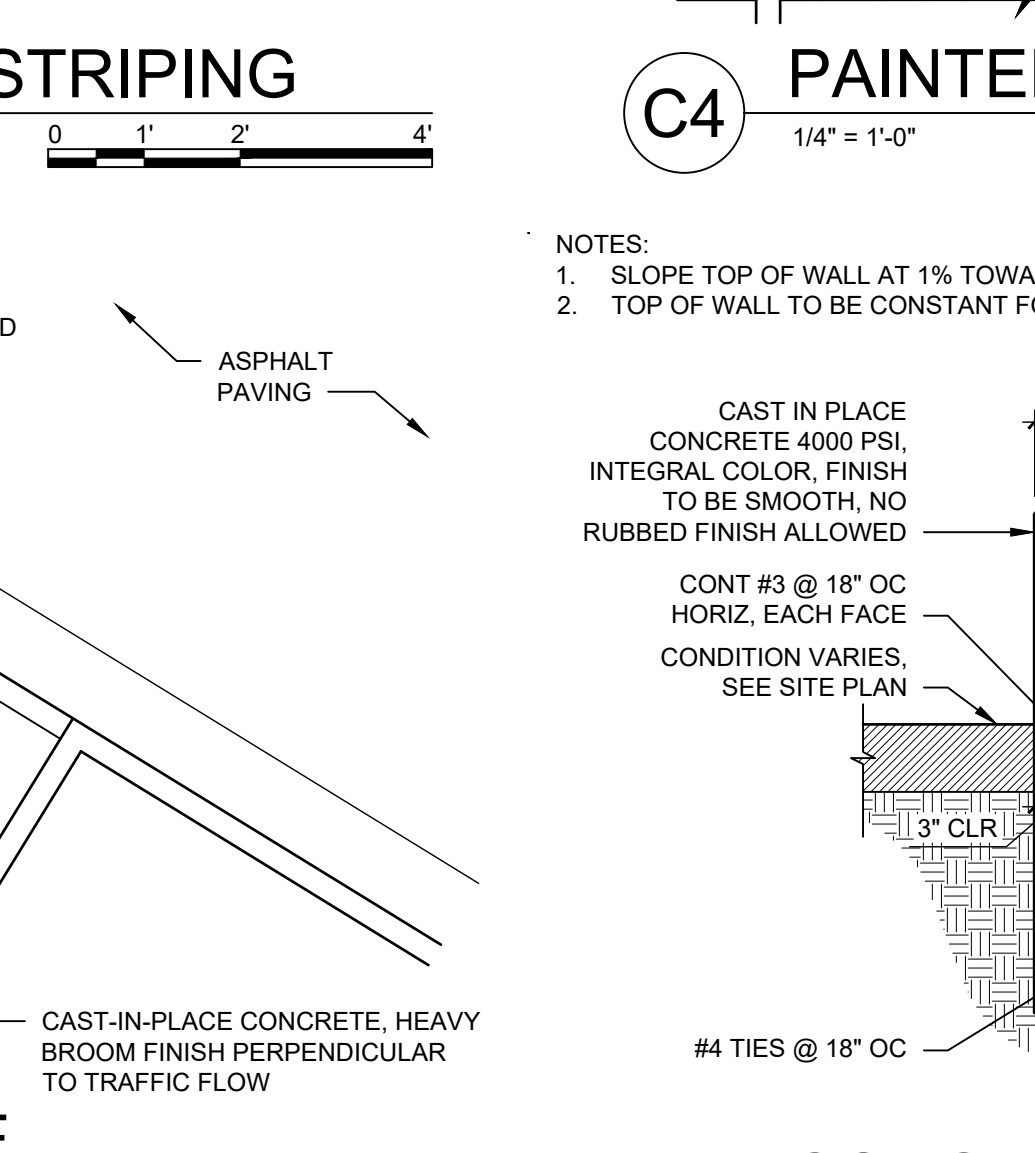
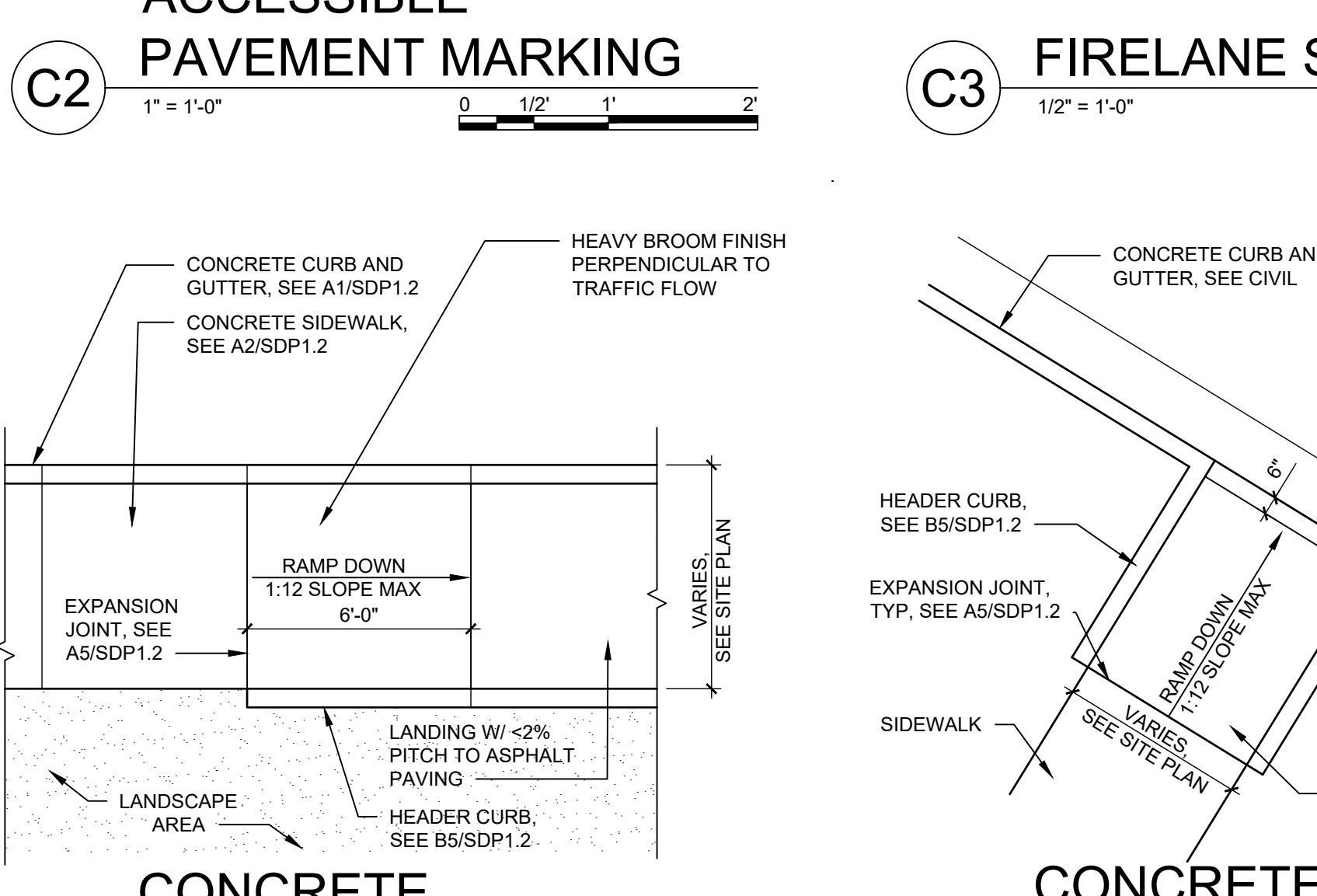
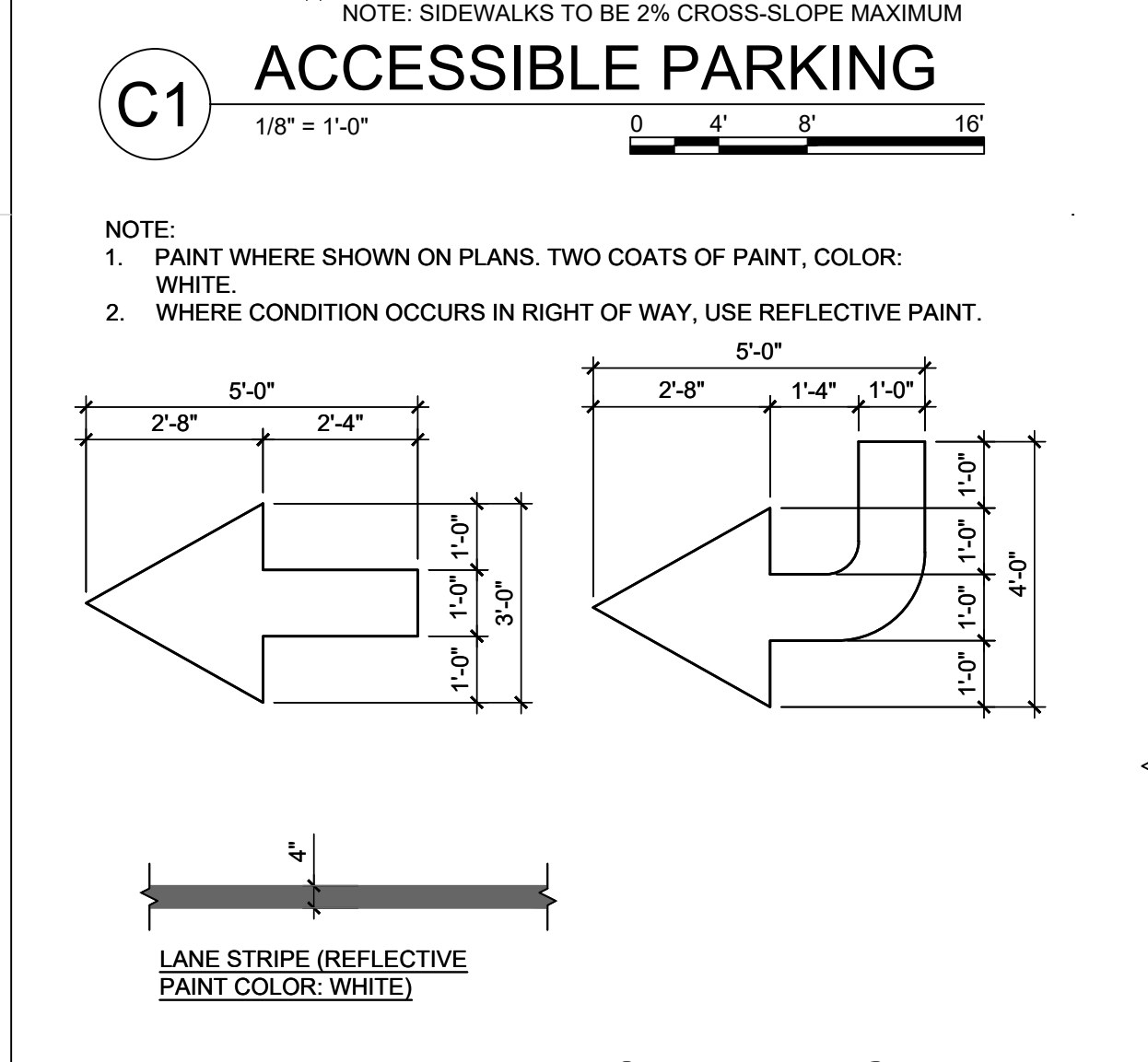
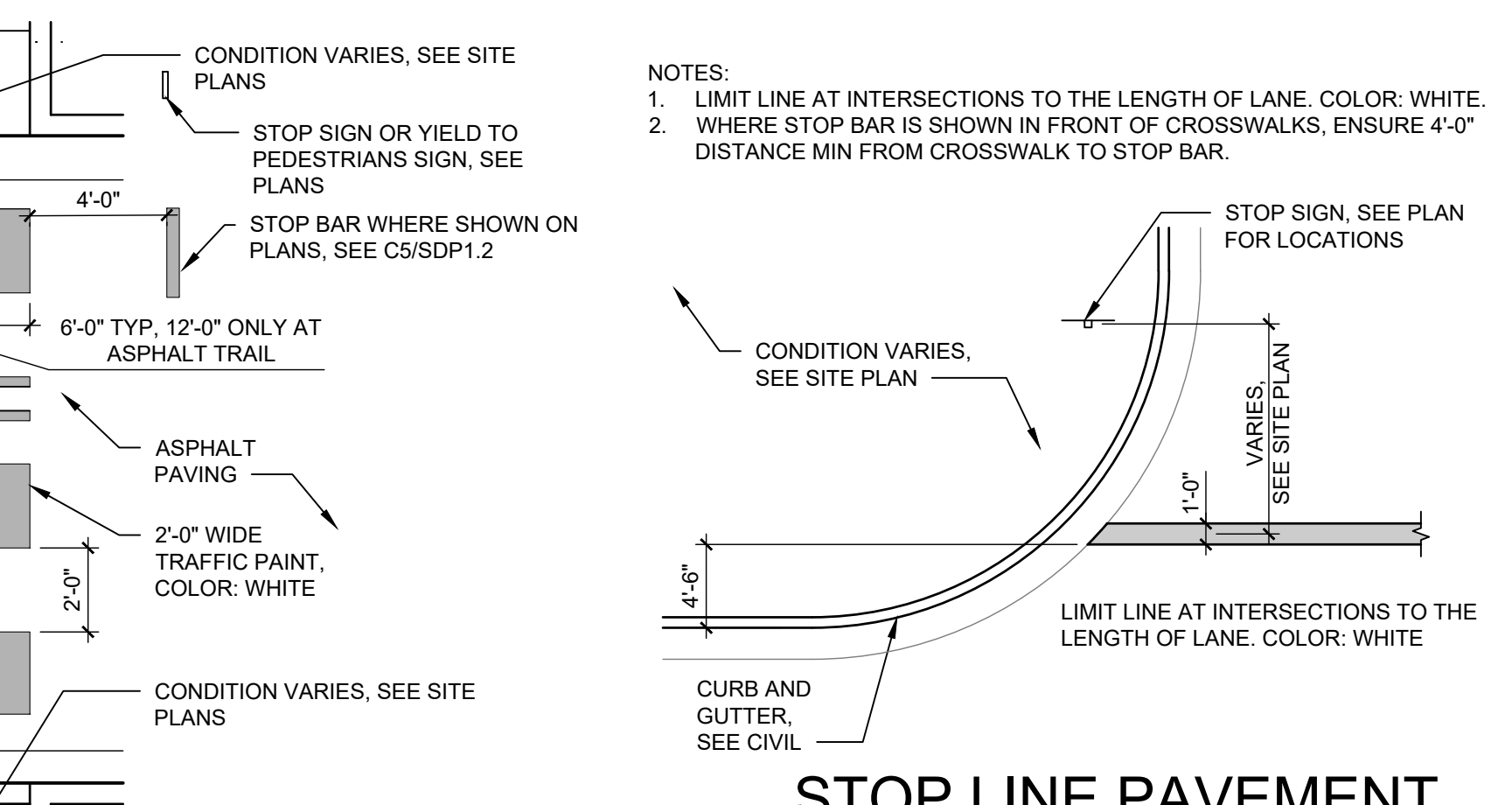
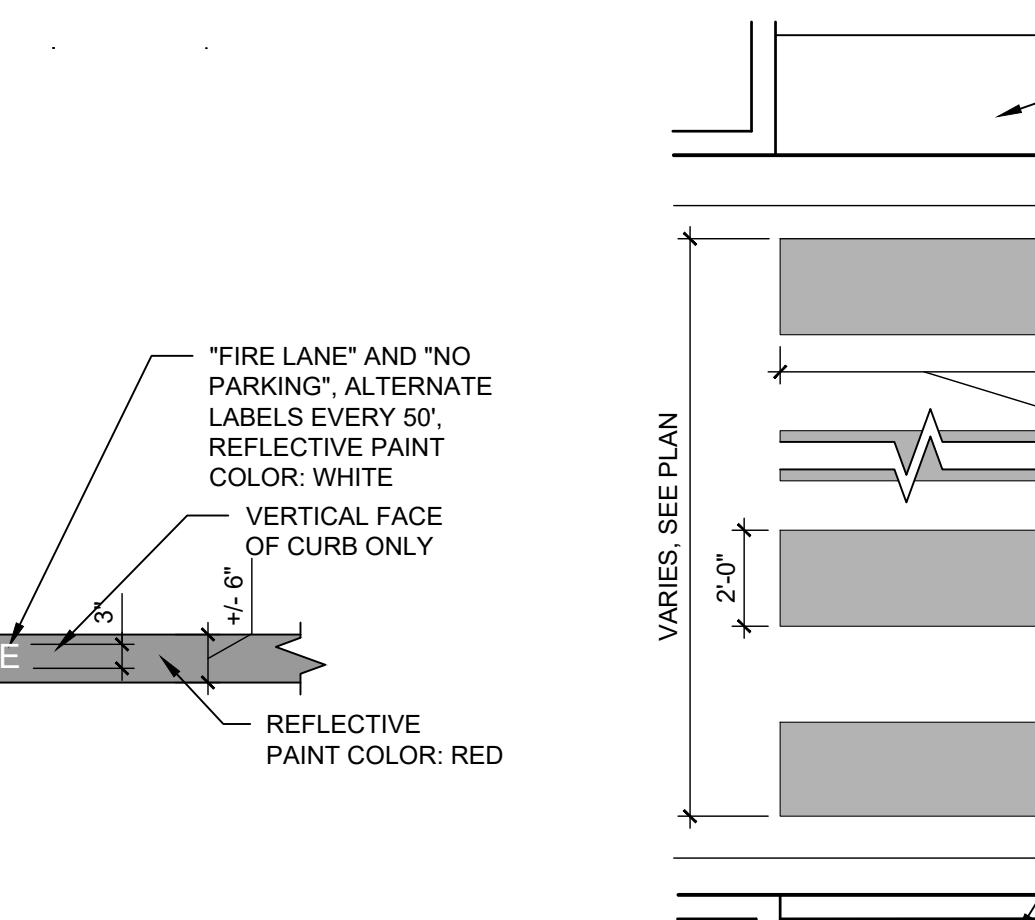
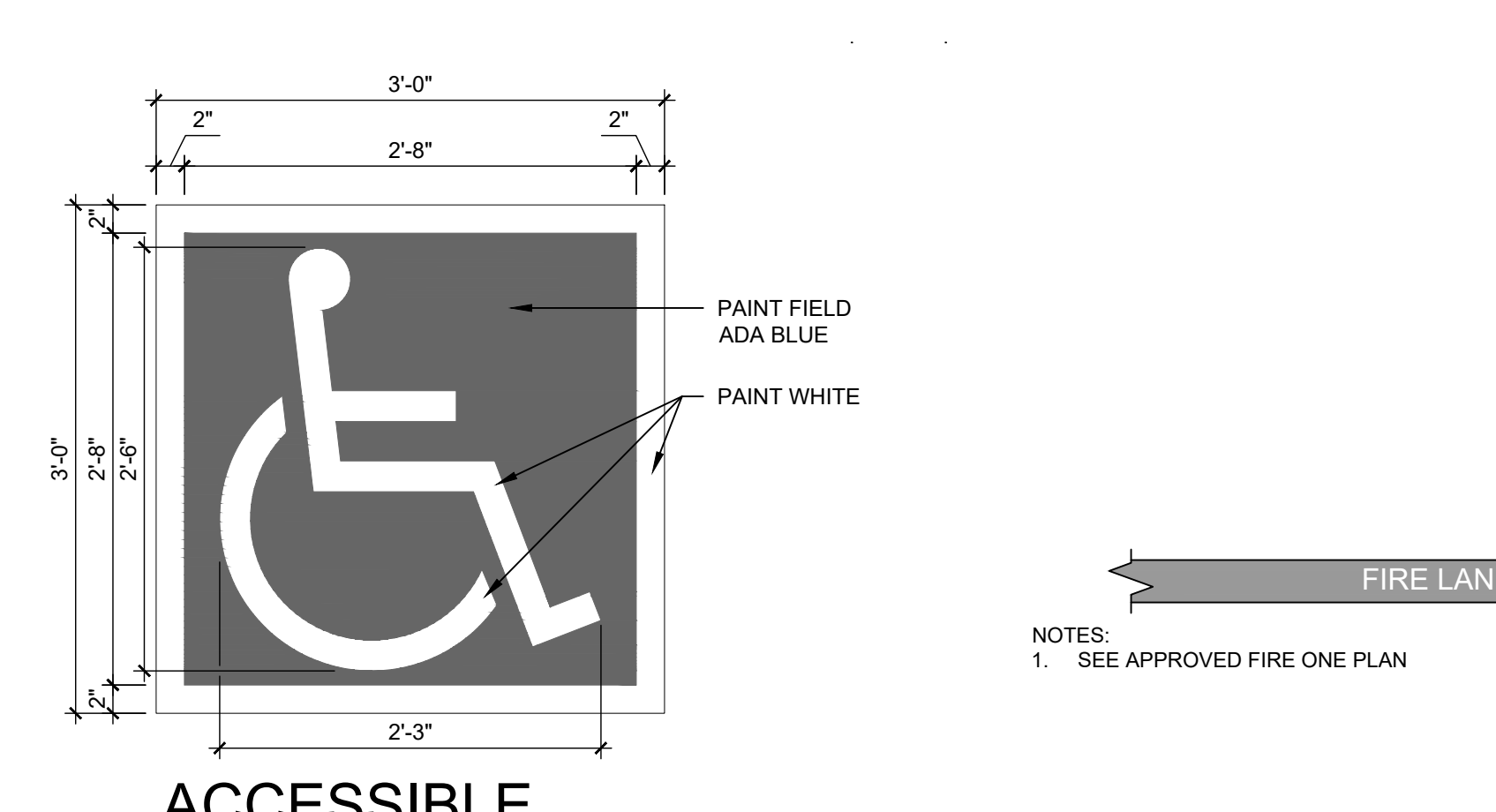
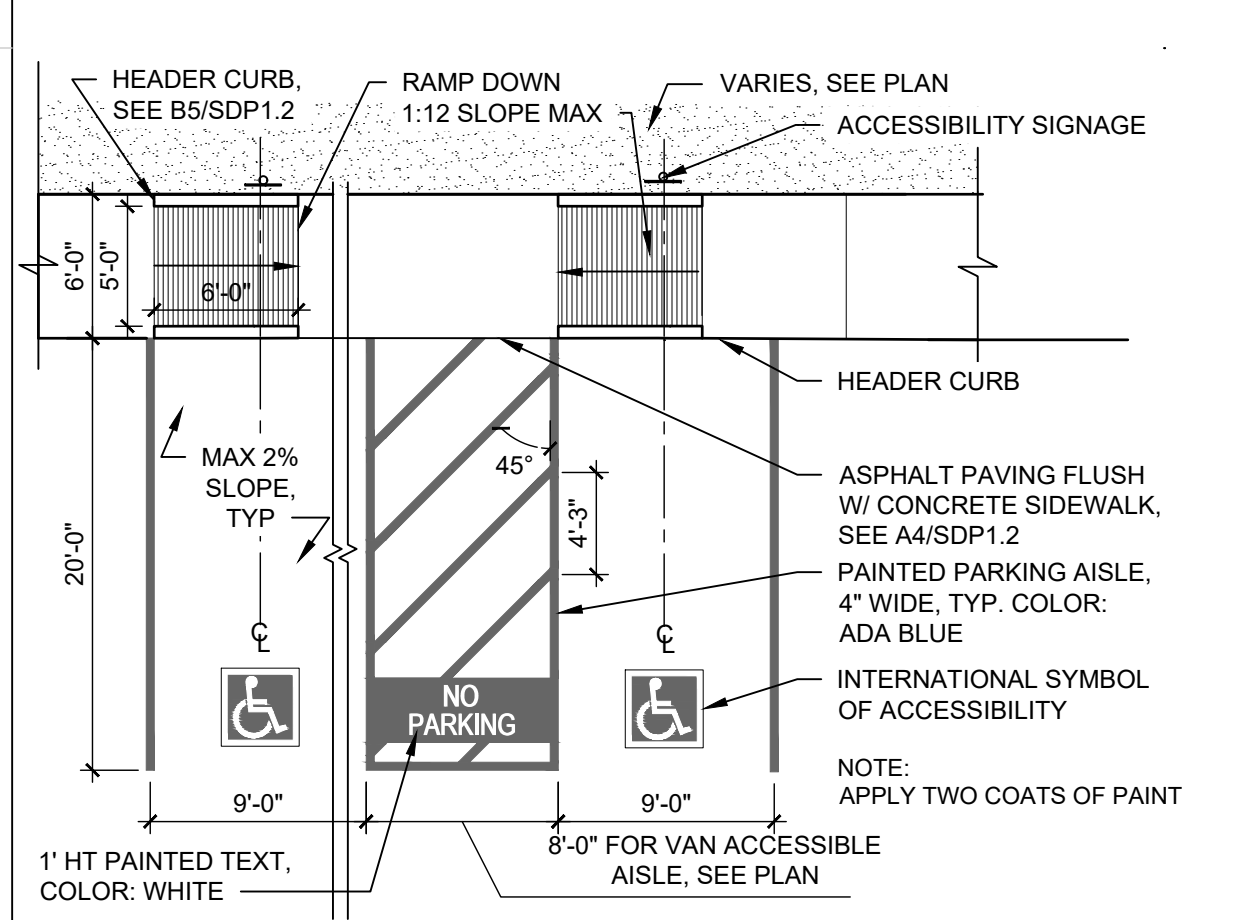
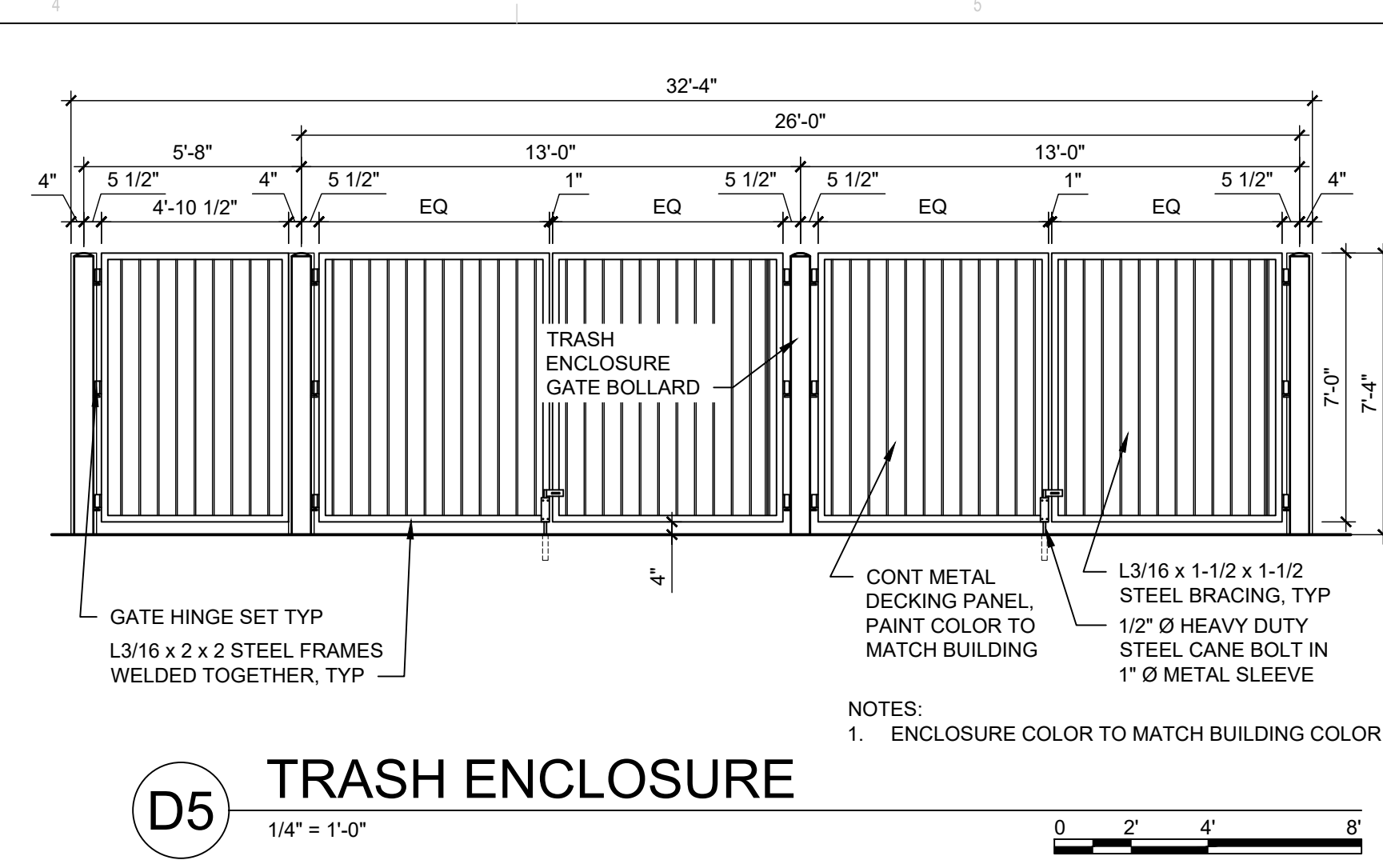
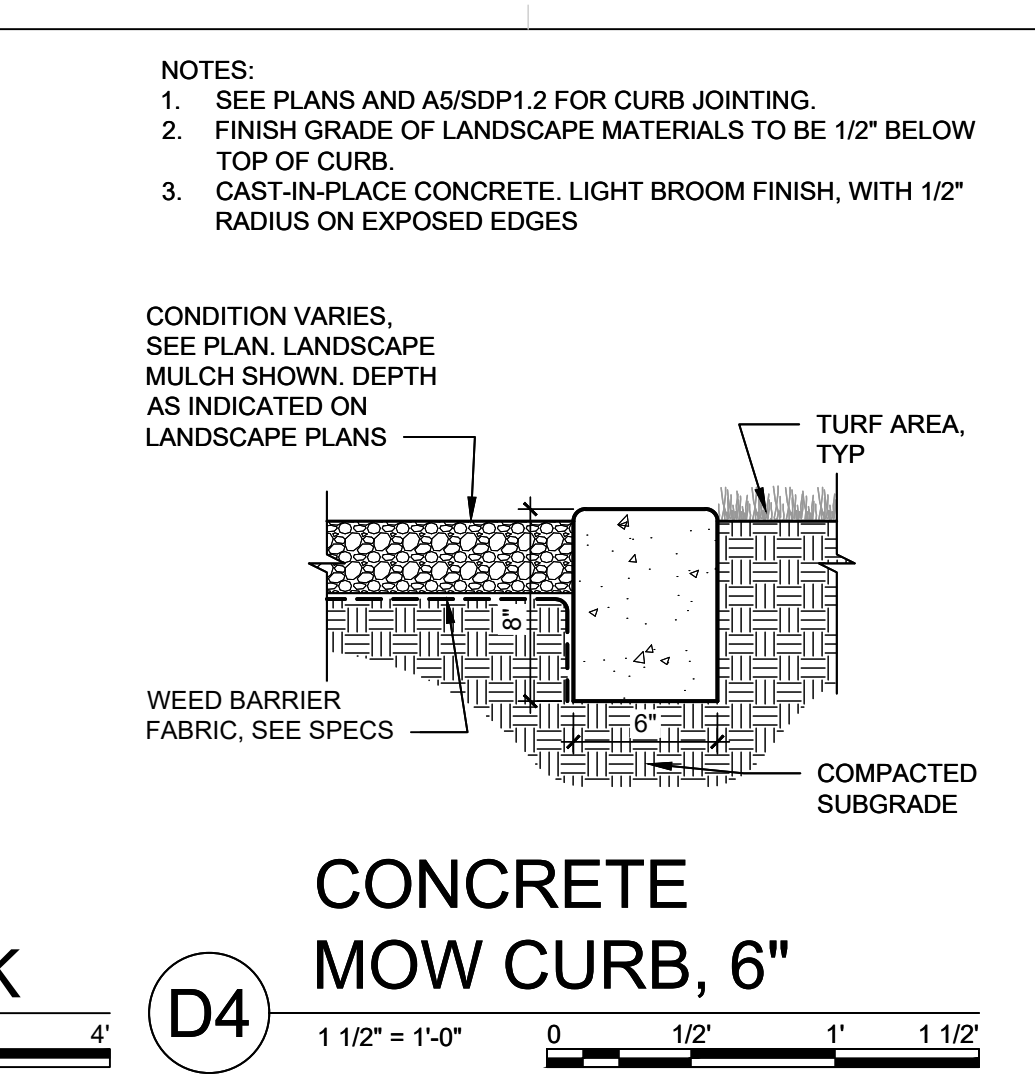
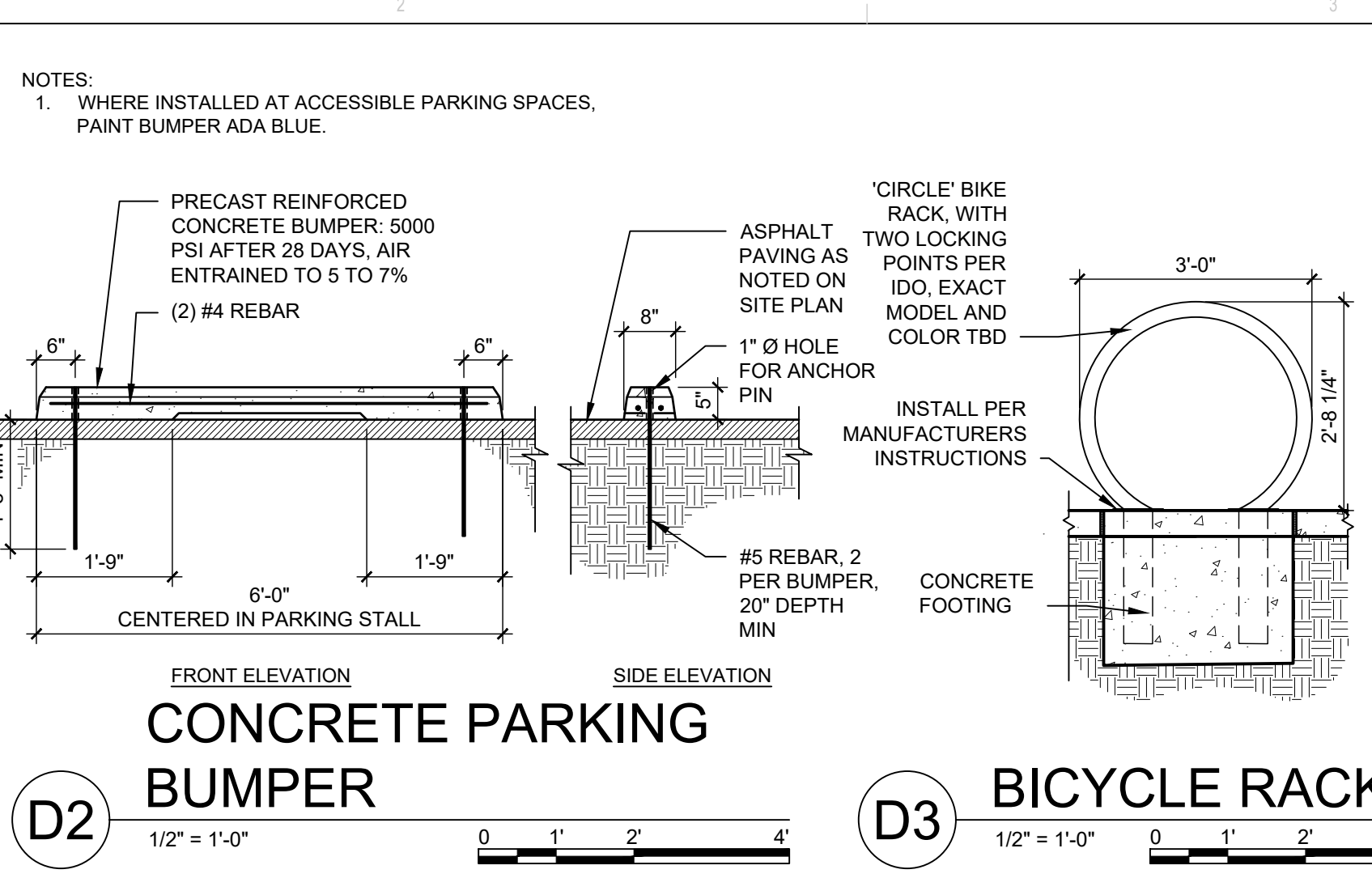
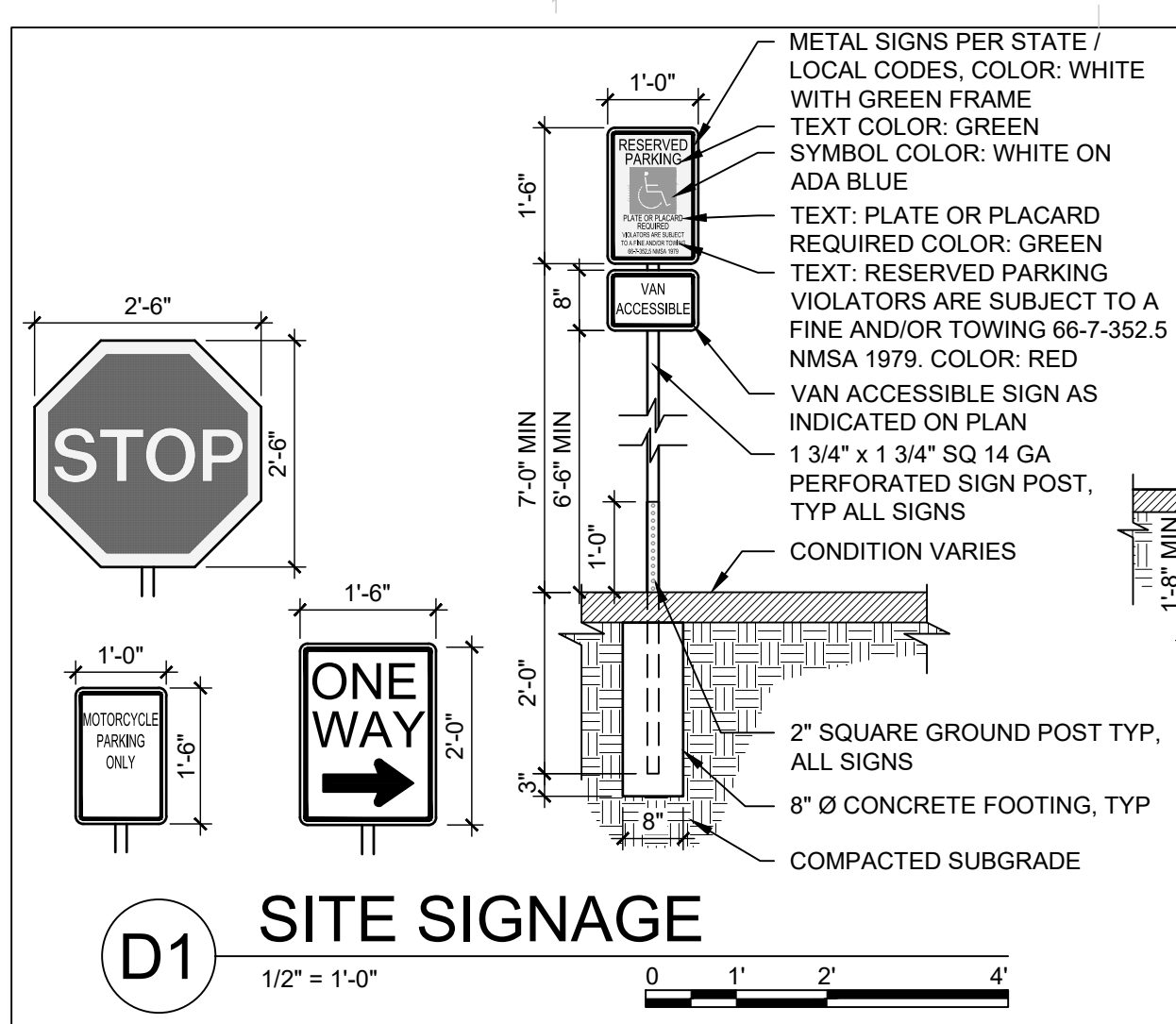
NUEVO ATRISCO
 201 Unser Blvd NW
 Albuquerque, NM 87121

