

# 01 APPLICATION



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

|  |  |  |
|--|--|--|
| <b>SUBDIVISIONS</b>  | <input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)     | <input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2) |
| <input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)           | <input type="checkbox"/> Amendment to Site Plan (Forms P & P2)             | <input type="checkbox"/> Vacation of Public Right-of-way (Form V)      |
| <input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)             | <b>MISCELLANEOUS APPLICATIONS</b>  | <input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)   |
| <input type="checkbox"/> Extension of Preliminary Plat (Form S1)           | <input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1) | <input type="checkbox"/> Vacation of Private Easement(s) (Form V)      |
| <input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2) | <input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)  | <b>PRE-APPLICATIONS</b>  |
| <input type="checkbox"/> Minor - Final Plat (Forms S & S2)                 | <input type="checkbox"/> Temporary Deferral of SW (Form V2)                | <input type="checkbox"/> Sketch Plat Review and Comment (Form S2)      |
| <input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)     | <input type="checkbox"/> Sidewalk Waiver (Form V2)                         | <input type="checkbox"/> Sketch Plan Review and Comment (Form P2)      |
| <b>SITE PLANS</b>  | <input type="checkbox"/> Waiver to IDO (Form V2)                           | <b>APPEAL</b>  |
| <input type="checkbox"/> DRB Site Plan (Forms P & P2)                      | <input type="checkbox"/> Waiver to DPM (Form V2)                           | <input type="checkbox"/> Decision of DRB (Form A)                      |

**BRIEF DESCRIPTION OF REQUEST**

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along along Unser Blvd., a 4' sidewalk wavier from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger with, the

applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

|  |  |                               |
|--|--|-------------------------------|
| <b>APPLICATION INFORMATION</b>   |  |                               |
| Applicant/Owner: Nuevo Atrisco, LLC Ron Lindsey, Development Manager Maestas Development Group |  | Phone: 505-585-3111           |
| Address: 7620 Jefferson St NE  |  | Email: ron@mdgreatestate.com  |
| City: Albuquerque  | State: NM  | Zip: 87109                    |
| Professional/Agent (if any): Jessica Lawlis, D/P/S   |  | Phone: 505-761-9700           |
| Address: 7601 Jefferson St NE  |  | Email: jessical@dpsdesign.org |
| City: Albuquerque  | State: NM  | Zip: 87109                    |
| Proprietary Interest in Site:  | List <u>all</u> owners: Nuevo Atrisco, LLC and City of Albuquerque |                               |

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

|   |                       |  |
|---|-----------------------|--|
| Lot or Tract No.: TR A-2 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) | Block:                | Unit:  |
| Subdivision/Addition:   | MRGCD Map No.:        | UPC Code: 101005709516131324, 101005708522531322, 101005707124331321 |
| Zone Atlas Page(s): K-10-Z  | Existing Zoning: MX-M | Proposed Zoning MX-M   |
| # of Existing Lots: 1   | # of Proposed Lots: 3 | Total Area of Site (Acres): 6.2231                                   |

**LOCATION OF PROPERTY BY STREETS**

|  |                         |                      |
|--|-------------------------|----------------------|
| Site Address/Street: 201 Unser Blvd NW | Between: Central Ave NW | and: Sarracino PI NW |
|--|-------------------------|----------------------|

**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

|  |
|--|
|  |
|--|

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

|                              |  |
|------------------------------|--|
| Signature:                   | Date: 6/3/2022   |
| Printed Name: Jessica Lawlis | <input type="checkbox"/> Applicant or <input type="checkbox"/> Agent |



## FORM P2: SITE PLAN – DRB

**Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form*.

- SKETCH PLAN – DRB
- SITE PLAN – DRB
- MAJOR AMENDMENT TO SITE PLAN – DRB
- EXTENSION OF SITE PLAN – DRB

Interpreter Needed for Hearing?   No   if yes, indicate language: \_\_\_\_\_

- 01 PDF of application as described above
- 02 Zone Atlas map with the entire site clearly outlined and labeled
- 03 Letter of authorization from the property owner if application is submitted by an agent
- N/A Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)
- 04 Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(l)(3)
- 04 Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)  
*Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.*
- 05 Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (*not required for Extension*)
- 06 Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) (*not required for extension*)
  - 6.A Office of Neighborhood Coordination neighborhood meeting inquiry response
  - 6.B Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
  - 6.C Completed neighborhood meeting request form(s)
  - 6.D If a meeting was requested or held, copy of sign-in sheet and meeting notes
- 07 Sign Posting Agreement
- 08 Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)
  - 8.A Office of Neighborhood Coordination notice inquiry response
  - 8.B Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
  - 8.C Proof of emailed notice to affected Neighborhood Association representatives
  - 8.D Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- 09 Completed Site Plan Checklist
- 10 Site Plan and related drawings
- 11 Copy of the original approved Site Plan or Master Development Plan (*for amendments and extensions*)
- 12 Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- 13 Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units
- N/A Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2.)(d.) if site is within a designated landfill buffer zone
- N/A Infrastructure List, if required

## FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS - EPC

**Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.**

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- \_\_\_ Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_
- \_\_\_ PDF of application as described above
- \_\_\_ Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ Solid Waste Department signature on Site Plan
- \_\_\_ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ Approved Grading and Drainage Plan
- \_\_\_ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)
- \_\_\_ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ Site Plan and related drawings
- \_\_\_ Infrastructure List, if require

**FORM P: PRE-APPROVALS/SIGNATURES**

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal Description & Location: TR.B, NUEVO ATRISCO - SITE PLAN  
NW CORNER OF CENTRAL AVE. & LINSEY BLVD.

Job Description: RETAIL (2-BLDGS.) & COMMUNITY BLDG.

**Hydrology:** (CONCEPTUAL G&D - APPROVED MAY 31, 2022, STAMPED 05-19-22)

- Grading and Drainage Plan  Approved  NA
- AMAFCA  Approved  NA
- Bernalillo County  Approved  NA
- NMDOT  Approved  NA
- MRGCD  Approved  NA

\_\_\_\_\_  
Hydrology Department Date

**Transportation:** (TRAFFIC SCOPING FORM SIGNED 04-25-22, NO T.I.S. REQ'D.)

- Traffic Circulations Layout (TCL)  Approved  NA
- Traffic Impact Study (TIS)  Approved  NA
- Neighborhood Impact Analysis (NIA)  Approved  NA
- Bernalillo County  Approved  NA
- MRCOG  Approved  NA
- NMDOT  Approved  NA
- MRGCD  Approved  NA

\_\_\_\_\_  
Transportation Department Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):** (STATEMENT #2/12/19)

- Water/Sewer Availability Statement/Serviceability Letter  Approved  NA
- ABCWUA Development Agreement  Approved  NA
- ABCWUA Service Connection Agreement  Approved  NA

Blaine Carter  
ABCWUA  
6/3/22  
Date

- Infrastructure Improvements Agreement (IIA\*)  Approved  NA
- Solid Waste Department Signature on the plan  Approved  NA
- Fire Marshall Signature on the plan  Approved  NA

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

**FORM P: PRE-APPROVALS/SIGNATURES**

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal Description & Location: TR. B, NUEVO ATRISCO - SITE PLAN  
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Job Description: RETAIL (2-BLDGS.) & COMMUNITY BLDG.

**Hydrology:** (CONCEPTUAL G&D - APPROVED MAY 31, 2022, STAMPED 05-19-22)

- Grading and Drainage Plan  Approved  NA
- AMAFCA  Approved  NA
- Bernalillo County  Approved  NA
- NMDOT  Approved  NA
- MRGCD  Approved  NA

Ernest Armijo 6/3/2022  
 Hydrology Department Date

**Transportation:** (TRAFFIC SCOPING FORM SIGNED 04-25-22, NO T.I.S. REQ'D.)

- Traffic Circulations Layout (TCL)  Approved  NA
- Traffic Impact Study (TIS)  Approved  NA
- Neighborhood Impact Analysis (NIA)  Approved  NA
- Bernalillo County  Approved  NA
- MRCOG  Approved  NA
- NMDOT  Approved  NA
- MRGCD  Approved  NA

\_\_\_\_\_  
 Transportation Department Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):** (STATEMENT #2/12/19)

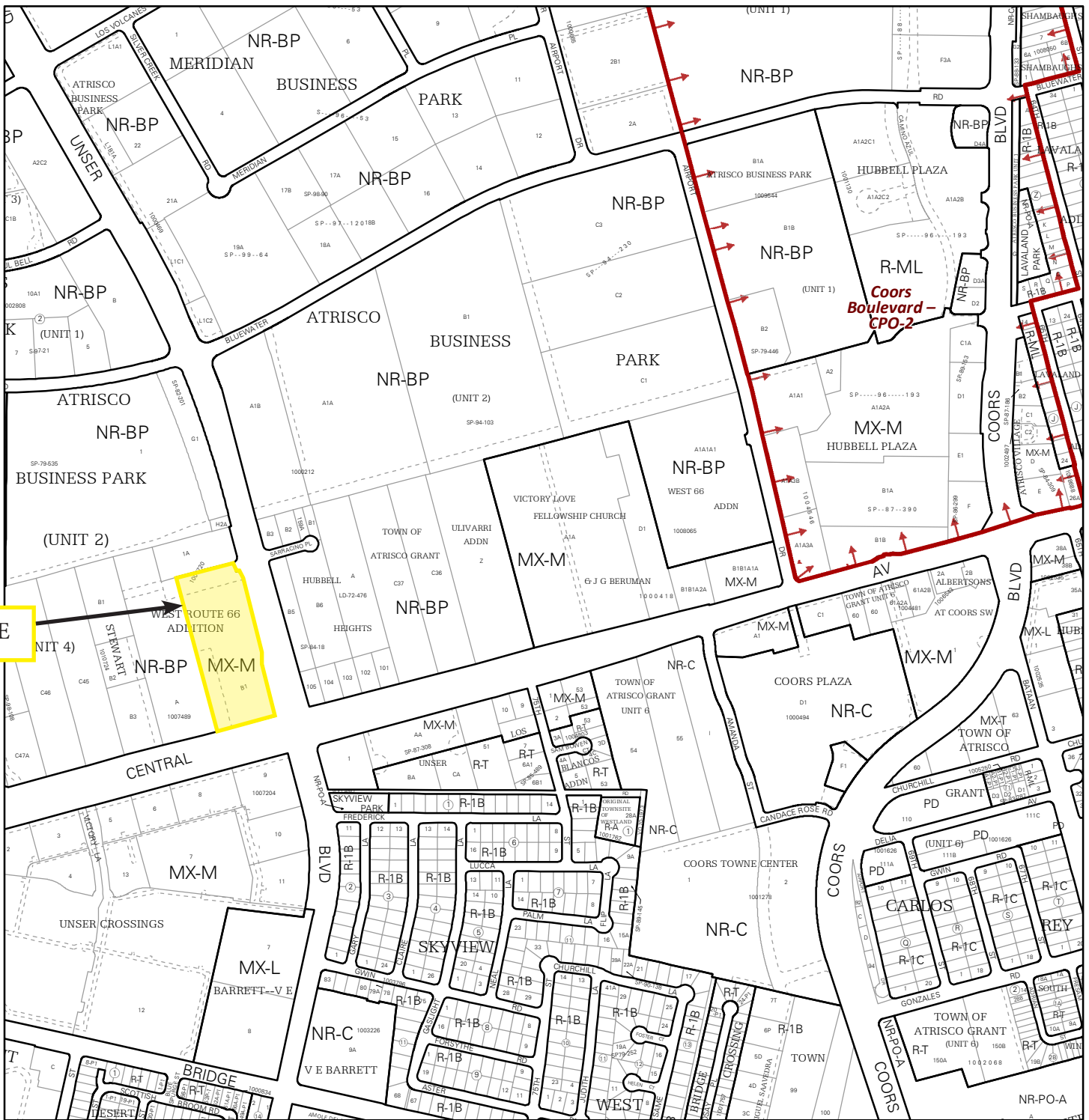
- Water/Sewer Availability Statement/Serviceability Letter  Approved  NA
- ABCWUA Development Agreement  Approved  NA
- ABCWUA Service Connection Agreement  Approved  NA

\_\_\_\_\_  
 ABCWUA Date

- Infrastructure Improvements Agreement (IIA\*)  Approved  NA
- Solid Waste Department Signature on the plan  Approved  NA
- Fire Marshall Signature on the plan  Approved  NA

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

# 02 ZONE ATLAS MAP



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

**AGIS**  
Albuquerque Geographic Information System

**IDO Zoning information as of May 17, 2018**

**The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).**

Zone Atlas Page:  
**K-10-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

# **03 LETTER OF AUTHORIZATION**

# NUEVO ATRISCO LLC

7620 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87109 PH: 505-585-3111

May 17, 2022

Mr. Kevin Kofchur  
Dekker/Perich/Sabatini LLC  
7601 Jefferson NE, Suite 100  
Albuquerque, NM 87109

Jay Rodenbeck  
Planning Manager  
City of Albuquerque Planning Department  
600 Second Street NW | Albuquerque, NM 87102

**RE: Nuevo Artisco**  
**Request for Major Site Plan Amendment - DRB Approval**  
**201 Unser Boulevard NW, Albuquerque NM 87121**

Dear Mr. Rodenbeck:

This Letter authorizes Maestas Development Group, Dekker/Perich/Sabatini LLC, Isaacson & Arfman, Inc. and CSI-Cartesian Surveys, Inc. (collectively the "Agents") to represent Nuevo Atrisco LLC with regard to the design and approval of all necessary steps related to the regulatory and permitting process with the City of Albuquerque. This letter authorizes Agents to act as Nuevo Atrisco LLC's agent as necessary with the permitting and associated approval processes required for the proposed commercial facilities on the property referenced above.

Please contact Ron Lindsey at 281-732-3615 if there are any questions.

Sincerely,

Nuevo Atrisco LLC

By:   
Steve Maestas  
Manager

*Ron L*

# 04 JUSTIFICATION LETTER



Jolene Wolfley  
Development Review Board Chair  
Plaza Del Sol  
600 2nd St NW  
Albuquerque, NM 87102

Dear Ms. Wolfley,

Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC (the “Developer”), is seeking approval for a Major Site Plan Amendment reviewed by the Development Review Board, including a waiver to the required width of on-site pedestrian connections (5-3(D)(3)(b)(4)), for the subject properties located at 201 Unser Blvd NW (the “Properties”) and is within the West Central Metropolitan Redevelopment Area Plan (the “West Central MRA Plan”) as enacted by the City of Albuquerque (the “City”). Granting this request will facilitate the implementation of the MRA Plan for the Properties pursuant to the Development and Disposition Agreement (“DDA”) between the City and the Developer dated November 4, 2021. Under the DDA the Developer will redevelop the Property into a) a public plaza with a community building, displays for local art, water feature, outdoor activity area and micro-restaurants and b) commercial retail and restaurant buildings.

The subject site is located at 201 Unser Blvd NW, a vacant parcel on the northwest corner of Central Ave and Unser Blvd. The site is located within the designated West 66 Activity Center, a Premium Transit Station Area, and the West Central Metropolitan Redevelopment Area (MRA) boundary. The West Central MRA Plan specifically identifies the subject property as an opportunity site and encourages a private public partnership to facilitate its redevelopment for industrial or commercial space (West Central Metropolitan Redevelopment Area Plan, page 4). The applicant has been working with the City’s Metropolitan Division to generate a development program that will achieve the goals of the Area Plan. The resulting site development plan, outlined below, has been approved by the City’s MRA.

The property is currently a single vacant parcel that will be re-platted into three parcels zoned Mixed-Use Moderate Intensity (MX-M). The northern parcel will include a multi-purpose community structure that can accommodate seating/gathering space, restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A teaching kitchen community room may be added to the structure. There will also be a micro-restaurant court and associated amenities including shade structures, and an open space area that will accommodate a children’s activity area, water feature and, periodically, a farmer’s market. This public plaza and its associated amenities are the heart of the project and is strategically located adjacent to the community building with large doors that can be opened to create a seamless indoor and outdoor flow for visitors enjoying the food vendors. The southern parcels will contain a 5,000 +/- square foot retail/ restaurant building with a potential pick up window, a parking lot, and another 6,000 +/- square foot retail/ restaurant building.

The project will provide relief to the current food and service desert the area residents are experiencing, create a community amenity improving the neighborhood, and provide business creation and job opportunities for area residents. The project design creates synergistic connectivity between and to the adjacent Library, workforce housing, and the ART bus system. The result is a true live/work/play/learn mixed-use project that will be a gem of the West Central area.

The proposed amendment complies with the Review and Decision Criteria for a Site Plan – DRB per section 6-6(l)(3) of the IDO as outlined below.

***6-6(l)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.***

The subject site is zoned Mixed Use Medium Density (MX-M) and is located within a designated Activity Center, West Route 66 Center, and a Premium Transit Station Area. The applicant is requesting a waiver, ***per section 14-16-6-6(P), to sidewalk requirements of 5-3(D)(2) Sidewalks in Mixed-use and Non-residential Development*** as outlined below. Aside from the requested waiver, the proposed site plan complies with all other applicable City standards.

Section 5-3(D)(2)(b) Sidewalks of the IDO, requires sidewalks to be constructed per the DPM. Unser Blvd is classified as an arterial located within a designated Activity Center for which the DPM requires 10' wide sidewalks. There is an existing 6' sidewalk along Unser Blvd. As a public private partnership project coordination with the City's Metropolitan Redevelopment Division, the applicant was told that providing a 3' easement that would allow the City to expand the existing sidewalk facility if found necessary in the future would be acceptable. The platting action associated with this request dedicates this easement and the applicant is therefore requesting a waiver of 4' to the 10' required width to accommodate the existing 6' sidewalk. The following section outlines compliance with DPM Section 2-9(B)(2)(i) Criteria for Waiver from IDO Sidewalk Standards Requests for a waiver to not provide sidewalks as required pursuant to IDO Subsection 14-16-5-3(D).

***1. The area is of low-intensity land use to an extent that the normal installation of sidewalks will not contribute to the public welfare, and the absence of a sidewalk will not create a gap in an existing sidewalk system extended to one or more sides of the subject property or area.***

*The subject site has existing 6' landscape buffer and adjacent 6' wide sidewalk. The parcels surrounding the subject site exhibit this same streetscape condition, providing a 6' landscape strip and 6' wide sidewalk. Granting this waiver to allow the deviation in required width would ensure cohesion among the existing sidewalk system. Additionally, as outlined below, the existing infrastructure meets the streetscape elements required by adopted City policies and standards within the maximum feasible width allowed within the existing right-of-way and creates a cohesive streetscape along Unser Boulevard.*

***2. The City's right-of-way is insufficient in width to allow the construction of a sidewalk of standard dimension and placement, but there is sufficient right-of-way to meet minimum ADA or PROWAG guidance.***

The City's right-of-way is insufficient to meet the maximum widths for landscape buffers and sidewalks per the requirements of DPM TABLE 7.2.29 Street Element Dimensions. The right-of-way of Unser Boulevard currently contains an existing 6' landscape buffer strip and an adjacent 6' sidewalk in close proximity to the subject site's property line. These existing facilities are consistent with the roadway elements identified by the ABC Comprehensive Plan for the safe pedestrian realm within designated Activity Centers that ensure that pedestrian facilities are buffered from traffic. These existing facilities were constructed by the City of Albuquerque out

of compliance with the required dimensions of the DPM TABLE 7.2.29 Street Element Dimensions, likely because the existing 6' landscape strip and 6' sidewalk are the maximum feasible widths that could be accommodated within the existing Unser Blvd right-of-way. While out of compliance with the desired widths as identified in DPM TABLE 7.2.29 Street Element Dimensions, these facilities do meet the intent of the ABC Comprehensive Plan for protected pedestrian facilities and do meet the minimum ADA requirements. The requested waiver would allow the existing facilities to be maintained in a state that works to achieve the desired streetscape elements of the Comp Plan and DPM to the maximum extent feasible within the current right-of-way allocations.

***3. The adjoining sidewalks are non-standard as to width and/or location, and the Waiver would enable the new and existing sidewalks to match in width and/or location, or could create a smooth transition between areas of different width and/or character.***

*The adjoining sidewalks along Unser Boulevard are all out of compliance with the DPM, rather than the 10' width, all existing sidewalks (along the existing Nuevo Atrisco housing site and along existing development further to the north such as the UNM Southwest Mesa Center for Family and Community Health) are 6' in width. The requested waiver to allow the continuance of the existing 6' sidewalk would ensure that the facility on the subject site matches the width and location of existing facilities along this segment of Unser Boulevard. Granting the waiver would therefore enable a smooth sidewalk transition and ensure a cohesive streetscape treatment and character along Unser Boulevard.*

The proposed development provides all required on-site pedestrian pathways per section 5-3(D)(3) On-site Pedestrian Connections. The site accommodates a network of pedestrian paths per the required widths; an 8' walkway between the two commercial buildings and connecting to the sidewalk on Central Ave, 7' walkways within the parking lots, and 6' walkways to building entrances and any ADA parking spaces.

Off-street parking is compliant with the requirements of Table 5-5-1: Minimum Off-street Parking Requirements. Each parcel provides the required amount of parking spaces on-site.

Site landscaping is compliant with the standards of Section 5-6 Landscaping, Screening and Buffering, with the exception of section 5-6(F)(1)(i)(2)(b) parking lot screening for which an Alternative Landscape Plan is being requested. The site meets the required 15% landscape coverage. All parking lots across the three development parcels meet the required tree requirements so that there is a minimum of one tree per every 10 parking spaces and ensure that no parking space may be located more than 100 feet from a tree trunk.

Adjacent parcels containing the Central and Unser Library and the Nuevo Atrisco apartments to the north are also zoned MX-M and therefore don't require any edge buffering per section 5-6(E).

The proposed building design meets the standards of section 5-11(E) Mixed-Use and Non-Residential Zone Districts. Buildings utilize a variety of strategies to provide a sense of human scale and interest at ground level including the use of architectural corner elements, the strategic location of pedestrian entrances and windows, the incorporation of metal awnings and strategic material and color changes at

key architectural features. Building facades facing Central Avenue meet the façade design standards of 5-11(E)(2) by providing a combination of primary pedestrian entrances, storefront windows with sills no higher than 30 inches above the finished floor, and awning along at 30 percent of the length of the façade, distributed so that at least 1 of these features occurs every 40 feet. These facades do not exceed 100' in length and therefore do not need to comply with the standards of Section 5-11(E)(3).

***6-6(I)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.***

The subject site is located within a designated Activity Center, Premium Transit Station area, and Metropolitan Redevelopment Area that has a robust existing vehicular, transit, and pedestrian network and utilities infrastructure. The applicant has taken several measures to ensure these systems have capacity to accommodate the proposed development without placing additional burden on those systems, including:

- a. Coordinated with the utilities providers to ensure site capacity and worked to mitigate potential burdens of the existing utilities infrastructure.
- b. An approved Grading and Drainage Plan to accommodate the proposed development. The proposed site development plan will comply with all applicable on-site drainage requirements.
- c. An approved Fire One Plan to the Fire Marshall for any associated site development plan approvals.

***6-6(I)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.***


The subject site is not located within an approved Master Development Plan that establishes any additional applicable standards to which the proposed development must comply.

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 11, 2022 with the representatives of the Avalon NA, Los Volcanes NA, Southwest Alliance, and Westside Coalition of Neighborhood Associations to discuss the project and respond to potential concerns. Questions covered issues around the variety of commercial uses anticipated, specifics regarding proposed amenities such as the community room and water feature, anticipated hours of operation, and specific dates for review and approval process milestones such as when the application will be submitted to and heard by the DRB. A detailed meeting report drafted by the City's Alternative Dispute Resolution offices has been included in the DRB submittal for review. No one expressed opposition to the planned development and no mitigation measures were required or requested.

Based upon the rationale presented in this letter, we respectfully request approval of the proposed site plan to facilitate the development of the Nuevo Atrisco. Upon completion, we feel that this project will diversify the economy of Central and Unser Premium Transit Station Area and the greater Westside. If

you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org).

Sincerely,

A handwritten signature in cursive script that reads "Jessica Lawlis". The signature is written in black ink and is positioned below the word "Sincerely,".

Jessica Lawlis, Dekker Perich Sabatini  
Agent for Nuevo Atrisco, LLC

# **05 PROOF OF PRE-APPLICATION MEETING**

**PRE-APPLICATION MEETING NOTES**

PA#: 22-006 Notes Provided (date): 1-12-2020

Site Address and/or Location: 201 Unser Blvd NW

Pre-application notes are for informational purposes only and are non-binding. They do not constitute an approval of any kind. Additional research may be necessary to determine the exact type of process and/or application required. Factors unknown and/or thought of as minor at this time could become significant as a case progresses.

Request Commercial development, to include a mobile food truck court.

**Basic Site Information**

Current Use(s): Vacant Size (acreage): 6.2

Zoning: MX-M Overlay Zone(s): N/A

**Comprehensive Plan Designations**

Development Area: Change Corridor(s): Central Ave : Premium Transit, Main Street  
Unser Blvd: Commuter

Center: Activity (West Route 66) Near Major Public Open Space (MPOS)?: No

**Integrated Development Ordinance (IDO)**

Please refer to the IDO for requirements regarding dimensional standards, parking, landscaping, walls, signage, etc. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

Proposed Use(s): Mobile Food Truck Court

Use Specific Standards: Mobile Food Truck Court 14-16-4-3(D)(10),4-3(D)(8)

Applicable Definition(s): Taproom, Mobile Food Truck Court, Mobile Food Truck (see next page)

Sensitive Lands: *Please see IDO Section 14-16-5-2 for information about required analysis, development standards, and changes to process that may result if this Section applies.*

**Notice**

Neighborhood Meeting Offer Required? (see IDO Table 6-1-1). If yes, please refer to:

<https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

**Process**

Decision Type(s) (see IDO Table 6-1-1): 6-6(I) Site Plan

Specific Procedure(s)\*: Site Plan

*\*Please refer to specific procedures for relevant decision criteria required to be addressed.*

Decision Making Body/ies: DRB Is this a PRT requirement? Yes

**Handouts Provided**

- Zoning Map Amendment
- Site Plan Amendments
- Site Plan- EPC
- Site Plan- DRB
- Site Plan- Admin
- Variance-ZHE
- Conditional Use
- Subdivision
- Site History/Research
- Transportation
- Hydrology
- Fire

If you have additional questions, please contact Staff at [planningprt@cabq.gov](mailto:planningprt@cabq.gov) or at (505) 924-3860. Please include the PA# with your inquiry.

*Additional Notes:*

For landscape requirements, will food trucks be calculated as net lot area similar to how buildings are?

No, food trucks are not considered buildings.

Will each parcel need to have separate parking and landscape calculations after the site is re-platted?

What rules apply for a beer/wine garden at a food trailer in this area?

Mobile food trucks are permitted but these “trailers” are more of a permanent installation. If they are stationary, and do not move, will they be permissible?

Do the proposed retail/restaurant buildings have design requirements for the façades, especially facades facing the street?

What are the requirements/restrictions for freestanding and building mounted signage?

*Previous Cases:*

*PR-2018 001405*

*PR-2019-002174*

*This is an amendment to a previously approved site plan. We are assuming this will be a Major Amendment to the previously approved site plan. Please confirm this is correct.*

*This is correct*

*According to IDO Table 4-2-1, Mobile Food Truck Courts are permitted in MX-M. Drive throughs are a permissive accessory use. Please confirm this is correct.*

*Correct.*

*There are three parcels as part of the site. We assume there will only need to be one site plan approval for all three parcels, please confirm this is correct.*

*That is correct.*

*Refer to IDO 14-15-5-12 Signs for sign restrictions and requirements.*



## **06 PROOF OF NEIGHBORHOOD MEETING**

- A. Office of Neighborhood Coordination neighborhood meeting inquiry response
- B. Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
- C. Completed neighborhood meeting request form(s)
- D. If a meeting was requested or held, copy of sign-in sheet and meeting notes

## **06 PROOF OF NEIGHBORHOOD MEETING**

- A. Office of Neighborhood Coordination neighborhood meeting inquiry response

**From:** [Carmona, Dalaina L.](#)  
**To:** [Madeline Sexton](#)  
**Subject:** 201 UNSER BLVD NW Neighborhood Meeting Inquiry  
**Date:** Tuesday, January 18, 2022 3:15:46 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image007.png](#)  
[IDOZoneAtlasPage\\_K-10-Z\\_.pdf](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

| Association Name                                      | First Name | Last Name     | Email                    | Address Line 1             | City        | State | Zip   | Mobile Phone | Phone      |
|---|------------|---------------|--------------------------|----------------------------|-------------|-------|-------|--------------|------------|
| Los Volcanes NA                                       | Jenny      | Sanchez       | jennybsanchez1@q.com     | 6512 Honeylocust Avenue NW | Albuquerque | NM    | 87121 |              | 5058360117 |
| Los Volcanes NA                                       | Alma       | Ramirez       | acr@q.com                | 6616 Honeylocust Avenue NW | Albuquerque | NM    | 87121 |              | 5058313595 |
| South West Alliance of Neighborhoods (SWAN Coalition) | Luis       | Hernandez Jr. | luis@wccdg.org           | 5921 Central Avenue NW     | Albuquerque | NM    | 87105 |              |            |
| South West Alliance of Neighborhoods (SWAN Coalition) | Jerry      | Gallegos      | jgallegoswccdg@gmail.com | 5921 Central Avenue NW     | Albuquerque | NM    | 87105 | 5053855809   | 5058362976 |
| Westside Coalition of Neighborhood Associations       | Elizabeth  | Haley         | ekhaley@comcast.net      | 6005 Chaparral Circle NW   | Albuquerque | NM    | 87114 | 5054074381   |            |
| Westside Coalition of Neighborhood Associations       | Rene       | Horvath       | aboard111@gmail.com      | 5515 Palomino Drive NW     | Albuquerque | NM    | 87120 |              | 5058982114 |

**PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf). The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
 Office of Neighborhood Coordination  
 Council Services Department  
 1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
 Albuquerque, NM 87102  
 505-768-3334  
[dcarmona@cabq.gov](mailto:dcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
 Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

**From:** [webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** [webmaster@cabq.gov](mailto:webmaster@cabq.gov)  
**Sent:** Tuesday, January 18, 2022 2:13 PM  
**To:** Office of Neighborhood Coordination <[madelines@dpsdesign.org](mailto:madelines@dpsdesign.org)>  
**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

**Subject:** Neighborhood Meeting Inquiry Sheet Submission

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:  
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Madeline Sexton

Telephone Number

505.761.9700

Email Address

[madelines@dpsdesign.org](mailto:madelines@dpsdesign.org)

Company Name

Dekker Perich Sabatini

Company Address

City

State

ZIP

Legal description of the subject site for this project:

TR A-2 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT 2.7256 AC

Physical address of subject site:

201 UNSER BLVD NW ABQ 87121

Subject site cross streets:

Central Ave. NW & Unser Blvd SW

Other subject site identifiers:

This site is located on the following zone atlas page:

K-10-Z

## **06 PROOF OF NEIGHBORHOOD MEETING**

- B. Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

**April 25th, 2022**

**Los Volcanes NA  
Alma Ramiriz  
6616 Honeylocust Avenue NW**



**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear Neighborhood Association Representative,

This letter is to inform you that Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval for a Major Site Plan Amendment reviewed by the Development Review Board for the subject properties located at 201 Unser Boulevard NW to facilitate commercial retail and restaurant development, including a mobile food vendor court.

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss the application.

The subject site consists of three undeveloped parcels zoned Mixed-Use Moderate Intensity (MX-M). The property is currently a single parcel that will be re-platting into 3 parcels. The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial teaching kitchen community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 square foot retail/ restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail/ restaurant.

**Per the IDO, you have 15 days from the date this letter is sent, April 25th, 2022, to respond by either (1) requesting a meeting or (2) declining a meeting. If you do not respond within 15 days, you are waiving the opportunity for a neighborhood meeting. If you would like to request a neighborhood meeting, please contact Jessica Lawlis within the required 15-day period of this mailing date (by May 9<sup>th</sup>, 2022) at (505)761-9700 or by email at [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org).**

Before submitting our application to the Development Review Board, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB Hearing date at which time the application will be reviewed and decided on by the City of Albuquerque.

Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations

**April 25th, 2022**

**Los Volcanes NA  
Jenny Sanchez  
6512 Honeylocust Avenue NW  
Albuquerque NM 87121**

**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

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Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations

**April 25th, 2022**

**South West Alliance of Neighborhoods (SWAN Coalition)  
Luis Hernandez Jr.  
5921 Central Avenue NW  
Albuquerque NM 87105**

**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear Neighborhood Association Representative,

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Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC

Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations



**April 25th, 2022**

**South West Alliance of Neighborhoods (SWAN Coalition)  
Jerry Gallegos  
5921 Central Avenue NW  
Albuquerque NM 87105**

**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

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Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC

Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations

**April 25th, 2022**

**Westside Coalition of Neighborhood Associations  
Elizabeth Haley  
6005 Chaparral Circle NW  
Albuquerque NM 87114**

**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

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Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC

Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations

**April 25th, 2022**

**Westside Coalition of Neighborhood Associations  
Rene Horvath  
5515 Palomino Drive NW  
Albuquerque NM 87120**

**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear Neighborhood Association Representative,

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Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC

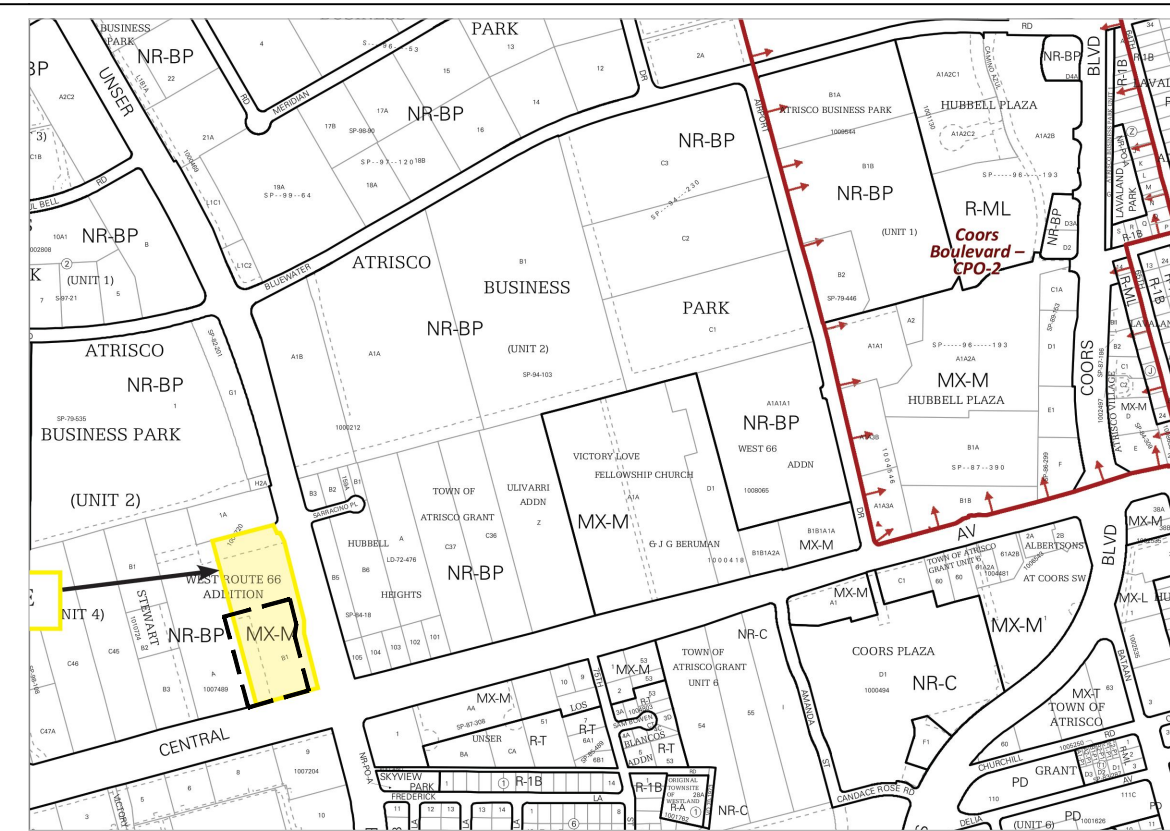
Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations



**GENERAL SHEET NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- G. NEW CONSTRUCTION WILL ENSURE CONTINUOUS ACCESS FOR SOLID WASTE DURING CONSTRUCTION TO THE ADJACENT MULTI-FAMILY APARTMENTS.

**VICINITY MAP**



**LEGEND**

- LANDSCAPE AREA
- SYNTHETIC TURF
- LOT LINE
- ASPHALT PAVEMENT MARKING: WHITE DIRECTIONAL ARROW
- ASPHALT PAVEMENT MARKING: BLUE ACCESSIBLE PARKING SYMBOL
- EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION

**PROJECT DATA - TOTAL**

**ZONING:** IDO MX-M + PREMIUM TRANSIT (PT) DESIGNATION  
**LEGAL DESCRIPTION:**  
 TR A-1 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 3815 AC; TR A-2 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 27256 AC; TR B PLAT OF TRACTS A AND B NUEVO ATRISCO (BEING A REPLAT OF TRACT B1, WEST ROUTE 66 ADDITION II) CONT. 3,1360 AC  
**SITE AREA TOTAL:** 3.1362 ACRES = 136,611 SF  
**IDO ZONE ATLAS:** K-10-Z (MAY 2018)  
**SETBACKS (MIN/MAX):** FRONT 0'15", SIDE= 0'15", REAR= 0'  
**BUILDING INFORMATION:** HEIGHT/OCCUPANCY/CONSTRUCTION TYPE  
 BUILDING 1: COMMUNITY PLAZA BUILDING X-X' / 1 / VB-SPRINKLED  
 BUILDING 2: MULTI-TENANT BUILDING X-X' / M and A-2 / VB-SPRINKLED  
 BUILDING 3: RESTAURANT X-X' / A-2 / VB-SPRINKLED  
 MAX HEIGHT ALLOWED: 65'-0"  
**FIRE FLOW:** XXXX GPM  
**HYDRANTS REQUIRED:** X TOTAL

**PROJECT DATA - LOT 1 (PHASE 1)**

**LOT AREA TOTAL:** XXX ACRES  
**AREA OF LOT COVERED BY BUILDING**  
 BUILDING 1: 4,890 SF (= 4,890 GFA) *this number is used to calculate net lot*  
**USABLE OPEN SPACE**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION** (IDO Table 5-5-1):  
 5 SPACES PER 1,000 GFA = 24 PARKING SPACES REQUIRED  
 2 SPACES PER 1 FOOD TRUCK = 18 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 42  
 TOTAL PARKING PROVIDED = 94  
 MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)  
 MOTORCYCLE PARKING PROVIDED = 2  
 BICYCLE PARKING REQUIRED = 4 (IDO Table 5-5-5)  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

**KEYED NOTES**

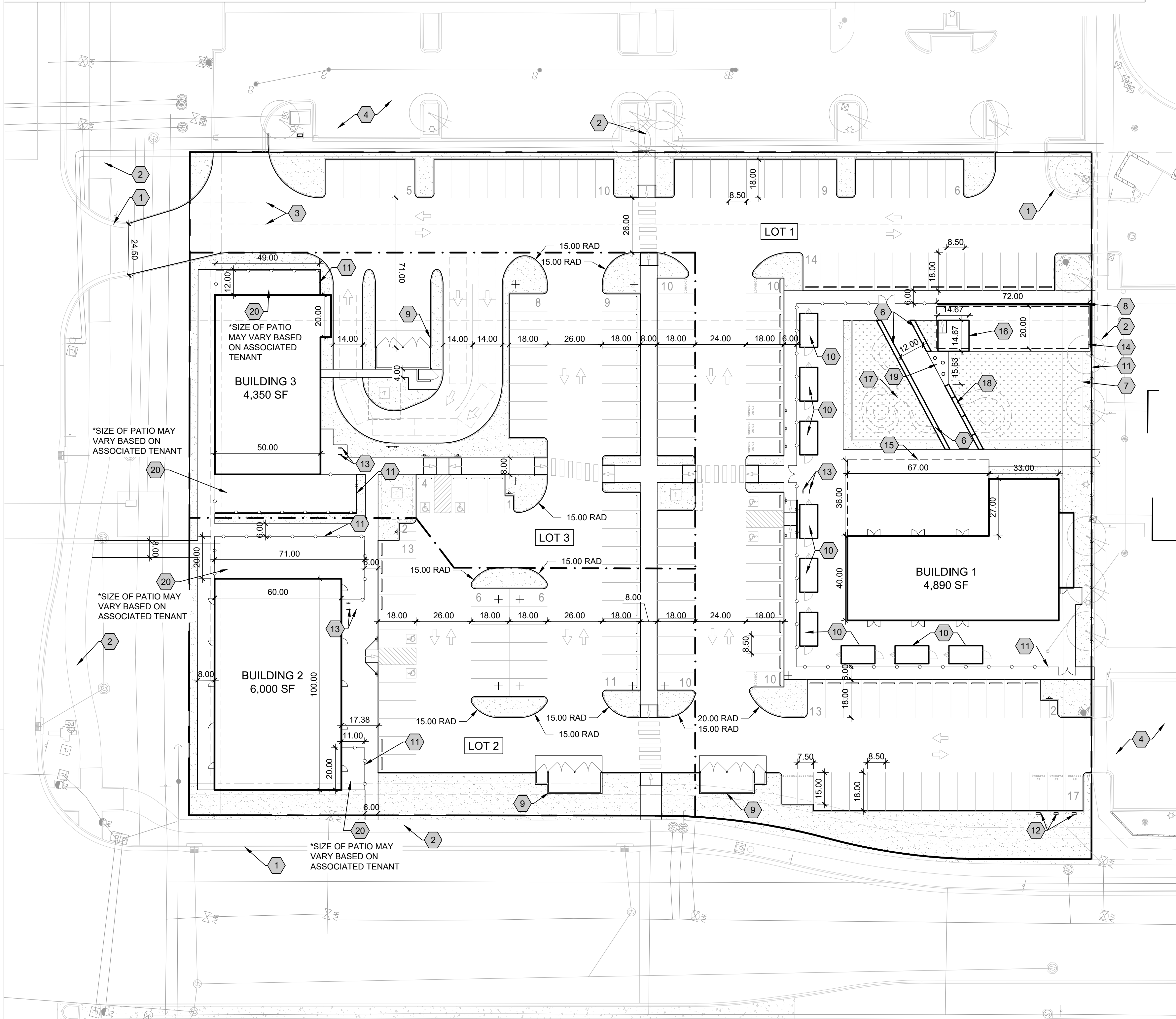
| CODE | DESCRIPTION  |
|------|--|
| 1    | EXISTING CONCRETE CURB                               |
| 2    | EXISTING CONCRETE SIDEWALK                           |
| 3    | EXISTING EASEMENT                                    |
| 4    | EXISTING ASPHALT PAVING                              |
| 5    | CONCRETE SIDEWALK                                    |
| 6    | CONCRETE SEAT WALL                                   |
| 7    | CONCRETE MOW CURB                                    |
| 8    | EXTERIOR ART FEATURE WITH CHALK WALL                 |
| 9    | TRASH ENCLOSURE WITH 5' X5' GREASE RECYCLING STORAGE |
| 10   | FOOD TRAILER (MICRO-RESTAURANT)                      |
| 11   | FENCE: METAL 42" HEIGHT                              |
| 12   | EV CHARGING STATION LV2                              |
| 13   | TWO-POINT LOCK BICYCLE RACK                          |
| 14   | SHADE STRUCTURE                                      |
| 15   | ATTACHED SHADE STRUCTURE                             |
| 16   | 6" RAISED CONCRETE STAGE                             |
| 17   | TUNNEL   |
| 18   | LINEAR WATER FEATURE - THREE LEVELS                  |
| 19   | BUBBLER PAD  |
| 20   | PATIO  |

**PROJECT DATA - LOT 2 (PHASE 1)**

**LOT AREA TOTAL:** XXX ACRES  
**AREA OF LOT COVERED BY BUILDING**  
 BUILDING 2: 6,000 SF (= 6,000 GFA) *this number is used to calculate net lot*  
**USABLE OPEN SPACE**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION** (IDO Table 5-5-1):  
 5 SPACES PER 1,000 GFA = 30 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 30  
 TOTAL PARKING PROVIDED = 38  
 MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)  
 MOTORCYCLE PARKING PROVIDED = 2  
 BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

**PROJECT DATA - LOT 3 (PHASE 2)**

**LOT AREA TOTAL:** XXX ACRES  
**AREA OF LOT COVERED BY BUILDING**  
 BUILDING 3: 4,350 SF (= 4,350 GFA) *this number is used to calculate net lot*  
**USABLE OPEN SPACE**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION** (IDO Table 5-5-1):  
 5 SPACES PER 1,000 GFA = 22 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED 22  
 TOTAL PARKING PROVIDED = 39  
 MOTORCYCLE PARKING REQUIRED = 1 (IDO Table 5-5-4)  
 MOTORCYCLE PARKING PROVIDED = 1  
 BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)  
 NOTE: SITE WORK AND PARKING AREA PAVING (EXCLUDING THE BUILDING, DRIVE-THROUGH AND DUMPSTER ENCLOSURE) MAY BE CONSTRUCTED SIMULTANEOUSLY WITH PHASE 1.



**DEKKER PERICH SABATINI**

**DRAFT**  
 ARCHITECT  
 ENGINEER

**NOT FOR CONSTRUCTION**  
 PROJECT

**NUEVO ATRISCO FOOD PARK**  
 Central + Unser  
 Albuquerque, NM 8710X

|  |       |
|--|-------|
| PROJECT NO.  | TBD   |
| APPLICATION NO.  | TBD   |
| IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?<br>[ YES ] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. |       |
| DRB SITE DEVELOPMENT PLAN APPROVAL:  |       |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION   | DATE: |
| ABCWUA   | DATE: |
| PARKS & RECREATION DEPARTMENT  | DATE: |
| CITY ENGINEER/HYDROLOGY  | DATE: |
| ENVIRONMENTAL HEALTH (CONDITIONAL)   | DATE: |
| SOLID WASTE MANAGEMENT   | DATE: |
| DRB CHAIRPERSON, PLANNING DEPT.  | DATE: |
| CODE ENFORCEMENT   | DATE: |

| REVISIONS |  |
|-----------|--|
| △         |  |
| △         |  |
| △         |  |
| △         |  |

|                  |                         |
|------------------|-------------------------|
| DRAWN BY         | REVIEWED BY             |
| DATE: 04.15.2022 | PROJECT NO. 19-0059.002 |
| DRAWING NAME     | SITE DEVELOPMENT PLAN   |
| SHEET NO.        | SDP1.1                  |

**A1 SITE DEVELOPMENT PLAN**  
 1" = 30'-0"  
 0 30' 60'

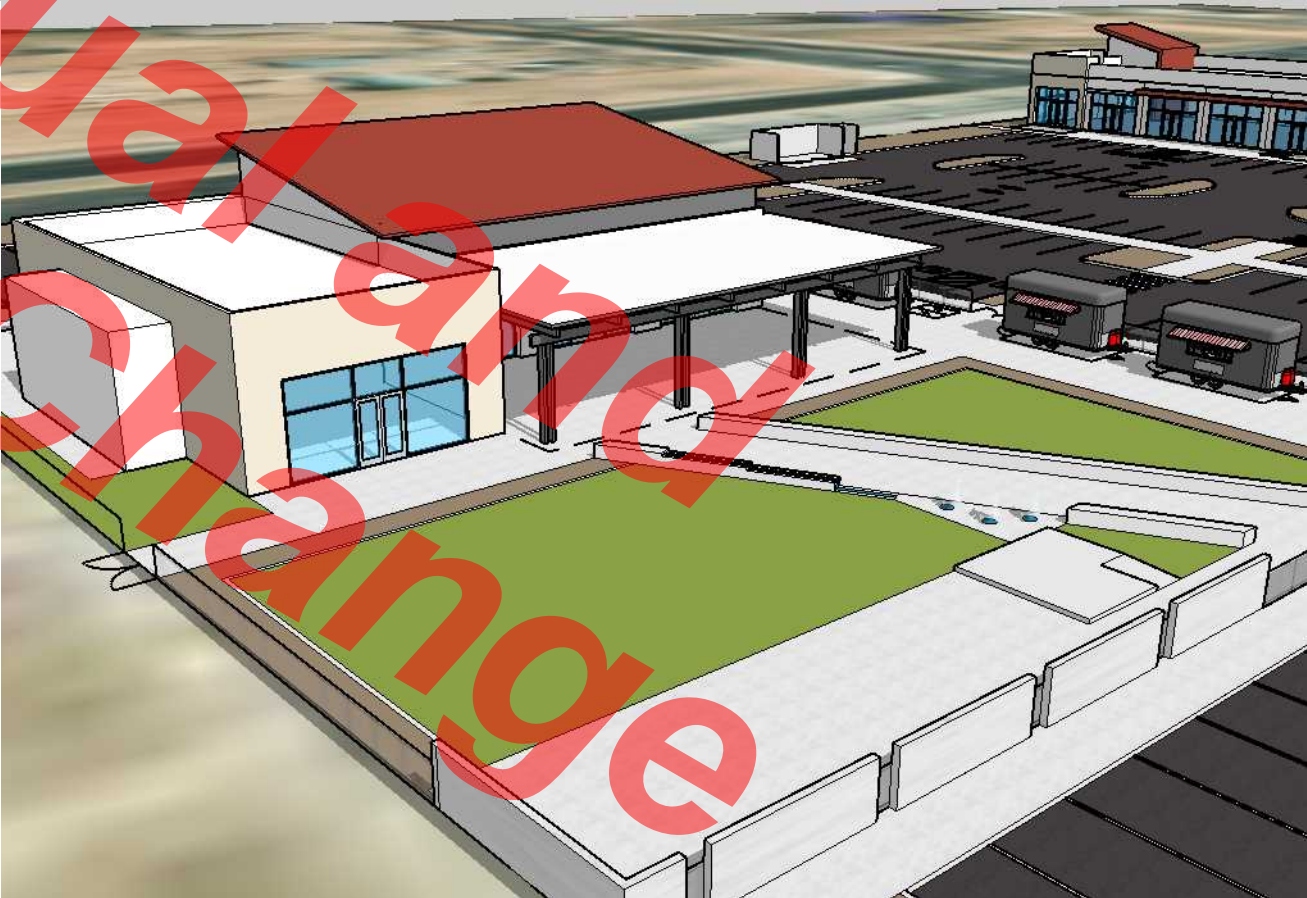




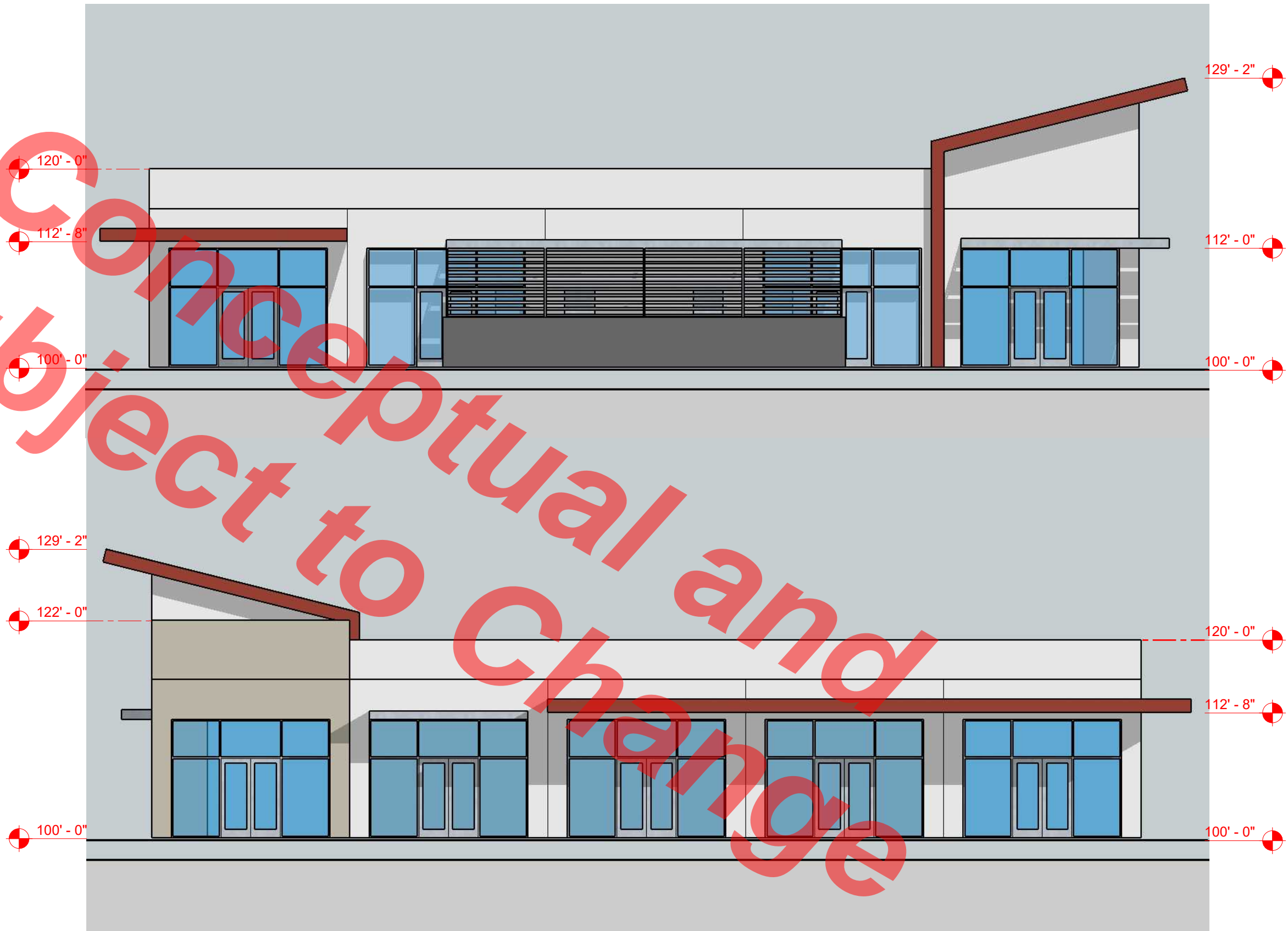
Subject to Change



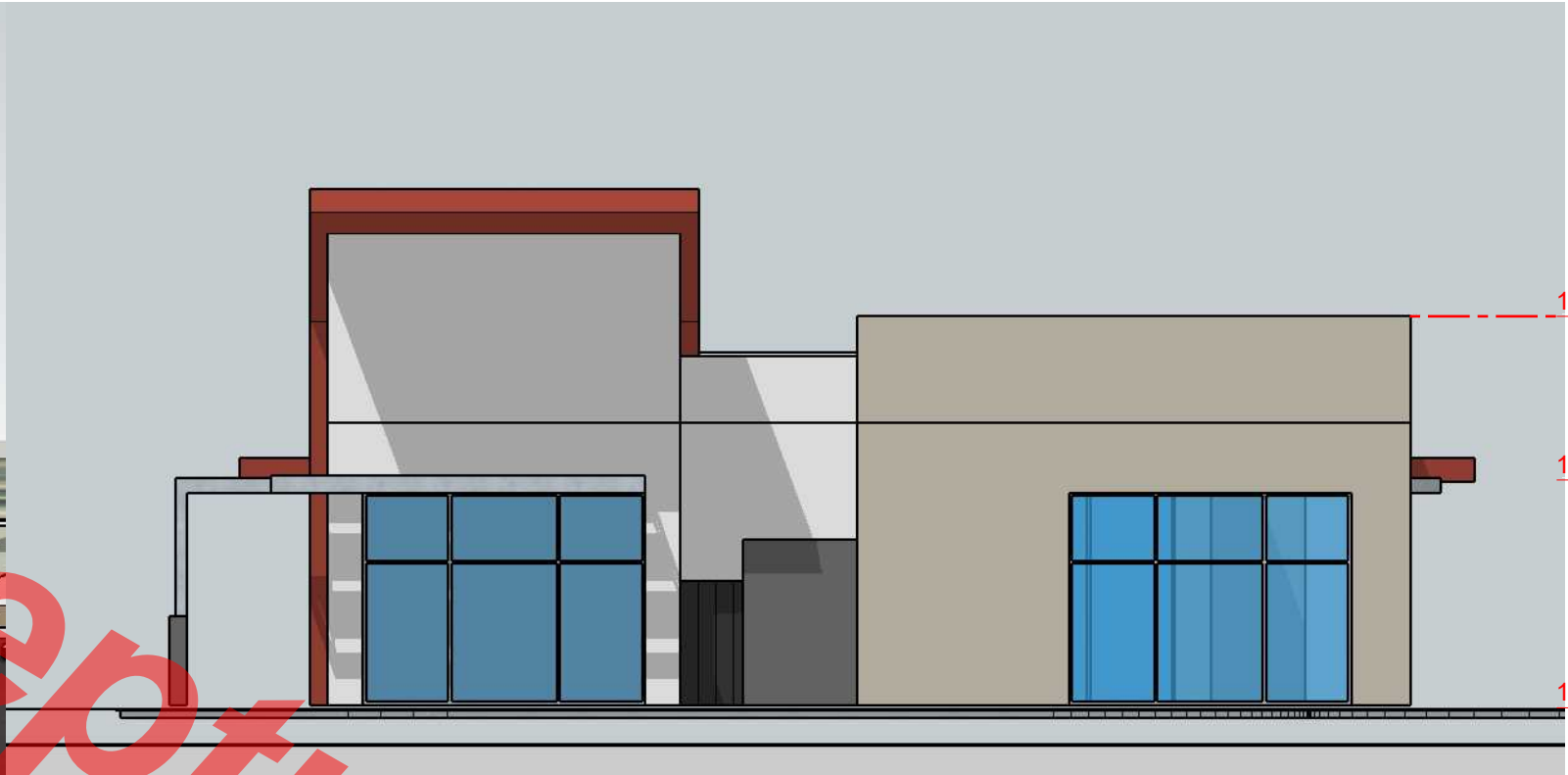




Subject to Change







Subject to Conceptual and Change

Subject to Conceptual and Change





Conceptual and Change



DEKKER  
PERICH  
SABATINI

7601

ALBUQUERQUE, NM 87101

Los Volcanes  
Jenny Sanchez  
5512 Honeylocust Avenue NW  
Albuquerque, NM 87121



DEKKER  
PERICH  
SABATINI

7601

ALBUQUERQUE, NM 87101

Los Volcanes  
Alma Ramirez  
6616 Honeylocust Avenue NW  
Albuquerque NM 87121



DEKKER  
PERICH  
SABATINI

7601

ALBUQUERQUE, NM 87101

Westside Coalition of Neighborhood Associations  
Rene Horvath  
5515 Palomino Drive NW  
Albuquerque NM 87120





DEKKER  
PERICH  
SABATINI

7601 ATTORNEY, SUITE 100  
ALBUQUERQUE, NM 87105

Westside Coalition of Neighborhood Associations  
Elizabeth Taylor  
3000 Chaparral Circle NW  
Albuquerque NM 87114



DEKKER  
PERICH  
SABATINI

7601 ATTORNEY, SUITE 100  
ALBUQUERQUE, NM 87105

South West Alliance of Neighborhoods  
Jerry Gallegos  
5921 Central Avenue NW  
Albuquerque NM 87105



DEKKER  
PERICH  
SABATINI

7601 ATTORNEY, SUITE 100  
ALBUQUERQUE, NM 87105

South West Alliance of Neighborhoods  
Luis Hernandez Jr.  
5921 Central Avenue NW  
Albuquerque NM 87105

## **06 PROOF OF NEIGHBORHOOD MEETING**

C. Completed neighborhood meeting request form(s)

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 4-25-2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Los Volcanes NA

Name of NA Representative\*: Jenny Sanchez, Alma Ramiriz

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: jennybsanchez1@q.com, acr@q.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: jessical@dpsdesign.org

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:  
Deadline to request meeting Monday, May 9th

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision Minor (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial teaching kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 square foot retail/ restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail/ restaurant. A 4' sidewalk wavier along Unser Blvd. is requested to accommodate a sidewalk easement that will allow the expansion of the existing 6' sidewalk in the future.

5. This type of application will be decided by<sup>\*</sup>:  City Staff

OR at a public meeting or hearing by:

- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
- Landmarks Commission (LC)  Environmental Planning Commission (EPC)
- City Council

6. Where more information about the project can be found<sup>4\*</sup>:

Contact Jessica Lawlis at [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org) or at (505) 761- 9700

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> K-10
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

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4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1\\*](#):  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

- 1. From the IDO Zoning Map<sup>6</sup>:
    - a. Area of Property [typically in acres] 3.136
    - b. IDO Zone District MX-M
    - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
    - d. Center or Corridor Area [if applicable] West Route 66 Activity Center/ Premium Transit Station Area
  - 2. Current Land Use(s) [vacant, if none] Vacant
- 

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: Los Volcanes NA *[Other Neighborhood Associations, if any]*  
South West Alliance of Neighborhoods (SWAN Coalition)  
Westside Coalition of Neighborhood Associations

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 4-25-2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: South West Alliance of Neighborhoods (SWAN Coalition)

Name of NA Representative\*: Luis Hernandez Jr. and Jerry Gallegos

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 5921 Central Avenue NW

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: jessical@dpsdesign.org

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Deadline to request meeting Monday, May 9th

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision Minor (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.



[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

- 1. From the IDO Zoning Map<sup>6</sup>:
    - a. Area of Property [typically in acres] 3.136
    - b. IDO Zone District MX-M
    - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
    - d. Center or Corridor Area [if applicable] West Route 66 Activity Center/ Premium Transit Station Area
  - 2. Current Land Use(s) [vacant, if none] Vacant
- 

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<https://ido.abc-zone.com/>

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Cc: Los Volcanes NA *[Other Neighborhood Associations, if any]*  
South West Alliance of Neighborhoods (SWAN Coalition)  
Westside Coalition of Neighborhood Associations

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 4-25-2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Elizabeth Haley, and Rene Horvath

6005 Chaparral Circle NW Albuquerque NM 87114

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 5515 Palomino Drive NW Albuquerque NM 87120

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: jessical@dpsdesign.org

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Deadline to request meeting Monday, May 9th

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

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4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
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[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children’s activity area, water feature and, periodically, a farmer’s market. The southern parcels will contain a 5,000 square foot retail/ restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail/ restaurant. 4’ sidewalk wavier along Unser Blvd. is requested to accommodate a sidewalk easement that will allow the expansion of the existing 6’ sidewalk in the future.

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OR at a public meeting or hearing by:

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- Landmarks Commission (LC)  Environmental Planning Commission (EPC)
- City Council

- 6. Where more information about the project can be found<sup>\*4</sup>:

Contact Jessica Lawlis at [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org) or at (505) 761- 9700

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- 1. Zone Atlas Page(s)<sup>\*5</sup> K-10
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

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- 4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

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  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

- 1. From the IDO Zoning Map<sup>6</sup>:
    - a. Area of Property [typically in acres] 3.136
    - b. IDO Zone District MX-M
    - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
    - d. Center or Corridor Area [if applicable] West Route 66 Activity Center/ Premium Transit Station Area
  - 2. Current Land Use(s) [vacant, if none] Vacant
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**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: Los Volcanes NA *[Other Neighborhood Associations, if any]*  
South West Alliance of Neighborhoods (SWAN Coalition)  
Westside Coalition of Neighborhood Associations

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## **06 PROOF OF NEIGHBORHOOD MEETING**

D. If a meeting was requested or held, copy of sign-in sheet and meeting



**CITY OF ALBUQUERQUE**  
**LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT**  
**ATRISCO NUEVO – 201 UNSER BLVD. NW**

**Project:** Pre-application.

**Property Description/Address:** 201 Unser Blvd. NW

**Date Submitted:** May 14, 2022

**Submitted By:** Jocelyn M. Torres

**Meeting Date/Time:** May 11, 2022, 6:00 – 8:00 PM

**Meeting Location:** Central and Unser Library - 8081 Central Ave NW, Albuquerque, NM 87121.

**Facilitator:** Jocelyn M. Torres

**Applicant:** Steve Maestas, Maestas Development Group dba Nuevo Atrisco LLC

**Agents:** Jessica Lawlis and Keven Kofchur, Dekker Perich Sabatini (DPS)

**Neighborhood Associations/Interested Parties:** Avalon NA, Los Volcanes NA, Southwest Alliance and Westside Coalition of Neighborhood Associations, Neighbors.

**Background and Meeting Summary:** Nuevo Atrisco LLC is applying for DRB site plan approval to include: Location of proposed buildings and landscape areas; Access and circulation for vehicles and pedestrians; Maximum height of any proposed structures, Building elevations and square footage for the purpose of non-residential development on a 3.136 acre parcel zoned Mixed-Use Moderate Intensity (MX-M). The site consists of three undeveloped parcels. The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 square foot retail/restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail/restaurant.<sup>1</sup>

Local vendors will be preferred. The Developer is also looking into options for nationally recognized restaurants with drive-up access.<sup>2</sup>

**Outcomes:**

**1. Areas of Agreement:**

- a. Participants offered comments and questions but did not oppose the proposed development.
- b. The application will be filed June 3, 2022 and heard by the DRB on June 29, 2022.

**2. Key Points:**

- a. The Developer hopes to encourage and promote local business opportunities while also providing a community gathering space. The Developer is also looking into nationally recognized restaurant(s) to provide added comfort and services.

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<sup>1</sup> See DPS April 25, 2022 Request for Major Site Plan Amendment - DRB Approval.

<sup>2</sup> Meeting Information.

# CITY OF ALBUQUERQUE

## LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

Meeting Specifics (*Neighbor Questions/Comments are in italics*):

### 1) **Introduction.**

Facilitator: Jocelyn M. Torres: nmlawyer09@comcast.net; 505 249-8531.

Presenter: Steve Maestas, Developer.

### 2) **History.**

Until recently, this location has lacked required retail, restaurant and community resources. The Developer grew up near this location and hopes to vitalize the area by incorporating necessary community resources.

### 3) **Planned Development.**

The Developer provided four site plan sketches which he described to participants. The project started with community meetings regarding desired economic development for this location. Phase 1 includes affordable family apartments and the UNM Medical Center. This phase will provide various food and retail services. It is expected to be similar to Tin Can Alley and Green Jeans. The Developer envisions a varied culinary experience including local food vendors. It is hoped that the two larger buildings with pick-up windows will include national restaurant brands. If that doesn't work out, parking will likely be expanded in these locations. The Developer plans 52 nonprofit meeting events per year. The local culture centers on food, family and cars. The Developer will listen to the community regarding planned events.

### 4) **Neighborhood Question and Comments.**

a. *Q: Is there a cost for the community events?*

A: The Developer is underwriting this project and doesn't foresee charging for events. The Developer will gauge the level of participation and doesn't expect problems on this.

b. *Q: Can this facility be used for a local artist display?*

A. We envision that it will be used for nonprofit activities. That may change based on community input.

c. *Q: What about the kitchen?*

A. We will underwrite that. There is a lack of quality food access at this location. We will bring in chefs with different specialty dishes.

# CITY OF ALBUQUERQUE

## LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

d. *Q: Will the facility provide senior tax preparation services? C: One or two events should include seniors that are bused in to learn about subjects like financial literacy.*

A. It is the company's passion to provide opportunities for financial literacy to many participants. This is a family environment that will provide many learning opportunities.

e. *Q: Will the two drive-ups include national or local brand restaurants?*

A: The community wants a national brand sit down restaurant. The City requires that we build ahead of time. We'll listen to both the community and the market and see who will commit. National restaurant brands have their own building designs and may not want to lease an existing building that doesn't fit that design.

f. *Q: What about inviting a local vendor such as Golden Pride Chicken?*

A: We would like to have this type of local vendor however the building site doesn't lend itself to the huge traffic backup it presents.

g. *Q: Are Red Lobster, Olive Garden and others tied together? C: They don't seem to want to be located in this area?*

A: Yes the same company owns them. It has taken years to get certain brands like Starbucks to understand the value of this community. There is a herd mentality with these brands and they haven't favored Unser Crossing. They need proven success.

h. *Q: Will alcohol be served?*

There will be one beer and wine license. A national brand restaurant will have their own license. There will not be smoke shops or cannabis or bars. We may also include a brewery.

i. *Q: What will be the location for the food trucks?*

A: There will likely be pop ups. This environment allows for dining in or out. We are looking at commitments for a three to five year window.

j. *Q: Can there be a water park like the mall in Colorado?*

A: We've decided against this because of potential liability and limited space. This location has the largest number of children within the City and we don't have the space to accommodate those that would want to use the water park.

k. *Q: Will this operate 24/7?*

A: No. Once we start developing the existing food trucks will stop.

# CITY OF ALBUQUERQUE

## LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

1. *Q: Where is the property located?*

A. North of Central and west of Unser. Near the existing library, apartments and UNM Health Center.

m. *Q: What are the estimated start and opening dates?*

A: Estimated start date is September, 2022. The opening date will likely be between April and June, 2023.

n. *C: Shoe repair and dry cleaning services are needed. A food market would also be welcomed.*

A: We have limited space. Perhaps we could include a kiosk for these types of services.

o. *Q: What are the DRB filing and hearing dates?*

A: The DRB application will be filed on June 3, 2022 and it will be heard on June 29, 2022.

p. *C: The Developer grew up in this area and has encouraged Defined Fitness and other businesses to locate west of the river. This is now the City's largest Defined Fitness location.*

**Meeting Adjourned.**

### **Names & Affiliations Participants/Interested Parties:**

|                   |                        |
|-------------------|------------------------|
| Steve Maestas     | MDG                    |
| Ron Lindsey       | MDG                    |
| Ethan Melvin      | MDG                    |
| Becky C. Davis    | ANA                    |
| Joe Damas         | ANA                    |
| Chris Baca        | ANA                    |
| Jenny B. Sanchez  | LVNA                   |
| Alma Ramirez      | LVNA                   |
| Emilio Chavez     | STNA                   |
| Jerry Gallegos    | STNA                   |
| Anita Chavez      | STNA                   |
| Rene Horvath      | WCNA                   |
| Kevin Kofchur     | DPS                    |
| Jessica Lawlis    | DPS                    |
| Jocelyn M. Torres | Land Use Facilitator   |
| Tyson Hummel      | CABQ Managing Attorney |

# 07 SIGN POSTING AGREEMENT

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

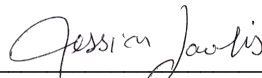
4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent)

6-3-2022  
\_\_\_\_\_  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_

## 08 HEARING NOTIFICATIONS

- A. Office of Neighborhood Coordination neighborhood meeting inquiry response
- B. Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
- C. Proof of emailed notice to affected Neighborhood Association representatives
- D. Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing.

## **08 HEARING NOTIFICATIONS**

- A. Office of Neighborhood Coordination neighborhood meeting inquiry response



**From:** [Carmona, Dalaina L.](#)  
**To:** [Madeline Sexton](#)  
**Subject:** 201 UNSER BLVD NW Neighborhood Meeting Inquiry  
**Date:** Tuesday, January 18, 2022 3:15:46 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image007.png](#)  
[IDOZoneAtlasPage\\_K-10-Z\\_.pdf](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

| Association Name                                      | First Name | Last Name     | Email                    | Address Line 1             | City        | State | Zip   | Mobile Phone | Phone      |
|---|------------|---------------|--------------------------|----------------------------|-------------|-------|-------|--------------|------------|
| Los Volcanes NA                                       | Jenny      | Sanchez       | jennybsanchez1@q.com     | 6512 Honeylocust Avenue NW | Albuquerque | NM    | 87121 |              | 5058360117 |
| Los Volcanes NA                                       | Alma       | Ramirez       | acr@q.com                | 6616 Honeylocust Avenue NW | Albuquerque | NM    | 87121 |              | 5058313595 |
| South West Alliance of Neighborhoods (SWAN Coalition) | Luis       | Hernandez Jr. | luis@wccdg.org           | 5921 Central Avenue NW     | Albuquerque | NM    | 87105 |              |            |
| South West Alliance of Neighborhoods (SWAN Coalition) | Jerry      | Gallegos      | jgallegoswccdg@gmail.com | 5921 Central Avenue NW     | Albuquerque | NM    | 87105 | 5053855809   | 5058362976 |
| Westside Coalition of Neighborhood Associations       | Elizabeth  | Haley         | ekhaley@comcast.net      | 6005 Chaparral Circle NW   | Albuquerque | NM    | 87114 | 5054074381   |            |
| Westside Coalition of Neighborhood Associations       | Rene       | Horvath       | aboard111@gmail.com      | 5515 Palomino Drive NW     | Albuquerque | NM    | 87120 |              | 5058982114 |

**PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf). The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
 Office of Neighborhood Coordination  
 Council Services Department  
 1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
 Albuquerque, NM 87102  
 505-768-3334  
[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
 Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

**From:** [webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** [webmaster@cabq.gov](mailto:webmaster@cabq.gov)  
**Sent:** Tuesday, January 18, 2022 2:13 PM  
**To:** Office of Neighborhood Coordination <[madelines@dpsdesign.org](mailto:madelines@dpsdesign.org)>  
**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

**Subject:** Neighborhood Meeting Inquiry Sheet Submission

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:  
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Madeline Sexton

Telephone Number

505.761.9700

Email Address

[madelines@dpsdesign.org](mailto:madelines@dpsdesign.org)

Company Name

Dekker Perich Sabatini

Company Address

City

State

ZIP

Legal description of the subject site for this project:

TR A-2 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT 2.7256 AC

Physical address of subject site:

201 UNSER BLVD NW ABQ 87121

Subject site cross streets:

Central Ave. NW & Unser Blvd SW

Other subject site identifiers:

This site is located on the following zone atlas page:

K-10-Z

## **08 HEARING NOTIFICATIONS**

- B. Copy of notification and proof of mailing Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.



ALBUQUERQUE  
ALBUQUERQUE NM 87102-2078

ALBUQUERQUE NM 87102-2078

ALBUQUERQUE NM 87102-2078

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ALBUQUERQUE NM 87102-2078

ALBUQUERQUE NM 87102-2078

ALBUQUERQUE NM 87102-2078



BERNALILLO COUNTY C/O COUNTY  
MANAGER  
415 SILVER AVE SW  
ALBUQUERQUE NM 87102-3225



START YOUR ENGINES LLC  
8301 LOMAS BLVD NE  
ALBUQUERQUE NM 87110-7908



CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103



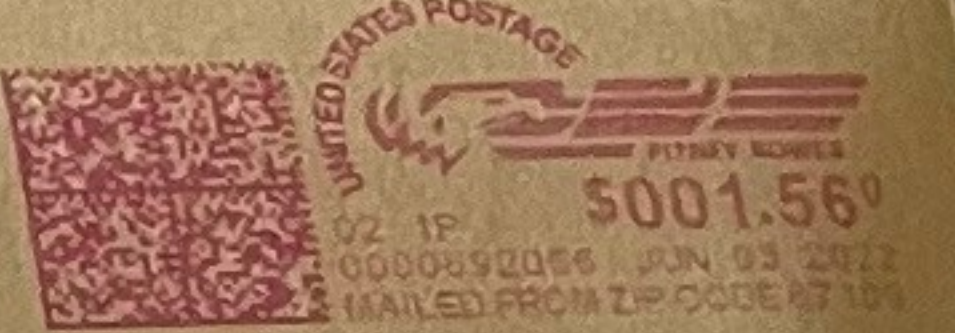
MAZER BOYD K ETUX  
831 MI RANCHITO LN  
LOS LUNAS NM 87031-4912



NUEVO ATRISCO APARTMENTS LIMITED  
PARTNERSHIP LLLP  
901 PENNSYLVANIA ST NE  
ALBUQUERQUE NM 87110-7403



D151PCK001 LLC ATTN: AR GLOBAL  
INVESTMENTS LLC  
405 PARK AVE FLOOR 4TH  
NEW YORK NY 10022-4405



ARMSTRONG CENTRAL UNSER BLVD  
LLC  
1 ARMSTRONG PL  
BUTLER PA 16001



REGENTS OF UNM C/O REAL ESTATE  
DEPT  
1 UNIVERSITY OF NM NE MSC06 3595  
ALBUQUERQUE NM 87131-0001





NUEVO ATRISCO APARTMENTS LIMITED  
PARTNERSHIP LLLP  
901 PENNSYLVANIA ST NE  
ALBUQUERQUE NM 87110-7403

D151PCK001 LLC ATTN: AIR GLOBAL  
INVESTMENTS LLC  
405 PARK AVE FLOOR 4TH  
NEW YORK NY 10022-4405



ARMSTRONG CENTRAL UNSER BLVD  
LLC  
1 ARMSTRONG PL  
BUTLER PA 16001

REGENTS OF UNM C/O REAL ESTATE  
DEPT  
1 UNIVERSITY OF NM NE MSC06 3595  
ALBUQUERQUE NM 87131-0001



QUEEN OF ANGELS LLC  
PO BOX 2979  
CORRALES NM 87048-2979

BERNCO INVESTORS LLC  
6900 E. CAMELBACK ROAD, SUITE 607  
SCOTTSDALE AZ 85251-8044



DIALYSIS CLINIC INC  
1633 CHURCH ST SUITE 500  
NASHVILLE TN 37203-2948

KWAN CHIN-LIN SHA & TAK-CHUEN  
TRUSTEES KWAN RVT  
30 W ST APT 5B  
NEW YORK NY 10004-1054



CITY OF ALBUQUERQUE  
PO BOX 2248  
ALBUQUERQUE NM 87103-2248

UNSER ROBERT W TRUSTEE UNSER RVT  
7700 CENTRAL AVE SW  
ALBUQUERQUE NM 87121-2113



June 2, 2022

**START YOUR ENGINES LLC  
8301 LOMAS BLVD NE  
ALBUQUERQUE NM 87110-7908**

**DEKKER  
PERICH  
SABATINI**

**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**


Dear START YOUR ENGINES LLC,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The proposal is accompanied by a platting action that plans to subdivide the current undeveloped parcel zoned Mixed-Use Moderate Intensity (MX-M) into three parcels to remain zoned MX-M. The northern parcel will include a multipurpose community structure that can accommodate seating/gathering space, restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A teaching kitchen community room may be added to the structure. There will also be a micro-restaurant court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 +/- square foot retail/ restaurant building with a potential pick up window, a parking lot, and another 6,000 +/- square foot retail/ restaurant building. The request also includes a waiver to the sidewalk requirements of 5-3(D)(2) Sidewalks in Mixed-use and Nonresidential Development which require a 10' wide sidewalk. The requested waiver is seeking a deviation of 4' to allow the applicant to retain the existing 6' landscape buffer and adjacent 6' wide sidewalk that are cohesive with the existing streetscape treatment on adjacent parcels to the north of the subject site.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **June 29th, 2022 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at:  
<https://www.cabq.gov/planning/boardscommissions/development-review-board>.

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 6-2-2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: START YOUR ENGINES LLC

Mailing Address\*: 8301 LOMAS BLVD NE ALBUQUERQUE NM 87110-7908

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Site Plan Amendment**
  - Subdivision Minor (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along Unser Blvd., a 4' sidewalk waiver from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger width, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

Date/Time\*: June 29th, 2022

Location\*<sup>2</sup>: ZOOM agenda and zoom link can retrieved at  
https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:  
by contacting Jessica Lawlis at [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org) or 505-761-9700

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> K-10
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)

**Explanation\*:**

The applicant is requesting a 4' wavier to the required 10' sidewalk width to accommodate the existing 6' sidewalk along Unser Boulevard. . The right-of-way of Unser Boulevard currently contains an existing 6' landscape buffer strip and an adjacent 6' sidewalk in close proximity to the subject site's property line. These existing facilities were constructed by the City of Albuquerque out of compliance with the required dimensions of the DPM TABLE 7.2.29 Street Element Dimensions, likely because the existing 6' landscape strip and 6' sidewalk are the maximum feasible widths that could be accommodated within the existing Unser Blvd right-of-way. While out of compliance with the desired widths as identified in DPM TABLE 7.2.29 Street Element Dimensions, these facilities do meet the intent of the ABC Comprehensive Plan for protected pedestrian facilities and do meet the minimum ADA requirements. The requested waiver would allow the existing facilities to be maintained in a state that works to achieve the desired streetscape elements of the Comp Plan and DPM to the maximum extent feasible within the current right-of-way allocations.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

**Summary of the Pre-submittal Neighborhood Meeting, if one occurred:**

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 11, 2022 with the representatives of the Avalon NA, Los Volcanes NA, Southwest Alliance, and Westside Coalition of Neighborhood Associations to discuss the project and respond to potential concerns. Questions covered issues around the variety of commercial uses anticipated, specifics regarding details around proposed amenities such as the community room and water feature, anticipated hours of operation, and specific dates for review and approval process milestones such as when the application will be submitted to and heard by the DRB. A detailed meeting report drafted by the City's Alternative Dispute Resolution offices has been included in the DRB submittal for review. No one expressed opposition to the planned development and nNo mitigation measures were required or requested.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 3.136 ac
  - 2. IDO Zone District MX-M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] West RT 66 Activity Center/ Premium Transit Station Area
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

---

<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

June 2, 2022

**MAZER BOYD K ETUX  
831 MI RANCHITO LN  
LOS LUNAS NM 87031-4912**



**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear MAZER BOYD K ETUX,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **June 29th, 2022 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at:  
<https://www.cabq.gov/planning/boardscommissions/development-review-board>.

Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 6-2-2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: MAZER BOYD K ETUX

Mailing Address\*: 831 MI RANCHITO LN LOS LUNAS NM 87031-4912

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Site Plan Amendment**
  - Subdivision Minor (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along along Unser Blvd., a 4' sidewalk waiver from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger width, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: June 29th, 2022

Location\*<sup>2</sup>: ZOOM agenda and zoom link can retrieved at  
https://www.cabq.gov/planning/boards-commissions/development-review-board

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To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:  
by contacting Jessica Lawlis at [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org) or 505-761-9700

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> K-10
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)

**Explanation\*:**

The applicant is requesting a 4' wavier to the required 10' sidewalk width to accommodate the existing 6' sidewalk along Unser Boulevard. . The right-of-way of Unser Boulevard currently contains an existing 6' landscape buffer strip and an adjacent 6' sidewalk in close proximity to the subject site's property line. These existing facilities were constructed by the City of Albuquerque out of compliance with the required dimensions of the DPM TABLE 7.2.29 Street Element Dimensions, likely because the existing 6' landscape strip and 6' sidewalk are the maximum feasible widths that could be accommodated within the existing Unser Blvd right-of-way. While out of compliance with the desired widths as identified in DPM TABLE 7.2.29 Street Element Dimensions, these facilities do meet the intent of the ABC Comprehensive Plan for protected pedestrian facilities and do meet the minimum ADA requirements. The requested waiver would allow the existing facilities to be maintained in a state that works to achieve the desired streetscape elements of the Comp Plan and DPM to the maximum extent feasible within the current right-of-way allocations.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

**Summary of the Pre-submittal Neighborhood Meeting, if one occurred:**

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 11, 2022 with the representatives of the Avalon NA, Los Volcanes NA, Southwest Alliance, and Westside Coalition of Neighborhood Associations to discuss the project and respond to potential concerns. Questions covered issues around the variety of commercial uses anticipated, specifics regarding details around proposed amenities such as the community room and water feature, anticipated hours of operation, and specific dates for review and approval process milestones such as when the application will be submitted to and heard by the DRB. A detailed meeting report drafted by the City's Alternative Dispute Resolution offices has been included in the DRB submittal for review. No one expressed opposition to the planned development and nNo mitigation measures were required or requested.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

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[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.136 ac
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] West RT 66 Activity Center/ Premium Transit Station Area
- Current Land Use(s) [vacant, if none] Vacant
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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

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**IDO Interactive Map**

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June 2, 2022

**D151PCK001 LLC ATTN: AR GLOBAL INVESTMENTS LLC  
405 PARK AVE FLOOR 4TH  
NEW YORK NY 10022-4405**



**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear D151PCK001 LLC ATTN: AR GLOBAL INVESTMENTS LLC,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The proposal is accompanied by a platting action that plans to subdivide the current undeveloped parcel zoned Mixed-Use Moderate Intensity (MX-M) into three parcels to remain zoned MX-M. The northern parcel will include a multipurpose community structure that can accommodate seating/gathering space, restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A teaching kitchen community room may be added to the structure. There will also be a micro-restaurant court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 +/- square foot retail/ restaurant building with a potential pick up window, a parking lot, and another 6,000 +/- square foot retail/ restaurant building. The request also includes a waiver to the sidewalk requirements of 5-3(D)(2) Sidewalks in Mixed-use and Nonresidential Development which require a 10' wide sidewalk. The requested waiver is seeking a deviation of 4' to allow the applicant to retain the existing 6' landscape buffer and adjacent 6' wide sidewalk that are cohesive with the existing streetscape treatment on adjacent parcels to the north of the subject site.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **June 29th, 2022 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boardscommissions/development-review-board>.

Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 6-2-2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: D151PCK001 LLC ATTN: AR GLOBAL INVESTMENTS LLC

Mailing Address\*: 405 PARK AVE FLOOR 4TH NEW YORK NY 10022-4405

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Site Plan Amendment**
  - Subdivision Minor (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along along Unser Blvd., a 4' sidewalk waiver from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger width, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

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**Explanation\*:**

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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.136 ac
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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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June 2, 2022

**REGENTS OF UNM C/O REAL ESTATE DEPT  
1 UNIVERSITY OF NM NE MSC06 3595  
ALBUQUERQUE NM 87131-0001**



**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear REGENTS OF UNM C/O REAL ESTATE DEPT,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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Sincerely,

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Agent for the Nuevo Atrisco, LLC,

**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

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Date of Notice\*: 6-2-2022

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Property Owner within 100 feet\*: REGENTS OF UNM C/O REAL ESTATE DEPT

Mailing Address\*: 1 UNIVERSITY OF NM NE MSC06 3595 ALBUQUERQUE NM 87131-0001

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
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**Summary of project/request<sup>1</sup>\***:

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*June 2, 2022*

**BERNCO INVESTORS LL  
6900 E. CAMELBACK ROAD, SUITE 607  
SCOTTSDALE AZ 85251-8044**

**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear BERNCO INVESTORS LL,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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Property Owner within 100 feet\*: BERNCO INVESTORS LLC

Mailing Address\*: 6900 E. CAMELBACK ROAD, SUITE 607 SCOTTSDALE AZ 85251-8044

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
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  - Site Plan **Major Site Plan Amendment**
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  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along along Unser Blvd., a 4' sidewalk waiver from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger width, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

Date/Time\*: June 29th, 2022

Location\*<sup>2</sup>: ZOOM agenda and zoom link can retrieved at  
https://www.cabq.gov/planning/boards-commissions/development-review-board

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6. Where more information about the project can be found\*<sup>3</sup>:  
by contacting Jessica Lawlis at [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org) or 505-761-9700

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> K-10
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)

**Explanation\*:**

The applicant is requesting a 4' wavier to the required 10' sidewalk width to accommodate the existing 6' sidewalk along Unser Boulevard. . The right-of-way of Unser Boulevard currently contains an existing 6' landscape buffer strip and an adjacent 6' sidewalk in close proximity to the subject site's property line. These existing facilities were constructed by the City of Albuquerque out of compliance with the required dimensions of the DPM TABLE 7.2.29 Street Element Dimensions, likely because the existing 6' landscape strip and 6' sidewalk are the maximum feasible widths that could be accommodated within the existing Unser Blvd right-of-way. While out of compliance with the desired widths as identified in DPM TABLE 7.2.29 Street Element Dimensions, these facilities do meet the intent of the ABC Comprehensive Plan for protected pedestrian facilities and do meet the minimum ADA requirements. The requested waiver would allow the existing facilities to be maintained in a state that works to achieve the desired streetscape elements of the Comp Plan and DPM to the maximum extent feasible within the current right-of-way allocations.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

**Summary of the Pre-submittal Neighborhood Meeting, if one occurred:**

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 11, 2022 with the representatives of the Avalon NA, Los Volcanes NA, Southwest Alliance, and Westside Coalition of Neighborhood Associations to discuss the project and respond to potential concerns. Questions covered issues around the variety of commercial uses anticipated, specifics regarding details around proposed amenities such as the community room and water feature, anticipated hours of operation, and specific dates for review and approval process milestones such as when the application will be submitted to and heard by the DRB. A detailed meeting report drafted by the City's Alternative Dispute Resolution offices has been included in the DRB submittal for review. No one expressed opposition to the planned development and nNo mitigation measures were required or requested.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.136 ac
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] West RT 66 Activity Center/ Premium Transit Station Area
- Current Land Use(s) [vacant, if none] Vacant
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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

**June 2, 2022**

Bernalillo County C/O County Manager  
415 Silver Ave SW  
Albuquerque, NM 87102-3225

**RE: Nuevo Artisco**

**Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear BERNALILLO COUNTY C/O COUNTY MANAGER,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The proposal is accompanied by a platting action that plans to subdivide the current undeveloped parcel zoned Mixed-Use Moderate Intensity (MX-M) into three parcels to remain zoned MX-M. The northern parcel will include a multipurpose community structure that can accommodate seating/gathering space, restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A teaching kitchen community room may be added to the structure. There will also be a micro-restaurant court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 +/- square foot retail/ restaurant building with a potential pick up window, a parking lot, and another 6,000 +/- square foot retail/ restaurant building. The request also includes a waiver to the sidewalk requirements of 5-3(D)(2) Sidewalks in Mixed-use and Nonresidential Development which require a 10' wide sidewalk. The requested waiver is seeking a deviation of 4' to allow the applicant to retain the existing 6' landscape buffer and adjacent 6' wide sidewalk that are cohesive with the existing streetscape treatment on adjacent parcels to the north of the subject site.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **June 29th, 2022 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at:

<https://www.cabq.gov/planning/boardscommissions/development-review-board>.