PROJECT NO.	PR-2018-001405
APPLICATION NO.	SI-2022-01115
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
Ernest Armijo	Feb 16, 2023
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
<i>[Signature]</i>	Feb 17, 2023
ABCWUA	DATE:
<i>[Signature]</i>	Feb 16, 2023
PARKS & RECREATION DEPARTMENT	DATE:
<i>[Signature]</i>	Feb 16, 2023
CITY ENGINEER/HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
<i>[Signature]</i>	Feb 17, 2023
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
<i>[Signature]</i>	Feb 16, 2023
CODE ENFORCEMENT	DATE:

REVISIONS

△	
△	
△	
△	

DRAWN BY	JD, TC
REVIEWED BY	D/P/S
DATE	06.03.2022
PROJECT NO.	19-0059.002
DRAWING NAME	SITE DEVELOPMENT PLAN
SHEET NO.	SDP1.1

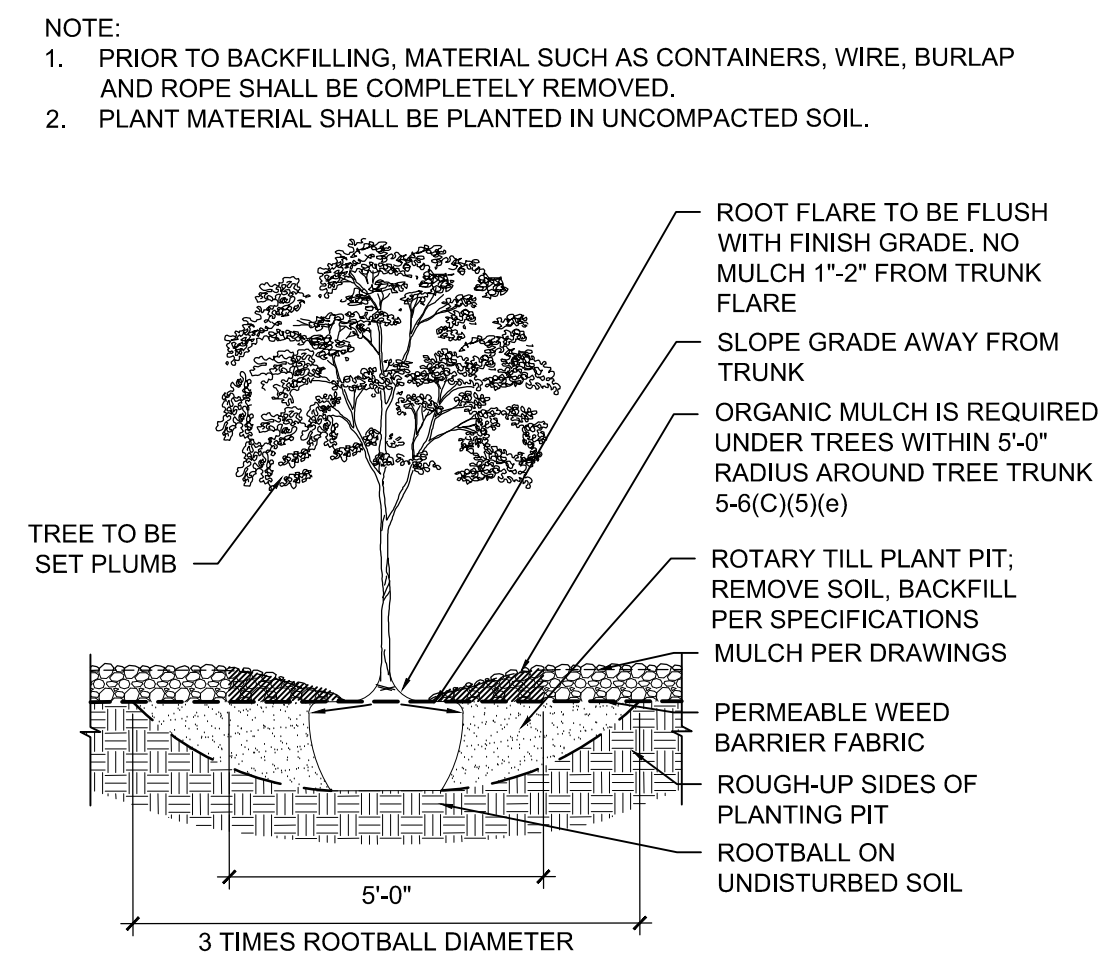


CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC

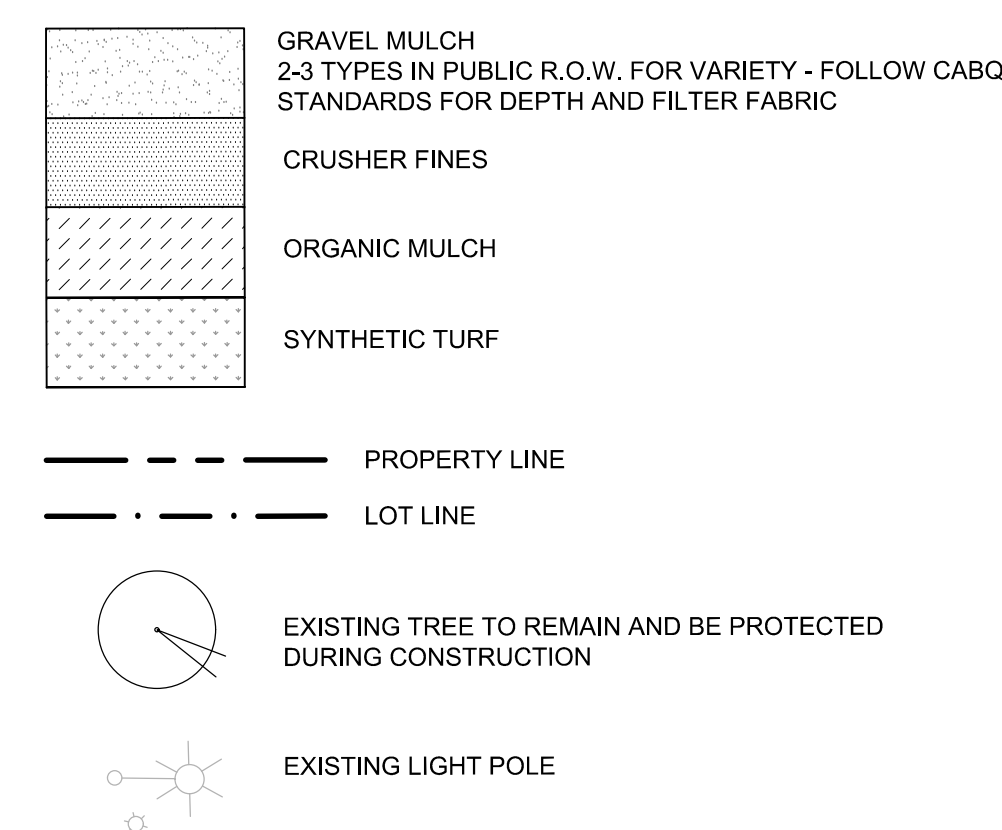
GENERAL SHEET NOTES

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- C. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIP LINE.
- D. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- E. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- F. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- G. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- H. CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- I. PHASING: THE PROPERTY WILL BE DEVELOPED IN TWO PHASES.

TREE PLANTING DETAIL



LEGEND



IRRIGATION NOTES

1. PLANTINGS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
2. THE IRRIGATION SYSTEM SHALL COMPLY WITH SECTION 8 OF THE ABCWUA LEGISLATION AND ORDINANCES.
3. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
4. THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING OR LOADING AREAS.
5. IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
6. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.
7. TWO SEPARATE IRRIGATION SYSTEMS WILL BE DESIGNED FOR LOT 1 AND LOT 2+3.

SHEET KEYED NOTES

1. CLEAR SIGHT TRIANGLE
2. CLEARANCE AROUND ELECTRICAL EQUIPMENT
3. PARKING LOT EDGE LANDSCAPE BUFFER ZONE
4. REQUIRED: 10' WIDE SIDEWALK ALONG UNSER (+2' EASEMENT, WHERE NECESSARY) PROVIDED: 6' WIDE EXISTING SIDEWALK. 4' WIDE WAIVER REQUESTED.
5. EXISTING EASEMENT
6. EXISTING PLANTING AND MULCH TO REMAIN
7. FUTURE SIDEWALK EXPANSION: KEEP AREA CLEAR OFF LANDSCAPE AND GRADE WITHIN 2% CROSSLOPE.

LANDSCAPE CALCULATIONS - LOT 1 (PHASE 1)

TOTAL LOT AREA = 1.673 ACRES = 72,876 SF
 AREA OF LOT COVERED BY BUILDINGS = 5,200 SF
 NET LOT AREA = 67,676 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA (10% OF NET LOT AREA) = 6,768 SF
 PROVIDED LANDSCAPE AREA = 10,158 SF = 15%

REQUIRED TREES: PARKING LOT
 REQUIRED NUMBER OF PARKING LOT TREES = 9 TREES
 TOTAL NUMBER OF PARKING = 94 SPACES
 REQUIRED = 1 TREE / 10 PARKING SPACES
 PROVIDED NUMBER OF PARKING LOT TREES = 10 TREES + 2 EXISTING = 12
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED TREES: WALKWAYS
 PLACED AT A MAX OF EVERY 25' ALONG REQUIRED PEDESTRIAN WALKWAYS
 REQUIRED WALKWAY TREES = 1
 PROVIDED WALKWAY TREES = 1

REQUIRED VEGETATIVE COVERAGE
 REQUIRED COVERAGE = 7,619 SF = 75% OF PROVIDED LANDSCAPE AREA
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND-LEVEL PLANTS
 PROVIDED TOTAL LANDSCAPE COVERAGE = 7,750 SF = 76%
 TREE CANOPY COVERAGE (26 TREES TOTAL) = 5,200 SF = 51%
 OF PROVIDED COVERAGE

GROUND-LEVEL PLANT COVERAGE (85 GROUND COVER PLANTS TOTAL) = 2,550 SF = 25% OF PROVIDED COVERAGE

GROUND COVER MATERIAL
 ROCK MULCH GROUND COVER = 5,053 SF = 50% OF PROVIDED LANDSCAPE AREA
 ORGANIC MULCH GROUND COVER = 5,105 SF = 50% OF PROVIDED LANDSCAPE AREA
 A MAXIMUM OF 50% OF GRAVEL OR CRUSHER FINES IS PERMITTED

PARKING LOT EDGE AT EAST PROPERTY LINE
 REQUIRED PARKING LOT EDGE LANDSCAPE BUFFER: 3 TREES AND 8 SHRUBS
 1 TREE AND 3 SHRUBS PER 25 FEET, MINIMUM 5 FOOT WIDTH WHERE PARKING IS WITHIN 20' OF SIDE LOT LINE
 APPLICABLE LOT LINE - SEE KEYED NOTE 3
 PROVIDED PARKING LOT EDGE LANDSCAPE BUFFER: 3 TREES AND 9 SHRUBS

PARKING LOT INTERIOR 5-6(F)(2)(b)
 AT LEAST 10% OF THE PARKING LOT AREA AREA OF LOTS CONTAINING 50 OR MORE SPACES SHALL BE LANDSCAPED
 38,250 SF OF PARKING / PROVIDED LANDSCAPE = 3,988 SF = 10.4%

LANDSCAPE EDGE BUFFER AT WEST PROPERTY LINE
 NOT REQUIRED PER 5-6(E)(1)(c) - equivalent of landscape installed within public right-of-way

LANDSCAPE EDGE BUFFER AT NORTH PROPERTY LINE
 NOT REQUIRED PER Table 5-6-4

PLANT LEGEND

TREES	COMMON NAME
	DESERT WILLOW
	OKLAHOMA REDBUD
	NEW MEXICO OLIVE
	CHINESE PISTACHE
	THORNLESS HONEY LOCUST
	EMERALD SUNSHINE ELM
	SENSATION BOX ELDER MAPLE
	FRONTIER ELM
	GAMBEL OAK, OKLAHOMA REDBUD
SHRUBS	COMMON NAME
	TURPENTINE BUSH
	THOMPSON BROOM
	LAVENDER
	LENA BROOM
	AUTUMN AMBER SUMAC
	CREeping ROSEMARY
	FURMAN'S RED SALVIA
	ULTRA VIOLET SAGE
DESERT ACCENTS	COMMON NAME
	RED YUCCA
	BEARGRASS
	SPINELESS PRICKLY PEAR
	ECHINOCEREUS
	NEW MEXICO AGAVE
	BANANA YUCCA
	SOFT-LEAF YUCCA
	TWISTED LEAF YUCCA
GRASSES	COMMON NAME
	'BLONDE AMBITION' BLUE GRAMA
	MEXICAN FEATHER GRASS
	EL TORO MUHLY GRASS
	LINDHEIMER'S MUHLY GRASS
	DEER GRASS
	MOSSROCK BOULDER

LANDSCAPE CALCULATIONS - LOT 2 (PHASE 1)

TOTAL LOT AREA = 0.707 ACRES = 30,797 SF
 AREA OF LOT COVERED BY BUILDINGS = 6,000 SF
 NET LOT AREA = 24,797 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA (10% OF NET LOT AREA) = 2,480 SF
 PROVIDED LANDSCAPE AREA = 5,702 SF = 23%

REQUIRED TREES: PARKING LOT
 REQUIRED NUMBER OF PARKING LOT TREES = 4 TREES
 TOTAL NUMBER OF PARKING = 38 SPACES
 REQUIRED = 1 TREE / 10 PARKING SPACES
 PROVIDED NUMBER OF PARKING LOT TREES = 4 TREES
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED TREES: WALKWAYS
 PLACED AT A MAX OF EVERY 25' ALONG REQUIRED PEDESTRIAN WALKWAYS
 REQUIRED WALKWAY TREES = 3
 PROVIDED WALKWAY TREES = 3

REQUIRED VEGETATIVE COVERAGE
 REQUIRED COVERAGE = 4,277 SF = 75% OF PROVIDED LANDSCAPE AREA
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND-LEVEL PLANTS
 PROVIDED TOTAL LANDSCAPE COVERAGE = 4,380 SF = 77%
 TREE CANOPY COVERAGE (12 TREES TOTAL) = 2,400 SF = 42% OF PROVIDED COVERAGE

GROUND-LEVEL PLANT COVERAGE (66 GROUND COVER PLANTS TOTAL) = 1,980 SF = 35% OF PROVIDED COVERAGE

GROUND COVER MATERIAL
 ROCK MULCH GROUND COVER = 2,812 SF = 49% OF PROVIDED LANDSCAPE AREA
 ORGANIC MULCH GROUND COVER = 2,890 SF = 51% OF PROVIDED LANDSCAPE AREA
 A MAXIMUM OF 50% OF GRAVEL OR CRUSHER FINES IS PERMITTED

PARKING LOT INTERIOR 5-6(F)(2)(b)
 AT LEAST 5% OF THE PARKING LOT AREA AREA OF LOTS CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED
 13,140 SF OF PARKING / PROVIDED LANDSCAPE = 1,080 SF = 8.2%

LANDSCAPE CALCULATIONS - LOT 3 (PHASE 2)

TOTAL LOT AREA = 0.756 ACRES = 33,931 SF
 AREA OF LOT COVERED BY BUILDINGS = 4,350 SF
 NET LOT AREA = 29,581 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA (10% OF NET LOT AREA) = 2,958 SF
 PROVIDED LANDSCAPE AREA = 5,070 SF = 17%

REQUIRED TREES: PARKING LOT
 REQUIRED NUMBER OF PARKING LOT TREES = 4 TREES
 TOTAL NUMBER OF PARKING = 38 SPACES
 REQUIRED = 1 TREE / 10 PARKING SPACES
 PROVIDED NUMBER OF PARKING LOT TREES = 4 TREES
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED TREES: WALKWAYS
 PLACED AT A MAX OF EVERY 25' ALONG REQUIRED PEDESTRIAN WALKWAYS
 REQUIRED WALKWAY TREES = 9
 PROVIDED WALKWAY TREES = 9

REQUIRED VEGETATIVE COVERAGE
 REQUIRED COVERAGE = 3,803 SF = 75% OF PROVIDED LANDSCAPE AREA
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND-LEVEL PLANTS
 PROVIDED TOTAL LANDSCAPE COVERAGE = 5,070 SF = 95%
 TREE CANOPY COVERAGE (15 TREES TOTAL) = 3,000 SF = 56% OF PROVIDED COVERAGE

GROUND-LEVEL PLANT COVERAGE (69 GROUND COVER PLANTS TOTAL) = 2,070 SF = 39% OF PROVIDED COVERAGE

GROUND COVER MATERIAL
 ROCK MULCH GROUND COVER = 2,650 SF = 50% OF PROVIDED LANDSCAPE AREA
 ORGANIC MULCH GROUND COVER = 2,686 SF = 50% OF PROVIDED LANDSCAPE AREA
 A MAXIMUM OF 50% OF GRAVEL OR CRUSHER FINES IS PERMITTED

PARKING LOT INTERIOR 5-6(F)(2)(b)
 AT LEAST 5% OF THE PARKING LOT AREA AREA OF LOTS CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED
 14,440 SF OF PARKING / PROVIDED LANDSCAPE = 864 SF = 6%

PUBLIC R.O.W. LANDSCAPE

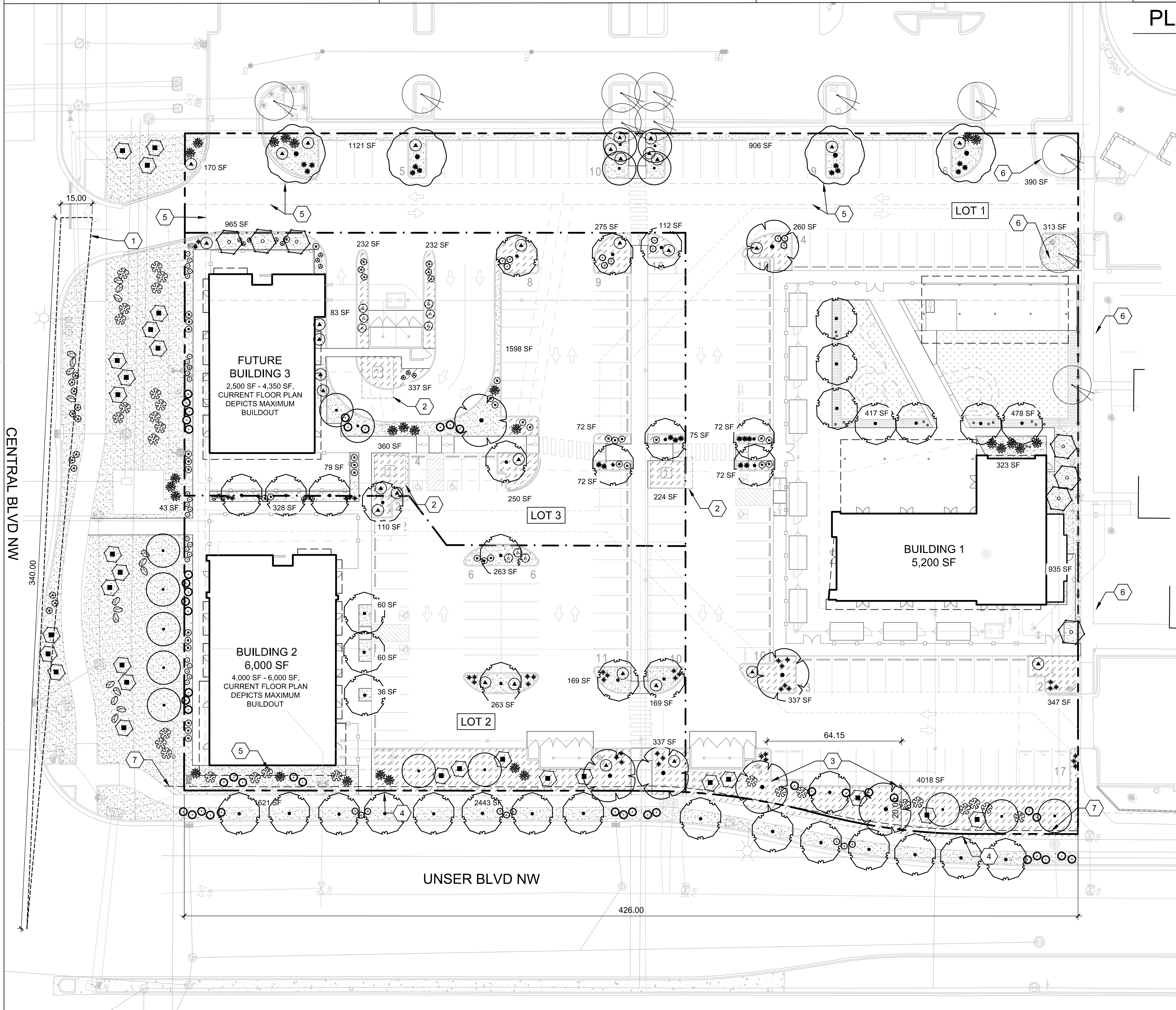
MAINTENANCE: LANDSCAPE AND IRRIGATION INSTALLED WITHIN PUBLIC R.O.W. SHALL BE MAINTAINED BY PROPERTY OWNER.

ALONG CENTRAL AVE
 STREET TREES ARE PLACED ONLY WHERE POSSIBLE WITHOUT INTERFERING WITH EXISTING AND PROPOSED UNDERGROUND UTILITIES. ROCK MULCH WILL BE DESIGNED WITH 2-3 TYPES OF COLOR/SIZE TO PROVIDE VISUAL INTEREST AND VARIETY.

PROVIDED PLANTING WILL BE IRRIGATED BY AUTOMATED IRRIGATION SYSTEM AS DESIGNED FOR REST OF THE PROPERTY WITH A SEPARATE VALVE ZONE (PLANTING IS DESIGNED AS NATIVE/DROUGHT-TOLERANT TO THRIVE WITHOUT NEED OF SUPPLEMENTAL IRRIGATION AFTER ESTABLISHED)

ALONG UNSER BLVD
 LENGTH OF PROPERTY LINE ABUTTING ROADWAY = 426'
 REQUIRED STREET TREES PLACED AT 25' O.C. = 17
 PROVIDED STREET TREES = 17
 15 PLACED WITHIN BACK OF CURB AND SIDEWALK AND 2 WITHIN 25' FROM BACK OF CURB DUE TO UTILITY CONFLICTS

PROVIDED PLANTING WILL BE IRRIGATED BY AUTOMATED IRRIGATION SYSTEM AS DESIGNED FOR REST OF THE PROPERTY.



LANDSCAPE PLAN
 A1
 1" = 30'-0"
 0 30' 60'

DEKKER PERICH SABATINI



ARCHITECT

NOT FOR CONSTRUCTION

PROJECT

NUEVO ATRISCO
 201 Unser Blvd NW
 Albuquerque, NM 87121

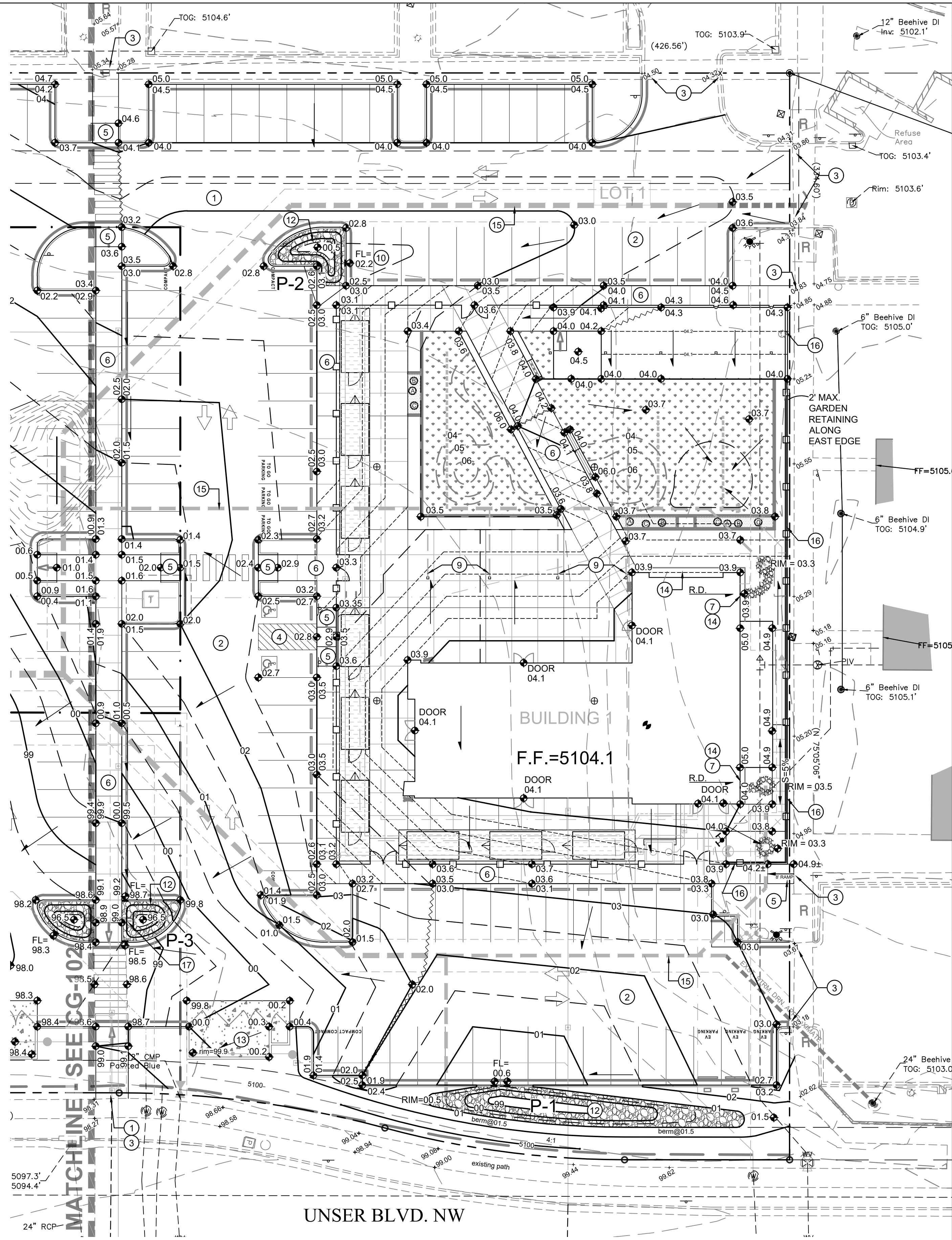
REVISIONS

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DRAWN BY	JD, TC
REVIEWED BY	CM
DATE	06.03.2022
PROJECT NO.	19-0059.002
DRAWING NAME	