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 6-2-2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: BERNALILLO COUNTY C/O COUNTY MANAGER

Mailing Address\*: 415 SILVER AVE SW ALBUQUERQUE NM 87102-3225

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Site Plan Amendment**
  - Subdivision Minor (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along along Unser Blvd., a 4' sidewalk waiver from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger with, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
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3. The following exceptions to IDO standards have been requested for this project\*:  
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**Explanation\*:**

The applicant is requesting a 4' wavier to the required 10' sidewalk width to accommodate the existing 6' sidewalk along Unser Boulevard. . The right-of-way of Unser Boulevard currently contains an existing 6' landscape buffer strip and an adjacent 6' sidewalk in close proximity to the subject site's property line. These existing facilities were constructed by the City of Albuquerque out of compliance with the required dimensions of the DPM TABLE 7.2.29 Street Element Dimensions, likely because the existing 6' landscape strip and 6' sidewalk are the maximum feasible widths that could be accommodated within the existing Unser Blvd right-of-way. While out of compliance with the desired widths as identified in DPM TABLE 7.2.29 Street Element Dimensions, these facilities do meet the intent of the ABC Comprehensive Plan for protected pedestrian facilities and do meet the minimum ADA requirements. The requested waiver would allow the existing facilities to be maintained in a state that works to achieve the desired streetscape elements of the Comp Plan and DPM to the maximum extent feasible within the current right-of-way allocations.

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**Summary of the Pre-submittal Neighborhood Meeting, if one occurred:**

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 11, 2022 with the representatives of the Avalon NA, Los Volcanes NA, Southwest Alliance, and Westside Coalition of Neighborhood Associations to discuss the project and respond to potential concerns. Questions covered issues around the variety of commercial uses anticipated, specifics regarding details around proposed amenities such as the community room and water feature, anticipated hours of operation, and specific dates for review and approval process milestones such as when the application will be submitted to and heard by the DRB. A detailed meeting report drafted by the City's Alternative Dispute Resolution offices has been included in the DRB submittal for review. No one expressed opposition to the planned development and nNo mitigation measures were required or requested.

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[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.136 ac
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
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- Current Land Use(s) [vacant, if none] Vacant
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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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June 2, 2022

**CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103**



**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear CITY OF ALBUQUERQUE,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The proposal is accompanied by a platting action that plans to subdivide the current undeveloped parcel zoned Mixed-Use Moderate Intensity (MX-M) into three parcels to remain zoned MX-M. The northern parcel will include a multipurpose community structure that can accommodate seating/gathering space, restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A teaching kitchen community room may be added to the structure. There will also be a micro-restaurant court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 +/- square foot retail/ restaurant building with a potential pick up window, a parking lot, and another 6,000 +/- square foot retail/ restaurant building. The request also includes a waiver to the sidewalk requirements of 5-3(D)(2) Sidewalks in Mixed-use and Nonresidential Development which require a 10' wide sidewalk. The requested waiver is seeking a deviation of 4' to allow the applicant to retain the existing 6' landscape buffer and adjacent 6' wide sidewalk that are cohesive with the existing streetscape treatment on adjacent parcels to the north of the subject site.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **June 29th, 2022 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at:  
<https://www.cabq.gov/planning/boardscommissions/development-review-board>.

Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**



[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 6-2-2022

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Property Owner within 100 feet\*: CITY OF ALBUQUERQUE

Mailing Address\*: PO BOX 1293 ALBUQUERQUE NM 87103

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
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**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along along Unser Blvd., a 4' sidewalk waiver from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger with, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.136 ac
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June 2, 2022

**NUEVO ATRISCO APARTMENTS LIMITED PARTNERSHIP LLLP  
901 PENNSYLVANIA ST NE  
ALBUQUERQUE NM 87110-7403**



**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear NUEVO ATRISCO APARTMENTS LIMITED PARTNERSHIP LLLP,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
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**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

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Date of Notice\*: 6-2-2022

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Property Owner within 100 feet\*: NUEVO ATRISCO APARTMENTS LIMITED PARTNERSHIP LLLP

Mailing Address\*: 901 PENNSYLVANIA ST NE ALBUQUERQUE NM 87110-7403

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Site Plan Amendment**
  - Subdivision Minor (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along along Unser Blvd., a 4' sidewalk waiver from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger width, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: June 29th, 2022

Location\*<sup>2</sup>: ZOOM agenda and zoom link can retrieved at  
https://www.cabq.gov/planning/boards-commissions/development-review-board

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6. Where more information about the project can be found\*<sup>3</sup>:  
by contacting Jessica Lawlis at [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org) or 505-761-9700

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> K-10
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)

**Explanation\*:**

The applicant is requesting a 4' wavier to the required 10' sidewalk width to accommodate the existing 6' sidewalk along Unser Boulevard. . The right-of-way of Unser Boulevard currently contains an existing 6' landscape buffer strip and an adjacent 6' sidewalk in close proximity to the subject site's property line. These existing facilities were constructed by the City of Albuquerque out of compliance with the required dimensions of the DPM TABLE 7.2.29 Street Element Dimensions, likely because the existing 6' landscape strip and 6' sidewalk are the maximum feasible widths that could be accommodated within the existing Unser Blvd right-of-way. While out of compliance with the desired widths as identified in DPM TABLE 7.2.29 Street Element Dimensions, these facilities do meet the intent of the ABC Comprehensive Plan for protected pedestrian facilities and do meet the minimum ADA requirements. The requested waiver would allow the existing facilities to be maintained in a state that works to achieve the desired streetscape elements of the Comp Plan and DPM to the maximum extent feasible within the current right-of-way allocations.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

**Summary of the Pre-submittal Neighborhood Meeting, if one occurred:**

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 11, 2022 with the representatives of the Avalon NA, Los Volcanes NA, Southwest Alliance, and Westside Coalition of Neighborhood Associations to discuss the project and respond to potential concerns. Questions covered issues around the variety of commercial uses anticipated, specifics regarding details around proposed amenities such as the community room and water feature, anticipated hours of operation, and specific dates for review and approval process milestones such as when the application will be submitted to and heard by the DRB. A detailed meeting report drafted by the City's Alternative Dispute Resolution offices has been included in the DRB submittal for review. No one expressed opposition to the planned development and nNo mitigation measures were required or requested.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
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- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.136 ac
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] West RT 66 Activity Center/ Premium Transit Station Area
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

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**IDO Interactive Map**

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June 2, 2022

CITY OF ALBUQUERQUE  
PO BOX 2248  
ALBUQUERQUE NM 87103-2248



**RE: Nuevo Artisco**  
**Request for Major Site Plan Amendment - DRB Approval**  
**201 Unser Boulevard NW, Albuquerque NM 87121**

Dear CITY OF ALBUQUERQUE,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The proposal is accompanied by a platting action that plans to subdivide the current undeveloped parcel zoned Mixed-Use Moderate Intensity (MX-M) into three parcels to remain zoned MX-M. The northern parcel will include a multipurpose community structure that can accommodate seating/gathering space, restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A teaching kitchen community room may be added to the structure. There will also be a micro-restaurant court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 +/- square foot retail/ restaurant building with a potential pick up window, a parking lot, and another 6,000 +/- square foot retail/ restaurant building. The request also includes a waiver to the sidewalk requirements of 5-3(D)(2) Sidewalks in Mixed-use and Nonresidential Development which require a 10' wide sidewalk. The requested waiver is seeking a deviation of 4' to allow the applicant to retain the existing 6' landscape buffer and adjacent 6' wide sidewalk that are cohesive with the existing streetscape treatment on adjacent parcels to the north of the subject site.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **June 29th, 2022 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at:  
<https://www.cabq.gov/planning/boardscommissions/development-review-board>.

Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 6-2-2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: CITY OF ALBUQUERQUE

Mailing Address\*: PO BOX 2248 ALBUQUERQUE NM 87103-2248

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Site Plan Amendment**
  - Subdivision Minor (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along along Unser Blvd., a 4' sidewalk waiver from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger width, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

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Date/Time\*: June 29th, 2022

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1. Zone Atlas Page(s)\*<sup>4</sup> K-10
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3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)

**Explanation\*:**

The applicant is requesting a 4' wavier to the required 10' sidewalk width to accommodate the existing 6' sidewalk along Unser Boulevard. . The right-of-way of Unser Boulevard currently contains an existing 6' landscape buffer strip and an adjacent 6' sidewalk in close proximity to the subject site's property line. These existing facilities were constructed by the City of Albuquerque out of compliance with the required dimensions of the DPM TABLE 7.2.29 Street Element Dimensions, likely because the existing 6' landscape strip and 6' sidewalk are the maximum feasible widths that could be accommodated within the existing Unser Blvd right-of-way. While out of compliance with the desired widths as identified in DPM TABLE 7.2.29 Street Element Dimensions, these facilities do meet the intent of the ABC Comprehensive Plan for protected pedestrian facilities and do meet the minimum ADA requirements. The requested waiver would allow the existing facilities to be maintained in a state that works to achieve the desired streetscape elements of the Comp Plan and DPM to the maximum extent feasible within the current right-of-way allocations.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

**Summary of the Pre-submittal Neighborhood Meeting, if one occurred:**

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 11, 2022 with the representatives of the Avalon NA, Los Volcanes NA, Southwest Alliance, and Westside Coalition of Neighborhood Associations to discuss the project and respond to potential concerns. Questions covered issues around the variety of commercial uses anticipated, specifics regarding details around proposed amenities such as the community room and water feature, anticipated hours of operation, and specific dates for review and approval process milestones such as when the application will be submitted to and heard by the DRB. A detailed meeting report drafted by the City's Alternative Dispute Resolution offices has been included in the DRB submittal for review. No one expressed opposition to the planned development and nNo mitigation measures were required or requested.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
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<sup>2</sup> Physical address or Zoom link

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[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.136 ac
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] West RT 66 Activity Center/ Premium Transit Station Area
- Current Land Use(s) [vacant, if none] Vacant
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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

June 2, 2022

**ARMSTRONG CENTRAL UNSER BLVD LLC  
1 ARMSTRONG PL  
BUTLER PA 16001**



**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear ARMSTRONG CENTRAL UNSER BLVD LLC,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The proposal is accompanied by a platting action that plans to subdivide the current undeveloped parcel zoned Mixed-Use Moderate Intensity (MX-M) into three parcels to remain zoned MX-M. The northern parcel will include a multipurpose community structure that can accommodate seating/gathering space, restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A teaching kitchen community room may be added to the structure. There will also be a micro-restaurant court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 +/- square foot retail/ restaurant building with a potential pick up window, a parking lot, and another 6,000 +/- square foot retail/ restaurant building. The request also includes a waiver to the sidewalk requirements of 5-3(D)(2) Sidewalks in Mixed-use and Nonresidential Development which require a 10' wide sidewalk. The requested waiver is seeking a deviation of 4' to allow the applicant to retain the existing 6' landscape buffer and adjacent 6' wide sidewalk that are cohesive with the existing streetscape treatment on adjacent parcels to the north of the subject site.

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Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 6-2-2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: ARMSTRONG CENTRAL UNSER BLVD LLC

Mailing Address\*: 1 ARMSTRONG PL BUTLER PA 16001

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
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**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along along Unser Blvd., a 4' sidewalk wavier from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger with, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.136 ac
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June 2, 2022

QUEEN OF ANGELS LLC  
PO BOX 2979  
CORRALES NM 87048-2979



RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121

Dear QUEEN OF ANGELS LLC,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

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Date of Notice\*: 6-2-2022

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Property Owner within 100 feet\*: QUEEN OF ANGELS LLC

Mailing Address\*: PO BOX 2979 CORRALES NM 87048-2979

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Site Plan Amendment**
  - Subdivision Minor (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along Unser Blvd., a 4' sidewalk waiver from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger width, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

5. This application will be decided at a public meeting or hearing by\*:
- |  |  |
|--|--|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input checked="" type="checkbox"/> Development Review Board (DRB) |
| <input type="checkbox"/> Landmarks Commission (LC)     | <input type="checkbox"/> Environmental Planning Commission (EPC)   |

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: June 29th, 2022

Location\*<sup>2</sup>: ZOOM agenda and zoom link can retrieved at  
https://www.cabq.gov/planning/boards-commissions/development-review-board

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To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:  
by contacting Jessica Lawlis at [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org) or 505-761-9700

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> K-10
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)

**Explanation\*:**

The applicant is requesting a 4' wavier to the required 10' sidewalk width to accommodate the existing 6' sidewalk along Unser Boulevard. . The right-of-way of Unser Boulevard currently contains an existing 6' landscape buffer strip and an adjacent 6' sidewalk in close proximity to the subject site's property line. These existing facilities were constructed by the City of Albuquerque out of compliance with the required dimensions of the DPM TABLE 7.2.29 Street Element Dimensions, likely because the existing 6' landscape strip and 6' sidewalk are the maximum feasible widths that could be accommodated within the existing Unser Blvd right-of-way. While out of compliance with the desired widths as identified in DPM TABLE 7.2.29 Street Element Dimensions, these facilities do meet the intent of the ABC Comprehensive Plan for protected pedestrian facilities and do meet the minimum ADA requirements. The requested waiver would allow the existing facilities to be maintained in a state that works to achieve the desired streetscape elements of the Comp Plan and DPM to the maximum extent feasible within the current right-of-way allocations.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

**Summary of the Pre-submittal Neighborhood Meeting, if one occurred:**

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 11, 2022 with the representatives of the Avalon NA, Los Volcanes NA, Southwest Alliance, and Westside Coalition of Neighborhood Associations to discuss the project and respond to potential concerns. Questions covered issues around the variety of commercial uses anticipated, specifics regarding details around proposed amenities such as the community room and water feature, anticipated hours of operation, and specific dates for review and approval process milestones such as when the application will be submitted to and heard by the DRB. A detailed meeting report drafted by the City's Alternative Dispute Resolution offices has been included in the DRB submittal for review. No one expressed opposition to the planned development and nNo mitigation measures were required or requested.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.136 ac
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] West RT 66 Activity Center/ Premium Transit Station Area
- Current Land Use(s) [vacant, if none] Vacant
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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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June 2, 2022

**DIALYSIS CLINIC INC**  
**1633 CHURCH ST SUITE 500**  
**NASHVILLE TN 37203-2948**

**DEKKER  
PERICH  
SABATINI**

**RE: Nuevo Artisco**  
**Request for Major Site Plan Amendment - DRB Approval**  
**201 Unser Boulevard NW, Albuquerque NM 87121**


Dear DIALYSIS CLINIC INC,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The proposal is accompanied by a platting action that plans to subdivide the current undeveloped parcel zoned Mixed-Use Moderate Intensity (MX-M) into three parcels to remain zoned MX-M. The northern parcel will include a multipurpose community structure that can accommodate seating/gathering space, restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A teaching kitchen community room may be added to the structure. There will also be a micro-restaurant court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 +/- square foot retail/ restaurant building with a potential pick up window, a parking lot, and another 6,000 +/- square foot retail/ restaurant building. The request also includes a waiver to the sidewalk requirements of 5-3(D)(2) Sidewalks in Mixed-use and Nonresidential Development which require a 10' wide sidewalk. The requested waiver is seeking a deviation of 4' to allow the applicant to retain the existing 6' landscape buffer and adjacent 6' wide sidewalk that are cohesive with the existing streetscape treatment on adjacent parcels to the north of the subject site.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **June 29th, 2022 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at:  
<https://www.cabq.gov/planning/boardscommissions/development-review-board>.

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 6-2-2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: DIALYSIS CLINIC INC

Mailing Address\*: 1633 CHURCH ST SUITE 500 NASHVILLE TN 37203-2948

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Site Plan Amendment**
  - Subdivision Minor (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along along Unser Blvd., a 4' sidewalk waiver from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger with, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

5. This application will be decided at a public meeting or hearing by\*:
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[Note: Items with an asterisk (\*) are required.]

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**Explanation\*:**

The applicant is requesting a 4' wavier to the required 10' sidewalk width to accommodate the existing 6' sidewalk along Unser Boulevard. . The right-of-way of Unser Boulevard currently contains an existing 6' landscape buffer strip and an adjacent 6' sidewalk in close proximity to the subject site's property line. These existing facilities were constructed by the City of Albuquerque out of compliance with the required dimensions of the DPM TABLE 7.2.29 Street Element Dimensions, likely because the existing 6' landscape strip and 6' sidewalk are the maximum feasible widths that could be accommodated within the existing Unser Blvd right-of-way. While out of compliance with the desired widths as identified in DPM TABLE 7.2.29 Street Element Dimensions, these facilities do meet the intent of the ABC Comprehensive Plan for protected pedestrian facilities and do meet the minimum ADA requirements. The requested waiver would allow the existing facilities to be maintained in a state that works to achieve the desired streetscape elements of the Comp Plan and DPM to the maximum extent feasible within the current right-of-way allocations.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

**Summary of the Pre-submittal Neighborhood Meeting, if one occurred:**

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 11, 2022 with the representatives of the Avalon NA, Los Volcanes NA, Southwest Alliance, and Westside Coalition of Neighborhood Associations to discuss the project and respond to potential concerns. Questions covered issues around the variety of commercial uses anticipated, specifics regarding details around proposed amenities such as the community room and water feature, anticipated hours of operation, and specific dates for review and approval process milestones such as when the application will be submitted to and heard by the DRB. A detailed meeting report drafted by the City's Alternative Dispute Resolution offices has been included in the DRB submittal for review. No one expressed opposition to the planned development and nNo mitigation measures were required or requested.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
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<sup>2</sup> Physical address or Zoom link

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[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
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  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.136 ac
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
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- Current Land Use(s) [vacant, if none] Vacant
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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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June 2, 2022

**KWAN CHIN-LIN SHA & TAK-CHUEN TRUSTEES KWAN RVT  
30 W ST APT 5B  
NEW YORK NY 10004-1054**



**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear KWAN CHIN-LIN SHA & TAK-CHUEN TRUSTEES KWAN RVT,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The proposal is accompanied by a platting action that plans to subdivide the current undeveloped parcel zoned Mixed-Use Moderate Intensity (MX-M) into three parcels to remain zoned MX-M. The northern parcel will include a multipurpose community structure that can accommodate seating/gathering space, restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A teaching kitchen community room may be added to the structure. There will also be a micro-restaurant court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 +/- square foot retail/ restaurant building with a potential pick up window, a parking lot, and another 6,000 +/- square foot retail/ restaurant building. The request also includes a waiver to the sidewalk requirements of 5-3(D)(2) Sidewalks in Mixed-use and Nonresidential Development which require a 10' wide sidewalk. The requested waiver is seeking a deviation of 4' to allow the applicant to retain the existing 6' landscape buffer and adjacent 6' wide sidewalk that are cohesive with the existing streetscape treatment on adjacent parcels to the north of the subject site.

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Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

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for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 6-2-2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: KWAN CHIN-LIN SHA & TAK-CHUEN TRUSTEES KWAN RVT

Mailing Address\*: 30 W ST APT 5B NEW YORK NY 10004-1054

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
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**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along along Unser Blvd., a 4' sidewalk waiver from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger width, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

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June 2, 2022

**UNSER ROBERT W TRUSTEE UNSER RVT  
7700 CENTRAL AVE SW  
ALBUQUERQUE NM 87121-2113**



**RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121**

Dear UNSER ROBERT W TRUSTEE UNSER RVT,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
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Property Owner within 100 feet\*: UNSER ROBERT W TRUSTEE UNSER RVT

Mailing Address\*: 7700 CENTRAL AVE SW ALBUQUERQUE NM 87121-2113

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Site Plan Amendment**
  - Subdivision Minor (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\***:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along along Unser Blvd., a 4' sidewalk waiver from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger with, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: June 29th, 2022

Location\*<sup>2</sup>: ZOOM agenda and zoom link can retrieved at  
https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
by contacting Jessica Lawlis at [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org) or 505-761-9700

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> K-10
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)

**Explanation\*:**

The applicant is requesting a 4' wavier to the required 10' sidewalk width to accommodate the existing 6' sidewalk along Unser Boulevard. . The right-of-way of Unser Boulevard currently contains an existing 6' landscape buffer strip and an adjacent 6' sidewalk in close proximity to the subject site's property line. These existing facilities were constructed by the City of Albuquerque out of compliance with the required dimensions of the DPM TABLE 7.2.29 Street Element Dimensions, likely because the existing 6' landscape strip and 6' sidewalk are the maximum feasible widths that could be accommodated within the existing Unser Blvd right-of-way. While out of compliance with the desired widths as identified in DPM TABLE 7.2.29 Street Element Dimensions, these facilities do meet the intent of the ABC Comprehensive Plan for protected pedestrian facilities and do meet the minimum ADA requirements. The requested waiver would allow the existing facilities to be maintained in a state that works to achieve the desired streetscape elements of the Comp Plan and DPM to the maximum extent feasible within the current right-of-way allocations.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

**Summary of the Pre-submittal Neighborhood Meeting, if one occurred:**

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 11, 2022 with the representatives of the Avalon NA, Los Volcanes NA, Southwest Alliance, and Westside Coalition of Neighborhood Associations to discuss the project and respond to potential concerns. Questions covered issues around the variety of commercial uses anticipated, specifics regarding details around proposed amenities such as the community room and water feature, anticipated hours of operation, and specific dates for review and approval process milestones such as when the application will be submitted to and heard by the DRB. A detailed meeting report drafted by the City's Alternative Dispute Resolution offices has been included in the DRB submittal for review. No one expressed opposition to the planned development and nNo mitigation measures were required or requested.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.136 ac
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] West RT 66 Activity Center/ Premium Transit Station Area
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

June 2, 2022

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103



RE: Nuevo Artisco  
Request for Major Site Plan Amendment - DRB Approval  
201 Unser Boulevard NW, Albuquerque NM 87121

Dear CITY OF ALBUQUERQUE,,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

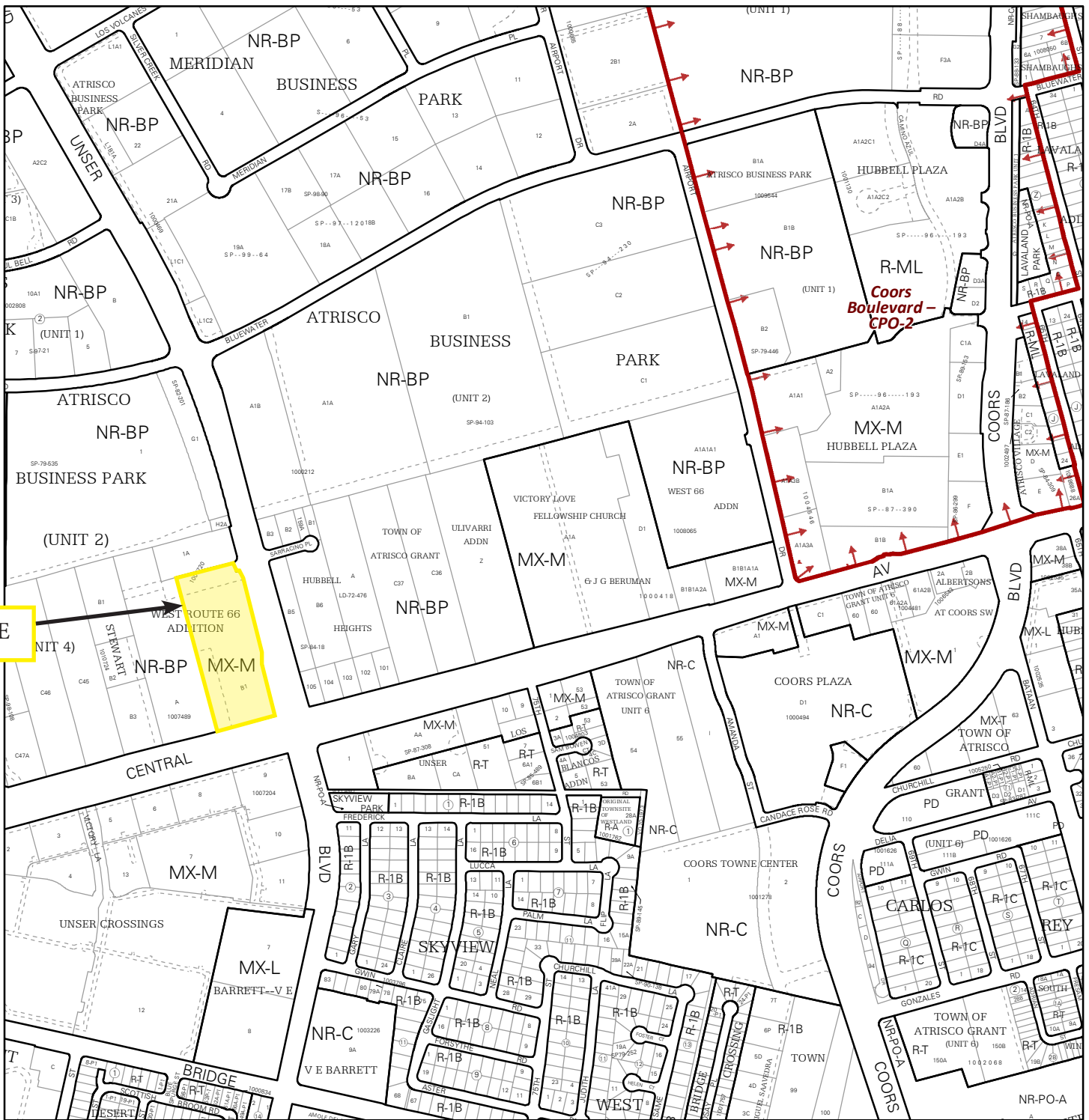
The request is a Major Amendment to the previously approved Site Plan. The proposal is accompanied by a platting action that plans to subdivide the current undeveloped parcel zoned Mixed-Use Moderate Intensity (MX-M) into three parcels to remain zoned MX-M. The northern parcel will include a multipurpose community structure that can accommodate seating/gathering space, restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A teaching kitchen community room may be added to the structure. There will also be a micro-restaurant court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 +/- square foot retail/ restaurant building with a potential pick up window, a parking lot, and another 6,000 +/- square foot retail/ restaurant building. The request also includes a waiver to the sidewalk requirements of 5-3(D)(2) Sidewalks in Mixed-use and Nonresidential Development which require a 10' wide sidewalk. The requested waiver is seeking a deviation of 4' to allow the applicant to retain the existing 6' landscape buffer and adjacent 6' wide sidewalk that are cohesive with the existing streetscape treatment on adjacent parcels to the north of the subject site.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **June 29th, 2022 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at:  
<https://www.cabq.gov/planning/boardscommissions/development-review-board>.

Sincerely,

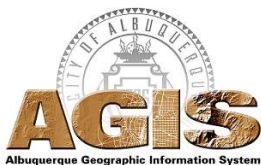
Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC,

**Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**



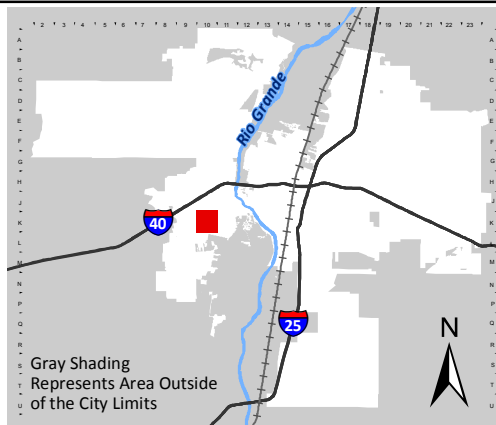
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



Albuquerque Geographic Information System

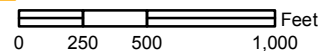
IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Gray Shading  
Represents Area Outside  
of the City Limits

Zone Atlas Page:  
**K-10-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

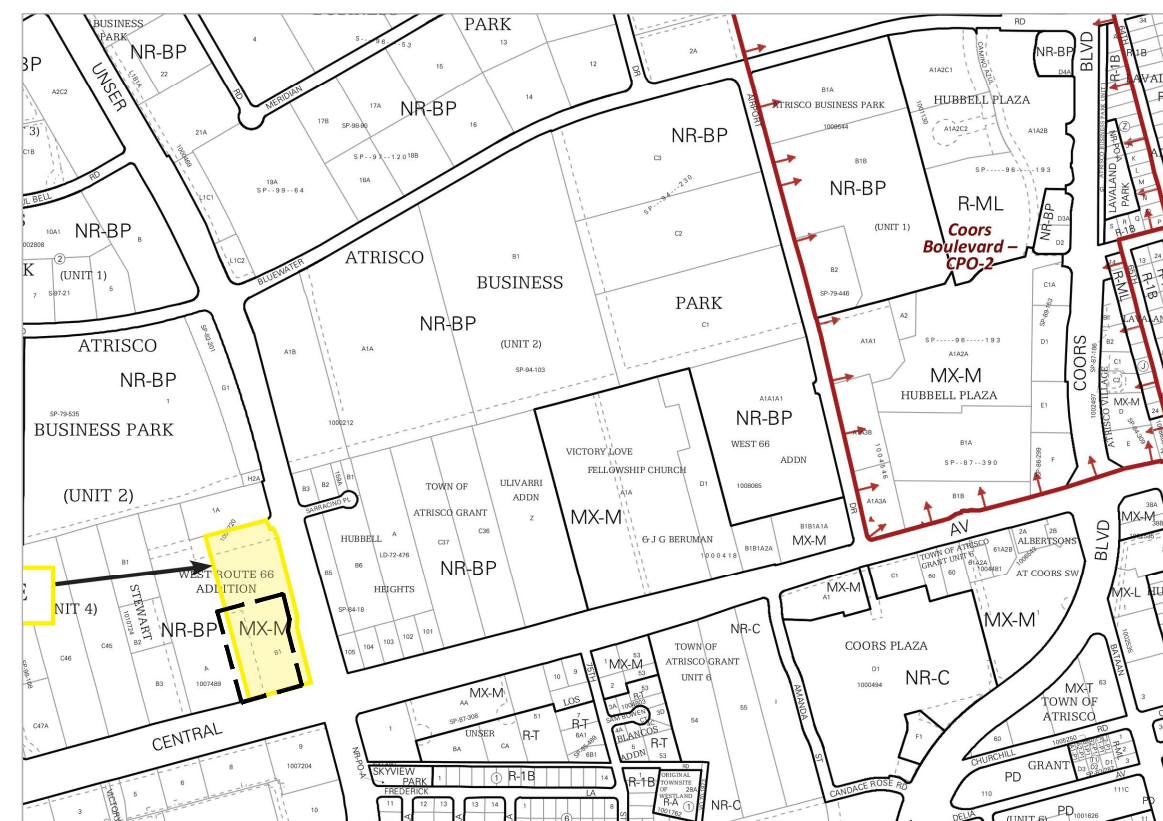




**GENERAL SHEET NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- G. NEW CONSTRUCTION WILL ENSURE CONTINUOUS ACCESS FOR SOLID WASTE DURING CONSTRUCTION TO THE ADJACENT MULTI-FAMILY APARTMENTS.

**VICINITY MAP**



**LEGEND**

- LANDSCAPE AREA
- SYNTHETIC TURF
- LOT LINE
- ASPHALT PAVEMENT MARKING: WHITE DIRECTIONAL ARROW
- ASPHALT PAVEMENT MARKING: BLUE ACCESSIBLE PARKING SYMBOL
- EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- FIRE LANE PAINTING: RED
- FOOD TRAILER (MICRO-RESTAURANT)

**PROJECT DATA - TOTAL**

**ZONING:** IDO MX-M + PREMIUM TRANSIT (PT) DESIGNATION  
**LEGAL DESCRIPTION:**  
 TR A-1 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 3815 AC; TR A-2 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 2,725 AC; TR B PLAT OF TRACTS A AND B NUEVO ATRISCO (BEING A REPLAT OF TRACT B1, WEST ROUTE 66 ADDITION II) CONT. 3,136 AC  
**SITE AREA TOTAL:** 3.136 ACRES = 136,604 SF  
**IDO ZONE ATLAS:** K-10-Z (MAY 2018)  
**SETBACKS (MIN/MAX):** FRONT 0'15", SIDE= 0'15", REAR= 0'  
**BUILDING INFORMATION:** HEIGHT/OCCUPANCY/CONSTRUCTION TYPE  
 BUILDING 1: COMMUNITY PLAZA BUILDING 29'-3" / A-2 / VB-SPRINKLED  
 BUILDING 2: MULTI-TENANT BUILDING 27'-0" / M and A-2 / VB-SPRINKLED  
 BUILDING 3: RESTAURANT 27'-0" / A-2 / VB-SPRINKLED  
 MAX HEIGHT ALLOWED: 65'-0"

**PROJECT DATA - LOT 1 (PHASE 1)**

**LOT AREA TOTAL:** 1.673 ACRES = 72,876 SF  
**AREA OF LOT COVERED BY BUILDING:**  
 BUILDING 1: 5,200 SF (= 5,200 GFA) *this number is used to calculate net lot*  
**USABLE OPEN SPACE:**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 26 PARKING SPACES REQUIRED  
 2 SPACES PER 1 FOOD TRUCK = 18 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 44  
 TOTAL PARKING PROVIDED = 94  
**MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)**  
 MOTORCYCLE PARKING PROVIDED = 2  
**BICYCLE PARKING REQUIRED = 4 (IDO Table 5-5-5)**  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

**KEYED NOTES**

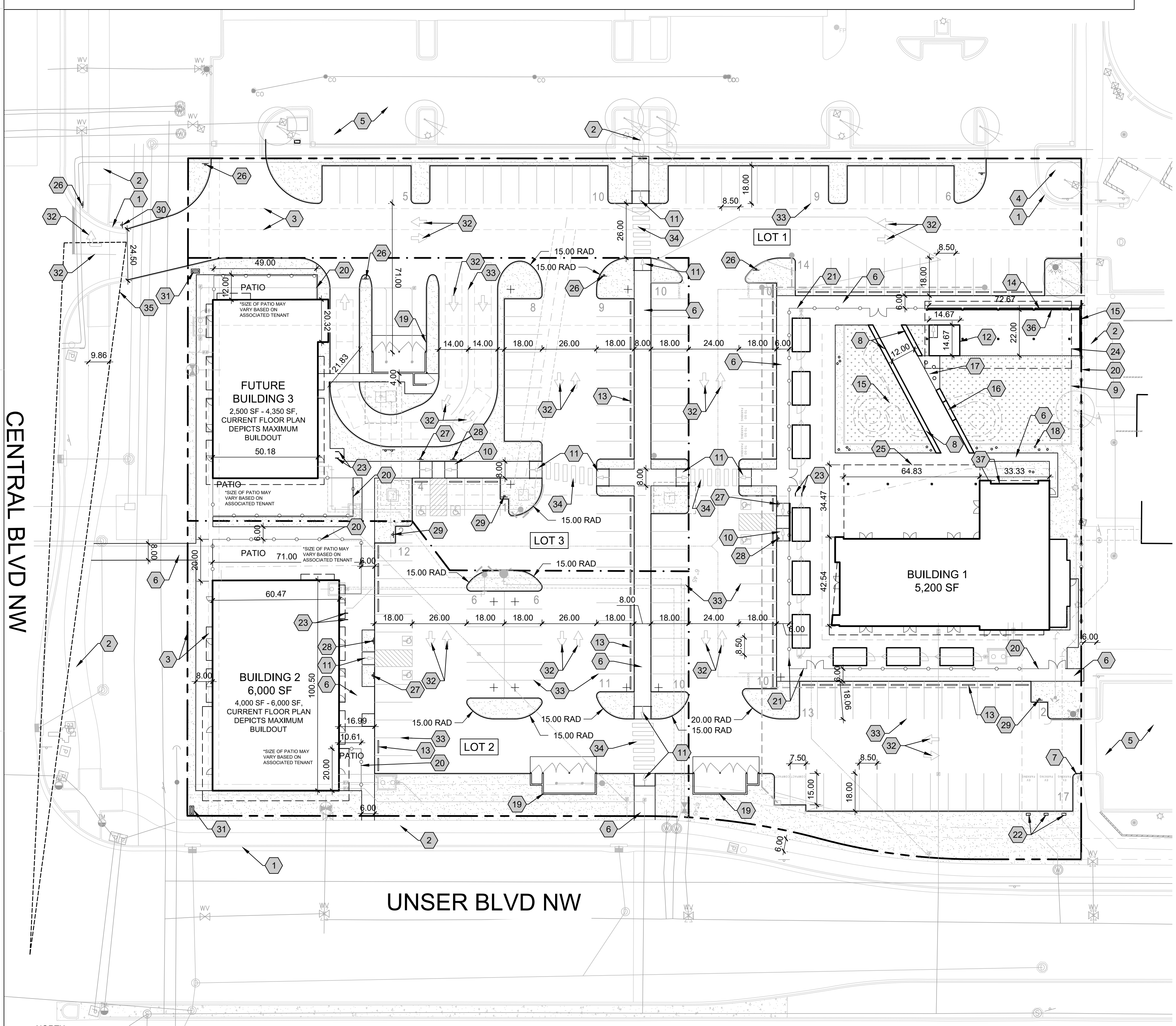
- | CODE | DESCRIPTION   |
|------|---|
| 1    | EXISTING CONCRETE CURB  |
| 2    | EXISTING CONCRETE SIDEWALK  |
| 3    | EXISTING EASEMENT   |
| 4    | EXISTING LANDSCAPE AND MULCH TO REMAIN  |
| 5    | EXISTING ASPHALT PAVING   |
| 6    | CONCRETE SIDEWALK, SEE A2/SDP1.2  |
| 7    | CONCRETE CURB AND CUTTER, SEE A1/SDP1.2   |
| 8    | CONCRETE SEAT WALL, SEE B4/SDP1.2   |
| 9    | CONCRETE MOW CURB, SEE D4/SDP1.2  |
| 10   | CONCRETE ACCESSIBLE RAMP A, SEE B2/SDP1.2   |
| 11   | CONCRETE ACCESSIBLE RAMP B, SEE B3/SDP1.2   |
| 12   | CONCRETE STAGE RAISED 6"  |
| 13   | CONCRETE PARKING BUMPER, SEE D2/SDP1.2  |
| 14   | PLAY ELEMENT: ART FEATURE WITH CHALK WALL   |
| 15   | PLAY ELEMENT: ARTIFICIAL TURF TUNNEL  |
| 16   | PLAY ELEMENT: LINEAR WATER FEATURE  |
| 17   | PLAY ELEMENT: BUBBLER PAD   |
| 18   | PLAY ELEMENT: FOSSIL HUNT FEATURE   |
| 19   | TRASH ENCLOSURE WITH 5'X5' GREASE RECYCLING STORAGE   |
| 20   | FENCE: METAL 42" HEIGHT   |
| 21   | FENCE: REMOVABLE FENCE SECTION  |
| 22   | EV CHARGING STATION LV2   |
| 23   | TWO-POINT LOCK BICYCLE RACK, SEE D3/SDP1.2  |
| 24   | SHADE STRUCTURE   |
| 25   | ATTACHED SHADE STRUCTURE  |
| 26   | SITE SIGNAGE: STOP SIGN, SEE D1/SDP1.2  |
| 27   | SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE D1/SDP1.2   |
| 28   | SITE SIGNAGE: ACCESSIBLE PARKING, SEE D1/SDP1.2   |
| 29   | SITE SIGNAGE: MOTORCYCLE PARKING ONLY, SEE D1/SDP1.2  |
| 30   | SITE SIGNAGE: ONE WAY, SEE D1/SDP1.2  |
| 31   | SITE SIGNAGE: FREE STANDING MULTI-TENANT SIGN, LIGHTING SIZE, MATERIAL AND COLOR TO BE DETERMINED |
| 32   | DIRECTIONAL ARROW: WHITE, SEE B1/SDP1.2   |
| 33   | ASPHALT STRIPING: WHITE, SEE B1/SDP1.2  |
| 34   | CROSSWALK STRIPING, SEE SDP1.2  |
| 35   | CLEAR SIGHT TRIANGLE  |
| 36   | PUBLIC ART DISPLAY ON INTERIOR WALL BENEATH SHADE STRUCTURE, SEE ARCHITECTURAL                    |
| 37   | PUBLIC ART DISPLAY ON WEST WALL OF BUILDING, SEE ARCHITECTURAL                                    |

**PROJECT DATA - LOT 2 (PHASE 1)**

**LOT AREA TOTAL:** 0.707 ACRES = 30,797 SF  
**AREA OF LOT COVERED BY BUILDING:**  
 BUILDING 2: 6,000 SF (= 6,000 GFA) *this number is used to calculate net lot*  
**BUILDING SIZE:** 4,000 SF - 6,000 SF. *Current floor plan depicts maximum buildout*  
**USABLE OPEN SPACE:**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 30 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 30  
 TOTAL PARKING PROVIDED = 38  
**MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)**  
 MOTORCYCLE PARKING PROVIDED = 2  
**BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)**  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

**PROJECT DATA - LOT 3 (PHASE 2)**

**LOT AREA TOTAL:** 0.756 ACRES = 32,931 SF  
**AREA OF LOT COVERED BY BUILDING:**  
 BUILDING 3: 4,350 SF (= 4,350 GFA) *this number is used to calculate net lot*  
**BUILDING SIZE:** 2,500 SF - 4,350 SF. *Current floor plan depicts maximum buildout*  
**USABLE OPEN SPACE:**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 22 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED 22  
 TOTAL PARKING PROVIDED = 38  
**MOTORCYCLE PARKING REQUIRED = 1 (IDO Table 5-5-4)**  
 MOTORCYCLE PARKING PROVIDED = 1  
**BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)**  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)  
 NOTE: SITE WORK AND PARKING AREA PAVING (EXCLUDING THE BUILDING, DRIVE-THROUGH AND DUMPSTER ENCLOSURE) MAY BE CONSTRUCTED SIMULTANEOUSLY WITH PHASE 1.



CENTRAL BLVD NW

UNSER BLVD NW

NORTH  
  
**A1**  
 1" = 30'-0"  
 0 30' 60'  
**SITE DEVELOPMENT PLAN**

|  |       |
|--|-------|
| PROJECT NO.  | TBD   |
| APPLICATION NO.  | TBD   |
| IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?<br>[ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. |       |
| DRB SITE DEVELOPMENT PLAN APPROVAL:  |       |
| REVISIONS  |       |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION   | DATE: |
| ABCWUA   | DATE: |
| PARKS & RECREATION DEPARTMENT  | DATE: |
| CITY ENGINEER/HYDROLOGY  | DATE: |
| ENVIRONMENTAL HEALTH (CONDITIONAL)   | DATE: |
| SOLID WASTE MANAGEMENT   | DATE: |
| DRB CHAIRPERSON, PLANNING DEPT.  | DATE: |
| CODE ENFORCEMENT   | DATE: |

**DEKKER PERICH SABATINI**

**DRAFT**

ARCHITECT  
 ENGINEER

**NOT FOR CONSTRUCTION**

PROJECT

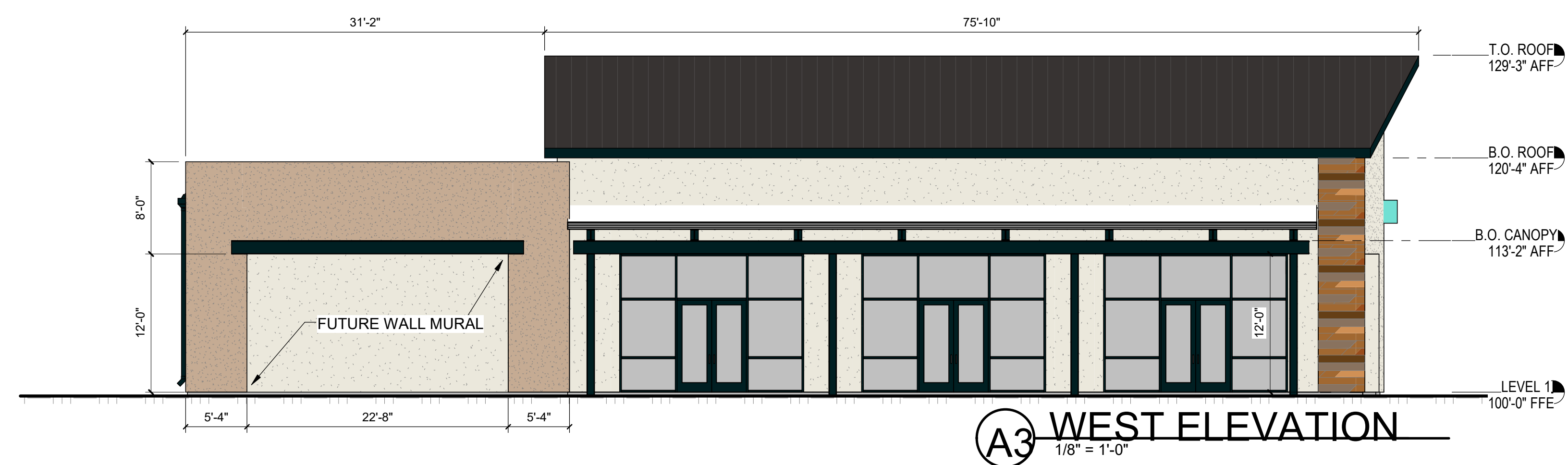
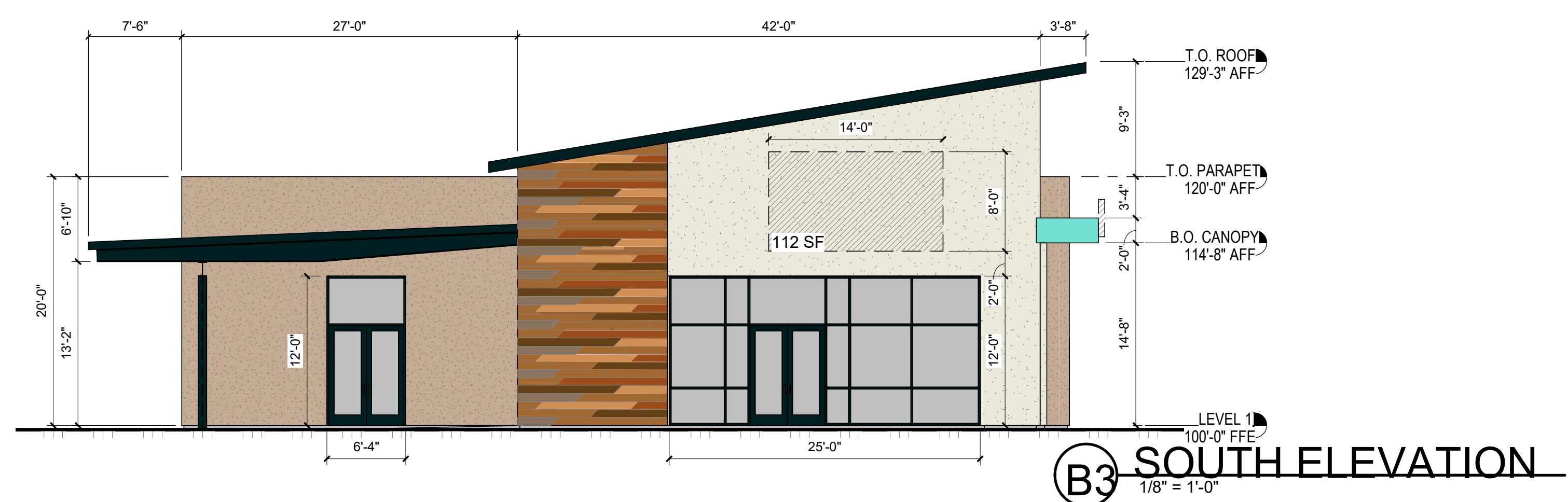
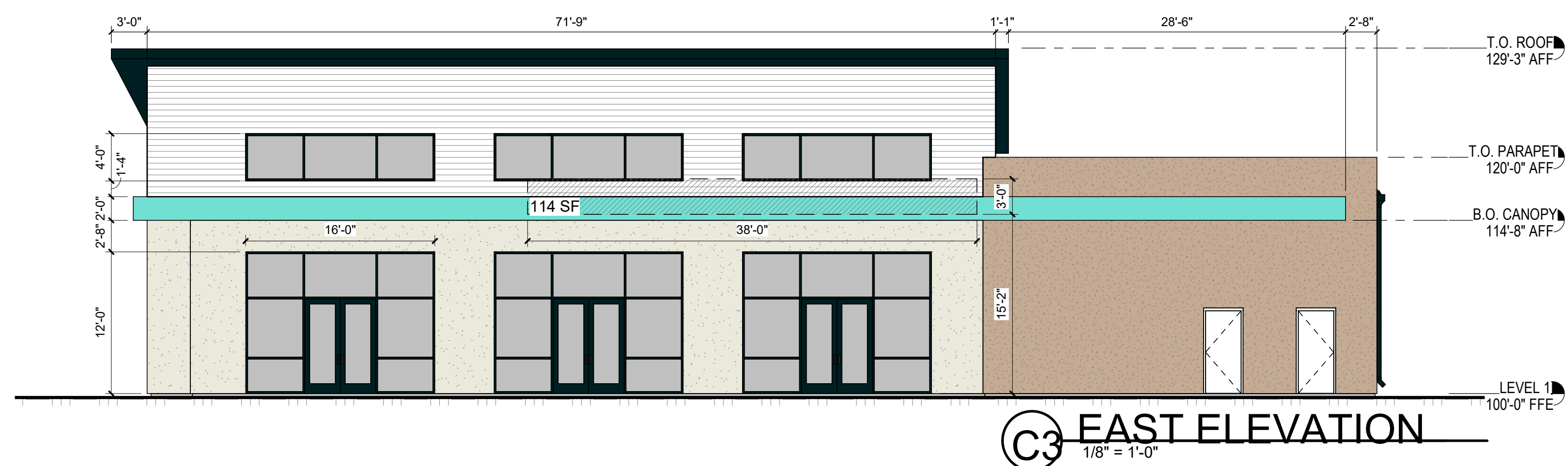
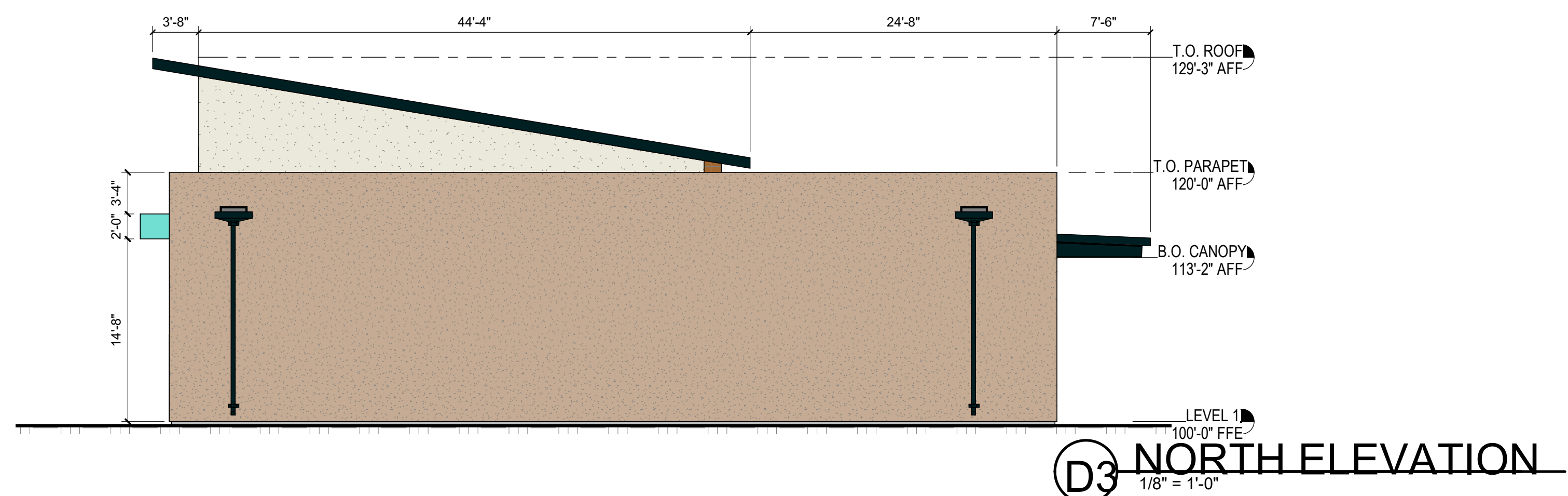
**NUEVO ATRISCO**  
 201 Unser Blvd NW  
 Albuquerque, NM 87121

REVISIONS

|  |  |
|--|--|
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|  |  |
|  |  |

DRAWN BY: D/P/S  
 REVIEWED BY: D/P/S  
 DATE: 06.03.2022  
 PROJECT NO.: 19-0059.002  
 DRAWING NAME: SITE DEVELOPMENT PLAN  
 SHEET NO.: **SDP1.1**





**GENERAL SHEET NOTES**

A. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF; SIZE AND LOCATION TO BE DETERMINED

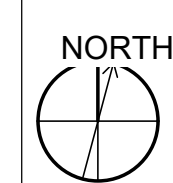
**SHEET KEYNOTES**

**REFERENCE KEYNOTES**

**LEGEND**

- STUCCO\_WHITE COLOR
- STUCCO\_EARTHTONE COLOR
- STANDING SEAM METAL ROOF\_ DARK BRONZE
- METAL PANEL\_TURQUOISE
- SYNTHETIC MATERIAL\_WOOD TONED COLORS
- LINEAR METAL PANEL\_WHITE
- BUILDING MOUNTED SIGNAGE\_LIGHTING. MATERIALS AND COLORS TO BE DETERMINED

**KEY PLAN**



**DEKKER  
PERICH  
SABATINI**

**PROJECT**  
**Nuevo Atrisco**  
Unser Blvd + Central Ave NW  
Albuquerque, NM 87121

**SITE  
DEVELOPMENT  
PLAN SET**

**REVISIONS**

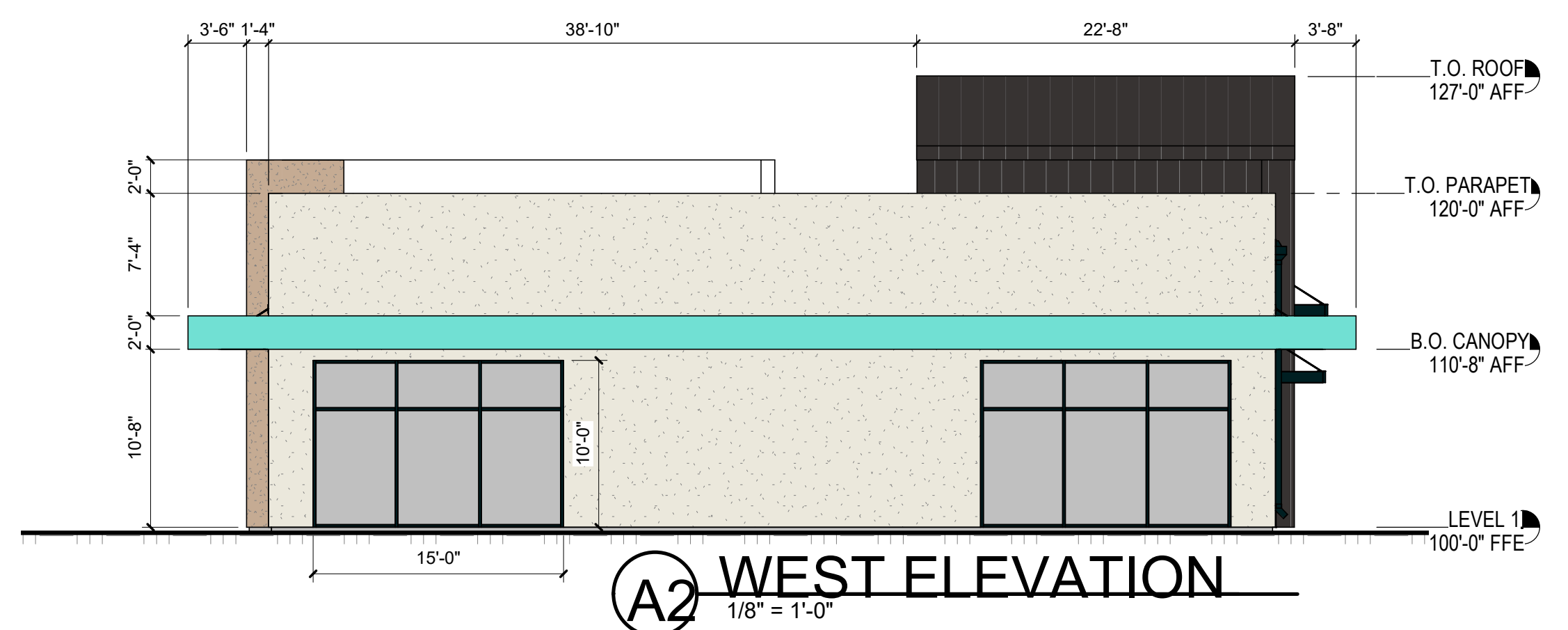
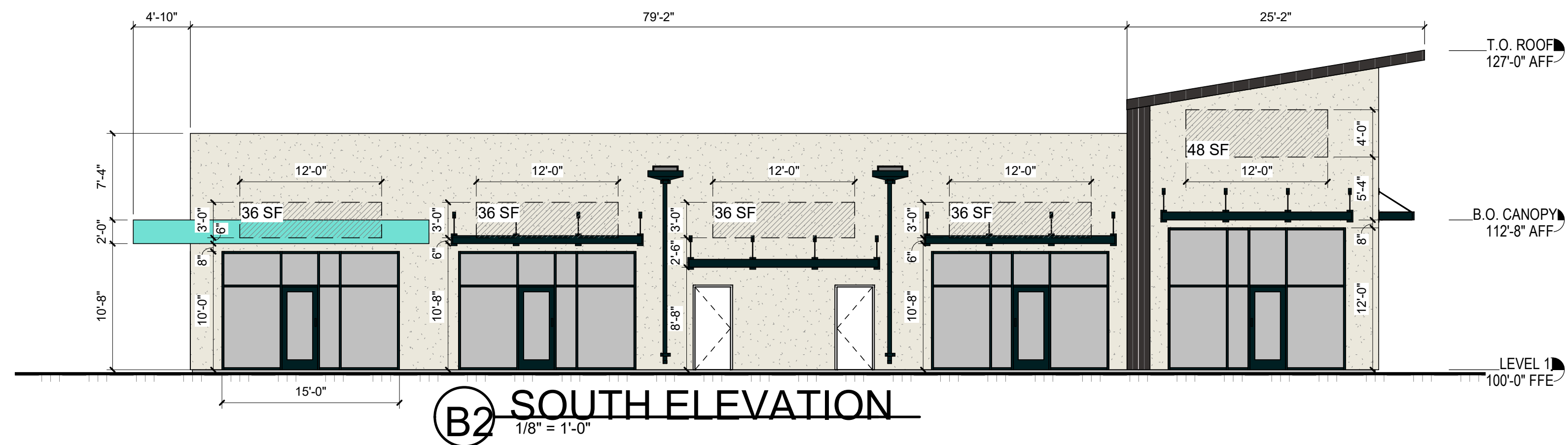
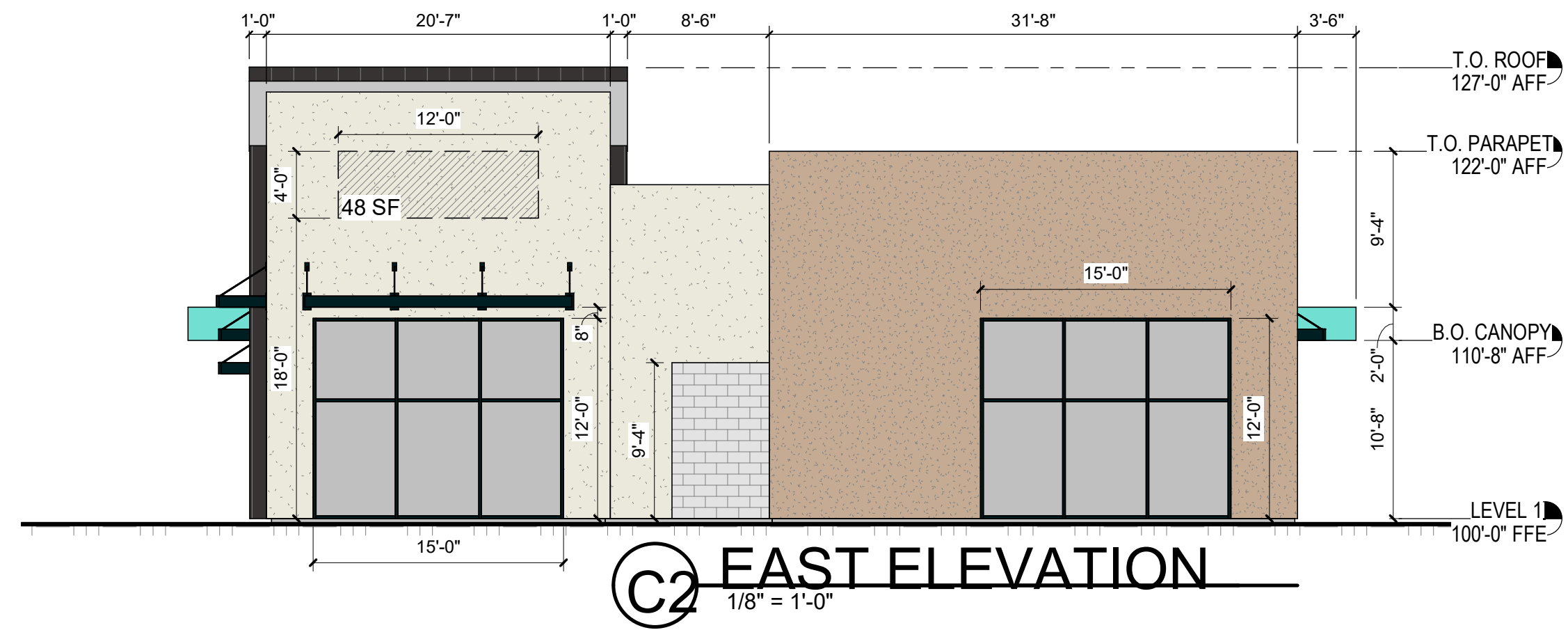
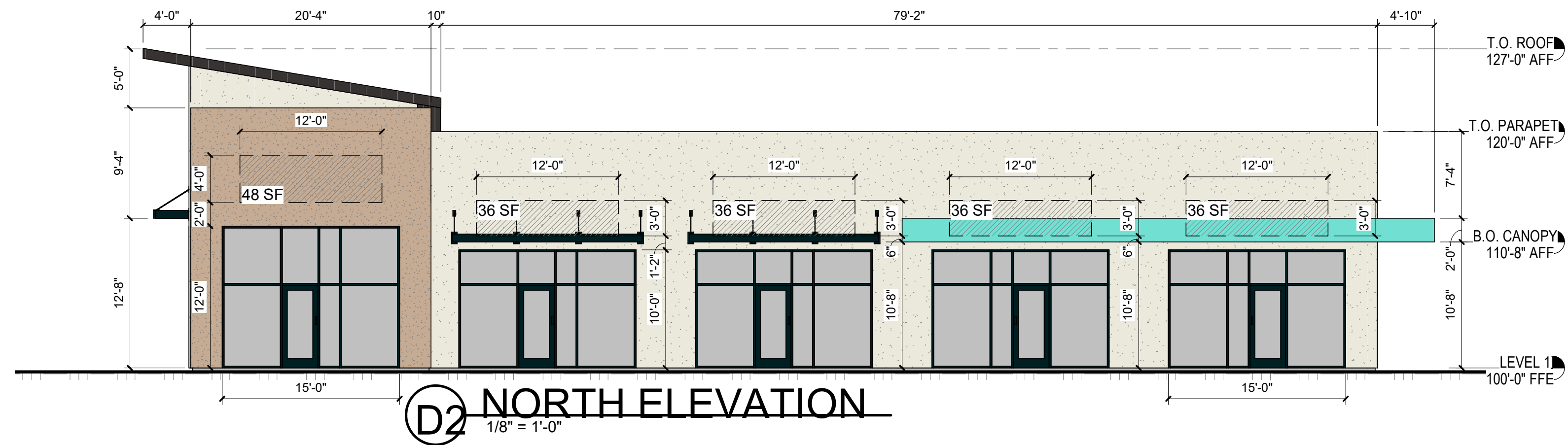
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DRAWN BY: KT  
REVIEWED BY: KK  
DATE: 06/03/2022  
PROJECT NO: 19-0059.002

DRAWING NAME  
**EXTERIOR  
ELEVATIONS  
(BUILDING 1)**

SHEET NO  
**SDP5.10**










**GENERAL SHEET NOTES**

A. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF; SIZE AND LOCATION TO BE DETERMINED

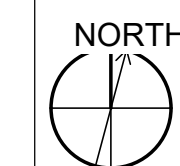
**SHEET KEYNOTES**

**REFERENCE KEYNOTES**

**LEGEND**

-  STUCCO\_WHITE COLOR
-  STUCCO\_EARTHTONE COLOR
-  STANDING SEAM METAL ROOF\_ DARK BRONZE
-  METAL PANEL\_ TURQUOISE
-  BUILDING MOUNTED SIGNAGE\_ LIGHTING, MATERIALS AND COLORS TO BE DETERMINED

**KEY PLAN**



**DEKKER  
PERICH  
SABATINI**

**PROJECT**  
**Nuevo Atrisco**  
Unser Blvd + Central Ave NW  
Albuquerque, NM 87121

**SITE  
DEVELOPMENT  
PLAN SET**

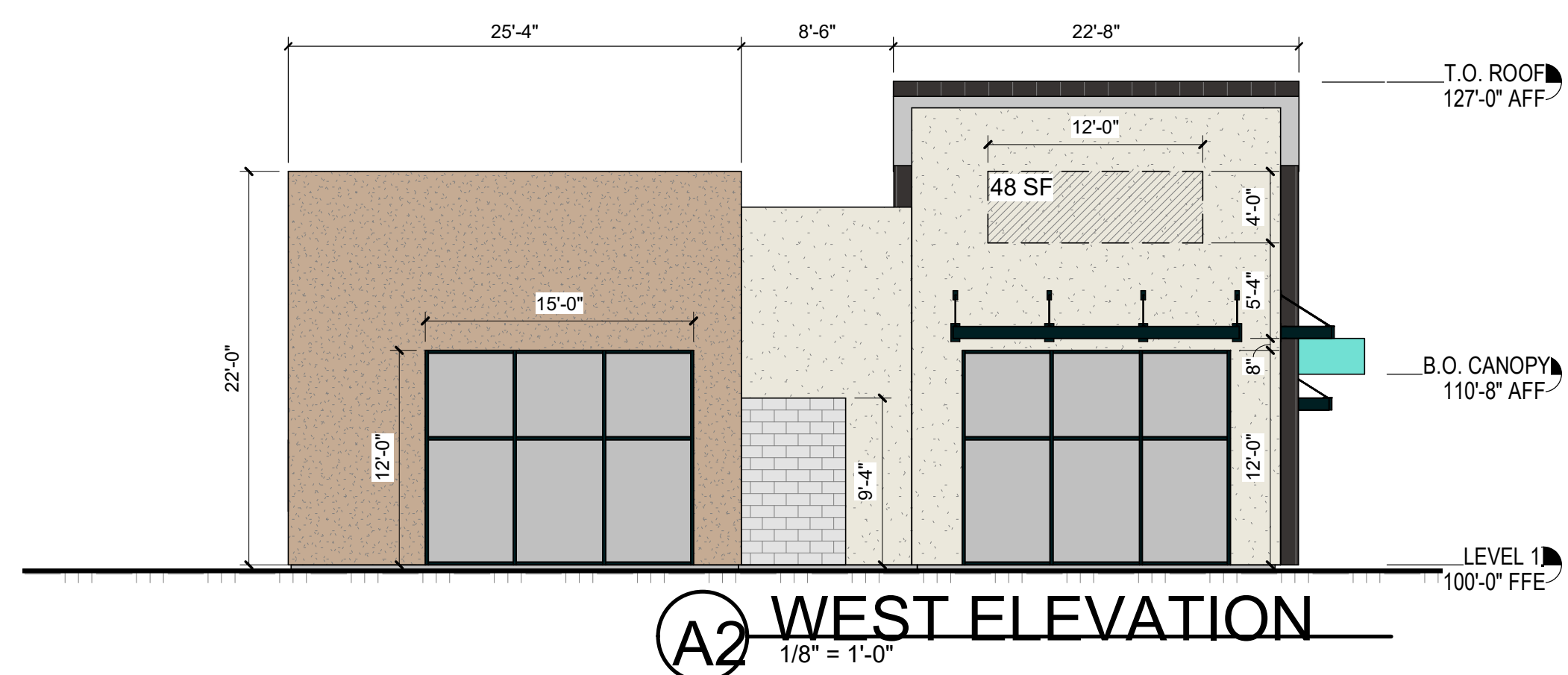
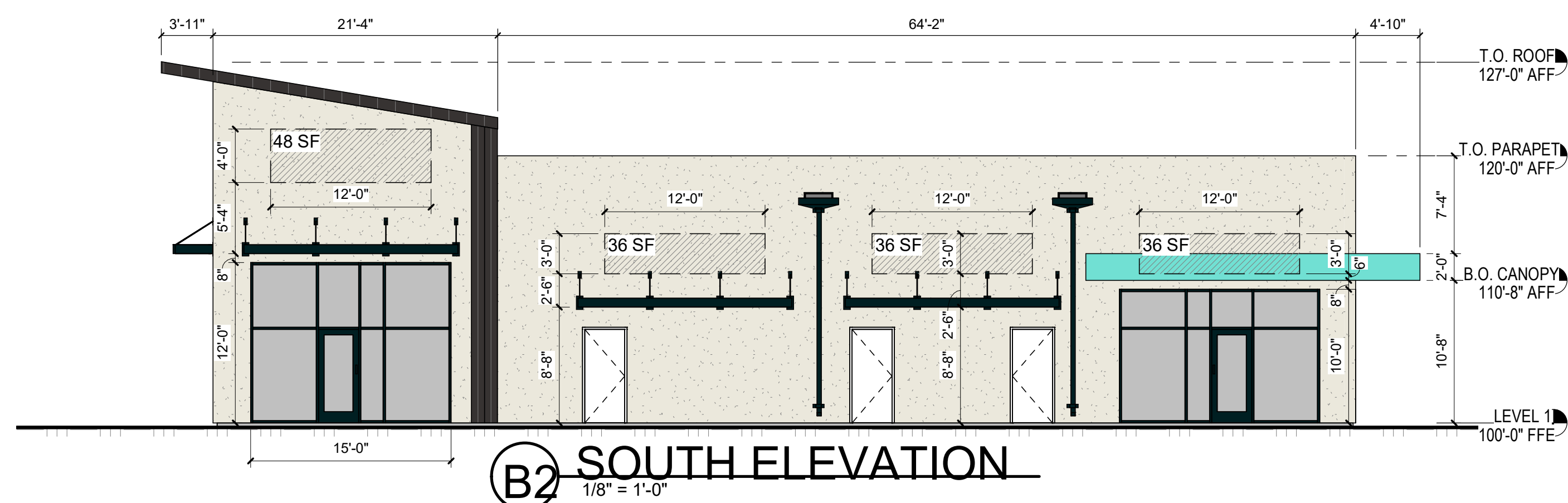
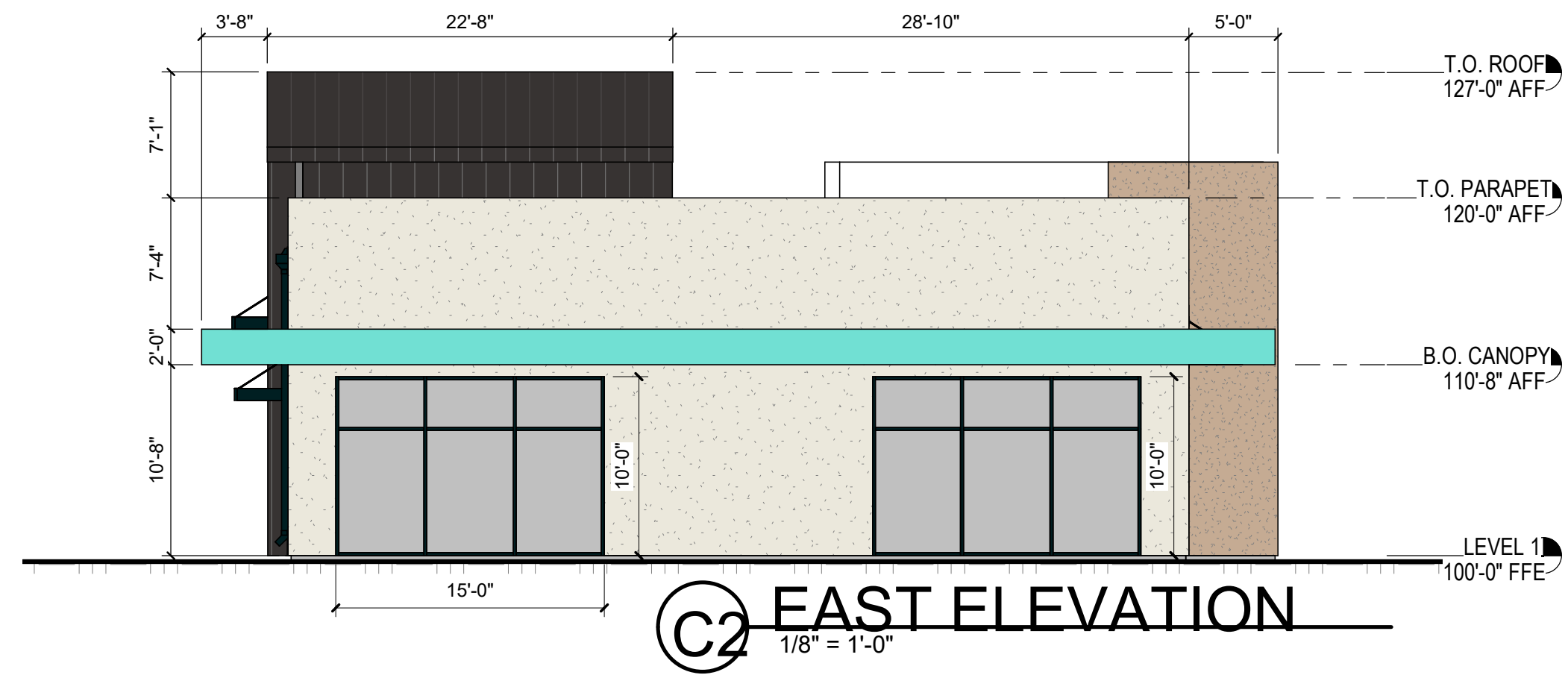
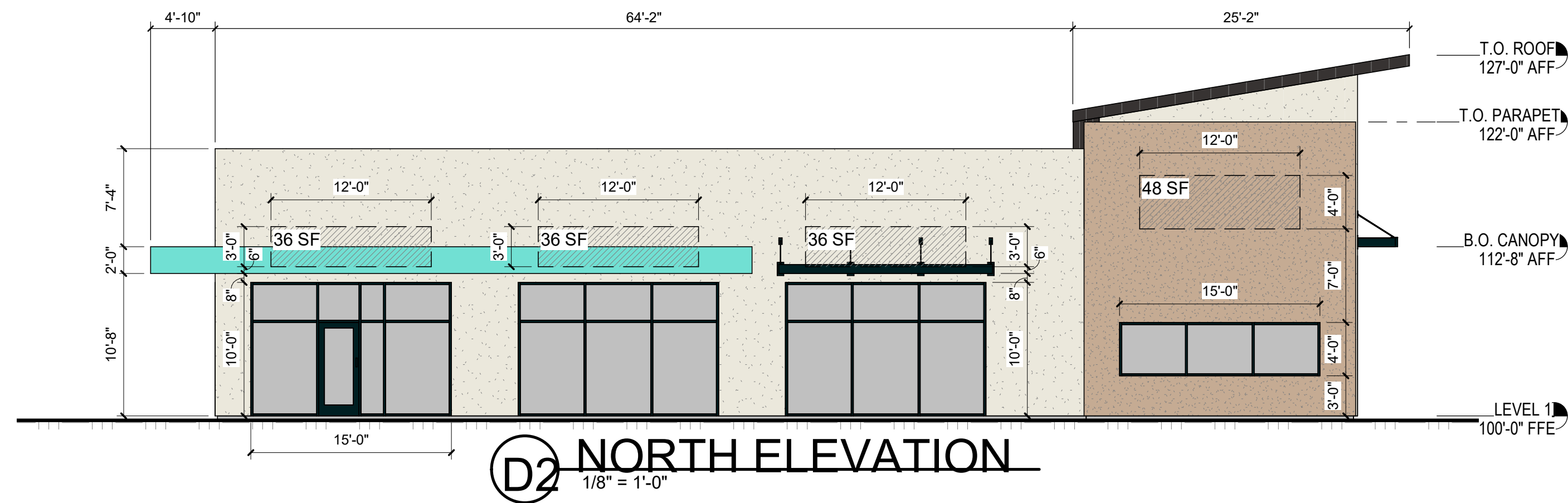
**REVISIONS**

- △
- △
- △
- △
- △

DRAWN BY: KT  
REVIEWED BY: KK  
DATE: 06/03/2022  
PROJECT NO: 19-0059.002

DRAWING NAME  
**EXTERIOR  
ELEVATIONS  
(BUILDING 2)**

SHEET NO  
**SDP5.20**








**GENERAL SHEET NOTES**

A. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF; SIZE AND LOCATION TO BE DETERMINED

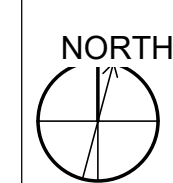
**SHEET KEYNOTES**

**REFERENCE KEYNOTES**

**LEGEND**

-  STUCCO\_WHITE COLOR
-  STUCCO\_EARTHSTONE COLOR
-  STANDING SEAM METAL ROOF\_ DARK BRONZE
-  METAL PANEL\_ TURQUOISE
-  BUILDING MOUNTED SIGNAGE\_ LIGHTING. MATERIALS AND COLORS TO BE DETERMINED

**KEY PLAN**



**DEKKER  
PERICH  
SABATINI**

**PROJECT**  
**Nuevo Atrisco**  
Unser Blvd + Central Ave NW  
Albuquerque, NM 87121

**SITE  
DEVELOPMENT  
PLAN SET**

**REVISIONS**

- △
- △
- △
- △
- △

DRAWN BY: KT  
REVIEWED BY: KK  
DATE: 06/03/2022  
PROJECT NO: 19-0059.002

**DRAWING NAME**  
**EXTERIOR  
ELEVATIONS  
(BUILDING 3)**

**SHEET NO**  
**SDP5.30**

## **08 HEARING NOTIFICATIONS**

- C. Proof of emailed notice to affected Neighborhood Association representatives

**From:** Jessica Lawlis  
**Sent:** Friday, June 3, 2022 6:57 AM  
**To:** jennybsanchez1@q.com; acr@q.com  
**Cc:** Kevin Kofchur; Ron Lindsey  
**Subject:** Nuevo Atrisco DRB Major Site Plan Amendment - Hearing Notification  
**Attachments:** [Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill - LosVolcanes.pdf](#); [02 IDOZoneAtlasPage\\_K-10-Z\\_.pdf](#); [NuevoAtrisco-SDP.pdf](#)

Dear Neighborhood Association Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The proposal is accompanied by a platting action that plans to subdivide the current undeveloped parcel zoned Mixed-Use Moderate Intensity (MX-M) into three parcels to remain zoned MX-M. The northern parcel will include a multipurpose community structure that can accommodate seating/gathering space, restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A teaching kitchen community room may be added to the structure. There will also be a micro-restaurant court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 +/- square foot retail/ restaurant building with a potential pick up window, a parking lot, and another 6,000 +/- square foot retail/ restaurant building. The request also includes a waiver to the sidewalk requirements of 5-3(D)(2) Sidewalks in Mixed-use and Nonresidential Development which require a 10' wide sidewalk. The requested waiver is seeking a deviation of 4' to allow the applicant to retain the existing 6' landscape buffer and adjacent 6' wide sidewalk that are cohesive with the existing streetscape treatment on adjacent parcels to the north of the subject site.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **June 29th, 2022 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boardscommissions/development-review-board>.

Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC

**Attachments: COA Notification Form, Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

DEKKER  
PERICH  
SABATINI  
Architecture  
in Progress

**Jessica Lawlis**, AICP  
Urban Planner  
Dekker Perich Sabatini  
505.761.9700 / dpsdesign.org

We're growing! [Join our team](#) and help us build the future.



[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 6-2-2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Los Volcanes NA

Name of NA Representative\*: Jenny Sanchez or Alma Ramiriz

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 

|                                |                                |
|--------------------------------|--------------------------------|
| <u>jennybsanchez1@q.com</u>    | <u>acr@q.com</u>               |
| <u>6512 Honeylocust Ave NW</u> | <u>6616 Honeylocust Ave NW</u> |
| <u>Albuquerque NM 87121</u>    | <u>Albuquerque NM 87121</u>    |

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Site Plan Amendment**
  - Subdivision Minor (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

### Summary of project/request<sup>2</sup>\*:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along Unser Blvd., a 4' sidewalk wavier from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger width, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: June 29th, 2022

Location\*<sup>3</sup>: ZOOM agenda and zoom link can retrieved at  
<https://www.cabq.gov/planning/boards-commissions/development-review-board>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

by contacting Jessica Lawlis at [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org) or 505-761-9700

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> K-10
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)                       Variance(s)                       Waiver(s)

**Explanation\*:**

The applicant is requesting a 4' wavier to the required 10' sidewalk width to accommodate the existing 6' sidewalk along Unser Boulevard. . The right-of-way of Unser Boulevard currently contains an existing 6' landscape buffer strip and an adjacent 6' sidewalk in close proximity to the subject site's property line. These existing facilities were constructed by the City of Albuquerque out of compliance with the required dimensions of the DPM TABLE 7.2.29 Street Element Dimensions, likely because the existing 6' landscape strip and 6' sidewalk are the maximum feasible widths that could be accommodated within the existing Unser Blvd right-of-way. While out of compliance with the desired widths as identified in DPM TABLE 7.2.29 Street Element Dimensions, these facilities do meet the intent of the ABC Comprehensive Plan for protected pedestrian facilities and do meet the minimum ADA requirements. The requested waiver would allow the existing facilities to be maintained in a state that works to achieve the desired streetscape elements of the Comp Plan and DPM to the maximum extent feasible within the current right-of-way allocations.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

**Summary of the Pre-submittal Neighborhood Meeting, if one occurred:**

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 11, 2022 with the representatives of the Avalon NA, Los Volcanes NA, Southwest Alliance, and Westside Coalition of Neighborhood Associations to discuss the project and respond to potential concerns. Questions covered issues around the variety of commercial uses anticipated, specifics regarding details around proposed amenities such as the community room and water feature, anticipated hours of operation, and specific dates for review and approval process milestones such as when the application will be submitted to and heard by the DRB. A detailed meeting report drafted by the City's Alternative Dispute Resolution offices has been included in the DRB submittal for review. No one expressed opposition to the planned development and nNo mitigation measures were required or requested.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.136 ac
  - 2. IDO Zone District MX-M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] West RT 66 Activity Center/ Premium Transit Station Area
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]  
\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

**From:** Jessica Lawlis  
**Sent:** Friday, June 3, 2022 6:57 AM  
**To:** netaboard111@gmail.com; ekhaley@comcast.net  
**Cc:** Kevin Kofchur; Ron Lindsey  
**Subject:** Nuevo Atrisco DRB Major Site Plan Amendment - Hearing Notification  
**Attachments:** [Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill - WestsideCoalition.pdf](#); [02 IDOZoneAtlasPage\\_K-10-Z\\_.pdf](#); [NuevoAtrisco-SDP.pdf](#)

Dear Neighborhood Association Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The proposal is accompanied by a platting action that plans to subdivide the current undeveloped parcel zoned Mixed-Use Moderate Intensity (MX-M) into three parcels to remain zoned MX-M. The northern parcel will include a multipurpose community structure that can accommodate seating/gathering space, restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A teaching kitchen community room may be added to the structure. There will also be a micro-restaurant court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcels will contain a 5,000 +/- square foot retail/ restaurant building with a potential pick up window, a parking lot, and another 6,000 +/- square foot retail/ restaurant building. The request also includes a waiver to the sidewalk requirements of 5-3(D)(2) Sidewalks in Mixed-use and Nonresidential Development which require a 10' wide sidewalk. The requested waiver is seeking a deviation of 4' to allow the applicant to retain the existing 6' landscape buffer and adjacent 6' wide sidewalk that are cohesive with the existing streetscape treatment on adjacent parcels to the north of the subject site.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **June 29th, 2022 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boardscommissions/development-review-board>.

Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC

**Attachments: COA Notification Form, Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**

DEKKER  
PERICH  
SABATINI  
Architecture  
in Progress

**Jessica Lawlis**, AICP  
Urban Planner  
Dekker Perich Sabatini  
505.761.9700 / dpsdesign.org

We're growing! [Join our team](#) and help us build the future.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 6-2-2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Elizabeth Haley or Rene Horvath  
ekhaley@comcast.net      aboard111@gmail.com  
Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 6005 Chaparral Cir. NW      5515 Palomino Dr NW  
Albuquerque NM 87114      Albuquerque NM 87120

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Site Plan Amendment**
  - Subdivision Minor (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

### Summary of project/request<sup>2</sup>∗:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along Unser Blvd., a 4' sidewalk wavier from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger with, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

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<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: June 29th, 2022

Location\*<sup>3</sup>: ZOOM agenda and zoom link can retrieved at  
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To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

by contacting Jessica Lawlis at [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org) or 505-761-9700

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> K-10
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:  
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**Explanation\*:**

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**Summary of the Pre-submittal Neighborhood Meeting, if one occurred:**

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<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

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  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.136 ac
  - 2. IDO Zone District MX-M
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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]  
\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

**From:** Jessica Lawlis  
**Sent:** Friday, June 3, 2022 6:54 AM  
**To:** luis@wccd.org; jgallegoswccd@gmail.com  
**Cc:** Kevin Kofchur; Ron Lindsey  
**Subject:** Nuevo Atrisco DRB Major Site Plan Amendment - Hearing Notification  
**Attachments:** [Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill - SWAN.pdf](#); [02 IDOZoneAtlasPage\\_K-10-Z\\_.pdf](#); [NuevoAtrisco-SDP.pdf](#)

Dear Neighborhood Association Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for Nuevo Atrisco, LLC, is seeking approval to construct a commercial retail and restaurant development, including a mobile food vendor court. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Nuevo Atrisco Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for the Nuevo Atrisco, LLC

**Attachments: COA Notification Form, Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations**



DEKKER  
PERICH  
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Architecture  
in Progress

**Jessica Lawlis**, AICP  
Urban Planner  
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505.761.9700 / dpsdesign.org

We're growing! [Join our team](#) and help us build the future.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 6-2-2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: South West Alliance of Neighborhoods (SWAN Coalition)

Name of NA Representative\*: Luis Hernandez Jr. or Jerry Gallego

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: luis@wccdg.org 5921 Central Ave NW  
jgallegoswccdg@gmail.com Albuquerque NM 87105

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 201 Unser Boulevard NW, Albuquerque NM 87121  
Location Description Northwest corner of Central and Unser
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Site Plan Amendment**
  - Subdivision Minor (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

### Summary of project/request<sup>2</sup>∗:

The northern parcel will include a multi-purpose structure that can accommodate restrooms, storage, a janitorial closet, maintenance room and other associated facilities. A commercial learning kitchen and community room may be added to the structure. There will also be a mobile food vendor court and associated amenities including shade structures, and an open space area that will accommodate a children's activity area, water feature and, periodically, a farmer's market. The southern parcel will contain a 5,000 square foot retail / restaurant with a potential pick up window, a parking lot, and another 6,000 square foot retail / restaurant. There is an existing 6' sidewalk along Unser Blvd., a 4' sidewalk wavier from the 10' width requirement is requested as the right-of-way allocation can not accommodate a larger with, the applicant is providing an easement that will allow the expansion of the existing 6' sidewalk in the future if necessary.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: June 29th, 2022

Location\*<sup>3</sup>: ZOOM agenda and zoom link can retrieved at  
<https://www.cabq.gov/planning/boards-commissions/development-review-board>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

by contacting Jessica Lawlis at [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org) or 505-761-9700

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> K-10
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)                       Variance(s)                       Waiver(s)

**Explanation\*:**

The applicant is requesting a 4' wavier to the required 10' sidewalk width to accommodate the existing 6' sidewalk along Unser Boulevard. . The right-of-way of Unser Boulevard currently contains an existing 6' landscape buffer strip and an adjacent 6' sidewalk in close proximity to the subject site's property line. These existing facilities were constructed by the City of Albuquerque out of compliance with the required dimensions of the DPM TABLE 7.2.29 Street Element Dimensions, likely because the existing 6' landscape strip and 6' sidewalk are the maximum feasible widths that could be accommodated within the existing Unser Blvd right-of-way. While out of compliance with the desired widths as identified in DPM TABLE 7.2.29 Street Element Dimensions, these facilities do meet the intent of the ABC Comprehensive Plan for protected pedestrian facilities and do meet the minimum ADA requirements. The requested waiver would allow the existing facilities to be maintained in a state that works to achieve the desired streetscape elements of the Comp Plan and DPM to the maximum extent feasible within the current right-of-way allocations.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

**Summary of the Pre-submittal Neighborhood Meeting, if one occurred:**

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 11, 2022 with the representatives of the Avalon NA, Los Volcanes NA, Southwest Alliance, and Westside Coalition of Neighborhood Associations to discuss the project and respond to potential concerns. Questions covered issues around the variety of commercial uses anticipated, specifics regarding details around proposed amenities such as the community room and water feature, anticipated hours of operation, and specific dates for review and approval process milestones such as when the application will be submitted to and heard by the DRB. A detailed meeting report drafted by the City's Alternative Dispute Resolution offices has been included in the DRB submittal for review. No one expressed opposition to the planned development and nNo mitigation measures were required or requested.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.136 ac
  - 2. IDO Zone District MX-M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] West RT 66 Activity Center/ Premium Transit Station Area
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

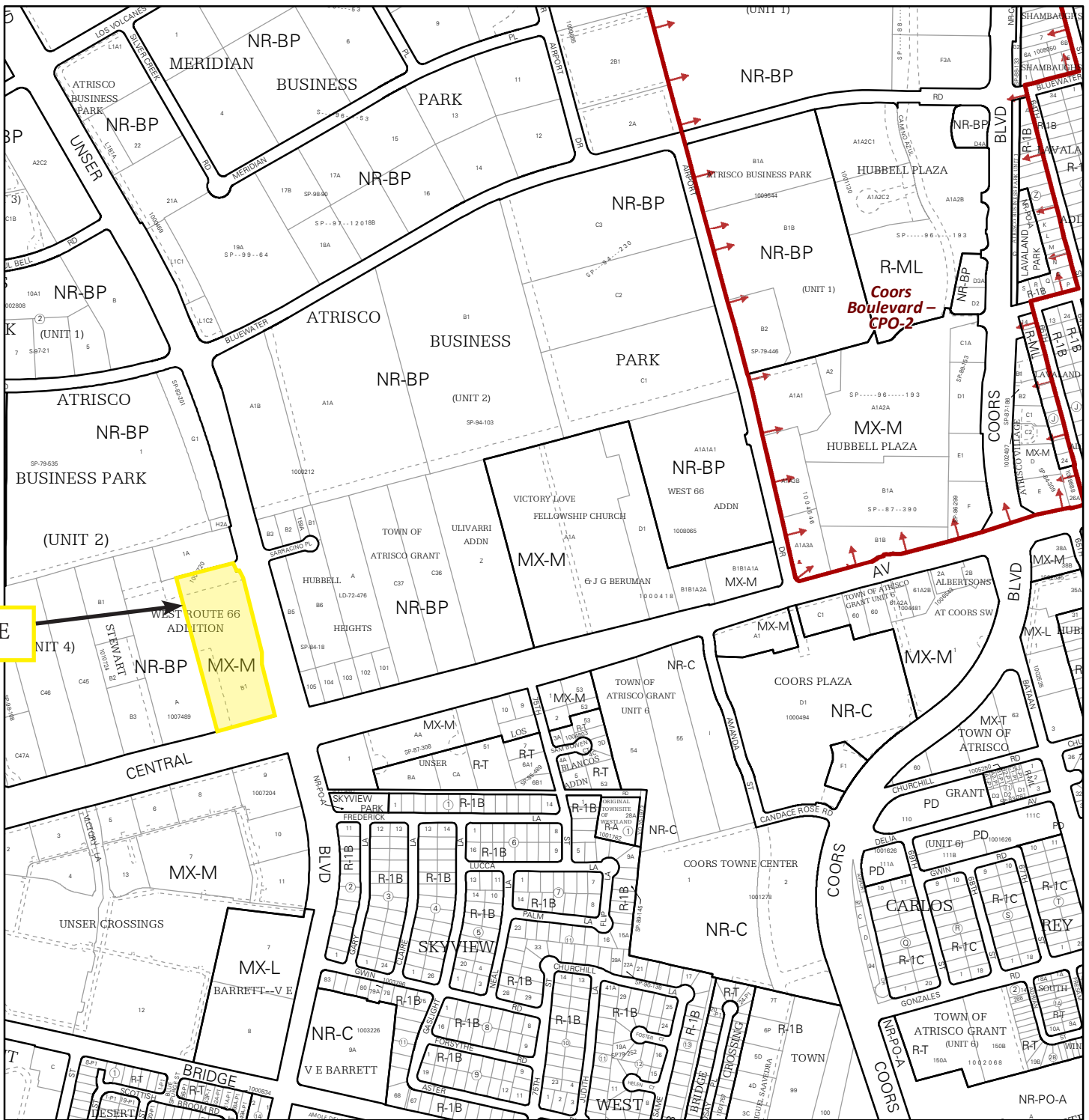
**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]  
\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>





For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

**IDO Zoning information as of May 17, 2018**  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Rio Grande

40 25

Gray Shading  
Represents Area Outside  
of the City Limits

Zone Atlas Page:  
**K-10-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

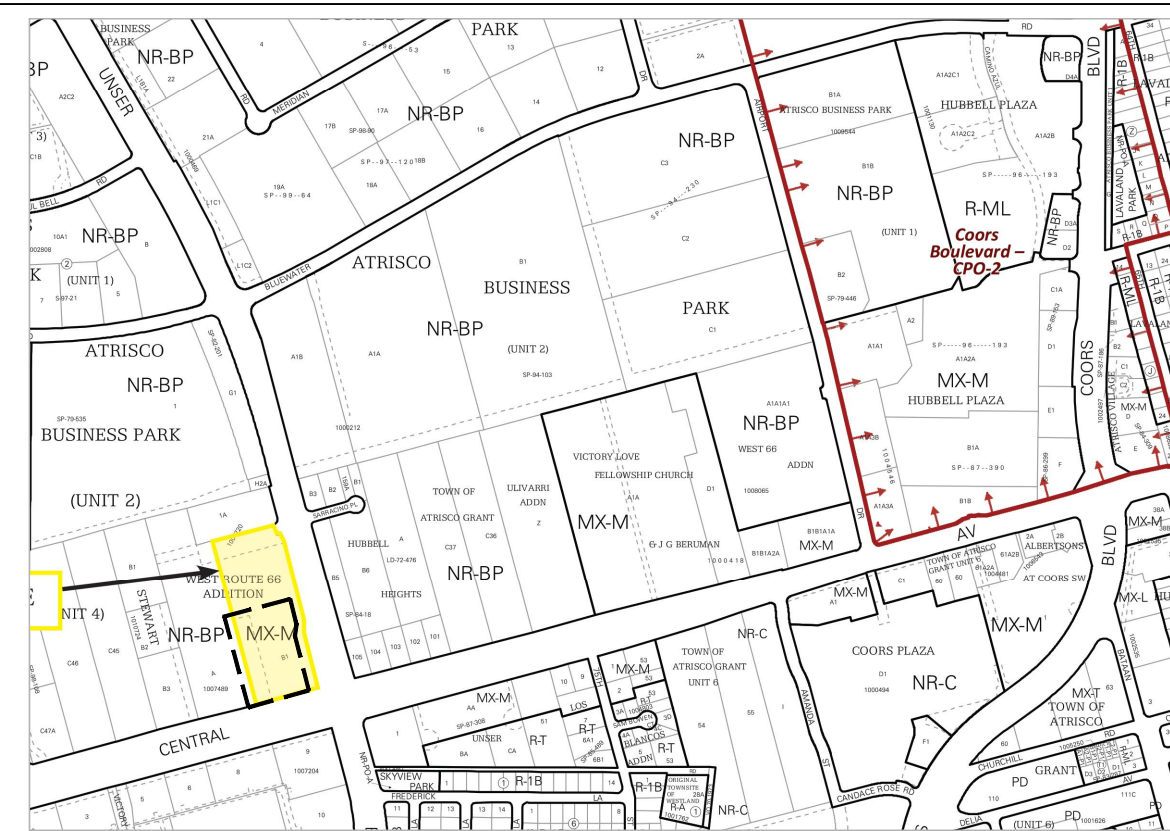
0 250 500 1,000 Feet



**GENERAL SHEET NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- G. NEW CONSTRUCTION WILL ENSURE CONTINUOUS ACCESS FOR SOLID WASTE DURING CONSTRUCTION TO THE ADJACENT MULTI-FAMILY APARTMENTS.

**VICINITY MAP**



**LEGEND**

- LANDSCAPE AREA
- SYNTHETIC TURF
- LOT LINE
- ASPHALT PAVEMENT MARKING:  
WHITE DIRECTIONAL ARROW
- ASPHALT PAVEMENT MARKING:  
BLUE ACCESSIBLE PARKING SYMBOL
- EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- FIRE LANE PAINTING: RED
- FOOD TRAILER (MICRO-RESTAURANT)

**PROJECT DATA - TOTAL**

**ZONING:** IDO MX-M + PREMIUM TRANSIT (PT) DESIGNATION  
**LEGAL DESCRIPTION:**  
 TR A-1 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 3815 AC; TR A-2 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 2,725 AC; TR B PLAT OF TRACTS A AND B NUEVO ATRISCO (BEING A REPLAT OF TRACT B1, WEST ROUTE 66 ADDITION II) CONT. 3,136 AC  
**SITE AREA TOTAL:** 3.136 ACRES = 136,604 SF  
**IDO ZONE ATLAS:** K-10-Z (MAY 2018)  
**SETBACKS (MIN/MAX):** FRONT 0'15", SIDE= 0'15", REAR= 0'  
**BUILDING INFORMATION:** HEIGHT/OCCUPANCY/CONSTRUCTION TYPE  
 BUILDING 1: COMMUNITY PLAZA BUILDING 29'-3" / A-2 / VB-SPRINKLED  
 BUILDING 2: MULTI-TENANT BUILDING 27'-0" / M and A-2 / VB-SPRINKLED  
 BUILDING 3: RESTAURANT 27'-0" / A-2 / VB-SPRINKLED  
 MAX HEIGHT ALLOWED: 65'-0"

**PROJECT DATA - LOT 1 (PHASE 1)**

**LOT AREA TOTAL:** 1.673 ACRES = 72,876 SF  
**AREA OF LOT COVERED BY BUILDING:**  
 BUILDING 1: 5,200 SF (= 5,200 GFA) *this number is used to calculate net lot*  
**USABLE OPEN SPACE:**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 26 PARKING SPACES REQUIRED  
 2 SPACES PER 1 FOOD TRUCK = 18 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 44  
 TOTAL PARKING PROVIDED = 94  
**MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)**  
 MOTORCYCLE PARKING PROVIDED = 2  
**BICYCLE PARKING REQUIRED = 4 (IDO Table 5-5-5)**  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

**KEYED NOTES**

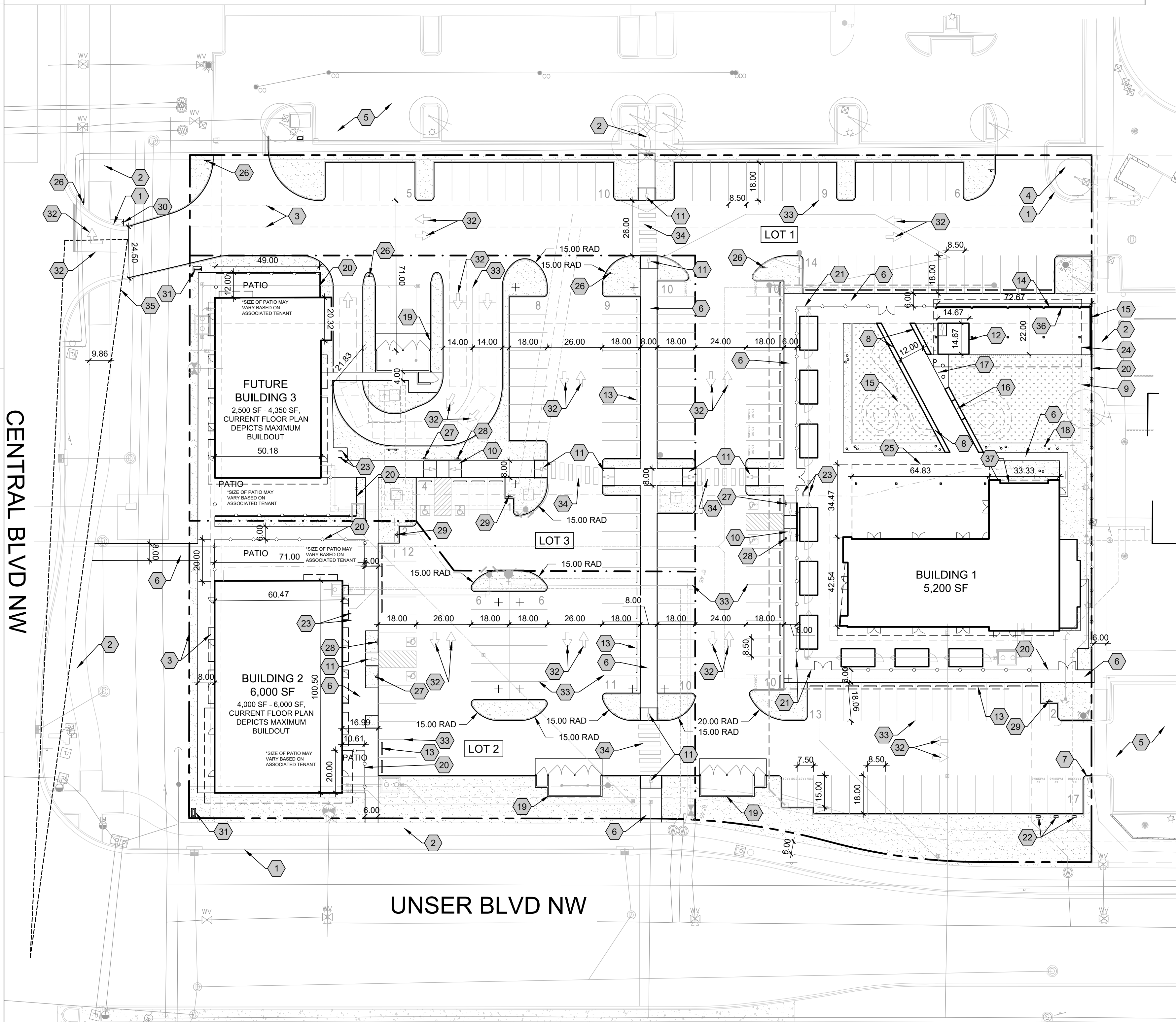
- | CODE | DESCRIPTION   |
|------|---|
| 1    | EXISTING CONCRETE CURB  |
| 2    | EXISTING CONCRETE SIDEWALK  |
| 3    | EXISTING EASEMENT   |
| 4    | EXISTING LANDSCAPE AND MULCH TO REMAIN  |
| 5    | EXISTING ASPHALT PAVING   |
| 6    | CONCRETE SIDEWALK, SEE A2/SDP1.2  |
| 7    | CONCRETE CURB AND CUTTER, SEE A1/SDP1.2   |
| 8    | CONCRETE SEAT WALL, SEE B4/SDP1.2   |
| 9    | CONCRETE MOW CURB, SEE D4/SDP1.2  |
| 10   | CONCRETE ACCESSIBLE RAMP A, SEE B2/SDP1.2   |
| 11   | CONCRETE ACCESSIBLE RAMP B, SEE B3/SDP1.2   |
| 12   | CONCRETE STAGE RAISED 6"  |
| 13   | CONCRETE PARKING BUMPER, SEE D2/SDP1.2  |
| 14   | PLAY ELEMENT: ART FEATURE WITH CHALK WALL   |
| 15   | PLAY ELEMENT: ARTIFICIAL TURF TUNNEL  |
| 16   | PLAY ELEMENT: LINEAR WATER FEATURE  |
| 17   | PLAY ELEMENT: BUBBLER PAD   |
| 18   | PLAY ELEMENT: FOSSIL HUNT FEATURE   |
| 19   | TRASH ENCLOSURE WITH 5' X 5' GREASE RECYCLING STORAGE   |
| 20   | FENCE: METAL 42" HEIGHT   |
| 21   | FENCE: REMOVABLE FENCE SECTION  |
| 22   | EV CHARGING STATION LV2   |
| 23   | TWO-POINT LOCK BICYCLE RACK, SEE D3/SDP1.2  |
| 24   | SHADE STRUCTURE   |
| 25   | ATTACHED SHADE STRUCTURE  |
| 26   | SITE SIGNAGE: STOP SIGN, SEE D1/SDP1.2  |
| 27   | SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE D1/SDP1.2   |
| 28   | SITE SIGNAGE: ACCESSIBLE PARKING, SEE D1/SDP1.2   |
| 29   | SITE SIGNAGE: MOTORCYCLE PARKING ONLY, SEE D1/SDP1.2  |
| 30   | SITE SIGNAGE: ONE WAY, SEE D1/SDP1.2  |
| 31   | SITE SIGNAGE: FREE STANDING MULTI-TENANT SIGN, LIGHTING SIZE, MATERIAL AND COLOR TO BE DETERMINED |
| 32   | DIRECTIONAL ARROW: WHITE, SEE B1/SDP1.2   |
| 33   | ASPHALT STRIPING: WHITE, SEE B1/SDP1.2  |
| 34   | CROSSWALK STRIPING, SEE SDP1.2  |
| 35   | CLEAR SIGHT TRIANGLE  |
| 36   | PUBLIC ART DISPLAY ON INTERIOR WALL BENEATH SHADE STRUCTURE, SEE ARCHITECTURAL                    |
| 37   | PUBLIC ART DISPLAY ON WEST WALL OF BUILDING, SEE ARCHITECTURAL                                    |

**PROJECT DATA - LOT 2 (PHASE 1)**

**LOT AREA TOTAL:** 0.707 ACRES = 30,797 SF  
**AREA OF LOT COVERED BY BUILDING:**  
 BUILDING 2: 6,000 SF (= 6,000 GFA) *this number is used to calculate net lot*  
**USABLE OPEN SPACE:**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 30 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 30  
 TOTAL PARKING PROVIDED = 38  
**MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)**  
 MOTORCYCLE PARKING PROVIDED = 2  
**BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)**  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

**PROJECT DATA - LOT 3 (PHASE 2)**

**LOT AREA TOTAL:** 0.756 ACRES = 32,931 SF  
**AREA OF LOT COVERED BY BUILDING:**  
 BUILDING 3: 4,350 SF (= 4,350 GFA) *this number is used to calculate net lot*  
**USABLE OPEN SPACE:**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 22 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED 22  
 TOTAL PARKING PROVIDED = 38  
**MOTORCYCLE PARKING REQUIRED = 1 (IDO Table 5-5-4)**  
 MOTORCYCLE PARKING PROVIDED = 1  
**BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)**  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)  
 NOTE: SITE WORK AND PARKING AREA PAVING (EXCLUDING THE BUILDING, DRIVE-THROUGH AND DUMPSTER ENCLOSURE) MAY BE CONSTRUCTED SIMULTANEOUSLY WITH PHASE 1.



CENTRAL BLVD NW

UNSER BLVD NW

**A1 SITE DEVELOPMENT PLAN**  
 1" = 30'-0"  
 0 30' 60'

**DEKKER PERICH SABATINI**

**DRAFT**

**NOT FOR CONSTRUCTION**

ARCHITECT  
ENGINEER  
PROJECT

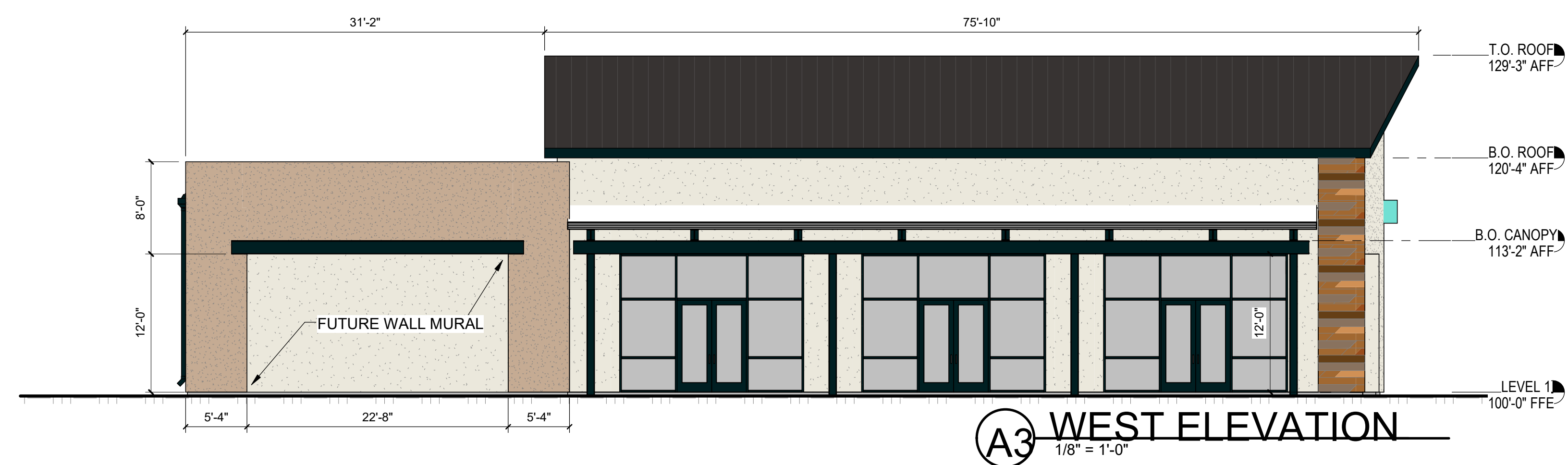
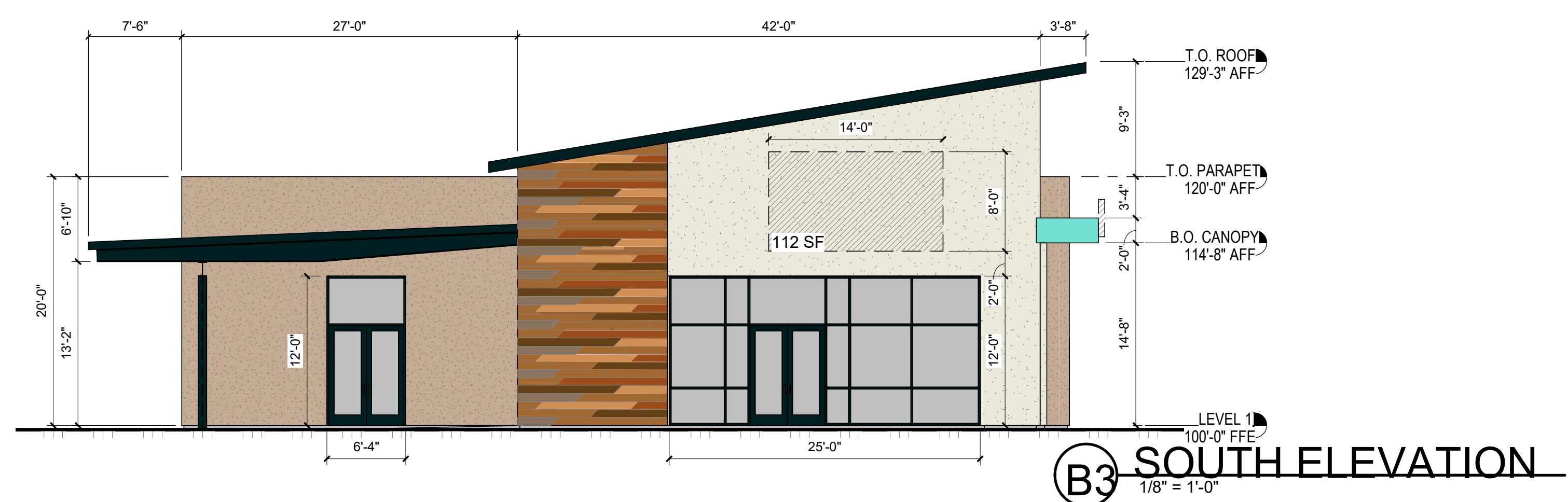
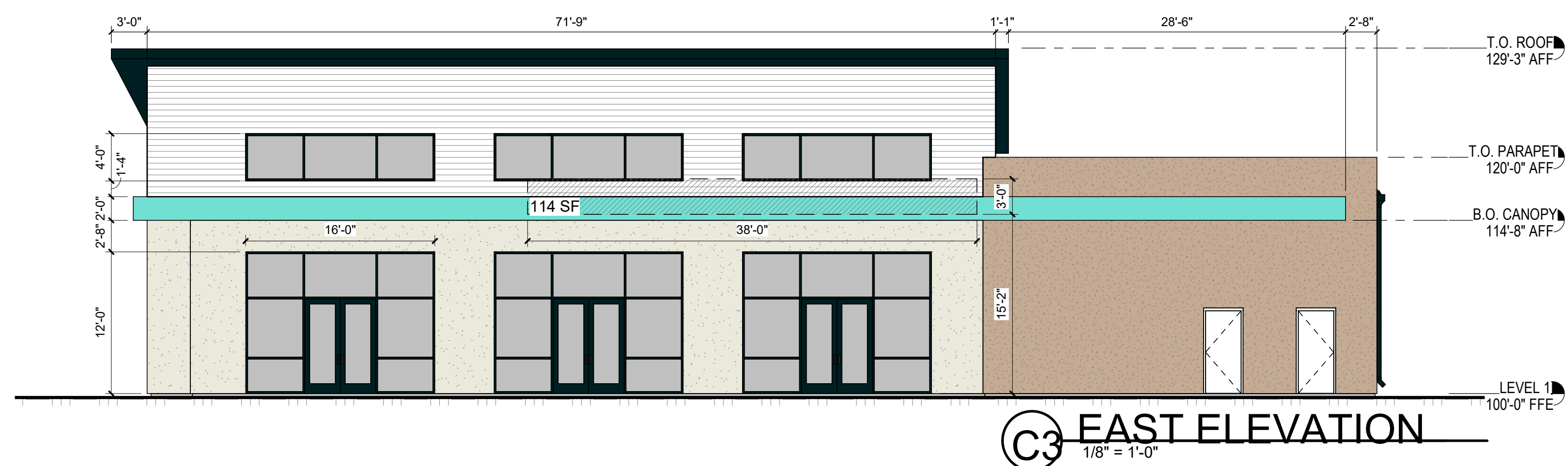
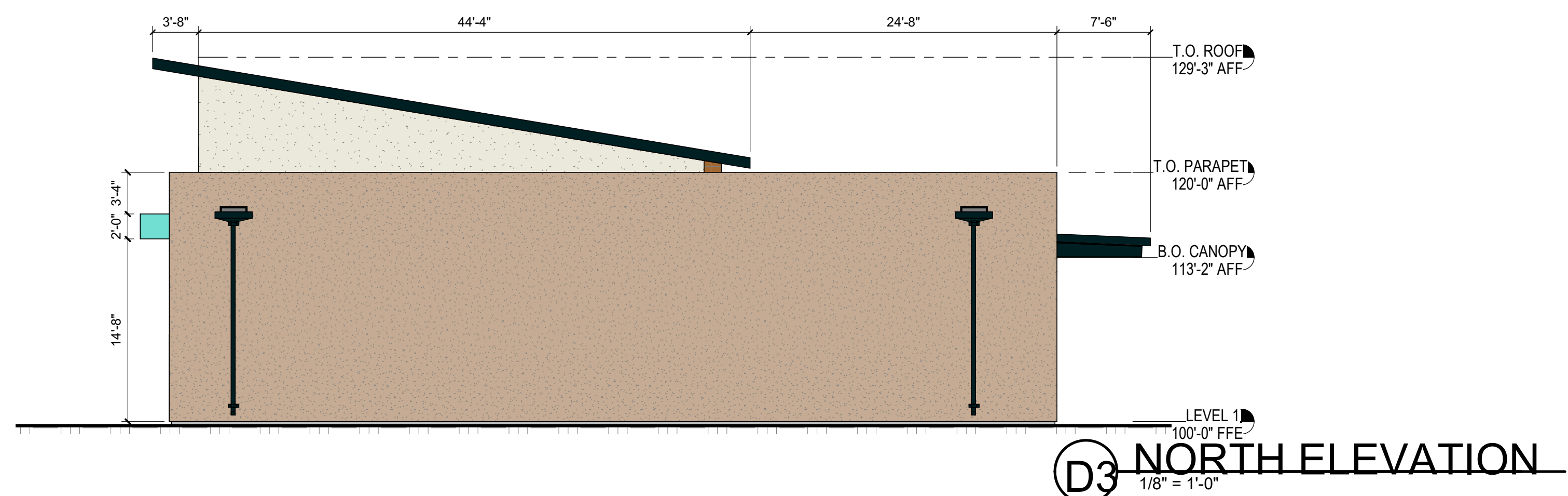
**NUEVO ATRISCO**  
 201 Unser Blvd NW  
 Albuquerque, NM 87121

|  |       |
|--|-------|
| PROJECT NO.  | TBD   |
| APPLICATION NO.  | TBD   |
| IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?<br>[ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. |       |
| DRB SITE DEVELOPMENT PLAN APPROVAL:  |       |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION   | DATE: |
| ABCWUA   | DATE: |
| PARKS & RECREATION DEPARTMENT  | DATE: |
| CITY ENGINEER/HYDROLOGY  | DATE: |
| ENVIRONMENTAL HEALTH (CONDITIONAL)   | DATE: |
| SOLID WASTE MANAGEMENT   | DATE: |
| DRB CHAIRPERSON, PLANNING DEPT.  | DATE: |
| CODE ENFORCEMENT   | DATE: |

| REVISIONS |  |
|-----------|--|
| △         |  |
| △         |  |
| △         |  |
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|              |                       |
|--------------|-----------------------|
| DRAWN BY     | D/P/S                 |
| REVIEWED BY  | D/P/S                 |
| DATE         | 06.03.2022            |
| PROJECT NO.  | 19-0059.002           |
| DRAWING NAME | SITE DEVELOPMENT PLAN |
| SHEET NO.    | SDP1.1                |





**GENERAL SHEET NOTES**

A. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF; SIZE AND LOCATION TO BE DETERMINED

**SHEET KEYNOTES**

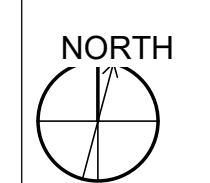
SEAL

**REFERENCE KEYNOTES**

**LEGEND**

- STUCCO\_WHITE COLOR
- STUCCO\_EARTHTONE COLOR
- STANDING SEAM METAL ROOF\_ DARK BRONZE
- METAL PANEL\_TURQUOISE
- SYNTHETIC MATERIAL\_WOOD TONED COLORS
- LINEAR METAL PANEL\_WHITE
- BUILDING MOUNTED SIGNAGE\_LIGHTING. MATERIALS AND COLORS TO BE DETERMINED

**KEY PLAN**



**DEKKER  
PERICH  
SABATINI**

**PROJECT**  
**Nuevo Atrisco**  
Unser Blvd + Central Ave NW  
Albuquerque, NM 87121

**SITE  
DEVELOPMENT  
PLAN SET**

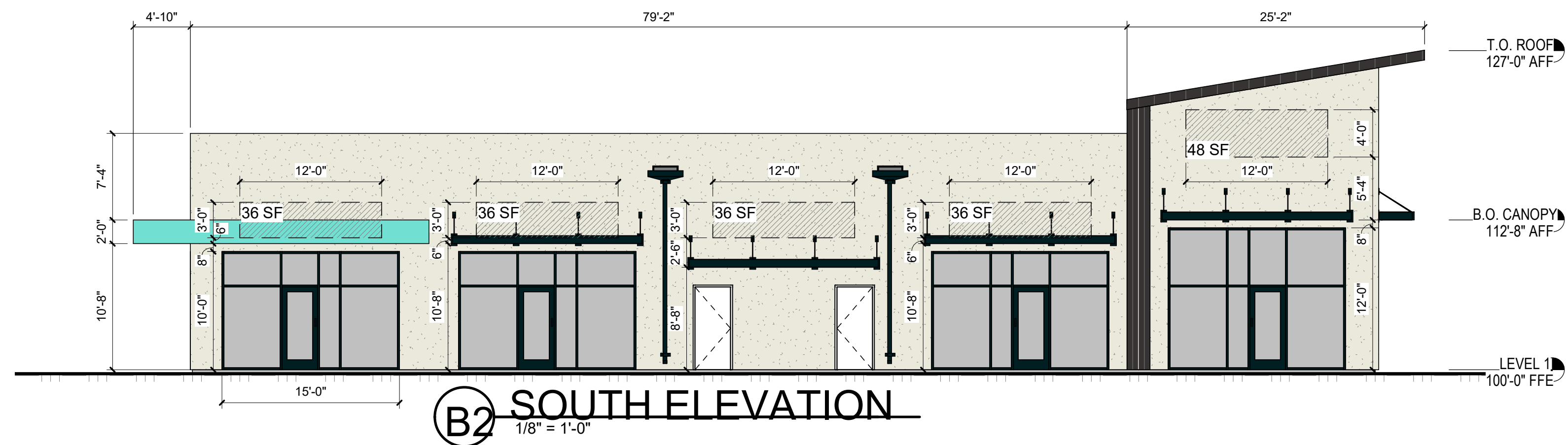
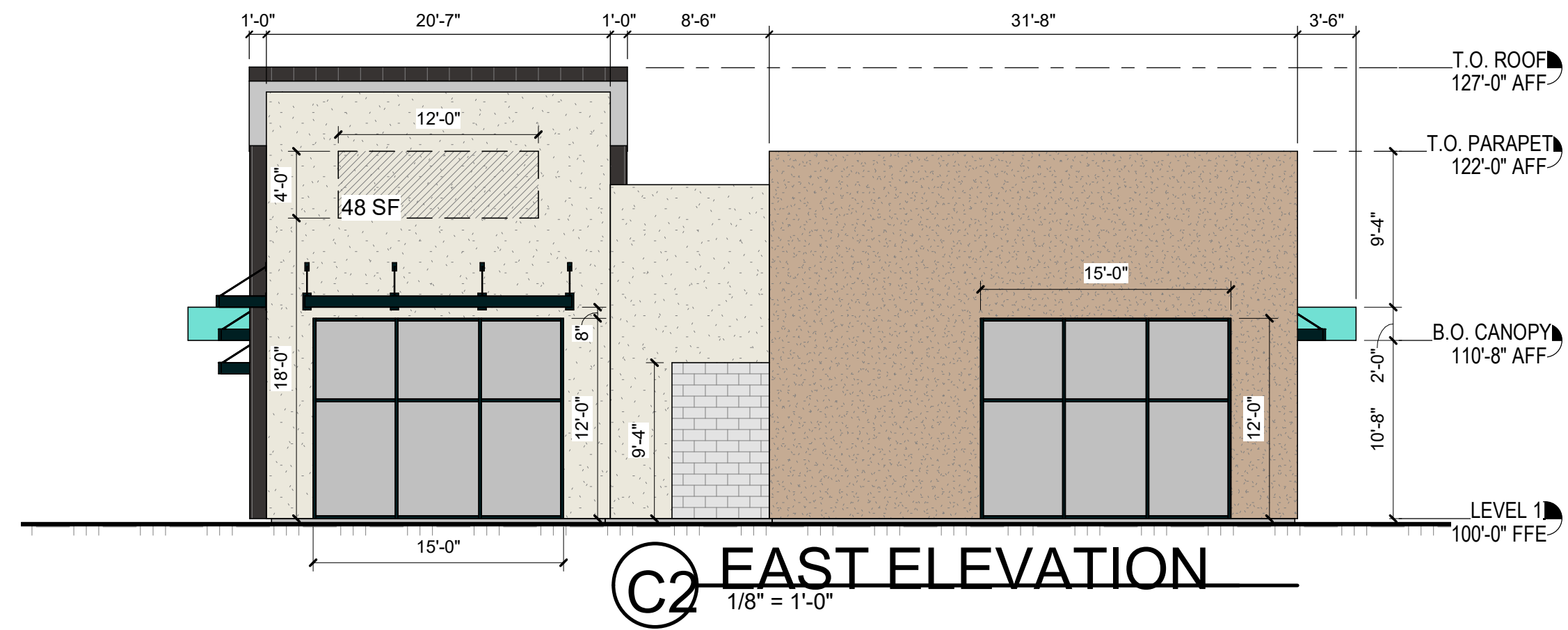
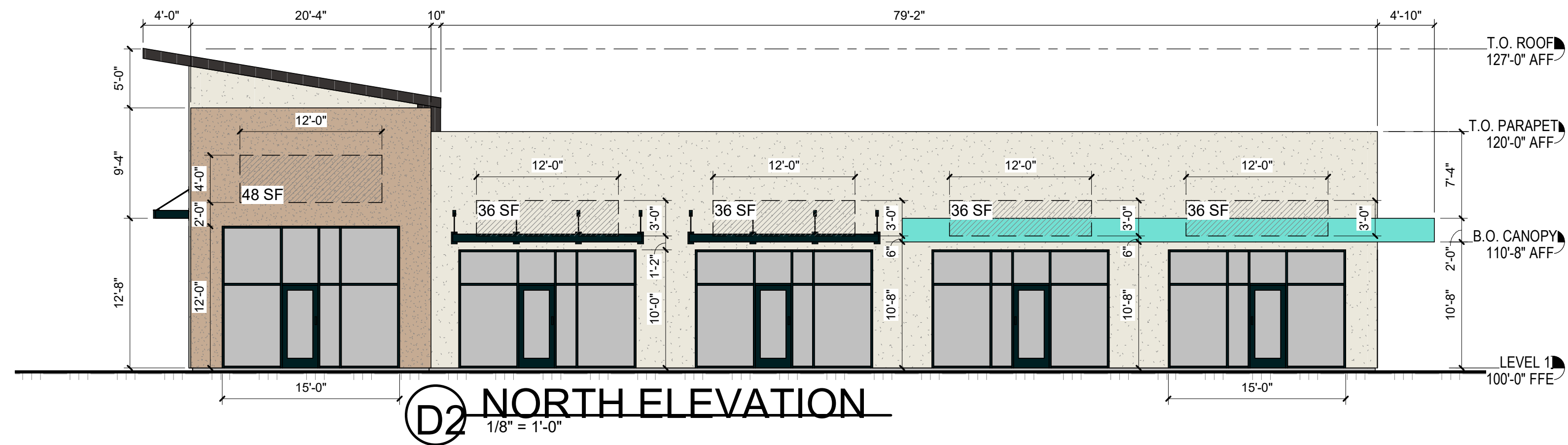
**REVISIONS**

- △
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DRAWN BY: KT  
REVIEWED BY: KK  
DATE: 06/03/2022  
PROJECT NO: 19-0059.002

DRAWING NAME  
**EXTERIOR  
ELEVATIONS  
(BUILDING 1)**

SHEET NO  
**SDP5.10**








**GENERAL SHEET NOTES**

A. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF; SIZE AND LOCATION TO BE DETERMINED

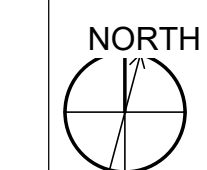
**SHEET KEYNOTES**

**REFERENCE KEYNOTES**

**LEGEND**

-  STUCCO\_WHITE COLOR
-  STUCCO\_EARTHTONE COLOR
-  STANDING SEAM METAL ROOF\_ DARK BRONZE
-  METAL PANEL\_TURQUOISE
-  BUILDING MOUNTED SIGNAGE\_LIGHTING, MATERIALS AND COLORS TO BE DETERMINED

**KEY PLAN**



**DEKKER  
PERICH  
SABATINI**

**PROJECT**  
**Nuevo Atrisco**  
Unser Blvd + Central Ave NW  
Albuquerque, NM 87121

**SITE  
DEVELOPMENT  
PLAN SET**

**REVISIONS**

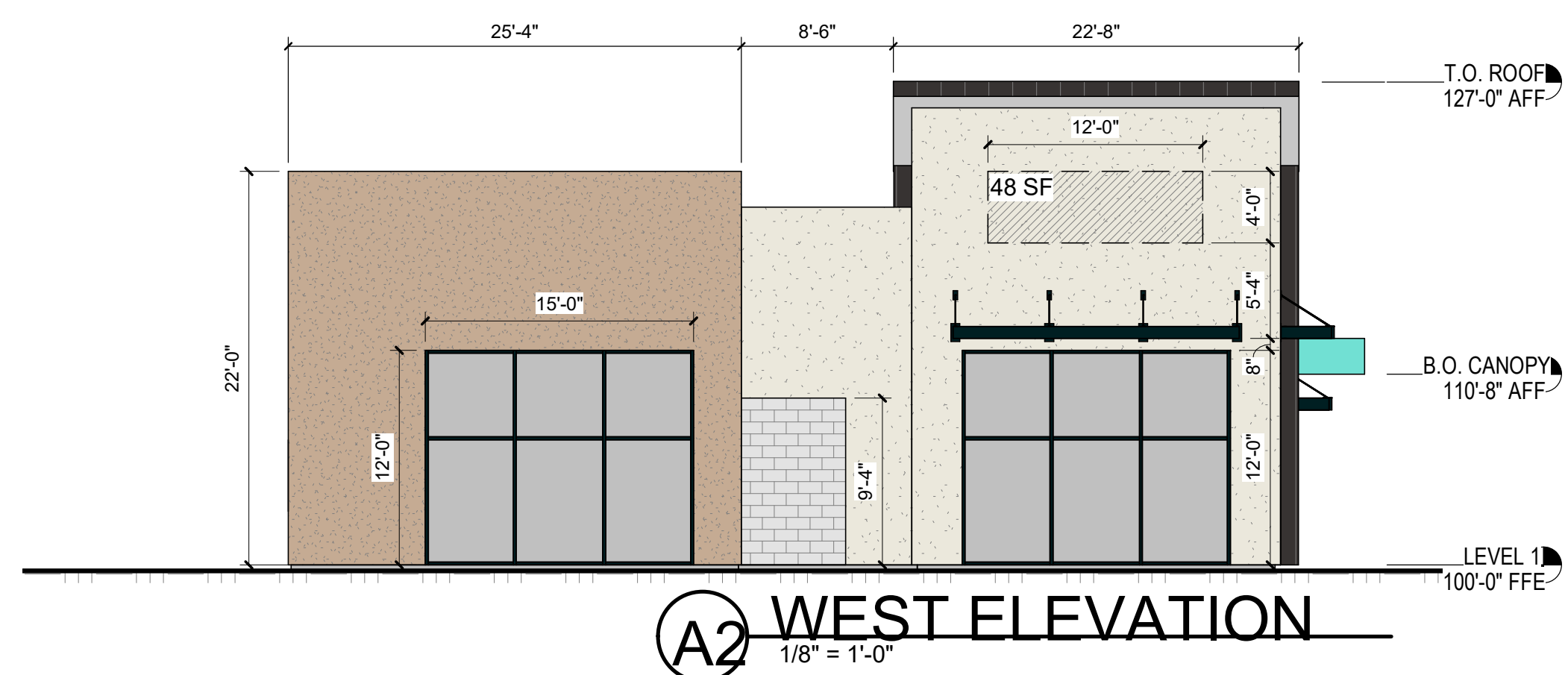
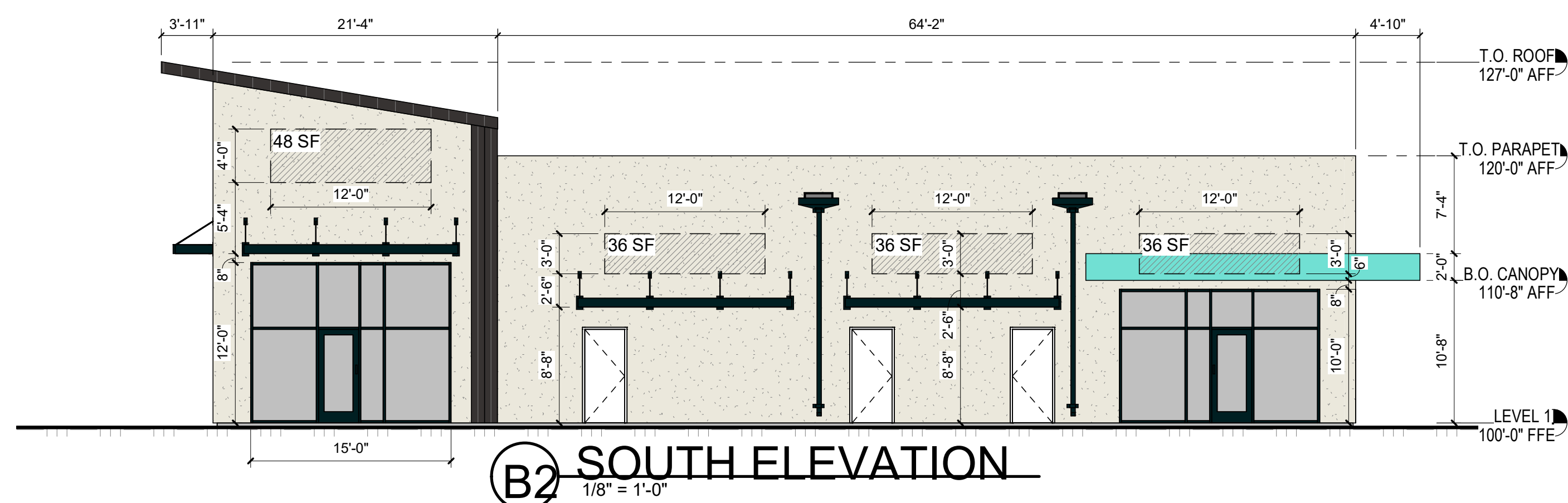
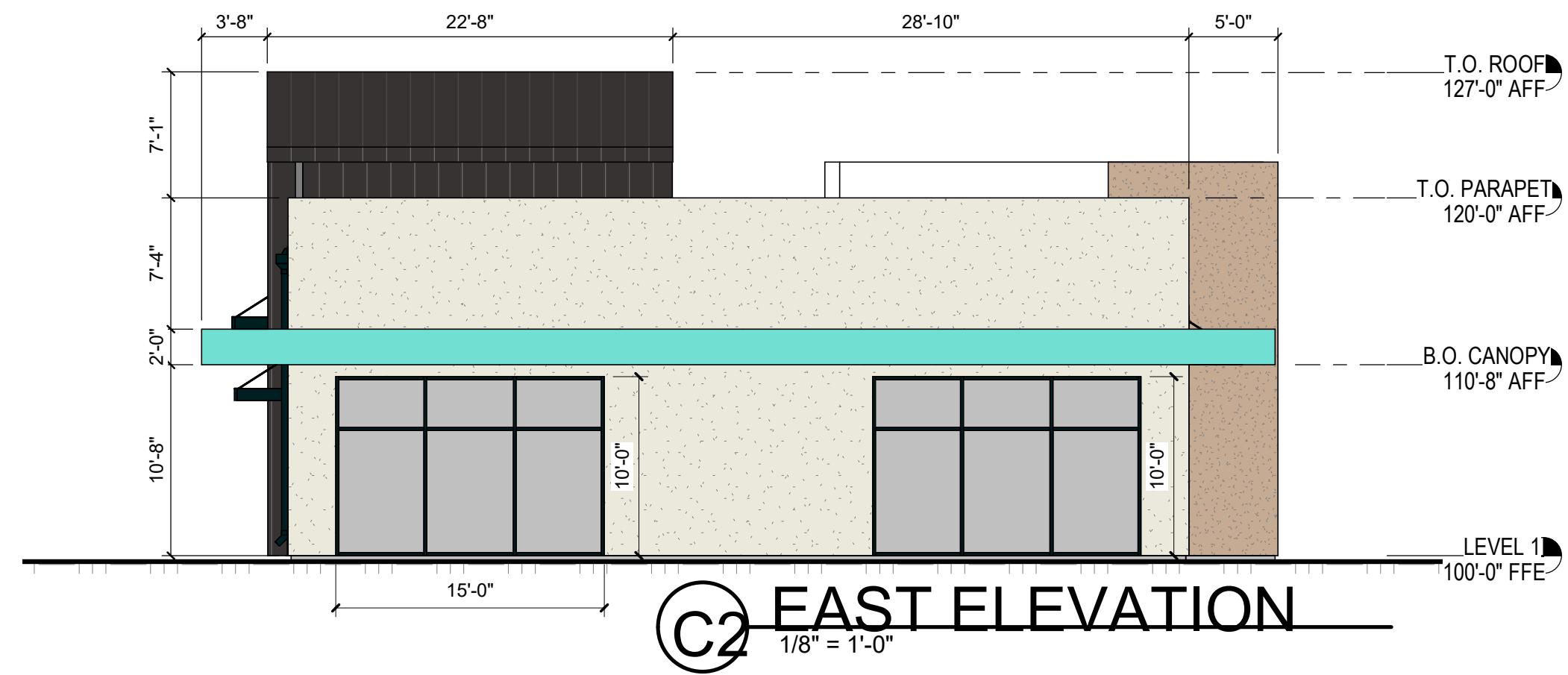
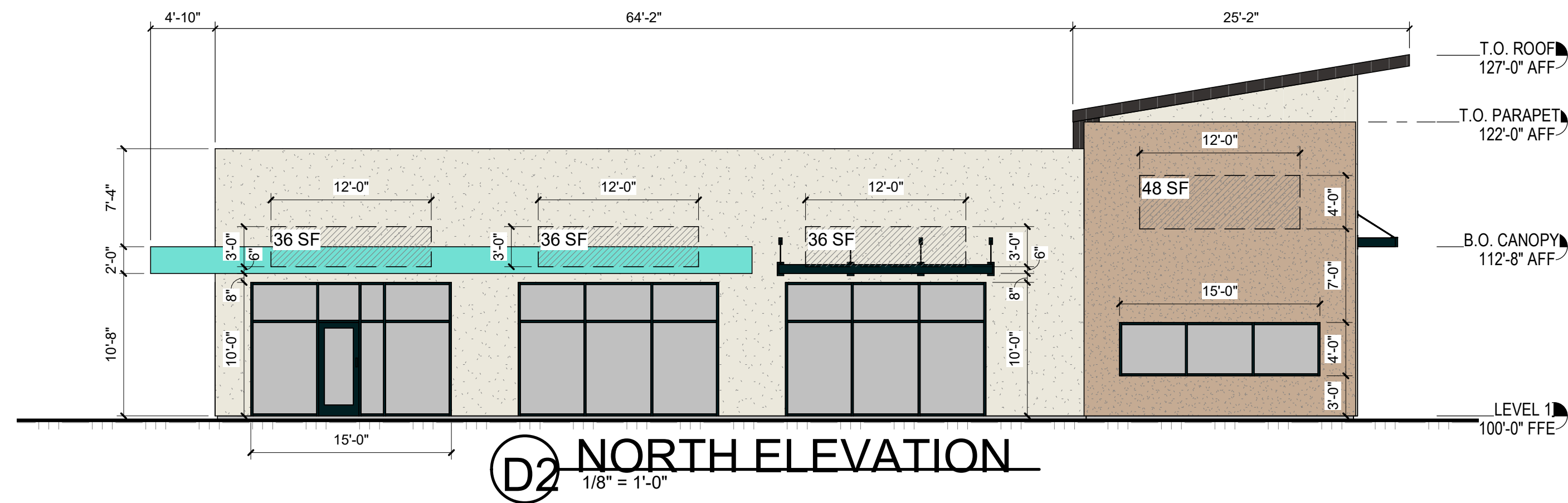
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DRAWN BY: KT  
REVIEWED BY: KK  
DATE: 06/03/2022  
PROJECT NO: 19-0059.002

DRAWING NAME  
**EXTERIOR  
ELEVATIONS  
(BUILDING 2)**

SHEET NO  
**SDP5.20**










**GENERAL SHEET NOTES**

A. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF; SIZE AND LOCATION TO BE DETERMINED

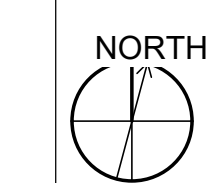
**SHEET KEYNOTES**

**REFERENCE KEYNOTES**

**LEGEND**

-  STUCCO\_WHITE COLOR
-  STUCCO\_EARTHSTONE COLOR
-  STANDING SEAM METAL ROOF\_ DARK BRONZE
-  METAL PANEL\_ TURQUOISE
-  BUILDING MOUNTED SIGNAGE\_ LIGHTING. MATERIALS AND COLORS TO BE DETERMINED

**KEY PLAN**



**DEKKER  
PERICH  
SABATINI**

**PROJECT**  
**Nuevo Atrisco**  
Unser Blvd + Central Ave NW  
Albuquerque, NM 87121

**SITE  
DEVELOPMENT  
PLAN SET**

**REVISIONS**

- △
- △
- △
- △
- △

DRAWN BY: KT  
REVIEWED BY: KK  
DATE: 06/03/2022  
PROJECT NO: 19-0059.002

**DRAWING NAME**  
**EXTERIOR  
ELEVATIONS  
(BUILDING 3)**

**SHEET NO**  
**SDP5.30**

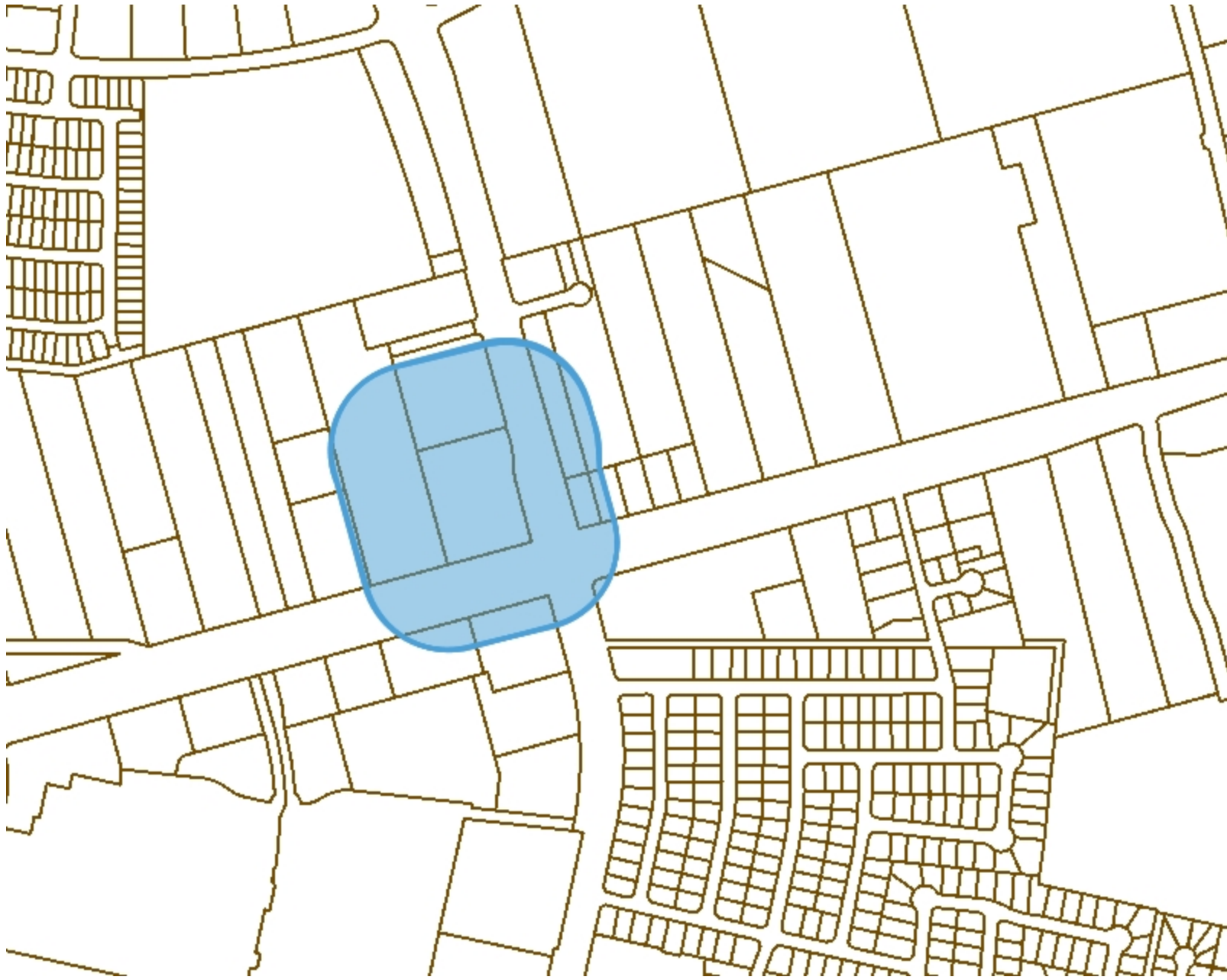
## **08 HEARING NOTIFICATIONS**

- D. Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing.






# Nuevo Atrisco Buffer Map



## Legend

-  Bernalillo County Parcels
- Municipal Limits**
-  Corrales
-  Edgewood
-  Los Ranchos
-  Rio Rancho
-  Tijeras
-  UNINCORPORATED

## Notes

1,068 0 534 1,068 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
6/2/2022 © City of Albuquerque

1: 6,408

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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

START YOUR ENGINES LLC  
8301 LOMAS BLVD NE  
ALBUQUERQUE NM 87110-7908

D151PCK001 LLC ATTN: AR GLOBAL  
INVESTMENTS LLC  
405 PARK AVE FLOOR 4TH  
NEW YORK NY 10022-4405

MAZER BOYD K ETUX  
831 MI RANCHITO LN  
LOS LUNAS NM 87031-4912

REGENTS OF UNM C/O REAL ESTATE  
DEPT  
1 UNIVERSITY OF NM NE MSC06 3595  
ALBUQUERQUE NM 87131-0001

BERNCO INVESTORS LLC  
6900 E. CAMELBACK ROAD, SUITE 607  
SCOTTSDALE AZ 85251-8044

BERNALILLO COUNTY C/O COUNTY  
MANAGER  
415 SILVER AVE SW  
ALBUQUERQUE NM 87102-3225

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103

CITY OF ALBUQUERQUE  
PO BOX 2248  
ALBUQUERQUE NM 87103-2248

NUEVO ATRISCO APARTMENTS LIMITED  
PARTNERSHIP LLLP  
901 PENNSYLVANIA ST NE  
ALBUQUERQUE NM 87110-7403

ARMSTRONG CENTRAL UNSER BLVD  
LLC  
1 ARMSTRONG PL  
BUTLER PA 16001

QUEEN OF ANGELS LLC  
PO BOX 2979  
CORRALES NM 87048-2979

DIALYSIS CLINIC INC  
1633 CHURCH ST SUITE 500  
NASHVILLE TN 37203-2948

KWAN CHIN-LIN SHA & TAK-CHUEN  
TRUSTEES KWAN RVT  
30 W ST APT 5B  
NEW YORK NY 10004-1054

UNSER ROBERT W TRUSTEE UNSER RVT  
7700 CENTRAL AVE SW  
ALBUQUERQUE NM 87121-2113



# 09 SITE PLAN CHECKLIST

# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***

6/03/2022

**Applicant or Agent Signature / Date**

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'



# SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

# SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
  - N/A 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - N/A 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - 3. Striping and Sign details for one-way drive through facilities

## 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - N/A 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - N/A 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
  - 6. Location of street lights
  - 7. Show and dimension clear sight triangle at each site access point
  - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
  - N/A 1. Bikeways and bike-related facilities
  - N/A 2. Pedestrian trails and linkages
  - N/A 3. Transit facilities, including routes, bus bays and shelters existing or required

## 4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use



# SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- N/A 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- N/A 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

## SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- N/A 7. Location of Retaining walls

### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- N/A 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



# **10** SITE PLAN AND RELATED DRAWINGS

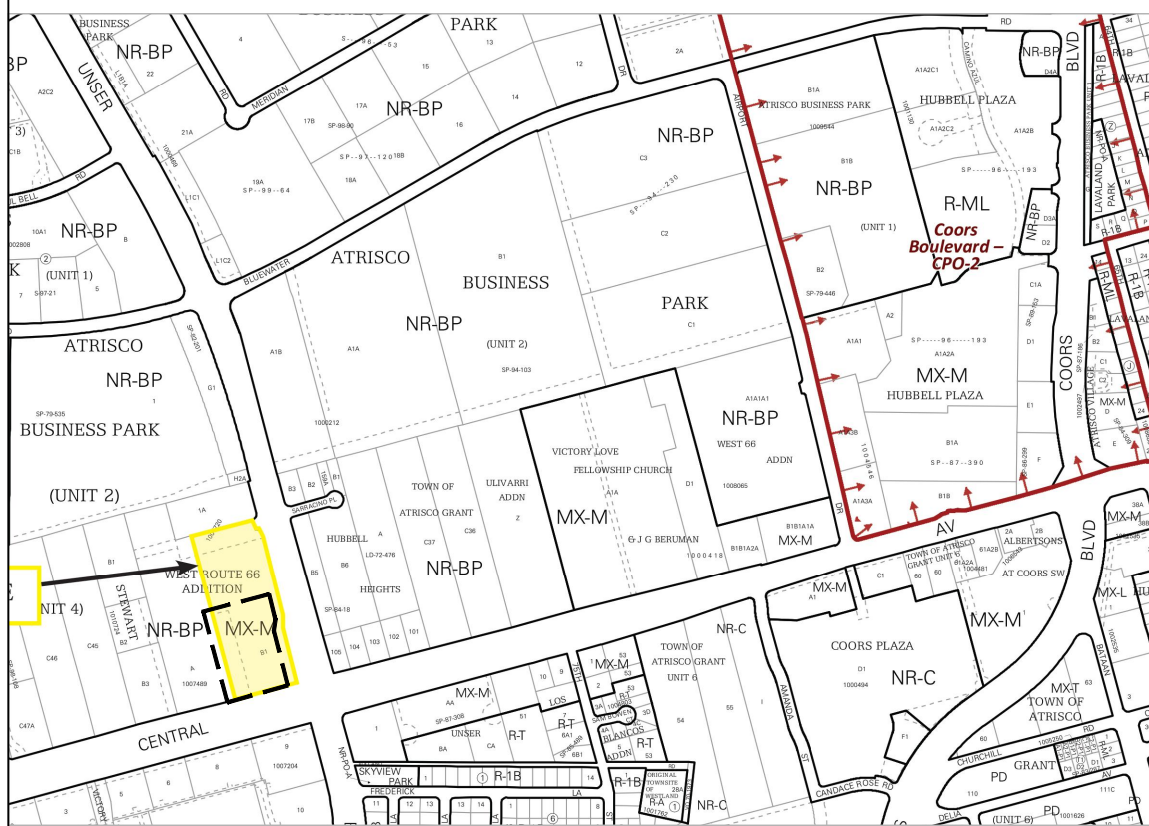




**GENERAL SHEET NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- G. NEW CONSTRUCTION WILL ENSURE CONTINUOUS ACCESS FOR SOLID WASTE DURING CONSTRUCTION TO THE ADJACENT MULTI-FAMILY APARTMENTS.
- H. SITE LIGHTING SHALL BE PROVIDED BY LED LIGHT POLE FIXTURES APPROXIMATELY 20 FT IN HEIGHT, TYPICAL.

**VICINITY MAP**



**LEGEND**

- LANDSCAPE AREA
- SYNTHETIC TURF
- PROPERTY LINE
- LOT LINE
- ASPHALT PAVEMENT MARKING: WHITE DIRECTIONAL ARROW
- ASPHALT PAVEMENT MARKING: BLUE ACCESSIBLE PARKING SYMBOL
- EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- FIRE LANE PAINTING: RED
- FOOD TRAILER (MICRO-RESTAURANT)
- EXISTING LIGHT POLE

**PROJECT DATA - TOTAL**

**ZONING:** IDO MX-M + PREMIUM TRANSIT (PT) DESIGNATION  
**LEGAL DESCRIPTION:**  
 TR A-1 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 3815 AC; TR A-2 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 2725 AC; TR B PLAT OF TRACTS A AND B NUEVO ATRISCO (BEING A REPLAT OF TRACT B1, WEST ROUTE 66 ADDITION II) CONT. 3,136 AC  
**SITE AREA TOTAL:** 3.136 ACRES = 136,604 SF  
**IDO ZONE ATLAS:** K-10-Z (MAY 2018)  
**SETBACKS (MIN/MAX):** FRONT 0'15'; SIDE= 0'15'; REAR= 0'  
**BUILDING INFORMATION: HEIGHT/OCCUPANCY/CONSTRUCTION TYPE**  
 BUILDING 1: COMMUNITY PLAZA BUILDING 29'-3" / A-2 / VB-SPRINKLED  
 BUILDING 2: MULTI-TENANT BUILDING 27'-0" / M and A-2 / VB-SPRINKLED  
 BUILDING 3: RESTAURANT 27'-0" / A-2 / VB-SPRINKLED  
**MAX HEIGHT ALLOWED:** 65'-0"

**PROJECT DATA - LOT 1 (PHASE 1)**

**LOT AREA TOTAL:** 1.673 ACRES = 72,876 SF  
**AREA OF LOT COVERED BY BUILDING:**  
 BUILDING 1: 5,200 SF (= 5,200 GFA) *this number is used to calculate net lot*  
**USABLE OPEN SPACE:**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 26 PARKING SPACES REQUIRED  
 2 SPACES PER 1 FOOD TRUCK = 18 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 44  
 TOTAL PARKING PROVIDED = 94  
**MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)**  
 MOTORCYCLE PARKING PROVIDED = 2  
**BICYCLE PARKING REQUIRED = 4 (IDO Table 5-5-5)**  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

**KEYED NOTES**

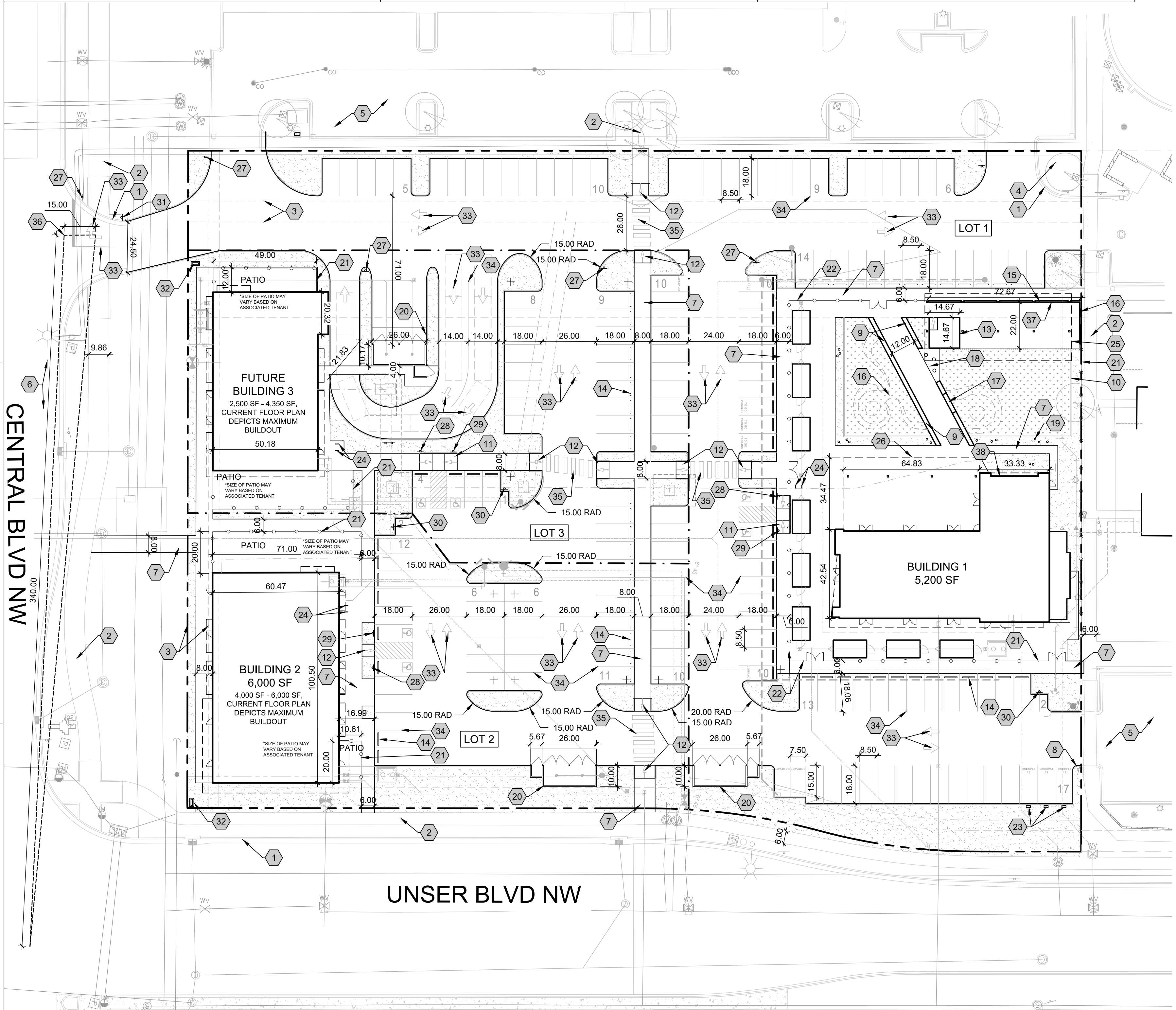
- | CODE | DESCRIPTION  |
|------|--|
| 1    | EXISTING CONCRETE CURB   |
| 2    | EXISTING CONCRETE SIDEWALK   |
| 3    | EXISTING EASEMENT  |
| 4    | EXISTING LANDSCAPE AND MULCH TO REMAIN   |
| 5    | EXISTING ASPHALT PAVING  |
| 6    | EXISTING DECEL LANE  |
| 7    | CONCRETE SIDEWALK, SEE A2/SDP1.2   |
| 8    | CONCRETE CURB AND GUTTER, SEE A1/SDP1.2  |
| 9    | CONCRETE SEAT WALL, SEE B4/SDP1.2  |
| 10   | CONCRETE MOW CURB, SEE D4/SDP1.2   |
| 11   | CONCRETE ACCESSIBLE RAMP A, SEE B2/SDP1.2  |
| 12   | CONCRETE ACCESSIBLE RAMP B, SEE B3/SDP1.2  |
| 13   | CONCRETE STAGE RAISED 6"   |
| 14   | CONCRETE PARKING BUMPER, SEE D2/SDP1.2   |
| 15   | PLAY ELEMENT: ART FEATURE WITH CHALK WALL  |
| 16   | PLAY ELEMENT: ARTIFICIAL TURF TUNNEL   |
| 17   | PLAY ELEMENT: LINEAR WATER FEATURE   |
| 18   | PLAY ELEMENT: BUBBLER PAD  |
| 19   | PLAY ELEMENT: FOSSIL HUNT FEATURE  |
| 20   | TRASH ENCLOSURE WITH 5' X 5' GREASE RECYCLING STORAGE, SEE D5/SDP1.2                               |
| 21   | FENCE: METAL 42" HEIGHT  |
| 22   | FENCE: REMOVABLE FENCE SECTION   |
| 23   | EV CHARGING STATION LV2  |
| 24   | TWO-POINT LOCK BICYCLE RACK, SEE D3/SDP1.2   |
| 25   | SHADE STRUCTURE  |
| 26   | ATTACHED SHADE STRUCTURE   |
| 27   | SITE SIGNAGE: STOP SIGN, SEE D1/SDP1.2   |
| 28   | SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE D1/SDP1.2  |
| 29   | SITE SIGNAGE: ACCESSIBLE PARKING, SEE D1/SDP1.2  |
| 30   | SITE SIGNAGE: MOTORCYCLE PARKING ONLY, SEE D1/SDP1.2   |
| 31   | SITE SIGNAGE: ONE WAY, SEE D1/SDP1.2   |
| 32   | SITE SIGNAGE: FREE STANDING MULTI-TENANT SIGN, LIGHTING, SIZE, MATERIAL AND COLOR TO BE DETERMINED |
| 33   | DIRECTIONAL ARROW: WHITE, SEE B1/SDP1.2  |
| 34   | ASPHALT STRIPING: WHITE, SEE B1/SDP1.2   |
| 35   | CROSSWALK STRIPING, SEE SDP1.2   |
| 36   | CLEAR SIGHT TRIANGLE   |
| 37   | PUBLIC ART DISPLAY ON INTERIOR WALL BENEATH SHADE STRUCTURE, SEE ARCHITECTURAL                     |
| 38   | PUBLIC ART DISPLAY ON WEST WALL OF BUILDING, SEE ARCHITECTURAL                                     |

**PROJECT DATA - LOT 2 (PHASE 1)**

**LOT AREA TOTAL:** 0.707 ACRES = 30,797 SF  
**AREA OF LOT COVERED BY BUILDING:**  
 BUILDING 2: 6,000 SF (= 6,000 GFA) *this number is used to calculate net lot*  
**BUILDING SIZE:** 4,000 SF - 6,000 SF. *Current floor plan depicts maximum buildout*  
**USABLE OPEN SPACE:**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 30 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 30  
 TOTAL PARKING PROVIDED = 38  
**MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)**  
 MOTORCYCLE PARKING PROVIDED = 2  
**BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)**  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

**PROJECT DATA - LOT 3 (PHASE 2)**

**LOT AREA TOTAL:** 0.756 ACRES = 32,931 SF  
**AREA OF LOT COVERED BY BUILDING:**  
 BUILDING 3: 4,350 SF (= 4,350 GFA) *this number is used to calculate net lot*  
**BUILDING SIZE:** 2,500 SF - 4,350 SF. *Current floor plan depicts maximum buildout*  
**USABLE OPEN SPACE:**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 22 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED 22  
 TOTAL PARKING PROVIDED = 38  
**MOTORCYCLE PARKING REQUIRED = 1 (IDO Table 5-5-4)**  
 MOTORCYCLE PARKING PROVIDED = 1  
**BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)**  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)  
**NOTE:** SITE WORK AND PARKING AREA PAVING (EXCLUDING THE BUILDING, DRIVE-THROUGH AND DUMPSTER ENCLOSURE) MAY BE CONSTRUCTED SIMULTANEOUSLY WITH PHASE 1.