LANDSCAPE PLAN

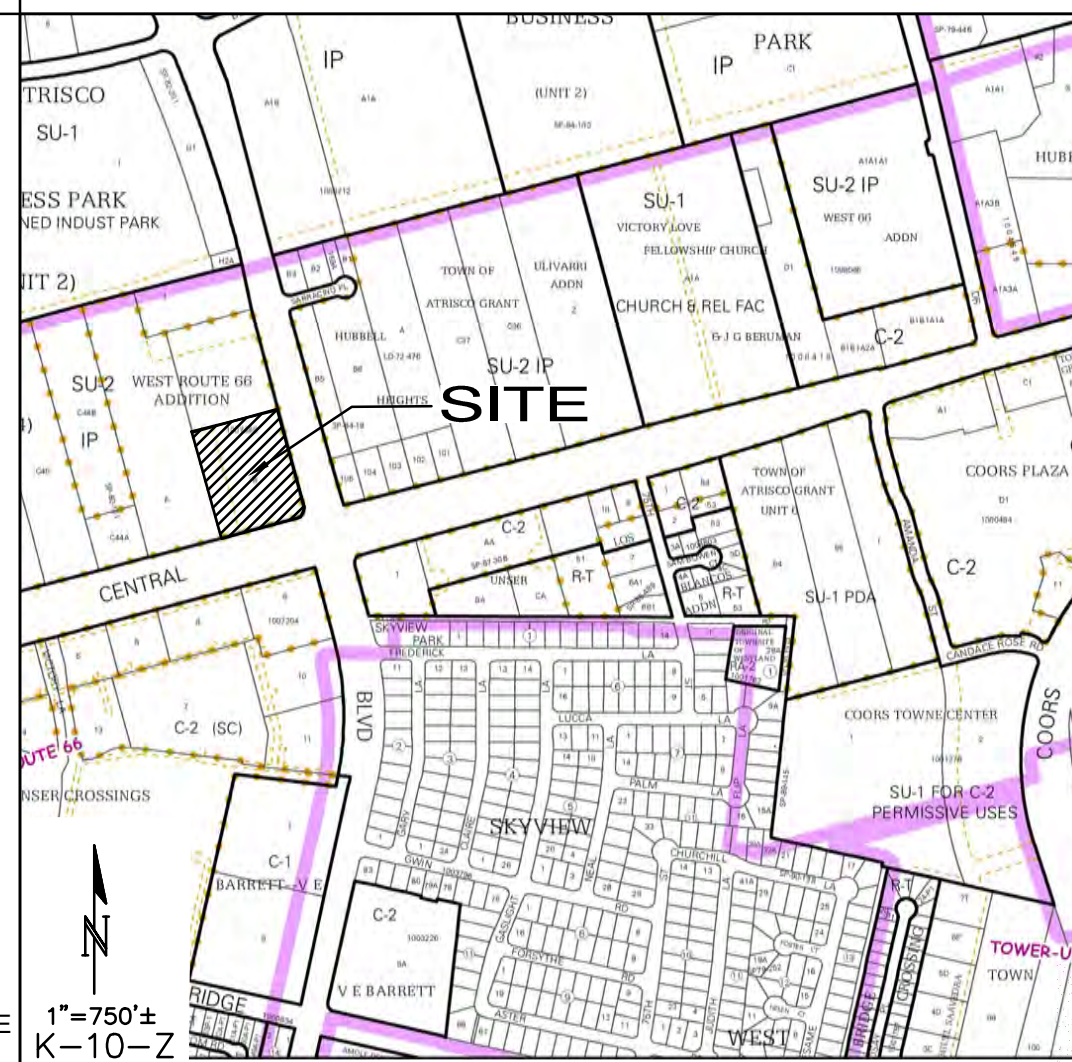
SHEET NO.
SDP2.1



KEYED NOTES

- THESE NOTES ARE REFERENCED ON SHEETS CG-101 AND CG-102. NOT ALL NOTES ARE USED ON EACH SHEET. SEE CG-501 FOR GRADING AND DRAINAGE DETAILS (PER UNDERLINED TEXT). SEE ADA COMPLIANCE NOTES THIS SHEET FOR TARGET SLOPES AND MAXIMUM SLOPES.
- NO WORK SHALL BE PERFORMED IN THE PUBLIC R/W WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
 - NEW PAVING AT ELEVATIONS SHOWN. SLOPES AND CROSS-SLOPES VARY TO ACHIEVE ADA COMPLIANCE. REQUIRED PIPE COVERAGE, DRAINAGE, ETC. ELEVATIONS SHOWN IN GUTTER REPRESENT FLOWLINE. ADD 6" TYPICAL FOR ADJACENT TOP OF WALK / TOP OF CURB ELEVATION UNLESS NOTED. 0.5' AND 0.1' DESIGN CONTOURS SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT. SEE LEGEND FOR ADDITIONAL INFORMATION.
 - PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT.
 - ADA COMPLIANT PARKING SPACES AND ACCESS AISLES AT ELEVATIONS SHOWN.
 - ADA COMPLIANT CURB RAMP AT ELEVATIONS SHOWN.
 - ADA COMPLIANT PEDESTRIAN ACCESS WALK AT ELEVATIONS SHOWN.
 - ROOF DISCHARGE TO BE RELEASED AT GRADE. CONSTRUCT 3' WIDE ANGULAR ROCK SWALE (SEE CG-501 FOR DETAIL) FROM BUILDING TO LANDSCAPE DOMED STORM DRAIN INLET.
 - CONCENTRATED ROOF DISCHARGE TO 12" WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER COA STD. DWG. 2236. CONSTRUCT 3' WIDE ANGULAR ROCK SWALE FROM BUILDING TO EXISTING STORM DRAIN INLET.
 - COVERED PATIO DISCHARGE TO BE PIPED DIRECTLY TO STORM DRAIN. SEE ARCHITECTURAL FOR DOWNSPOUT LOCATIONS.
 - 18" CURB WIDE OPENING TO PASS FLOW. SLOPE GUTTER AT IN DIRECTION OF FLOW (EACH CURB OPENING LOCATION).
 - GRADE 1' DEEP TEMPORARY SEDIMENT POND THIS AREA.
 - STORMWATER QUALITY RETENTION POND AT ELEVATIONS SHOWN. TYPICAL SIDESLOPE = 2:1. ALL STORMWATER QUALITY PONDING VOLUMES WILL BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE. GRADES SHOWN REFLECT FINAL GRADES INCLUDING EROSION PROTECTION.
 - DUMPSTER PAD SLOPED TO INTERIOR SANITARY SEWER DRAIN INLET(S). SEE UTILITY PLAN FOR CONTINUATION.
 - 12" WIDE (MINIMUM) CONCRETE APRON ADJACENT TO BUILDING. TOP OF APRON AT BUILDING = 0.1' BELOW FINISH FLOOR ELEVATION. SLOPE APRON AWAY FROM BUILDING AT 2% SLOPE. SEE ARCHITECTURAL.
 - PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG-501 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
 - GRADE TRANSITION WALL(S) (RETAINING < 30°) TO ACHIEVE GRADE DIFFERENCE SHOWN. FINISH GRADE ON BOTH SIDES OF WALL ARE SHOWN. RETAINING HEIGHT VARIES. STRUCTURAL DESIGN TO BE PROVIDED BY WALL CONTRACTOR.
 - TWO 6" DIA. PIPES THROUGH WALK. FLOWLINE ELEVATION = 5098.0 BOTH SIDES.

VICINITY MAP K-10



PROJECT INFORMATION

PROPERTY: THE SITE IS A PARTIALLY DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-10. THE SITE IS BOUND TO THE EAST BY UNSER BLVD, TO THE NORTH AND WEST BY DEVELOPED COMMERCIAL PROPERTY AND TO THE SOUTH BY CENTRAL AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE, COMMERCIAL RESTAURANTS(S), RETAIL/OFFICE, FOOD PARK, PARKING, AND LANDSCAPING.

LEGAL: TRACT B, NUEVO ATRISCO, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "9-K10", ELEVATION = 5117.72 FEET (NAVD 1988).

OFF-SITE FLOW: OFF-SITE FLOW FROM THE ADJACENT HOUSING PROJECT IS ROUTED THROUGH THIS PROPERTY WITHIN AN EXISTING STORM DRAIN SYSTEM WITH DRAINAGE EASEMENT. MINOR SURFACE FLOW IS ALSO ACCEPTED WITHIN A BLANKET DRAINAGE EASEMENT.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP 35001C032J, MAP (REVISION DATE NOVEMBER 4, 2016), THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS ADJACENT DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. CENTRAL AVENUE ADJACENT TO THE PROPERTY IS ENCUMBERED BY ZONE AO (DEPTH 1').

SEE DRAINAGE REPORT FOR ADDITIONAL INFORMATION AND CALCULATIONS.

STORMWATER QUALITY

FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 80TH PERCENTILE STORM EVENT OR 0.26". THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 112,317 SF. THE TOTAL REQUIRED SWQV = 0.26" * TYPE 'D' AREA = 0.26/12 * 112,317 SF = 2,434 CF.

SWQV PONDS WILL BE CONSTRUCTED THROUGHOUT THE PROPERTY WITHIN SURFACE PONDS. THE TOTAL PROVIDED SWQV=1,190 CF FOR LOTS 1 AND 2. WHEN LOT 3 DEVELOPS, IT WILL PROVIDE 400 CF OF ADDITIONAL SWQV.

IN-LIEU PAYMENT WILL BE PROVIDED FOR THE DEFICIENT SWQV OF 844 CF (2,434 CF - 1,590 CF) = 844 CF @ \$8 / CF = \$6,748.

POND P-1			POND P-3		
Contour	Area	Volume	Contour	Area	Volume
5099.00	80		5096.50	35	
5100.50	540	465 CF	5098.30	124	143 CF
POND VOLUME = 465 CF			POND VOLUME = 143 CF		

POND P-2			POND P-4		
Contour	Area	Volume	Contour	Area	Volume
5100.50	30		5096.0	56	
5102.00	183	160 CF	5097	350	203 CF
POND VOLUME = 160 CF			5097.3	1111	219 CF
			POND VOLUME = 422 CF		

LOT 3 WILL BE REQUIRED TO PROVIDE 400 CF OF STORMWATER QUALITY VOLUME WHEN IT DEVELOPS.

EROSION PROTECTION NOTES

INSTALL 4" AVG. DIA. X 8" DEPTH EROSION PROTECTION TO EXTENTS SHOWN. ANGULAR ROCK MUST BE PLACED TO PERMIT STORMWATER TO PASS SMOOTHLY. HAND PLACE AT CURB OPENINGS AND SWALES TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY. SEE CG-501 FOR DETAIL.



ADA COMPLIANCE

- SIDEWALK(S) AND RAMP(S):
- * LONGITUDINAL SLOPE SHALL NOT EXCEED 20:1 (5% SLOPE).
 - * TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
- ACCESSIBLE RAMP(S):
- * TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)
 - * TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
- ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

LEGEND

- 39 — PROPOSED 1.0' CONTOUR
- - - 38.5 - - - PROPOSED 0.5' CONTOUR
- - - 38.2 - - - PROPOSED 0.1' CONTOUR
- ◆ 37.5 PROPOSED SPOT ELEVATION
- SURFACE FLOW DIRECTION
- FF = 5237.5 FINISH FLOOR ELEVATION
- - - - - PROPOSED STORM DRAIN / INLET
- P-X STORMWATER QUALITY POND

Isaacson & Arfman, Inc.
Civil Engineering Consultants

128 Monroe Street NE
Albuquerque, NM 87108
505-268-8828 | www.iaacivil.com

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ASA M. WILSSON-HEBER
17831
Professional Engineer
01/09/2023

Engineer

NUEVO ATRISCO
201 Unser Blvd NW
Albuquerque, NM 87121

ISSUE: -	PROJECT NUMBER: IA 2470
FILE:	DRAWN BY: BUB
	CHECKED BY: ANW
	DATE: OCTOBER, 2022

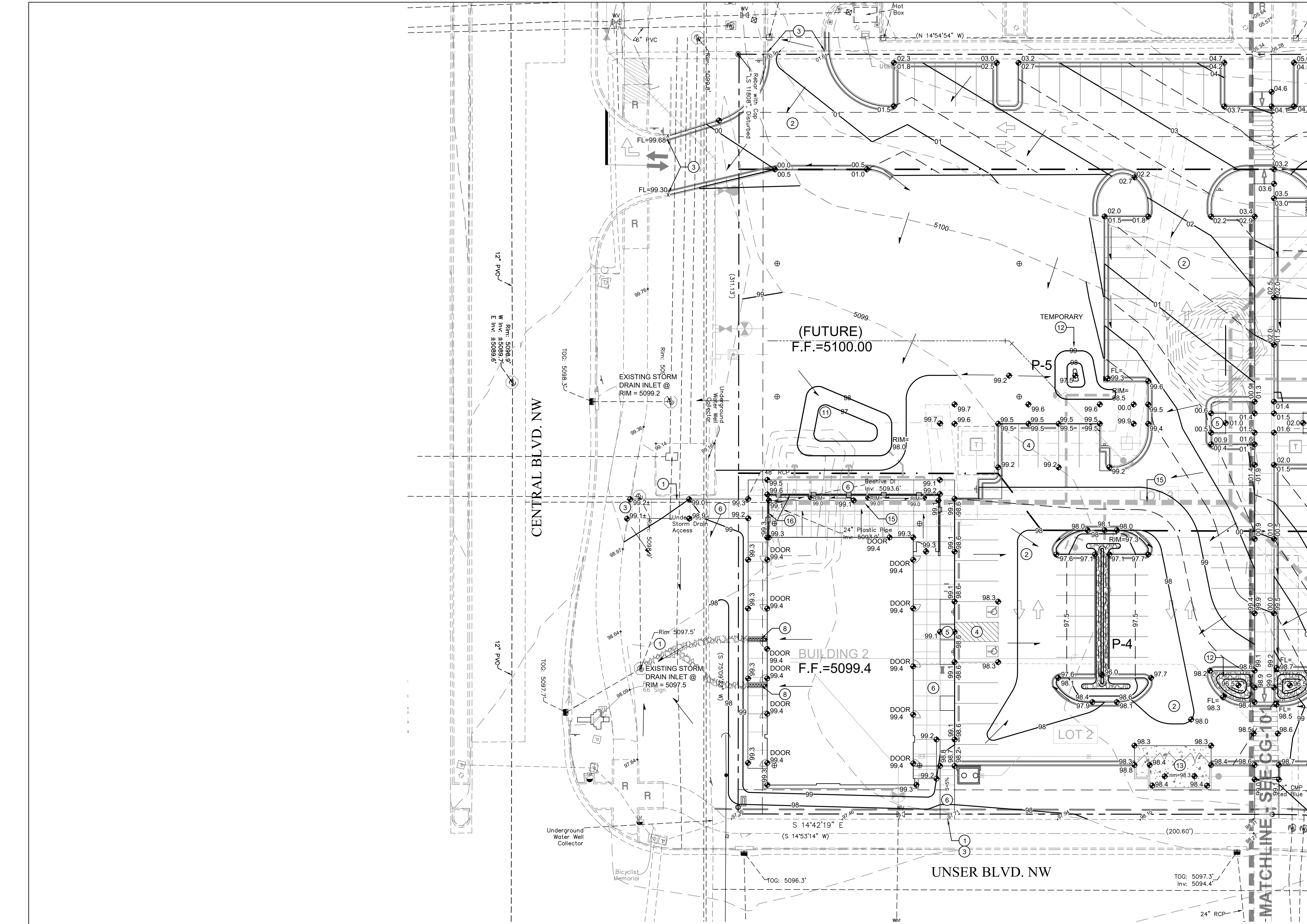
No	Date	Description

SHEET TITLE

GRADING & DRAINAGE PLAN 1 OF 2

SHEET NUMBER

CG-101



KEYED NOTES

- NO WORK SHALL BE PERFORMED IN THE PUBLIC R/W WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- NEW PAVING AT ELEVATIONS SHOWN. SLOPES AND CROSS-SLOPES VARY TO ACHIEVE ADA COMPLIANCE. REQUIRED PIPE COVERAGE, DRAINAGE, ETC. ELEVATIONS SHOWN IN GUTTER REPRESENT FLOWLINE. ADD 6" TYPICAL FOR ADJACENT TOP OF WALK / TOP OF CURB ELEVATION UNLESS NOTED. 0.5' AND 0.1' DESIGN CONTOURS SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT. SEE LEGEND FOR ADDITIONAL INFORMATION.
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- DUMPSTER PAD SLOPED TO INTERIOR SANITARY SEWER DRAIN INLET(S). SEE UTILITY PLAN FOR CONTINUATION.
- 12" WIDE (MINIMUM) CONCRETE APRON ADJACENT TO BUILDING. TOP OF APRON AT BUILDING = 0.1' BELOW FINISH FLOOR ELEVATION. SLOPE APRON AWAY FROM BUILDING AT 2% SLOPE. SEE ARCHITECTURAL.
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- TWO 6" DIA. PIPES THROUGH WALK. FLOWLINE ELEVATION = 5098.0 BOTH SIDES.



LEGEND

- 39 PROPOSED 1.0' CONTOUR
- 38.5 PROPOSED 0.5' CONTOUR
- 37.5 PROPOSED SPOT ELEVATION
- SURFACE FLOW DIRECTION
- FINISH FLOOR ELEVATION
- PROPOSED STORM DRAIN / INLET



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Engineer

NUEVO ATRISCO
201 Unser Blvd NW
Albuquerque, NM 87121

ISSUE: -
PROJECT NUMBER: IA 2470
FILE:
DRAWN BY: BJB
CHECKED BY: ANW
DATE: OCTOBER, 2022

No	Date	Description

SHEET TITLE

GRADING & DRAINAGE PLAN 2 OF 2

SHEET NUMBER

CG-102

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 01/31/23
 BY: *Ross J. Brissette*
 HydroTeam # K100058

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UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE TO CENTER OF BASINS OR INLINE DRAINS.

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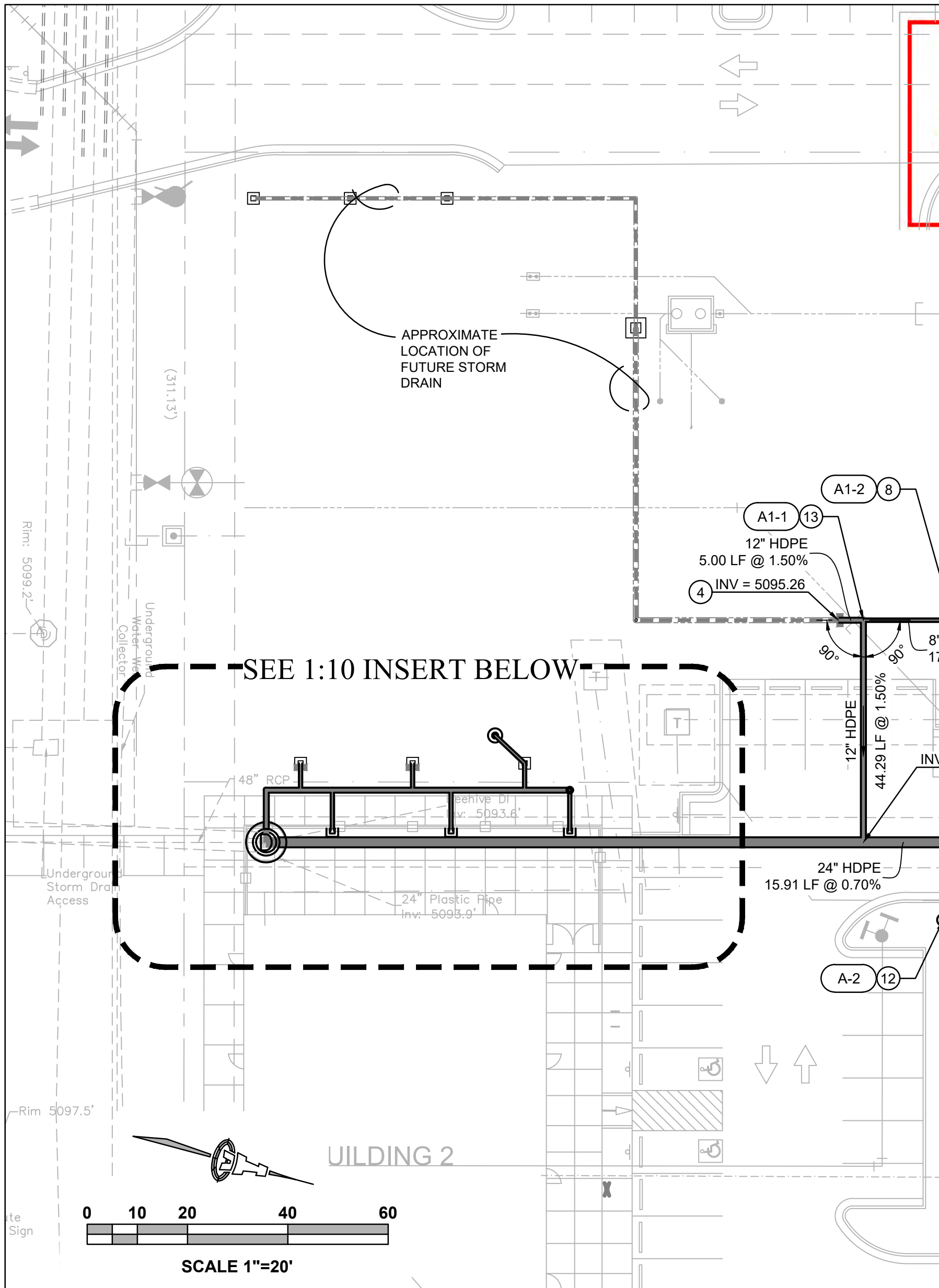
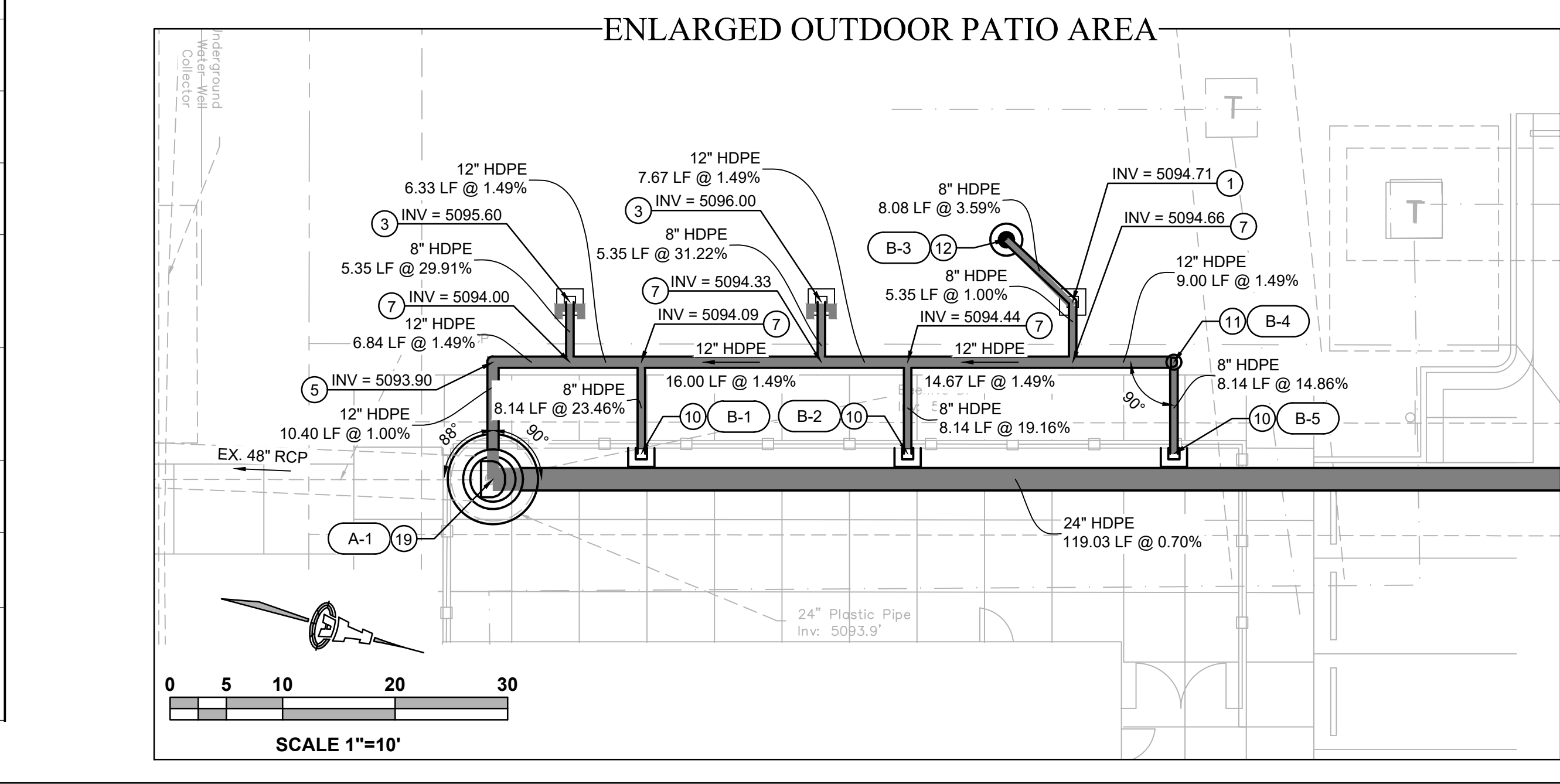
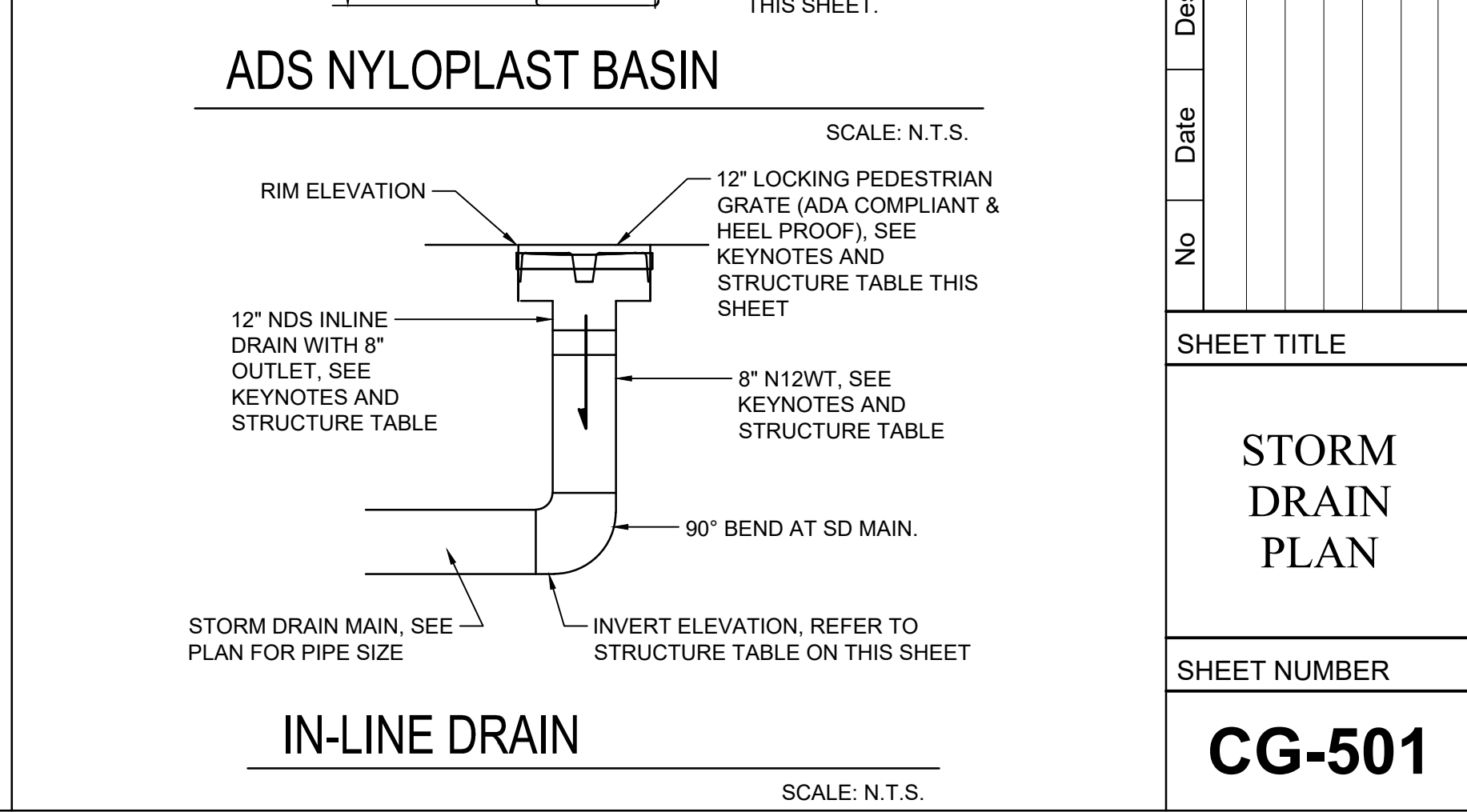
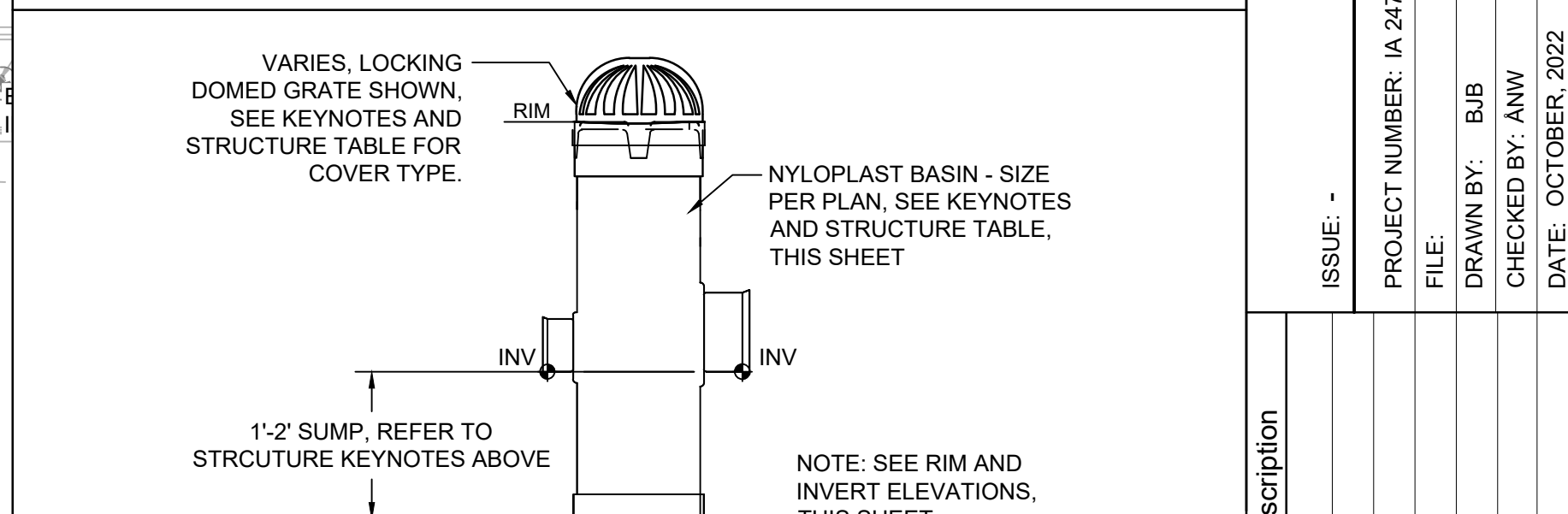
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LEGEND	
	PROPOSED TRAFFIC RATED INLET
	PROPOSED DRAIN BASIN WITH GRATE