CENTRAL BLVD NW

UNSER BLVD NW

**A1 SITE DEVELOPMENT PLAN**  
 1" = 30'-0"  
 0 30' 60'

**DEKKER PERICH SABATINI**

ARCHITECT  
  
 ENGINEER

PROJECT

**NUEVO ATRISCO**  
 201 Unser Blvd NW  
 Albuquerque, NM 87121

|  |       |
|--|-------|
| PROJECT NO.  | TBD   |
| APPLICATION NO.  | TBD   |
| IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?<br>[ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. |       |
| DRB SITE DEVELOPMENT PLAN APPROVAL:  |       |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION   | DATE: |
| ABCWUA   | DATE: |
| PARKS & RECREATION DEPARTMENT  | DATE: |
| CITY ENGINEER/HYDROLOGY  | DATE: |
| ENVIRONMENTAL HEALTH (CONDITIONAL)   | DATE: |
| SOLID WASTE MANAGEMENT   | DATE: |
| DRB CHAIRPERSON, PLANNING DEPT.  | DATE: |
| CODE ENFORCEMENT   | DATE: |

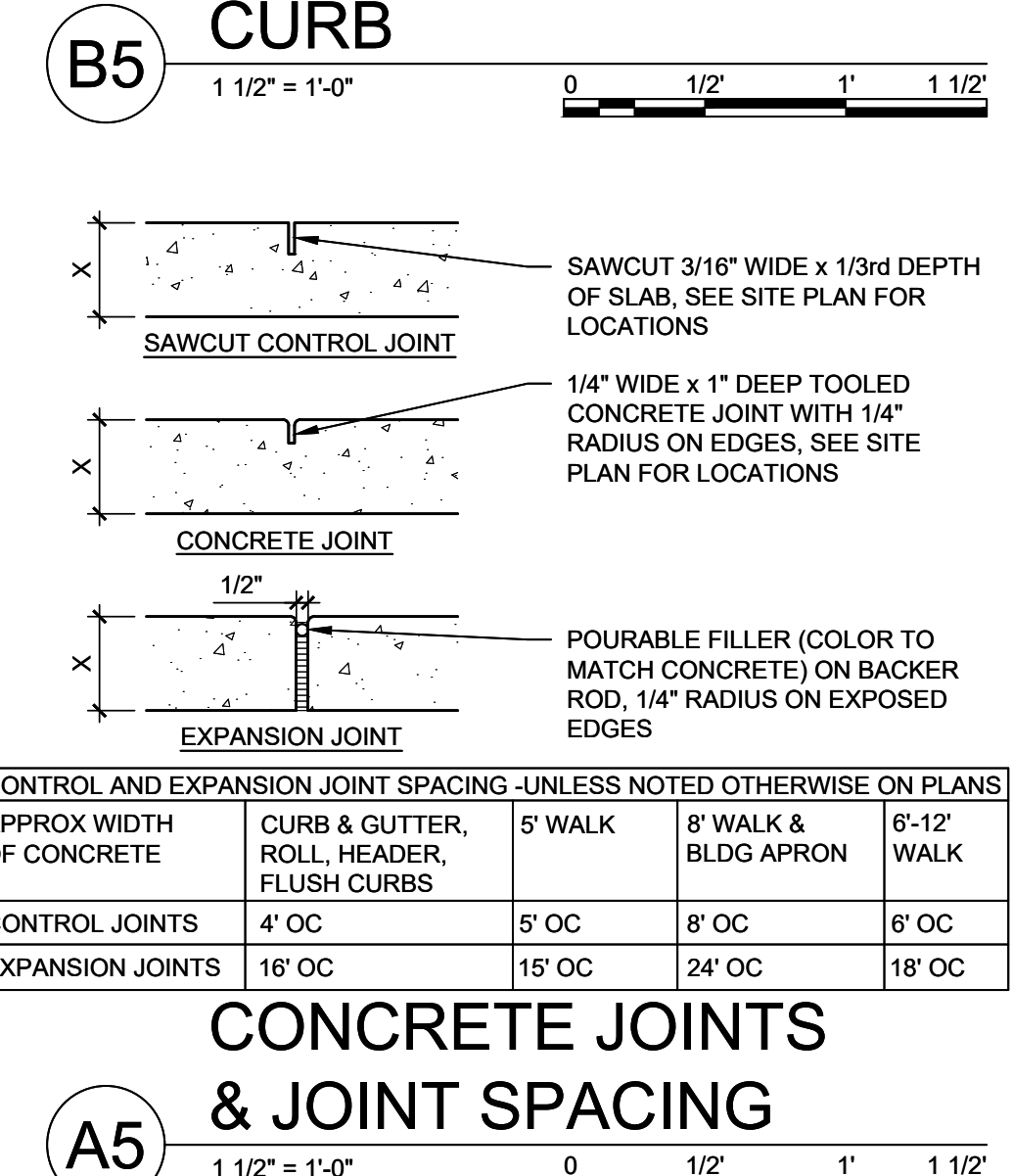
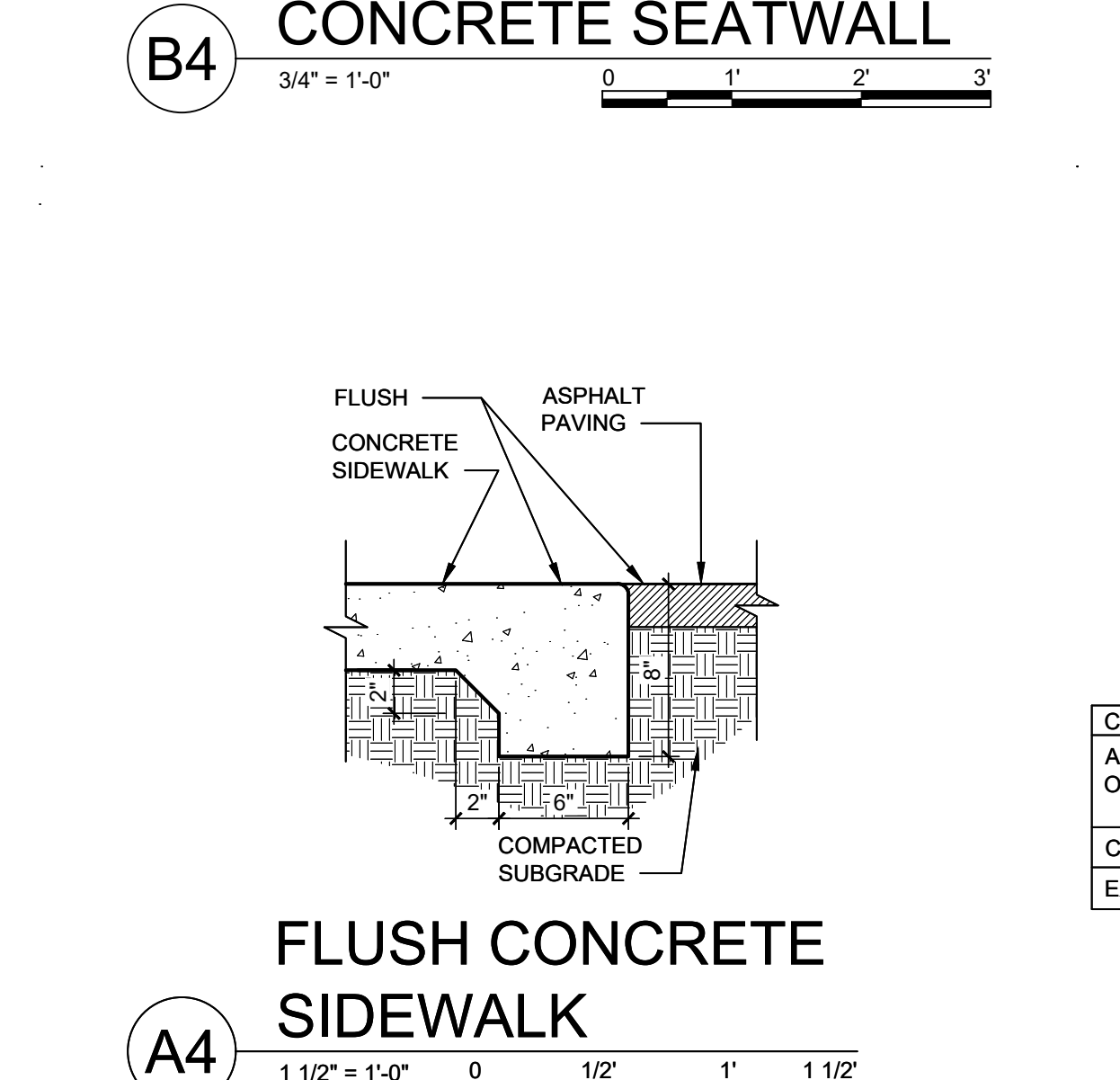
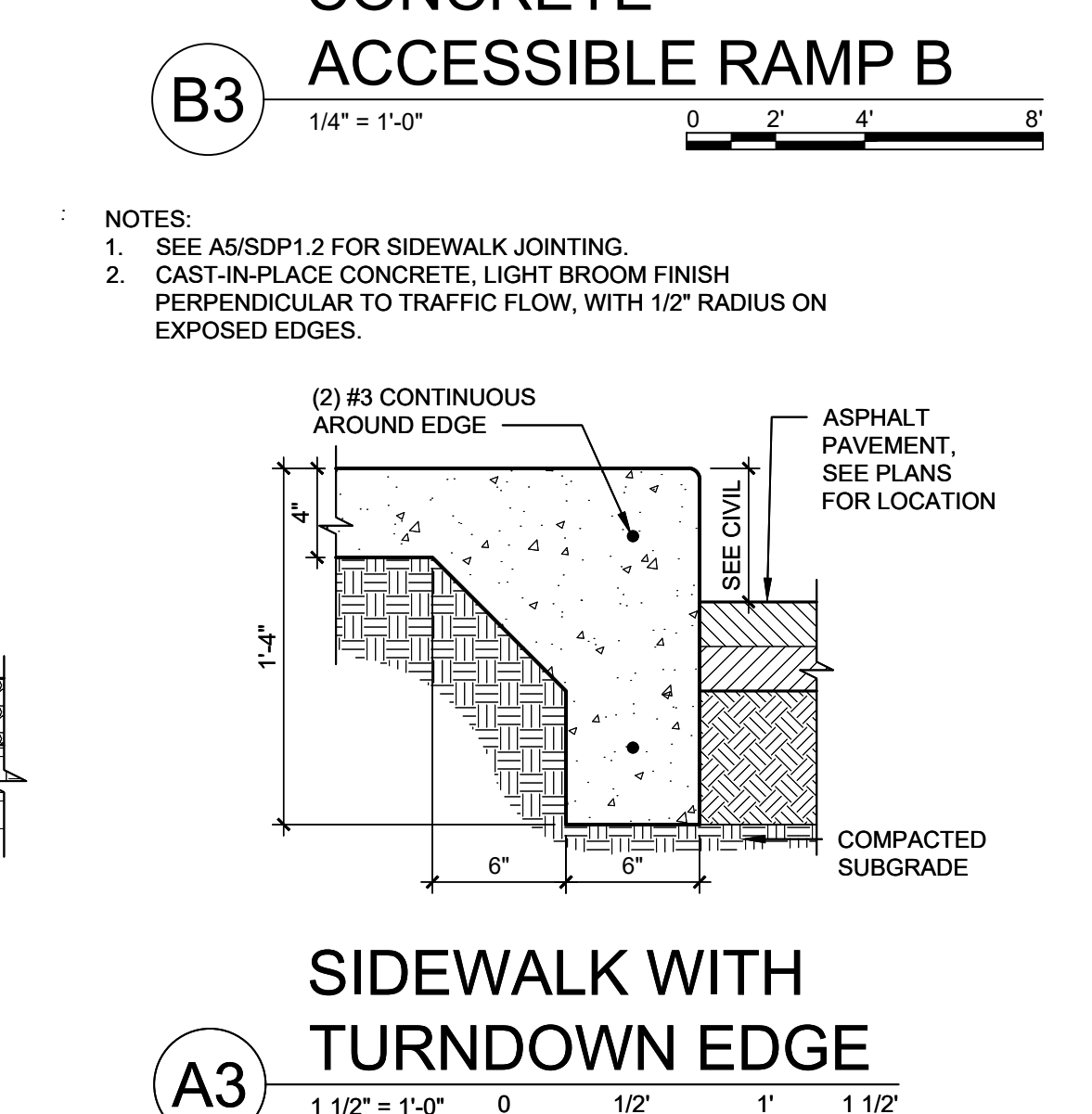
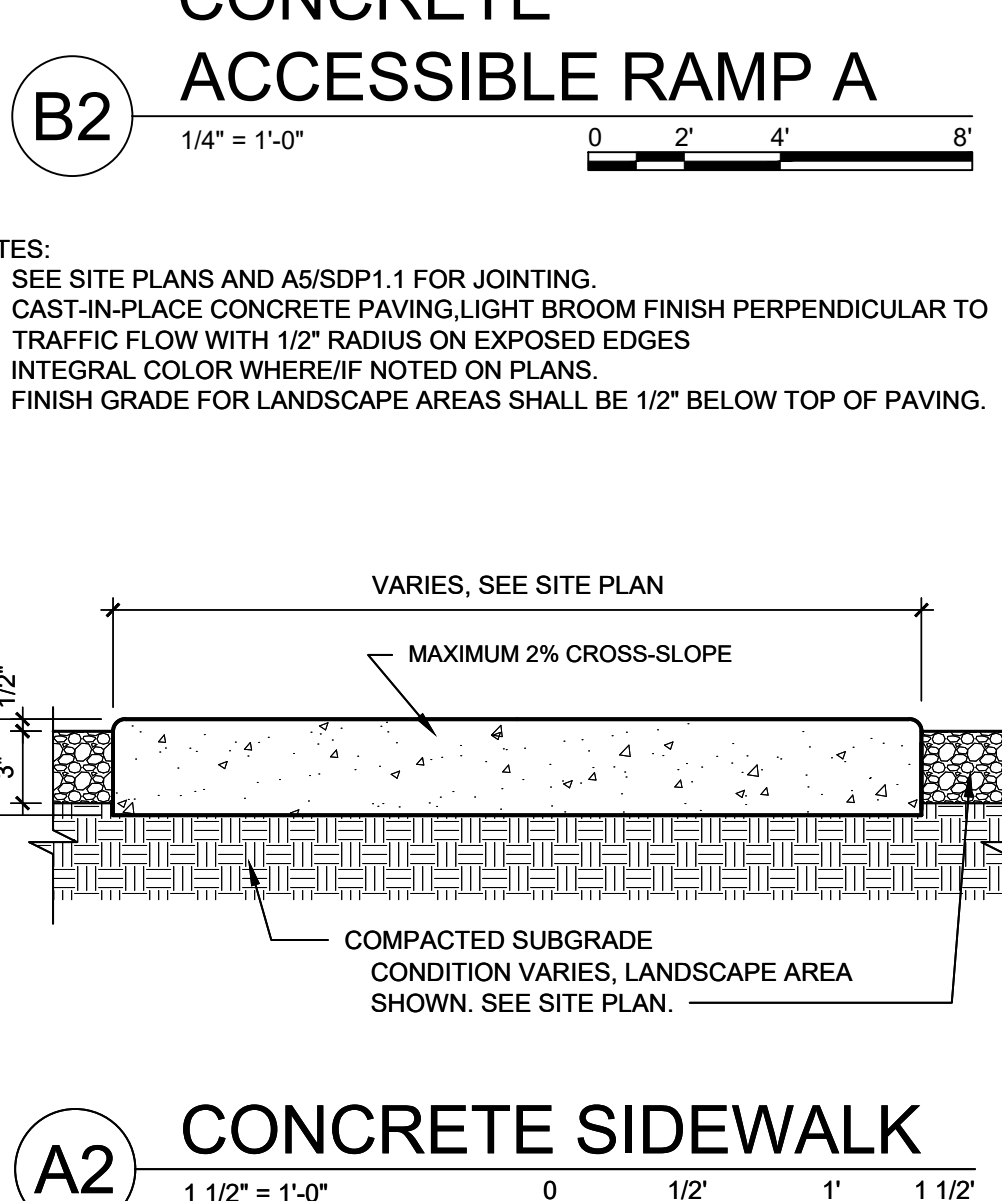
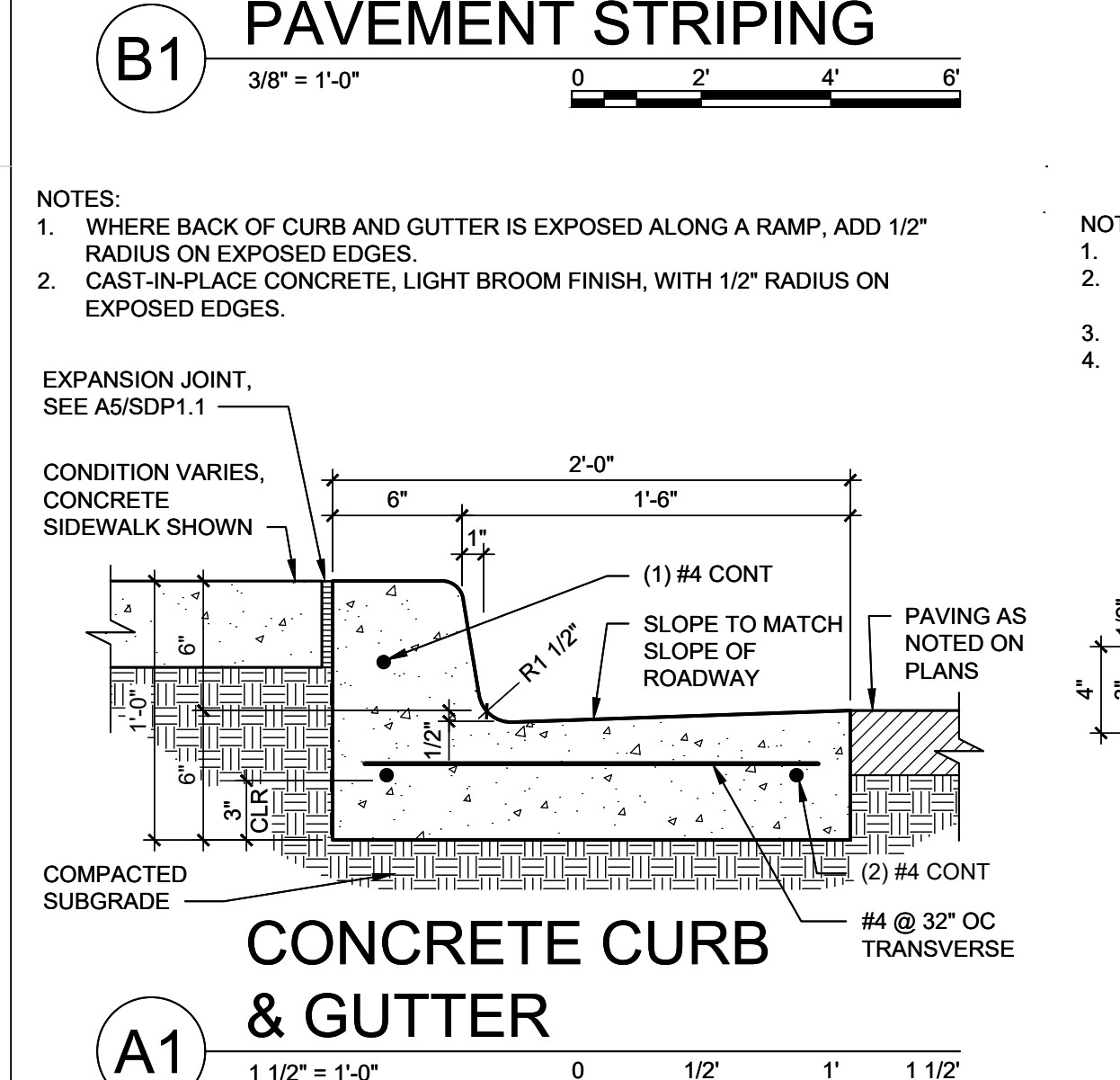
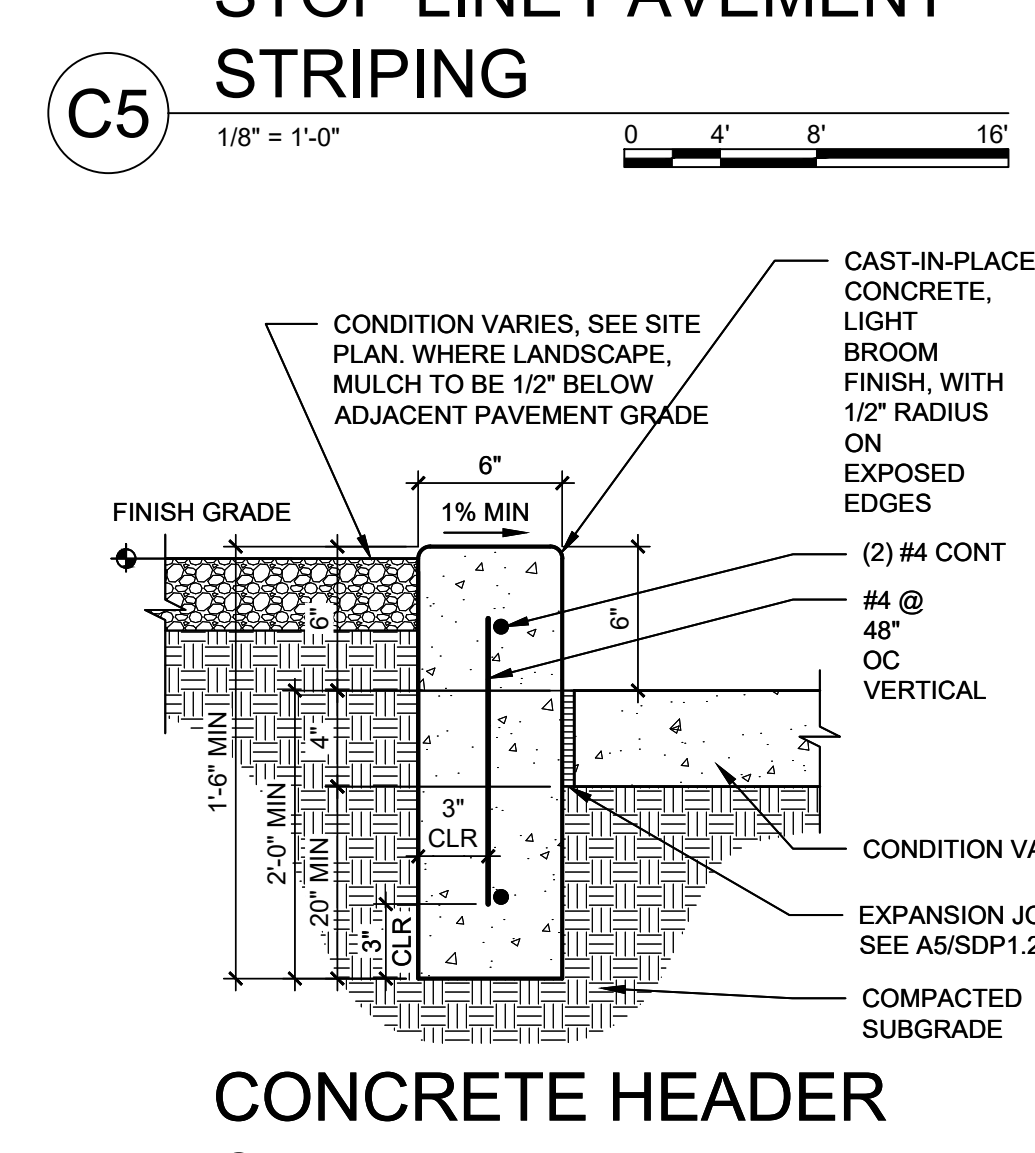
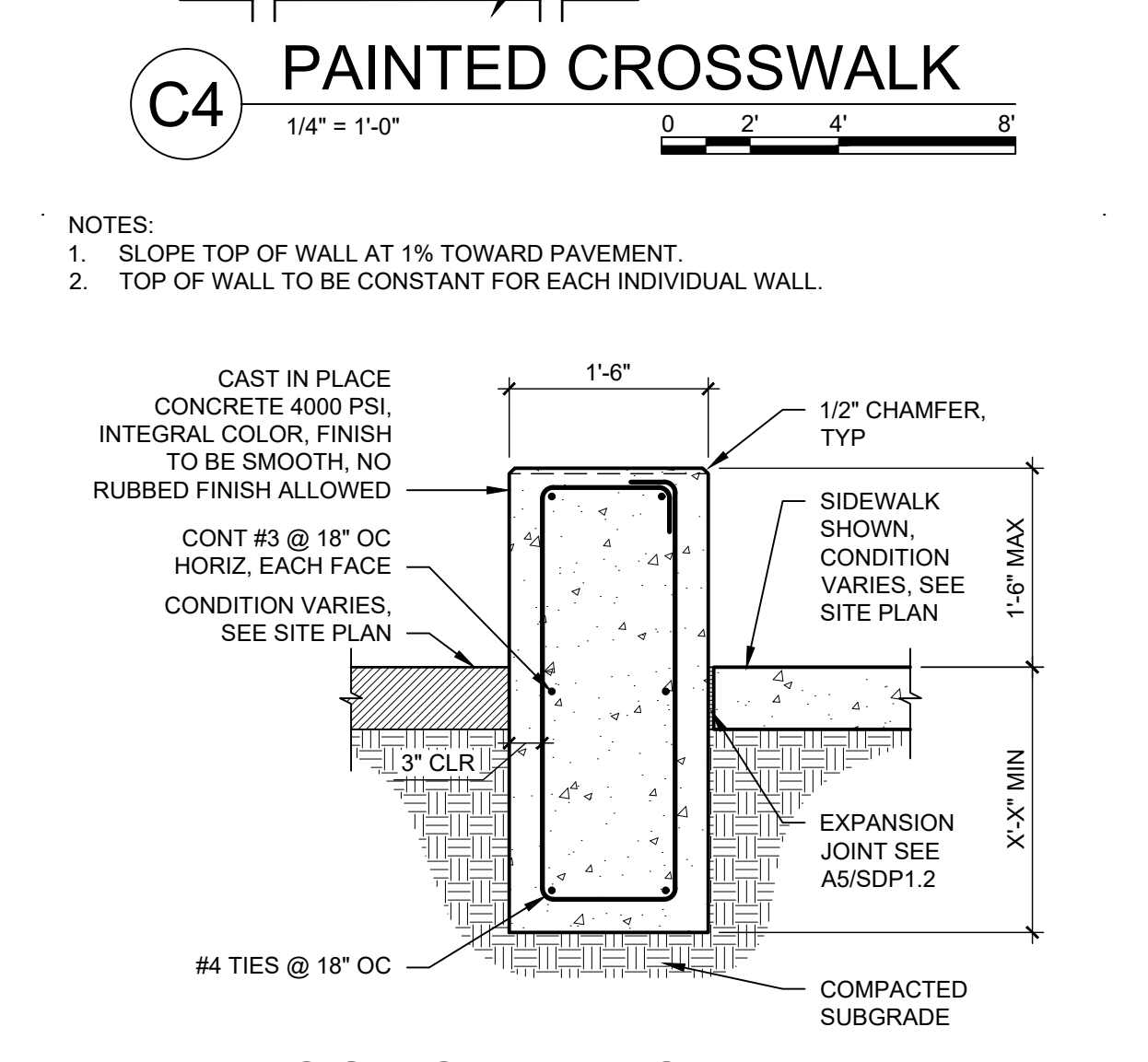
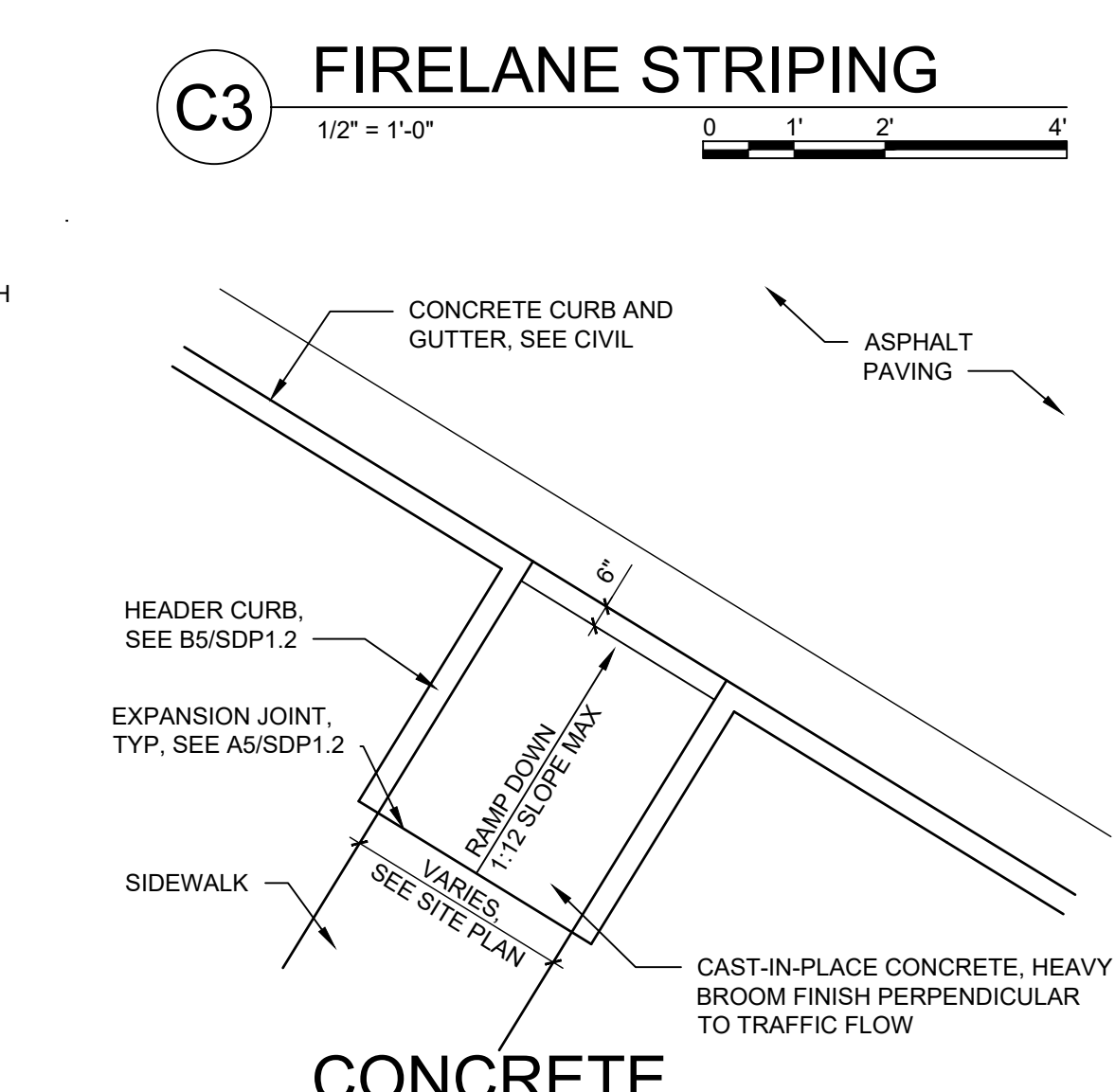
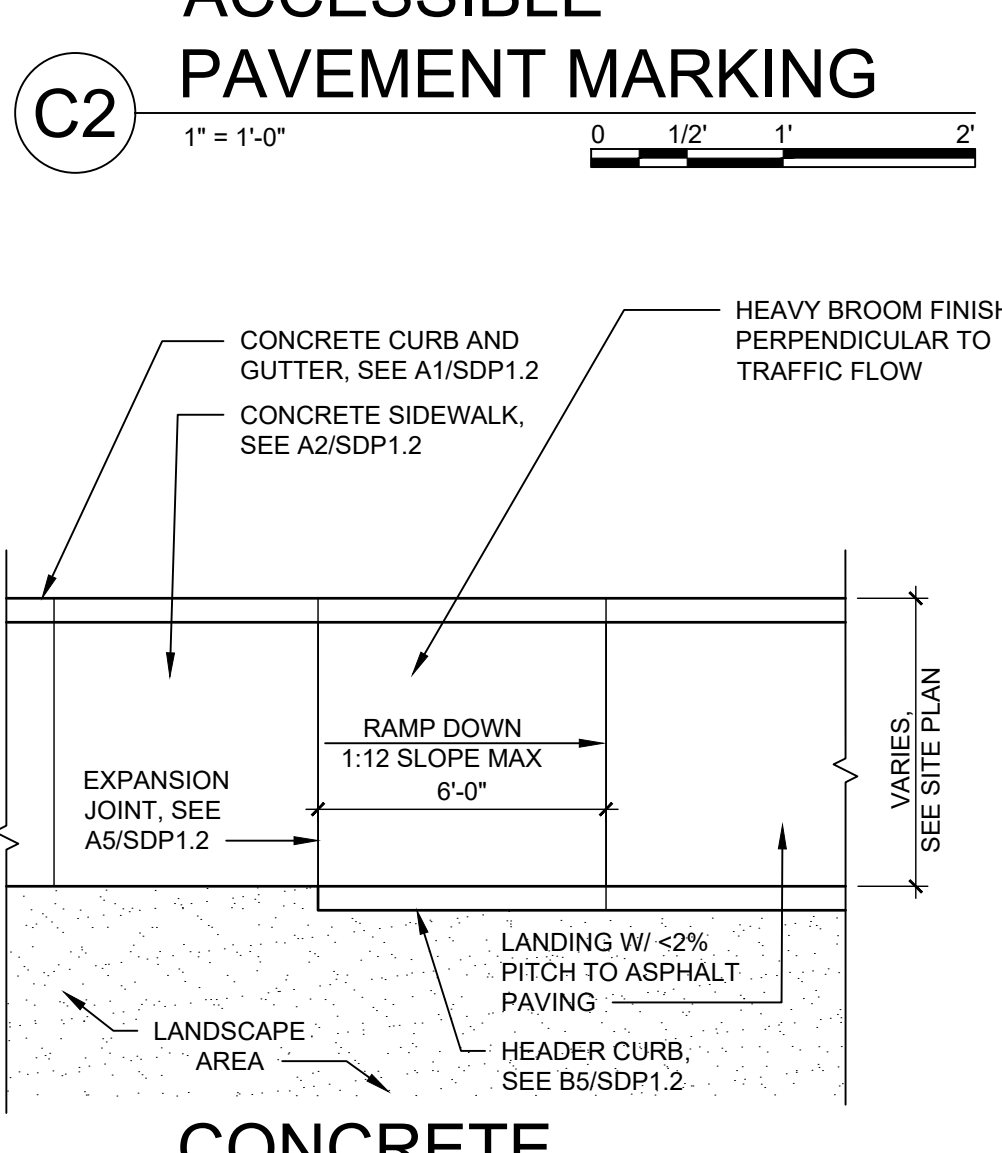
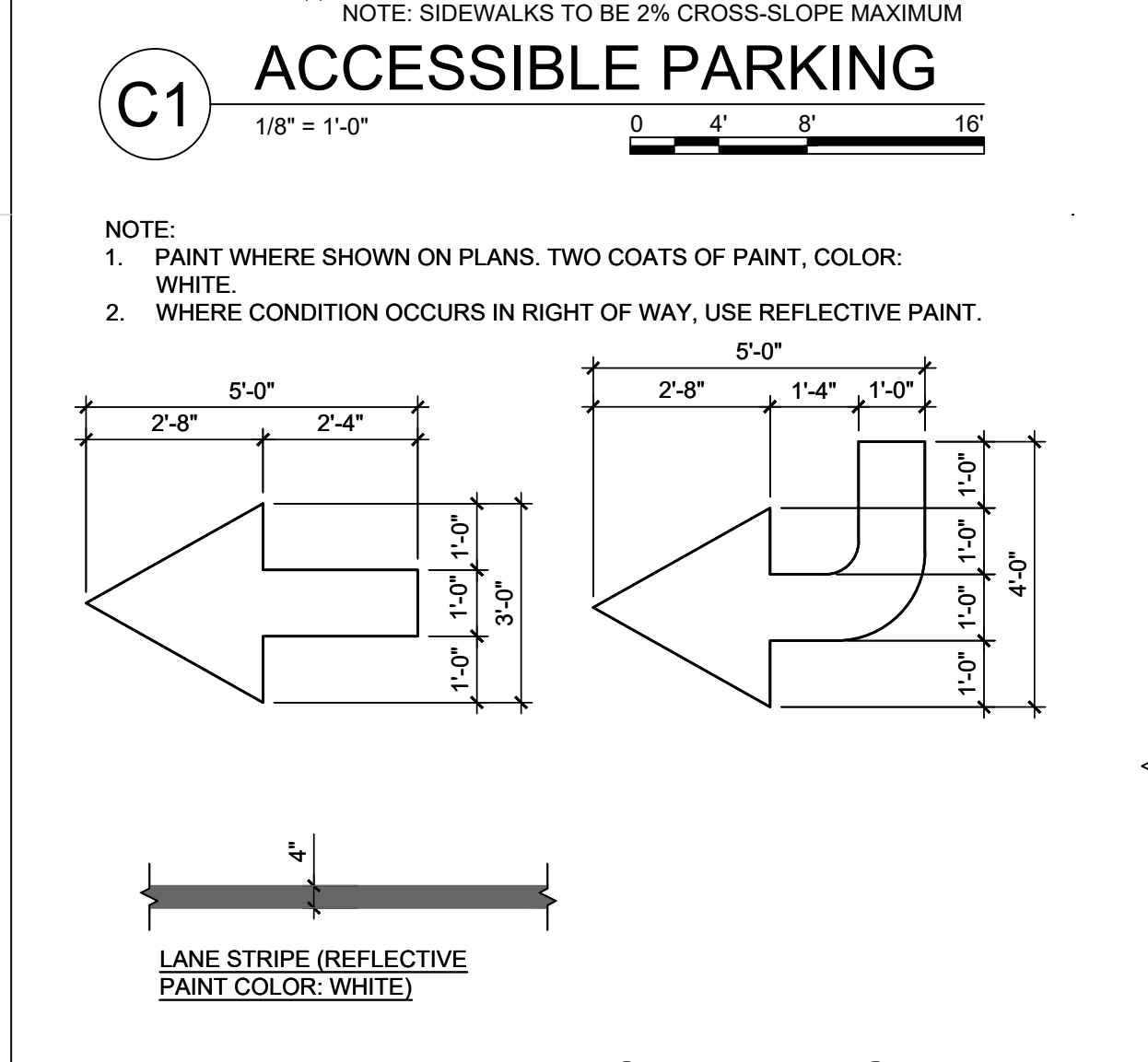
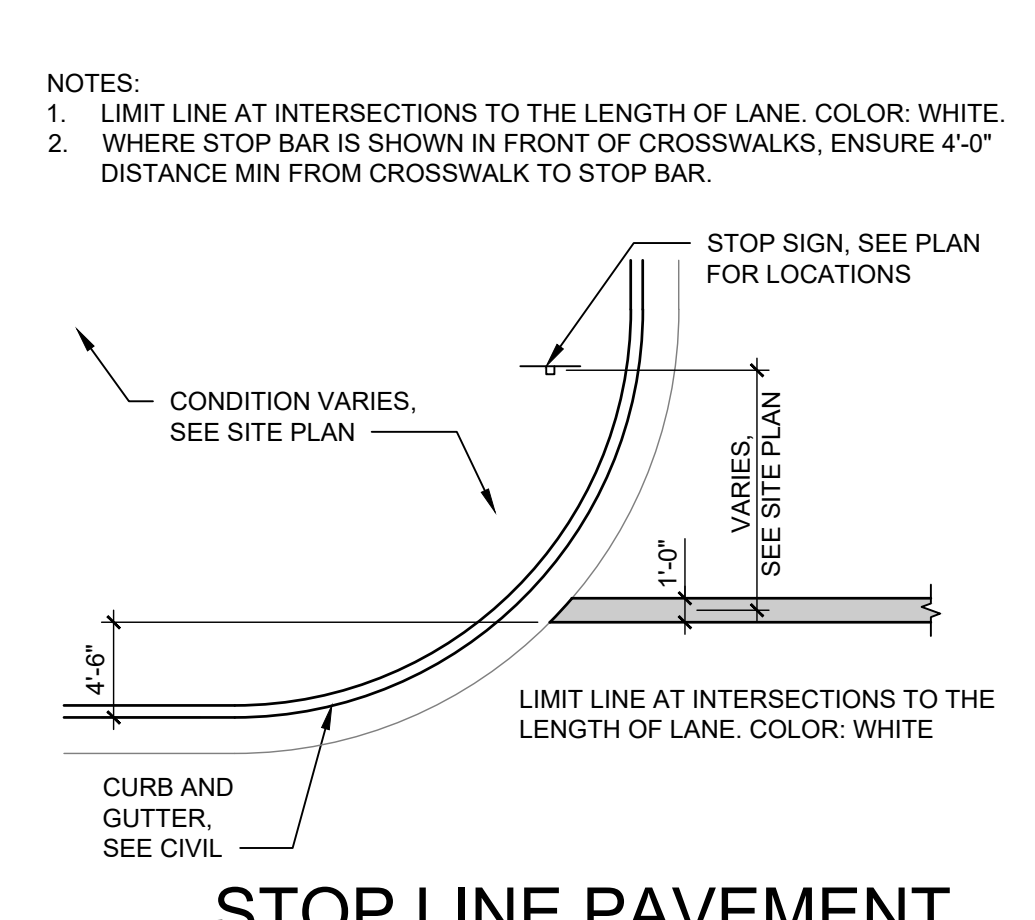
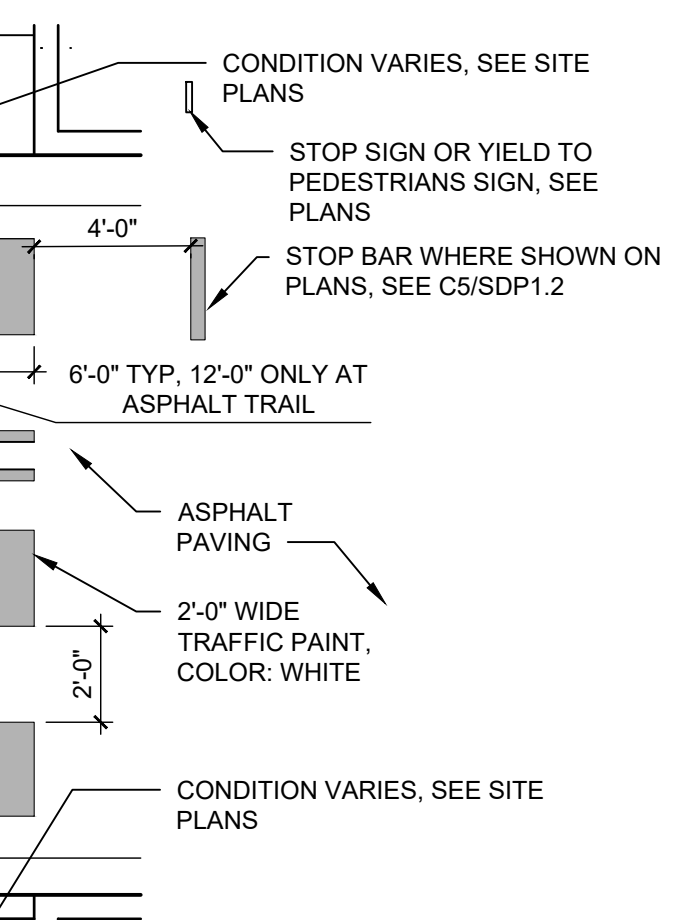
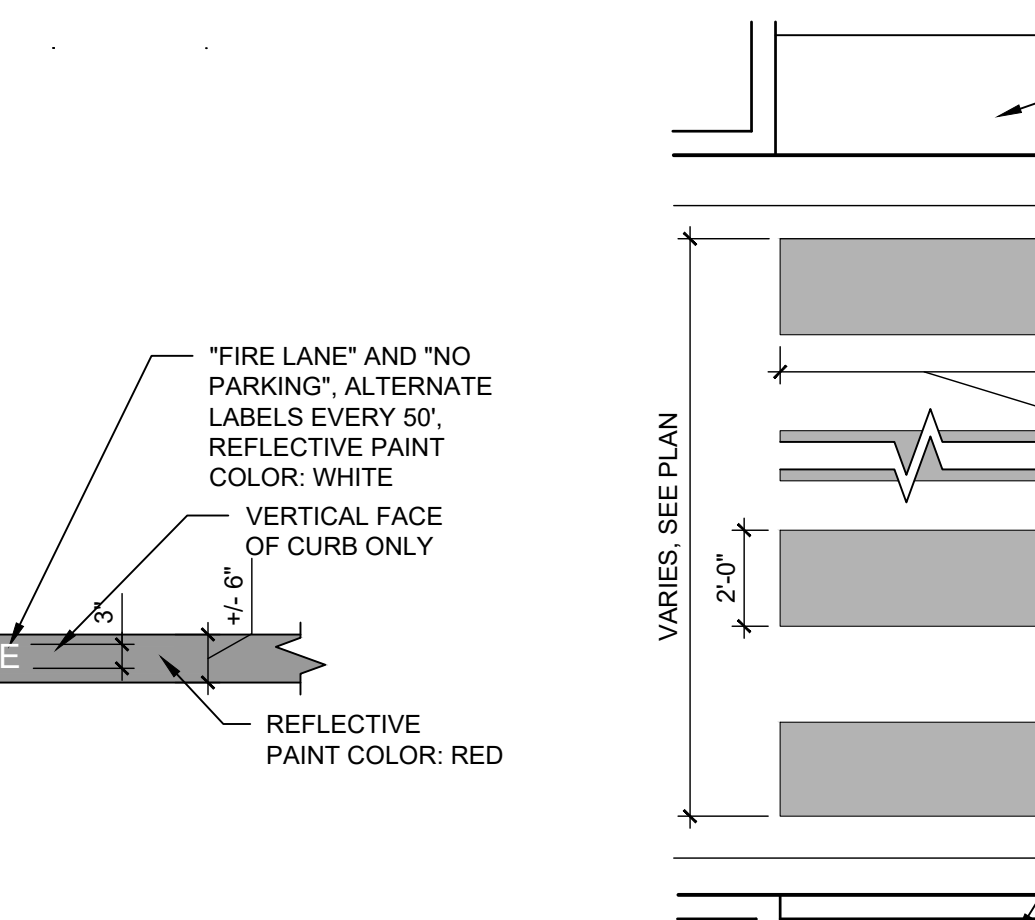
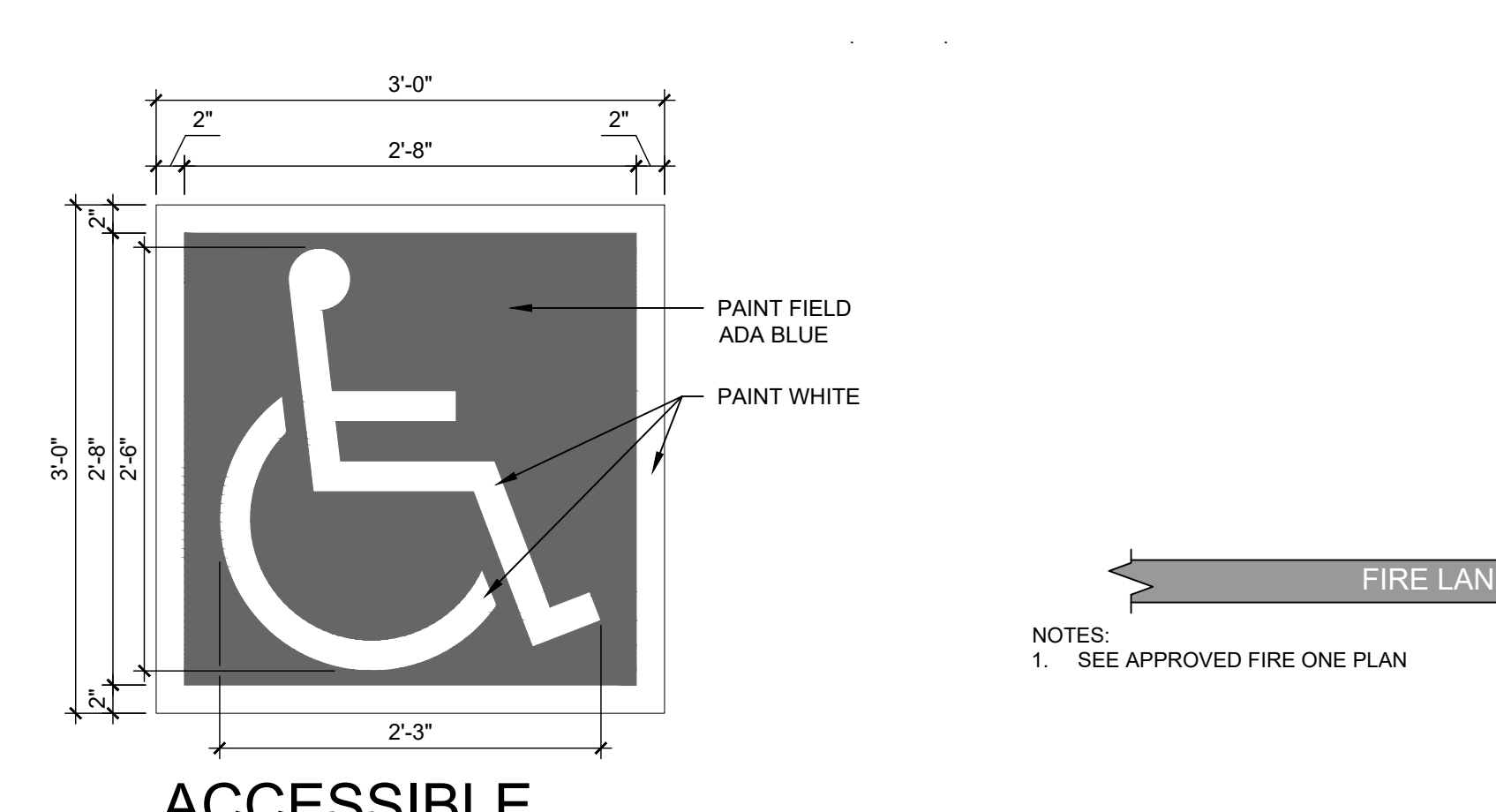
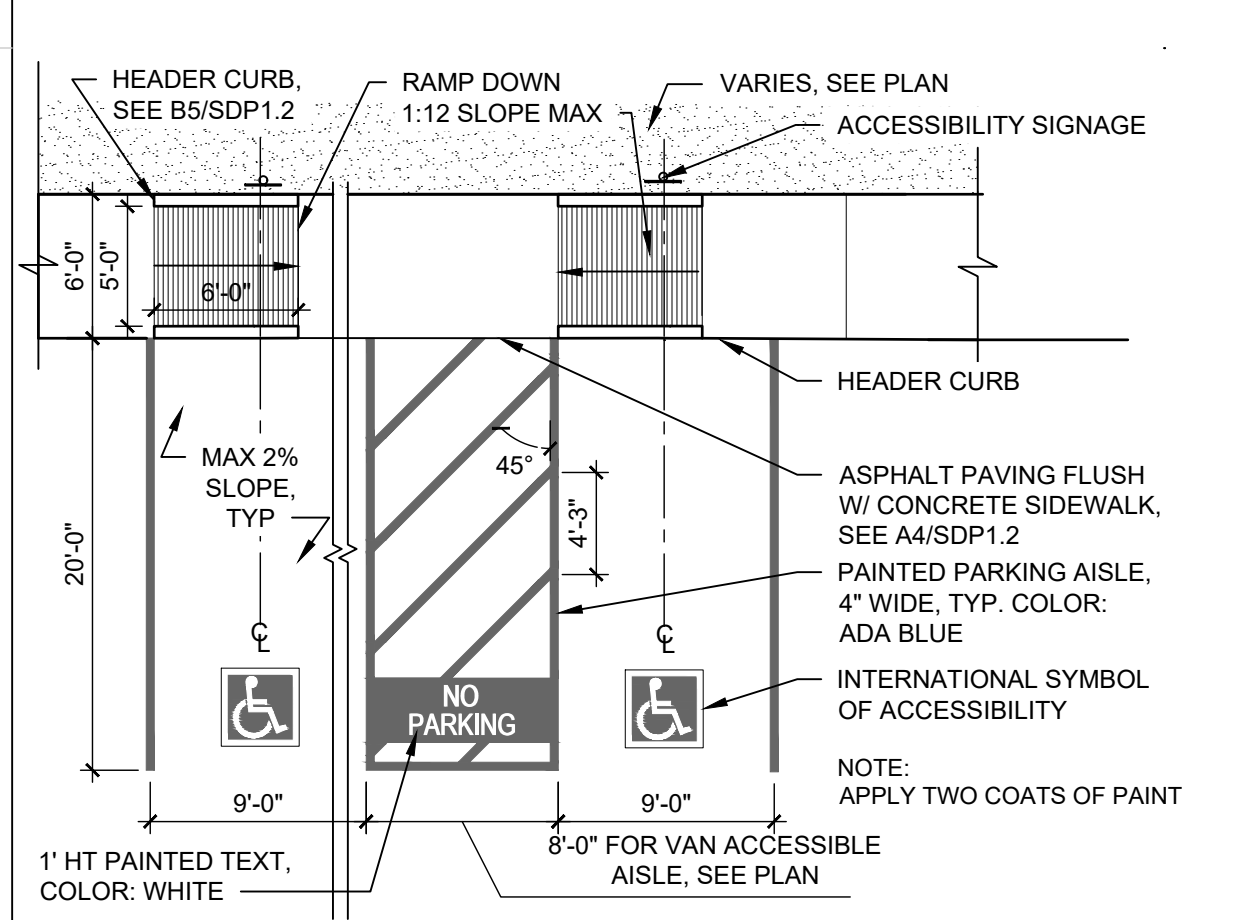
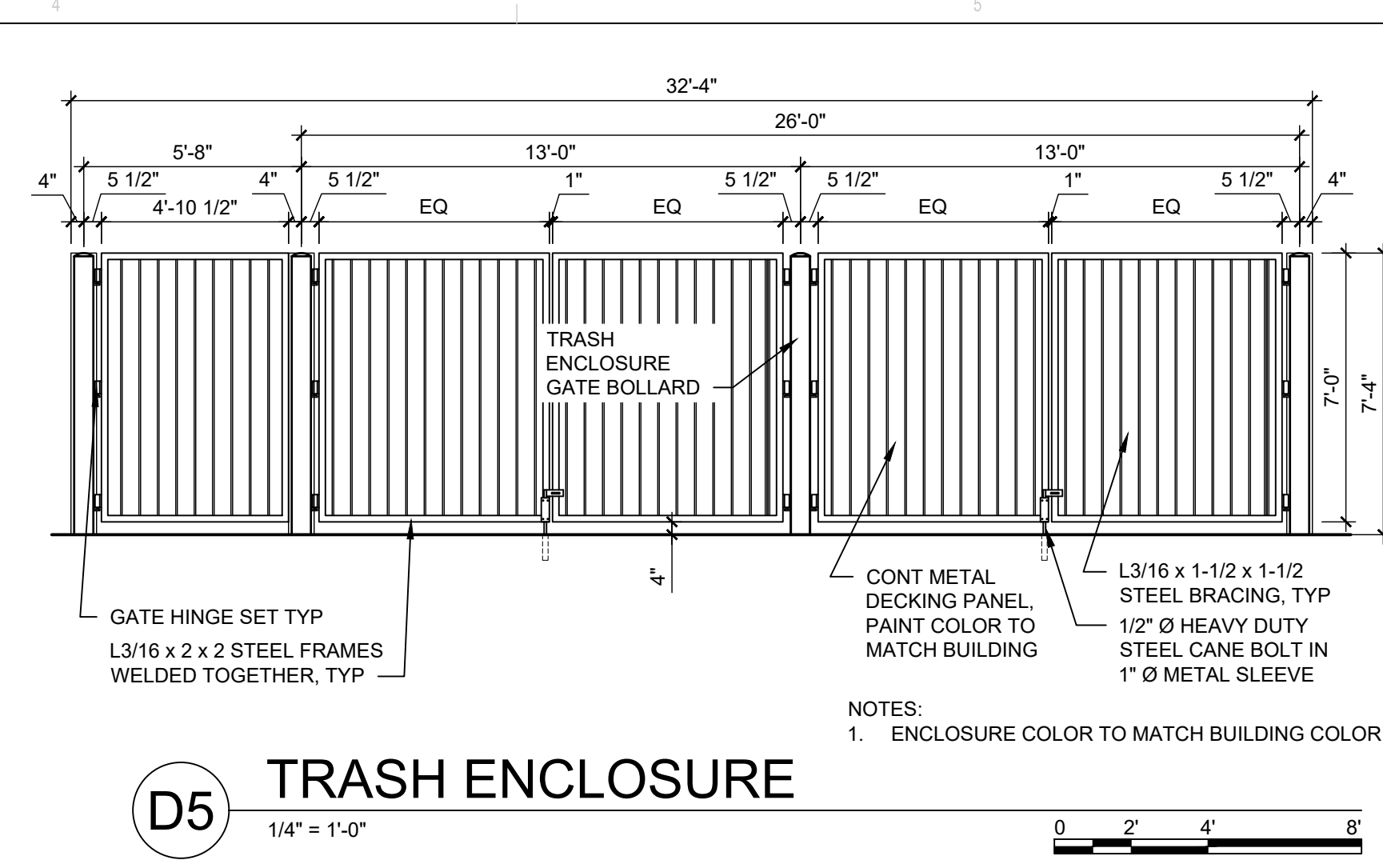
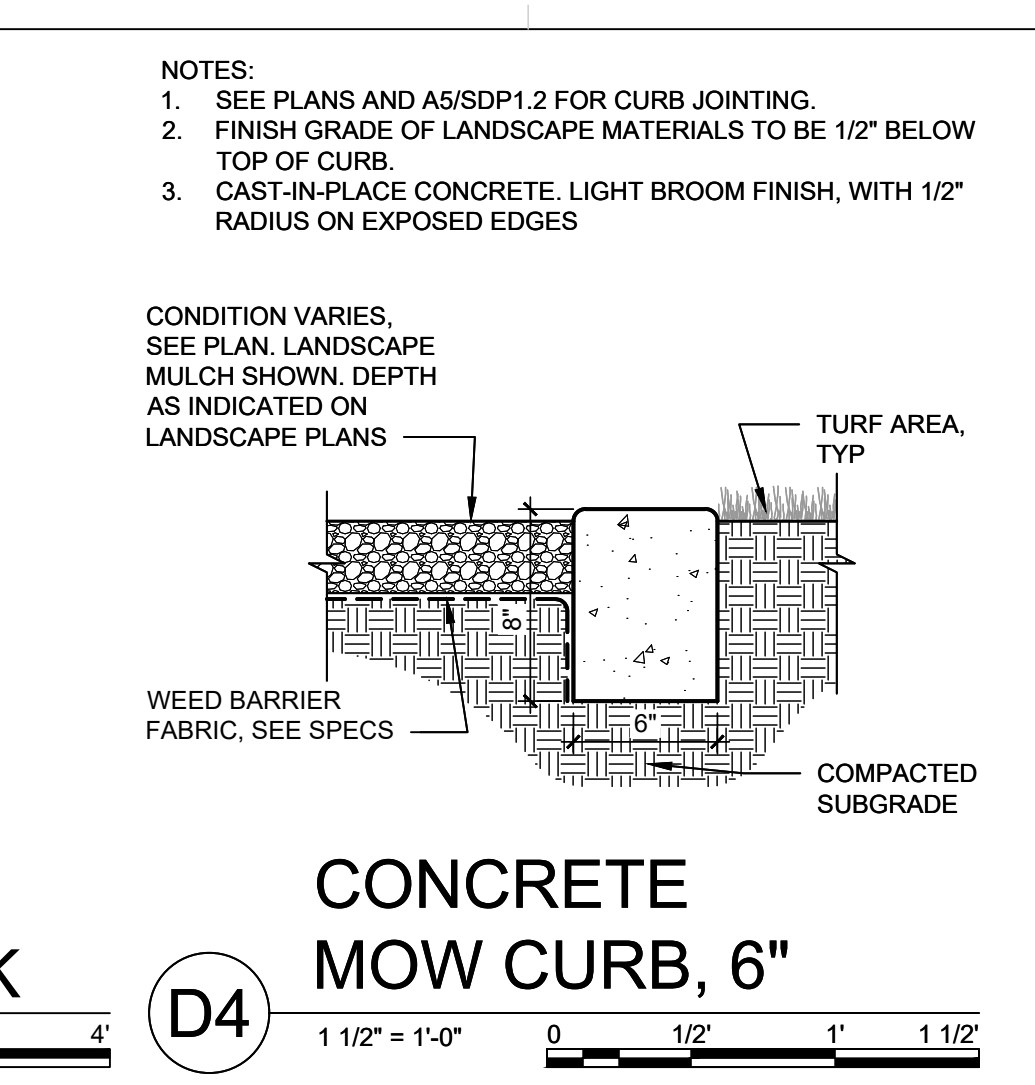
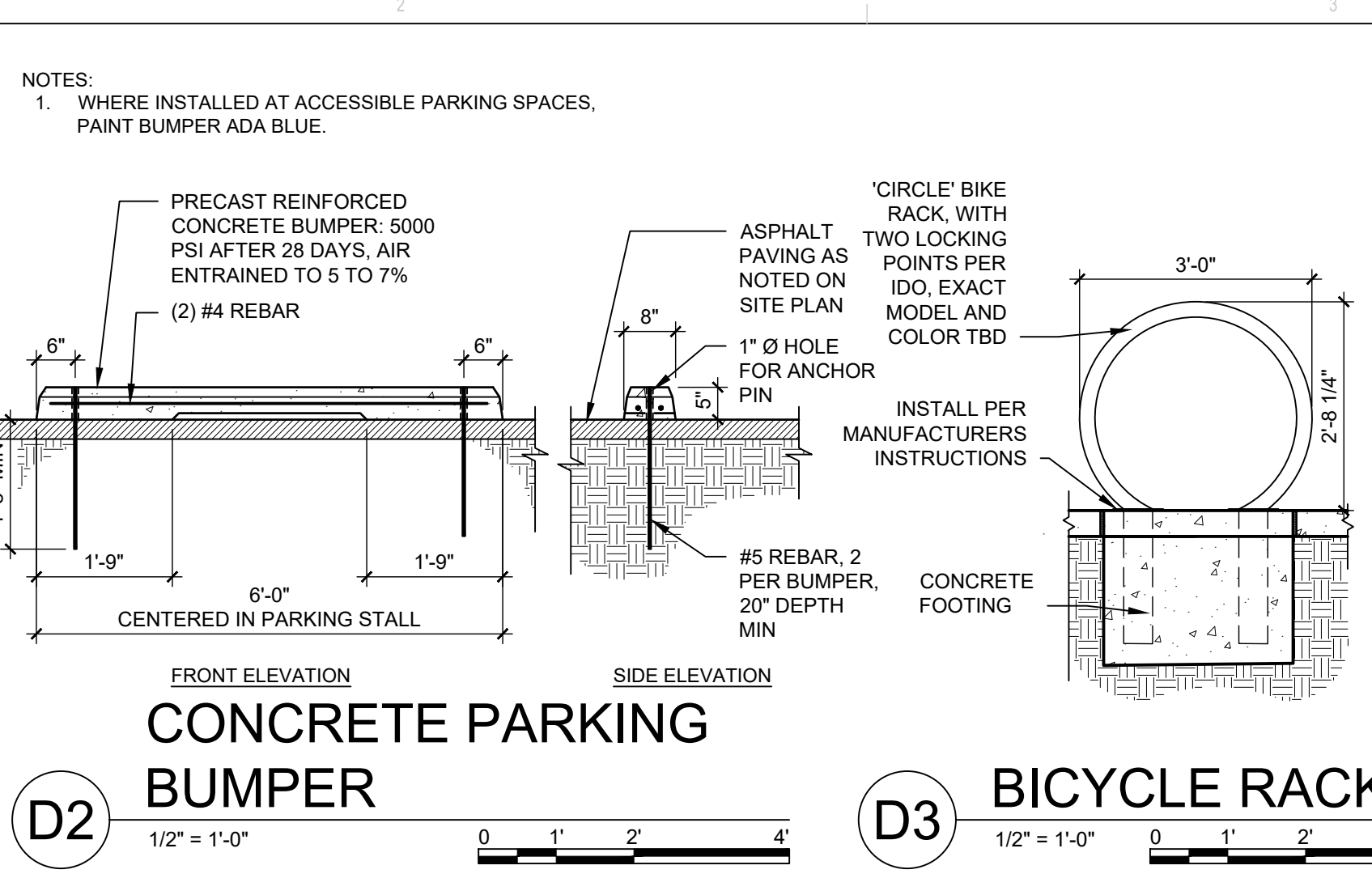
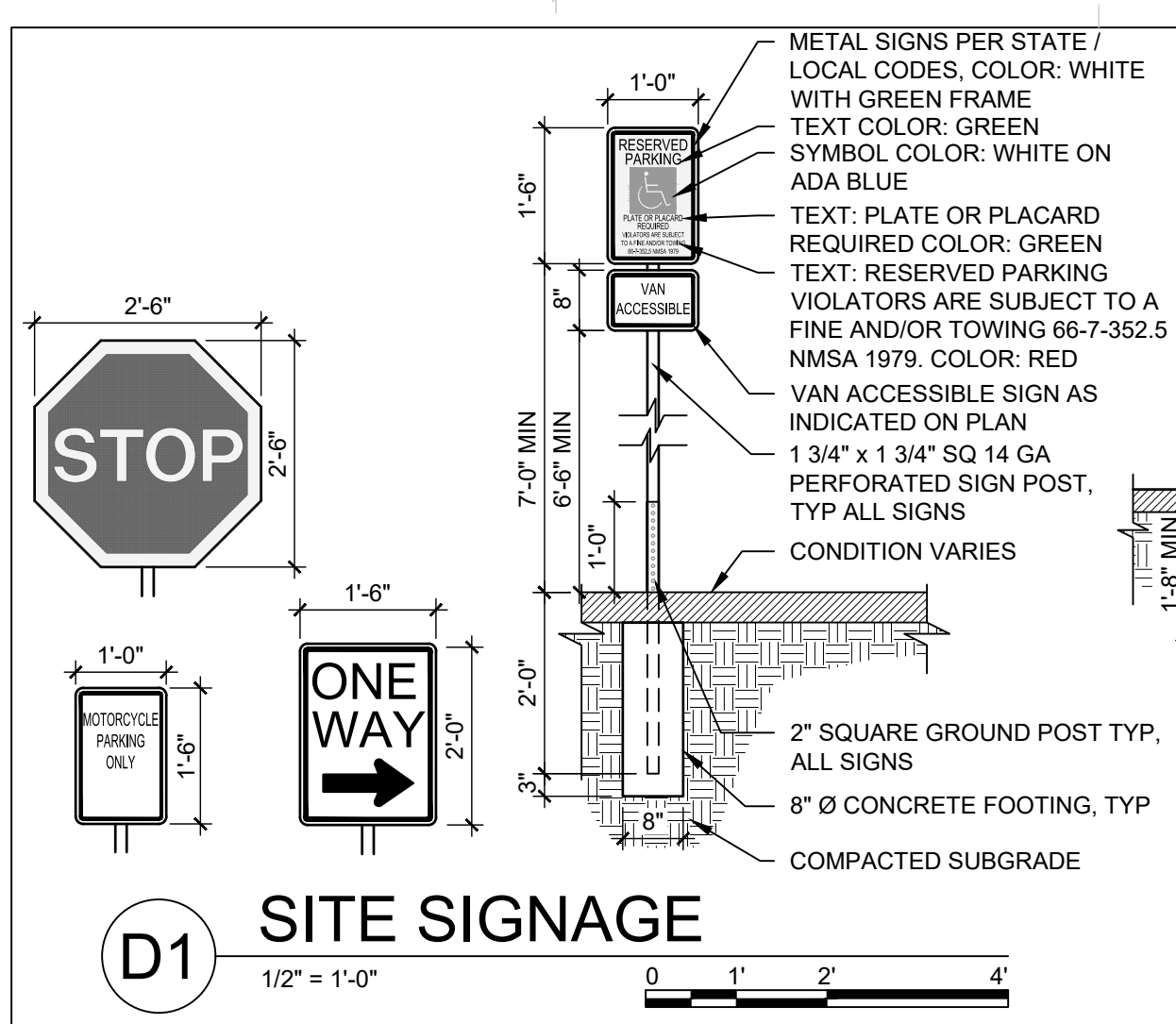
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| DRAWN BY     | JD, TC                |
| REVIEWED BY  | D/P/S                 |
| DATE         | 06.03.2022            |
| PROJECT NO.  | 19-0059.002           |
| DRAWING NAME | SITE DEVELOPMENT PLAN |

SHEET NO.  
**SDP1.1**



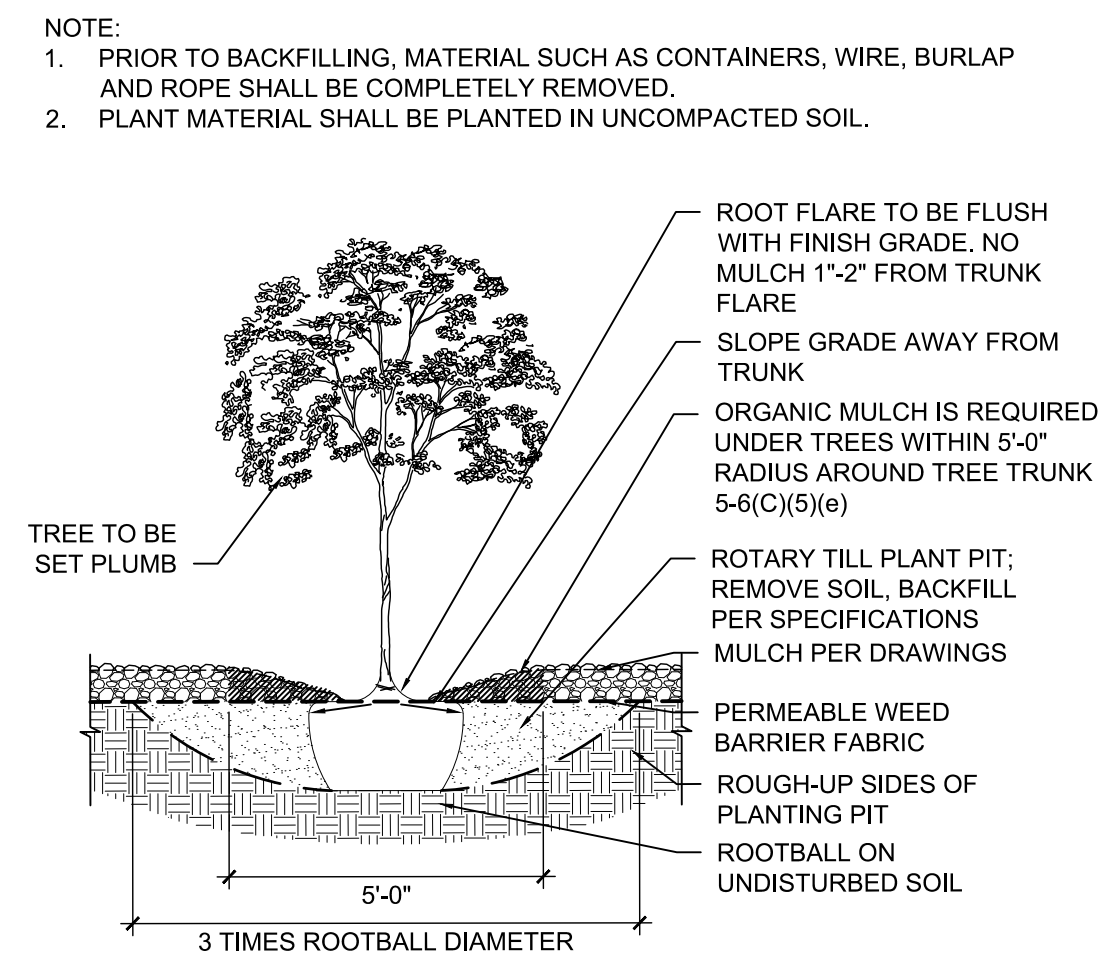




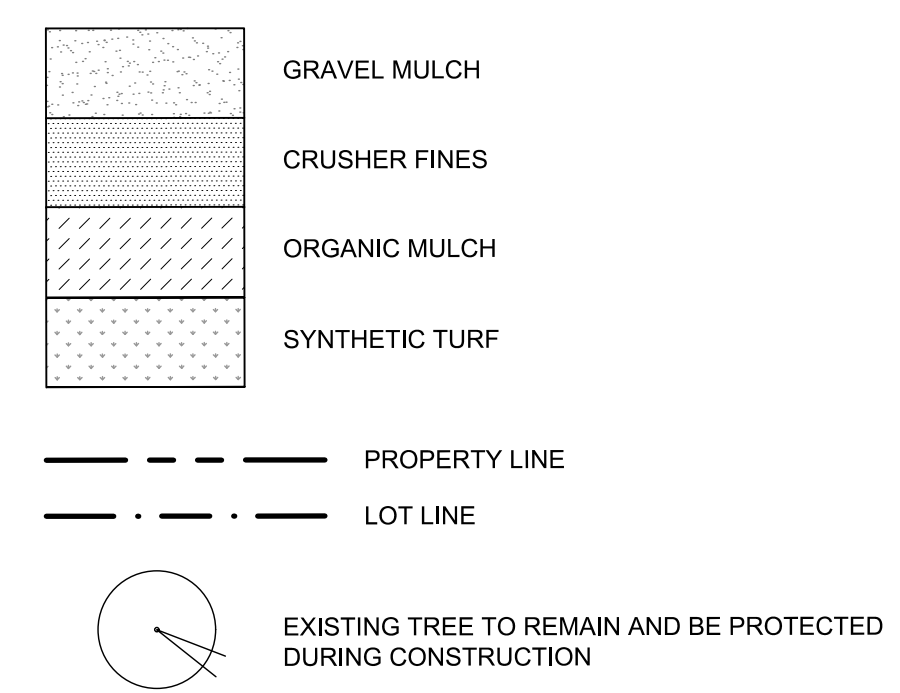
### GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIPLINE.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- PHASING: THE PROPERTY WILL BE DEVELOPED IN TWO PHASES.

### TREE PLANTING DETAIL



### LEGEND



### IRRIGATION NOTES

- PLANTINGS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL COMPLY WITH SECTION 8 OF THE ABCWUA LEGISLATION AND ORDINANCES.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING OR LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.
- TWO SEPARATE IRRIGATION SYSTEMS WILL BE DESIGNED FOR LOT 1 AND LOT 2+3.

### SHEET KEYED NOTES

- CLEAR SIGHT TRIANGLE
- CLEARANCE AROUND ELECTRICAL EQUIPMENT
- REQUIRED PARKING LOT EDGE LANDSCAPE BUFFER: 1 TREE AND 3 SHRUBS PER 25 FEET, MINIMUM 5 FOOT WIDTH. PROVIDED PARKING LOT EDGE LANDSCAPE BUFFER: 2 TREES AND 6 SHRUBS, MINIMUM 14' WIDTH
- REQUIRED: 10' WIDE SIDEWALK ALONG UNSER (4' EASEMENT, WHERE NECESSARY) PROVIDED: 8' WIDE EXISTING SIDEWALK. 4' WIDE WAIVER REQUESTED.
- EASEMENT

### LANDSCAPE CALCULATIONS - LOT 1 (PHASE 1)

TOTAL LOT AREA = 1.673 ACRES = 72,876 SF  
 AREA OF LOT COVERED BY BUILDINGS = 5,200 SF  
 NET LOT AREA = 67,676 SF

REQUIRED LANDSCAPE  
 REQUIRED LANDSCAPE AREA (10% OF NET LOT AREA) = 6,768 SF  
 PROVIDED LANDSCAPE AREA = 10,158 SF = 15%

REQUIRED TREES: PARKING LOT  
 REQUIRED NUMBER OF PARKING LOT TREES = 9 TREES  
 TOTAL NUMBER OF PARKING = 94 SPACES  
 REQUIRED = 1 TREE / 10 PARKING SPACES  
 PROVIDED NUMBER OF PARKING LOT TREES = 10 TREES + 2 EXISTING = 12  
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED TREES: WALKWAYS  
 PLACED AT A MAX OF EVERY 25' ALONG REQUIRED PEDESTRIAN WALKWAYS  
 REQUIRED WALKWAY TREES = 1  
 PROVIDED WALKWAY TREES = 1

REQUIRED VEGETATIVE COVERAGE  
 REQUIRED COVERAGE = 7,815 SF = 75% OF PROVIDED LANDSCAPE AREA  
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND-LEVEL PLANTS  
 PROVIDED TOTAL LANDSCAPE COVERAGE = 7,750 SF = 76%  
 TREE CANOPY COVERAGE (26 TREES TOTAL) = 5,200 SF = 51%  
 OF PROVIDED COVERAGE  
 GROUND-LEVEL PLANT COVERAGE (85 GROUND COVER PLANTS TOTAL) = 2,550 SF = 25% OF PROVIDED COVERAGE

GROUND COVER MATERIAL  
 ROCK MULCH GROUND COVER = 5,053 SF = 50% OF PROVIDED LANDSCAPE AREA  
 ORGANIC MULCH GROUND COVER = 5,105 SF = 50% OF PROVIDED LANDSCAPE AREA  
 A MAXIMUM OF 50% OF GRAVEL OR CRUSHER FINES IS PERMITTED

PARKING LOT EDGE  
 SIDE LOT EDGE WALL PROVIDED PER 5-6(F)(1)(i)  
 LANDSCAPE BUFFER ALONG UNSER BLVD - SEE KEYED NOTE 5

LANDSCAPE EDGE BUFFER: NOT REQUIRED PER Table 5-6-4

### LANDSCAPE CALCULATIONS - LOT 2 (PHASE 1)

TOTAL LOT AREA = 0.707 ACRES = 30,797 SF  
 AREA OF LOT COVERED BY BUILDINGS = 6,000 SF  
 NET LOT AREA = 24,797 SF

REQUIRED LANDSCAPE  
 REQUIRED LANDSCAPE AREA (10% OF NET LOT AREA) = 2,480 SF  
 PROVIDED LANDSCAPE AREA = 5,702 SF = 23%

REQUIRED TREES: PARKING LOT  
 REQUIRED NUMBER OF PARKING LOT TREES = 4 TREES  
 TOTAL NUMBER OF PARKING = 38 SPACES  
 REQUIRED = 1 TREE / 10 PARKING SPACES  
 PROVIDED NUMBER OF PARKING LOT TREES = 4 TREES  
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED TREES: WALKWAYS  
 PLACED AT A MAX OF EVERY 25' ALONG REQUIRED PEDESTRIAN WALKWAYS  
 REQUIRED WALKWAY TREES = 3  
 PROVIDED WALKWAY TREES = 3

REQUIRED VEGETATIVE COVERAGE  
 REQUIRED COVERAGE = 4,277 SF = 75% OF PROVIDED LANDSCAPE AREA  
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND-LEVEL PLANTS  
 PROVIDED TOTAL LANDSCAPE COVERAGE = 4,380 SF = 77%  
 TREE CANOPY COVERAGE (12 TREES TOTAL) = 2,400 SF = 42% OF PROVIDED COVERAGE  
 GROUND-LEVEL PLANT COVERAGE (66 GROUND COVER PLANTS TOTAL) = 1,980 SF = 35% OF PROVIDED COVERAGE

GROUND COVER MATERIAL  
 ROCK MULCH GROUND COVER = 2,812 SF = 49% OF PROVIDED LANDSCAPE AREA  
 ORGANIC MULCH GROUND COVER = 2,890 SF = 51% OF PROVIDED LANDSCAPE AREA  
 A MAXIMUM OF 50% OF GRAVEL OR CRUSHER FINES IS PERMITTED

### LANDSCAPE CALCULATIONS - LOT 3 (PHASE 2)

TOTAL LOT AREA = 0.756 ACRES = 33,931 SF  
 AREA OF LOT COVERED BY BUILDINGS = 4,350 SF  
 NET LOT AREA = 29,581 SF

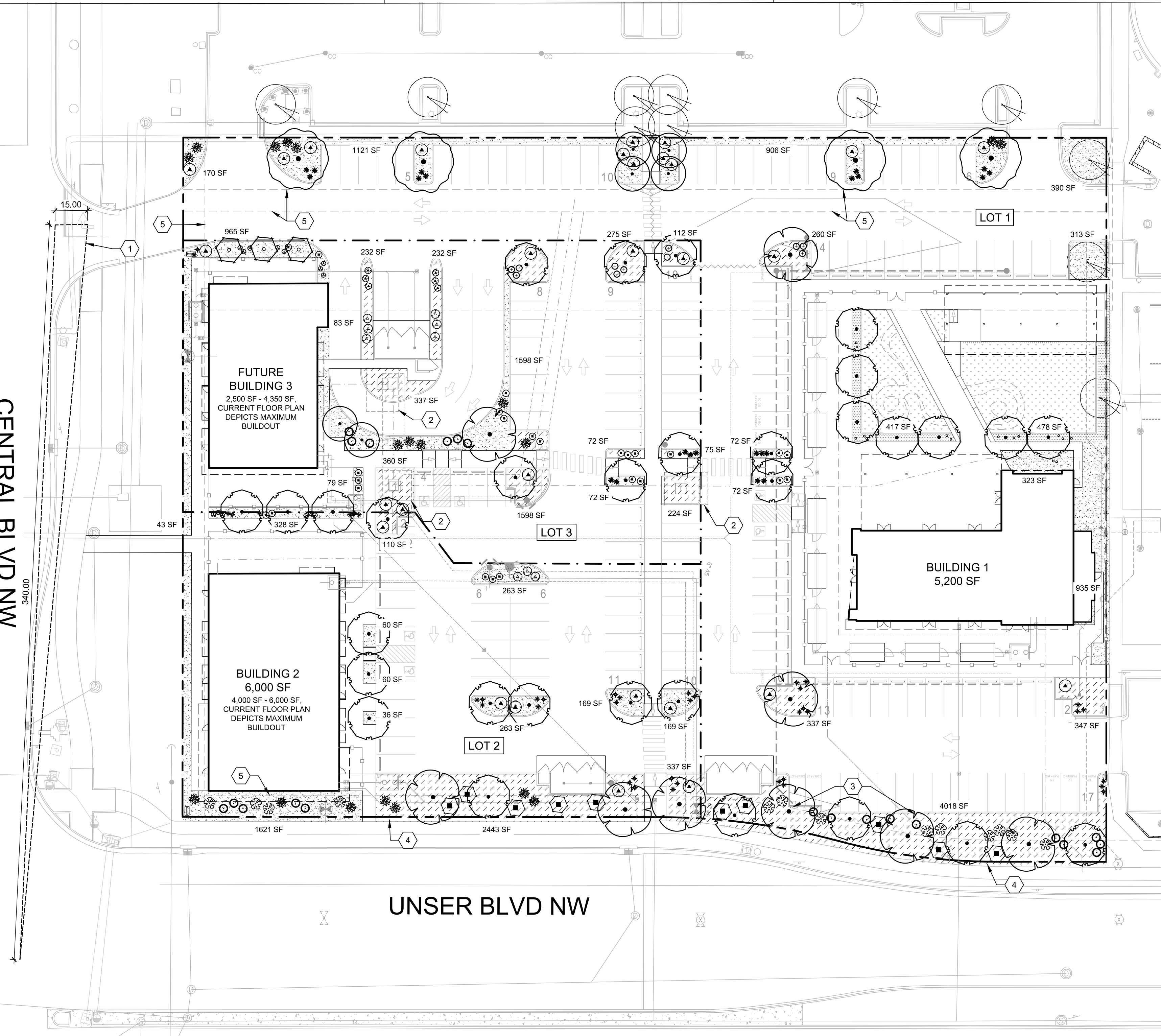
REQUIRED LANDSCAPE  
 REQUIRED LANDSCAPE AREA (10% OF NET LOT AREA) = 2,958 SF  
 PROVIDED LANDSCAPE AREA = 5,070 SF = 17%

REQUIRED TREES: PARKING LOT  
 REQUIRED NUMBER OF PARKING LOT TREES = 4 TREES  
 TOTAL NUMBER OF PARKING = 38 SPACES  
 REQUIRED = 1 TREE / 10 PARKING SPACES  
 PROVIDED NUMBER OF PARKING LOT TREES = 4 TREES  
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED TREES: WALKWAYS  
 PLACED AT A MAX OF EVERY 25' ALONG REQUIRED PEDESTRIAN WALKWAYS  
 REQUIRED WALKWAY TREES = 9  
 PROVIDED WALKWAY TREES = 9

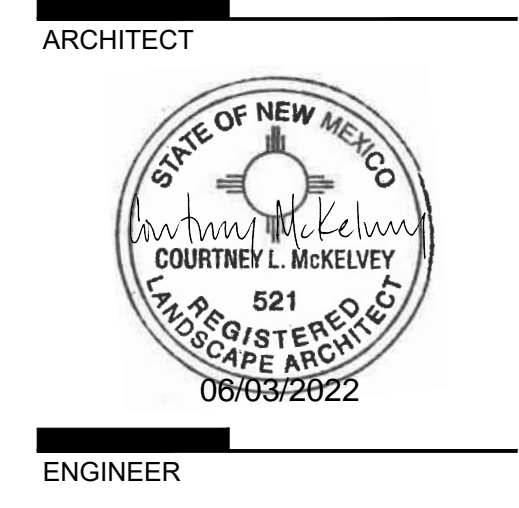
REQUIRED VEGETATIVE COVERAGE  
 REQUIRED COVERAGE = 3,803 SF = 75% OF PROVIDED LANDSCAPE AREA  
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND-LEVEL PLANTS  
 PROVIDED TOTAL LANDSCAPE COVERAGE = 5,070 SF = 95%  
 TREE CANOPY COVERAGE (15 TREES TOTAL) = 3,000 SF = 56% OF PROVIDED COVERAGE  
 GROUND-LEVEL PLANT COVERAGE (69 GROUND COVER PLANTS TOTAL) = 2,070 SF = 39% OF PROVIDED COVERAGE

GROUND COVER MATERIAL  
 ROCK MULCH GROUND COVER = 2,850 SF = 50% OF PROVIDED LANDSCAPE AREA  
 ORGANIC MULCH GROUND COVER = 2,886 SF = 50% OF PROVIDED LANDSCAPE AREA  
 A MAXIMUM OF 50% OF GRAVEL OR CRUSHER FINES IS PERMITTED



### PLANT LEGEND

| TREES    | COMMON NAME   |
|----------|---|
| (Symbol) | DESERT WILLOW<br>OKLAHOMA REDBUD                      |
| (Symbol) | NEW MEXICO OLIVE                                      |
| (Symbol) | CHINESE PISTACHE<br>THORNLESS HONEY LOCUST            |
| (Symbol) | EMERALD SUNSHINE ELM<br>SENSATION BOX ELDER MAPLE     |
| (Symbol) | FRONTIER ELM<br>PRINCETON ELM                         |
| (Symbol) | TURPENTINE BUSH<br>THOMPSON BROOM                     |
| (Symbol) | ENGLISH LAVENDER<br>POPPY MALLOW                      |
| (Symbol) | AUTUMN AMBER SUMAC<br>BUFFALO JUNIPER                 |
| (Symbol) | FURMAN'S RED SALVIA<br>ULTRA VIOLET SAGE              |
| (Symbol) | DESERT ACCENTS  |
| (Symbol) | DESERT FLAMENCO RED YUCCA                             |
| (Symbol) | BEARGRASS<br>NEW MEXICO AGAVE                         |
| (Symbol) | SPINELESS PRICKLY PEAR                                |
| (Symbol) | BANANA YUCCA<br>SOFT-LEAF YUCCA                       |
| (Symbol) | TWISTED LEAF YUCCA                                    |
| (Symbol) | GRASSES   |
| (Symbol) | 'BLONDE AMBITION' BLUE GRAMA<br>MEXICAN FEATHER GRASS |
| (Symbol) | EL TORO MUHLY GRASS<br>LINDHEIMER'S MUHLY GRASS       |
| (Symbol) | DEER GRASS  |



ARCHITECT  
 PROJECT

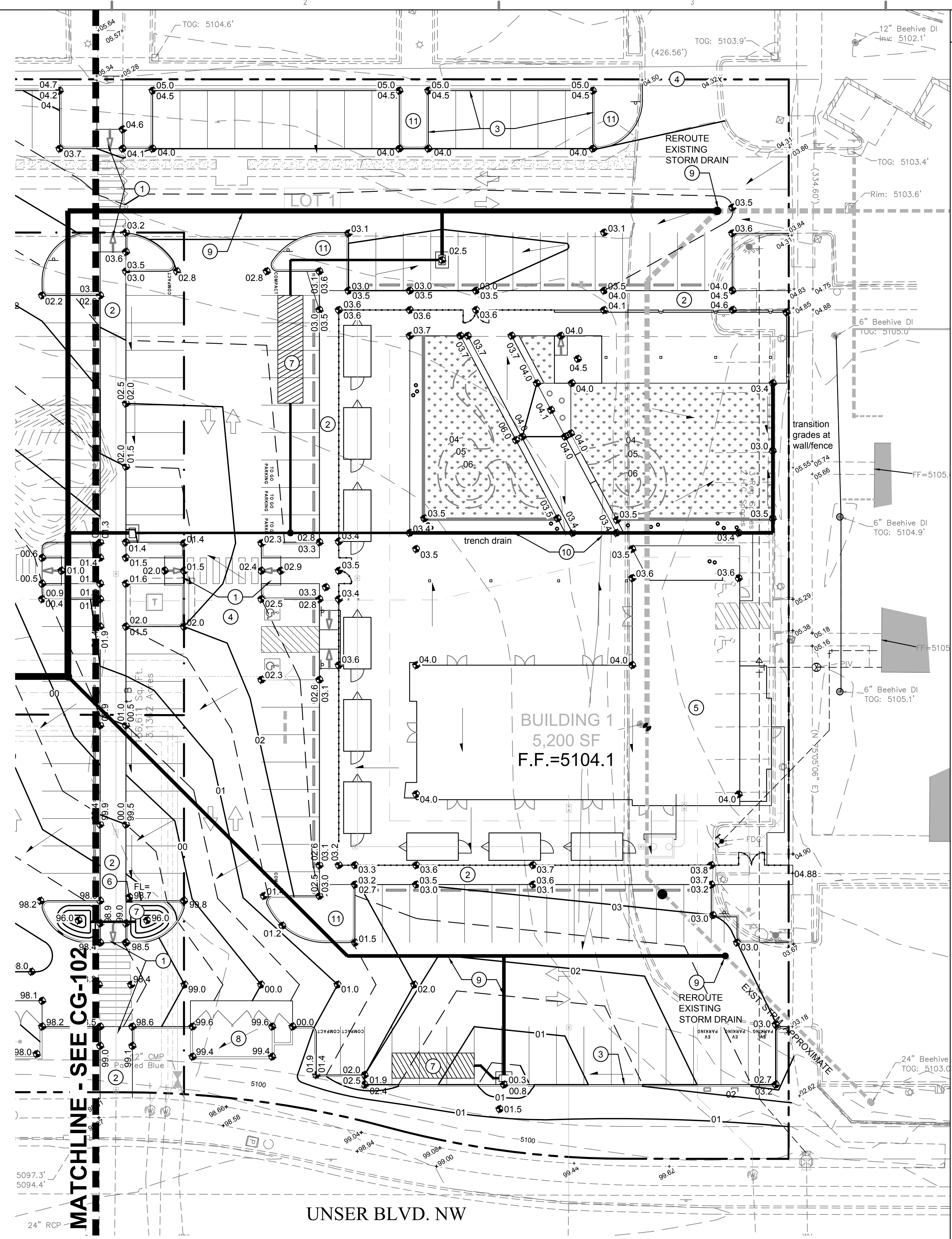
NUEVO ATRISCO  
 201 Unser Blvd NW  
 Albuquerque, NM 87121

REVISIONS

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| DRAWN BY     | JD, TC         |
| REVIEWED BY  | CM             |
| DATE         | 06.03.2022     |
| PROJECT NO.  | 19-0059.002    |
| DRAWING NAME | LANDSCAPE PLAN |

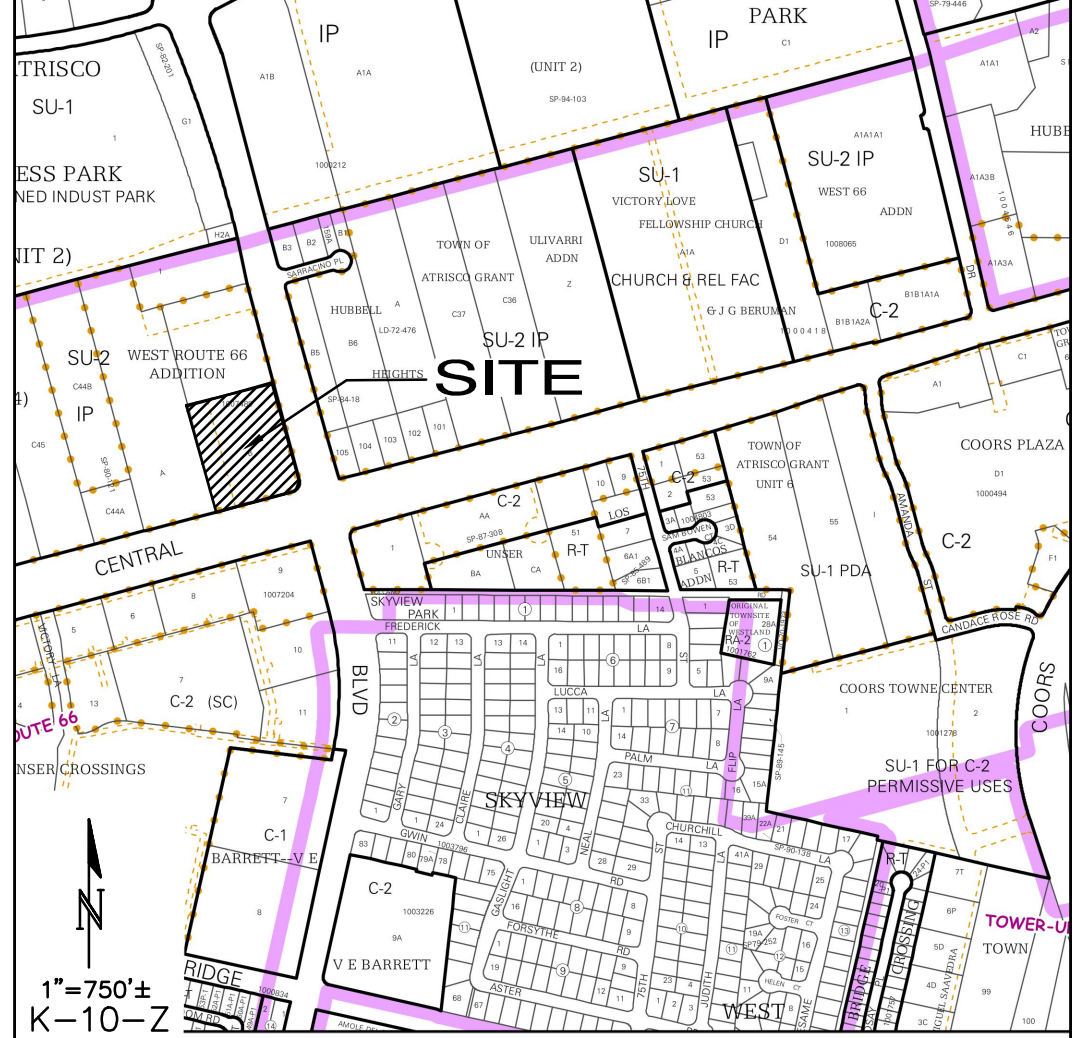




**KEYED NOTES**

1. ADA COMPLIANT ACCESS RAMP.
2. ADA COMPLIANT PEDESTRIAN ACCESS WALK.
3. 6" HIGH MEDIAN CURB AND GUTTER. TYPICAL.
4. HIGH POINT / GRADE BREAK LOCATION.
5. CONCENTRATED ROOF DISCHARGE TO SURFACE PAVEMENT AND/OR PIPED DIRECTLY TO STORM DRAIN. TO BE DETERMINED AS PART OF BUILDING PERMIT SUBMITTAL.
6. CURB OPENING.
7. 18" DEEP (MAX) STORMWATER QUALITY POND AND/OR UNDERGROUND STORMWATER QUALITY STRUCTURE(S) TO BE SIZED AS PART OF BUILDING PERMIT PLAN SET.
8. DUMPSTER PAD SLOPED TO SAS DRAIN INLET.
9. PRIVATE STORM DRAIN SYSTEM. FINAL SIZES, SLOPES, INLET INFORMATION, LOCATIONS, AND MATERIALS TO BE PROVIDED AS PART OF BUILDING PERMIT PLANS.
10. TRENCH DRAIN WITH BUILT-IN SLOPE.
11. DEPRESS LANDSCAPING 6" AVG. DEPTH FOR WATER HARVESTING. NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF ANY BUILDING.
12. GARDEN RETAINING WALL(S) (RETAINING < 30") TO ACHIEVE GRADE DIFFERENCE SHOWN.

**VICINITY MAP K-10**



**PROJECT INFORMATION**

PROPERTY: THE SITE IS A PARTIALLY DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-10. THE SITE IS BOUND TO THE EAST BY UNSER BLVD., TO THE NORTH AND WEST BY DEVELOPED COMMERCIAL PROPERTY AND TO THE SOUTH BY CENTRAL AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE, COMMERCIAL RESTAURANT(S), RETAIL/OFFICE, FOOD PARK, PARKING, AND LANDSCAPING.

LEGAL: TRACT B, NUEVO ATRISCO, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "9-K10", ELEVATION = 5117.72 FEET (NAVD 1988).

OFF-SITE FLOW: OFF-SITE FLOW FROM THE ADJACENT HOUSING PROJECT IS ROUTED THROUGH THIS PROPERTY WITHIN AN EXISTING STORM DRAIN SYSTEM WITH DRAINAGE EASEMENT. MINOR SURFACE FLOW IS ALSO ACCEPTED WITHIN A BLANKET DRAINAGE EASEMENT.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP 35001C0328J, MAP (REVISION DATE NOVEMBER 4, 2016), THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. CENTRAL AVENUE ADJACENT TO THE PROPERTY IS ENCUMBERED BY ZONE AO (DEPTH 1').

DRAINAGE PLAN CONCEPT: PER THE 'WEST CENTRAL AVE. FRONTAGE ROAD COMPLETE STREET IMPROVEMENTS' BY WSP, WITH APPROVAL DATE 01/11/21, THE PROPERTY IS LOCATED WITHIN SUB-BASIN "TE212 LIBRARY". THIS REPORT REVISES THE LAND TREATMENT PERCENTAGES FOR ALLOWABLE DISCHARGE FROM THIS SITE TO 20% 'C', 80% 'D'. (COA HYDROLOGY FILE K09/D045) OR 3.87 CFS PER ACRE. SEE THE SUPPLEMENTAL INFORMATION PACKET INCLUDED WITH THIS SUBMITTAL FOR ADDITIONAL INFORMATION.

IN THE FULLY DEVELOPED CONDITION, THIS PROPERTY WILL DISCHARGE NO MORE THAN THE ALLOWABLE DISCHARGE = 3.87 CFS/AC \* 3.14 AC = 12.2 CFS. MINOR PERIMETER FLOW WILL DRAIN TO CENTRAL AND/OR UNSER BLVD. THE MAJORITY OF THE SITE DISCHARGE WILL DRAIN TO THE EXISTING STORM DRAIN STUB PROVIDED AT THE SOUTH END OF THE PROPERTY.

**ADA COMPLIANCE**

- SIDEWALK(S) AND RAMP(S):
- \* LONGITUDINAL SLOPE SHALL NOT EXCEED 20:1
  - \* TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
- ACCESSIBLE RAMP(S):
- \* TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)
  - \* TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
- ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

**STORMWATER QUALITY**

FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 80TH PERCENTILE STORM EVENT OR 0.26". THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 80% OF TOTAL AREA: (0.80 \* 3.14 AC) = 109,423 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.26" \* TYPE 'D' AREA: 0.26/12 \* 109,423 SF) = 2,371 CF. THIS MAY CHANGE DEPENDING ON THE FINAL IMPERVIOUS AREA TO BE CONSTRUCTED.

SWQV PONDS WILL BE CONSTRUCTED THROUGHOUT THE PROPERTY WITHIN SURFACE PONDS OR UNDERGROUND RETENTION SYSTEMS. AS THE SITE DESIGN MOVES FORWARD, FINAL LOCATIONS WILL BE PROVIDED AS PART OF THE BUILDING PERMIT CONSTRUCTION DOCUMENTS.

**LEGEND**

- 39 — PROPOSED 1.0' CONTOUR
- - - 38.5' - - - PROPOSED 0.5' CONTOUR
- 37.5 PROPOSED SPOT ELEVATION
- SURFACE FLOW DIRECTION
- FF = 5237.5 FINISH FLOOR ELEVATION
- PROPOSED STORM DRAIN / INLET

**DEKKER PERICH SABATINI**

ARCHITECT

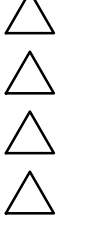
ENGINEER



PROJECT

**NUEVO ATRISCO**  
 Central + Unser  
 Albuquerque, NM

REVISIONS



DRAWN BY

REVIEWED BY

DATE

PROJECT NO.

DRAWING NAME

DATE 04.15.2022

PROJECT NO. 19-0059.002

DRAWING NAME

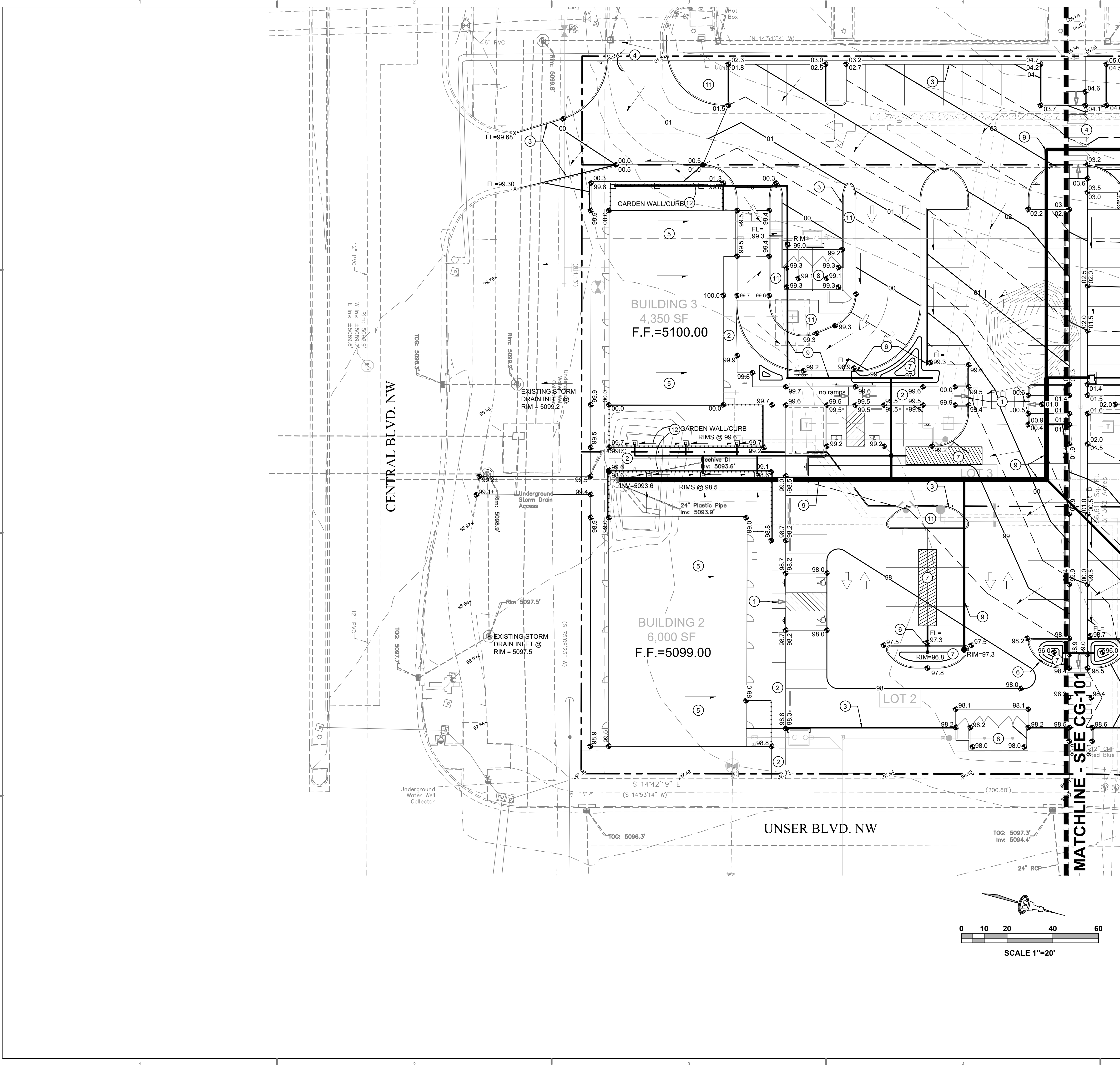
SHEET NO.

**GRADING & DRAINAGE PLAN**  
1 OF 2

**CG-101**







**KEYED NOTES**

1. ADA COMPLIANT ACCESS RAMP.
2. ADA COMPLIANT PEDESTRIAN ACCESS WALK.
3. 6" HIGH MEDIAN CURB AND GUTTER. TYPICAL.
4. HIGH POINT / GRADE BREAK LOCATION.
5. CONCENTRATED ROOF DISCHARGE TO SURFACE PAVEMENT AND/OR PIPED DIRECTLY TO STORM DRAIN. TO BE DETERMINED AS PART OF BUILDING PERMIT SUBMITTAL.
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12. GARDEN RETAINING WALL(S) (RETAINING < 30") TO ACHIEVE GRADE DIFFERENCE SHOWN.

**DEKKER  
PERICH  
SABATINI**

ARCHITECT

ENGINEER

CONCEPTUAL  
NOT FOR  
CONSTRUCTION

PROJECT

**NUEVO ATRISCO**  
Central + Unser  
Albuquerque, NM

REVISIONS

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- △
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DRAWN BY

REVIEWED BY

DATE 04.15.2022

PROJECT NO. 19-0059.002

DRAWING NAME

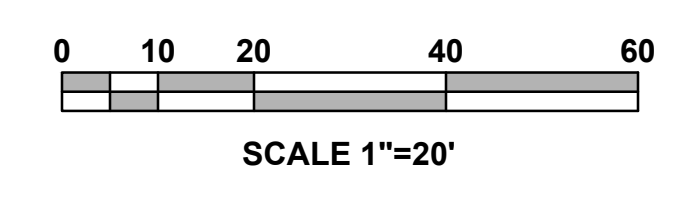
**GRADING &  
DRAINAGE  
PLAN  
1 OF 2**

SHEET NO.

**CG-201**

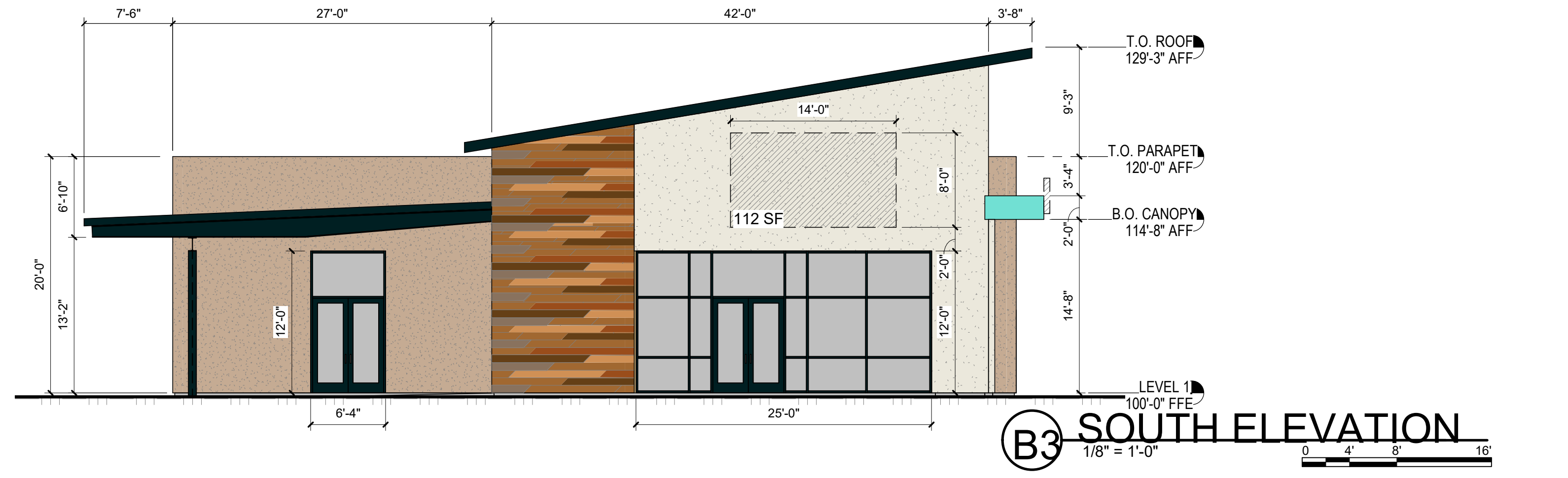
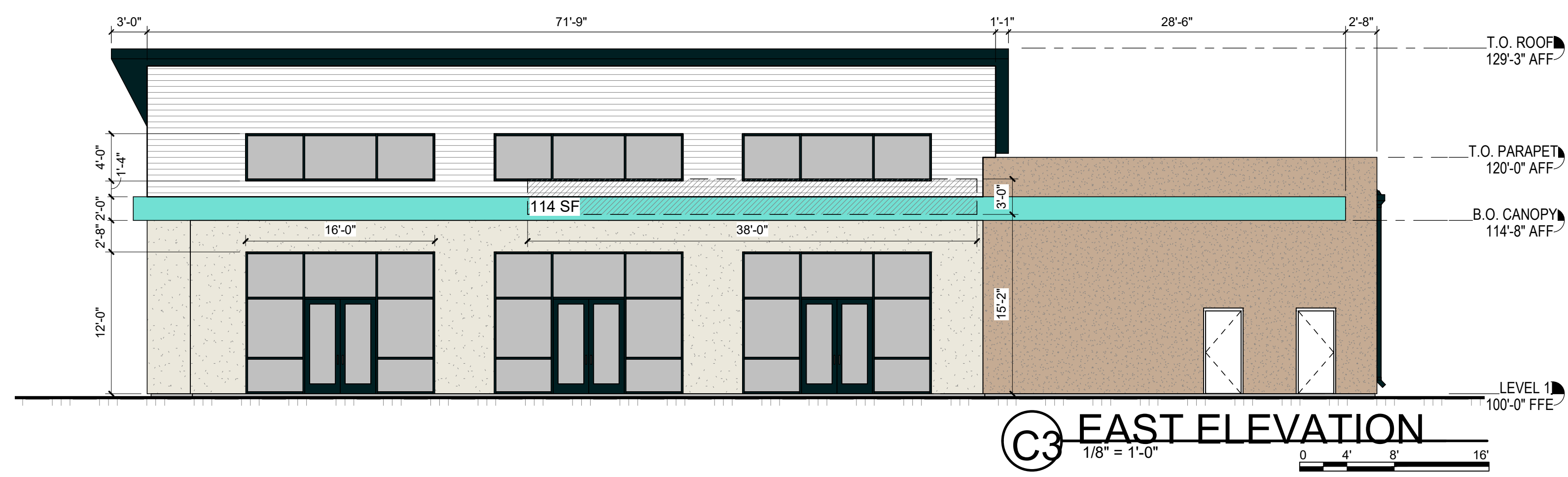
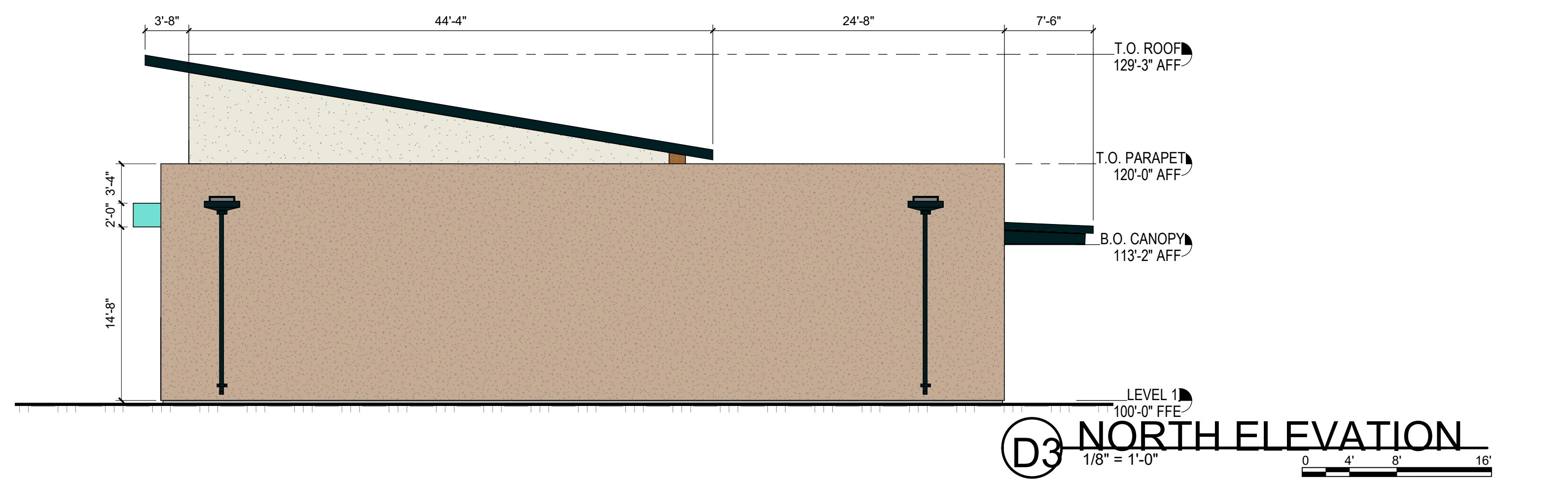
City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
DATE: 05/31/22  
BY: *Randy Brissett*  
HydroTeam # K10D058

THESE PLANS AND/OR REPORT ARE  
CONCEPTUAL ONLY. MORE INFORMATION MAY  
BE NEEDED IN THEM AND SUBMITTED TO  
HYDROLOGY FOR BUILDING PERMIT APPROVAL.



MATCHLINE - SEE CG-101





**GENERAL SHEET NOTES**

A. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF; SIZE AND LOCATION TO BE DETERMINED

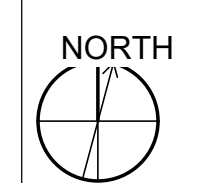
**SHEET KEYNOTES**

**REFERENCE KEYNOTES**

**LEGEND**

- STUCCO\_WHITE COLOR
- STUCCO\_EARTHTONE COLOR
- STANDING SEAM METAL ROOF\_ DARK BRONZE
- METAL PANEL\_ TURQUOISE
- SYNTHETIC MATERIAL\_ WOOD TONED COLORS
- LINEAR METAL PANEL\_ WHITE
- BUILDING MOUNTED SIGNAGE\_ LIGHTING, MATERIALS AND COLORS TO BE DETERMINED

**KEY PLAN**



**DEKKER  
PERICH  
SABATINI**



SEAL

**PROJECT**  
**Nuevo Atrisco**  
 Unser Blvd + Central Ave NW  
 Albuquerque, NM 87121

**SITE DEVELOPMENT PLAN SET**

**REVISIONS**

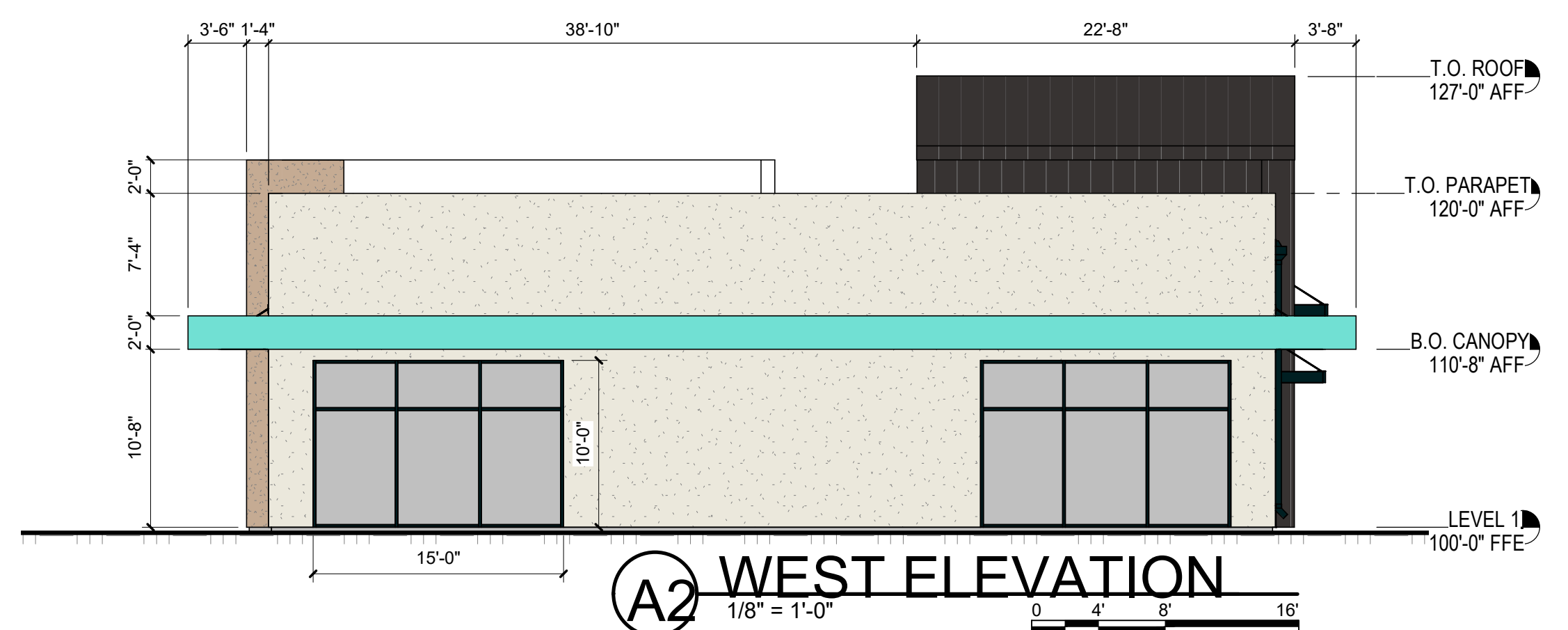
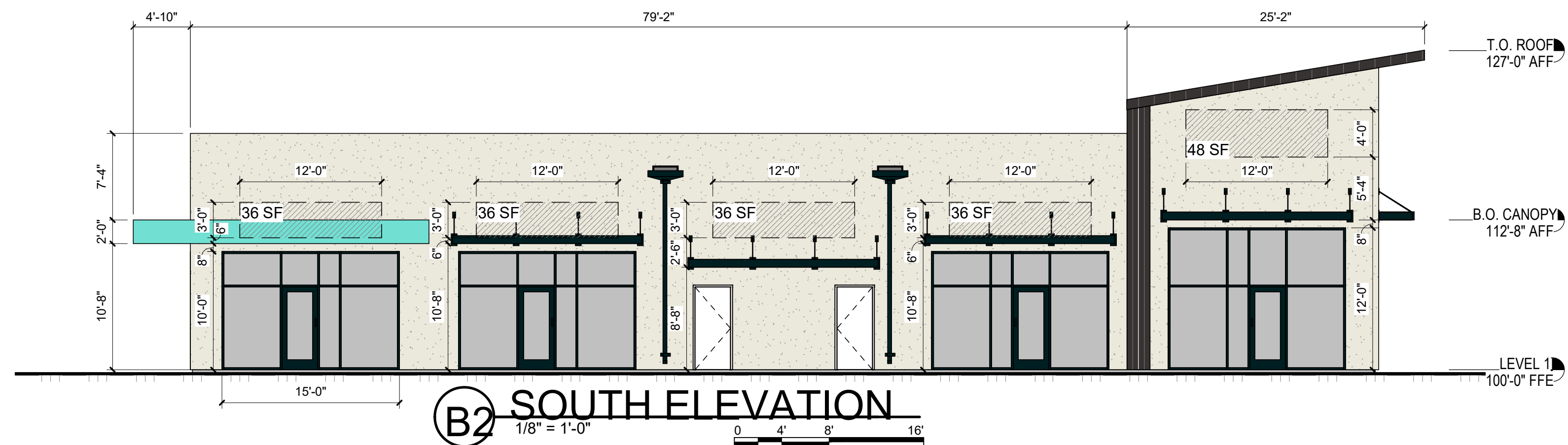
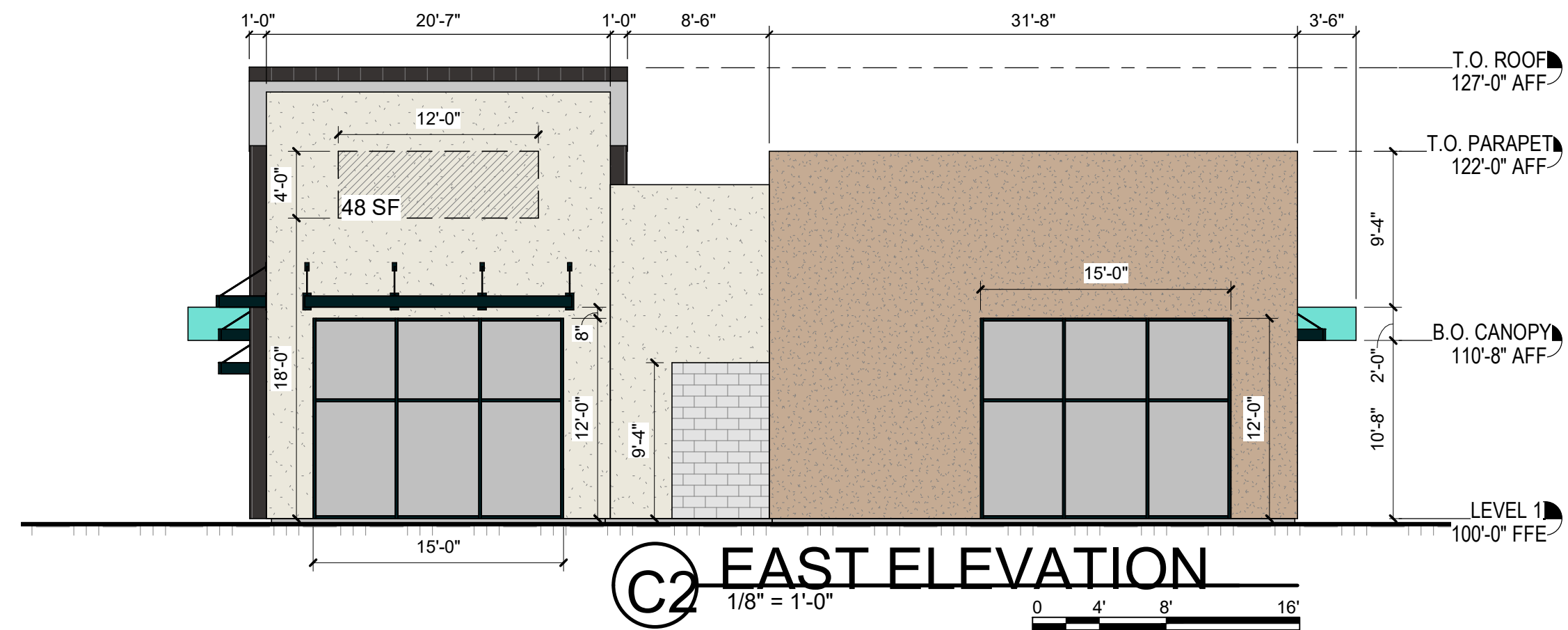
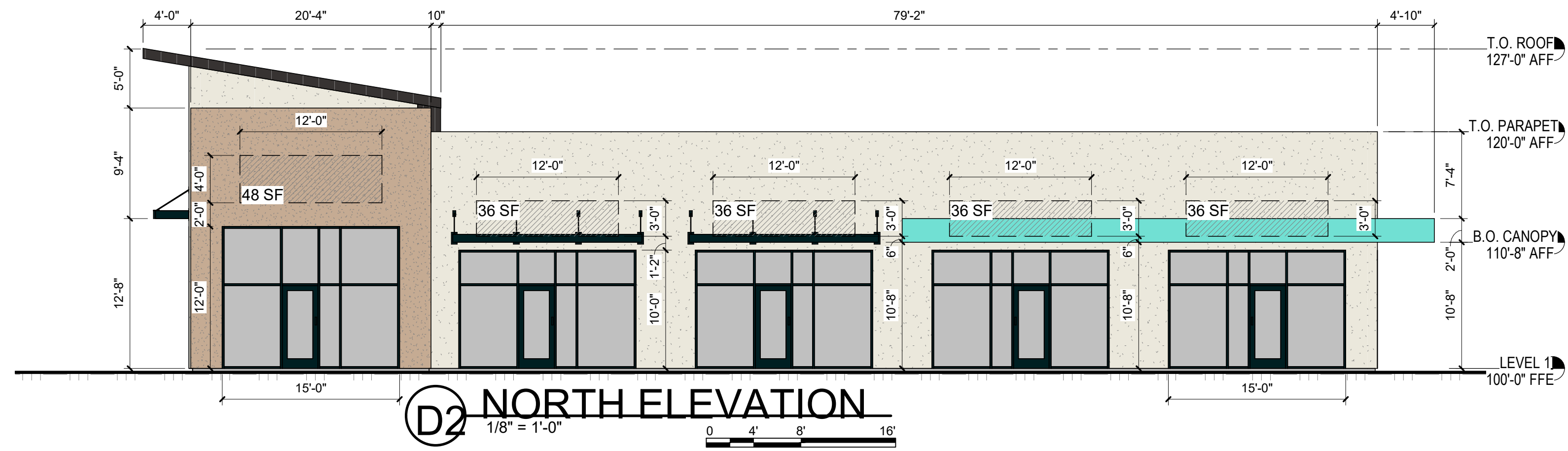
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DRAWN BY: KT  
 REVIEWED BY: KK  
 DATE: 06/03/2022  
 PROJECT NO: 19-0059.002

DRAWING NAME  
**EXTERIOR ELEVATIONS (BUILDING 1)**

SHEET NO  
**SDP5.10**





**GENERAL SHEET NOTES**

A. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF; SIZE AND LOCATION TO BE DETERMINED

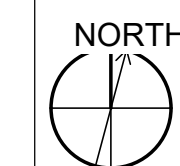
**SHEET KEYNOTES**

**REFERENCE KEYNOTES**

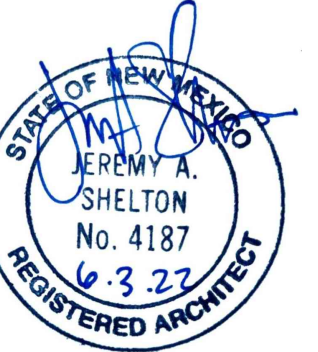
**LEGEND**

- STUCCO\_WHITE COLOR
- STUCCO\_EARTHTONE COLOR
- STANDING SEAM METAL ROOF\_ DARK BRONZE
- METAL PANEL\_TURQUOISE
- BUILDING MOUNTED SIGNAGE\_LIGHTING, MATERIALS AND COLORS TO BE DETERMINED

**KEY PLAN**



**DEKKER  
PERICH  
SABATINI**



SEAL

**PROJECT**  
**Nuevo Atrisco**  
Unser Blvd + Central Ave NW  
Albuquerque, NM 87121

**SITE DEVELOPMENT PLAN SET**

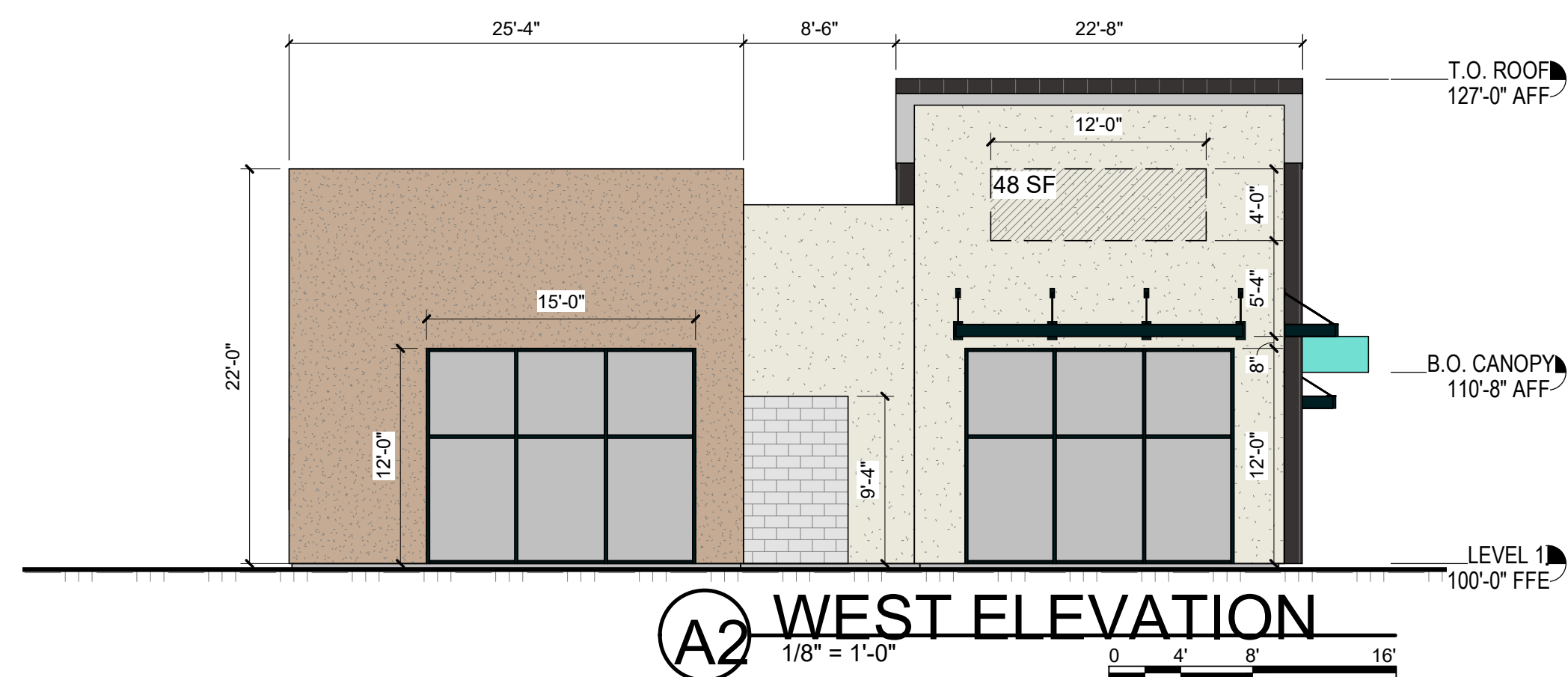
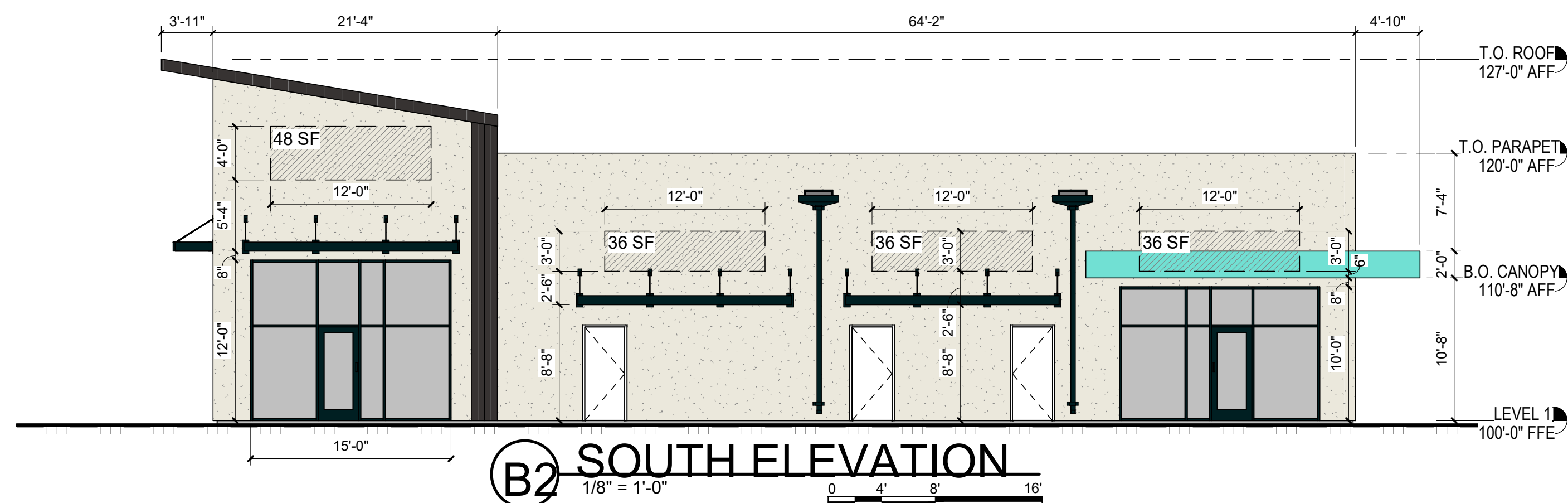
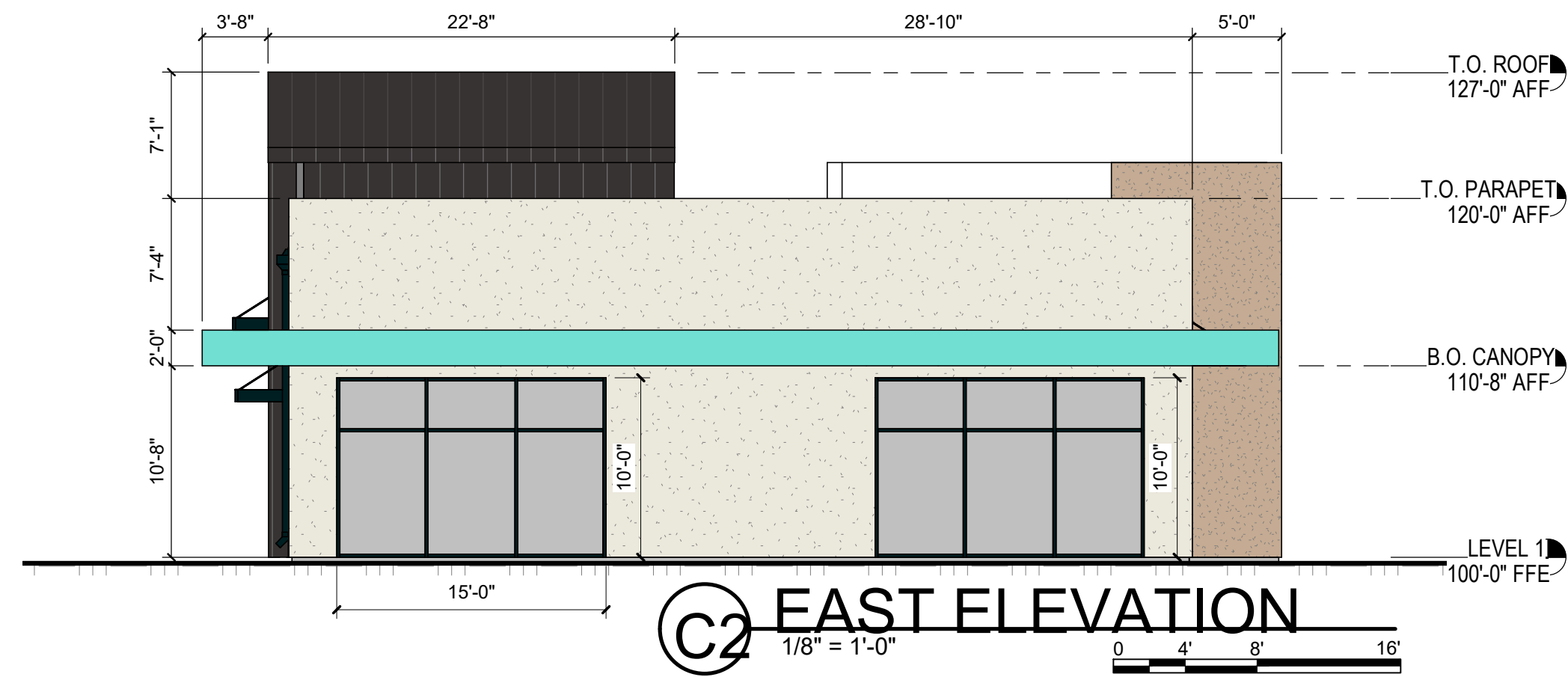
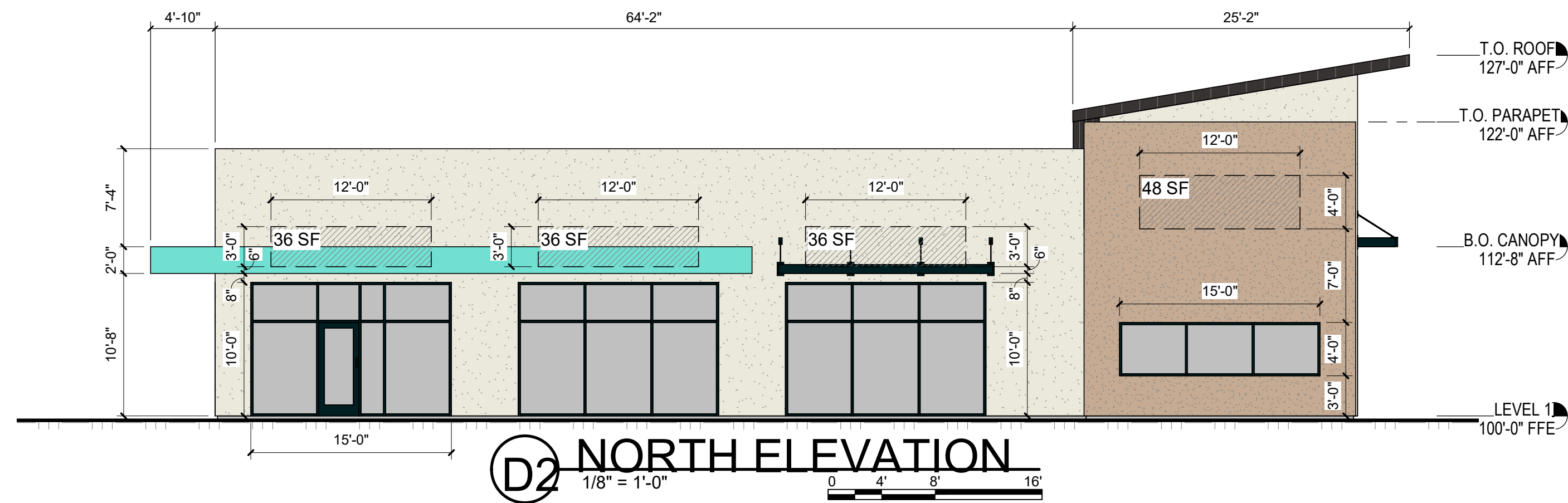
**REVISIONS**

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- △

DRAWN BY: KT  
REVIEWED BY: KK  
DATE: 06/03/2022  
PROJECT NO: 19-0059.002

DRAWING NAME  
**EXTERIOR ELEVATIONS (BUILDING 2)**

SHEET NO  
**SDP5.20**








**GENERAL SHEET NOTES**

A. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF; SIZE AND LOCATION TO BE DETERMINED

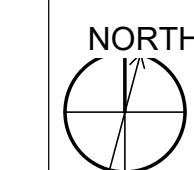
**SHEET KEYNOTES**

**REFERENCE KEYNOTES**

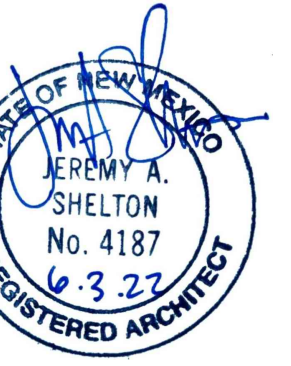
**LEGEND**

-  STUCCO\_WHITE COLOR
-  STUCCO\_EARTHTONE COLOR
-  STANDING SEAM METAL ROOF\_ DARK BRONZE
-  METAL PANEL\_ TURQUOISE
-  BUILDING MOUNTED SIGNAGE\_ LIGHTING, MATERIALS AND COLORS TO BE DETERMINED

**KEY PLAN**



**DEKKER  
PERICH  
SABATINI**



SEAL

**PROJECT**  
**Nuevo Atrisco**  
 Unser Blvd + Central Ave NW  
 Albuquerque, NM 87121

**SITE  
DEVELOPMENT  
PLAN SET**

**REVISIONS**

- △
- △
- △
- △
- △

DRAWN BY: KT  
 REVIEWED BY: KK  
 DATE: 06/03/2022  
 PROJECT NO: 19-0059.002

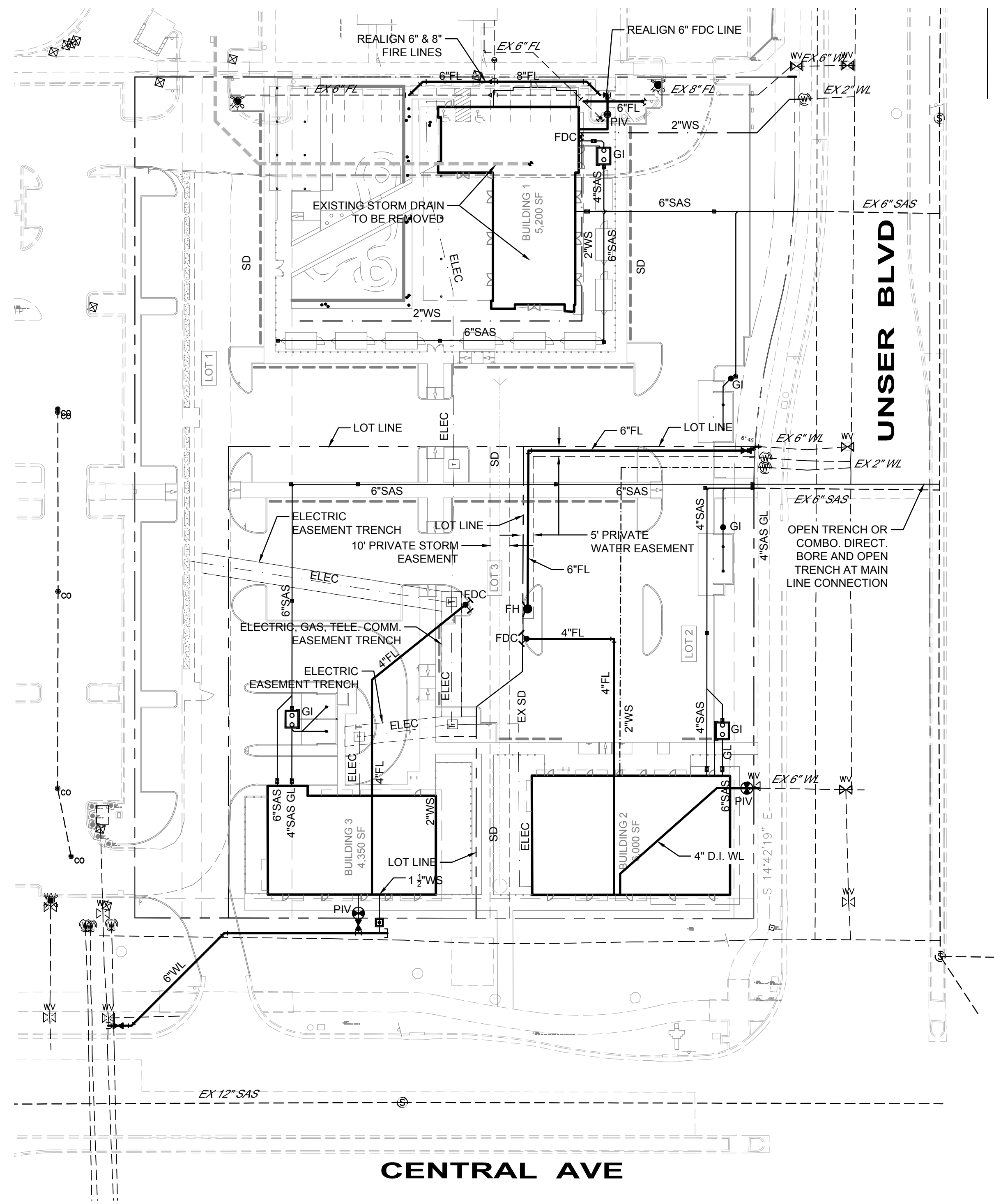
**DRAWING NAME**  
**EXTERIOR  
ELEVATIONS  
(BUILDING 3)**

**SHEET NO**  
**SDP5.30**









**GENERAL NOTES**

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.
- WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.

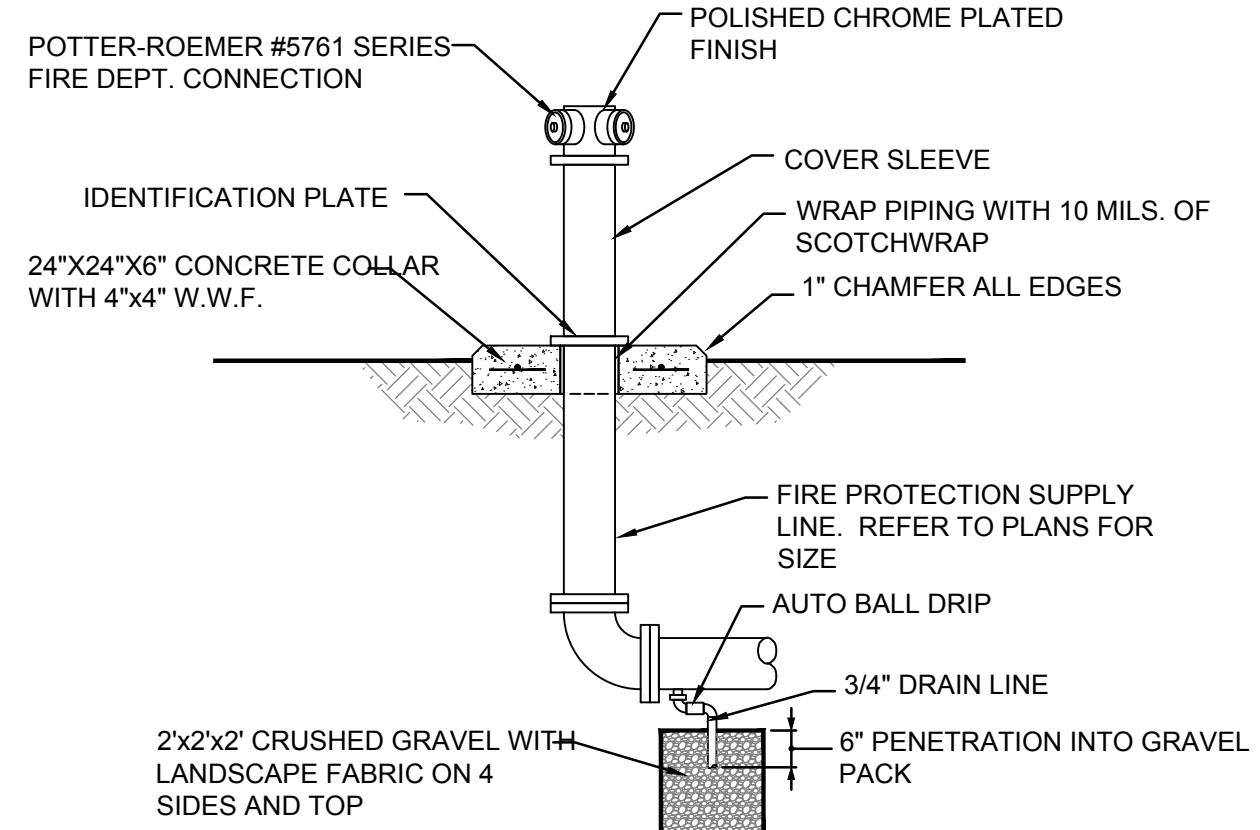
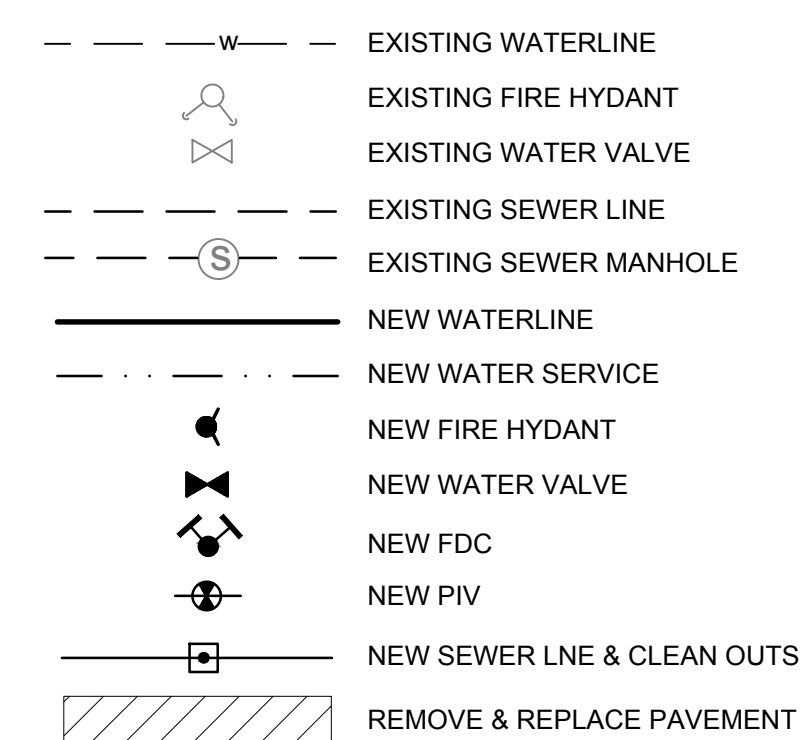
**RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS**

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

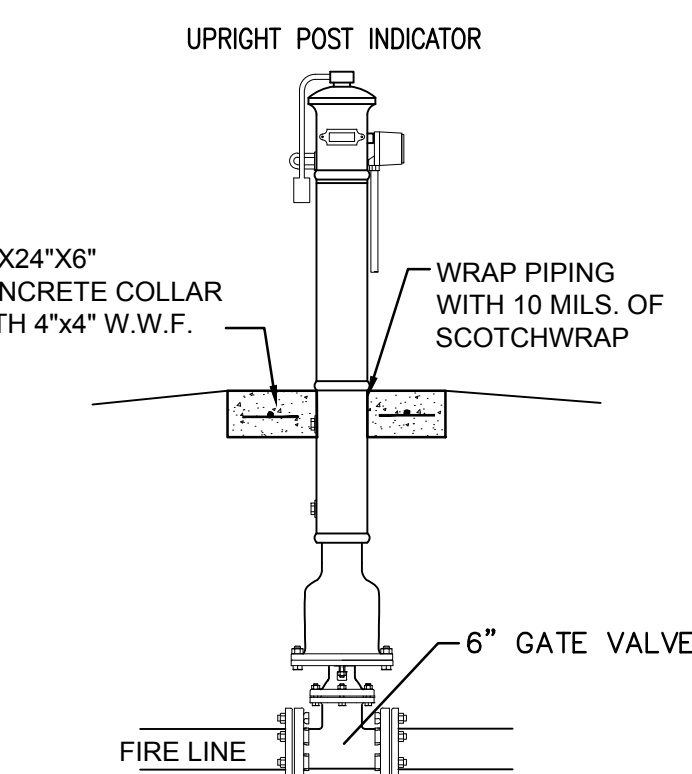
DEPTH OF BURY: 3.0 FT. MINIMUM  
 FACTOR OF SAFETY: 1.5  
 MATERIAL: PVC  
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.  
 TEST PRESSURE: 150 PSI  
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWVA.

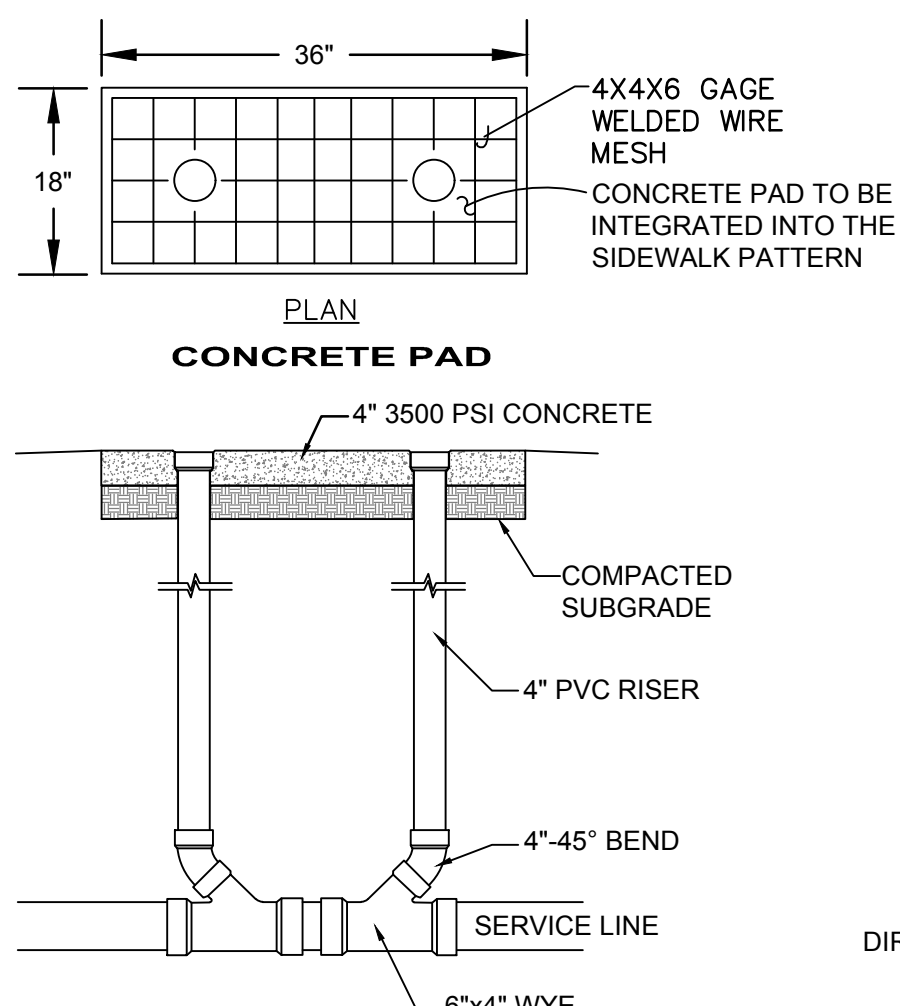
**LEGEND**



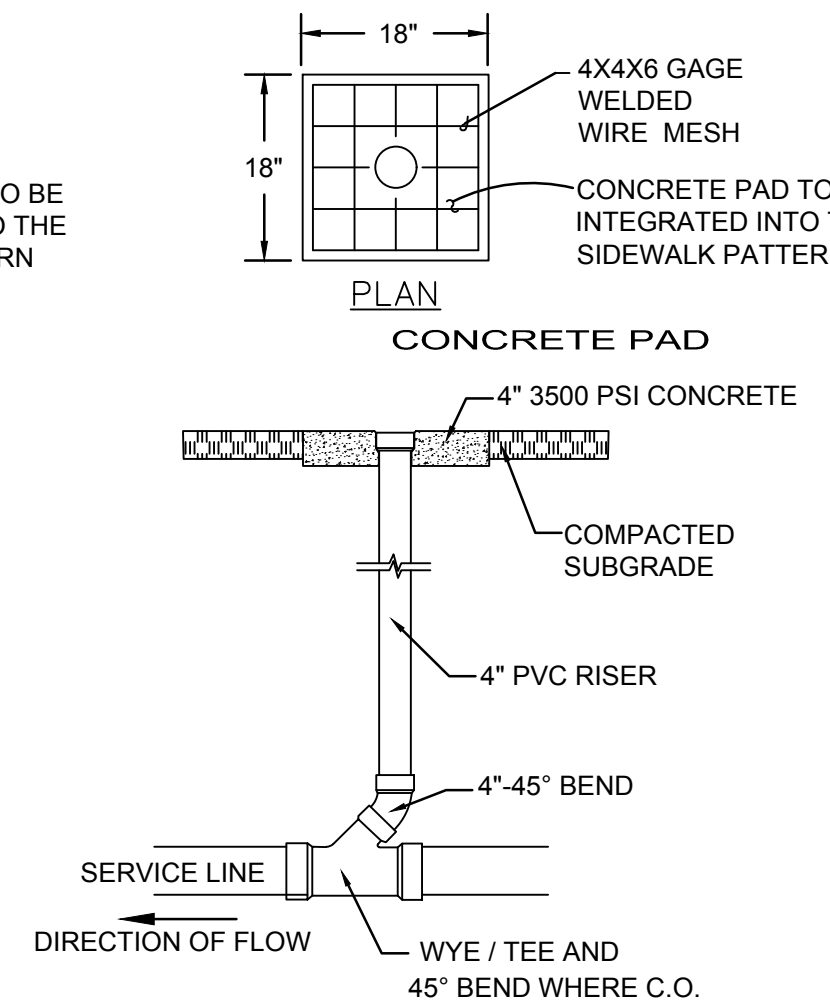
**FREE-STANDING FIRE DEPARTMENT CONNECTION DETAIL**  
NTS



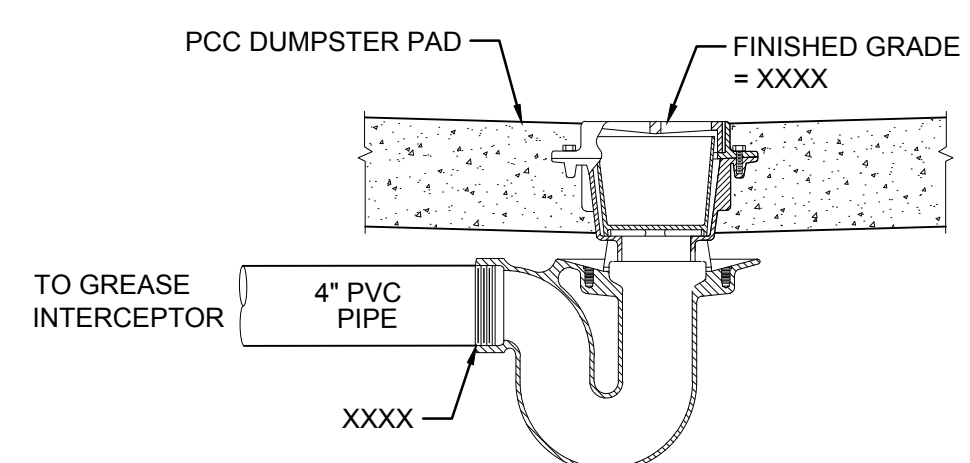
**POST INDICATOR VALVE**  
NTS



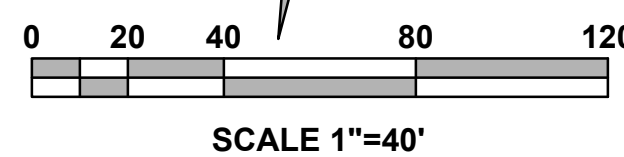
**DOUBLE CLEANOUT**  
NTS



**SINGLE CLEANOUT DETAIL**  
NTS



**DUMPSTER FLOOR DRAIN WITH TRAP**  
NTS



**DEKKER PERICH SABATINI**

ARCHITECT

ENGINEER

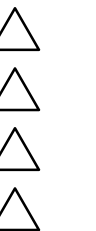


06/03/2022

PROJECT

**NUEVO ATRISCO**  
Central + Unser  
Albuquerque, NM

REVISIONS



DRAWN BY

REVIEWED BY

DATE

04.15.2022

PROJECT NO.

19-0059.002

DRAWING NAME

**UTILITY PLAN**

SHEET NO.

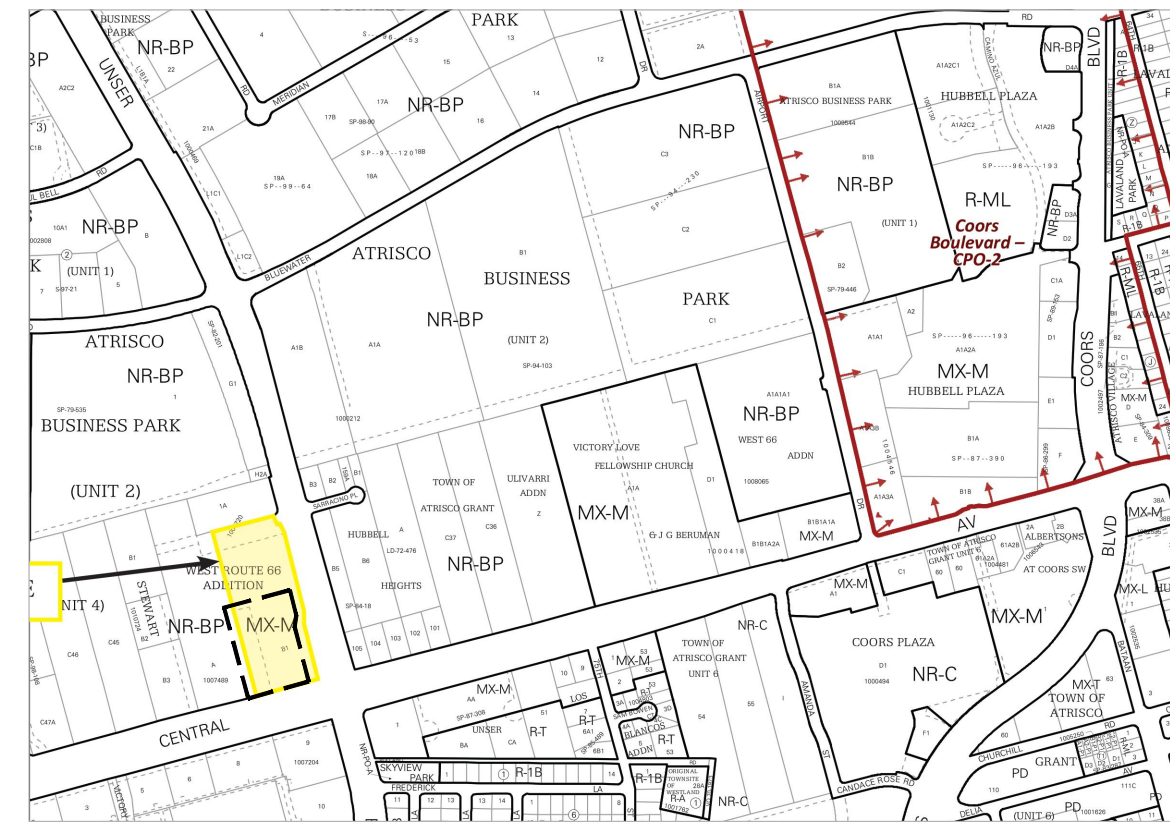
**CU-101**



**GENERAL SHEET NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- G. NEW CONSTRUCTION WILL ENSURE CONTINUOUS ACCESS FOR SOLID WASTE DURING CONSTRUCTION TO THE ADJACENT MULTI-FAMILY APARTMENTS.

**VICINITY MAP**



**LEGEND**

- LANDSCAPE AREA
- SYNTHETIC TURF
- LOT LINE
- ASPHALT PAVEMENT MARKING: WHITE DIRECTIONAL ARROW
- ASPHALT PAVEMENT MARKING: BLUE ACCESSIBLE PARKING SYMBOL
- EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION

**PROJECT DATA - TOTAL**

**ZONING:** IDO MX-M + PREMIUM TRANSIT (PT) DESIGNATION  
**LEGAL DESCRIPTION:**  
 TR A-1 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 3815 AC; TR A-2 PLAT FOR TRACTS A-1 & A-2 NUEVO ATRISCO (BEING COMPRISED OF TRACT A NUEVO ATRISCO) CONT. 2,725 AC; TR B PLAT OF TRACTS A AND B NUEVO ATRISCO (BEING A REPLAT OF TRACT B1, WEST ROUTE 66 ADDITION II) CONT. 3,136 AC  
**SITE AREA TOTAL:** 3.1362 ACRES = 136,611 SF  
**IDO ZONE ATLAS:** K-10-Z (MAY 2018)  
**SETBACKS (MIN/MAX):** FRONT 0'15', SIDE= 0'15', REAR= 0'  
**BUILDING INFORMATION:** HEIGHT/OCCUPANCY/CONSTRUCTION TYPE  
 BUILDING 1: COMMUNITY PLAZA BUILDING X-X' / 1' / VB-SPRINKLED  
 BUILDING 2: MULTI-TENANT BUILDING X-X' / M and A-2 / VB-SPRINKLED  
 BUILDING 3: RESTAURANT X-X' / A-2 / VB-SPRINKLED  
 MAX HEIGHT ALLOWED: 65'-0"  
**FIRE FLOW:** XXXX GPM  
**HYDRANTS REQUIRED:** X TOTAL

**PROJECT DATA - LOT 1 (PHASE 1)**

**LOT AREA TOTAL:** XXX ACRES  
**AREA OF LOT COVERED BY BUILDING**  
 BUILDING 1: 4,890 SF (= 4,890 GFA) this number is used to calculate net lot  
**USABLE OPEN SPACE**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 24 PARKING SPACES REQUIRED  
 2 SPACES PER 1 FOOD TRUCK = 18 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 42  
 TOTAL PARKING PROVIDED = 94  
 MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)  
 MOTORCYCLE PARKING PROVIDED = 2  
 BICYCLE PARKING REQUIRED = 4 (IDO Table 5-5-5)  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

**KEYED NOTES**

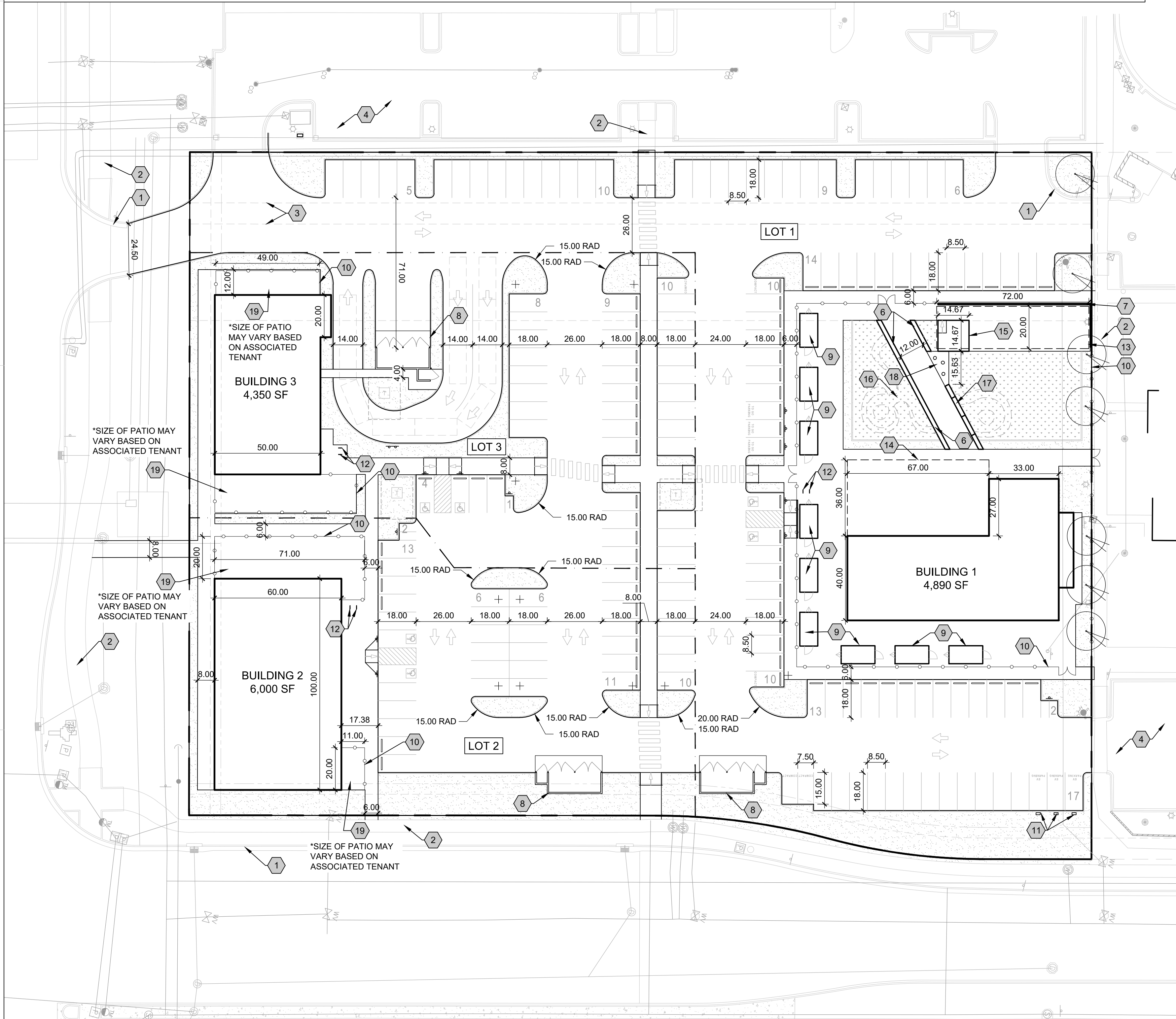
- | CODE | DESCRIPTION   |
|------|---|
| 1    | EXISTING CONCRETE CURB                                |
| 2    | EXISTING CONCRETE SIDEWALK                            |
| 3    | EXISTING EASEMENT                                     |
| 4    | EXISTING ASPHALT PAVING                               |
| 5    | CONCRETE SIDEWALK                                     |
| 6    | CONCRETE SEAT WALL                                    |
| 7    | EXTERIOR ART FEATURE WITH CHALK WALL                  |
| 8    | TRASH ENCLOSURE WITH 5' X 6' GREASE RECYCLING STORAGE |
| 9    | FOOD TRUCK  |
| 10   | FENCE   |
| 11   | EV CHARGING STATION LV2                               |
| 12   | TWO-POINT LOCK BICYCLE RACK                           |
| 13   | SHADE STRUCTURE                                       |
| 14   | ATTACHED SHADE STRUCTURE                              |
| 15   | 6" RAISED CONCRETE STAGE                              |
| 16   | TUNNEL  |
| 17   | LINEAR WATER FEATURE - THREE LEVELS                   |
| 18   | BUBBLER PAD   |
| 19   | PATIO   |

**PROJECT DATA - LOT 2 (PHASE 1)**

**LOT AREA TOTAL:** XXX ACRES  
**AREA OF LOT COVERED BY BUILDING**  
 BUILDING 2: 6,000 SF (= 6,000 GFA) this number is used to calculate net lot  
**USABLE OPEN SPACE**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 30 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 30  
 TOTAL PARKING PROVIDED = 38  
 MOTORCYCLE PARKING REQUIRED = 2 (IDO Table 5-5-4)  
 MOTORCYCLE PARKING PROVIDED = 2  
 BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)

**PROJECT DATA - LOT 3 (PHASE 2)**

**LOT AREA TOTAL:** XXX ACRES  
**AREA OF LOT COVERED BY BUILDING**  
 BUILDING 3: 4,350 SF (= 4,350 GFA) this number is used to calculate net lot  
**USABLE OPEN SPACE**  
 NOT REQUIRED PER IDO Table 5-1-2  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 22 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED 22  
 TOTAL PARKING PROVIDED = 39  
 MOTORCYCLE PARKING REQUIRED = 1 (IDO Table 5-5-4)  
 MOTORCYCLE PARKING PROVIDED = 1  
 BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)  
 BICYCLE PARKING PROVIDED = 4 (2 bicycles per 1 bike rack)  
 NOTE: SITE WORK AND PARKING AREA PAVING (EXCLUDING THE BUILDING, DRIVE-THROUGH AND DUMPSTER ENCLOSURE) MAY BE CONSTRUCTED SIMULTANEOUSLY WITH PHASE 1.



**\*\*Approved for access by the Solid Waste Department for 3-double trash enclosures. Herman Gallegos 04-14-22\*\***  
*Herman Gallegos*



ENGINEER

PROJECT

**NUEVO ATRISCO**  
 Central + Unser  
 Albuquerque, NM

|  |          |
|--|----------|
| PROJECT NO.  | TBD      |
| APPLICATION NO.  | TBD      |
| IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?<br>[ YES ] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. |          |
| DRB SITE DEVELOPMENT PLAN APPROVAL:  |          |
| REVISIONS  |          |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION   | DATE:    |
| ABCWUA   | DATE:    |
| PARKS & RECREATION DEPARTMENT  | DATE:    |
| CITY ENGINEER/HYDROLOGY  | DATE:    |
| ENVIRONMENTAL HEALTH (CONDITIONAL)   | DATE:    |
| Herman Gallegos <i>Herman Gallegos</i>   | 04-14-22 |
| SOLID WASTE MANAGEMENT   | DATE:    |
| DRB CHAIRPERSON, PLANNING DEPT.  | DATE:    |
| CODE ENFORCEMENT   | DATE:    |

- REVISIONS
- △
- △
- △
- △

DRAWN BY  
 REVIEWED BY  
 DATE: 04.12.2022  
 PROJECT NO. 19-0059.002  
 DRAWING NAME  
**SITE DEVELOPMENT PLAN**  
 SHEET NO.

# **11 ORIGINAL APPROVED SITE PLAN**



PLANNING DEPARTMENT  
DEVELOPMENT SERVICES DIVISION  
600 2nd Street NW, Ground Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3946

## OFFICIAL NOTIFICATION OF DECISION

August 31, 2018

City of Albuquerque  
Metropolitan Redevelopment  
600 2<sup>nd</sup> Street NW  
ABQ, NM 87102

**Project# PR-2018-001405**  
**Application# SI-2018-00092- Site Plan DRB**

### LEGAL DESCRIPTION:

All or a portion of TRACT B-1, WEST ROUTE 66 ADDITION II, zoned MX-M, located west of UNSER BLVD NW and north of CENTRAL AVE NW, containing approximately 6.22 acre(s). (K-10)

On August 29, 2018, the Development Review Board (DRB) voted to APPROVE a Site Plan for Project PR-2018-001405/SD-2018-00092.

### Findings:

1. This is a request for a mixed use development with 88 unit multifamily units, 19,000 square feet of retail and restaurant space, 10,000 square feet of office space and a 23,000 square foot outdoor market/plaza space.
2. Pursuant to 6-6(G)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:

*6-6(G)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

The site plan meets the applicable requirements of the IDO including parking, height setbacks and building design.

*6-6(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.*

The site has access to a full range of urban services including roads, utilities, and public safety services. The project has an availability statement from the ABCWUA .

*6-6(G)(3)(c) The Site Plan mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.*

Official Notice of Decision

Project # PR-2018-001405 Application# SI-2018-00092

August 31, 2018

Page 2 of 2

The site design incorporates significant open space in a central plaza and includes landscaping buffers that improve the pedestrian experience for site users.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **SEPTEMBER 13, 2018**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,



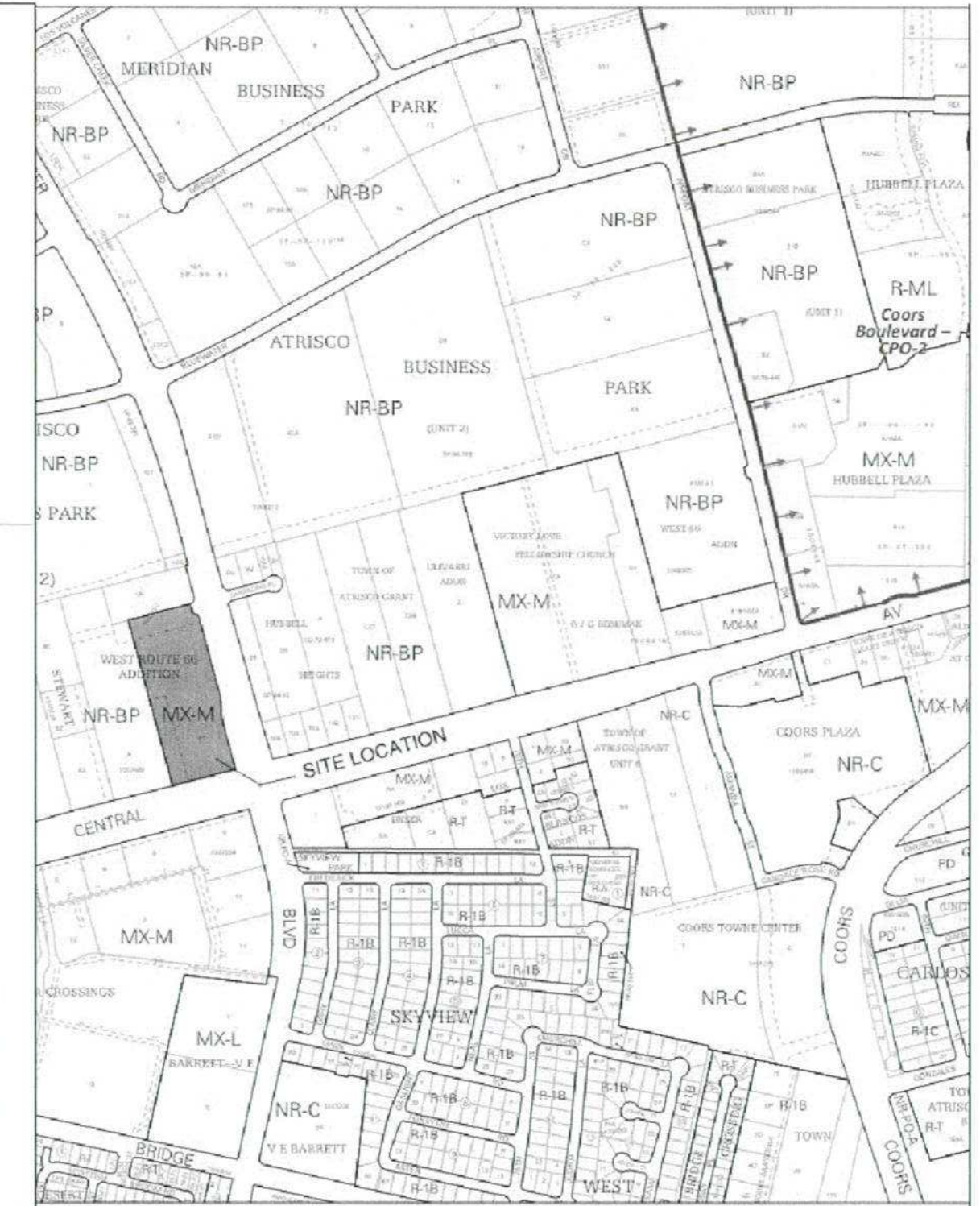
Kym Dicome  
DRB Chair

KD/mg

CC:

Dekker/Perich /Sabatini 7601 Jefferson NE Suite 100 ABQ, NM 87109





**VICINITY MAP**

PROJECT NO. PR-2018-001405  
 APPLICATION NO. SI-2018-00092

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?  
 YES  NO. IF YES, THEN A SET OF APPROVED  
 DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY  
 CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR  
 CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

|   |          |
|---|----------|
| <i>Roguel M...</i>                              | 8/29/18  |
| TRAFFIC ENGINEERING,<br>TRANSPORTATION DIVISION | DATE:    |
| <i>Christy Carle</i>                            | 8/29/18  |
| ABCWUA  | DATE:    |
| <i>D. Sanborn</i>                               | 8/29/18  |
| PARKS & RECREATION DEPARTMENT                   | DATE:    |
| <i>Renée Brissett</i>                           | 8/29/18  |
| CITY ENGINEER/HYDROLOGY                         | DATE:    |
| ENVIRONMENTAL HEALTH (CONDITIONAL)              | DATE:    |
| <i>[Signature]</i>                              | 08-31-18 |
| SOLID WASTE MANAGEMENT                          | DATE:    |
| <i>[Signature]</i>                              | 8-29-18  |
| DRB CHAIRPERSON, PLANNING DEPT.                 | DATE:    |
| <i>[Signature]</i>                              | 8/29/18  |
| CODE ENFORCEMENT                                | DATE:    |

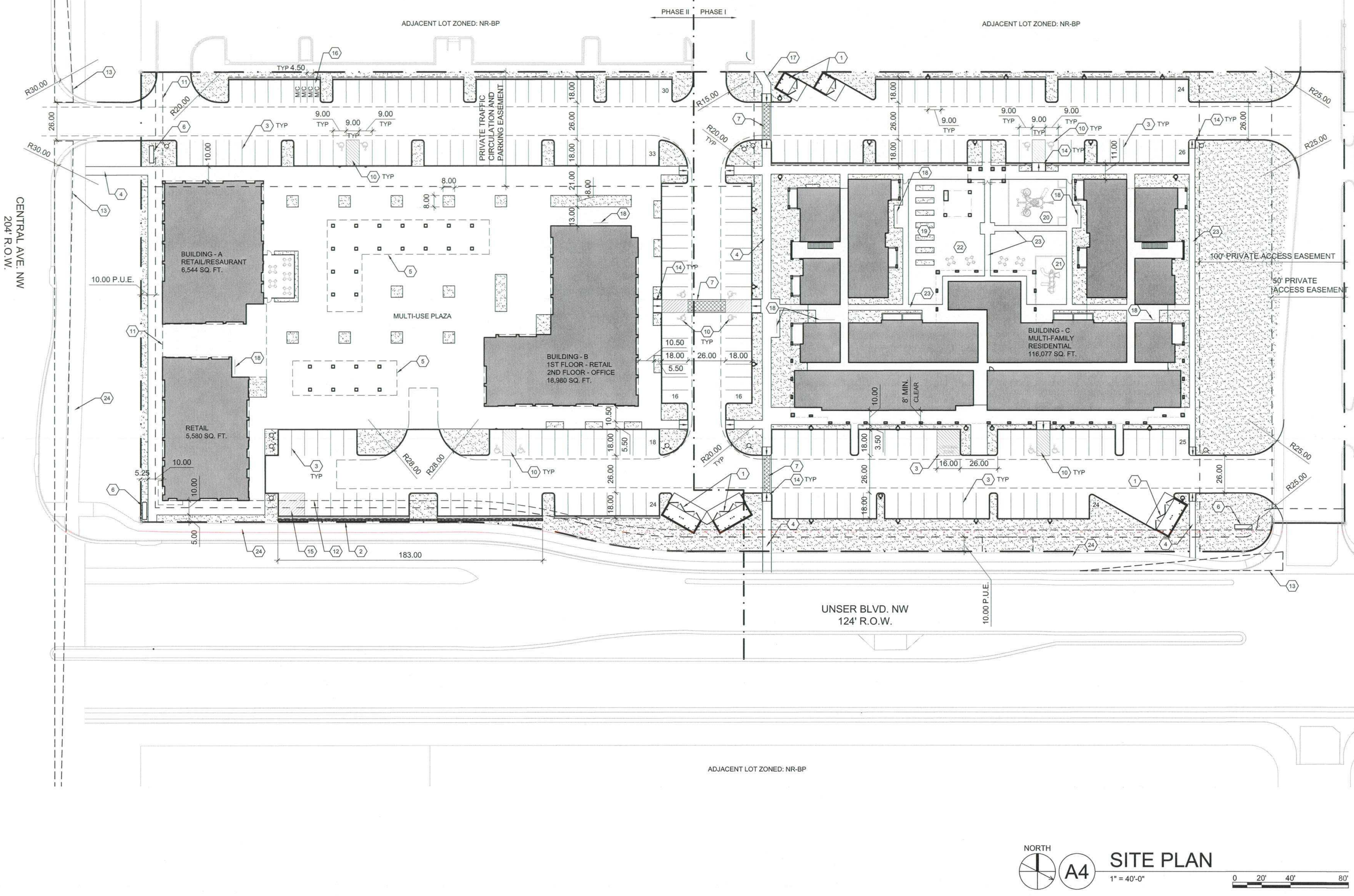
**LEGEND**

- LANDSCAPE AREA
- 2' WIDE GRAVEL STRIP
- FIRE DEPARTMENT ACCESS LANE / EASEMENT AS NOTED
- PROPERTY LINE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION (F.D.C.)
- MAX BUILDING SET BACK LINE
- EASEMENT LINE
- SCORED CONCRETE CROSSWALK
- SIDEWALK RAMP (ARROW POINTS DOWN)
- SITE LIGHTING POLE AND LUMINAIRE. SEE SITE ELECTRICAL

- REVISIONS**
- △
  - △
  - △
  - △

DRAWN BY  
 REVIEWED BY  
 DATE 08-29-2018  
 PROJECT NO. 18-0087  
 DRAWING NAME

**SITE PLAN**



**A4 SITE PLAN**  
 1" = 40'-0"  
 0 20' 40' 80'

**GENERAL SHEET NOTES**

- A. SOLID WASTE COLLECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- B. THE SITE SHALL COMPLY WITH THE INTERNATIONAL FIRE CODE (IFC) 2009.
- C. THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' THROUGHOUT THE COMPLEX.
- D. THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIRE FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IFC REQUIREMENTS.
- E. ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10%.
- F. THE SITE SHALL MEET ALL DEAD END REQUIREMENTS AS PER IFC OR PROVIDE EMERGENCY TURN-AROUND PER IFC.
- G. ALL BUILDING AND FREESTANDING SIGNAGE TO BE SUBMITTED UNDER A SEPARATE SIGN PERMIT AS PER THE UNDERLYING ZONING.
- H. AVAILABILITY STATEMENT #180406 WAS ISSUED ONLY FOR TRACT A WHICH CONSISTS OF A MULTI-UNIT APARTMENT COMPLEX FOR YES HOUSING. AN AVAILABILITY STATEMENT IS REQUIRED PRIOR TO THE DEVELOPMENT OF TRACT B.