- ### STORM DRAIN GENERAL NOTES
- INSTALL ALL STORM DRAIN INLETS, PIPE AND FITTINGS PER MANUFACTURER'S SPECIFICATIONS.
 - PROPOSED INLETS IN LANDSCAPE AREAS CONSIST OF A NYLOPLAST BASIN (SIZE PER PLAN) AND A LOCKING GRATE. SEE KEYED NOTES AND DETAILS THIS SHEET.
 - PROPOSED INLETS IN COURTYARD AREA CONSIST OF A 12" NYLOPLAST INLINE DRAIN WITH 8" OUTLET, AND A LOCKING GRATE. SEE KEYED NOTES AND DETAILS THIS SHEET.
 - PROPOSED MANHOLES IN TRAFFIC AREA CONSIST OF A NYLOPLAST BASIN WITH LOCKING SOLID TRAFFIC RATED GRATE.
 - PROPOSED INLET IN TRAFFIC AREA CONSISTS OF A NYLOPLAST BASIN WITH 2'X3' TRAFFIC RATED GRATE.
 - ALL STORM DRAIN LINES AND FITTINGS TO BE ADS N-12WT WATERTIGHT.
 - INSTALL PIPE WITH SLOPES AND INVERTS PER PLAN.
 - STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. ENGINEER RECOMMENDS THAT PROPERTY OWNER PUT IN PLACE INSPECTION AND MAINTENANCE CRITERIA SCHEDULED TO OCCUR MONTHLY AND AFTER EACH STORM EVENT.
 - STORM DRAIN PIPE LENGTHS NOTED ON PLAN ARE TO CENTER OF BASINS OR INLINE DRAINS.

- ### KEYED NOTES
- 8" 45° BEND
 - 8"X12" 45° WYE
 - 8" STUB FOR FUTURE CONNECTION
 - 12" STUB FOR FUTURE CONNECTION
 - 12" 90° BEND
 - 18" 45° BEND
 - INSERTA TEE CONNECTION TO LARGER STORM LINE.
 - 8" DIA. NYLOPLAST DRAIN BASIN W/ LOCKING DOME GRATE AND CONCRETE COLLAR, 1' SUMP
 - 8" DIA. NYLOPLAST DRAIN BASIN W/ LOCKING SOLID COVER AND CONCRETE COLLAR, 1' SUMP
 - 12" DIA. INLINE DRAIN W/ 8" OUTLET, LOCKING GRATE (ADA COMPLIANT & HEEL PROOF) AND CONCRETE COLLAR
 - 12" DIA. NYLOPLAST DRAIN BASIN W/ LOCKING SOLID COVER AND CONCRETE COLLAR, 2' SUMP
 - 12" DIA. NYLOPLAST DRAIN BASIN W/ LOCKING DOME GRATE AND CONCRETE COLLAR, 2' SUMP
 - 15" DIA. NYLOPLAST DRAIN BASIN W/ LOCKING DOME GRATE AND CONCRETE COLLAR, 2' SUMP
 - 15" DIA. NYLOPLAST DRAIN BASIN W/ LOCKING SOLID TRAFFIC RATED COVER AND CONCRETE COLLAR, 2' SUMP
 - 18" DIA. NYLOPLAST DRAIN BASIN W/ LOCKING SOLID TRAFFIC RATED COVER AND CONCRETE COLLAR, 2' SUMP
 - 18" DIA. NYLOPLAST DRAIN BASIN W/ 2'X3' ADS ROAD & HIGHWAY TRAFFIC RATED GRATE (LOCKING) AND CONCRETE COLLAR, 2' SUMP
 - 24" DIA. NYLOPLAST DRAIN BASIN W/ SOLID TRAFFIC RATED COVER (LOCKING) AND CONCRETE COLLAR, 2' SUMP
 - 30" DIA. NYLOPLAST DRAIN BASIN W/ SOLID TRAFFIC RATED COVER (LOCKING) AND CONCRETE COLLAR, 2' SUMP
 - REMOVE EXISTING INLET STRUCTURE. CONSTRUCT 6" DIA. TYPE 'C' MANHOLE PER C.O.A.
 - EXTEND COVERED PATIO DRAINS. INSTALL TO CONNECT TO STORM DRAIN MAIN USING INSERTA TEE. SEE ARCHITECTURAL PLANS FOR SPECIFIC DRAIN LOCATIONS.



STRUCTURE NAME & TYPE:	STRUCTURE INFO:
A-1 6" DIA. TYPE 'C' STRM MANHOLE CONN. TO EX 48" SD	RIM = 5099.10 INV 24", IN = 5093.70 (N) INV 12", IN = 5093.80 (W) INV 48", OUT = 5093.60 (S)
A-2 12" BASIN W/ DOMED GRATE	RIM = 5097.30 INV 12", OUT = 5094.72 (W)
A-3 30" BASIN W/ SOLID TRAFFIC RATED COVER	RIM = 5100.10 INV 18", IN = 5095.00 (NE) INV 24", IN = 5095.00 (W) INV 24", OUT = 5095.00 (S)
A-4 18" BASIN W/ SOLID TRAFFIC RATED COVER	RIM = 5102.00 INV 12", IN = 5096.83 (N) INV 8", IN = 5096.83 (E) INV 18", OUT = 5096.83 (S)
A-5 8" BASIN W/ DOMED GRATE	RIM = 5100.50 INV 8", OUT = 5097.50 (W)
A-6 15" BASIN W/ SOLID TRAFFIC RATED COVER CONN. TO EX. STM	RIM = 5102.75 INV 12", IN = 5097.65 (NE) INV 12", OUT = 5097.65 (S)
A-7 8" BASIN W/ DOMED GRATE	RIM = 5103.30 INV 8", IN = 5099.90 (W) INV 8", OUT = 5099.90 (E)
A-8 8" BASIN W/ DOMED GRATE	RIM = 5103.50 INV 8", OUT = 5100.50 (E)
A1-1 15" BASIN W/ DOMED GRATE	RIM = 5098.50 INV 8", IN = 5095.19 (N) INV 12", IN = 5095.19 (S) INV 12", OUT = 5095.19 (E)
A1-2 8" BASIN W/ DOMED GRATE	RIM = 5098.50 INV 8", OUT = 5095.50 (S)
A2-1 24" BASIN W/ SOLID TRAFFIC RATED COVER	RIM = 5100.85 INV 18", IN = 5095.61 (W) INV 12", IN = 5095.61 (N) INV 24", OUT = 5095.61 (E)
A2-2 12" BASIN W/ DOMED GRATE	RIM = 5102.00 INV 8", OUT = 5099.00 (SW)

STRUCTURE NAME & TYPE:	STRUCTURE INFO:
A2-3 18" BASIN W/ SOLID TRAFFIC RATED COVER	RIM = 5103.45 INV 18", IN = 5097.40 (N) INV 18", OUT = 5097.40 (S)
A2-1-1 18" BASIN W/ 2'X3' ROAD & HWY GRATE INLET	RIM = 5101.44 INV 12", IN = 5097.40 (N) INV 12", OUT = 5097.40 (S)
A2-1-2 8" BASIN W/ SOLID COVER	RIM = 5103.50 INV 8", OUT = 5099.43 (E)
A2-1-3 8" BASIN W/ SOLID COVER	RIM = 5103.75 INV 8", OUT = 5100.15 (E)
A2-1-4 8" BASIN W/ DOMED GRATE	RIM = 5103.30 INV 8", OUT = 5100.30 (SW)
A2-1-5 8" BASIN W/ SOLID COVER	RIM = 5103.70 INV 8", OUT = 5100.38 (E)
B-1 12" INLINE DRAIN W/ 8" OUTLET & PED. GRATE (ADA COMPLIANT & HEEL PROOF)	RIM = 5099.00 INV 8", OUT = 5096.00 (W)
B-2 12" INLINE DRAIN W/ 8" OUTLET & PED. GRATE (ADA COMPLIANT & HEEL PROOF)	RIM = 5099.00 INV 8", OUT = 5096.00 (W)
B-3 TEMP. 12" BASIN W/ DOMED GRATE	RIM = 5098.00 INV 8", OUT = 5095.00 (NE)
B-4 12" BASIN W/ SOLID COVER	RIM = 5099.05 INV 8", IN = 5094.79 (E) INV 12", OUT = 5094.79 (S)
B-5 12" INLINE DRAIN W/ 8" OUTLET & PED. GRATE (ADA COMPLIANT & HEEL PROOF)	RIM = 5099.00 INV 8", OUT = 5096.00 (W)

Isaacson & Arfman, Inc.
 Civil Engineering Consultants
 128 Monroe Street NE
 Albuquerque, NM 87108
 505-266-8828 | www.iacivil.com

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ASA M. WILSSON-HEER
 NEW MEXICO
 17831
 PROFESSIONAL ENGINEER
 01/09/2023

Engineer

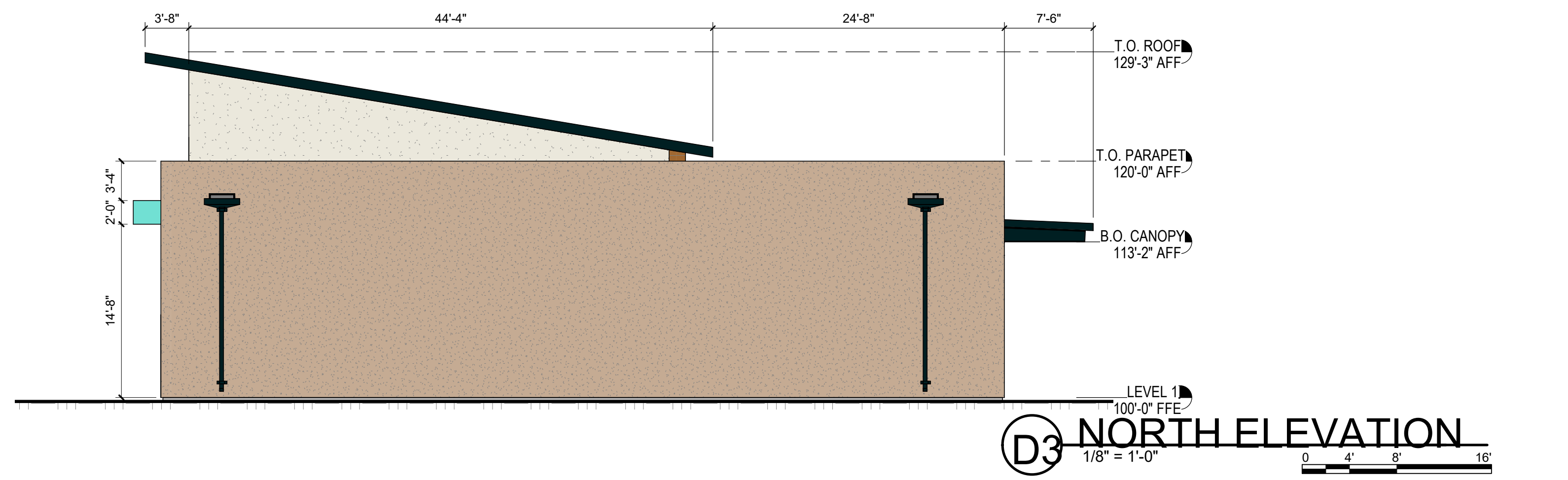
NUEVO ATRISCO
 201 Unser Blvd NW
 Albuquerque, NM 87121

ISSUE: -	PROJECT NUMBER: IA 2470
FILE:	DRAWN BY: BJB
CHECKED BY: ANW	DATE: OCTOBER, 2022

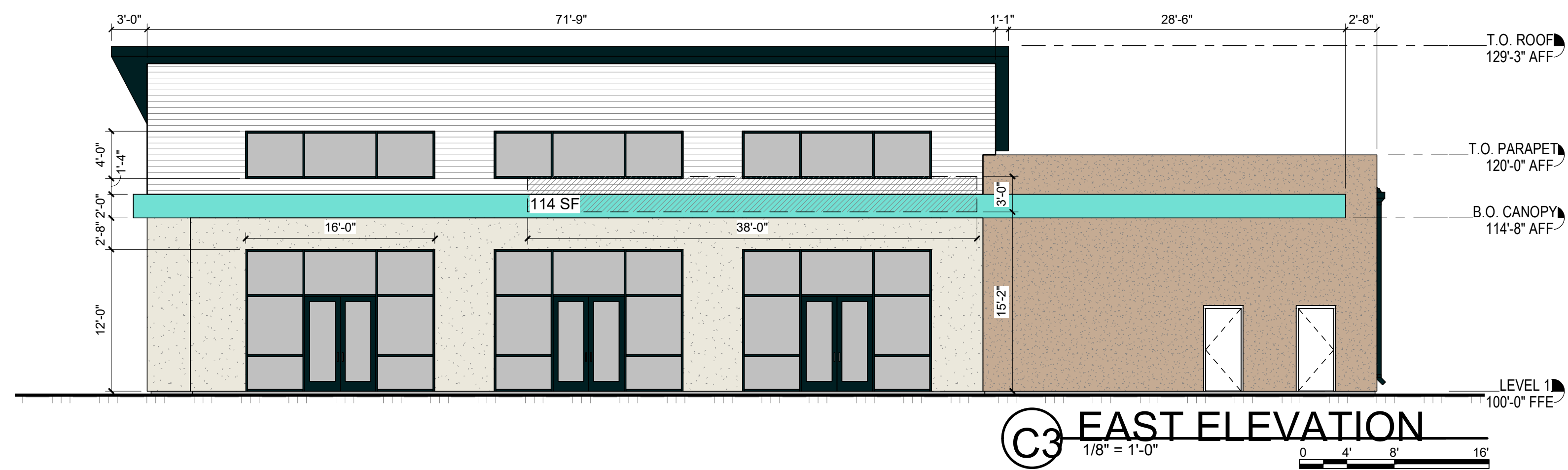
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SHEET TITLE
STORM DRAIN PLAN

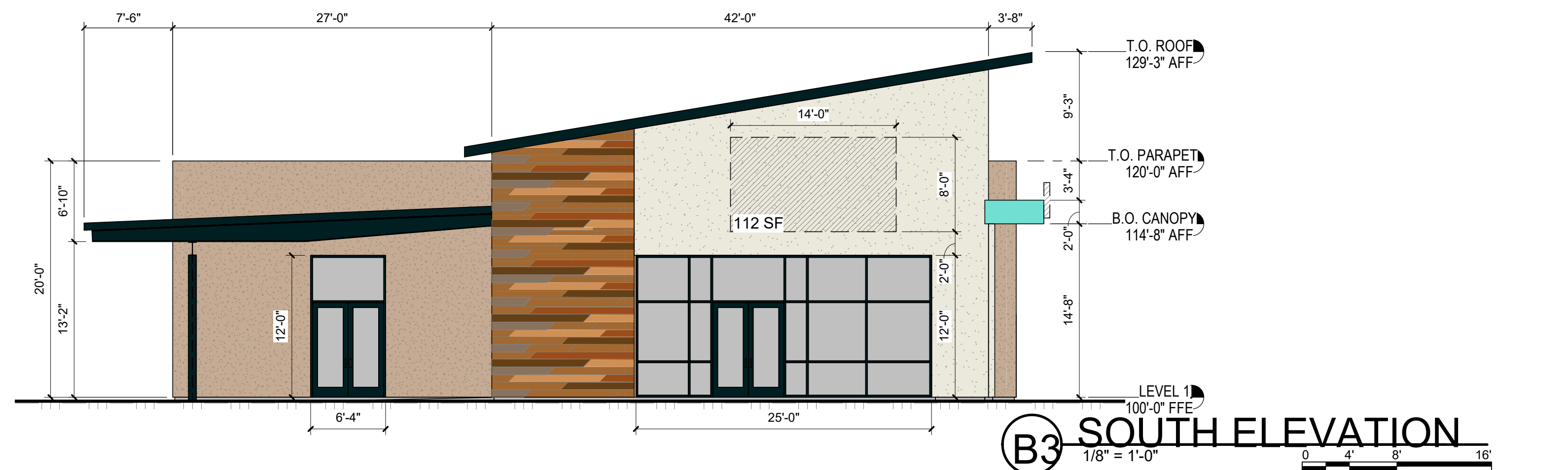
SHEET NUMBER
CG-501



D3 NORTH ELEVATION
1/8" = 1'-0"



C3 EAST ELEVATION
1/8" = 1'-0"



B3 SOUTH ELEVATION
1/8" = 1'-0"



A3 WEST ELEVATION
1/8" = 1'-0"

GENERAL SHEET NOTES

A. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF; SIZE AND LOCATION TO BE DETERMINED

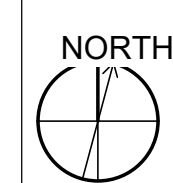
SHEET KEYNOTES

REFERENCE KEYNOTES

LEGEND

-  STUCCO_WHITE COLOR
-  STUCCO_EARTHTONE COLOR
-  STANDING SEAM METAL ROOF_ DARK BRONZE
-  METAL PANEL_ TURQUOISE
-  SYNTHETIC MATERIAL_ WOOD TONED COLORS
-  LINEAR METAL PANEL_ WHITE
-  BUILDING MOUNTED SIGNAGE_ LIGHTING, MATERIALS AND COLORS TO BE DETERMINED