**SHEET KEYED NOTES**

1. DOUBLE REFUSE ENCLOSURE FOR SOLID WASTE AND RECYCLE CONTAINERS
2. 3" TALL MASONRY WALL, 2-COAT STUCCO EACH SIDE, COLOR TO MATCH BUILDING
3. PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
4. 6" WIDE CONCRETE SIDEWALK
5. CANOPY OVERHEAD
6. MONUMENT SIGN PROVIDED FOR ENTIRE DEVELOPMENT INCLUDING ALL FUTURE PHASES
7. SCORED CONCRETE CROSSWALK
8. FIRE HYDRANT. PAINT SAFETY ORANGE. SEE CIVIL
9. NEW F.D.C. SEE CIVIL
10. ADA PARKING
11. 15' MAX FRONT SETBACK
12. 15' MAX CORNER SIDE SETBACK
13. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
14. ACCESSIBLE RAMP
15. STRIPED TO INDICATE NO PARKING, TURNAROUND AREA. COLOR: WHITE
16. MOTORCYCLE PARKING
17. 6" WIDE CONCRETE SIDEWALK TO PROVIDE CONNECTION TO ADJACENT TRANSIT STATION
18. BIKE RACK. SEE A4/SDP1-2
19. COMMUNITY GARDEN
20. AGE 2-5 RECREATIONAL/PLAY AREA
21. AGE 5-12 RECREATIONAL/PLAY AREA
22. AGE 12+ RECREATIONAL/PLAY AREA
23. 4" WIDE CONCRETE SIDEWALK
24. EXISTING CONCRETE SIDEWALK

**PROJECT DATA**

**ZONING:** (MX-M) MIXED USE - MODERATE INTENSITY ZONE DISTRICT

**LEGAL DESCRIPTION:**  
 Tract B1, West Route 66 Addition II, as the same is shown and designated on the plat entitled "WEST ROUTE 66 ADDITION II, BEING A REPLAT OF TRACT B OF WEST ROUTE 66 ADDITION AS RECORDED ON AUGUST 12, 2013 IN BOOK 2013C, PAGE 91 AND LOT 1 OF UNM HOSPITALS CLINIC AS RECORDED ON JANUARY 22, 2009 IN BOOK 2009C, PAGE 18, SITUATE WITHIN PROJECTED SECTION 22, T.10N., R.2E., N.M.P.M., TOWN OF ATRISCO LAND GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATE OF SURVEY: SEPTEMBER 2016", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 9, 2016, in Plat Book 2016c, Page 151.

**SITE AREA:** 6.22 ACRES (270,943 SF)

**USABLE OPEN SPACE:** (TABLE 5-1-2)  
 1BR: 200 SQ. FT./UNIT = 29 X 200 = 5,800 SQ. FT.  
 2BR: 250 SQ. FT./UNIT = 42 X 250 = 10,500 SQ. FT.  
 3BR: 300 SQ. FT./UNIT = 17 X 300 = 5,100 SQ. FT.  
 TOTAL = 21,400 SQ. FT.  
 UC-MS-PT: 50% REDUCTION = 10,700 SQ. FT. REQUIRED

**BUILDING HEIGHT:** (TABLE 5-1-2: MIXED-USE ZONE DISTRICT DIMENSIONAL STANDARDS)  
 UC-MS-PT, 65FT MAXIMUM HEIGHT  
 PLUS 12' WORKFORCE HOUSING BONUS = 77FT MAXIMUM HEIGHT

**PARKING CALCULATION:** (TABLE 5-5-1)

**DWELLING UNITS**  
 80 UNITS x 1 SPACE/UNIT = 80 SPACES  
 8 LIVE/WORK UNITS x 1 SPACE/UNIT = 8 SPACES

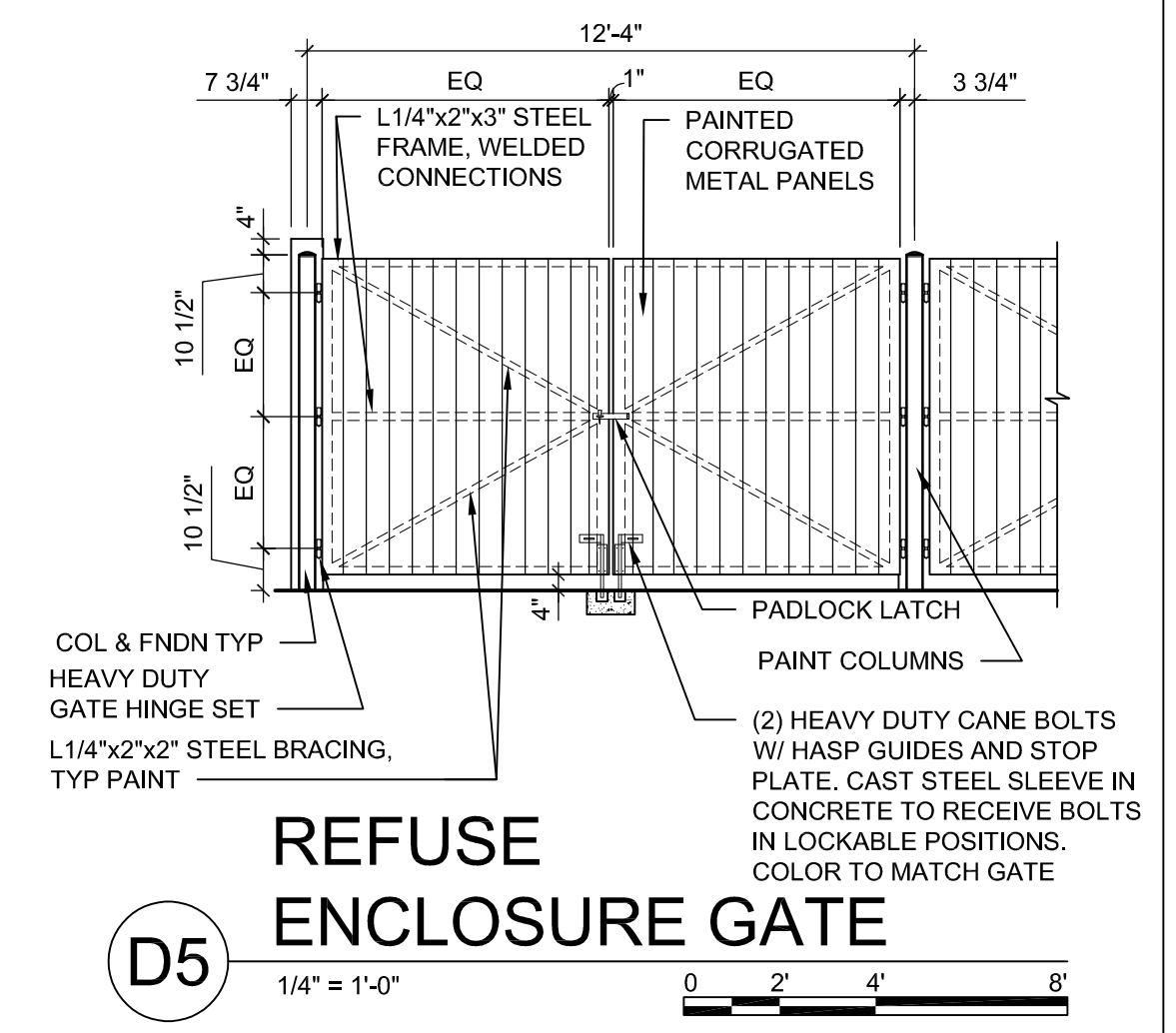
**RESIDENTIAL SPACES REQUIRED**  
 RESIDENTIAL SPACES PROVIDED (INCLUDES 4 ACCESSIBLE SPACES) = 88 SPACES

**NONRESIDENTIAL SPACES REQUIRED**  
 RESTAURANT AT 2.5/1000 = 17,723/1,000x2.5 = 45 SPACES  
 OFFICE AT 2.5/1000 = 3,893/1,000x5 = 20 SPACES  
 OFFICE AT 2.5/1000 = 9,491/1,000x5 = 48 SPACES  
 NONRESIDENTIAL SPACES PROVIDED (INCLUDES 6 ACCESSIBLE SPACES) = 113 SPACES

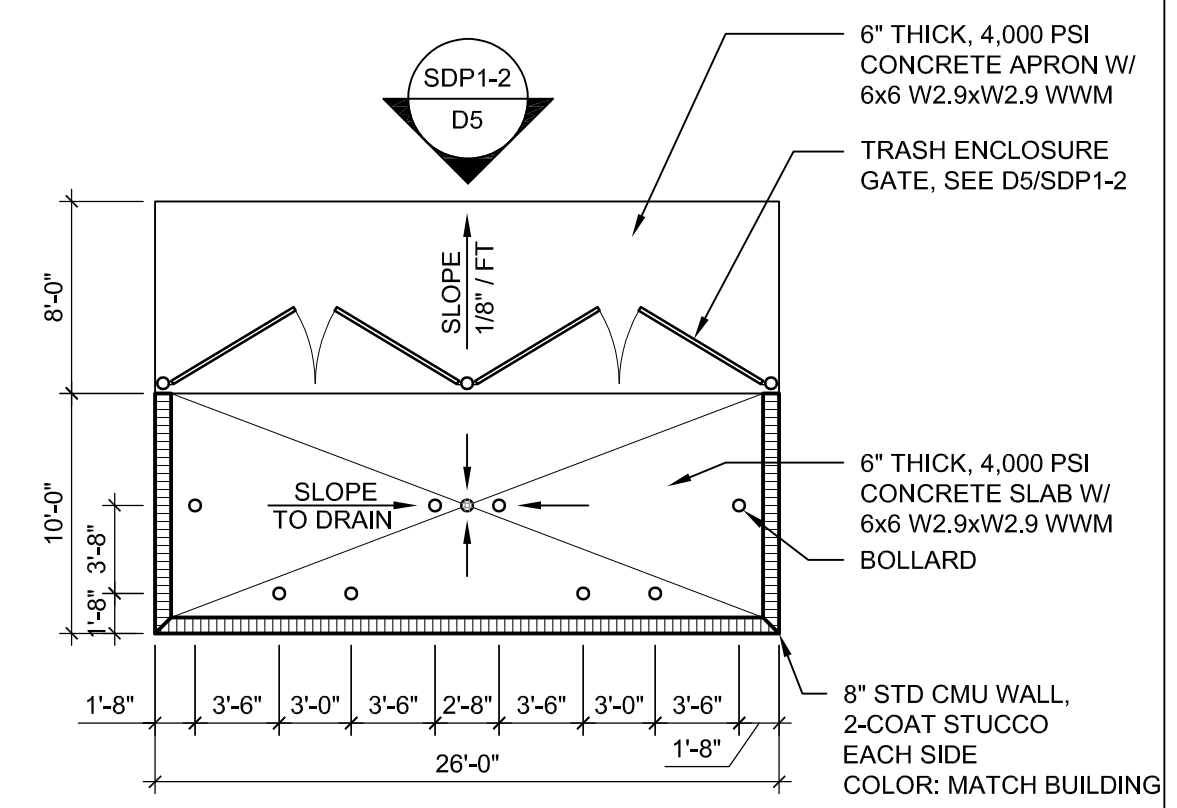
**TOTAL PARKING PROVIDED** (INCLUDES 10 ACCESSIBLE SPACES) = 234 SPACES

**BICYCLE PARKING** (TABLE 5-5-5)  
 RESIDENTIAL USE: 10% OF REQUIRED OFF-STREET PARKING SPACES = 9 BICYCLE SPACES REQUIRED  
 BICYCLE SPACES PROVIDED = 45  
 NON RESIDENTIAL USE: 10% OF REQUIRED OFF-STREET PARKING SPACES = 12 BICYCLE SPACES REQUIRED  
 BICYCLE SPACES PROVIDED = 15

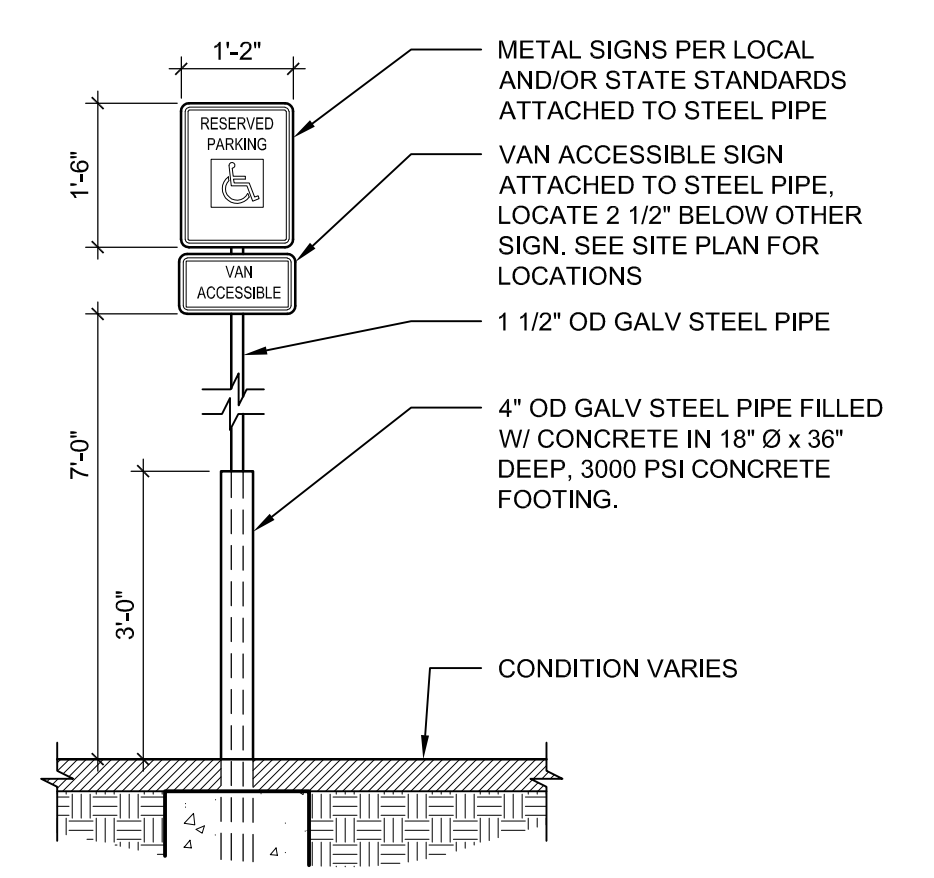




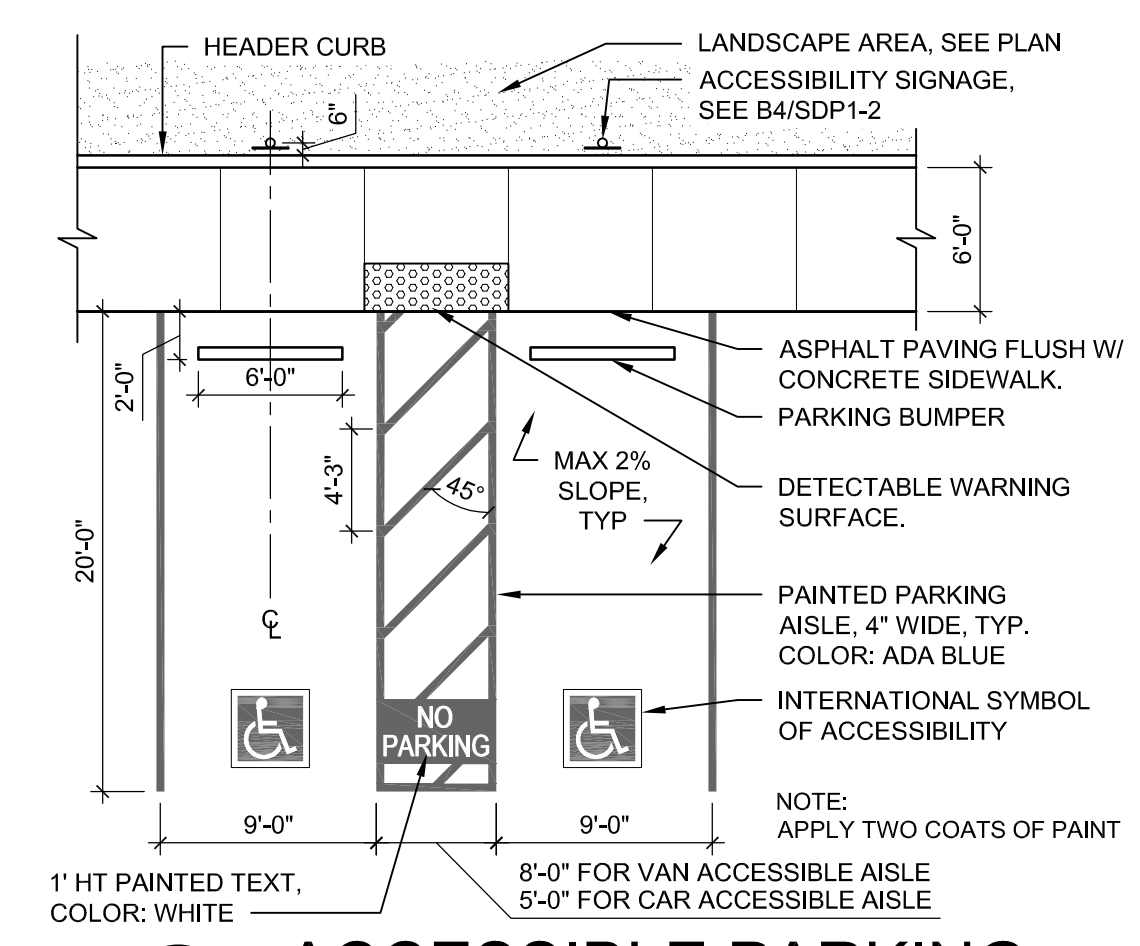
**REFUSE ENCLOSURE GATE**  
D5  
1/4" = 1'-0"



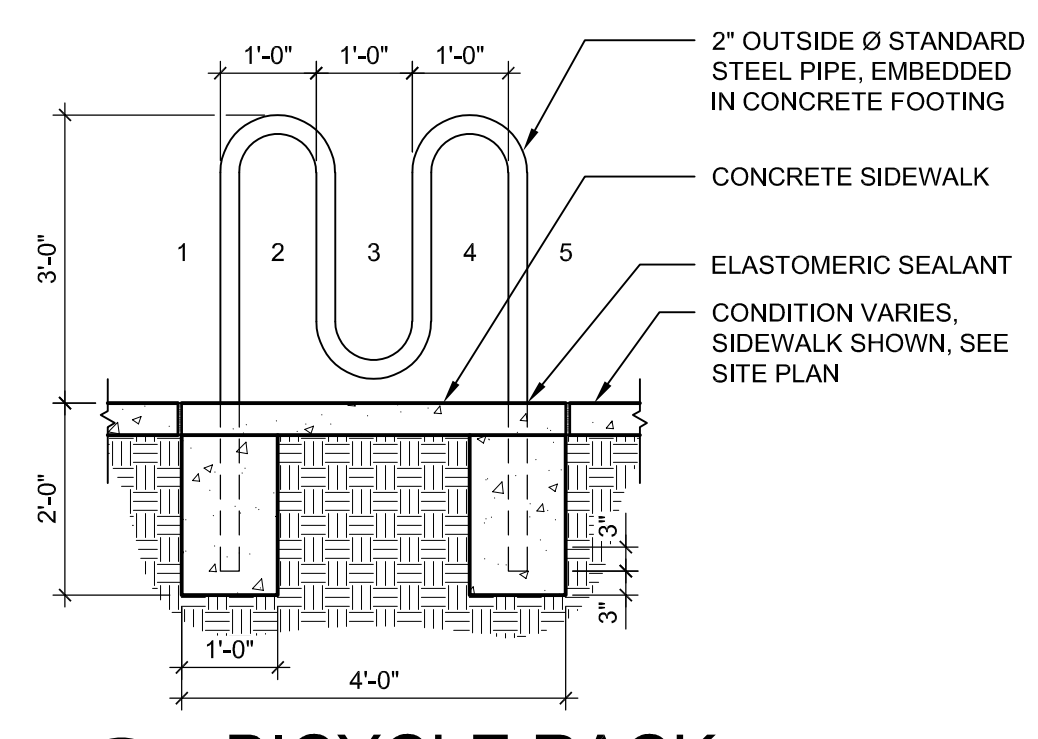
**TRASH ENCLOSURE**  
C5  
1/8" = 1'-0"



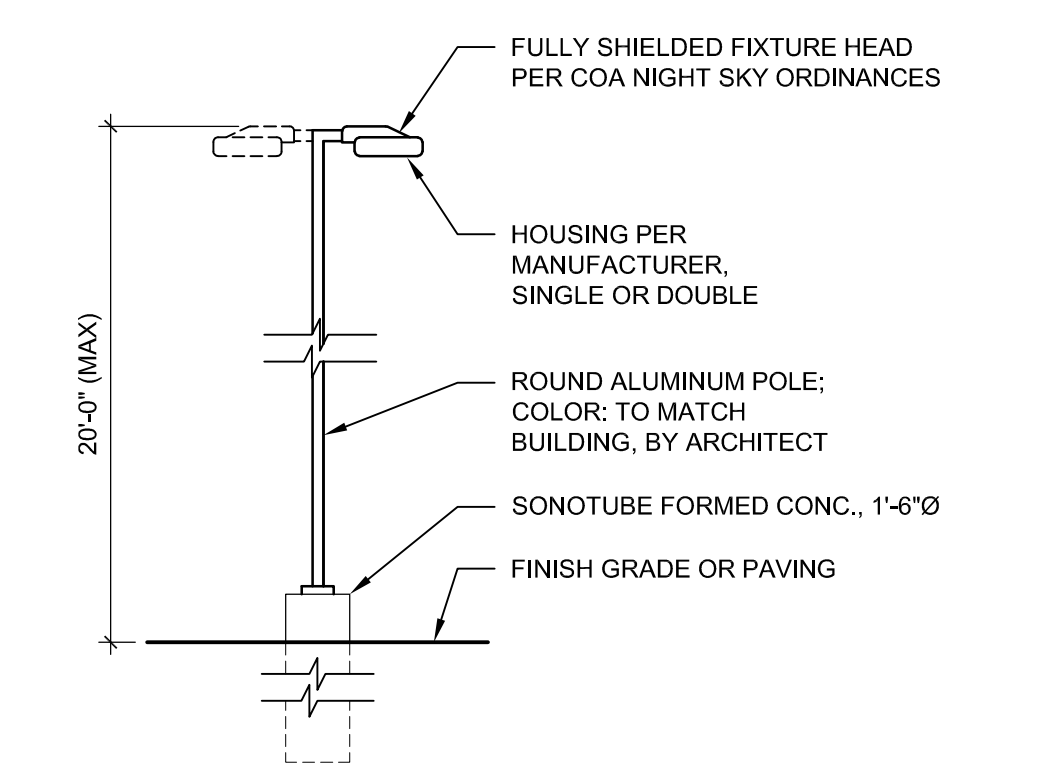
**POLE MOUNTED H.C. SIGN (VAN)**  
B4  
1/2" = 1'-0"



**ACCESSIBLE PARKING**  
A3  
1/8" = 1'-0"



**BICYCLE RACK**  
A4  
1/2" = 1'-0"



**PARKING LIGHT POLE**  
A5  
1/4" = 1'-0"

REVISIONS

|   |  |
|---|--|
| △ |  |
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DRAWN BY

REVIEWED BY

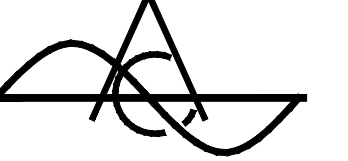
DATE 08-17-2018

PROJECT NO. 18-0087

DRAWING NAME

**SITE DETAILS**





**A C ENGINEERING ENTERPRISES, LLC**  
120 Aliso Drive, SE  
Albuquerque, New Mexico 87108  
Phone 505.842.5787  
Facsimile 505.842.5797

*Frederick J. Telock*



**Lumark**

|           |                         |             |          |
|-----------|-------------------------|-------------|----------|
| Catalog # | #PRV-A60-D-UNV-T3-SA-BZ | Type        | "S1"     |
| Project   | NUEVO ATRISCO           | Date        |          |
| Comments  | SITE LIGHTING           | Prepared by | ACE      |
|           |                         |             | 08/16/18 |



**PRV PREVAL**  
LED  
AREA / SITE / ROADWAY LUMINAIRE

**DESCRIPTION**  
The Preval LED area, site luminaire combines optical performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the Preval luminaire delivers unparalleled uniformity resulting in greater pole spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installations. With energy savings greater than 82%, the Preval fixture replaces 150-450W metal halide fixtures in general area lighting applications such as parking lots, walkways, roadways and building areas.

**SPECIFICATION FEATURES**

**Construction**  
Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. The die-cast aluminum door is hinged to provide easy access to the driver if replacement is required. A one-piece silicone gasket seals the door to the fixture housing. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP68 and 3G vibration rated (ANSI C136.31) to insure strength of construction and longevity in the selected application.

**Optics**  
Precision molded, high efficiency optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. Available in Type II, III, IV and V distributions with lumen packages ranging from 5,100 to 18,900 nominal lumens. Light engine configurations consist of 1 or 2 high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to 100,000 hours at 25°C) per IESNA TM-21. For the ultimate level of light control, an optional house side shield accessory can be field or factory installed.

**Electrical**  
LED drivers are mounted to the fixture for optimal heat sinking and ease of maintenance. Thermal management incorporates both conduction and convection to transfer heat rapidly away from the LED source for optimal efficiency and light output. Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Available in 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. 100/110 kA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture. Suitable for ambient temperatures from -40°C to 40°C. Optional 50°C HA (high ambient) available. Standard NEMA 3-PIN twistlock photocountrol receptacle and NEMA 7-PIN twistlock photocountrol receptacles are available as options.

**Mounting**  
Standard pole mount arm is bolted directly to the pole and the fixture slides onto the arm and locks in place with a bolt facilitating quick and easy installation. The versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting. Wall mount and mast arm mounting options are available. Mast arm adapter fits 2-3/8" O.D. tenon.

**Finish**  
Housing and cast parts finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, black, dark platinum and graphite metallic.

**Warranty**  
Five-year warranty.

**CERTIFICATION DATA**  
UL and cUL Wet Location Listed (Type III)  
3G Vibration Rated (ANSI C136.31)  
DesignLights Consortium® Qualified®

**ENERGY DATA**  
Electronic LED Driver  
0.9 Power Factor  
<20% Total Harmonic Distortion  
120/277V/50 and 60Hz  
347V/60Hz, 480V/60Hz  
40°C Minimum Temperature Rating  
+40°C Ambient Temperature Rating

**EPA Effective Projected Area (Sq. Ft.) 0.76**

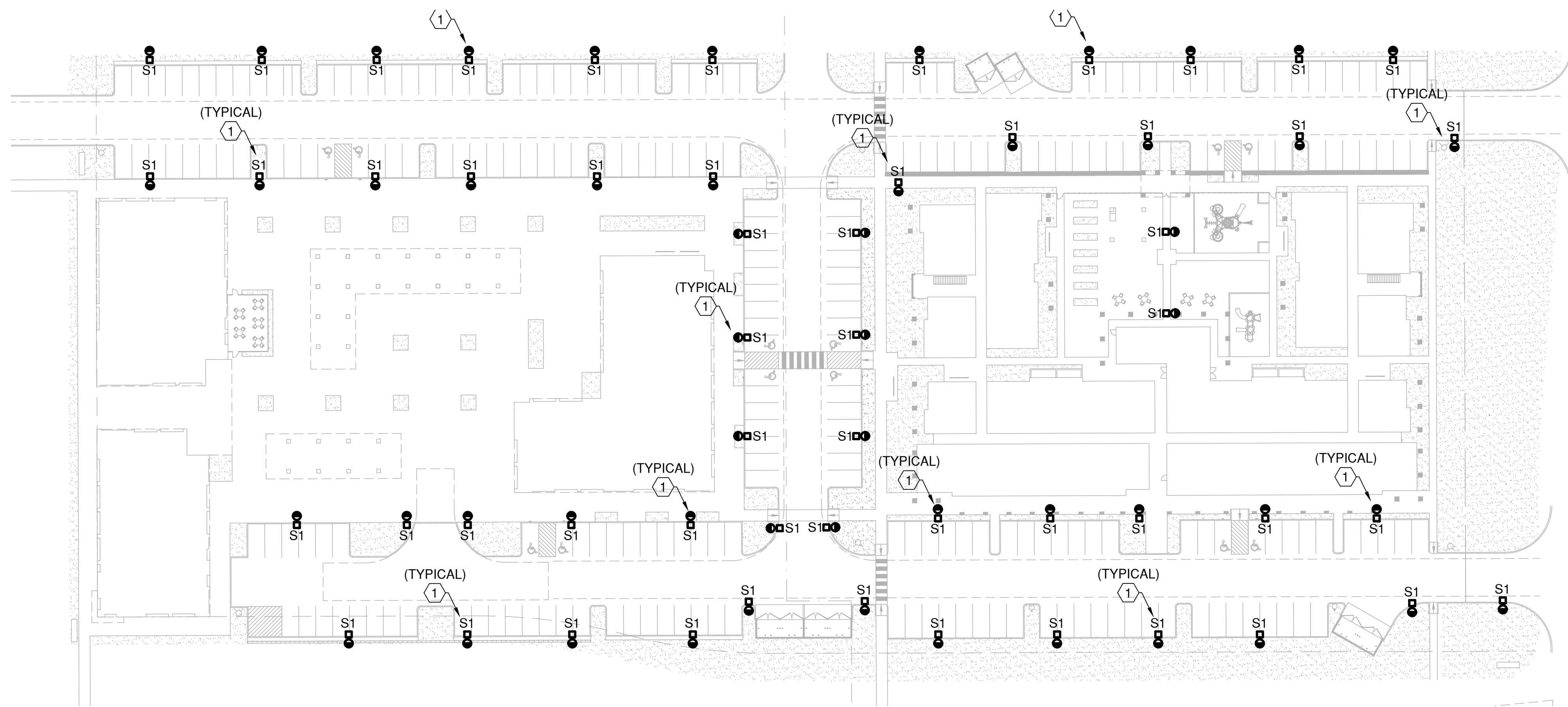
**SHIPPING DATA**  
Approximate Net Weight:  
20 lbs. (9.09 kg.)

**Dimensions:**  
13-15/16" (354mm) x 2-3/4" (70mm) x 26-13/16" (681mm)

**F.T.O.N.**  
Florida Turnpike Authority

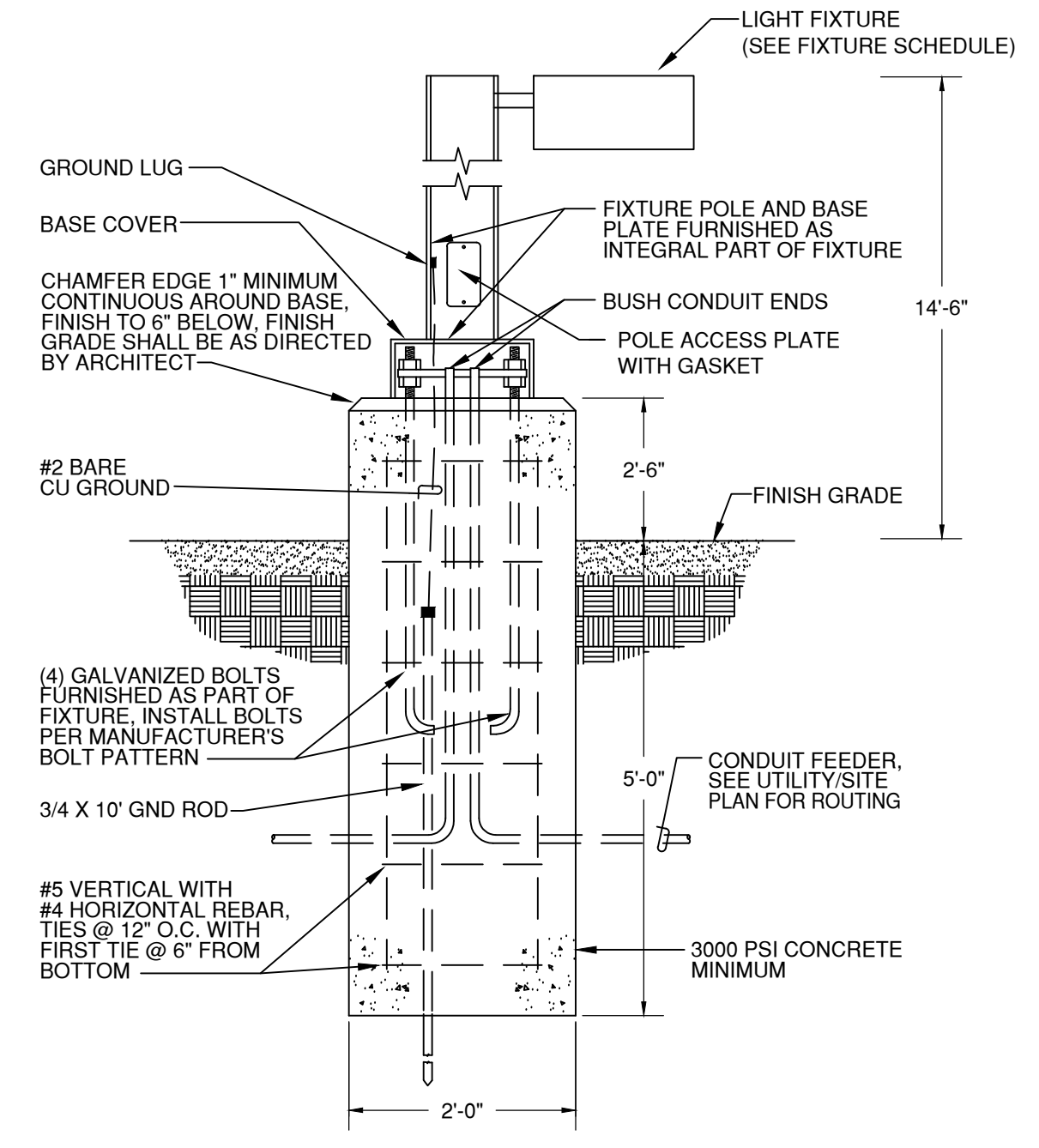
**www.designlight.com**

**ISO 9001**  
June 19, 2018 2:34 PM

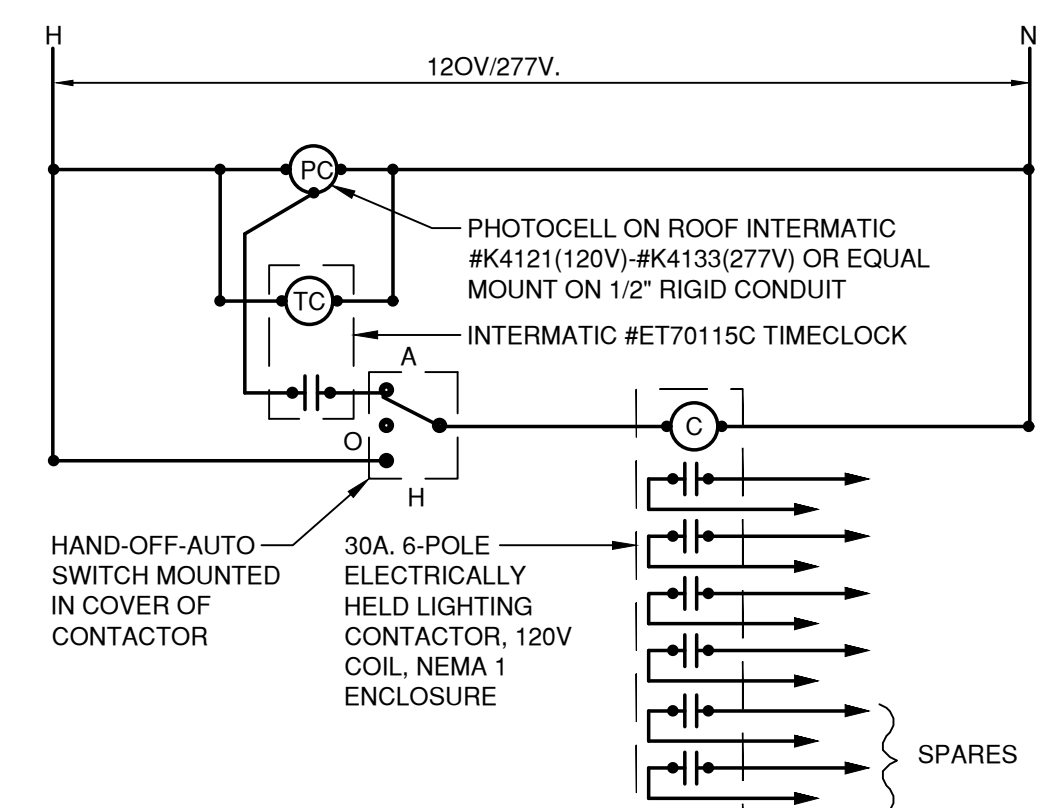


**A2 ELECTRICAL SITE PLAN**  
1" = 40'-0"

| FIXTURE SCHEDULE |              |                        |  |       |       |        |                                  |         |
|------------------|--------------|------------------------|--|-------|-------|--------|----------------------------------|---------|
| TYPE             | MANUFACTURER | CATALOG NUMBER         | DESCRIPTION/ LOCATION  | LAMPS |       |        | MOUNTING INSTRUCTIONS            | REMARKS |
|                  |              |                        |  | TYPE  | WATTS | LUMENS |                                  |         |
| S1               | LUMARK       | PRV-A60-D-UNV-T3-SA-BZ | LED SITE LUMINAIRE TYPE III DISTRIBUTION ON 12' POLE WITH DARK BRONZE FINISH | LED   | 163   | 18992  | 12' POLE - SEE DETAIL THIS SHEET |         |



**POLE BASE DETAIL FOR PARKING LUMINAIRES**  
NO SCALE



**EXTERIOR LIGHTING CONTROL DIAGRAM**  
SCALE: N.T.S.

- GENERAL SHEET NOTES**
- SITE LIGHTING POLE AND LUMINAIRE SHALL COMPLY WITH NEW MEXICO DARK SKIES ENFORCEMENT ACT AND THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE.
  - PARKING LOTS SHALL BE ILLUMINATED TO 1 FOOTCANDLE AVERAGE MAINTAINED AND SHALL NOT EXCEED 4 FOOTCANDLES AVERAGE MAINTAINED.
  - SITE LIGHTING SHALL BE PEDESTRIAN STYLE AND SHALL NOT EXCEED 15' IN HEIGHT FROM THE GROUND LEVEL THE TOP OF THE LUMINAIRE.

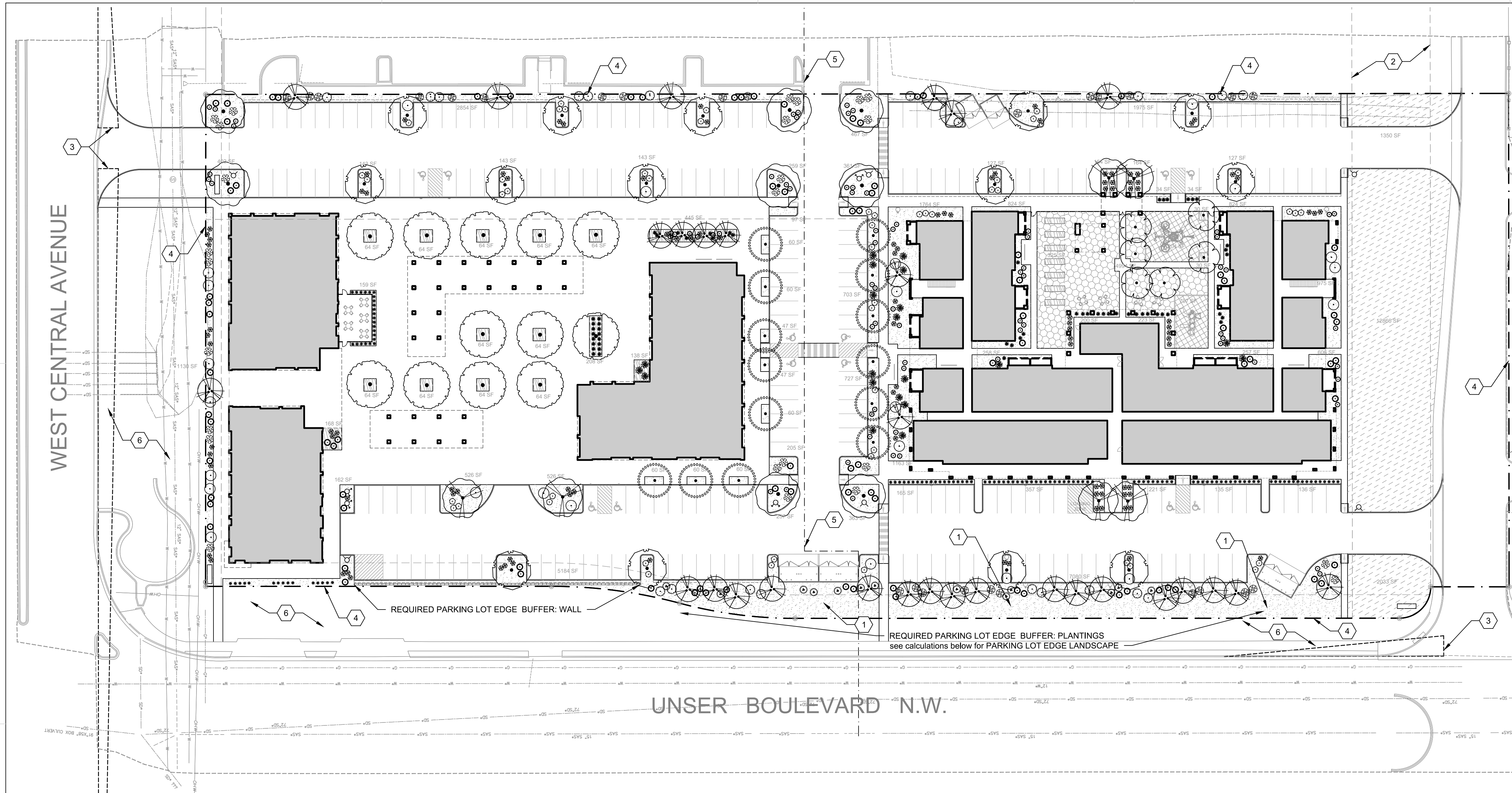
- REFERENCE KEYNOTES**
- SITE LIGHTING POLE AND LUMINAIRE. REFER TO THE FIXTURE SCHEDULE AND MOUNTING DETAIL THIS SHEET.

- REVISIONS**
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  - △
  - △

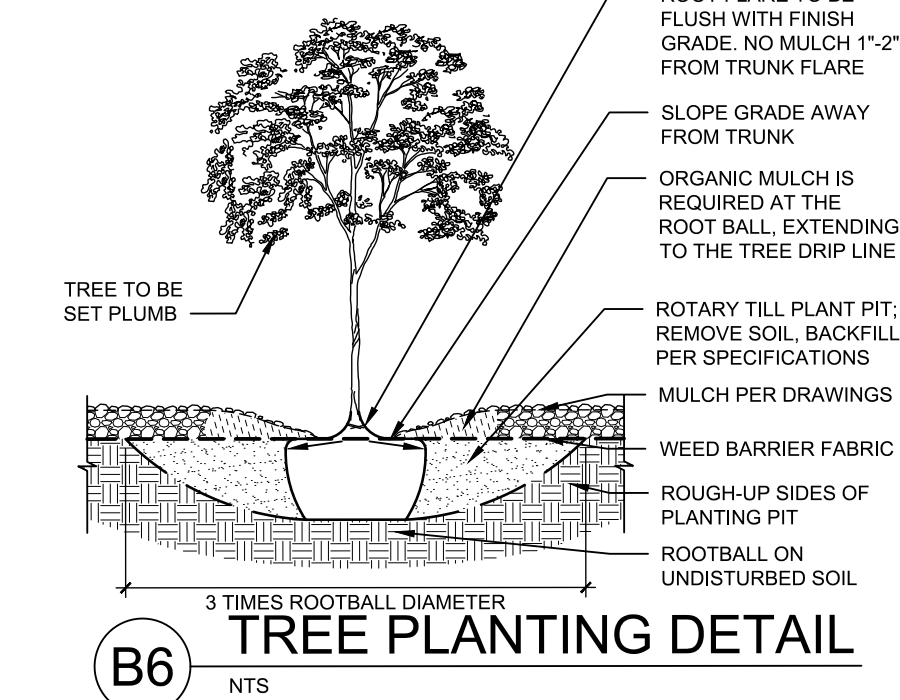
DRAWN BY \_\_\_\_\_  
REVIEWED BY \_\_\_\_\_  
DATE 08-17-2018  
PROJECT NO. 18-0087  
DRAWING NAME  
**SITE LIGHTING PLAN**

**NUEVO ATRISCO**  
7909 CENTRAL AVE, NW  
ALBUQUERQUE, NM 87121





NOTE:  
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.  
2. ALL PLANT MATERIAL SHALL BE PLANTED IN UNCOMPACTED SOIL.



**B1 LANDSCAPE PLAN**

**PLANT SCHEDULE**

| TREES         | QTY | COMMON NAME / BOTANICAL NAME  | SIZE      |
|---------------|-----|---|-----------|
|               | 30  | 'BUBBA' DESERT WILLOW / CHILOPSIS LINEARIS 'BUBBA'                              | 24"BOX    |
|               | 12  | URBANITE ASH / FRAXINUS PENNSYLVANICA 'URBANITE'                                | 2"CAL B&B |
|               | 6   | SHADEMASTER LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'                | 2"CAL B&B |
|               | 6   | CHINESE PISTACHE / PISTACIA CHINENSIS   | 2"CAL B&B |
|               | 8   | EMERALD SUNSHINE ELM / ULMUS PROPINQUA 'EMERALD SUNSHINE'                       | 2"CAL B&B |
|               | 14  | FRONTIER ELM / ULMUS X 'FRONTIER'   | 2"CAL B&B |
|               | 14  | GREEN VASE ZELKOVA / ZELKOVA SERRATA 'GREEN VASE'                               | 2"CAL B&B |
| SHRUBS        | QTY | COMMON NAME / BOTANICAL NAME  | SIZE      |
|               | 48  | SAND SAGE / ARTEMISIA FILIFOLIA   | 1 GAL     |
|               | 26  | CHAMISA / CHRYSOTHAMNUS NAUSEOSUS   | 1 GAL     |
|               | 33  | LENA BROOM / CYTISUS X 'LENA'   | 5 GAL     |
|               | 89  | TURPENTINE BUSH / ERICAMERIA LARICIFOLIA 'AGUIRRE'                              | 5 GAL     |
|               | 20  | APACHE PLUME / FALLUGIA PARADOXA  | 3 GAL     |
|               | 13  | TEXAS RANGER / LEUCOPHYLLUM FRUTESCENS  | 5 GAL     |
|               | 24  | PROSTRATE SUMAC / RHUS TRILOBATA 'AUTUMN AMBER'                                 | 5 GAL     |
|               | 74  | FURMAN'S RED SALVIA / SALVIA GREGGII 'FURMANS RED'                              | 5 GAL     |
| DESERT ACCENT | QTY | COMMON NAME / BOTANICAL NAME  | SIZE      |
|               | 20  | BEARGRASS / NOLINA MICROCARPA   | 5 GAL     |
|               | 25  | BANANA YUCCA / YUCCA BACCATA  | 5 GAL     |
|               | 73  | PALE LEAF YUCCA / YUCCA PALLIDA   | 5 GAL     |
| GRASSES       | QTY | COMMON NAME / BOTANICAL NAME  | SIZE      |
|               | 121 | 'KARL FOERSTER' FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' | 5 GAL     |
|               | 56  | EL TORO MUHLY GRASS / MUHLBERGIA EMERSLEYI EL TORO                              | 5 GAL     |

**GENERAL SHEET NOTES**

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS AND WATER CONSERVATION ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIPLINE.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEM. REFER TO CIVIL.
- ALL VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.

**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA = 6.22 AC = 270,943 SF  
 AREA OF LOT COVERED BY BUILDINGS = 54,625 SF  
 NET LOT AREA = 216,318 SF

REQUIRED LANDSCAPE  
 REQUIRED LANDSCAPE AREA (10% OF NET LOT AREA) = 21,631 SF  
 PROVIDED LANDSCAPE AREA = 51,378 SF = 24%  
 (see hatch legend for exclusions from landscape areas)

REQUIRED TREES  
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES  
 TOTAL NUMBER OF PARKING = 242 SPACES  
 REQUIRED NUMBER OF TREES = 24 TREES  
 PROVIDED NUMBER OF TREES = 24 TREES  
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK  
 REQUIRED STREET TREES = 0 placed at 25' on center  
 PROVIDED STREET TREES = 0  
 (ROW landscape is planned to be installed by the city)  
 REQUIRED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 41 TREES  
 1 TREE PER GROUND FLOOR DWELLING UNIT (20) AND 1 TREE PER SECOND-STORY UNIT (21)  
 PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 50 TREES

REQUIRED VEGETATIVE COVERAGE  
 REQUIRED GROUND COVERAGE = 75% OF PROVIDED LANDSCAPE AREA = 38,534 SF  
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND PLANTS  
 PROVIDED TOTAL GROUND COVERAGE = 39,440 SF = 77%  
 TREE CANOPY COVERAGE = 27,000 SF = 68% OF PROVIDED COVERAGE  
 GROUND PLANT COVERAGE = 12,440 SF = 32% OF PROVIDED COVERAGE  
 Calculation assumes an average of 300 sf per tree and 20 sf per ground plant as an average of mature spread and canopy.

GROUND COVER MATERIAL  
 ROCK MULCH GROUND COVER = 32,920 SF = 64% OF PROVIDED LANDSCAPE AREA  
 ORGANIC MULCH GROUND COVER = 18,458 SF = 36% OF PROVIDED LANDSCAPE AREA  
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED

PARKING LOT EDGE LANDSCAPE  
 REQUIRED PARKING LOT EDGE = 1 TREE AND 3 SHRUBS PER 25' OF PARKING LOT  
 REQUIRED BUFFER = 16 TREES AND 48 SHRUBS  
 PROVIDED BUFFER = 16 TREES AND 48 SHRUBS

**PERVIOUS AREAS LEGEND**

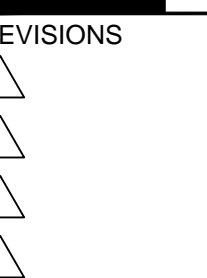
| SYMBOL | NOTES   | EST QTY   |
|--------|---|-----------|
|        | GRAVEL MULCH LANDSCAPE AREA   | 32,920 SF |
|        | ORGANIC MULCH LANDSCAPE AREA  | 2,208 SF  |
|        | UNIRRIGATED NATIVE SEEDING WITH ORGANIC MULCH                         | 16,250 SF |
|        | PLAY SURFACE<br>excluded from landscape area calculations             | 1,911 SF  |
|        | STABILIZED CRUSHER FINES<br>excluded from landscape area calculations | 4,999 SF  |

**IRRIGATION NOTES**

- ALL PLANTINGS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH A SMART IRRIGATION CONTROLLER, PROGRAMMABLE SETTINGS AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING/LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.
- SEPARATE IRRIGATION SYSTEMS WITH SEPARATE IRRIGATION CONNECTIONS SHALL BE USED FOR EACH PHASE (SEE PLANS FOR PHASING LINE). THE IRRIGATION SUPPLY WILL STUB OUT OFF OF THE PROJECT WATER SUPPLY LINE.

**SHEET KEYED NOTES**

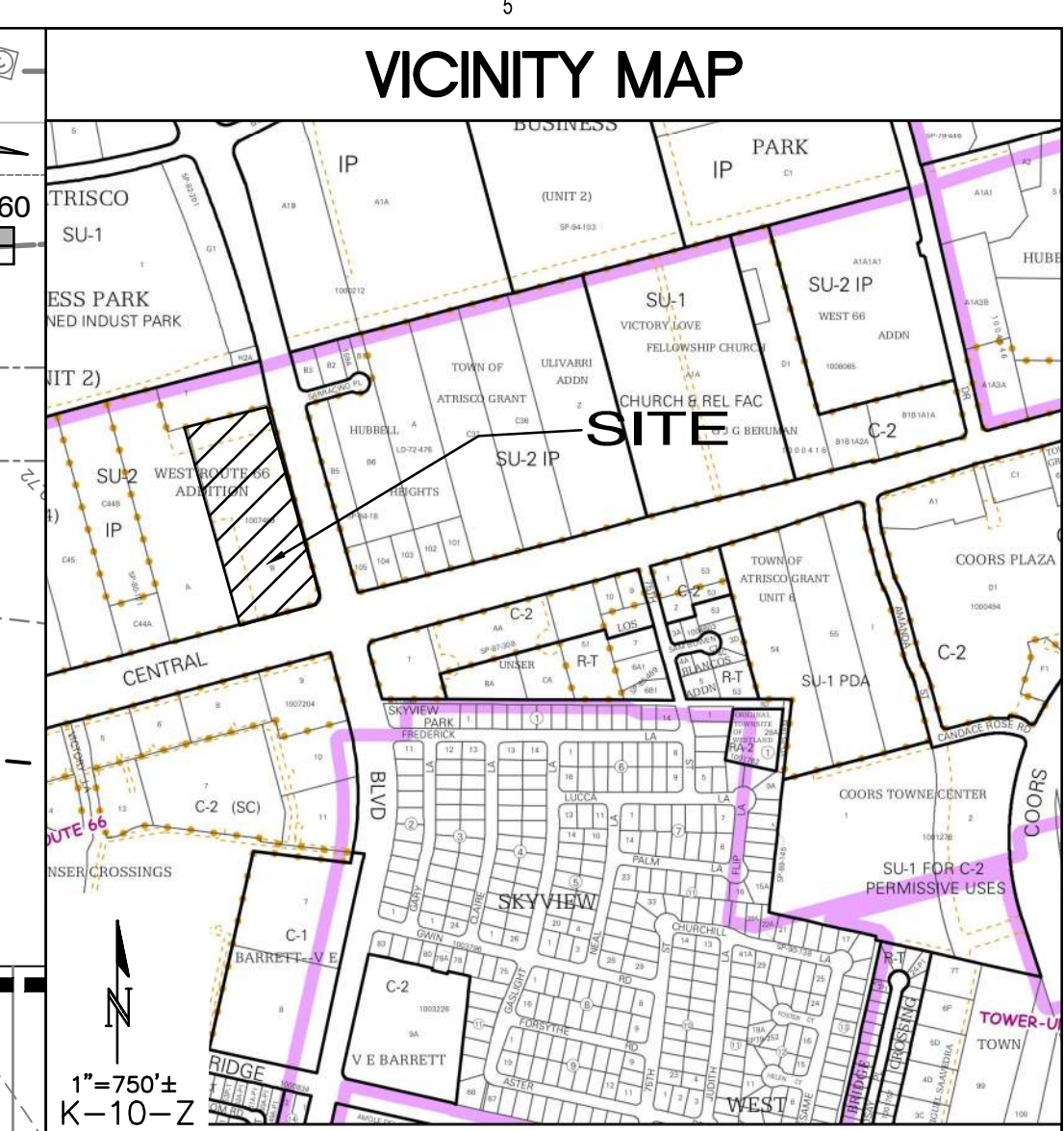
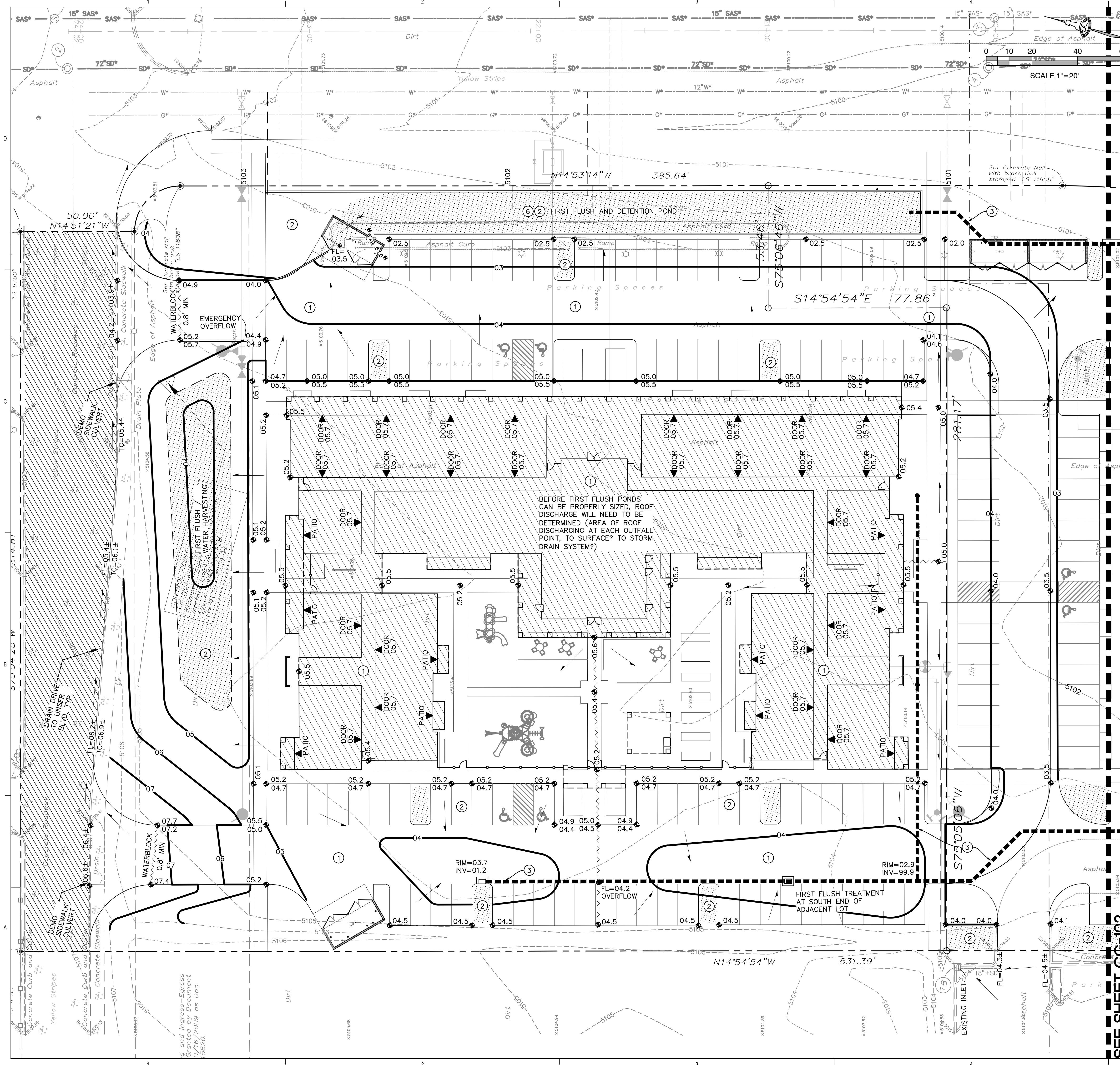
- DRAINAGE SWALE. SEE CIVIL.
- ACCESS EASEMENT.
- CLEAR SIGHT TRIANGLE.
- PROPERTY LINE.
- PHASING LINE.
- PUBLIC R.O.W. LANDSCAPE (TO BE INSTALLED BY THE CITY).



DRAWN BY JD/TC  
 REVIEWED BY KR  
 DATE 08-17-2018  
 PROJECT NO. 18-0087  
 DRAWING NAME

**LANDSCAPE PLAN**





### PROJECT DATA

**PROPERTY:** THE SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-10. THE SITE IS BOUND TO THE EAST BY UNSER BLVD. TO THE NORTH AND WEST BY DEVELOPED COMMERCIAL PROPERTY AND SARRACINO PL NW AND TO THE SOUTH BY CENTRAL AVE.

**PROPOSED IMPROVEMENTS:** THE PROPOSED IMPROVEMENTS INCLUDE FARMERS MARKET OPEN PAVILIONS, OFFICE SPACE, APARTMENTS 4 STORIES, RETAIL/RESTAURANTS, PARKING, AND LANDSCAPING.

**LEGAL:** A PORTION OF TRACT B1 WEST ROUTE 66 ADDITION II, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

**BENCHMARK:** VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "9-K10", ELEVATION = 5117.72 FEET (NAVD 1988).

**OFF-SITE FLOW:** NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

**FLOOD HAZARD:** PER BERNALILLO COUNTY FIRM MAP 35001C0328J, MAP (REVISION DATE NOVEMBER 4, 2016), THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. A PORTION OF THE ADJACENT STREET, CENTRAL AVENUE, IS ENCUMBERED BY ZONE AO (DEPTH 1').

**DRAINAGE PLAN CONCEPT:** PER THE UNSER BOULEVARD RECONSTRUCTION DRAINAGE REPORT (COA HYDROLOGY FILE K10/D057), BY HUITT-ZOLLARS DATED APRIL 2017, THIS PROPERTY FALLS WITHIN DRAINAGE BASIN 13D.3. THE OVERALL BASIN IS SIZED AT 18 ACRES WITH A CALCULATED DISCHARGE OF 60.77 CFS (3.45 CFS/ACRE). NEW OFF-SITE ROAD AND STORM DRAIN IMPROVEMENTS (CITY PROJECT NO. 4383.91) WILL BE CONSTRUCTED WHICH INCLUDES STORM DRAIN ACCESS TO AN EXISTING 48" STORM DRAIN PROVIDED FOR THIS BASIN (PASSING FLOW UNDER CENTRAL AVENUE).

**ENGINEER:** FRED C. ARFMAN: NMPE 7322  
ISAACSON & ARFMAN, PA  
128 MONROE NE 87108  
505-268-8828

**SURVEYOR:** RUSS P. HUGG: NMPS NO. 9750  
SURV-TEK, INC  
9384 VALLEY VIEW DRIVE, NW 87114  
505-897-3366

### KEYED NOTES

SEE SHEET CG-102 FOR KEYED NOTES REFERENCED ON THIS PLAN

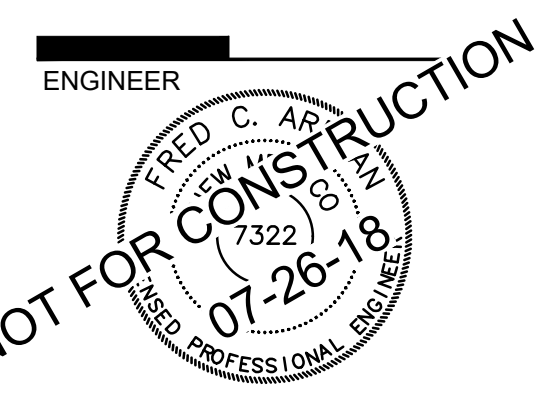
### LEGEND

|               |                                   |
|---------------|-----------------------------------|
| • 5105.65'    | EXISTING SPOT ELEVATION           |
| -5110-        | EXISTING CONTOUR                  |
| -12-          | PROPOSED CONTOUR (1' INCREMENT)   |
| 08.9          | PROPOSED SPOT ELEVATION           |
| →             | FLOW ARROW                        |
| [Hatched Box] | FIRST FLUSH RETENTION POND OPTION |

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iaciwi.com



7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109  
505.761.9700 / DPSDESIGN.ORG  
ARCHITECT



ENGINEER

PROJECT

**NUEVO ATRISCO**  
CENTRAL & UNSER  
ALBUQUERQUE, NM

### REVISIONS

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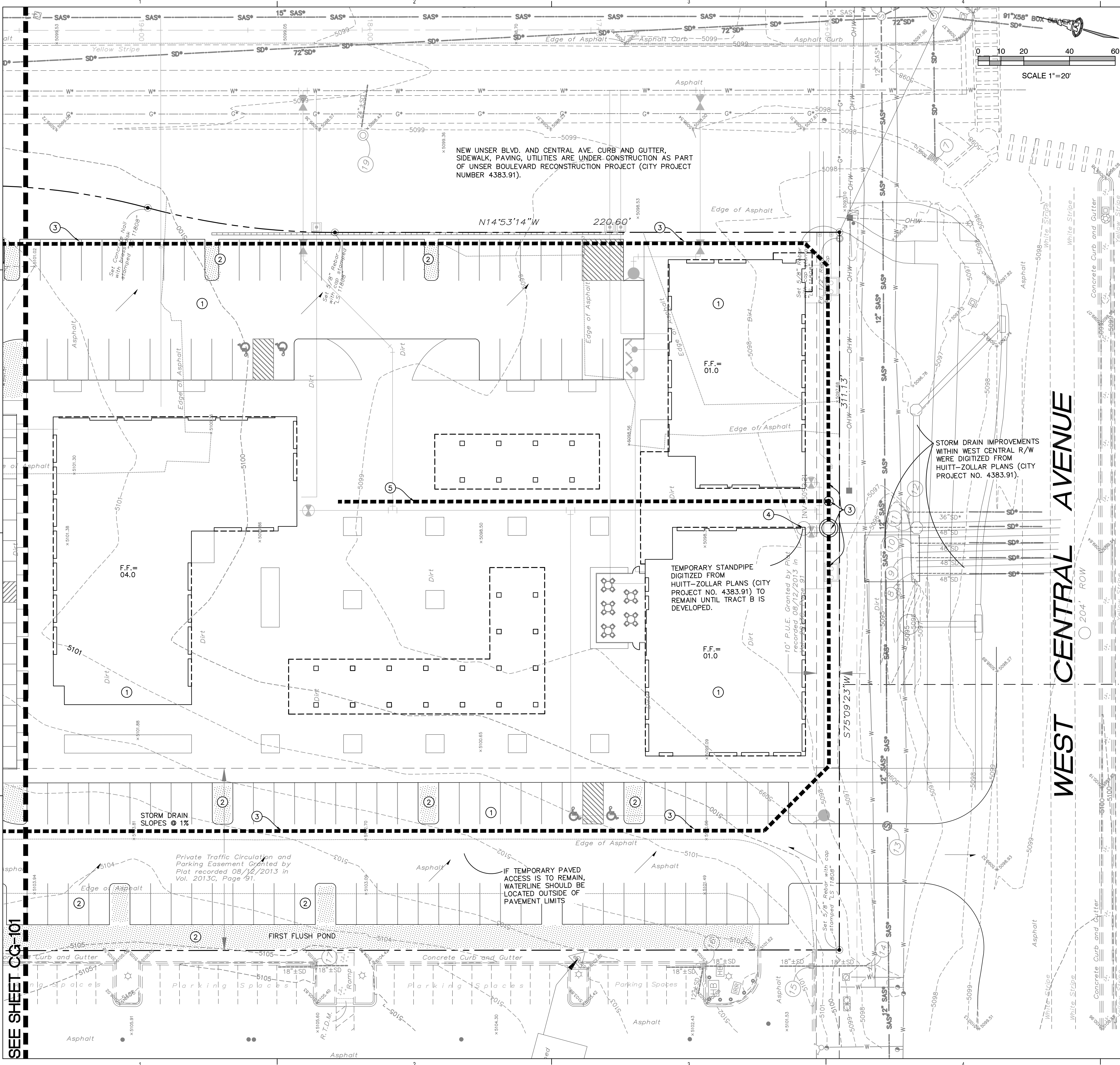
DRAWN BY: BJB  
REVIEWED BY: FCA  
DATE: 6/18/2018  
PROJECT NO.: 17-0153  
DRAWING NAME:

CONCEPTUAL  
GRADING AND  
DRAINAGE PLAN  
1 OF 2

SHEET NO. **CG-101**  
OF

SEE SHEET CG-102

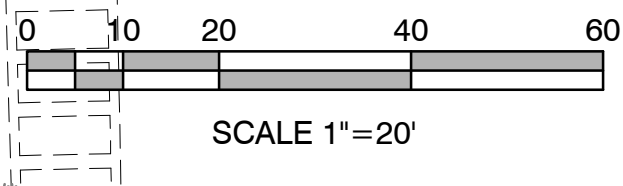




SEE SHEET CG-101

KEYED NOTES

1. IMPERVIOUS AREA WILL BE DIRECTED THROUGH STORMWATER QUALITY FIRST FLUSH RETENTION PONDS BEFORE DISCHARGING TO THE PUBLIC STORM DRAIN SYSTEM (AS POSSIBLE). SEE CG-501 FOR ADDITIONAL INFORMATION / CALCULATIONS FOR EACH TRACT AND REQUIREMENTS FOR PAYMENT IN-LIEU FOR ANY IMPERVIOUS AREA VOLUME THAT DOES NOT MEET THE STORMWATER QUALITY FIRST FLUSH REQUIREMENTS.
2. STORMWATER QUALITY FIRST FLUSH RETENTION POND OPTION. FIRST FLUSH PONDS WILL BE FINALIZED AS PART OF THE BUILDING PERMIT PLANS FOR EACH TRACT.
3. PROPOSED PRIVATE STORM DRAIN SYSTEM CONNECTED TO EXISTING 48" STORM DRAIN PIPE (TO BE CONSTRUCTED AS PART OF TRACT A DEVELOPMENT).
4. EXISTING (TEMPORARY) STORM DRAIN STANDPIPE CONSTRUCTED AS PART OF UNSER BOULEVARD RECONSTRUCTION PROJECT (CITY PROJECT NUMBER 4383.91). THIS WILL REMAIN IN OPERATION FOR TRACT B (UNDEVELOPED) UNTIL TRACT B DEVELOPS.
5. PROPOSED PRIVATE STORM DRAIN SYSTEM CONNECTED TO EXISTING 48" STORM DRAIN PIPE (TO BE CONSTRUCTED AS PART OF TRACT B DEVELOPMENT).
6. PROPOSED TRACT A DETENTION POND REQUIRED TO RESTRICT TOTAL DISCHARGE FROM TRACT A. SEE CG-501 AND SUPPLEMENTAL INFORMATION.



LEGEND

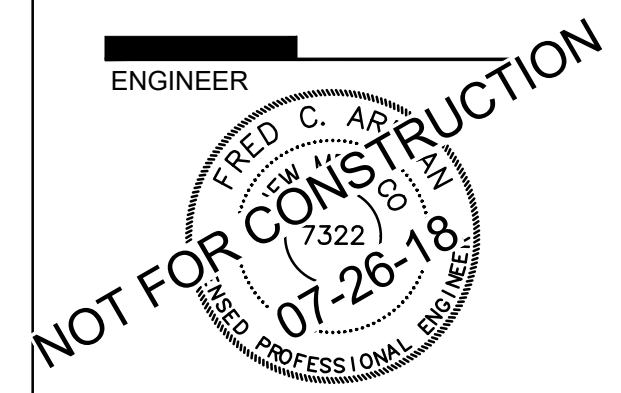
- 5105.65' EXISTING SPOT ELEVATION
- - - 5110 - - - EXISTING CONTOUR
- - - 12 - - - PROPOSED CONTOUR (1' INCREMENT)
- 08.9 PROPOSED SPOT ELEVATION
- FLOW ARROW
- [Hatched Box] PROPOSED FIRST FLUSH RETENTION POND

**DEKKER  
PERICH  
SABATINI**

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109  
505.761.9700 / DPSDESIGN.ORG

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ENGINEER



PROJECT

**NUEVO ATRISCO  
CENTRAL & UNSER  
ALBUQUERQUE, NM**

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| DRAWN BY     | BJB       |
| REVIEWED BY  | FCA       |
| DATE         | 6/18/2018 |
| PROJECT NO.  | 17-0153   |
| DRAWING NAME |           |

CONCEPTUAL  
GRADING AND  
DRAINAGE PLAN  
2 OF 2

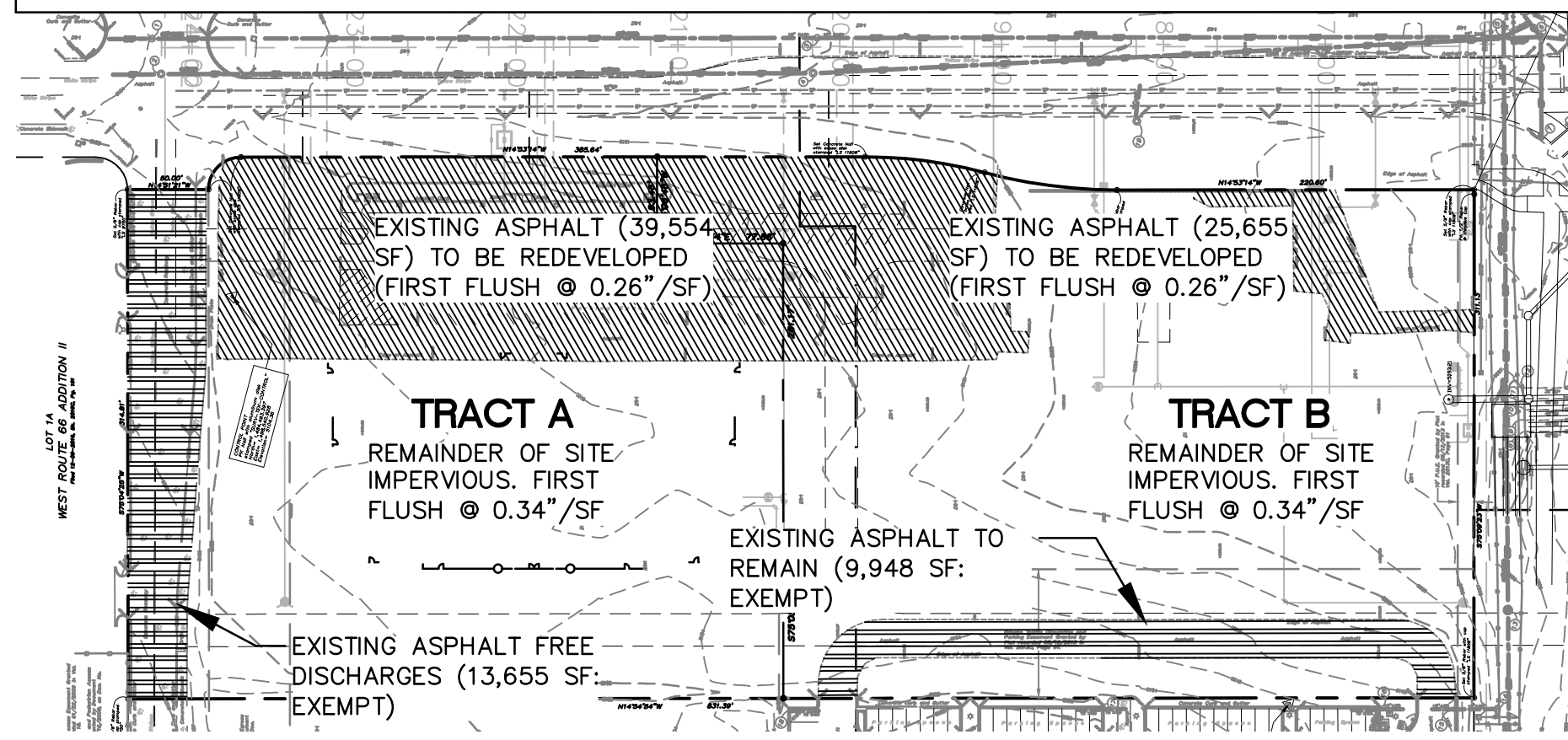
**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iacivm.com

SHEET NO.

**CG-102**  
OF



**EXISTING IMPERVIOUS AREA**



STORMWATER QUALITY CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (FFL: DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

**TRACT A:**

THE ESTIMATED IMPERVIOUS AREA FOR TRACT A IS 80% OF TOTAL AREA.  $(0.80 * 130,257) = 104,206$  SF.  
 EXISTING ASPHALT TO REMAIN CONSISTS OF THE ACCESS ROAD ON THE NORTH END OF THE SITE (13,655 SF). THIS IS EXEMPT FROM FFL REQUIREMENT REDUCING THE FFL IMPERVIOUS AREA TO  $104,206 - 13,655 = 90,551$  SF.  
 EXISTING ASPHALT THAT IS BEING REDEVELOPED (REMOVED/REPLACED) IS SUBJECT TO A REDUCED RATE OF 0.26"/SF.  
 THE EXISTING NE ASPHALT PAVED PARKING WITHIN TRACT A IS 39,554 SF. FFL RETENTION PONDING VOLUME REQUIRED FOR THIS AREA =  $0.26" * \text{TYPE 'D' AREA: } 0.26/12 * (39,554 \text{ SF}) = 857$  CF.  
 FFL RETENTION PONDING VOLUME REQUIRED FOR THE REMAINING AREA  $(90,551 - 39,554) = 50,997$  SF @  $0.34" * \text{TYPE 'D' AREA: } 0.34/12 * (50,997 \text{ SF}) = 1,445$  CF  
 TOTAL FFL RETENTION FOR TRACT A =  $857 + 1,445 = 2,302$  CF.

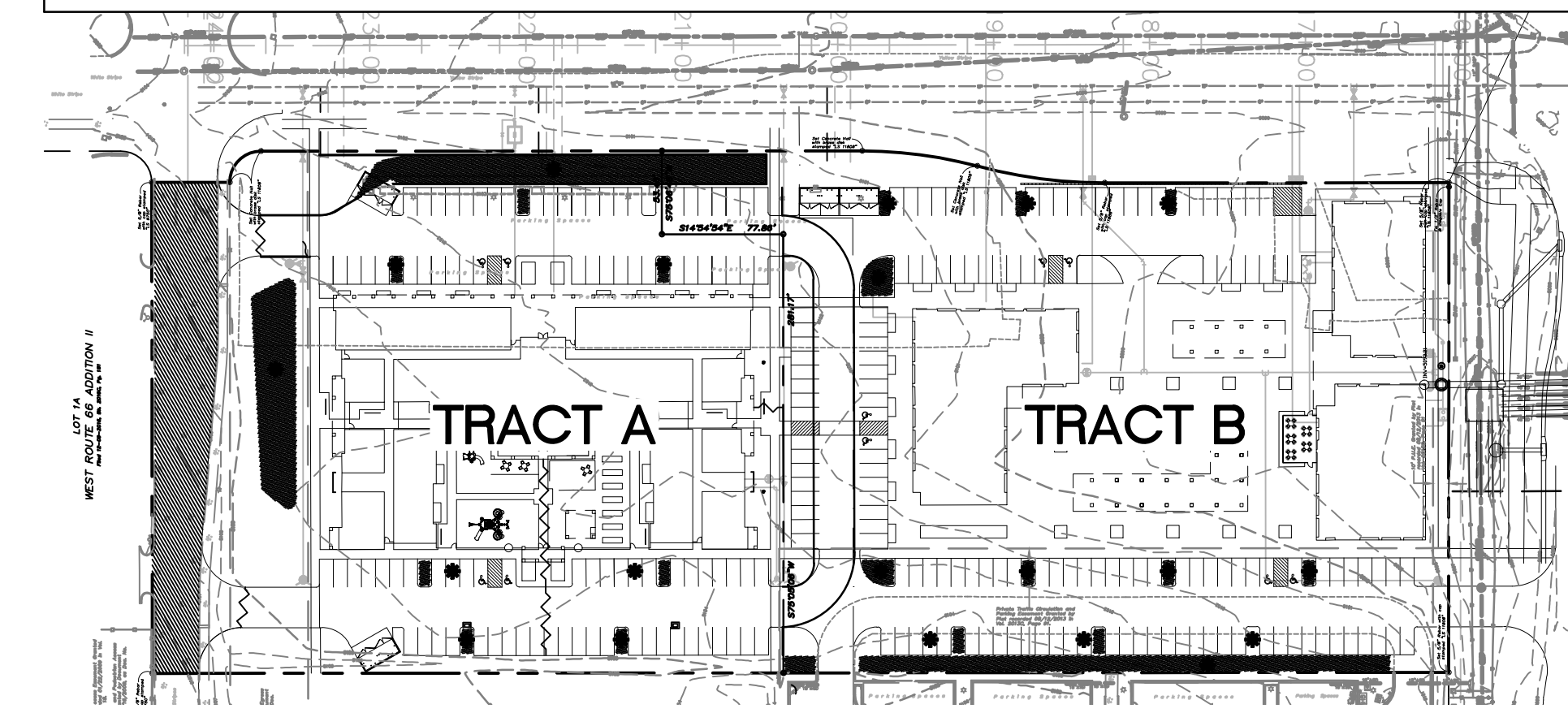
FFL RETENTION PONDS WILL BE CONSTRUCTED AS POSSIBLE. FINAL LOCATIONS AND DESIGN WILL BE PROVIDED AS PART OF BUILDING PERMIT CONSTRUCTION DOCUMENTS. HATCHED AREAS ARE SHOWN TO INDICATE POSSIBLE POND LOCATIONS. A PRIVATE FACILITY DRAINAGE COVENANT WILL BE PROVIDED FOR THE FIRST FLUSH PONDS.

**TRACT B:**

THE ESTIMATED IMPERVIOUS AREA FOR TRACT B IS 85% OF TOTAL AREA.  $(0.85 * 140,764) = 119,650$  SF.  
 EXISTING ASPHALT TO REMAIN CONSISTS OF THE EXISTING ASPHALT DRIVE CONSTRUCTED AS PART OF THE ADJACENT LIBRARY IMPROVEMENTS, WITHIN A SHARED EASEMENT (9,948 SF). THIS IS EXEMPT FROM FFL REQUIREMENT REDUCING THE FFL IMPERVIOUS AREA TO  $119,650 - 9,948 = 109,702$  SF.  
 EXISTING ASPHALT THAT IS BEING REDEVELOPED (REMOVED/REPLACED) IS SUBJECT TO A REDUCED RATE OF 0.26"/SF.  
 THE EXISTING ASPHALT PAVED PARKING WITHIN TRACT B IS 25,655 SF. FFL RETENTION PONDING VOLUME REQUIRED FOR THIS AREA =  $0.26" * \text{TYPE 'D' AREA: } 0.26/12 * (25,655 \text{ SF}) = 556$  CF.  
 FFL RETENTION PONDING VOLUME REQUIRED FOR THE REMAINING AREA  $(109,702 - 25,655) = 84,047$  SF @  $0.34" * \text{TYPE 'D' AREA: } 0.34/12 * (84,047 \text{ SF}) = 2,381$  CF  
 TOTAL FFL RETENTION FOR TRACT A =  $556 + 2,381 = 2,937$  CF.

FFL RETENTION PONDS WILL BE CONSTRUCTED AS POSSIBLE. FINAL LOCATIONS AND DESIGN WILL BE PROVIDED AS PART OF BUILDING PERMIT CONSTRUCTION DOCUMENTS. HATCHED AREAS ARE SHOWN TO INDICATE POSSIBLE POND LOCATIONS. A PRIVATE FACILITY DRAINAGE COVENANT WILL BE PROVIDED FOR THE FIRST FLUSH PONDS.

**\* FIRST FLUSH RETENTION POND OPTIONS**



STORMWATER QUALITY CONTROL FIRST FLUSH POND OPTIONS ARE AVAILABLE ON BOTH TRACTS A AND B. TOTAL STORMWATER QUALITY POND VOLUMES ARE ANALYZED / CALCULATED AT LEFT.

FIRST FLUSH PONDS WILL BE FINALIZED AS PART OF THE BUILDING PERMIT PLANS FOR EACH TRACT.

PRIOR TO BUILDING PERMIT APPROVAL, A "PAYMENT IN-LIEU FOR STORM WATER QUALITY VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY. THIS WILL BE BASED ON THE PORTION OF FIRST FLUSH VOLUME (\$8.00 PER CF) THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO BUILDING PERMIT APPROVAL.

A DRAINAGE COVENANT IS REQUIRED FOR THE STORMWATER QUALITY FIRST FLUSH PONDS AND FOR THE DETENTION POND(S) AND THEIR OUTFALL STRUCTURES. THE ORIGINAL NOTARIZED FORM, EXHIBIT A (LEGIBLE ON 8.5X11 AND RECORDING FEE (\$25, PAYABLE TO CITY OF ALBUQUERQUE) MUST BE TURNED INTO DRC (4TH, PLAZA DEL SOL) FOR ROUTING. PLEASE CONTACT CHARLOTTE LABADIE (CLABADIE@CABQ.GOV, 924-3996) OR MADELINE CARRUTHERS (MTAF0YA@CABQ.GOV, 924-3997) REGARDING THE ROUTING AND RECORDING PROCESS FOR COVENANTS.

**ALLOWABLE DISCHARGE**

PER THE UNSER BOULEVARD RECONSTRUCTION DRAINAGE REPORT (COA HYDROLOGY FILE K10/D057 DATED APRIL 2017) BY HUITT-ZOLLARS, WEST ROUTE 66 ADDITION II, TRACTS A AND B FALL WITHIN DRAINAGE BASIN 13D.3 WHICH HAS AN ALLOWABLE RELEASE RATE OF 3.45 CFS / ACRE.

TRACT A (2.9903 AC) + TRACT B (3.2315 AC) TOTAL 6.2218 ACRES. AT 3.45 CFS/ACRE, THE PROPERTY IS PERMITTED TO DISCHARGE:

$3.45 * 6.2218 = 21.47$  CFS TOTAL ALLOWABLE DISCHARGE FROM TRACT A + TRACT B  
 TRACT B WILL BE PERMITTED FREE DISCHARGE 13.3 CFS (BASED ON 0%A : 5%B : 10%C : 85%D).  
 TRACT A WILL REQUIRE DETENTION PONDING TO LIMIT DISCHARGE TO 8.17 CFS. DISCHARGE THE EXISTING NORTH ACCESS ROAD WILL CONTINUE TO FREE DISCHARGE 1.10 CFS TO UNSER BLVD. THE REMAINDER (7.07 CFS) WILL DISCHARGE TO THE 48" DIA. STORM DRAIN PIPE PROVIDED INTO PROPERTY FROM CENTRAL BLVD.

TOTAL DISCHARGE FROM PROPERTY IS LIMITED TO 21.47 CFS:

- 13.3 CFS TRACT B
- 1.10 CFS EXISTING TRACT A ACCESS ROAD (NORTH SIDE)
- 7.07 CFS REMAINDER OF TRACT A (EXCESS TO BE DETAINED WITHIN EAST POND USING ORIFICE CONTROL STRUCTURE TO BE DESIGNED AS PART OF BUILDING PERMIT PLANS FOR TRACT A)

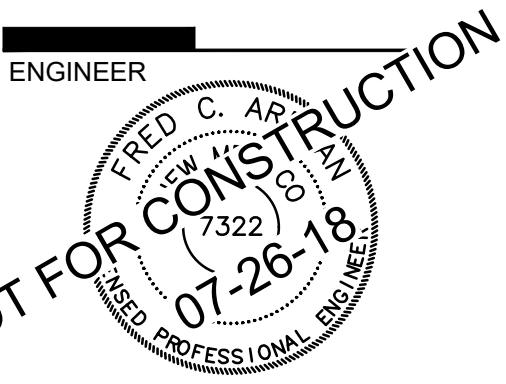
**DEKKER  
PERICH  
SABATINI**

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER



PROJECT

**NUEVO ATRISCO  
CENTRAL & UNSER  
ALBUQUERQUE, NM**

**REVISIONS**

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DRAWN BY BJB

REVIEWED BY FCA

DATE 6/18/2018

PROJECT NO. 17-0153

DRAWING NAME

**GRADING AND  
DRAINAGE  
DETAILS AND  
CALCULATIONS**

SHEET NO.

**CG-501**  
OF

**ISAACSON & ARFMAN, P.A.**  
*Consulting Engineering Associates*  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 www.iaacivil.com





UNSER BOULEVARD N.W.

GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

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7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

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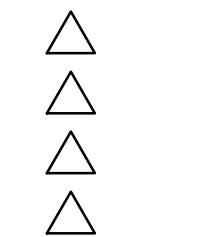
ARCHITECT

ENGINEER

PROJECT

NUEVO ATRISCO  
CENTRAL & UNSER  
ALBUQUERQUE, NM

REVISIONS



DRAWN BY DEC

REVIEWED BY FCA

DATE 6/18/2018

PROJECT NO. 17-0153

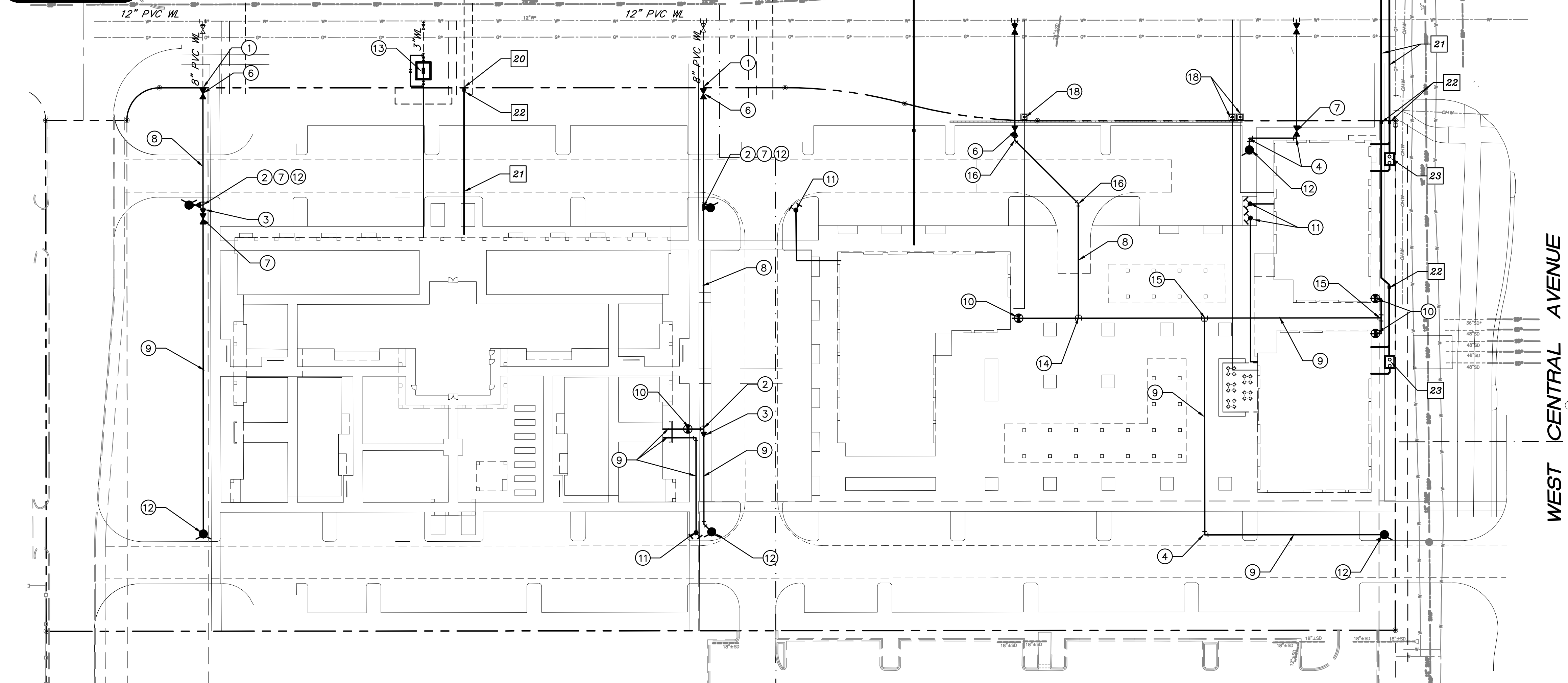
DRAWING NAME

CONCEPTUAL  
UTILITY PLAN

SHEET NO.

CU-101

OF



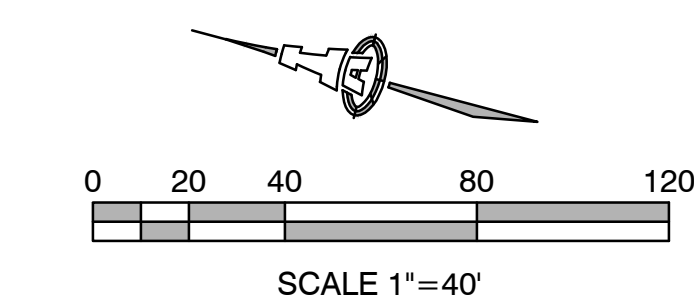
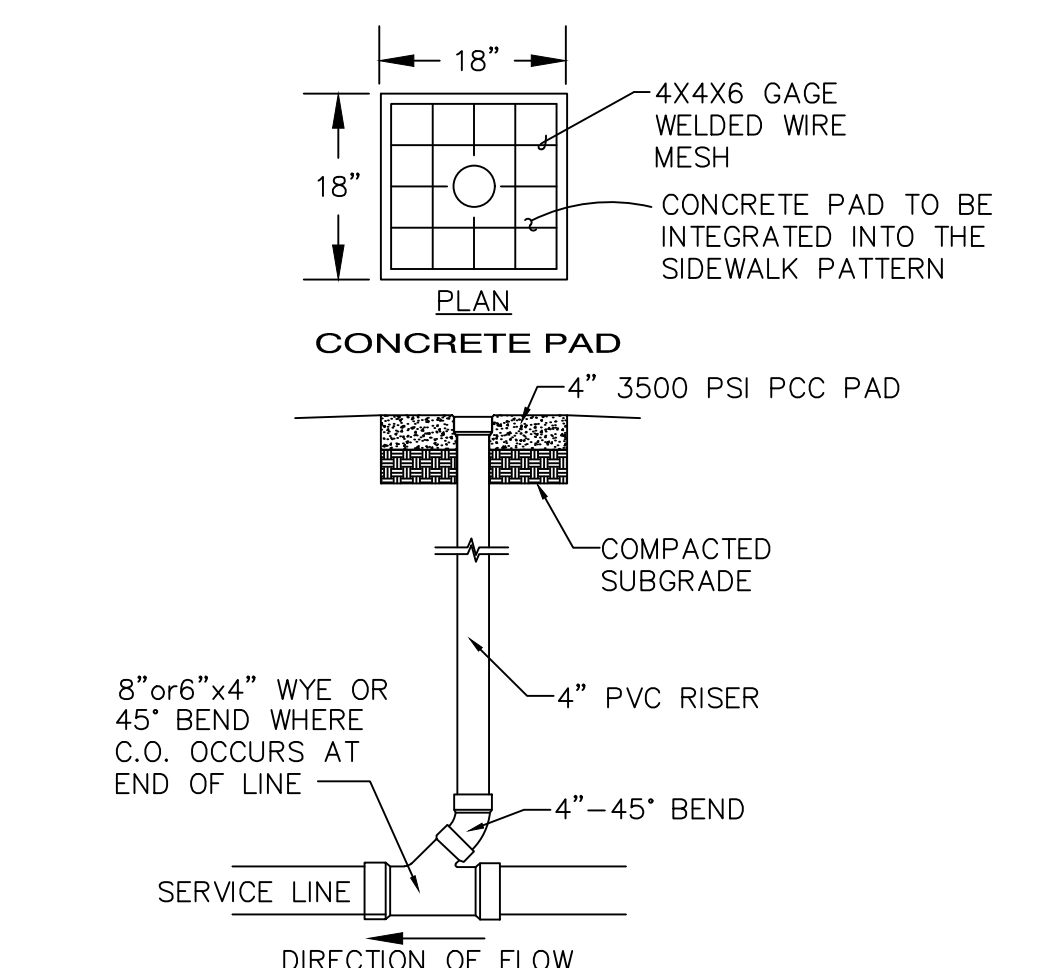
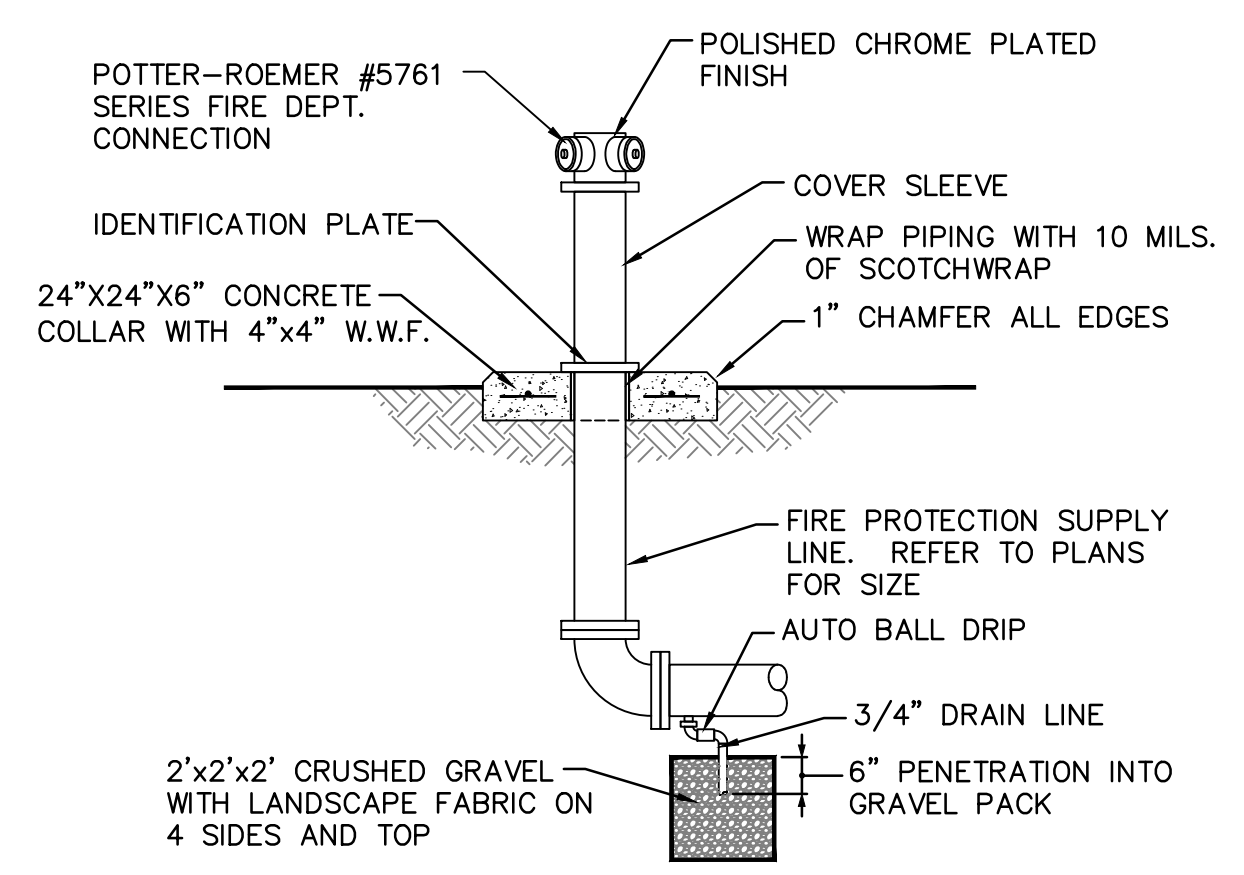
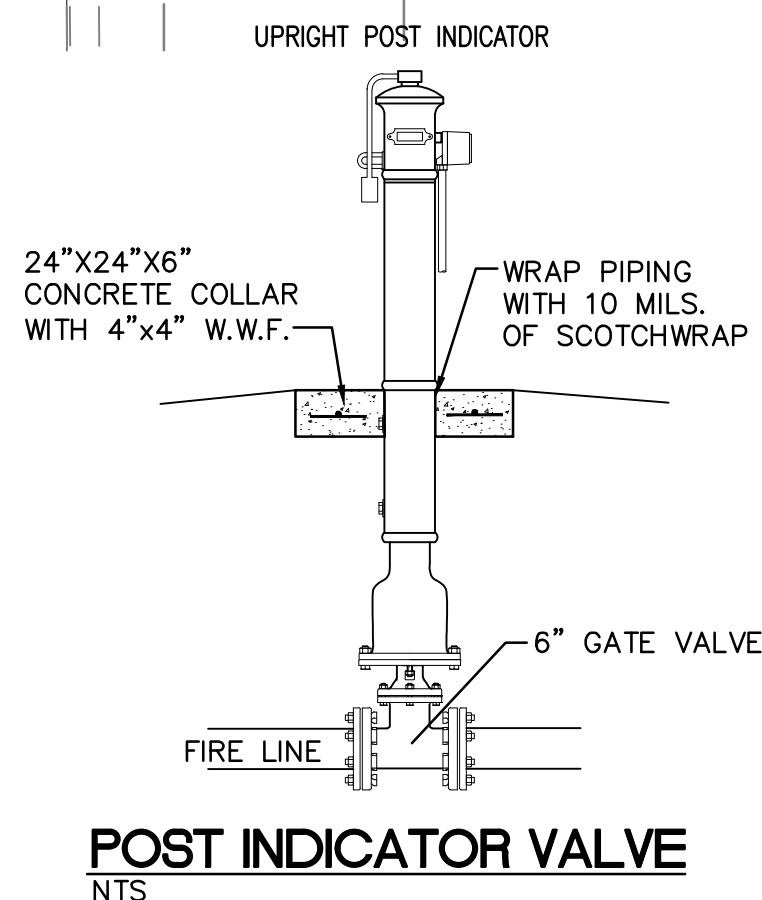
WEST CENTRAL AVENUE

KEYED NOTES

- WATER KEYED NOTES**
- CONNECT NEW 8" WATERLINE TO EXISTING 8" WATERLINE.
  - 8"x6" TEE.
  - 8"x6" REDUCER. (LT=31')
  - 6" 90° BEND. (LT=20')
  - 6" 45° BEND. (LT=9')
  - 8" GATE VALVE W/ BOX. PER ABCWA STD DWG 2326 & 2329. (LT=60')
  - 6" GATE VALVE W/ BOX PER ABCWA STD DWG 2326 & 2329. (LT=46')
  - 8" WATERLINE.
  - 6" WATERLINE.
  - 6" POST INDICATOR VALVE (PIV). (LT=46')
  - 6" FIRE DEPARTMENT CONNECTION (FDC).
  - 3" METERED SERVICE LINE WITH VAULT INSTALLATION PER ABCWA STD. DWGS. 2370.
  - 8"x8" TEE
  - 6"x6" TEE
  - 8" 45° BEND. (LT=11')
  - 2" WATER METER SETTING PER ABCWA STD DWG 2363.
- SEWER**
- CONNECT NEW 6' SAS SERVICE LINE TO EXISTING SAS STUB.
  - 6" SANITARY SEWER LINE, AT 2% MIN. SLOPE.
  - SANITARY SEWER CLEAN OUT.
  - GREASE INTERCEPTOR.

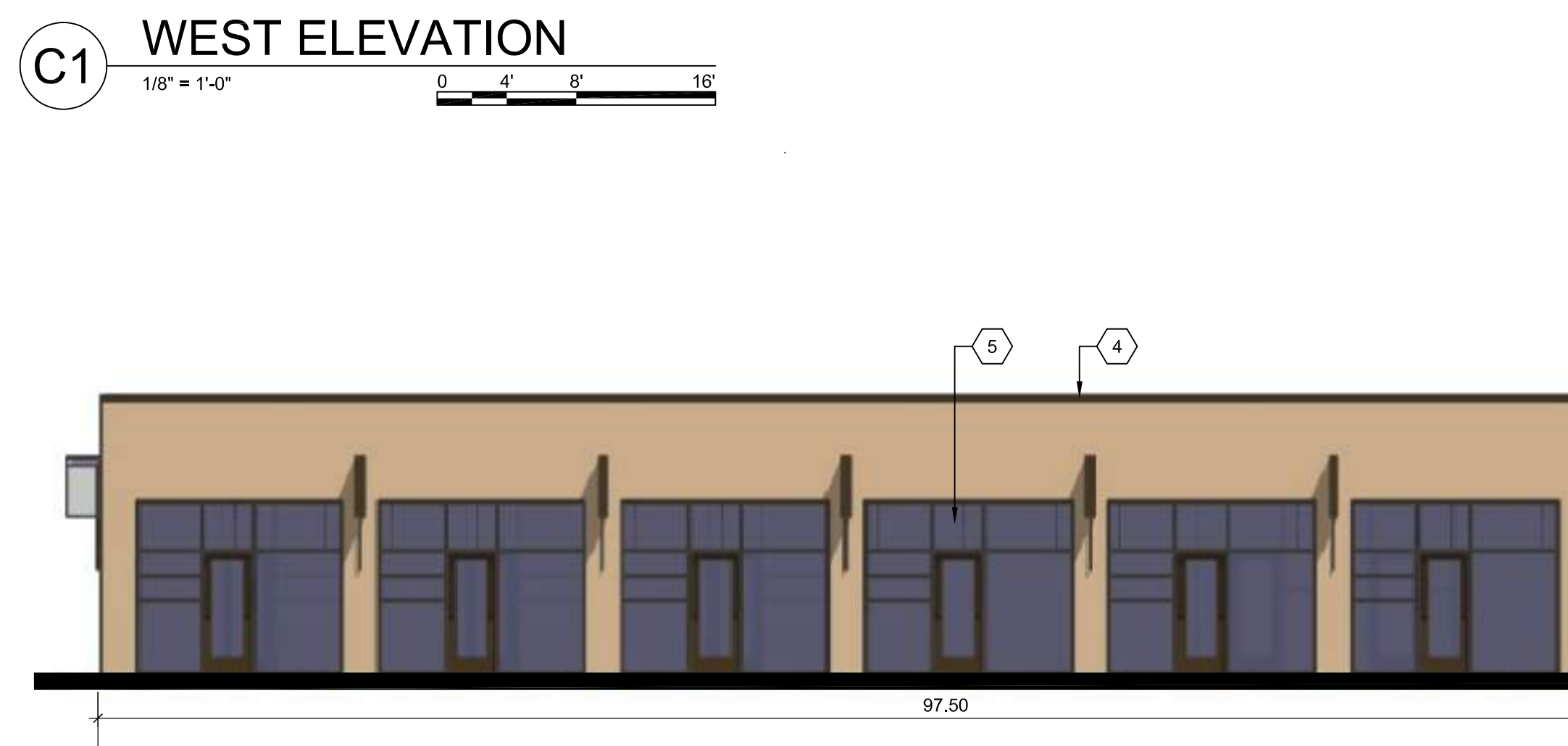
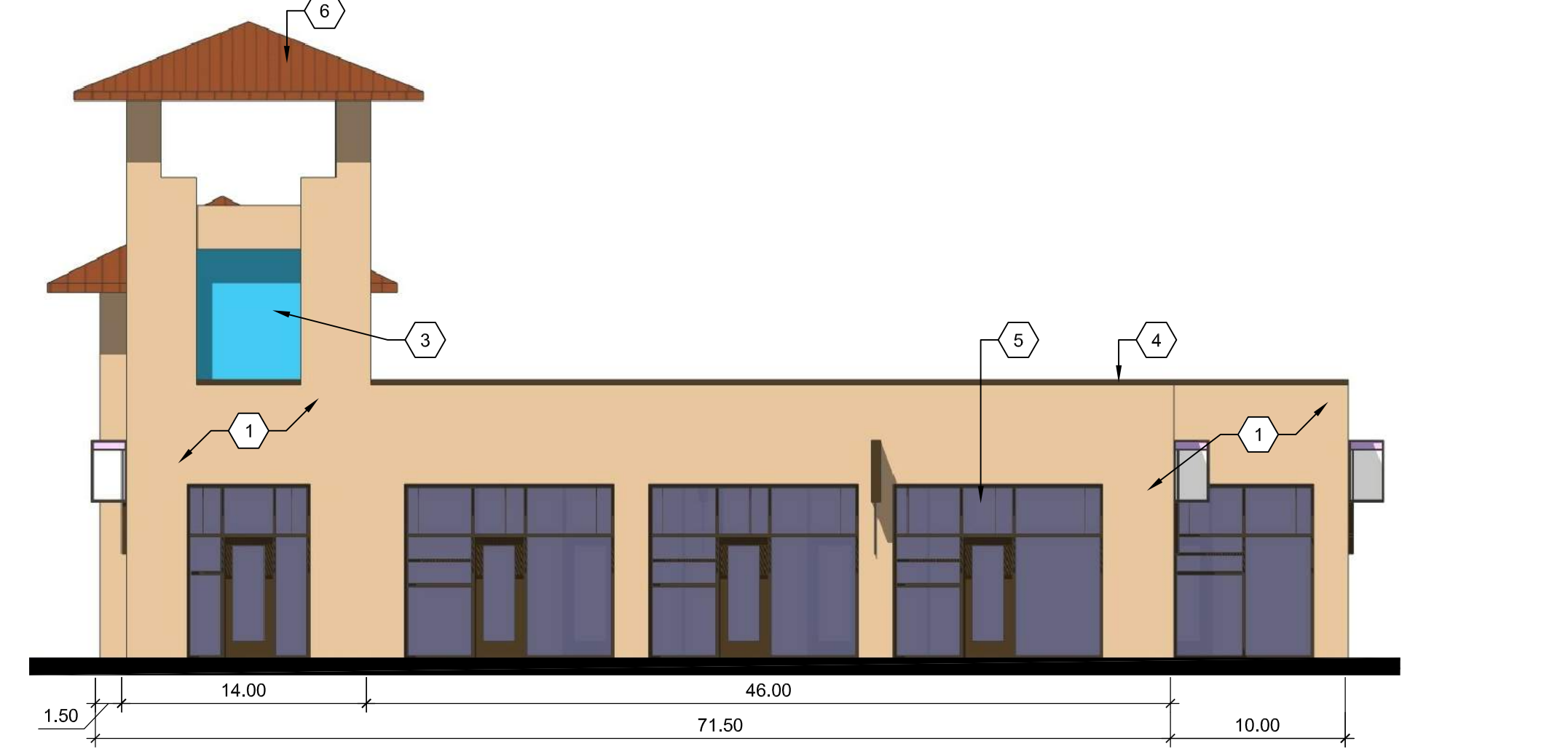
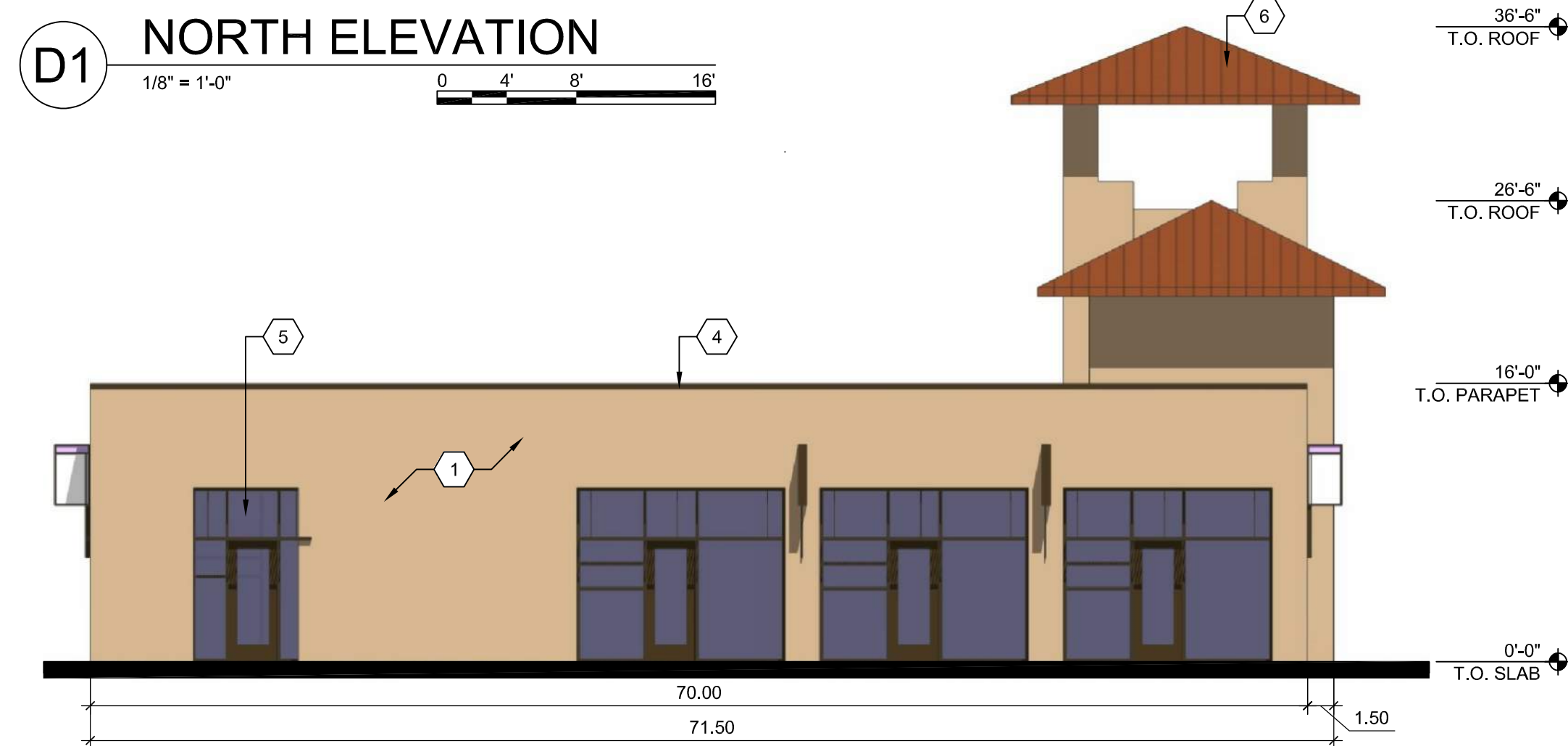
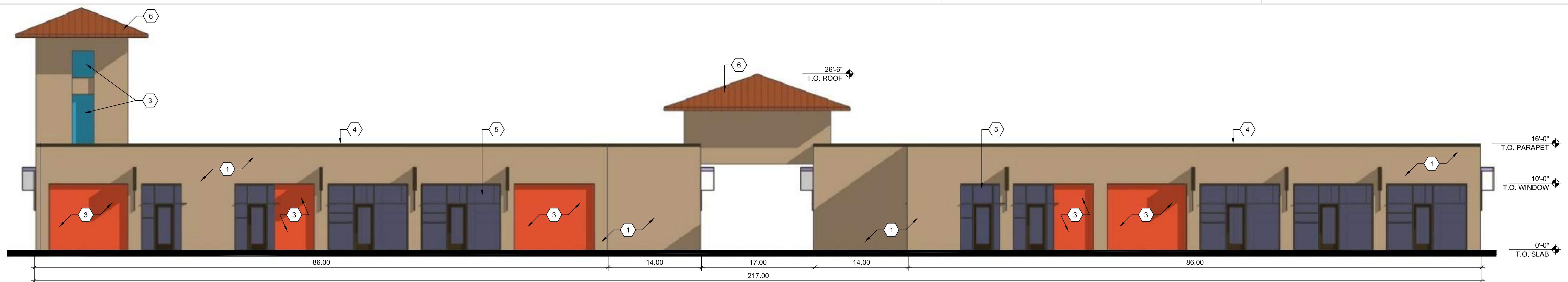
RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
  - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
- DEPTH OF BURY: 3.0 FT. MINIMUM
- FACTOR OF SAFETY:
- MATERIAL: PVC
- SOIL TYPE: GM/GM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
- TEST PRESSURE: 150 PSI
- TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.
- DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWA.



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iacivil.com





STREET FACING FACADE:  
510 SQ. FT. (WINDOW AREA) / 850 SQ. FT. (FACADE AREA) = 60%

STREET FACING FACADE:  
1,460 SQ. FT. (WINDOW AREA) / 2,400 SQ. FT. (FACADE AREA) = 60%

**BUILDING DESIGN**

GROUND FLOOR HEIGHT: 5-11(E)(1)  
IN ANY MIXED-USE ZONE DISTRICT IN UC-MS-PT AREAS, THE GROUND FLOOR OF PRIMARY BUILDINGS FOR DEVELOPMENT OTHER THAN LOW-DENSITY RESIDENTIAL DEVELOPMENT SHALL HAVE A MINIMUM HEIGHT OF 12 FEET.

WINDOW CALCULATIONS: 5-11(E)(2)(B)

| BUILDING                   | REQUIRED | PROVIDED |
|----------------------------|----------|----------|
| <b>BUILDING A</b>          |          |          |
| GROUND FLOOR: SOUTH FACADE | 60%      | 60%      |
| GROUND FLOOR: EAST FACADE  | 60%      | 60%      |
| <b>BUILDING B</b>          |          |          |
| GROUND FLOOR:              | 60%      | 65%      |
| 2ND FLOOR:                 | 30%      | 36%      |
| <b>BUILDING C</b>          |          |          |
| GROUND FLOOR:              | 60%      | 22%      |
| 2ND-3RD FLOOR:             | 30%      | 15%      |
| 4TH FLOOR:                 | 30%      | 15%      |

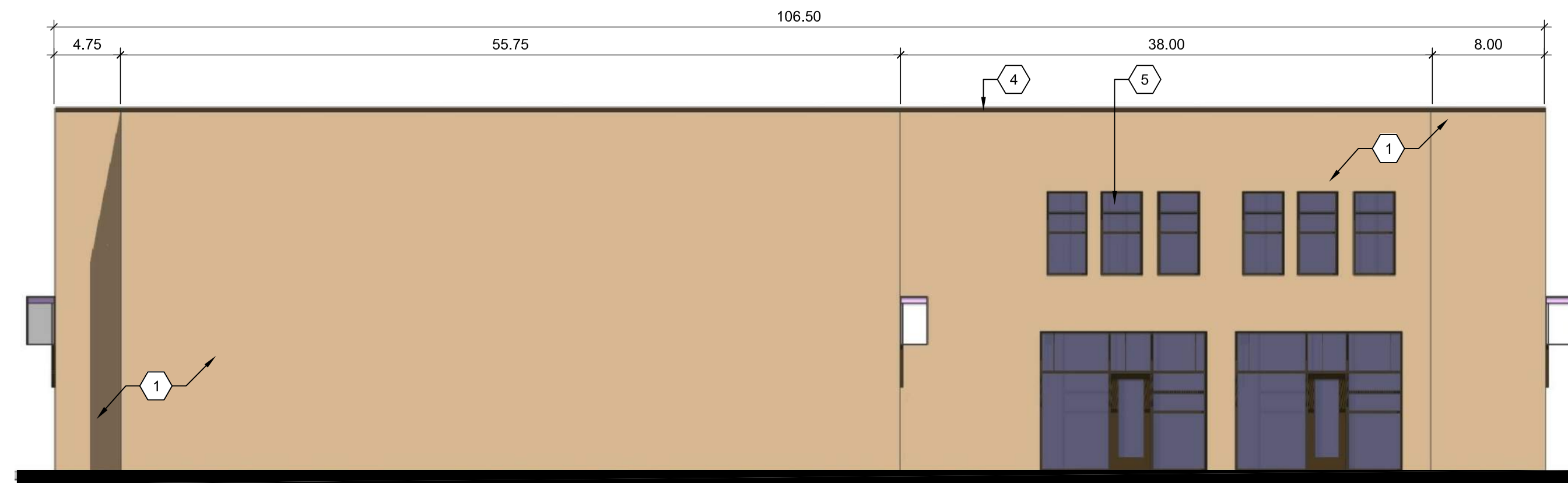
**SHEET KEYED NOTES**

1. STUCCO FINISH (COLOR 1)
2. STUCCO FINISH (COLOR 2)
3. STUCCO FINISH (ACCENT COLOR)
4. METAL COPING
5. ALUMINUM STOREFRONT (CLEAR GLASS)
6. STANDING SEAM METAL ROOF
7. SHADE STRUCTURE

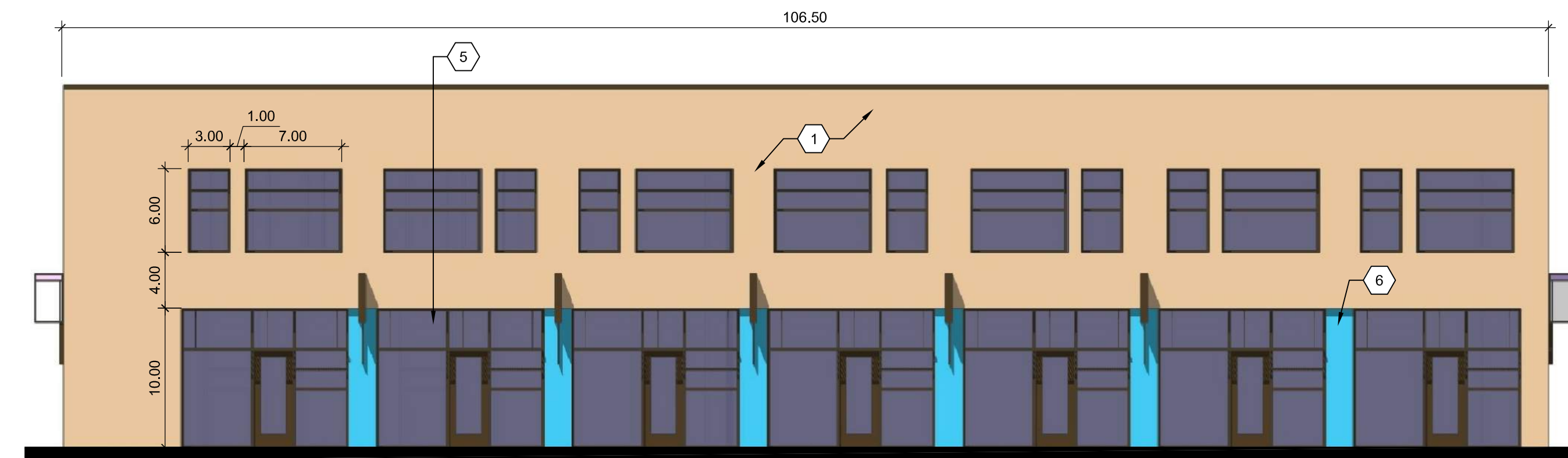




**D5 NORTH ELEVATION**  
1/8" = 1'-0"  
0 4' 8' 16'

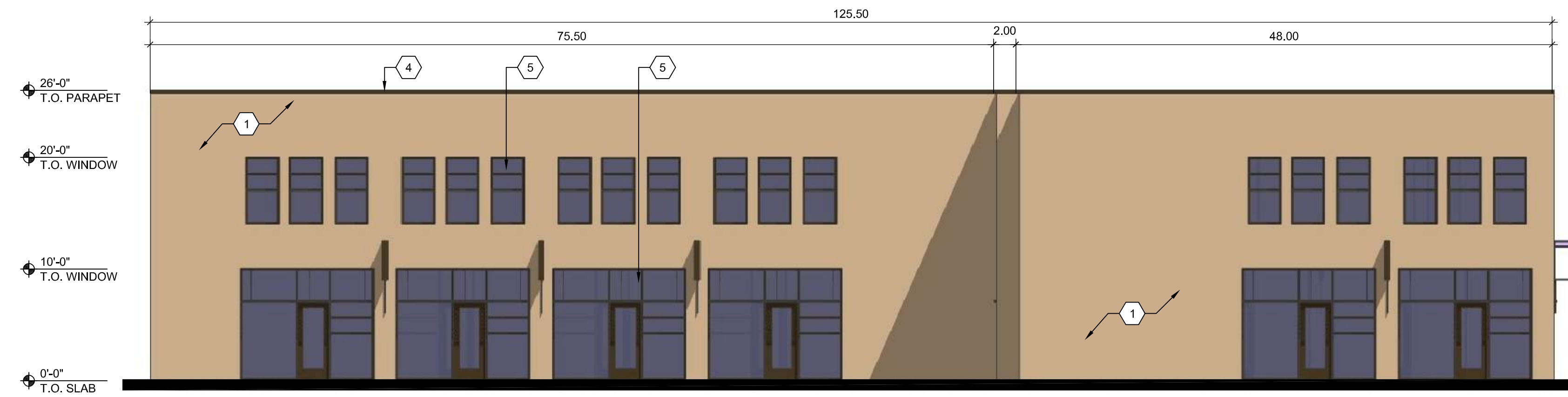


**C1 WEST ELEVATION**  
1/8" = 1'-0"  
0 4' 8' 16'



**C5 EAST ELEVATION**  
1/8" = 1'-0"  
0 4' 8' 16'

STREET FACING FACADE:  
GROUND FLOOR: 840 SQ. FT. (WINDOW AREA) / 1,278 SQ. FT. (FACADE AREA) = 65%  
SECOND FLOOR: 420 SQ. FT. (WINDOW AREA) / 1,161 SQ. FT. (FACADE AREA) = 36%



**B5 SOUTH ELEVATION**  
1/8" = 1'-0"  
0 4' 8' 16'

**BUILDING DESIGN**

GROUND FLOOR HEIGHT: 5-11(E)(1)  
IN ANY MIXED-USE ZONE DISTRICT IN UC-MS-PT AREAS, THE GROUND FLOOR OF PRIMARY BUILDINGS FOR DEVELOPMENT OTHER THAN LOW-DENSITY RESIDENTIAL DEVELOPMENT SHALL HAVE A MINIMUM HEIGHT OF 12 FEET.

**WINDOW CALCULATIONS: 5-11(E)(2)(B)**

| BUILDING                   | REQUIRED | PROVIDED |
|----------------------------|----------|----------|
| <b>BUILDING A</b>          |          |          |
| GROUND FLOOR: SOUTH FACADE | 60%      | 60%      |
| GROUND FLOOR: EAST FACADE  | 60%      | 60%      |
| <b>BUILDING B</b>          |          |          |
| GROUND FLOOR:              | 60%      | 65%      |
| 2ND FLOOR:                 | 30%      | 36%      |
| <b>BUILDING C</b>          |          |          |
| GROUND FLOOR:              | 60%      | 22%      |
| 2ND-3RD FLOOR:             | 30%      | 15%      |
| 4TH FLOOR:                 | 30%      | 15%      |

**SHEET KEYED NOTES**

1. STUCCO FINISH (COLOR 1)
2. STUCCO FINISH (COLOR 2)
3. STUCCO FINISH (ACCENT COLOR)
4. METAL COPING
5. ALUMINUM STOREFRONT (CLEAR GLASS)
6. STANDING SEAM METAL ROOF
7. SHADE STRUCTURE



**DEKKER  
PERICH  
SABATINI**

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

NUEVO ATRISCO  
7909 CENTRAL AVE, NW  
ALBUQUERQUE, NM 87121

REVISIONS  
△  
△  
△  
△

DRAWN BY

REVIEWED BY

DATE 08-17-2018

PROJECT NO. 18-0087

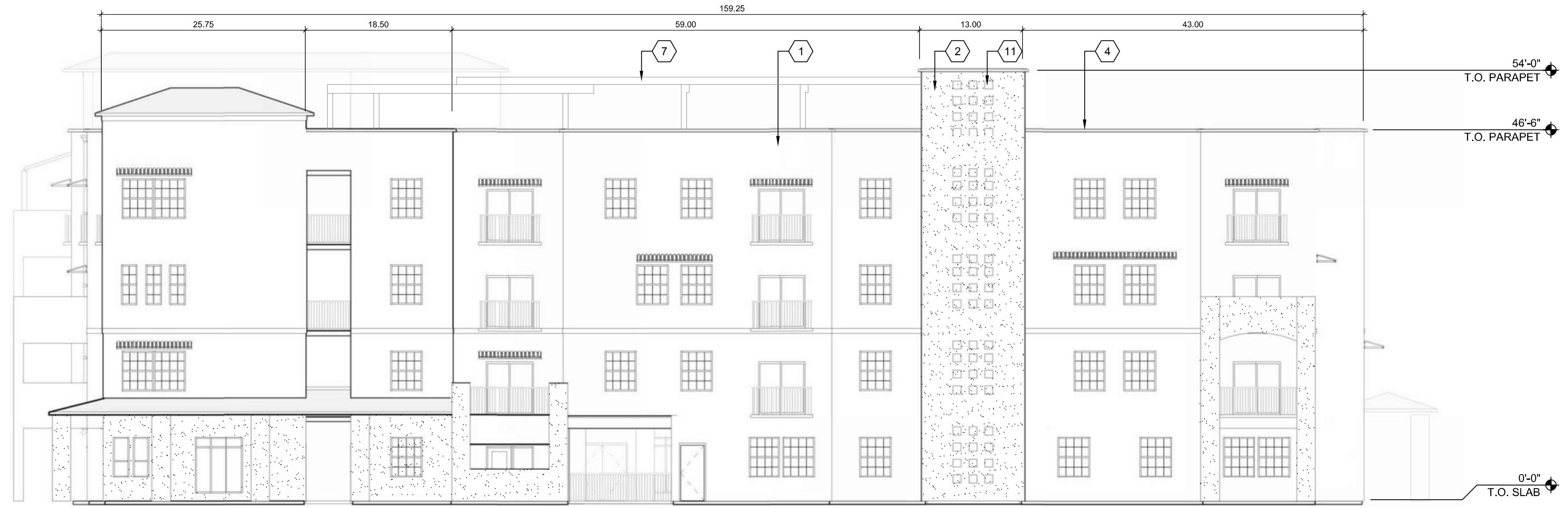
DRAWING NAME

EXTERIOR  
ELEVATIONS  
(BUILDING C)

SHEET NO.

**SDP5-3**

OF



**D5 NORTH ELEVATION**  
3/32" = 1'-0"



**B5 EAST ELEVATION**  
3/32" = 1'-0"

**GENERAL NOTES**

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALLS AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.

**BUILDING DESIGN**

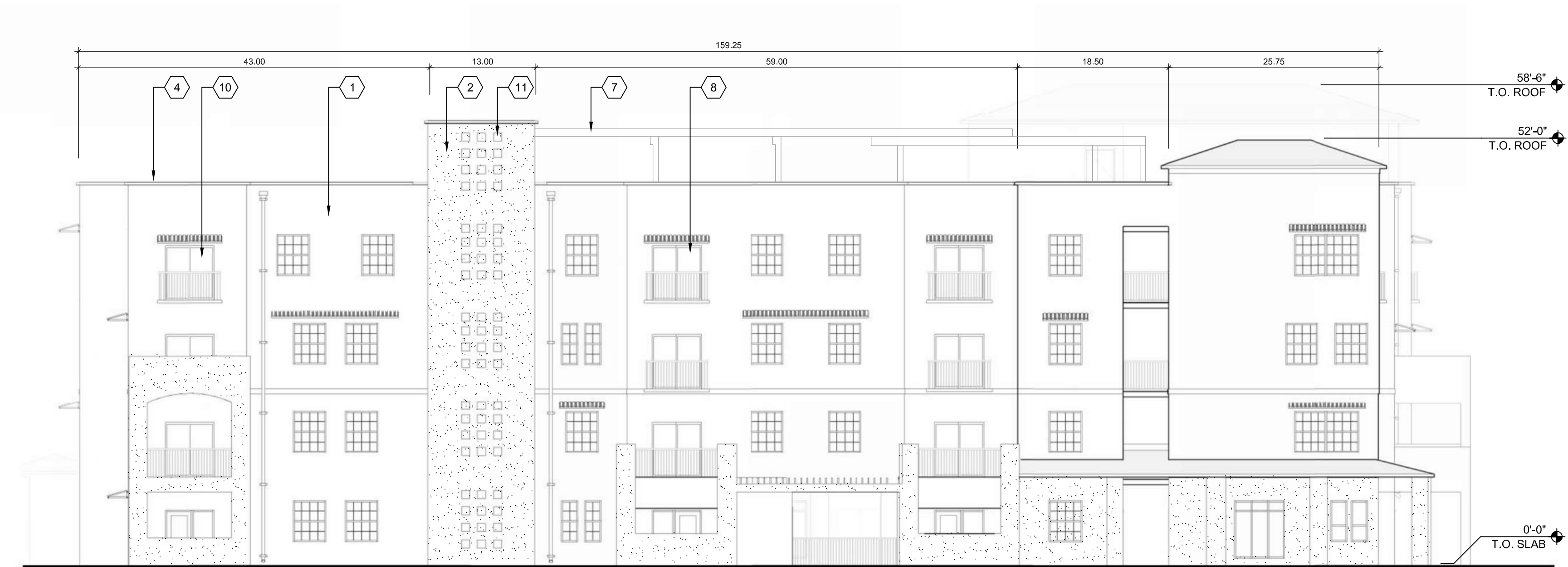
GROUND FLOOR HEIGHT: 5-11(E)(1)  
IN ANY MIXED-USE ZONE DISTRICT IN UC-MS-PT AREAS, THE GROUND FLOOR OF PRIMARY BUILDINGS FOR DEVELOPMENT OTHER THAN LOW-DENSITY RESIDENTIAL DEVELOPMENT SHALL HAVE A MINIMUM HEIGHT OF 12 FEET.

**WINDOW CALCULATIONS: 5-11(E)(2)(B)**

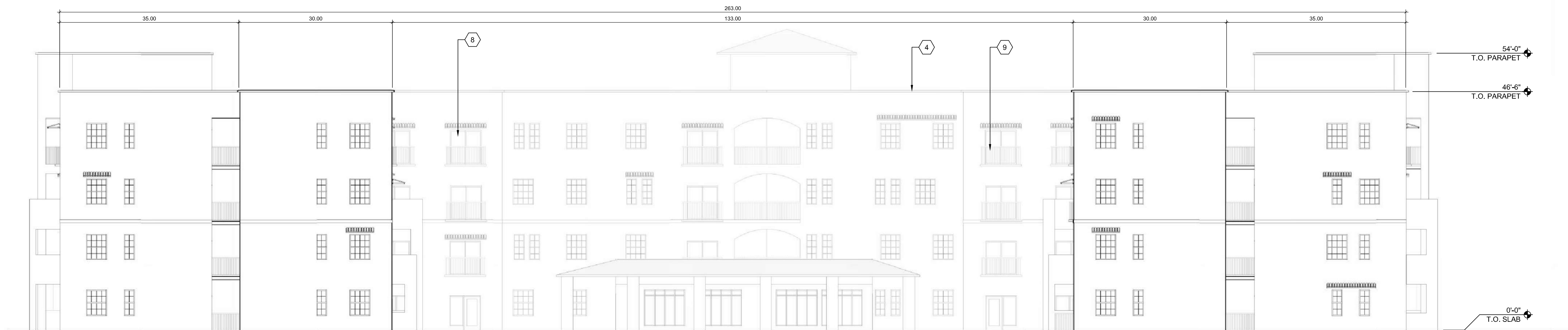
|                            | REQUIRED | PROVIDED |
|----------------------------|----------|----------|
| <b>BUILDING A</b>          |          |          |
| GROUND FLOOR: SOUTH FACADE | 60%      | 60%      |
| GROUND FLOOR: EAST FACADE  | 60%      | 60%      |
| <b>BUILDING B</b>          |          |          |
| GROUND FLOOR:              | 60%      | 65%      |
| 2ND FLOOR:                 | 30%      | 36%      |
| <b>BUILDING C</b>          |          |          |
| GROUND FLOOR:              | 60%      | 60%      |
| UPPER FLOORS:              | 30%      | 32%      |

**SHEET KEYED NOTES**

- STUCCO FINISH (COLOR 1)
- STUCCO FINISH (COLOR 2)
- STUCCO FINISH (ACCENT COLOR)
- METAL COPING
- ALUMINUM STOREFRONT (CLEAR GLASS)
- STANDING SEAM METAL ROOF
- SHADE STRUCTURE
- JULIET BALCONY
- GUARDRAIL - STEEL
- PATIO DOOR
- ACCENT OPENING



**D5 SOUTH ELEVATION**  
3/32" = 1'-0"



**B5 WEST ELEVATION**  
3/32" = 1'-0"

**GENERAL NOTES**

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALLS AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.

**BUILDING DESIGN**

GROUND FLOOR HEIGHT: 5-11(E)(1)  
IN ANY MIXED-USE ZONE DISTRICT IN UC-MS-PT AREAS, THE GROUND FLOOR OF PRIMARY BUILDINGS FOR DEVELOPMENT OTHER THAN LOW-DENSITY RESIDENTIAL DEVELOPMENT SHALL HAVE A MINIMUM HEIGHT OF 12 FEET.

WINDOW CALCULATIONS: 5-11(E)(2)(B)

|                            | REQUIRED | PROVIDED |
|----------------------------|----------|----------|
| <b>BUILDING A</b>          |          |          |
| GROUND FLOOR: SOUTH FACADE | 60%      | 60%      |
| GROUND FLOOR: EAST FACADE  | 60%      | 60%      |
| <b>BUILDING B</b>          |          |          |
| GROUND FLOOR:              | 60%      | 65%      |
| 2ND FLOOR:                 | 30%      | 36%      |
| <b>BUILDING C</b>          |          |          |
| GROUND FLOOR:              | 60%      | 60%      |
| UPPER FLOORS:              | 30%      | 32%      |

**SHEET KEYED NOTES**

- STUCCO FINISH (COLOR 1)
- STUCCO FINISH (COLOR 2)
- STUCCO FINISH (ACCENT COLOR)
- METAL COPING
- ALUMINUM STOREFRONT (CLEAR GLASS)
- STANDING SEAM METAL ROOF
- SHADE STRUCTURE
- JULIET BALCONY
- GUARDRAIL - STEEL
- PATIO DOOR
- ACCENT OPENING



**DEKKER  
PERICH  
SABATINI**

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

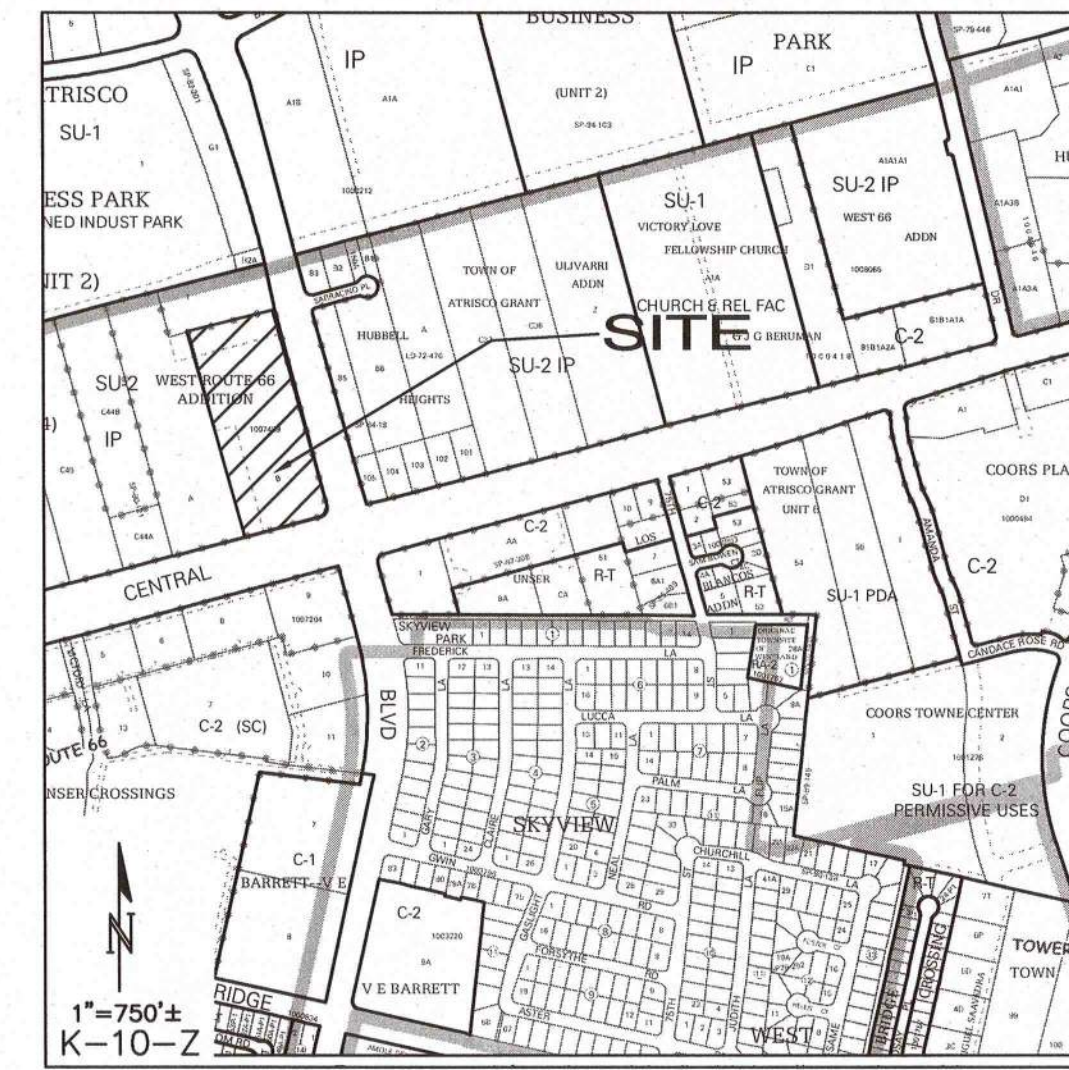
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ARCHITECT

ENGINEER

PROJECT

NUEVO ATRISCO  
CENTRAL & UNSER  
ALBUQUERQUE, NM

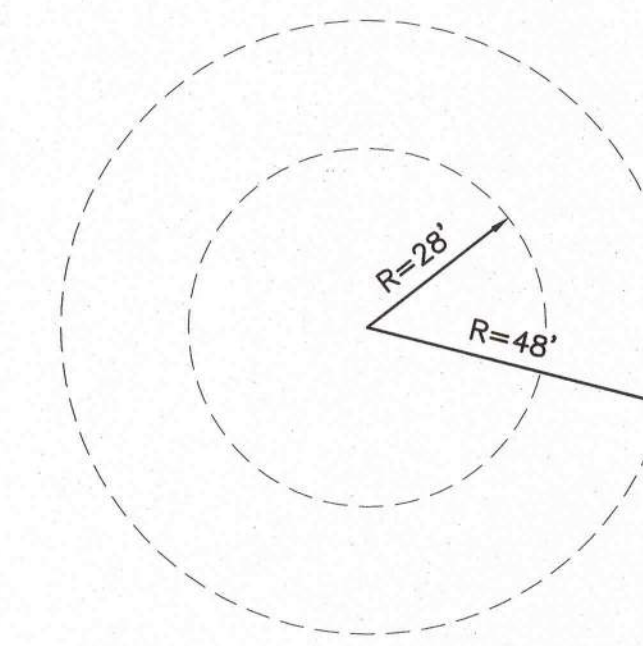


201 UNSER BLVD. N.W.,  
ALBUQUERQUE, NM 87121

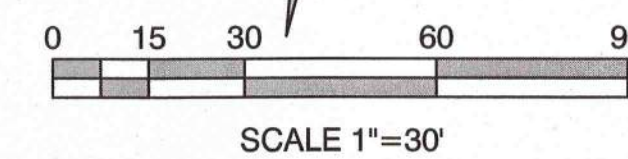
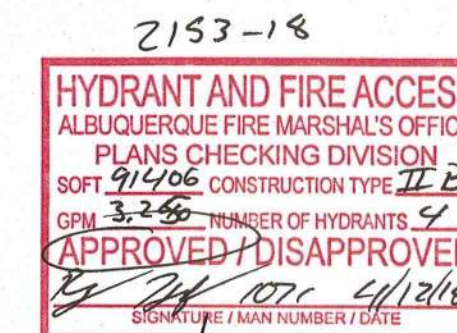
91,406 SQ. FT BUILDING  
OCCUPANCY GROUP – RESIDENTIAL GROUP R-2  
TYPE 2B CONSTRUCTION  
SPRINKLED  
55'-9" BUILDING HEIGHT

ALL ACCESS ROADS AND FIRE LANES HAVE  
GRADES LESS THAN 10% AND A LOAD  
CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE LANES WILL  
ACCOMMODATE A 28' MINIMUM TRUCK TURNING  
RADIUS



FIRE APPARATUS TURNING RADIUS  
1"=30'



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.incivil.com

REVISIONS

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DRAWN BY

REVIEWED BY

DATE 3/30/2018

PROJECT NO. 17-0153

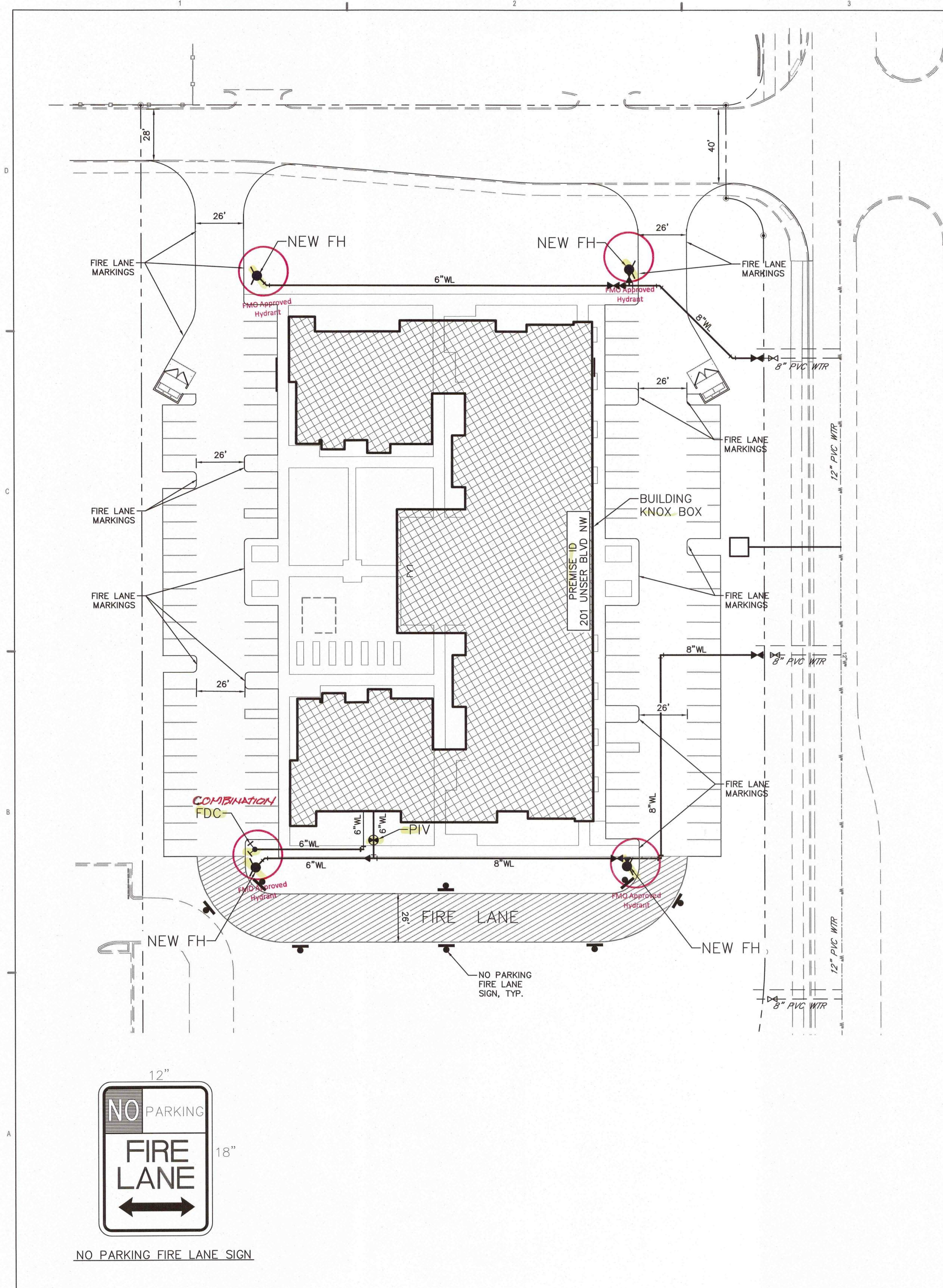
DRAWING NAME

**FIRE HYDRANT  
LOCATION  
AND ACCESS  
PLAN**

SHEET NO.

**FIRE 1**

OF



UNSER BOULEVARD N.W.



NO PARKING FIRE LANE SIGN



DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109  
505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

PHASE 2  
NUEVO ATRISCO  
CENTRAL & UNSER  
ALBUQUERQUE, NM



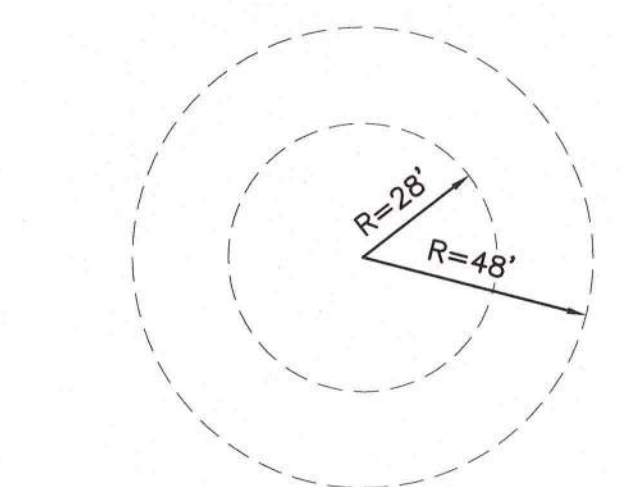
WEST CENTRAL AVE

SARRACINO PL

UNSER BLVD SE

ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE LANES WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS



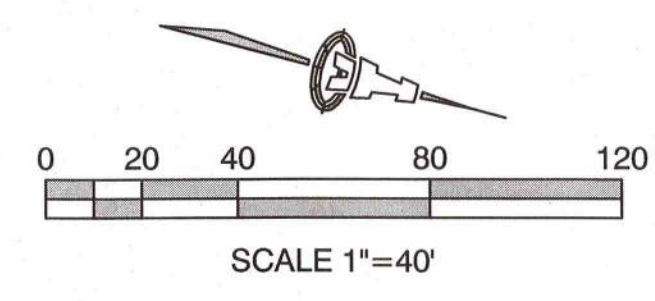
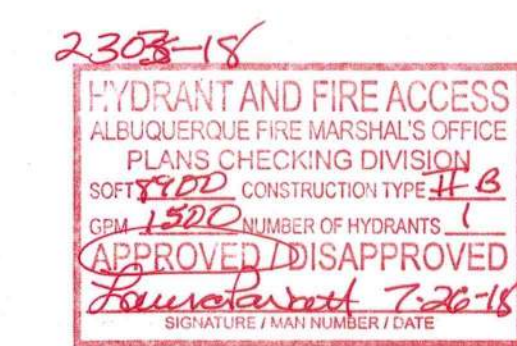
FIRE APPARATUS TURNING RADIUS  
1"=40'

101 UNSER BLVD. N.W.,  
ALBUQUERQUE, NM 87121

BUILDING A  
5,800 SQ. FT BUILDING  
OCCUPANCY GROUP - ASSEMBLY GROUP A-2  
TYPE 2B CONSTRUCTION  
SPRINKLED  
24'-0" BUILDING HEIGHT

BUILDING B  
6,800 SQ. FT BUILDING  
OCCUPANCY GROUP - ASSEMBLY GROUP A-2  
TYPE 2B CONSTRUCTION  
SPRINKLED  
24'-0" BUILDING HEIGHT

BUILDING C  
8,900 SQ. FT BUILDING  
OCCUPANCY GROUP - BUSINESS GROUP B  
TYPE 2B CONSTRUCTION  
SPRINKLED  
24'-0" BUILDING HEIGHT



ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iacivil.com

REVISIONS

|   |  |
|---|--|
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| △ |  |

DRAWN BY

REVIEWED BY

DATE 6/18/2018

PROJECT NO. 17-0153

DRAWING NAME

FIRE HYDRANT  
LOCATION  
AND ACCESS  
PLAN

SHEET NO.

FIRE 1

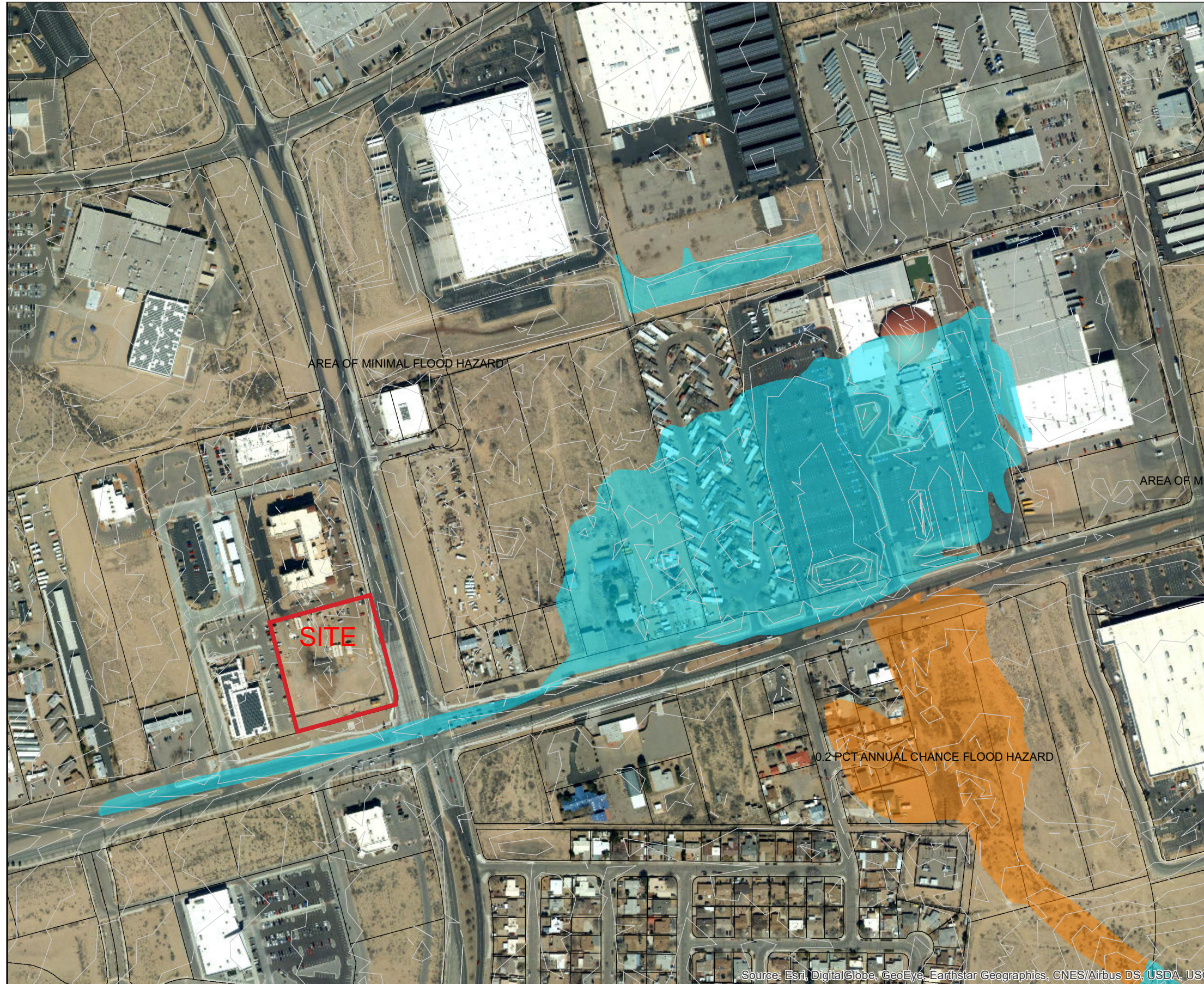
OF



# **12 SENSITIVE LANDS SITE ANALYSIS**



# SENSITIVE LANDS ANALYSIS



The subject site does not disturb any sensitive lands as identified by IDO section 5-2(C), as outlined below:

- Arroyos - not applicable as no arroyos are located on the site.
- Floodplains and Special Flood Hazard Areas - not applicable as the site is not located within a flood zone or flood hazard area as indicated by FEMA maps.
- Irrigation facilities (acequias) - not applicable as no acequias are located on the site.
- Large stands of mature trees - not applicable as there are no large stands of mature trees located on the site.
- Riparian areas - not applicable as no riparian areas located on the site.
- Rock outcroppings - not applicable as no rock outcroppings located on the site.
- Significant archaeological sites - not applicable as no significant archeological sites located on the site.
- Steep slopes and escarpments - as indicated on the map, site slopes are fairly flat and no steep slopes or escarpment exist on the site.
- Wetlands - not applicable as no wetlands located on the site.



Site view looking north from Central Avenue which illustrates the lack of sensitive elements such as mature tree stands, rock outcroppings, steep slopes or escarpments, arroyos or acequias, or riparian/ wetland areas.



# **13** SITE & BUILDING DESIGN CONSIDERATIONS FORM



# Albuquerque Site & Building Design Considerations

**This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. *The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).***

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

## **Design Considerations for Compliance with IDO Section 5-2 (D)**

*In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. **Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.***

### **Section A.**

#### **General Site Arrangement and Building Orientation:**

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.  
Achieved       Achieved in Part       Evaluated Only
2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.  
Achieved       Achieved in Part       Evaluated Only
3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.  
Achieved       Achieved in Part       Evaluated Only



4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved  Achieved in Part  Evaluated Only

5. Design should allow for natural ventilation as much as possible.

Achieved  Achieved in Part  Evaluated Only

**Building Entries and Windows:**

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved  Achieved in Part  Evaluated Only

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved  Achieved in Part  Evaluated Only

8. North facing windows are encouraged as they require little to no shading.

Achieved  Achieved in Part  Evaluated Only

9. Any west facing building entries and windows should mitigate solar effects.

Achieved  Achieved in Part  Evaluated Only

**Outdoor Elements (Integration):**

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved  Achieved in Part  Evaluated Only

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved  Achieved in Part  Evaluated Only

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved  Achieved in Part  Evaluated Only

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved  Achieved in Part  Evaluated Only

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved  Achieved in Part  Evaluated Only



15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved  Achieved in Part  Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved  Achieved in Part  Evaluated Only

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved  Achieved in Part  Evaluated Only

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

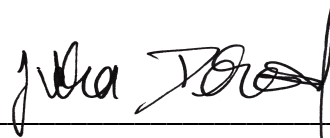
Achieved  Achieved in Part  Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project \_\_\_\_\_ and Application No \_\_\_\_\_.

License No: 4545

\_\_\_\_\_  
Signature of Project Architect/License No.

License No: LA536



\_\_\_\_\_  
Signature of Project Landscape Architect/License No.

## **Section B.**

### **Sun and Shade Analysis requirements in compliance with 5-2(D)(1):**

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that **summer sun** be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of **winter sun** should reach transparent windows and doors at noon on each facade.

**The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations.** Screen shots from a program like SketchUp are acceptable.

#### **Summer Sun Analysis**

1. Show the effects of summer sun on windows on the following date and times:
  - a. May 21<sup>st</sup> analysis:
    - 9:00 AM
    - Noon
    - 4:00 PM
  - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
  - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
  - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
  - e. If no sun is influencing a façade at any of the above times, the graphic should simple state “no solar effect.”

#### **Winter Sun Analysis**

2. Show the effects of winter sun on windows on the following date and time:
  - a. November 21st analysis:
    - Noon
  - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**



ARCHITECT

ENGINEER

PROJECT

**NUEVO ATRISCO**  
201 Unser Blvd NW  
Albuquerque, NM 87121

REVISIONS

- △
- △
- △
- △

DRAWN BY D/P/S

REVIEWED BY D/P/S

DATE 06.03.2022

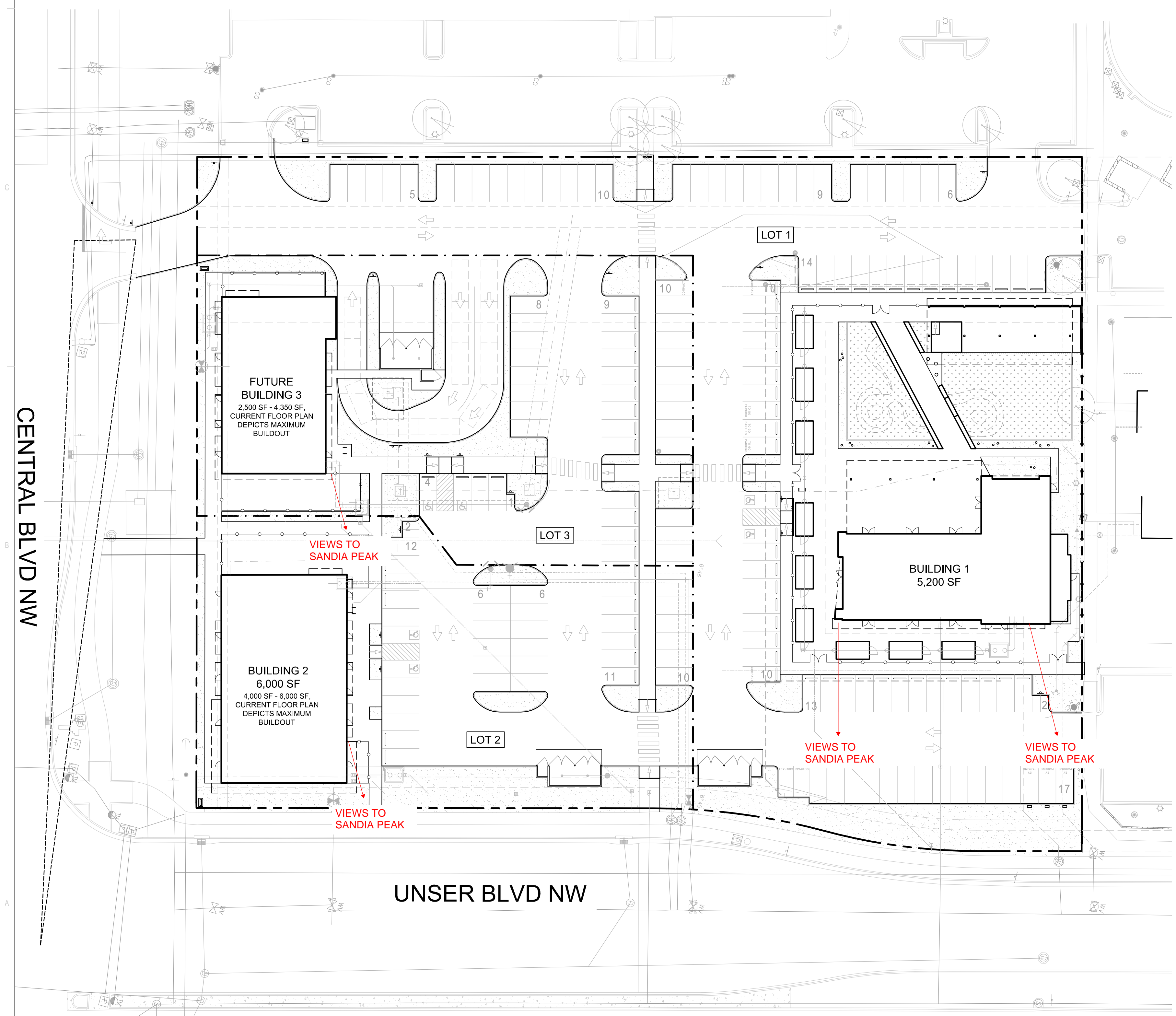
PROJECT NO. 19-0059.002

DRAWING NAME

**SITE VIEWS  
PLAN**

SHEET NO.