KEY PLAN



**DEKKER
PERICH
SABATINI**



SEAL

PROJECT
Nuevo Atrisco
Unser Blvd + Central Ave NW
Albuquerque, NM 87121

**SITE
DEVELOPMENT
PLAN SET**

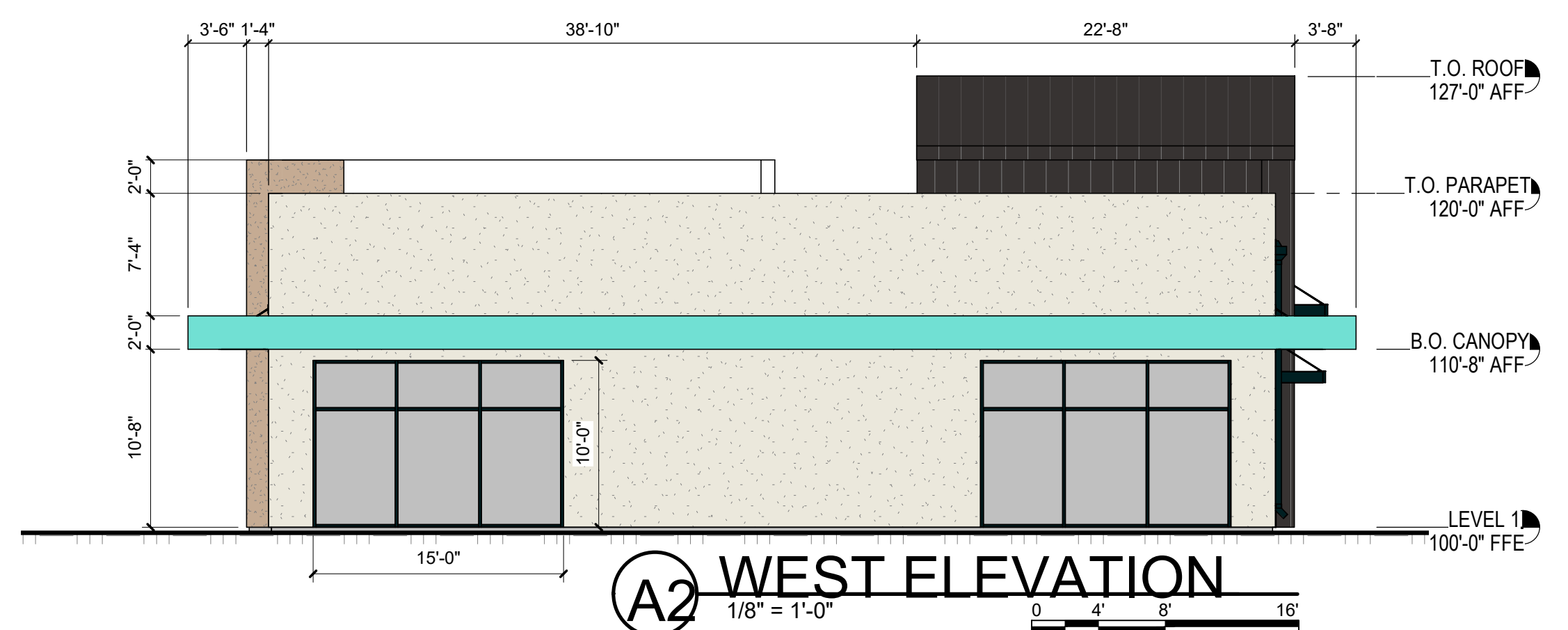
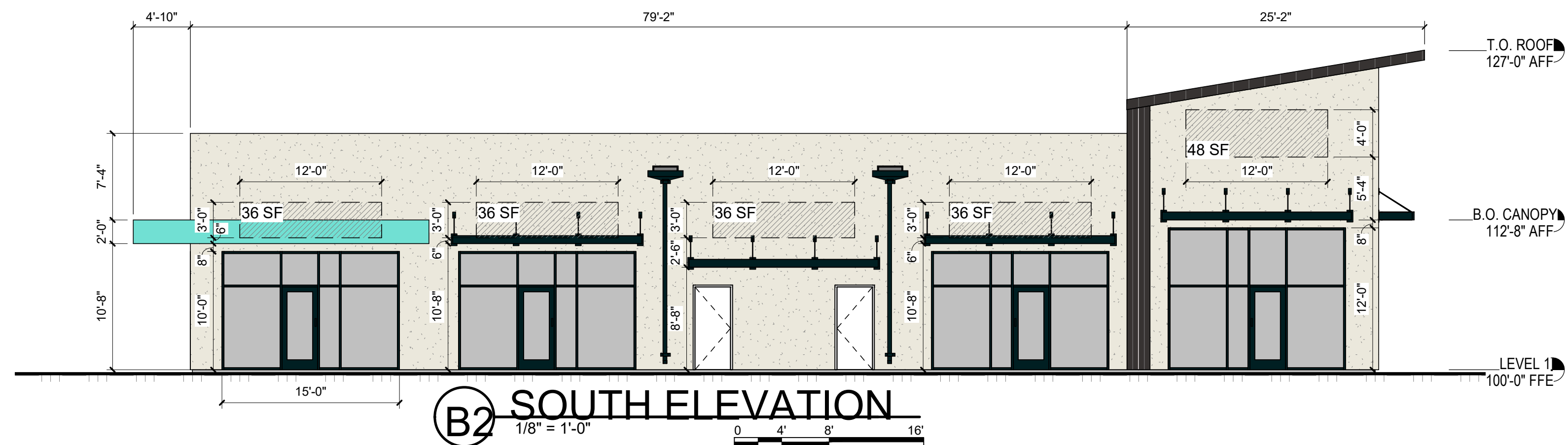
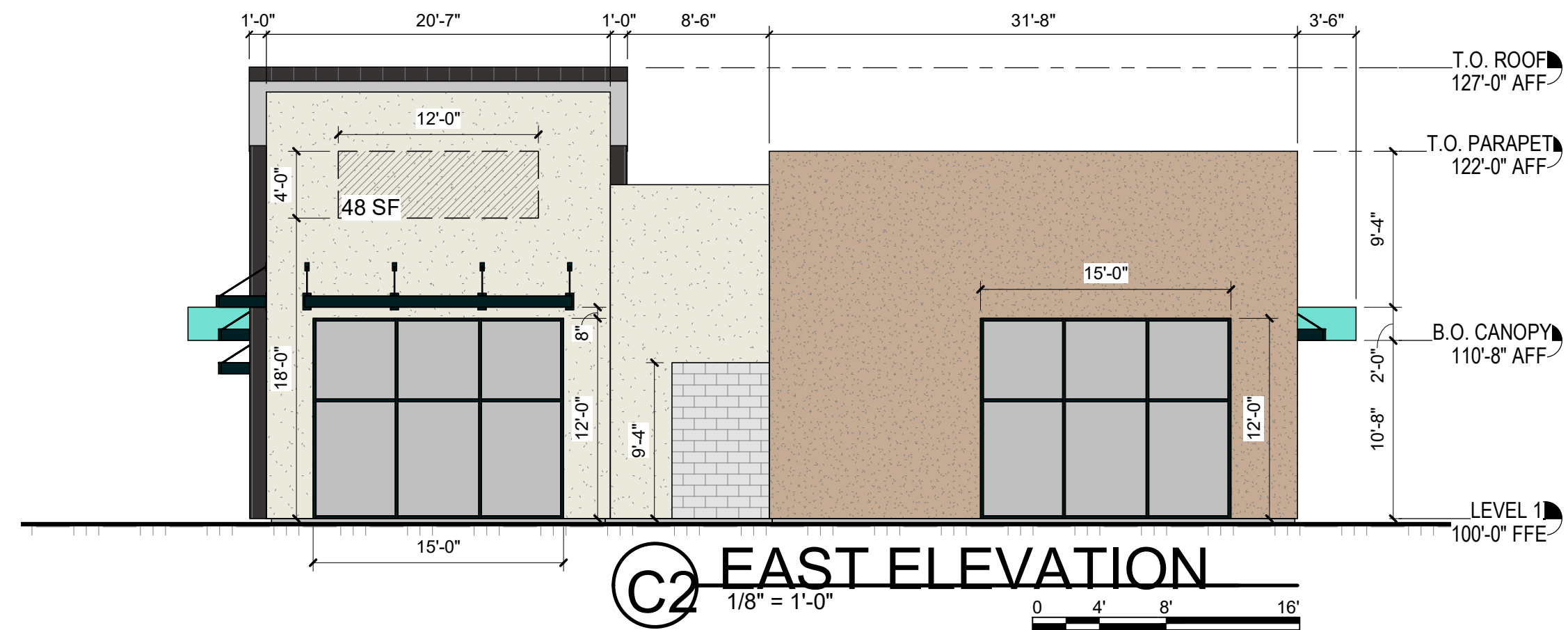
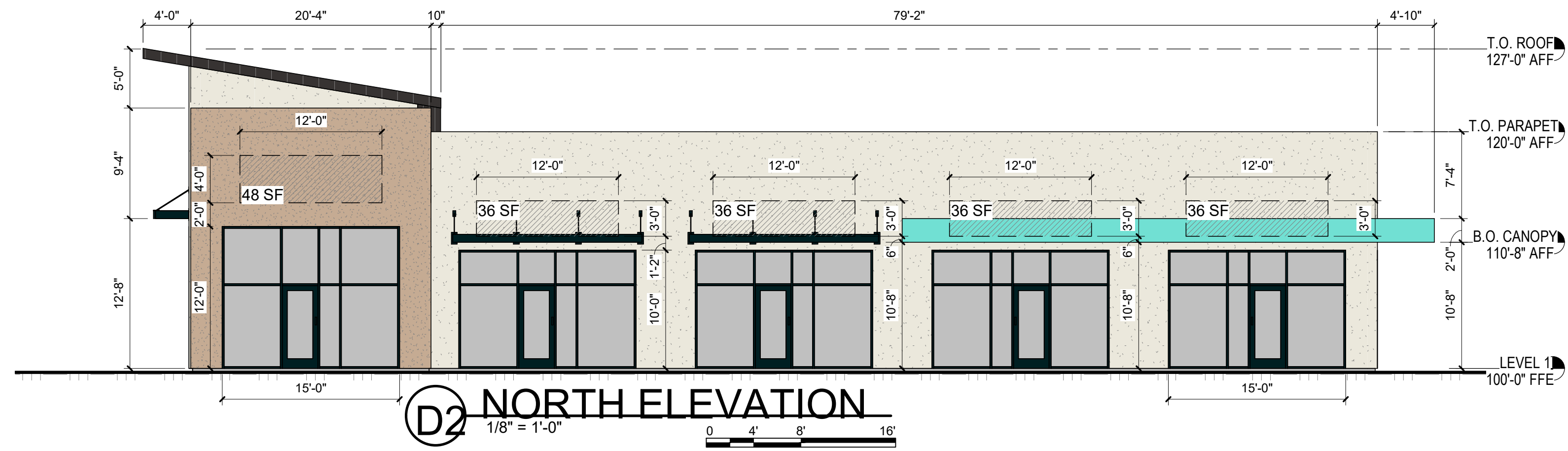
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DRAWN BY: KT
REVIEWED BY: KK
DATE: 06/03/2022
PROJECT NO: 19-0059.002

DRAWING NAME
**EXTERIOR
ELEVATIONS
(BUILDING 1)**

SHEET NO
SDP5.10








GENERAL SHEET NOTES

A. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF; SIZE AND LOCATION TO BE DETERMINED

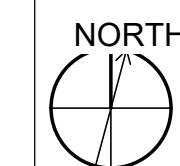
SHEET KEYNOTES

REFERENCE KEYNOTES

LEGEND

-  STUCCO_WHITE COLOR
-  STUCCO_EARTHTONE COLOR
-  STANDING SEAM METAL ROOF_ DARK BRONZE
-  METAL PANEL_ TURQUOISE
-  BUILDING MOUNTED SIGNAGE_ LIGHTING, MATERIALS AND COLORS TO BE DETERMINED

KEY PLAN



**DEKKER
PERICH
SABATINI**



SEAL

PROJECT
Nuevo Atrisco
Unser Blvd + Central Ave NW
Albuquerque, NM 87121

**SITE
DEVELOPMENT
PLAN SET**

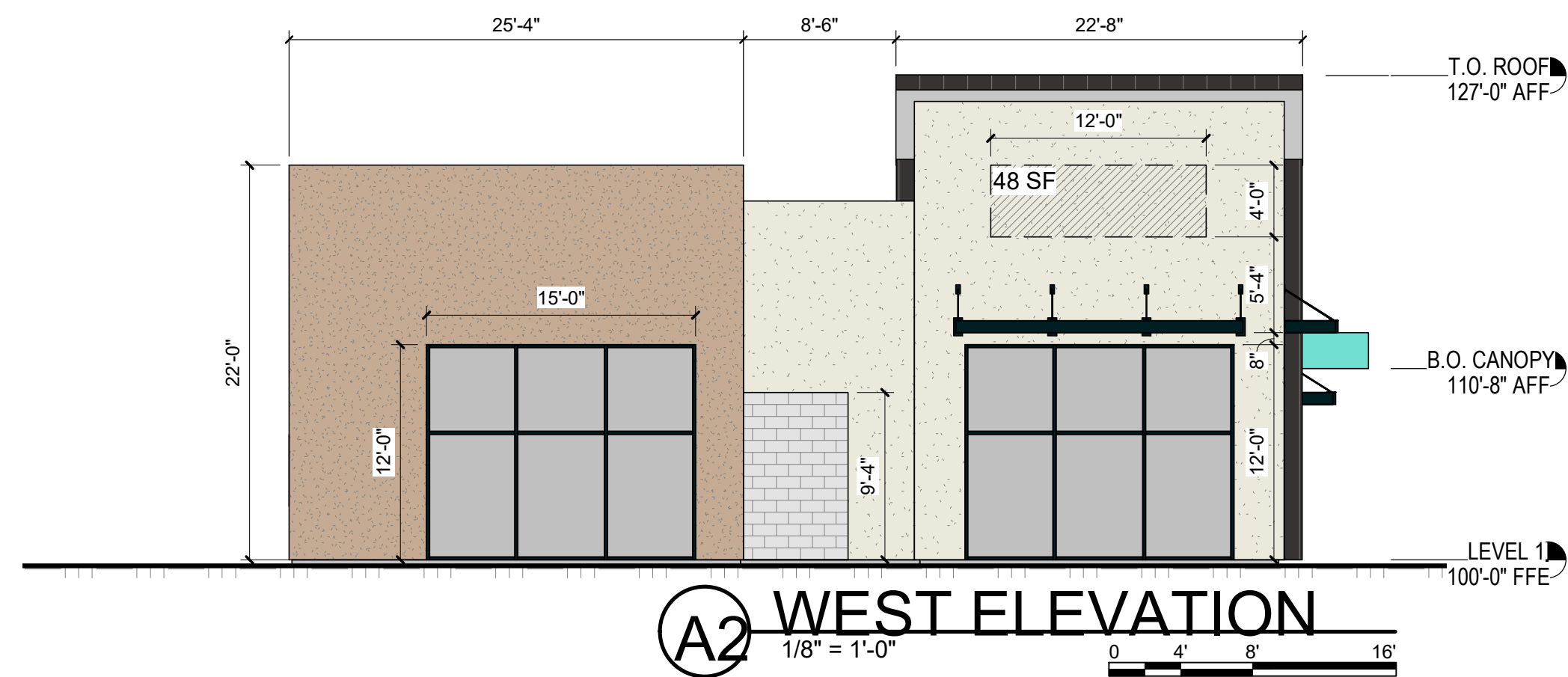
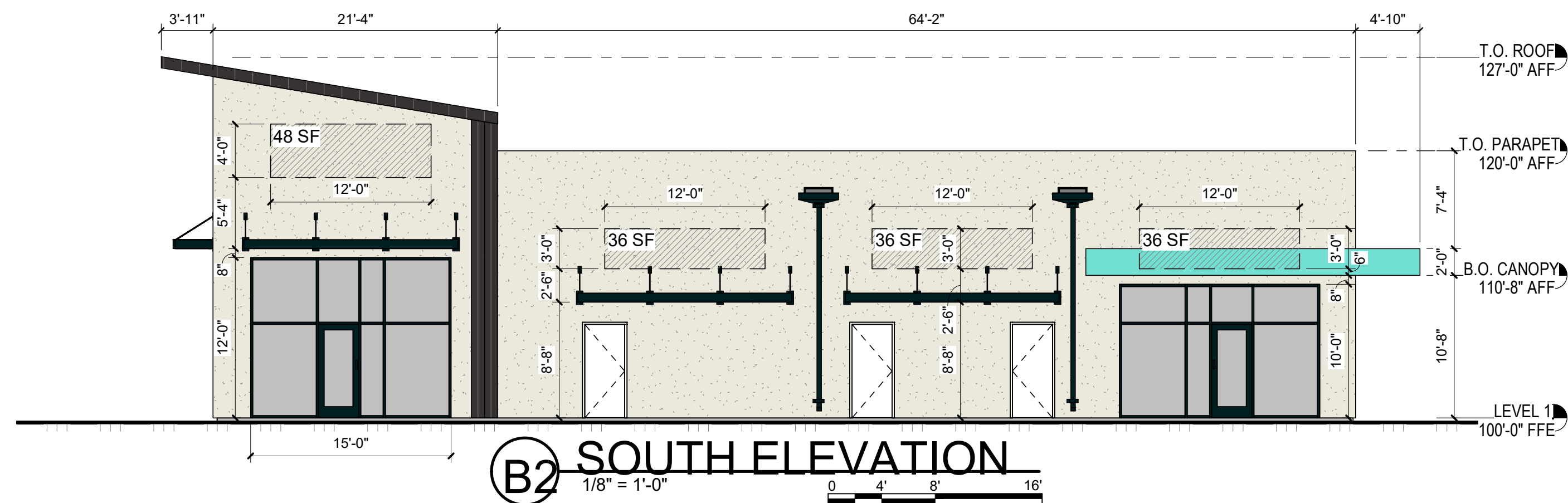
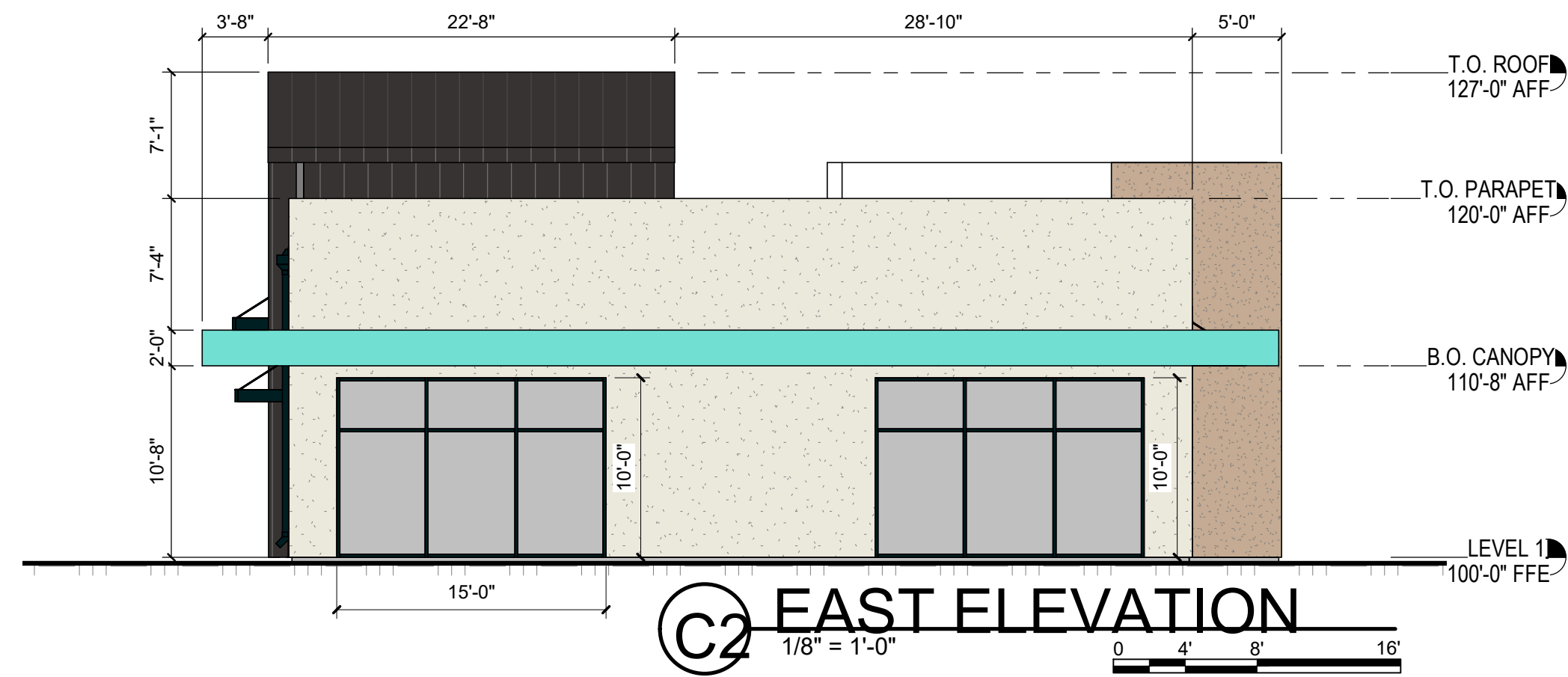
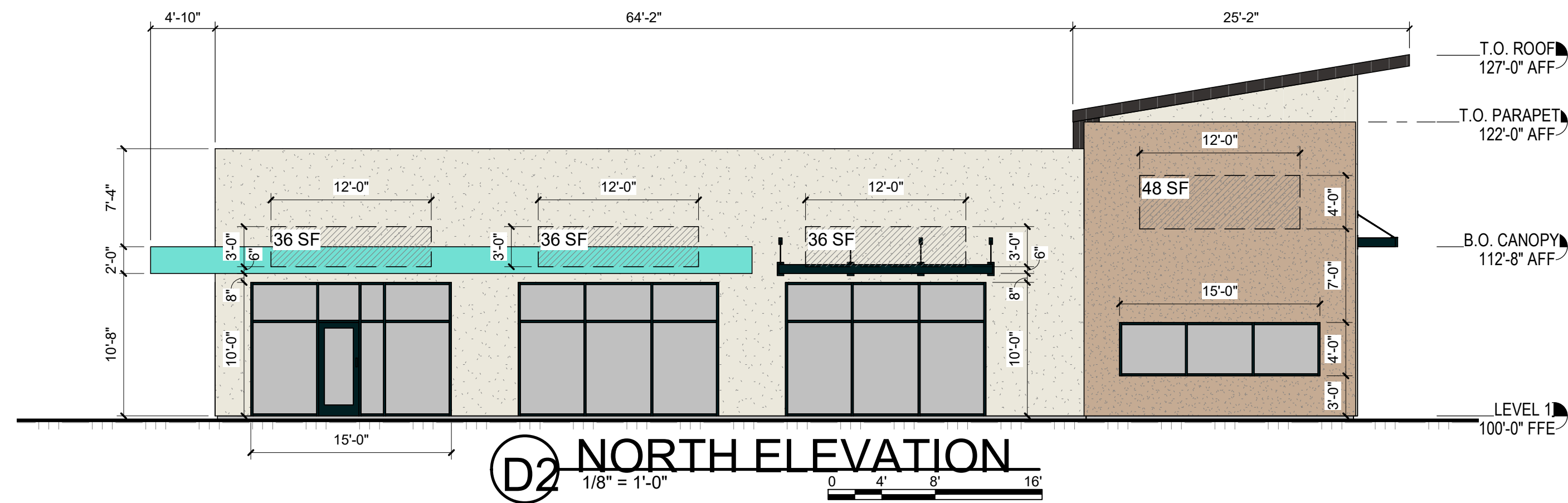
REVISIONS

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DRAWN BY: KT
REVIEWED BY: KK
DATE: 06/03/2022
PROJECT NO: 19-0059.002

DRAWING NAME
**EXTERIOR
ELEVATIONS
(BUILDING 2)**

SHEET NO
SDP5.20



GENERAL SHEET NOTES

A. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF; SIZE AND LOCATION TO BE DETERMINED

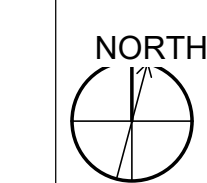
SHEET KEYNOTES

REFERENCE KEYNOTES

LEGEND

- STUCCO_WHITE COLOR
- STUCCO_EARTHTONE COLOR
- STANDING SEAM METAL ROOF_ DARK BRONZE
- METAL PANEL_ TURQUOISE
- BUILDING MOUNTED SIGNAGE_ LIGHTING. MATERIALS AND COLORS TO BE DETERMINED

KEY PLAN



**DEKKER
PERICH
SABATINI**



SEAL

PROJECT
Nuevo Atrisco
Unser Blvd + Central Ave NW
Albuquerque, NM 87121

SITE DEVELOPMENT PLAN SET

REVISIONS

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- △
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DRAWN BY: KT
REVIEWED BY: KK
DATE: 06/03/2022
PROJECT NO: 19-0059.002

DRAWING NAME
EXTERIOR ELEVATIONS (BUILDING 3)

SHEET NO
SDP5.30



**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**

PERMIT

PERMIT NUMBER: FP 22-010141
APPROVED DATE: 08/05/22

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

**DEKKER
PERICH
SABATINI**

SITE INFORMATION

101 UNSER BLVD. N.W.,
ALBUQUERQUE, NM 87121

BUILDING A
4,350 SQ. FT BUILDING
OCCUPANCY GROUP - ASSEMBLY GROUP A-2
TYPE VB CONSTRUCTION
SPRINKLED
FLOWS = 1750 GPM /2 = 875 GPM (1500 GPM MIN.)
= 1 FH
24'-0" BUILDING HEIGHT

BUILDING B
6,000 SQ. FT BUILDING
OCCUPANCY GROUP - ASSEMBLY GROUP A-2
TYPE 5B CONSTRUCTION
SPRINKLED
FLOWS = 2000 GPM /2 = 1000 GPM (1500 GPM MIN.)
= 1 FH
24'-0" BUILDING HEIGHT

BUILDING C
4,890 SQ. FT. BUILDING
OCCUPANCY GROUP - ASSEMBLY GROUP A-2
TYPE 5B CONSTRUCTION
SPRINKLED
FLOWS = 2000 GPM /2 = 1000 GPM (1500 GPM MIN.)
= 1 FH
24'-0" BUILDING HEIGHT

3 EXISTING FIRE HYDRANTS NEAR SITE
1 NEW FIRE HYDRANT ON SITE

ALL BUILDINGS HAVE PREMISE ID SIGN VISIBLE FROM UNSER BLVD AND CENTRAL AVE.
MONUMENT SIGN AT SOUTHEAST CORNER OF SITE VISIBLE FROM CENTRAL AVE AND UNSER BLVD. TO HAVE PREMISE ID INFORMATION.

ADDRESS / DIRECTION BOARDS TO BE INSTALLED AT ALL ENTRANCES TO INDICATE LOCATION AND ADDRESS OF ALL BUILDINGS

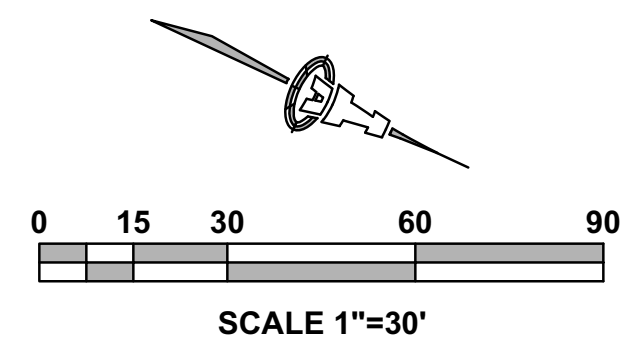
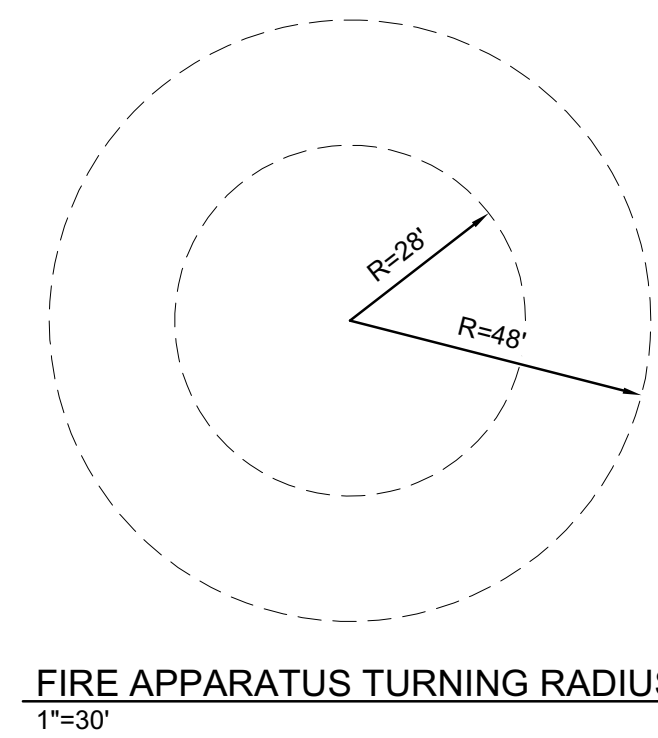
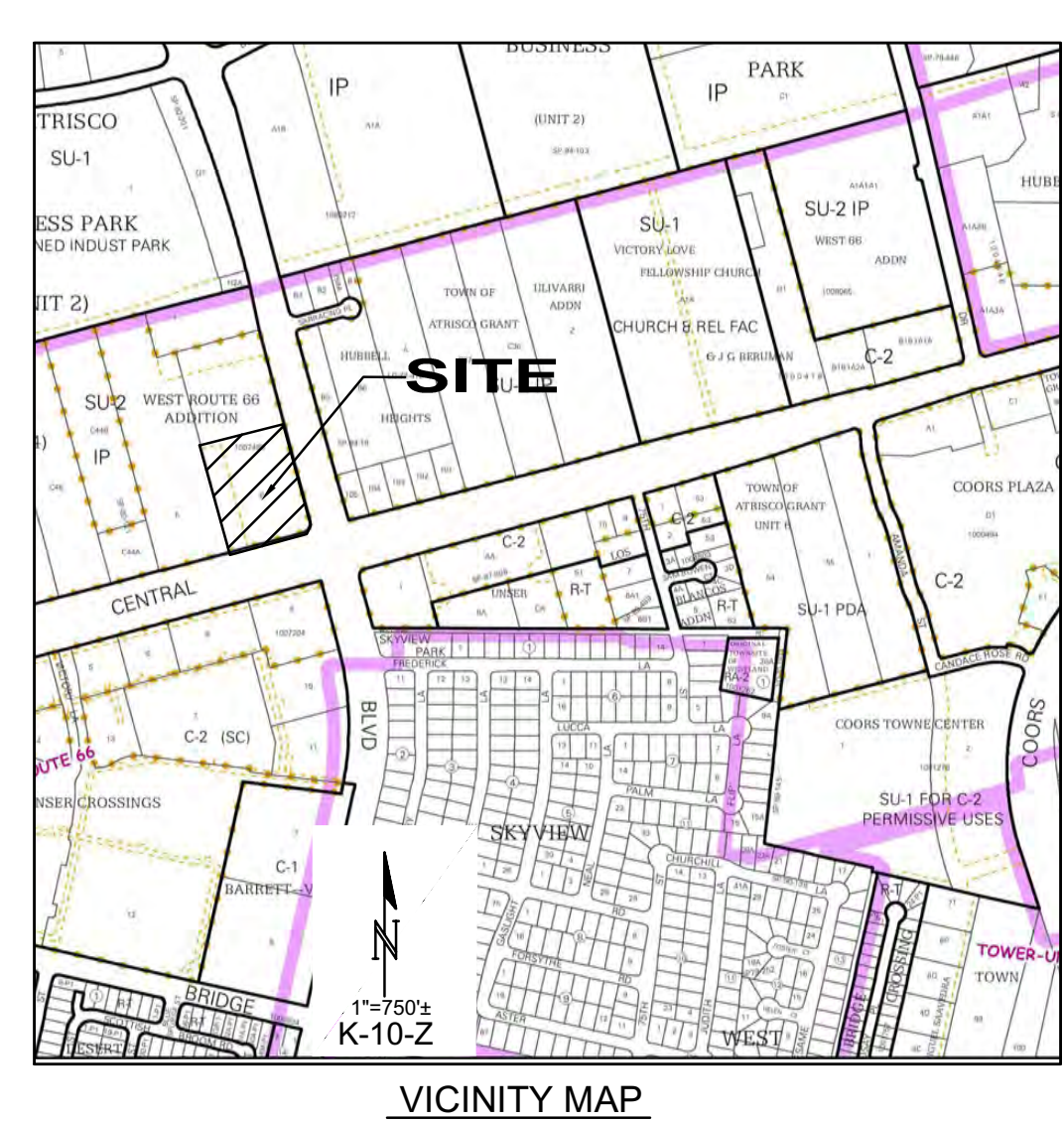
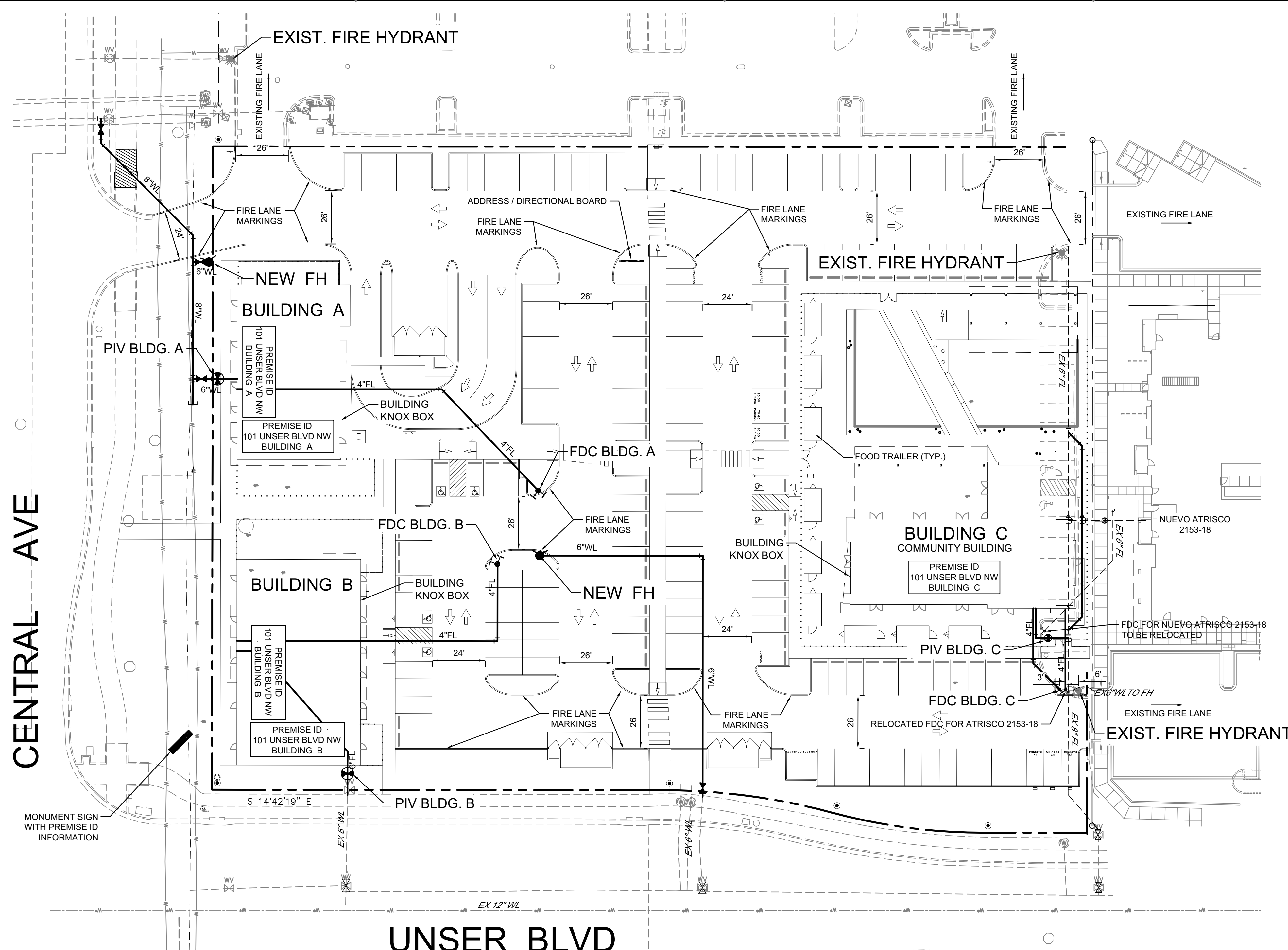
ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE LANES WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS

FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13'-6".

THERE ARE NO OVERHEAD OBSTRUCTIONS ON SITE.

PREVIOUS FIRE 1 APPROVAL FP 22-010141



ARCHITECT

ENGINEER

PROJECT

NUEVO ATRISCO FOOD PARK
Central + Unser
Albuquerque, NM 8710X

REVISIONS

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DRAWN BY

REVIEWED BY

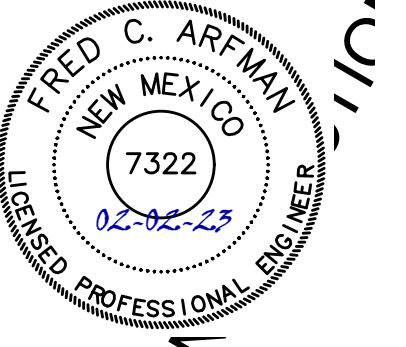
DATE

PROJECT NO.

DRAWING NAME

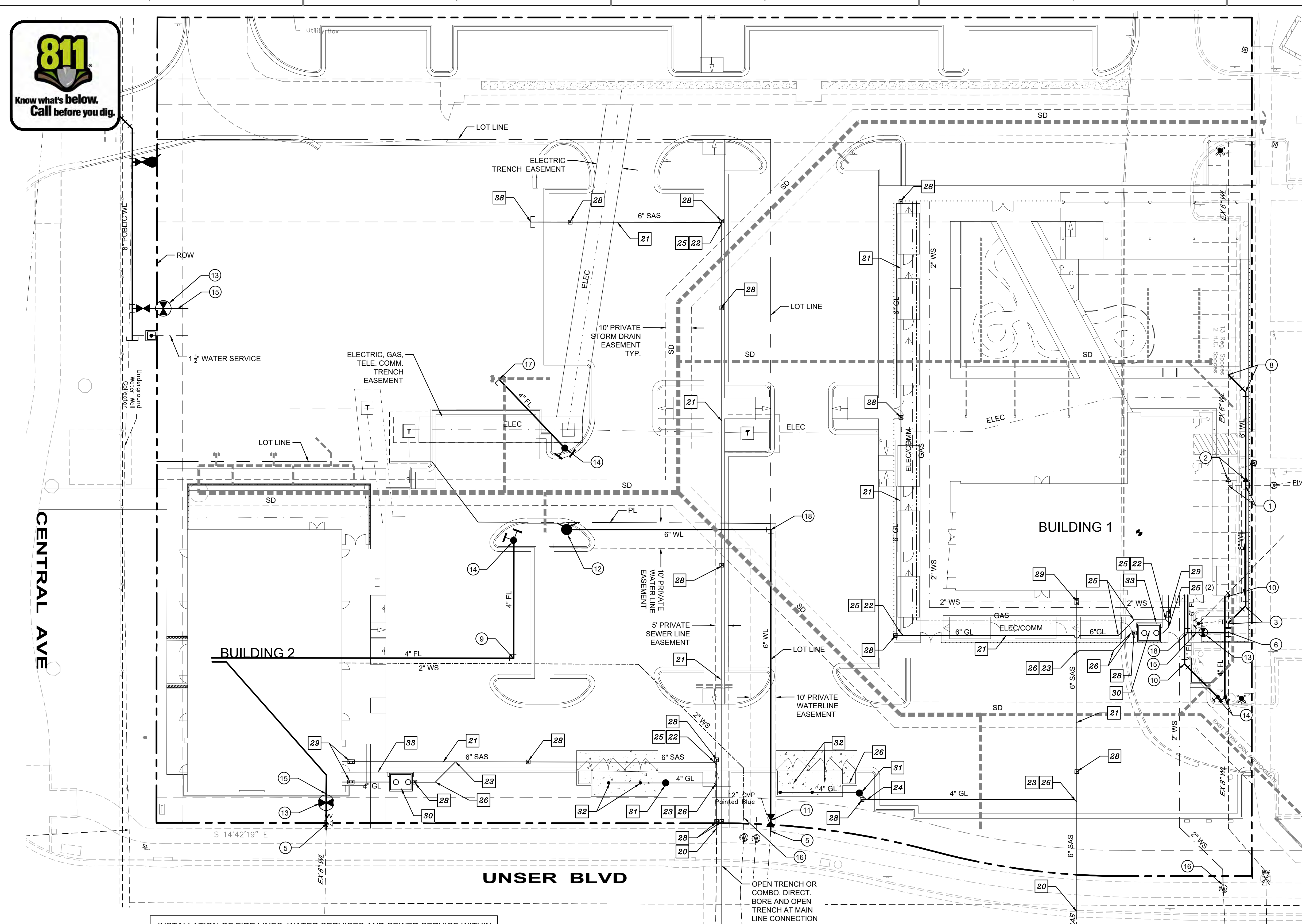
**FIRE
HYDRANT
& ACCESS
PLAN**

SHEET NO.



NOT FOR CONSTRUCTION
PROJECT

NUEVO ATRISCO
201 Unser Blvd NW
Albuquerque, NM 87121



INSTALLATION OF FIRE LINES, WATER SERVICES AND SEWER SERVICE WITHIN PUBLIC RIGHT OF WAY OR PUBLIC WATER AND SEWER EASEMENTS ARE TO BE CONSTRUCTED UNDER A CITY OF ALBUQUERQUE / ABCWUA WORK ORDER.

KEYED NOTES

- WATER KEYED NOTES**
1. REMOVE & RELOCATE EXISTING 8"x8" Tee
 2. REMOVE & RELOCATE EXISTING 8"x6" REDUCER.
 3. 8" - 45° BEND. (LT=11')
 4. REMOVE AND RELOCATE EXISTING FDC.
 5. REMOVE 6" CAP AND TEMP. RESTRAINT. CONNECT NEW 6" WATERLINE.
 6. 8"x6" TEE.
 7. 6"x4" TEE.
 8. 6" - 45° BEND. (LT=13')
 9. 4" - 90° BEND. (LT=15')
 10. 4" - 45° BEND. (LT=6')
 11. 6" GATE VALVE. (LT=46')
 12. FIRE HYDRANT. PAINTED SAFETY ORANGE.
 13. 6" POST INDICATOR VALVE (PIV). (LT=46')
 14. FIRE DEPARTMENT CONNECTION (FDC).
 15. 3/4" CONDUIT WITH PULL CORD FROM PIV TO FIRE RISER ROOM.
 16. CONNECT NEW 2" SERVICE LINE TO EXISTING METER SETTING.
 17. 4" CAP. (LT=32')
 18. 6" - 90° BEND. (LT=20')

- SEWER KEYED NOTES**
20. REMOVE 6" PLUG AND CONNECT NEW 6" SEWER LINE.
 21. 6" SANITARY SEWER LINE AT 1% MIN. SLOPE.
 22. 6"x6" WYE/TEE.
 23. 6"x4" WYE/TEE.
 24. 4"x4" WYE/TEE.
 25. 6" - 45° BEND.
 26. 4" - 45° BEND.
 27. 4" GREASE LINE AT 1% MIN. SLOPE.
 28. SANITARY SEWER SINGLE CLEAN OUT. SEE DETAIL THIS SHEET.
 29. SANITARY SEWER DOUBLE CLEAN OUT. SEE DETAIL THIS SHEET.
 30. 1500 GAL. GREASE INTERCEPTOR.
 31. TRAPZILLA MODEL TZ-160 ECA GREASE INTERCEPTOR.
 32. 4" DUMPSTER FLOOR DRAIN WITH "P" TRAP.
 33. 2" GREASE INTERCEPTOR VENT LINE.
 34. 6" PLUG.

GENERAL NOTES

1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
2. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
3. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
4. ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
5. ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.
6. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
7. SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.

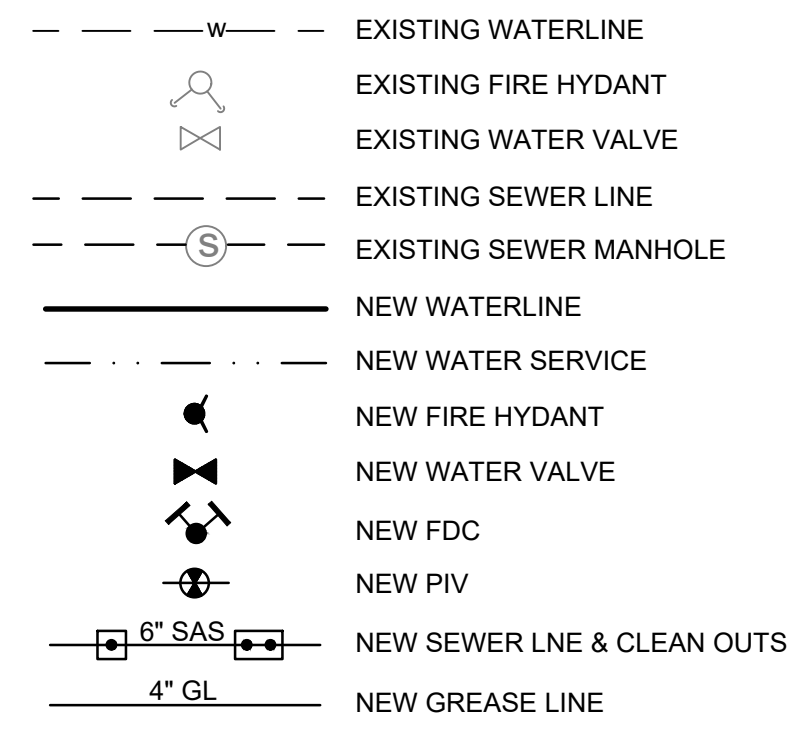
RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM
FACTOR OF SAFETY: 1.5
MATERIAL: PVC
SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
TEST PRESSURE: 150 PSI
TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

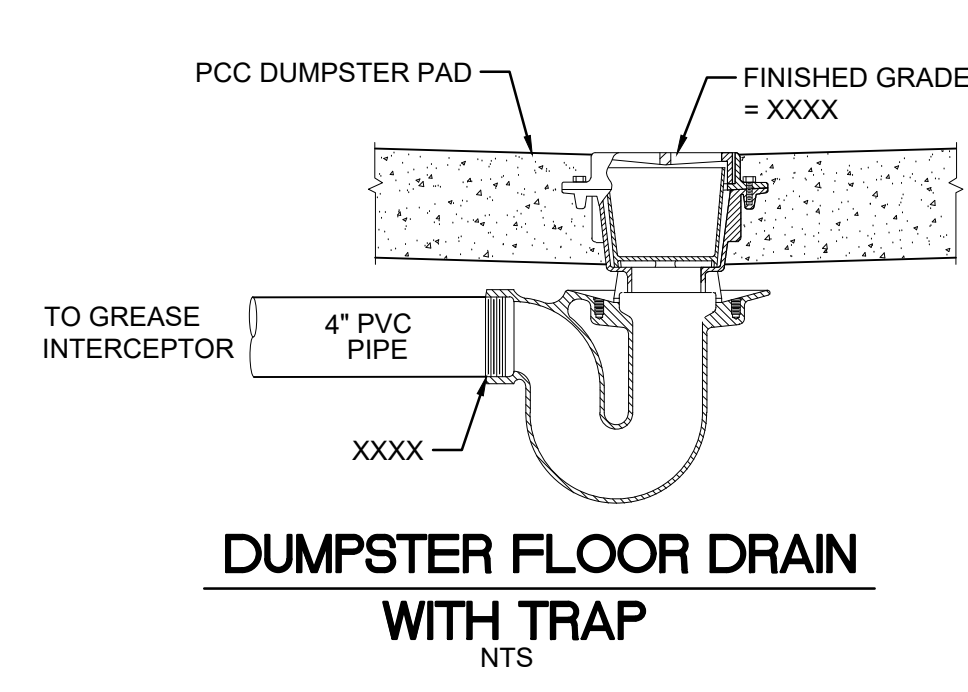
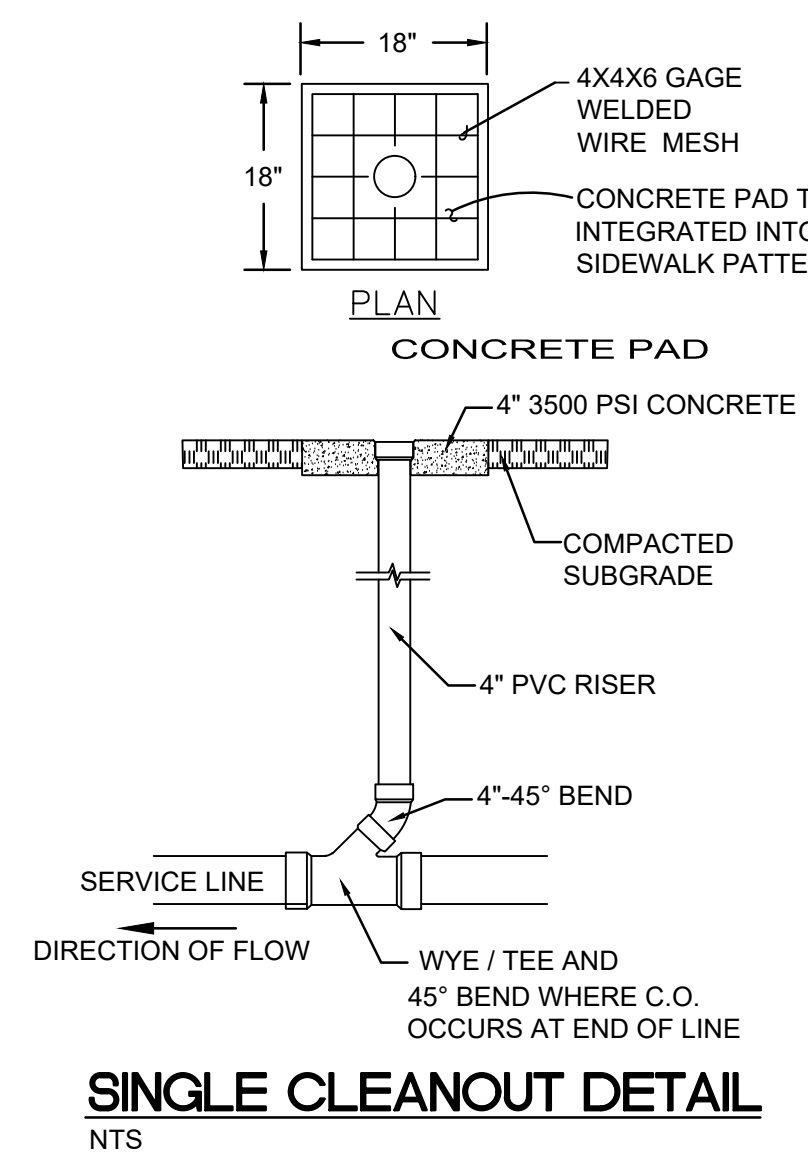
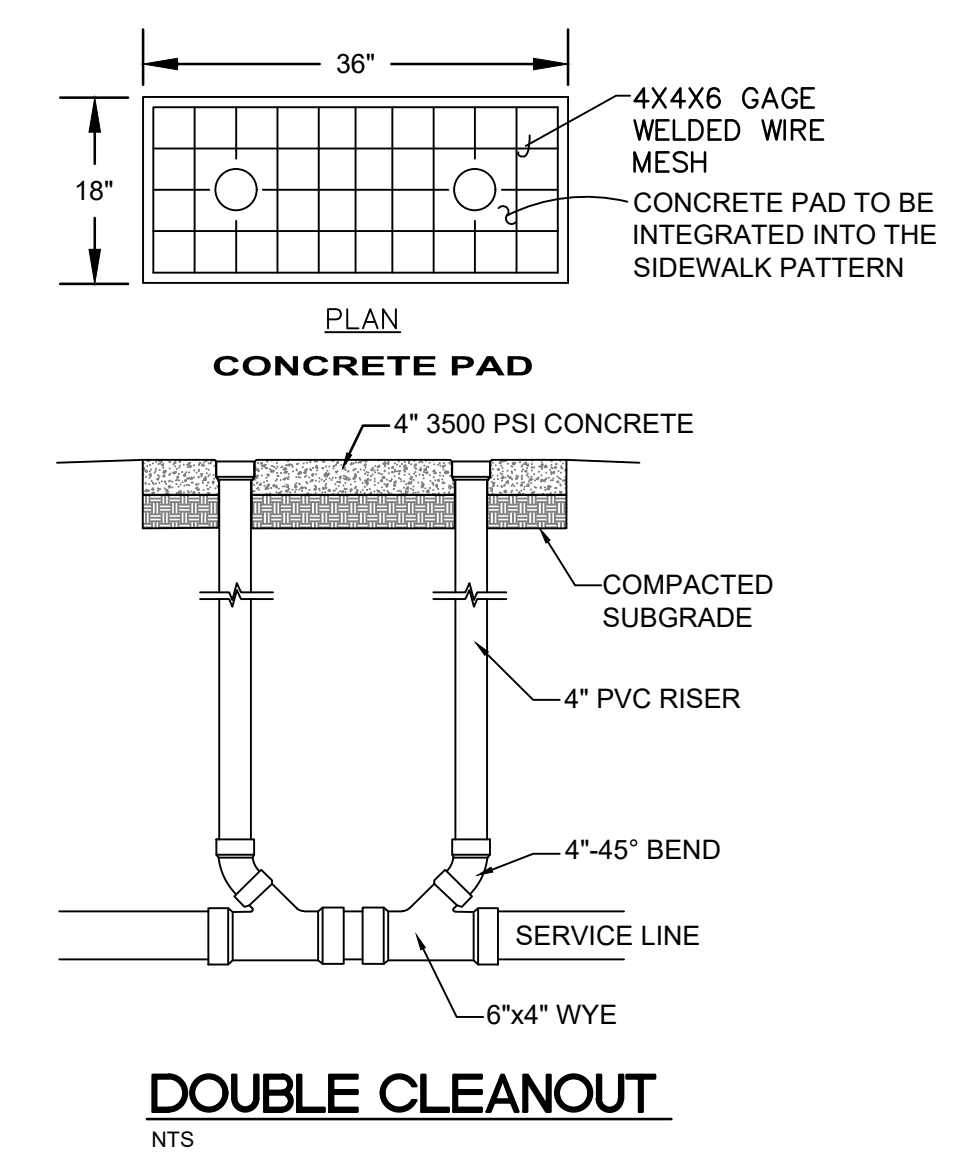
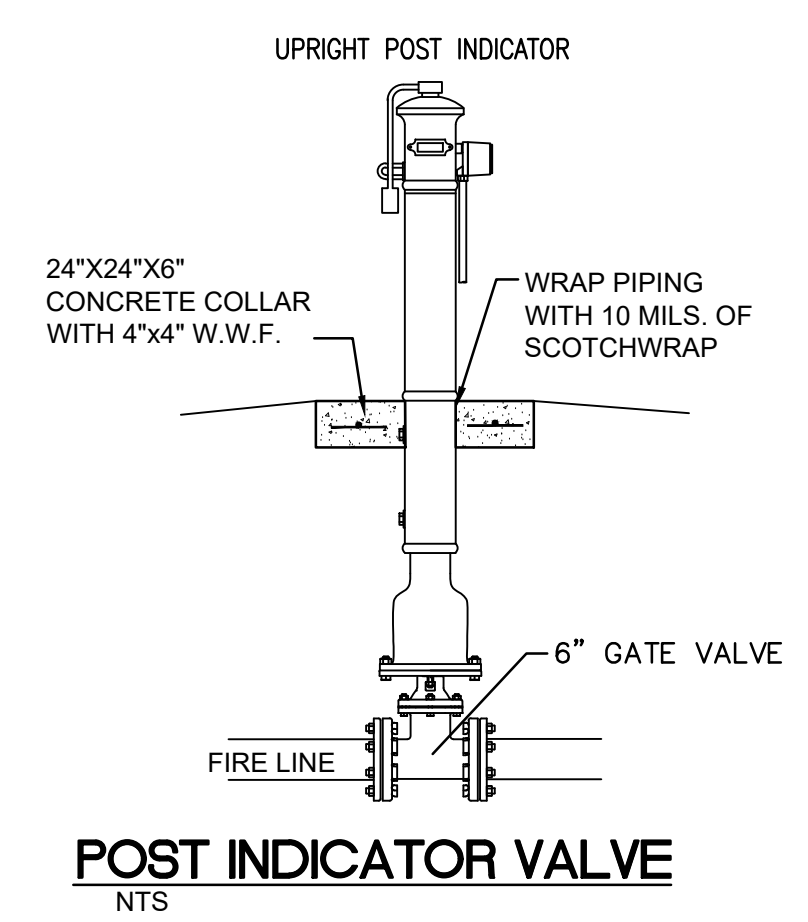
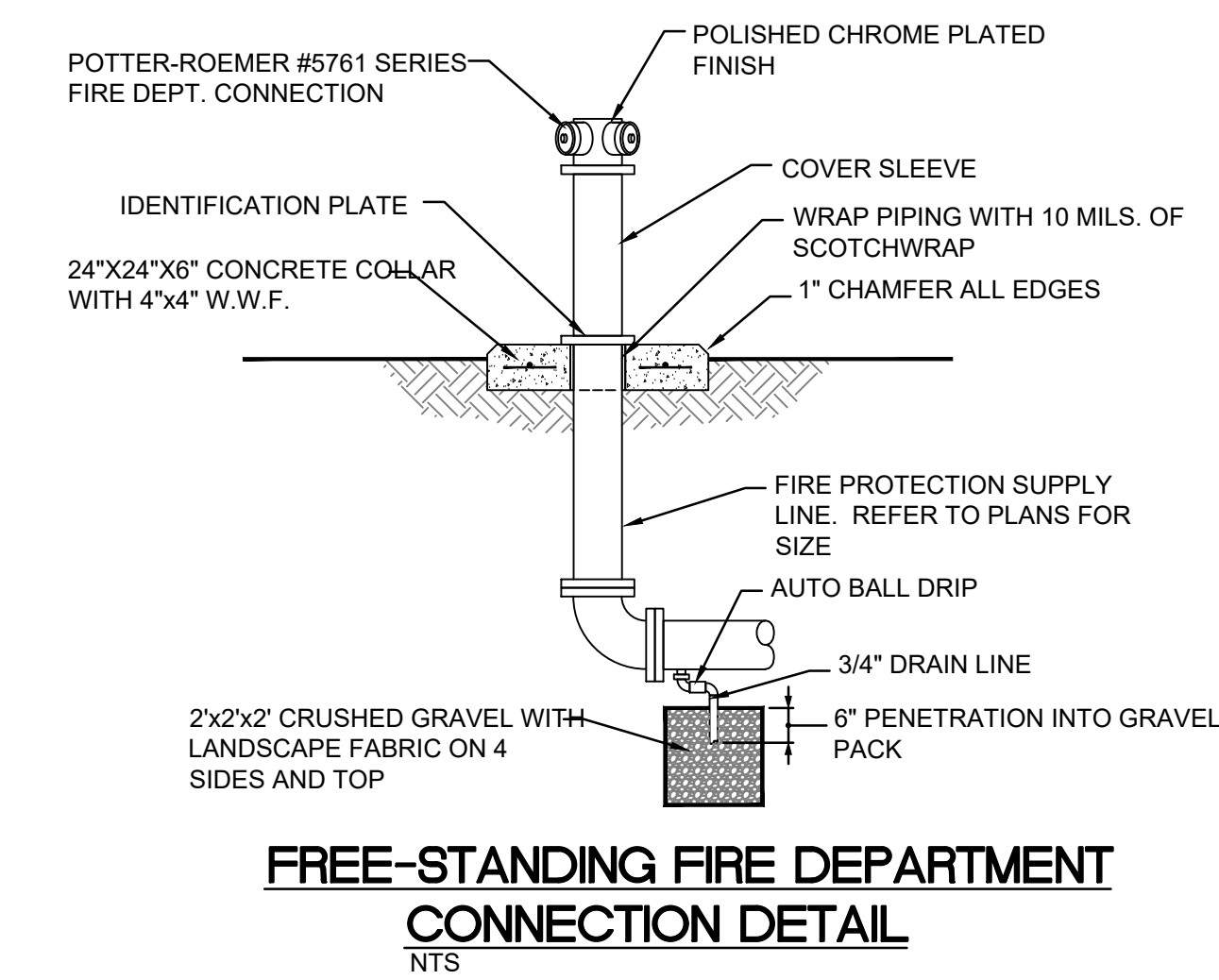
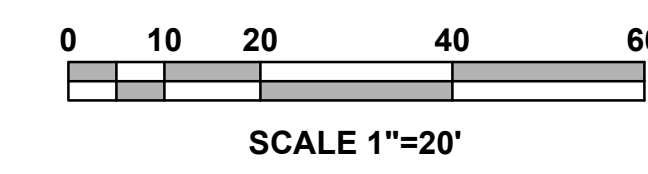
LEGEND



REVISIONS

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DRAWN BY
REVIEWED BY
DATE 07/05/20
PROJECT NO. 19-0059.0
DRAWING NAME



GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- G. NEW CONSTRUCTION WILL ENSURE CONTINUOUS ACCESS FOR SOLID WASTE DURING CONSTRUCTION TO THE ADJACENT MULTI-FAMILY APARTMENTS.

VICINITY MAP



LEGEND

- LANDSCAPE AREA
- SYNTHETIC TURF
- LOT LINE
- ASPHALT PAVEMENT MARKING:
WHITE DIRECTIONAL ARROW
- ASPHALT PAVEMENT MARKING:
BLUE ACCESSIBLE PARKING SYMBOL
- EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION

PROJECT DATA - TOTAL

ZONING: IDO MX-M + PREMIUM TRANSIT (PT) DESIGNATION
LEGAL DESCRIPTION:
 TR A-1 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 3815 AC; TR A-2 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 2725 AC; TR B PLAT OF TRACTS A AND B NUEVO ATRISCO (BEING A REPLAT OF TRACT B1, WEST ROUTE 66 ADDITION II) CONT. 3,136 AC
SITE AREA TOTAL: 3.1362 ACRES = 136,611 SF
IDO ZONE ATLAS: K-10-Z (MAY 2018)
SETBACKS (MIN/MAX): FRONT 0'15', SIDE= 0'15', REAR= 0'
BUILDING INFORMATION: HEIGHT/OCCUPANCY/CONSTRUCTION TYPE
 BUILDING 1: COMMUNITY PLAZA BUILDING X-X' / 1' / VB-SPRINKLED
 BUILDING 2: MULTI-TENANT BUILDING X-X' / M and A-2 / VB-SPRINKLED
 BUILDING 3: RESTAURANT X-X' / A-2 / VB-SPRINKLED
 MAX HEIGHT ALLOWED: 65'-0"
FIRE FLOW: XXXX GPM
HYDRANTS REQUIRED: X TOTAL

PROJECT DATA - LOT 1 (PHASE 1)

LOT AREA TOTAL: XXX ACRES
AREA OF LOT COVERED BY BUILDING
 BUILDING 1: 4,890 SF (= 4,890 GFA) *this number is used to calculate net lot*
USABLE OPEN SPACE
 NOT REQUIRED PER IDO Table 5-1-2
PARKING CALCULATION (IDO Table 5-5-1):
 5 SPACES PER 1,000 GFA = 24 PARKING SPACES REQUIRED
 2 SPACES PER 1 FOOD TRUCK = 18 PARKING SPACES REQUIRED
 TOTAL PARKING REQUIRED = 42
 TOTAL PARKING PROVIDED = 34
 MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)
 MOTORCYCLE PARKING PROVIDED = 2
 BICYCLE PARKING REQUIRED = 4 (IDO Table 5-5-5)
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

KEYED NOTES

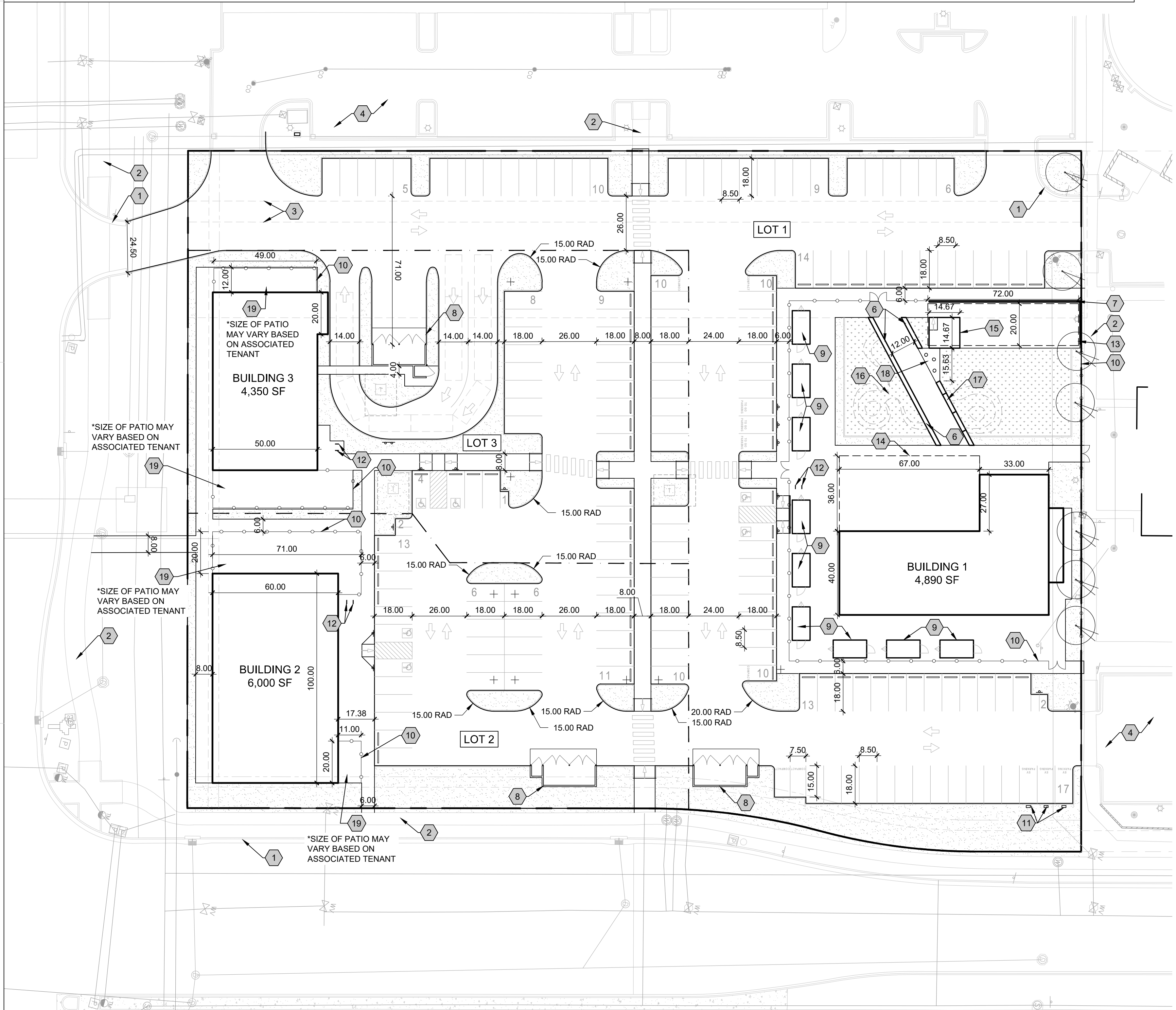
CODE	DESCRIPTION
1	EXISTING CONCRETE CURB
2	EXISTING CONCRETE SIDEWALK
3	EXISTING EASEMENT
4	EXISTING ASPHALT PAVING
5	CONCRETE SIDEWALK
6	CONCRETE SEAT WALL
7	EXTERIOR ART FEATURE WITH CHALK WALL
8	TRASH ENCLOSURE WITH 5' X 6' GREASE RECYCLING STORAGE
9	FOOD TRUCK
10	FENCE
11	EV CHARGING STATION LV2
12	TWO-POINT LOCK BICYCLE RACK
13	SHADE STRUCTURE
14	ATTACHED SHADE STRUCTURE
15	6" RAISED CONCRETE STAGE
16	TUNNEL
17	LINEAR WATER FEATURE - THREE LEVELS
18	BUBBLER PAD
19	PATIO

PROJECT DATA - LOT 2 (PHASE 1)

LOT AREA TOTAL: XXX ACRES
AREA OF LOT COVERED BY BUILDING
 BUILDING 2: 6,000 SF (= 6,000 GFA) *this number is used to calculate net lot*
USABLE OPEN SPACE
 NOT REQUIRED PER IDO Table 5-1-2
PARKING CALCULATION (IDO Table 5-5-1):
 5 SPACES PER 1,000 GFA = 30 PARKING SPACES REQUIRED
 TOTAL PARKING REQUIRED = 30
 TOTAL PARKING PROVIDED = 38
 MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)
 MOTORCYCLE PARKING PROVIDED = 2
 BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

PROJECT DATA - LOT 3 (PHASE 2)

LOT AREA TOTAL: XXX ACRES
AREA OF LOT COVERED BY BUILDING
 BUILDING 3: 4,350 SF (= 4,350 GFA) *this number is used to calculate net lot*
USABLE OPEN SPACE
 NOT REQUIRED PER IDO Table 5-1-2
PARKING CALCULATION (IDO Table 5-5-1):
 5 SPACES PER 1,000 GFA = 22 PARKING SPACES REQUIRED
 TOTAL PARKING REQUIRED 22
 TOTAL PARKING PROVIDED = 39
 MOTORCYCLE PARKING REQUIRED = 1 (IDO Table 5-5-4)
 MOTORCYCLE PARKING PROVIDED = 1
 BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)
 NOTE: SITE WORK AND PARKING AREA PAVING (EXCLUDING THE BUILDING, DRIVE-THROUGH AND DUMPSTER ENCLOSURE) MAY BE CONSTRUCTED SIMULTANEOUSLY WITH PHASE 1.



****Approved for access by the Solid Waste Department for 3-double trash enclosures. Herman Gallegos 04-14-22****
Herman Gallegos

A1 SITE DEVELOPMENT PLAN
 1" = 30'-0"
 0 30' 60'



ENGINEER

PROJECT

NUEVO ATRISCO
 Central + Unser
 Albuquerque, NM

PROJECT NO.	TBD
APPLICATION NO.	TBD
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [YES] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
REVISIONS	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
ABCWUA	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER/HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
Herman Gallegos <i>Herman Gallegos</i>	04-14-22
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

REVISIONS

DRAWN BY
 REVIEWED BY
 DATE: 04.12.2022

PROJECT NO. 19-0059.002
 DRAWING NAME
SITE DEVELOPMENT PLAN

SHEET NO.











PR-2018-001405_SI-2022-01115_Site_Plan_Amendment_Approved_8-3-22


Final Audit Report


2023-02-17


Created:	2023-02-16
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAA43GEN6OQV0gakA8ILqfBV9_RqsBQ5Jib


"PR-2018-001405_SI-2022-01115_Site_Plan_Amendment_Approved_8-3-22" History


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 Agreement completed.
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