**SDP5.0**



CENTRAL BLVD NW

UNSER BLVD NW

FUTURE  
BUILDING 3  
2,500 SF - 4,350 SF.  
CURRENT FLOOR PLAN  
DEPICTS MAXIMUM  
BUILDOUT

BUILDING 2  
6,000 SF  
4,000 SF - 6,000 SF.  
CURRENT FLOOR PLAN  
DEPICTS MAXIMUM  
BUILDOUT

BUILDING 1  
5,200 SF

LOT 1

LOT 2

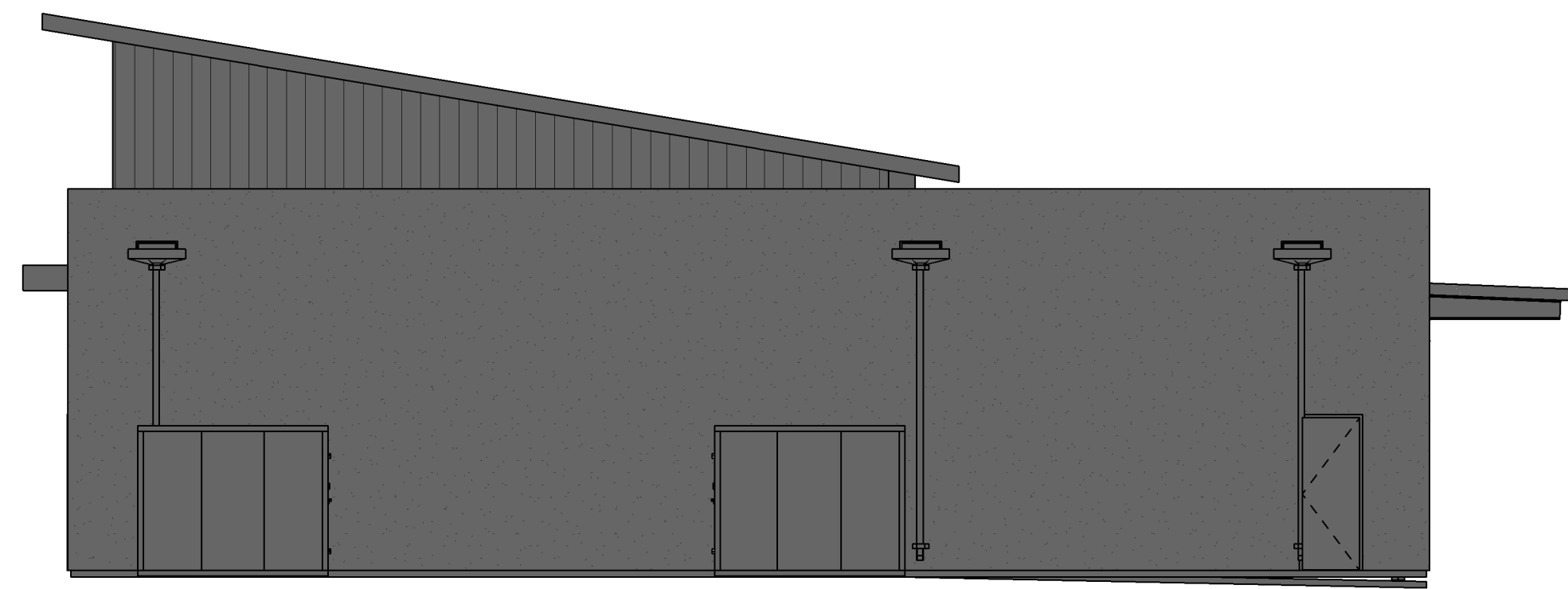
LOT 3

VIEWS TO  
SANDIA PEAK

VIEWS TO  
SANDIA PEAK

VIEWS TO  
SANDIA PEAK

VIEWS TO  
SANDIA PEAK



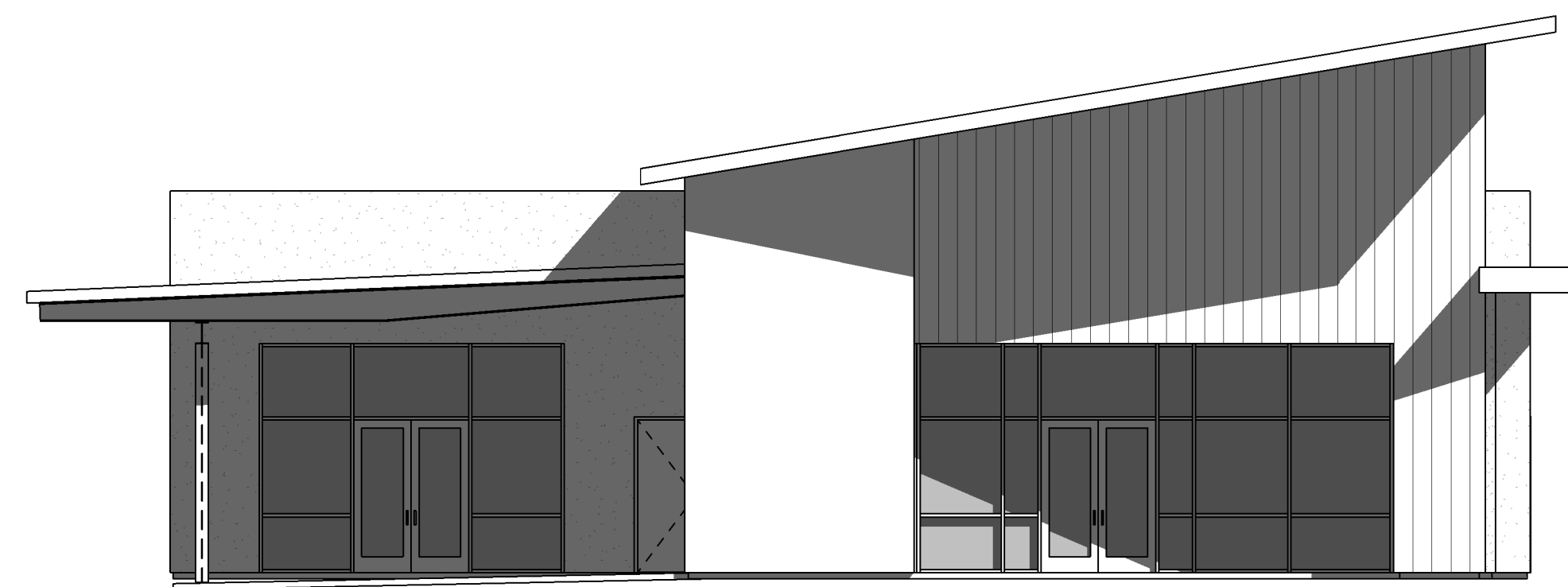
D1 NORTH ELEVATION  
1/8" = 1'-0"

NO SOLAR EFFECT



D3 EAST ELEVATION  
1/8" = 1'-0"

% SHADED = 20%  
DOES NOT ACHIEVE > 50%



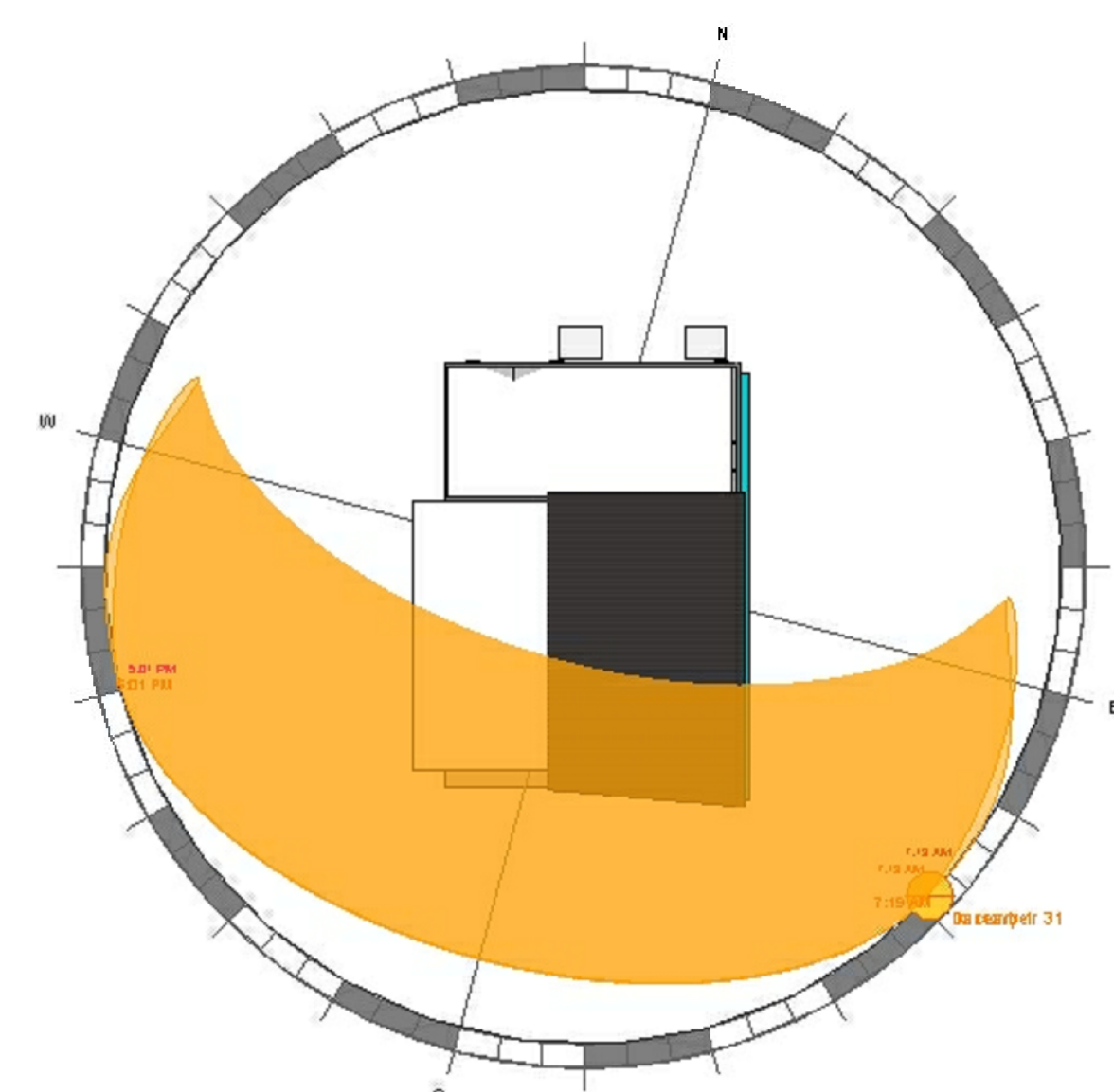
C1 SOUTH ELEVATION  
1/8" = 1'-0"

% SHADED = 95%  
ACHIEVES > 50%



C3 WEST ELEVATION  
1/8" = 1'-0"

NO SOLAR EFFECT

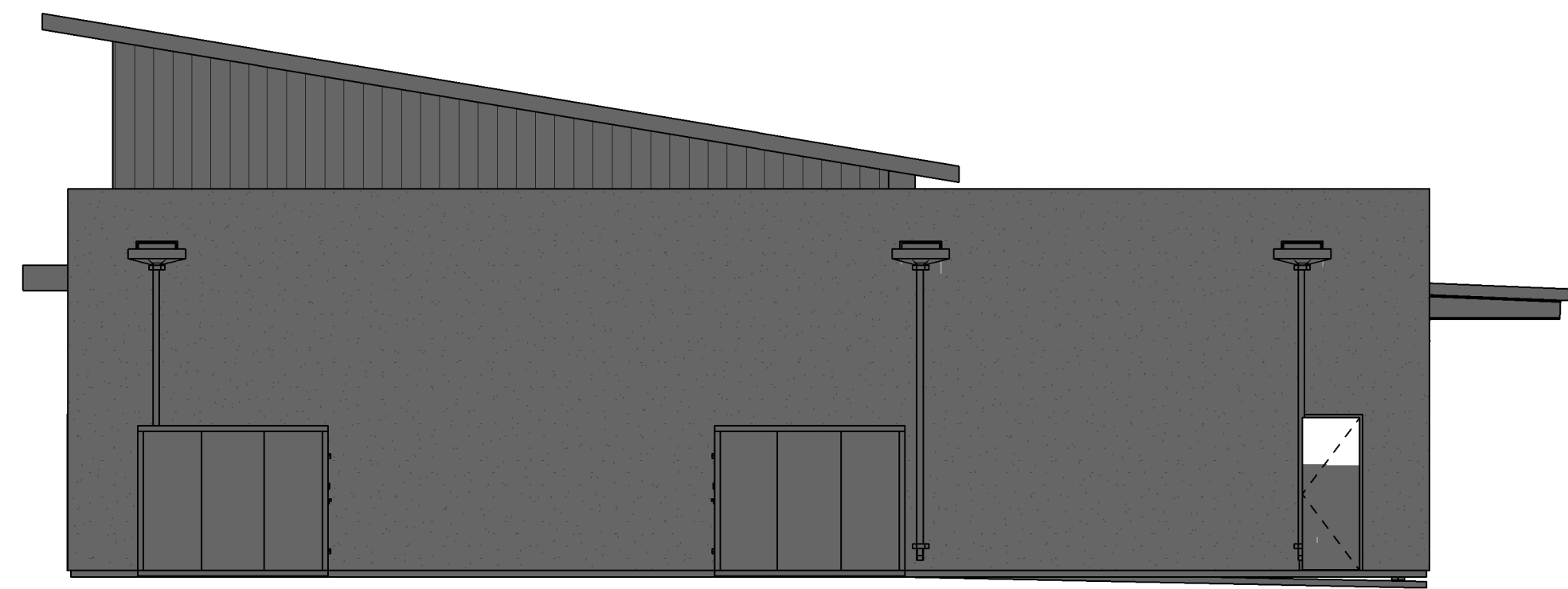


SUMMER - MAY 21 @ 9:00 AM

Nuevo Atrisco Community Building

Unser Blvd + Central Ave NW  
Albuquerque, NM 87121





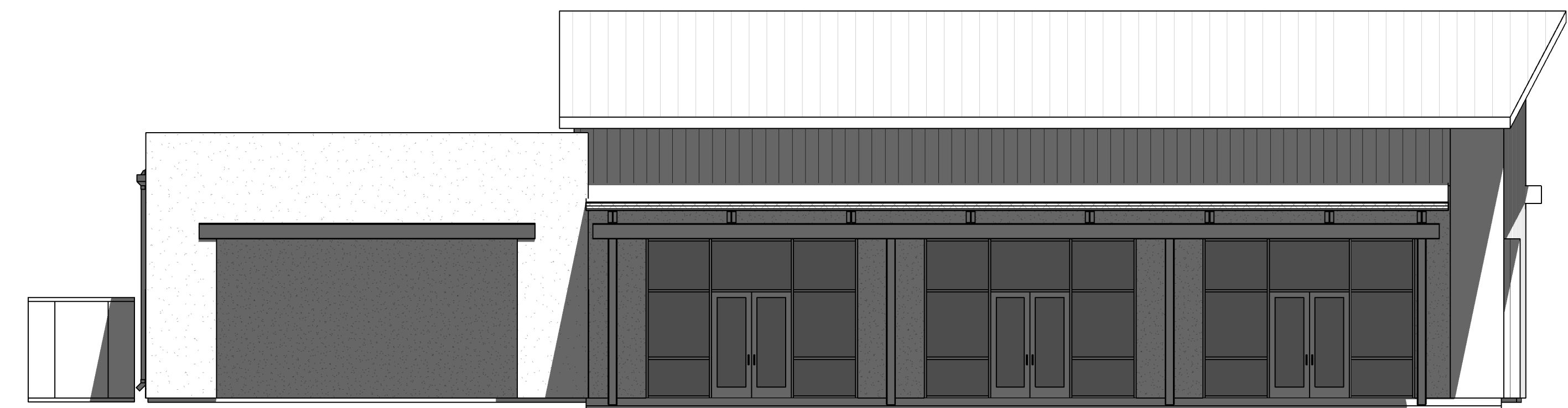
**D1** NORTH ELEVATION  
1/8" = 1'-0"  
NO SOLAR EFFECT



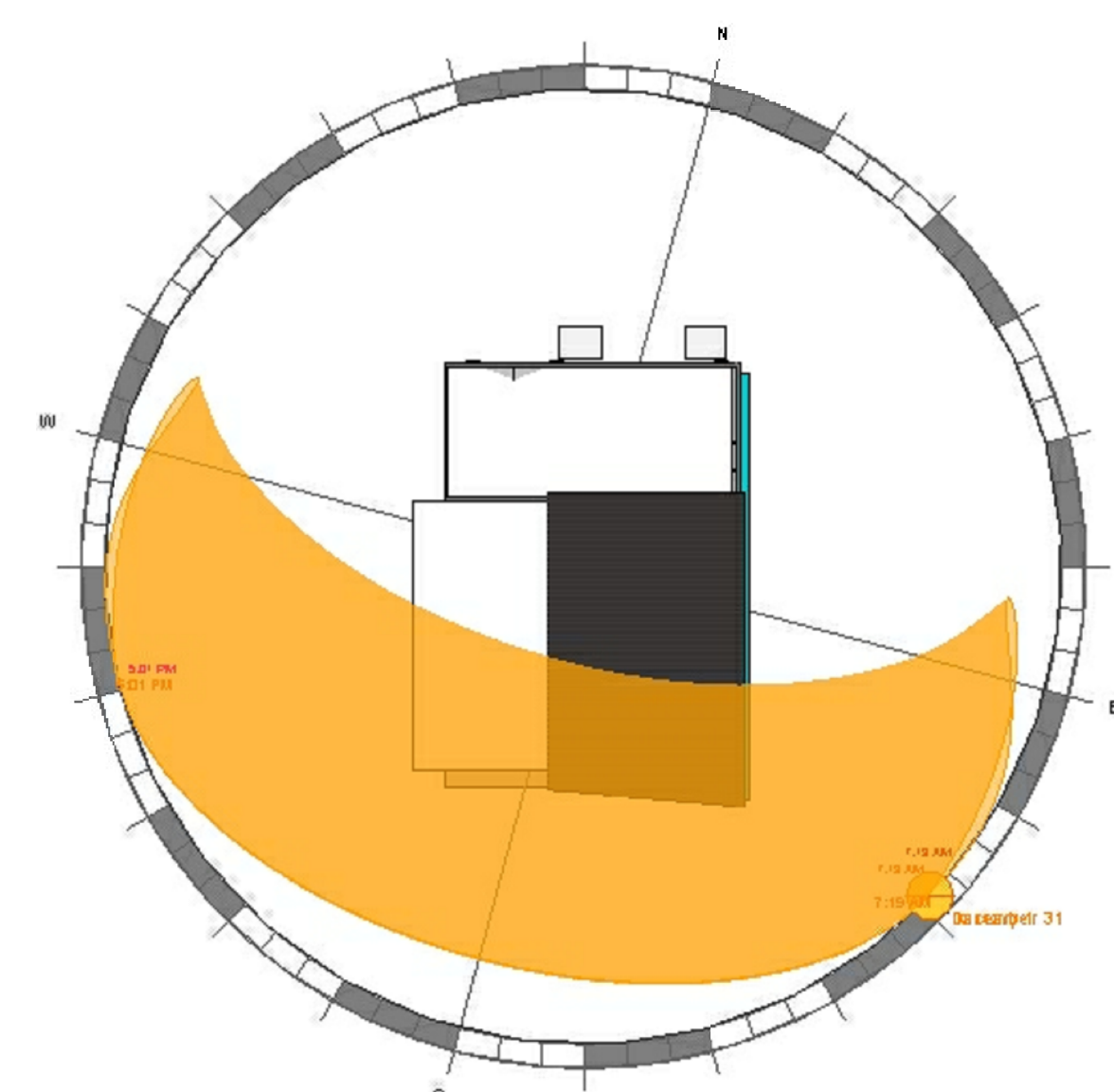
**D3** EAST ELEVATION  
1/8" = 1'-0"  
NO SOLAR EFFECT



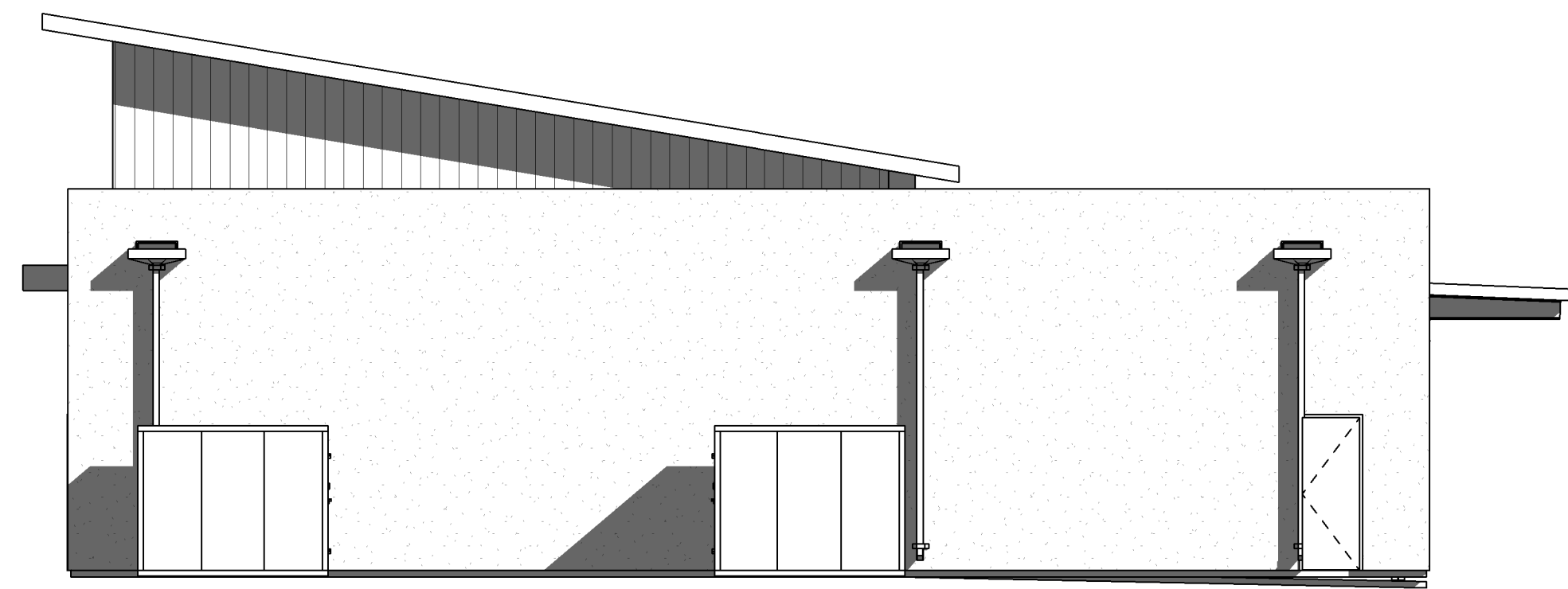
**C1** SOUTH ELEVATION  
1/8" = 1'-0"  
% SHADED = 95%  
ACHIEVES > 90%



**C3** WEST ELEVATION  
1/8" = 1'-0"  
% SHADED = 100%  
ACHIEVES > 90%



SUMMER - MAY 21 @ 12:00 PM



D1 NORTH ELEVATION  
1/8" = 1'-0"

NO GLAZING  
ACHIEVES > 50%



D3 EAST ELEVATION  
1/8" = 1'-0"

NO SOLAR EFFECT



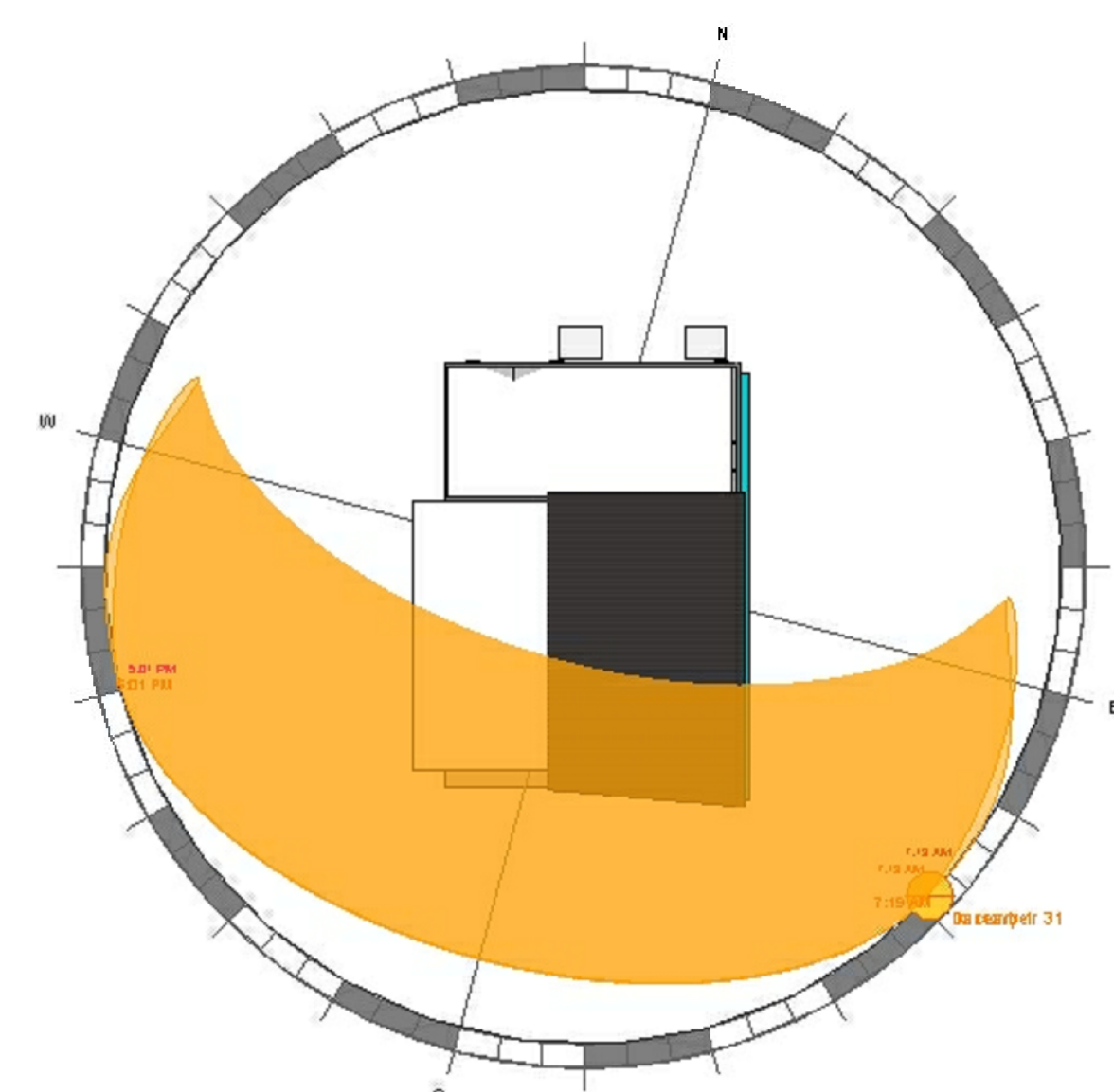
C1 SOUTH ELEVATION  
1/8" = 1'-0"

NO SOLAR EFFECT



C3 WEST ELEVATION  
1/8" = 1'-0"

% SHADED = 100%  
ACHIEVES > 50%

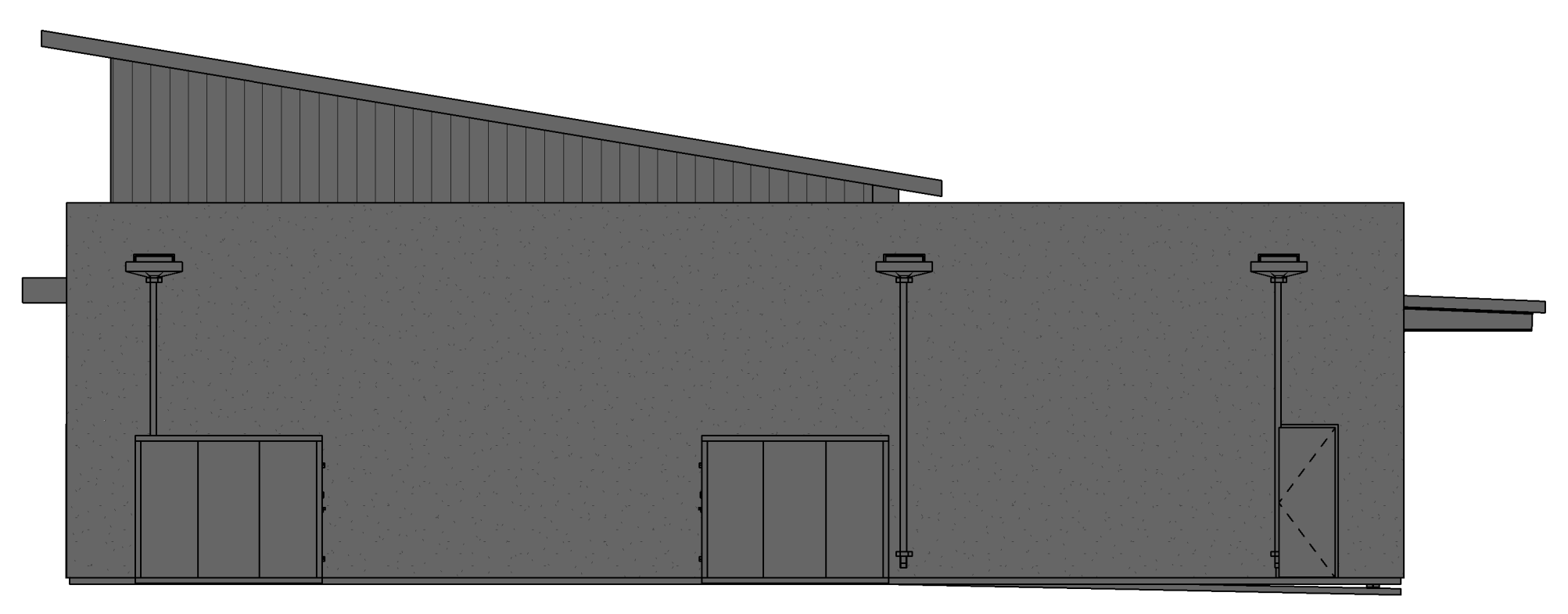


SUMMER - MAY 21 @ 4:00 PM

Nuevo Atrisco Community Building

Unser Blvd + Central Ave NW  
Albuquerque, NM 87121





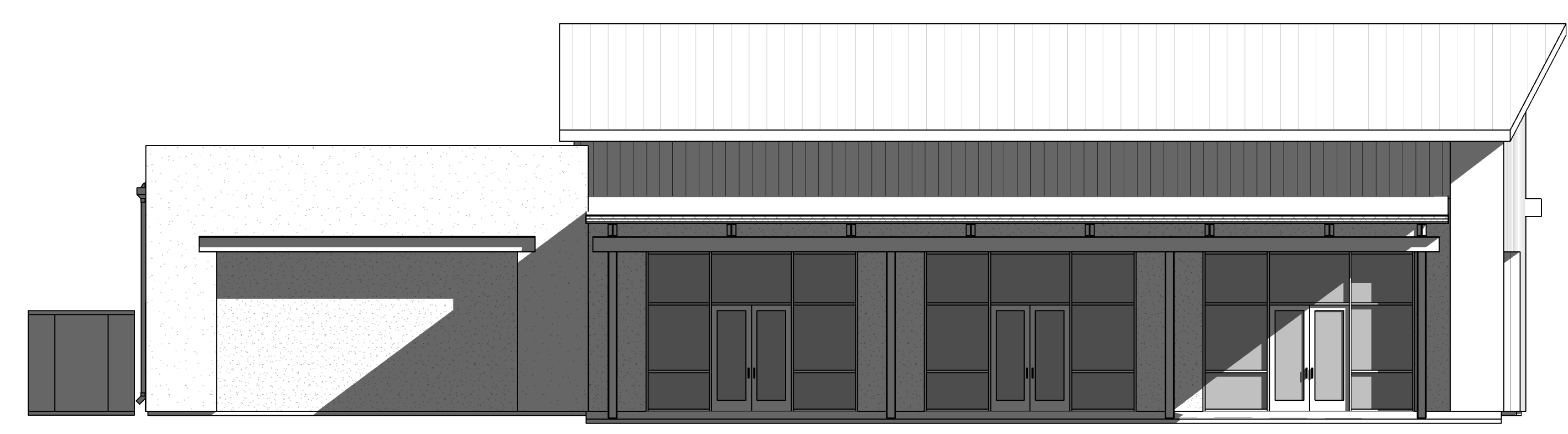
**D1** NORTH ELEVATION  
1/8" = 1'-0"  
NO SOLAR EFFECT



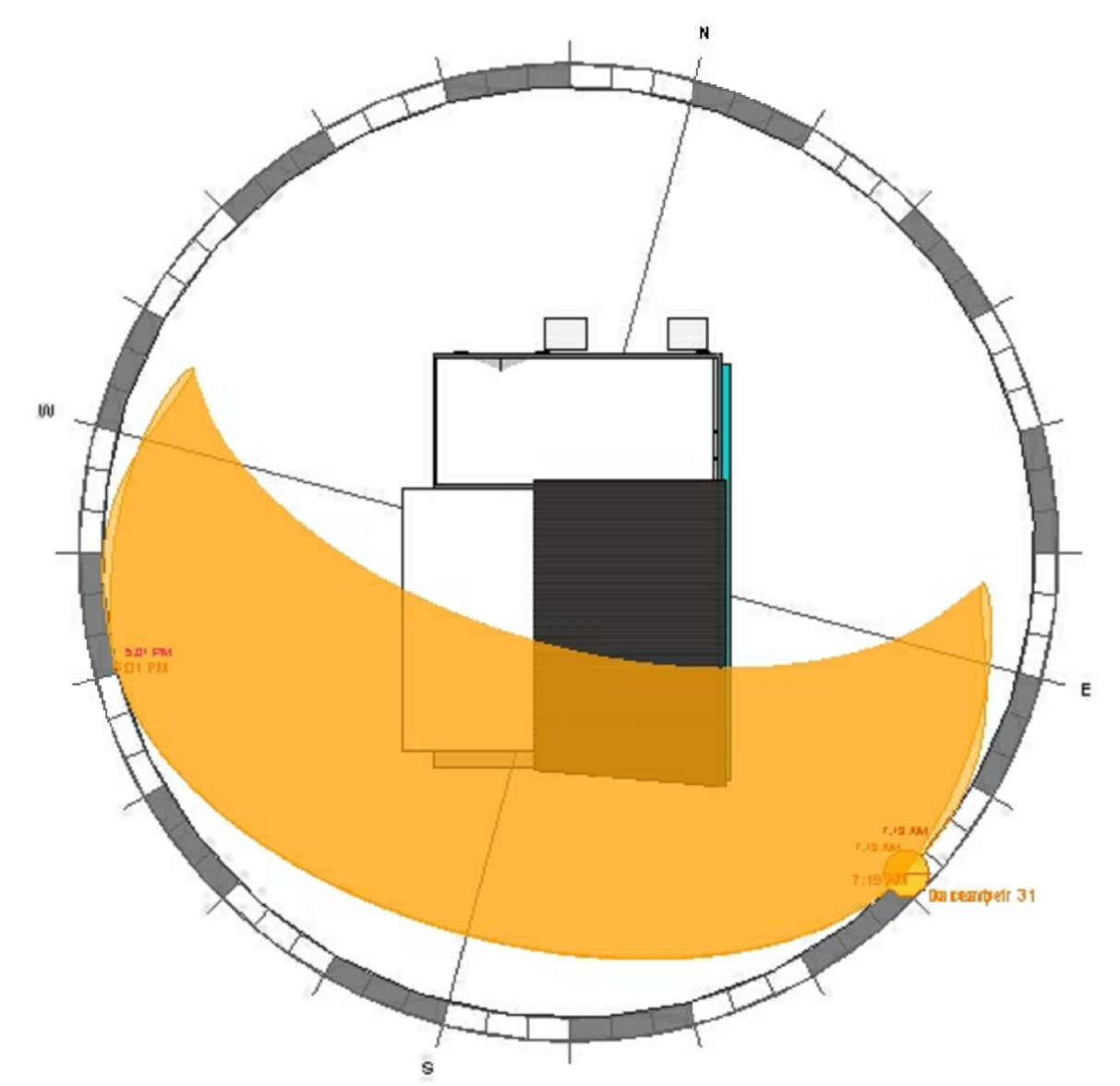
**D3** EAST ELEVATION  
1/8" = 1'-0"  
NO SOLAR EFFECT



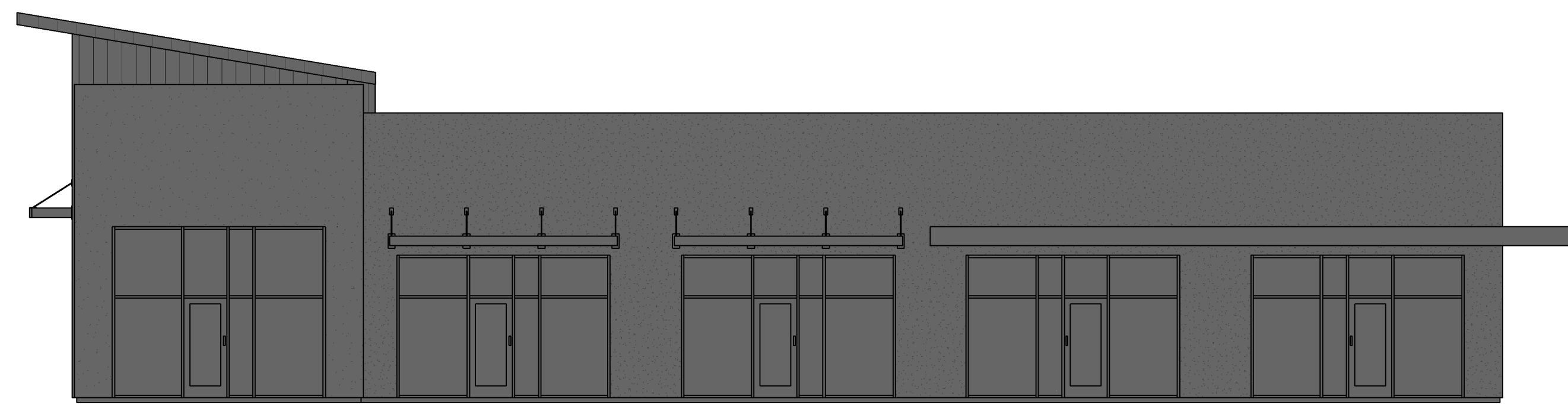
**C1** SOUTH ELEVATION  
1/8" = 1'-0"  
% EXPOSED = 55%  
DOES NOT ACHIEVE > 75%



**C3** WEST ELEVATION  
1/8" = 1'-0"  
% EXPOSED = 20%  
DOES NOT ACHIEVE > 75%

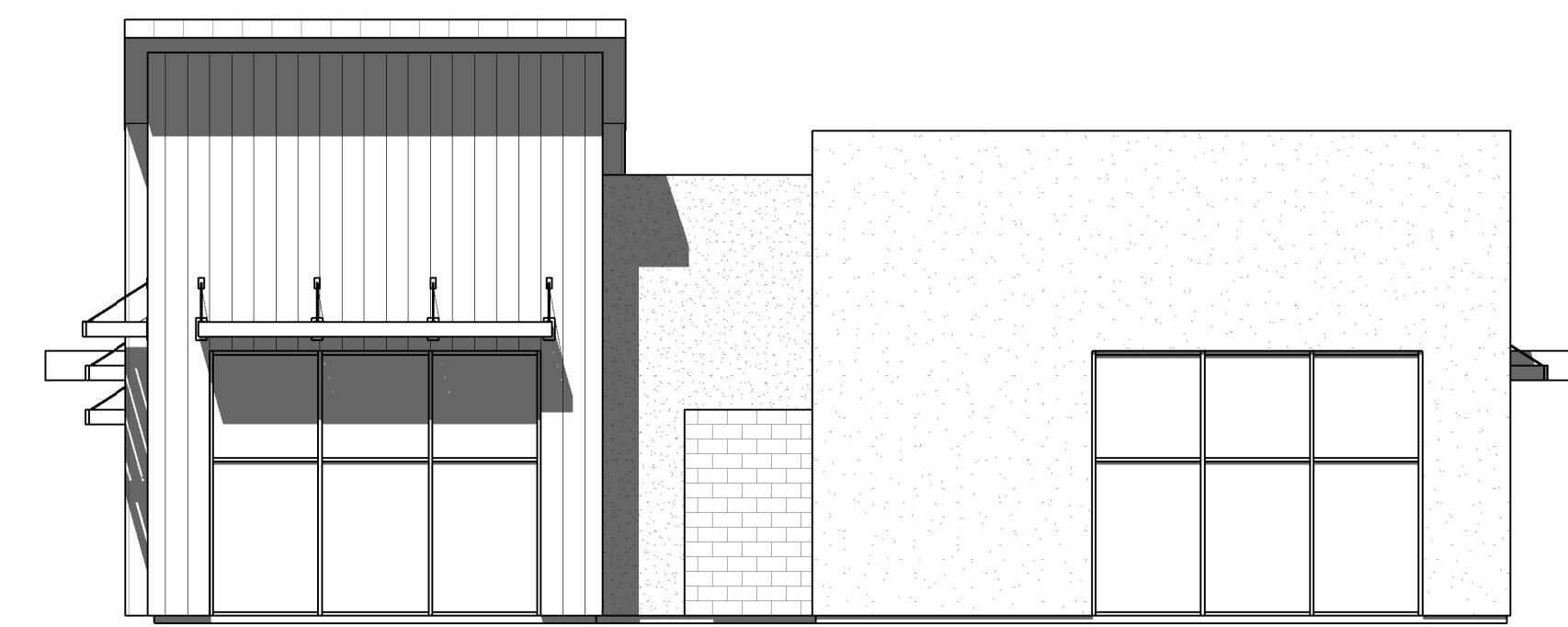


WINTER - NOVEMBER 21 @ 12:00 PM



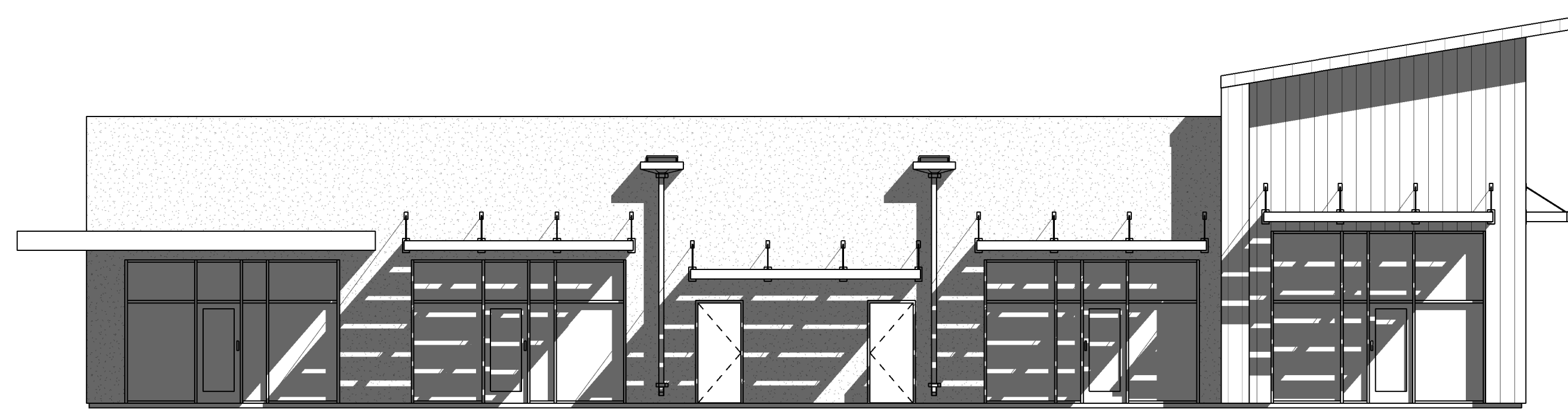
D1 NORTH ELEVATION  
1/8" = 1'-0"

NO SOLAR EFFECT



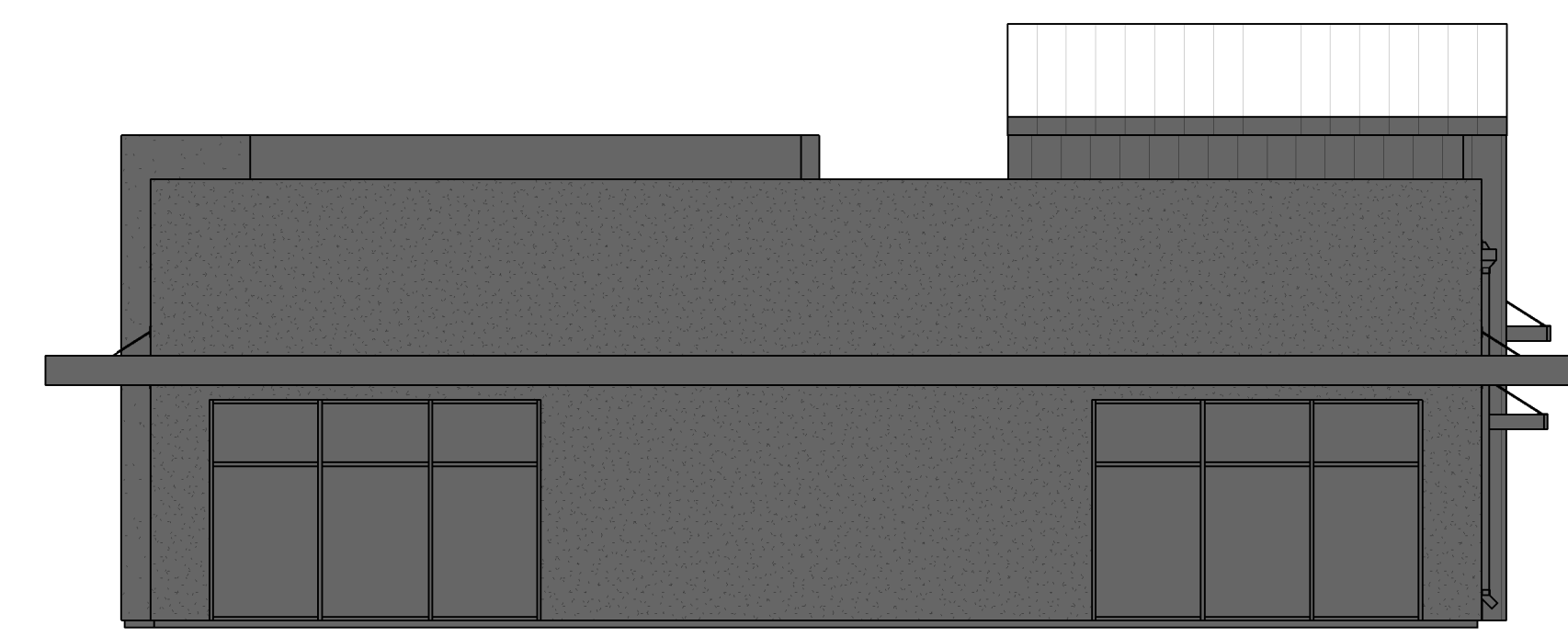
D4 EAST ELEVATION  
1/8" = 1'-0"

% SHADED = 10%  
DOES NOT ACHIEVE > 50%



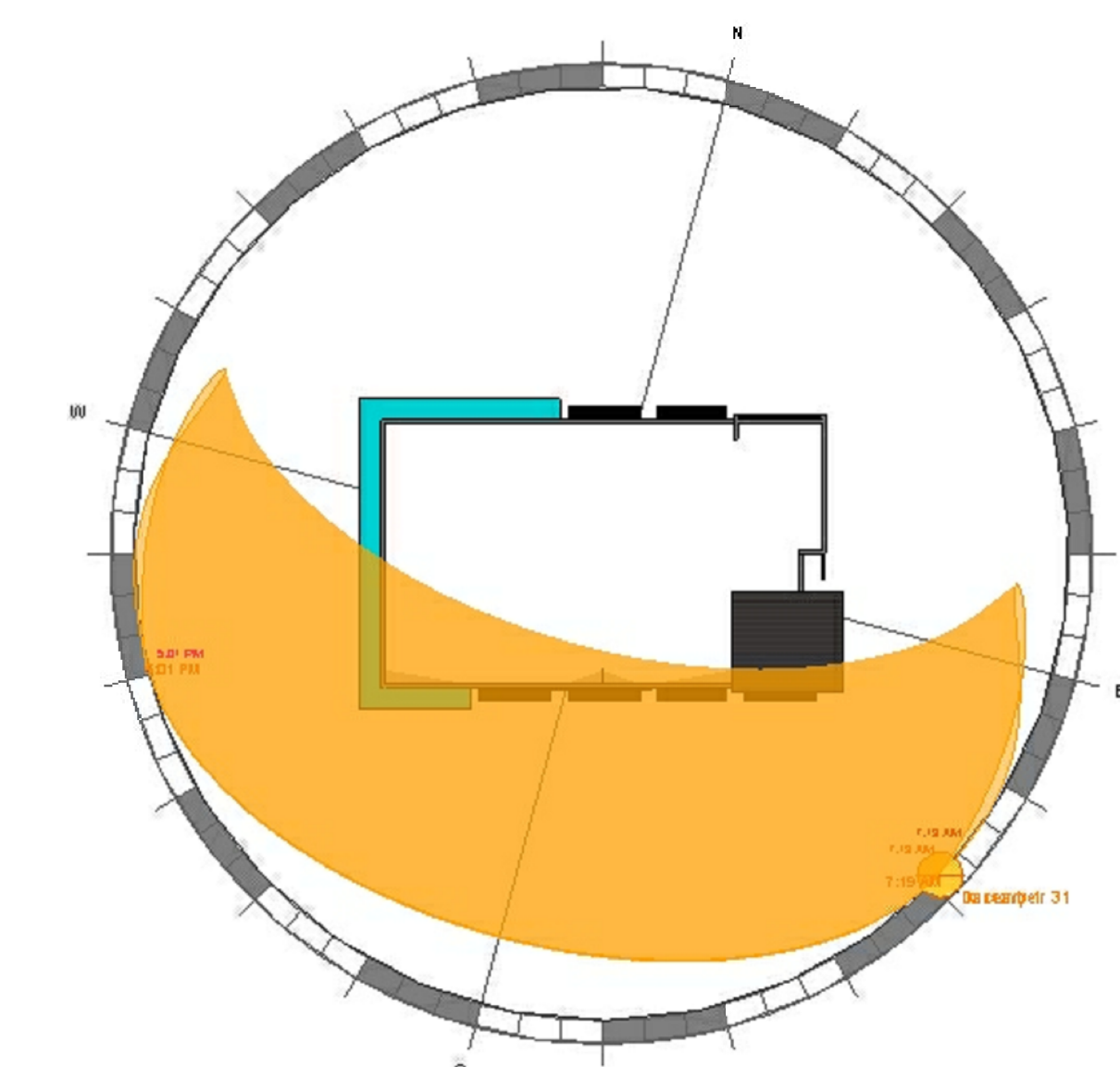
C1 SOUTH ELEVATION  
1/8" = 1'-0"

% SHADED = 95%  
ACHIEVES > 50%



C4 WEST ELEVATION  
1/8" = 1'-0"

NO SOLAR EFFECT

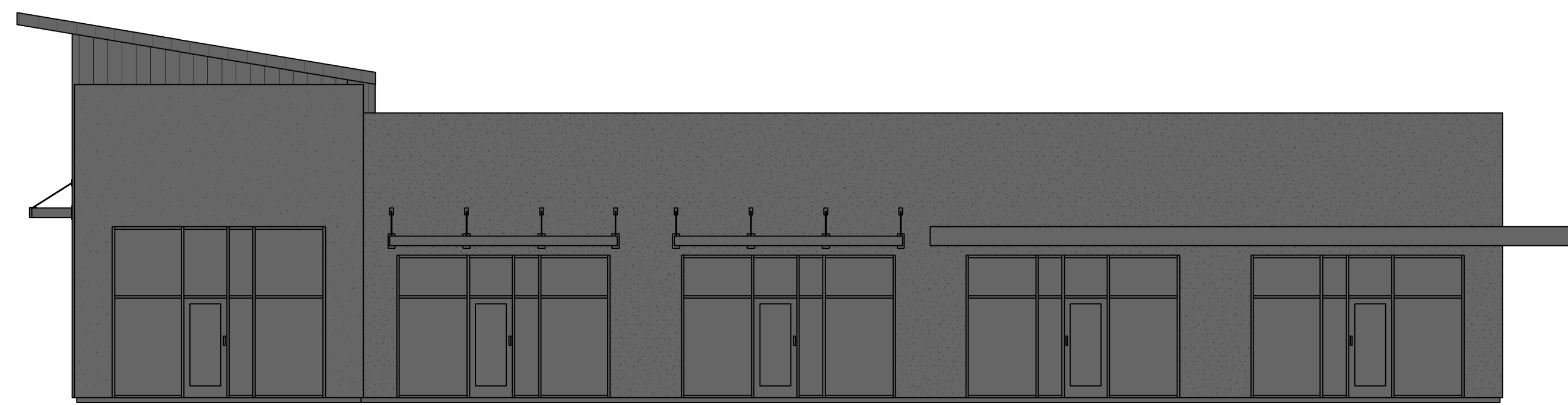


SUMMER - MAY 21 @ 9:00 AM

Nuevo Atrisco Retail Building #1

Unser Blvd + Central Ave NW  
Albuquerque, NM 87121

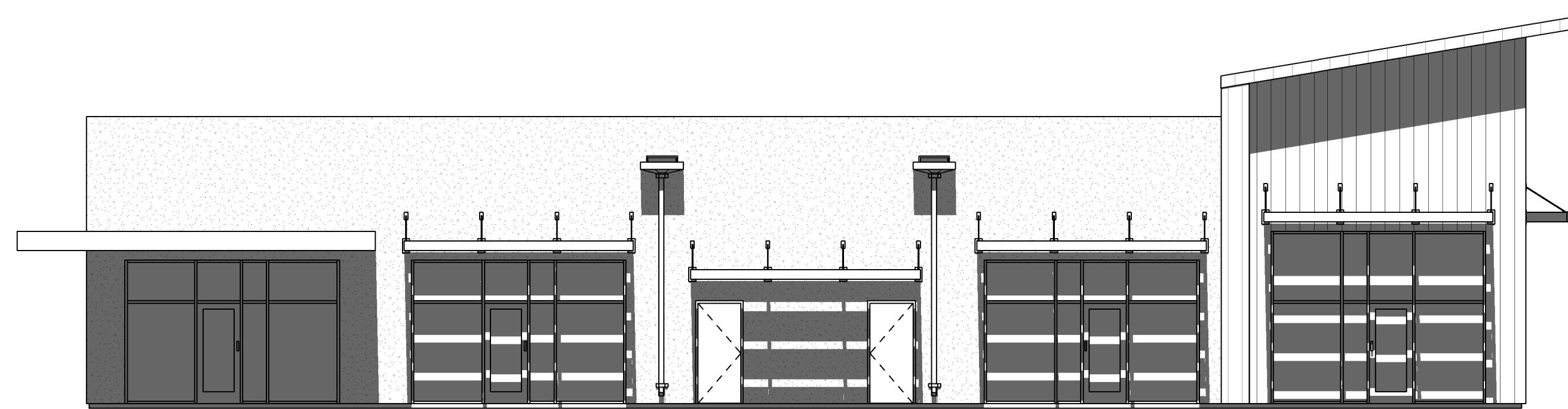




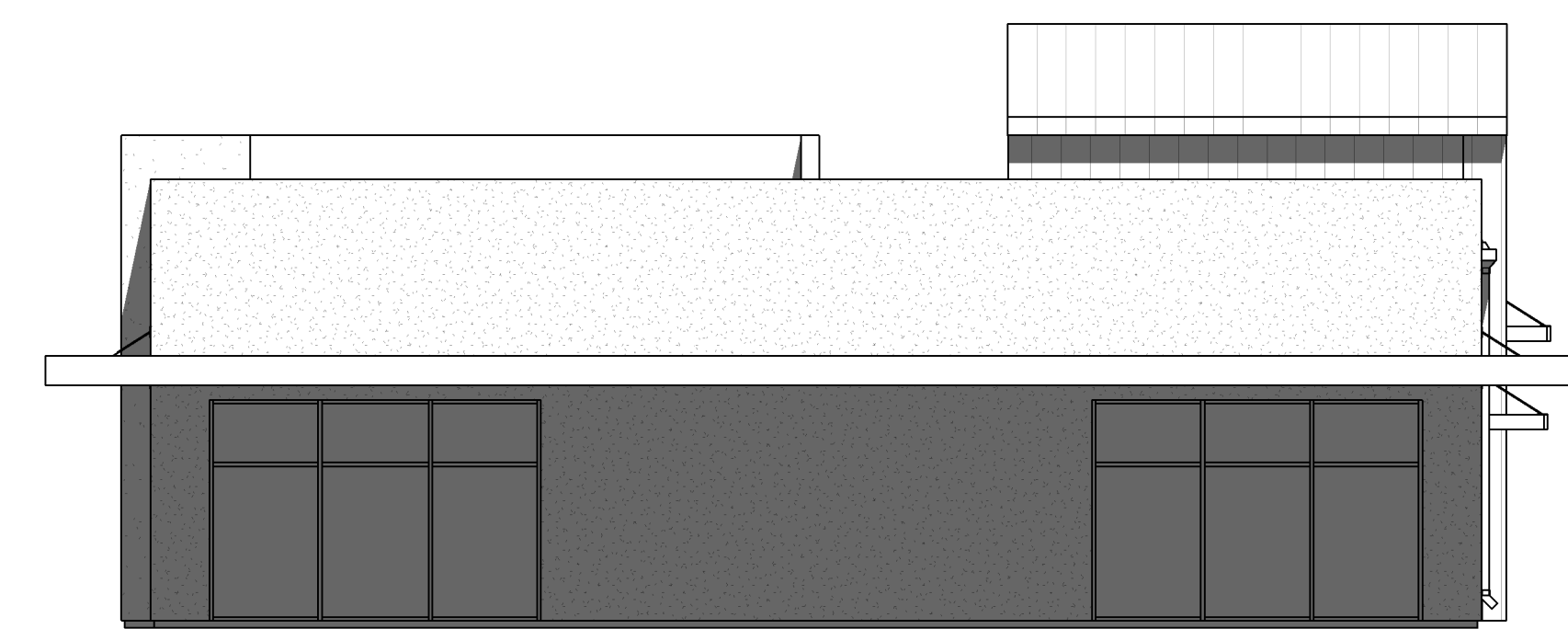
**D1** NORTH ELEVATION NO SOLAR EFFECT  
1/8" = 1'-0"



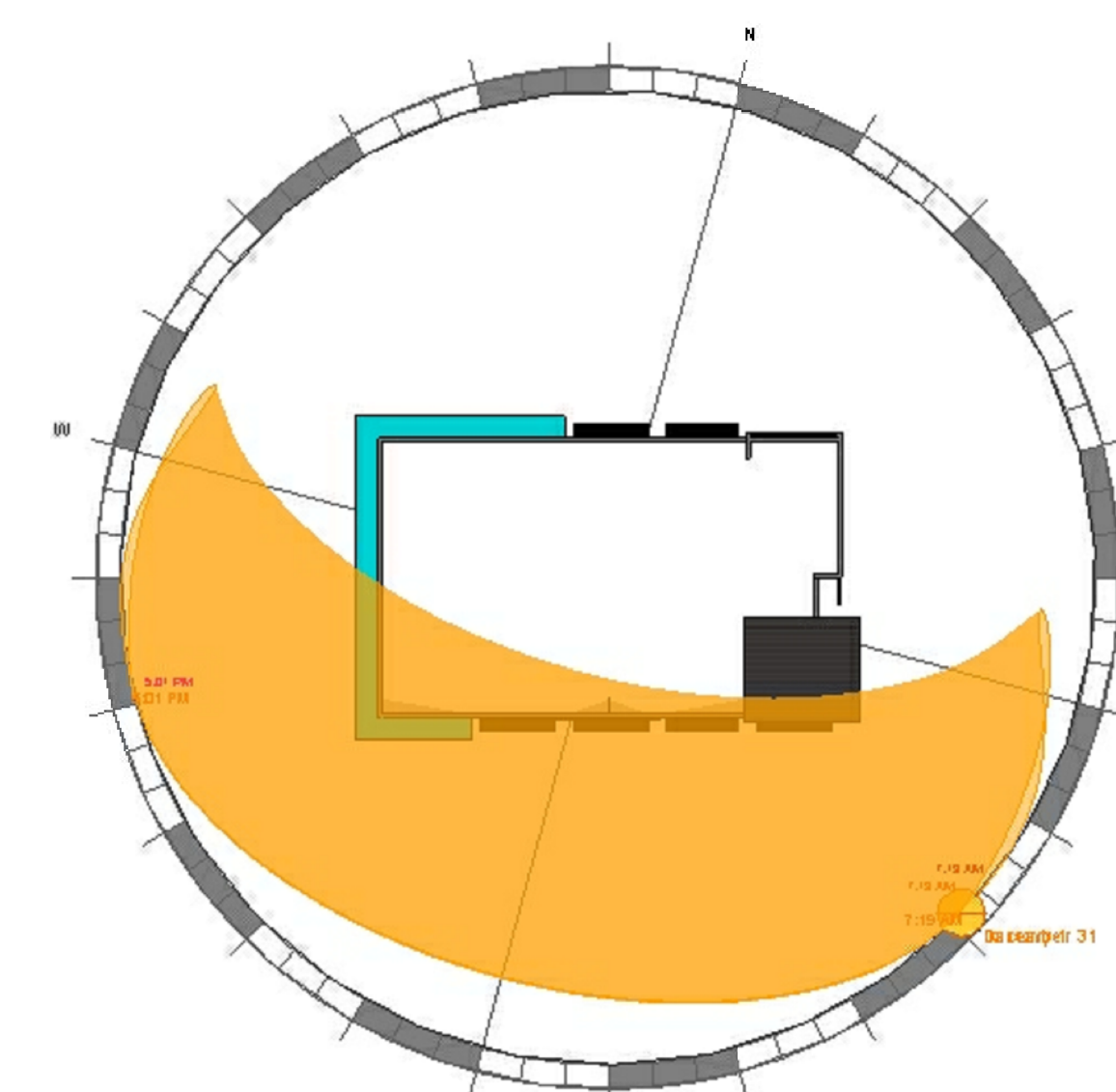
**D4** EAST ELEVATION NO SOLAR EFFECT  
1/8" = 1'-0"



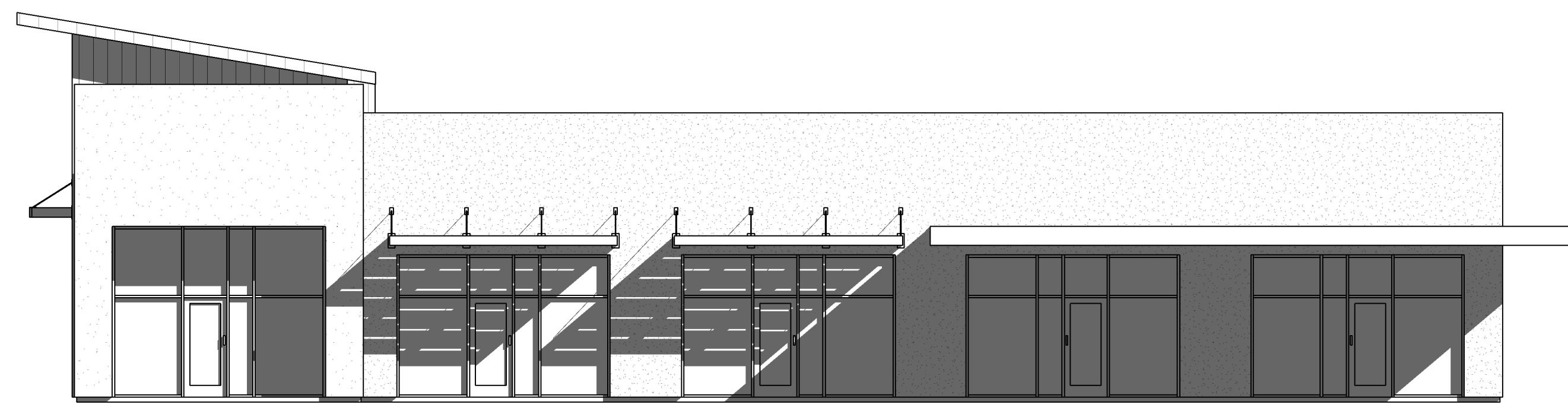
**C1** SOUTH ELEVATION % SHADED = 95%  
ACHIEVES > 90%  
1/8" = 1'-0"



**C4** WEST ELEVATION % SHADED = 100%  
ACHIEVES > 90%  
1/8" = 1'-0"



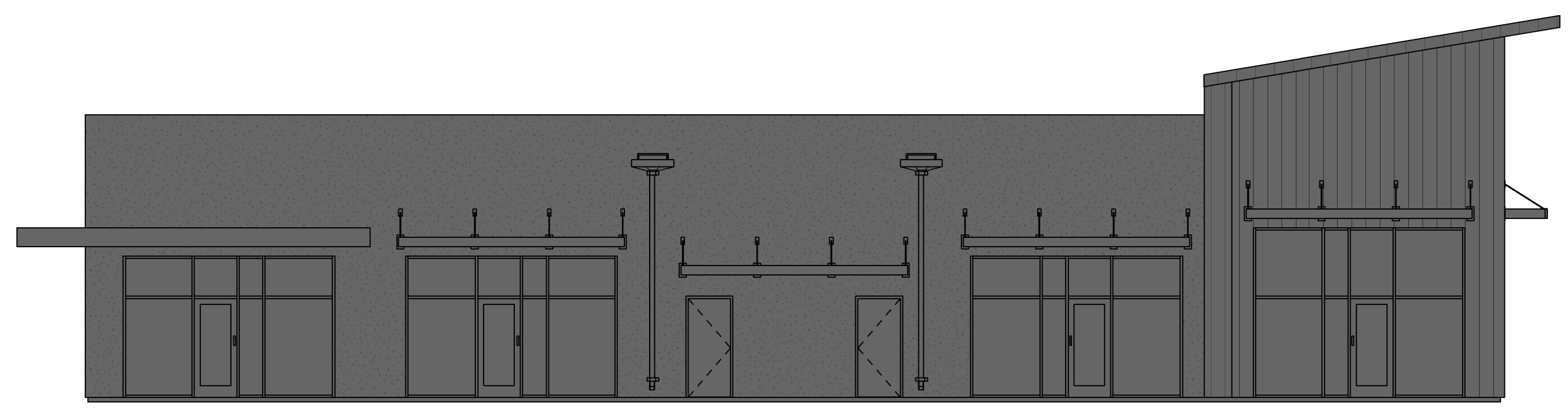
SUMMER - MAY 21 @ 12:00 PM



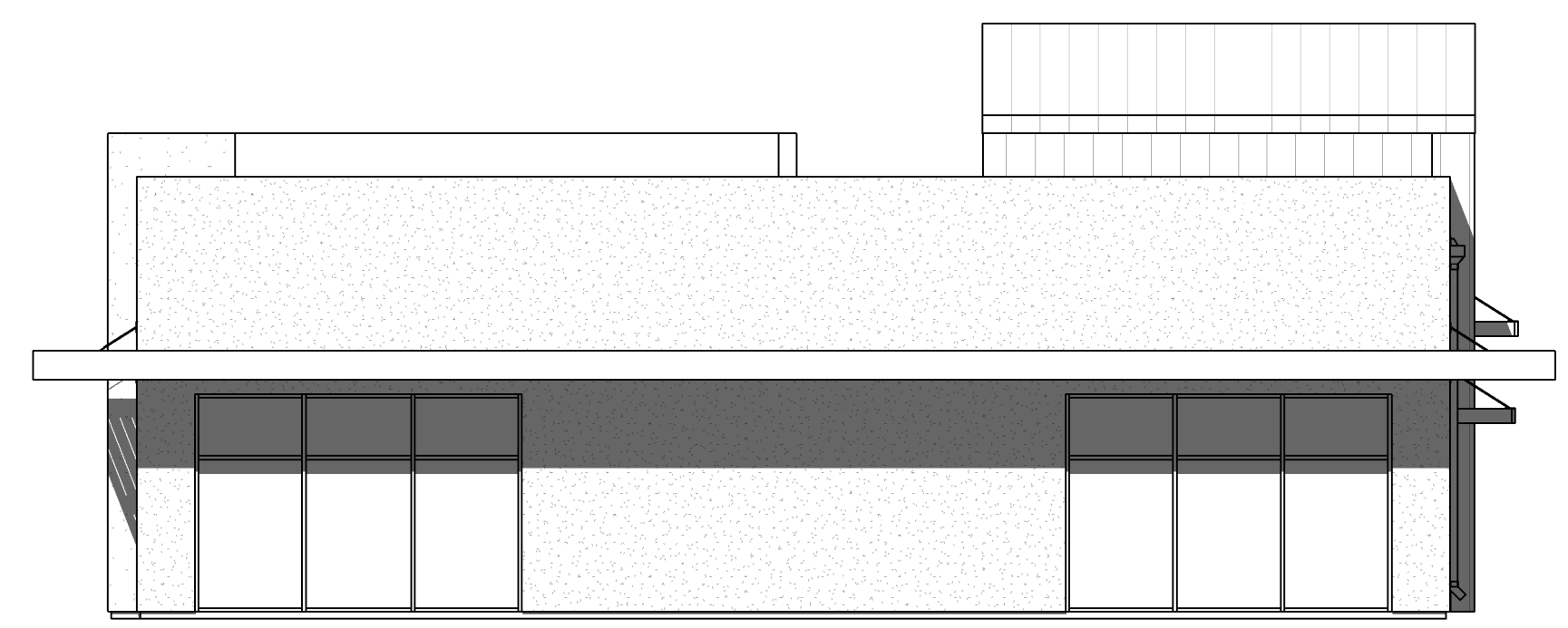
**D1** NORTH ELEVATION  
1/8" = 1'-0"  
% SHADED = 80%  
ACHIEVES > 50%



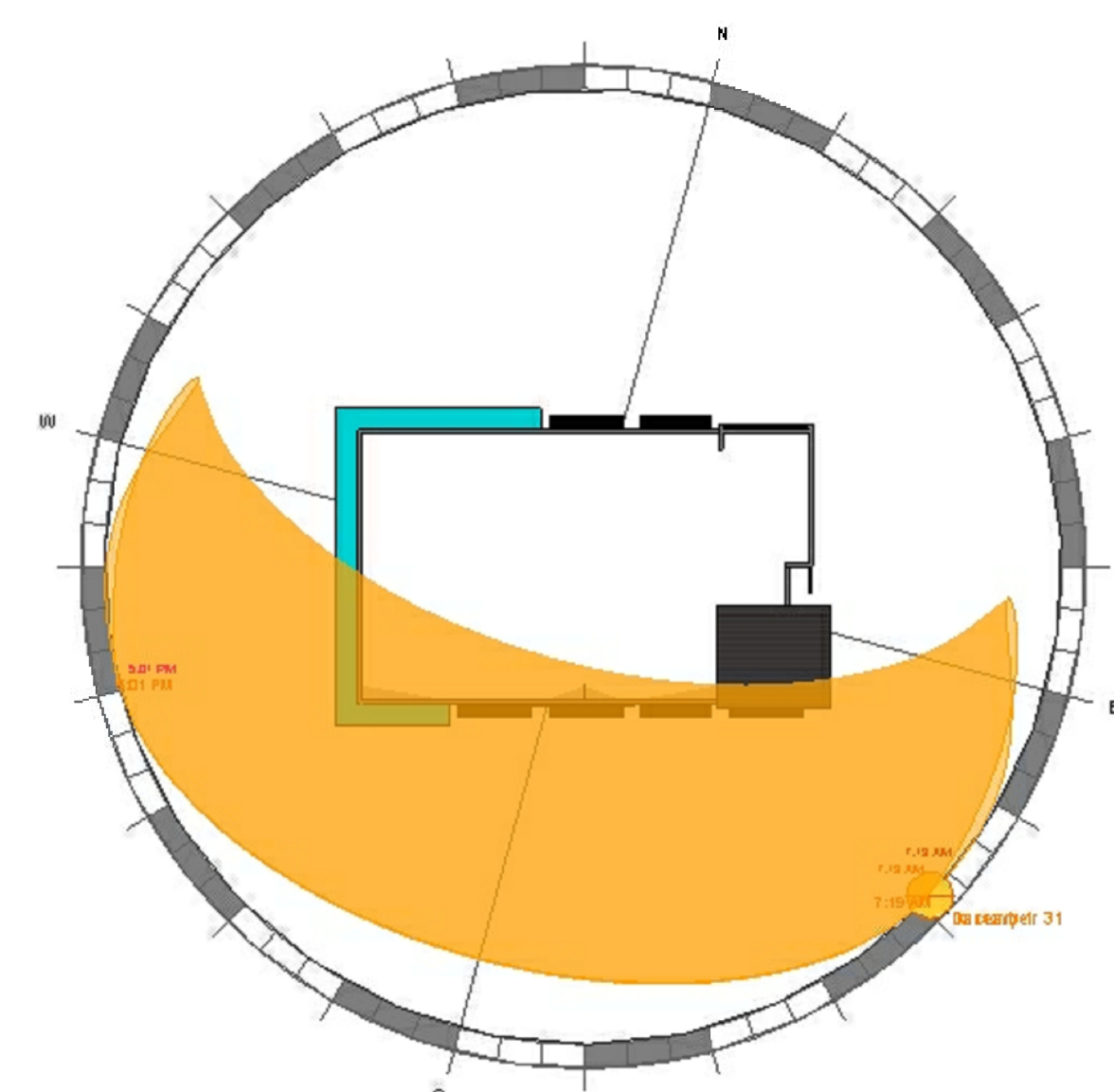
**D4** EAST ELEVATION  
1/8" = 1'-0"  
NO SOLAR EFFECT



**C1** SOUTH ELEVATION  
1/8" = 1'-0"  
NO SOLAR EFFECT

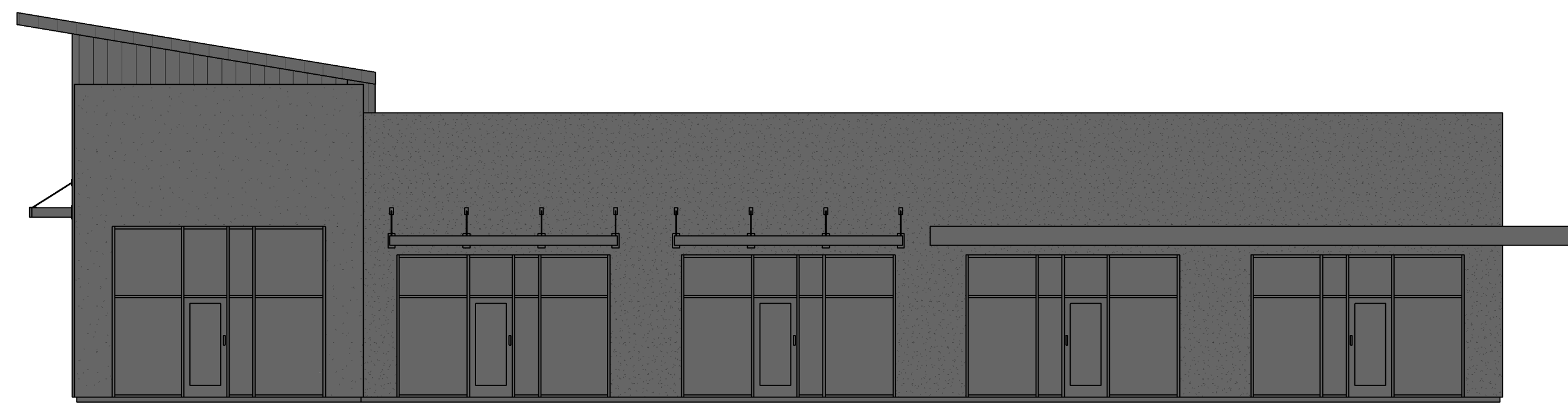


**C4** WEST ELEVATION  
1/8" = 1'-0"  
% SHADED = 30%  
DOES NOT ACHIEVE > 50%

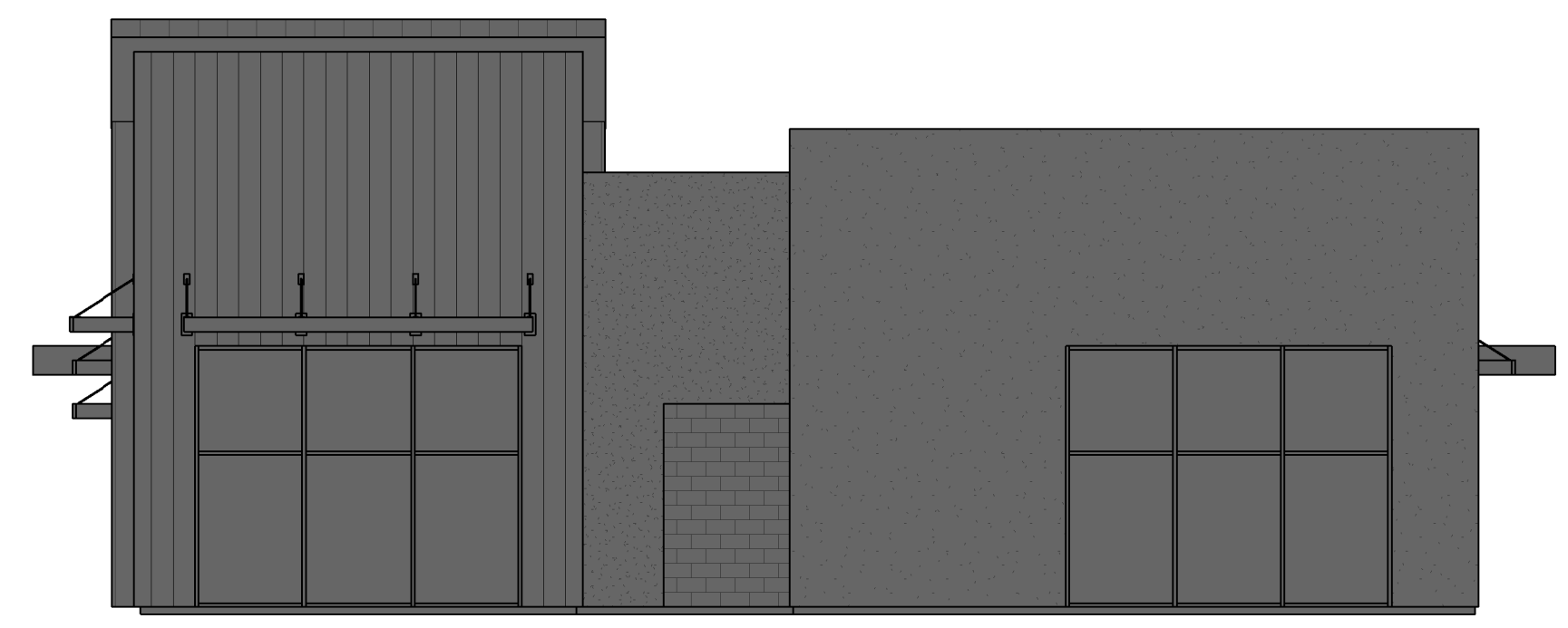


SUMMER - MAY 21 @ 4:00 PM

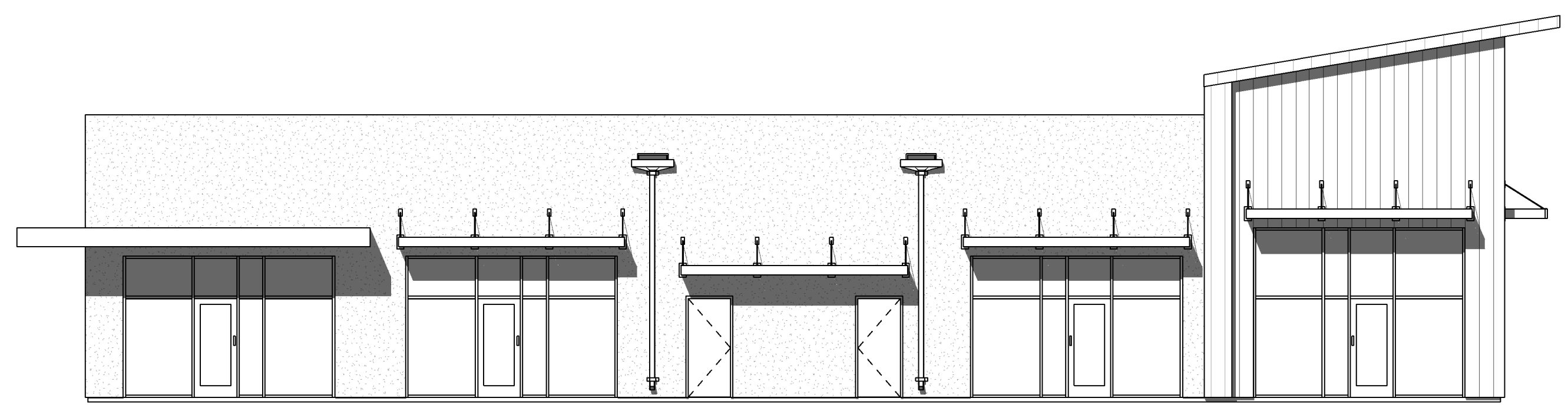




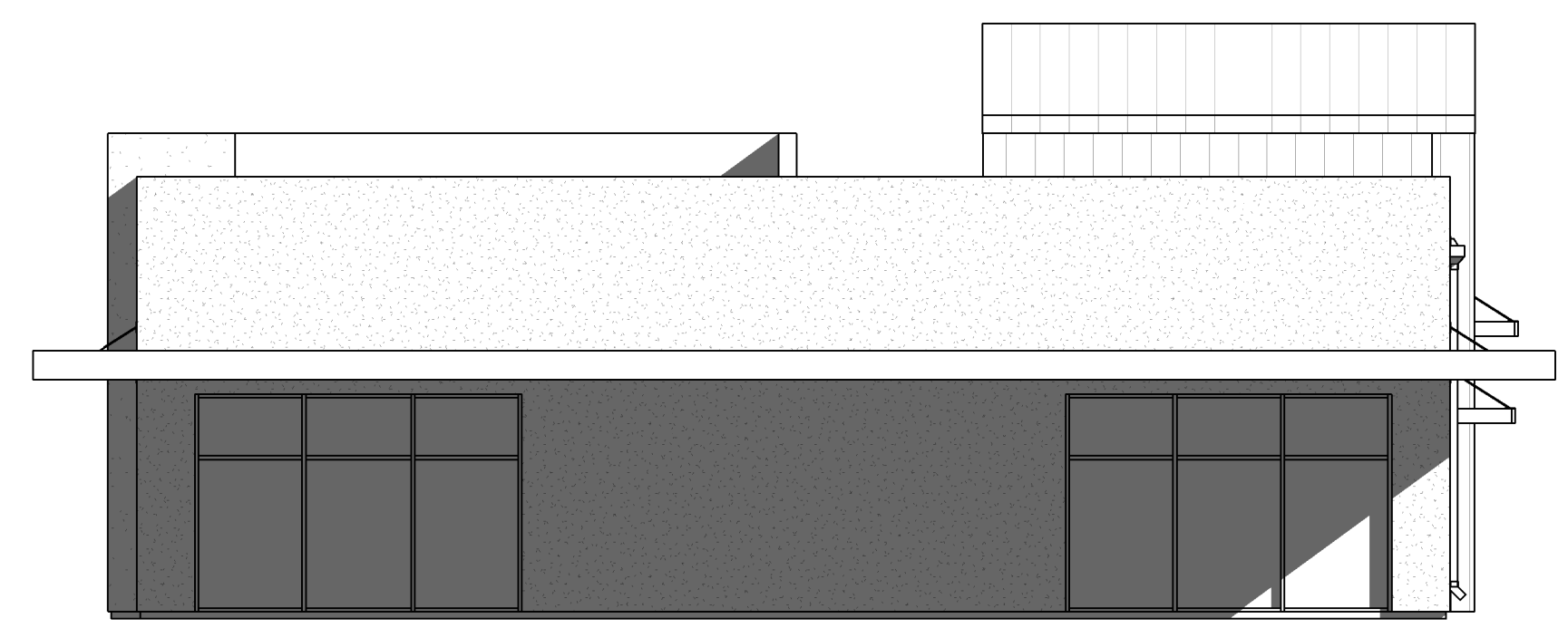
**D1** NORTH ELEVATION  
1/8" = 1'-0" NO SOLAR EFFECT



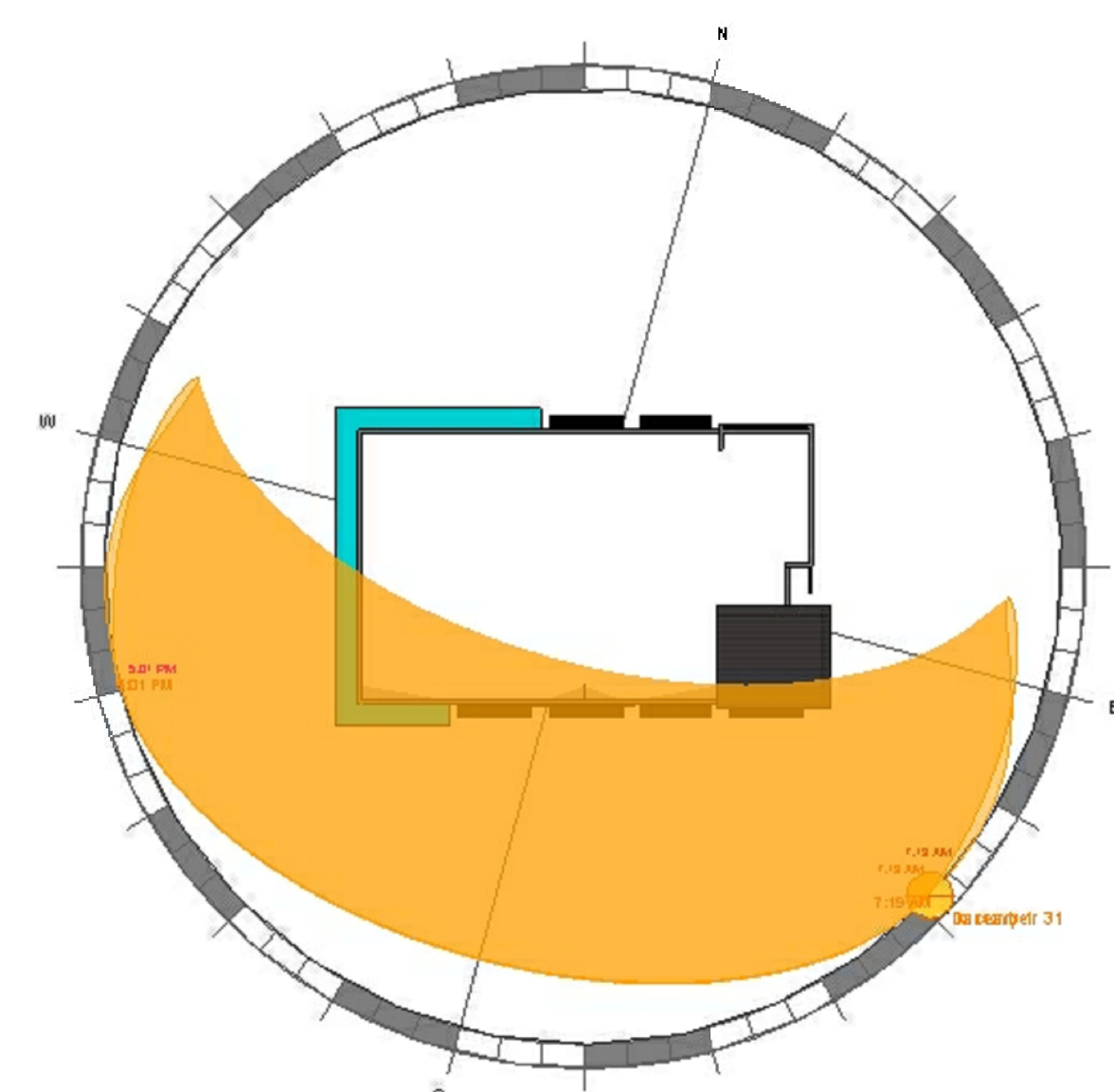
**D4** EAST ELEVATION NO SOLAR EFFECT  
1/8" = 1'-0"



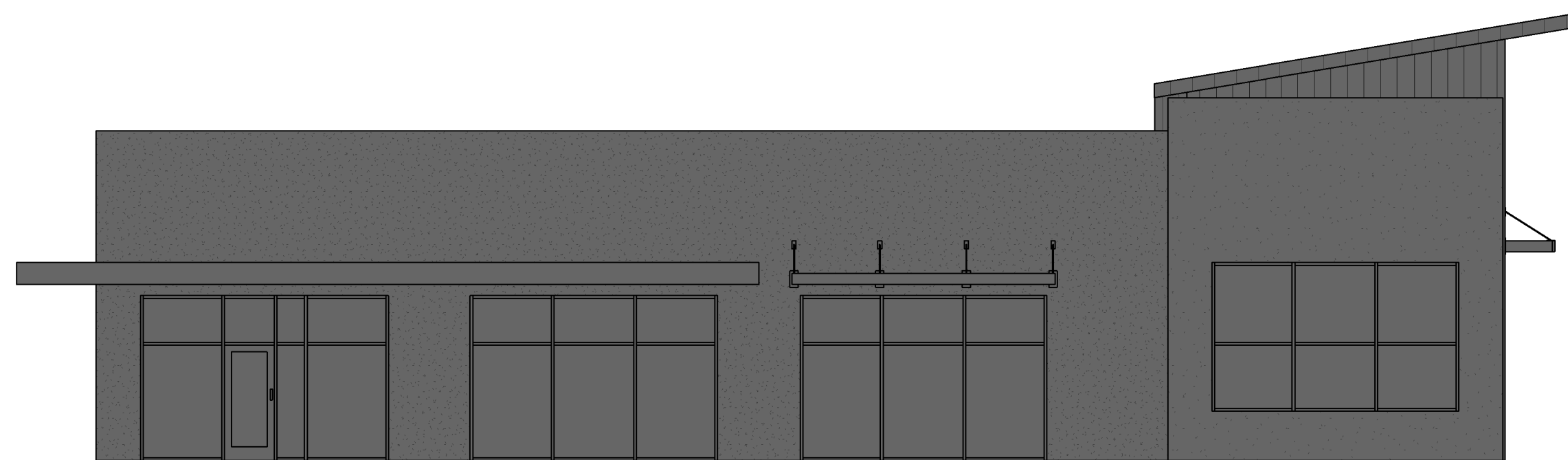
**C1** SOUTH ELEVATION  
1/8" = 1'-0" % EXPOSED = 90%  
ACHIEVES > 75%



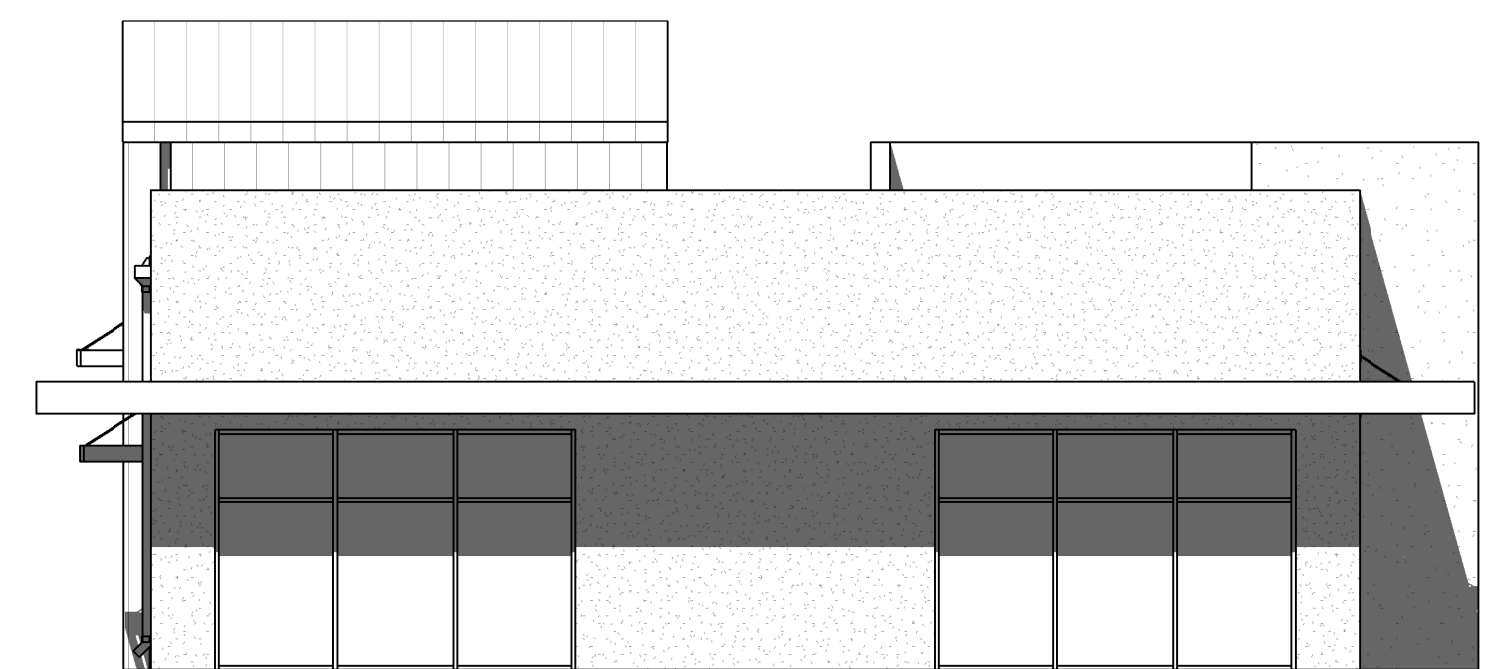
**C4** WEST ELEVATION % EXPOSED = 10%  
DOES NOT ACHIEVE > 75%  
1/8" = 1'-0"



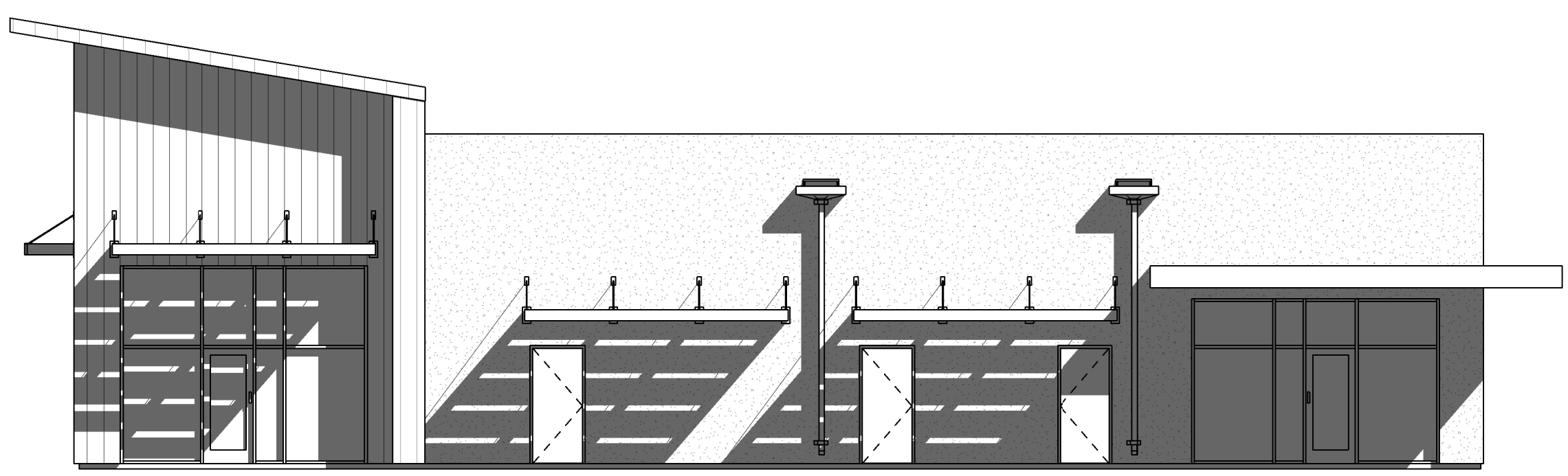
WINTER - NOVEMBER 21 @ 12:00 PM



**D1** NORTH ELEVATION  
1/8" = 1'-0"  
NO SOLAR EFFECT



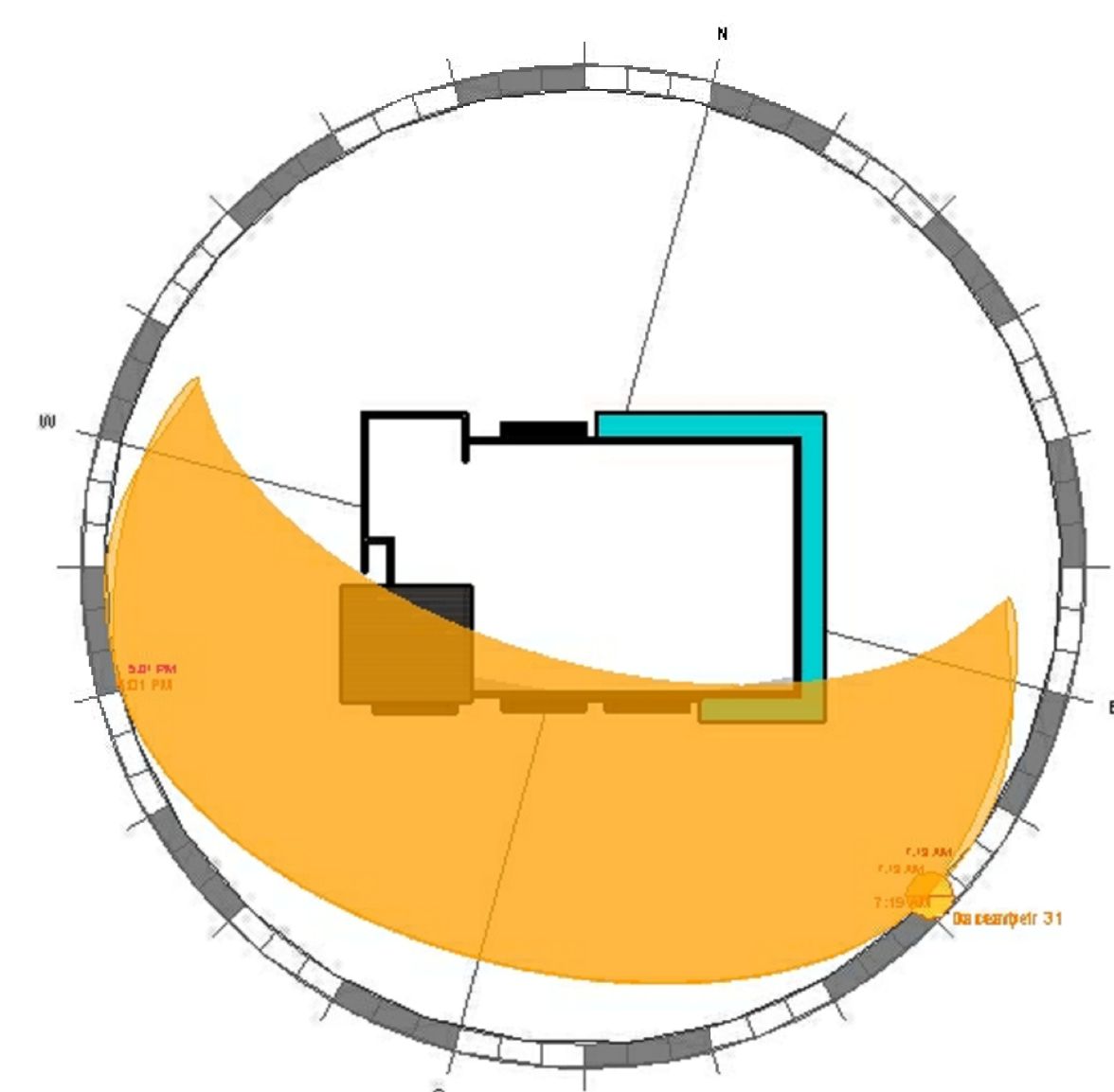
**D4** EAST ELEVATION  
1/8" = 1'-0"  
% SHADED = 50%  
ACHIEVES > 50%



**C1** SOUTH ELEVATION  
1/8" = 1'-0"  
% SHADED = 95%  
ACHIEVES > 50%

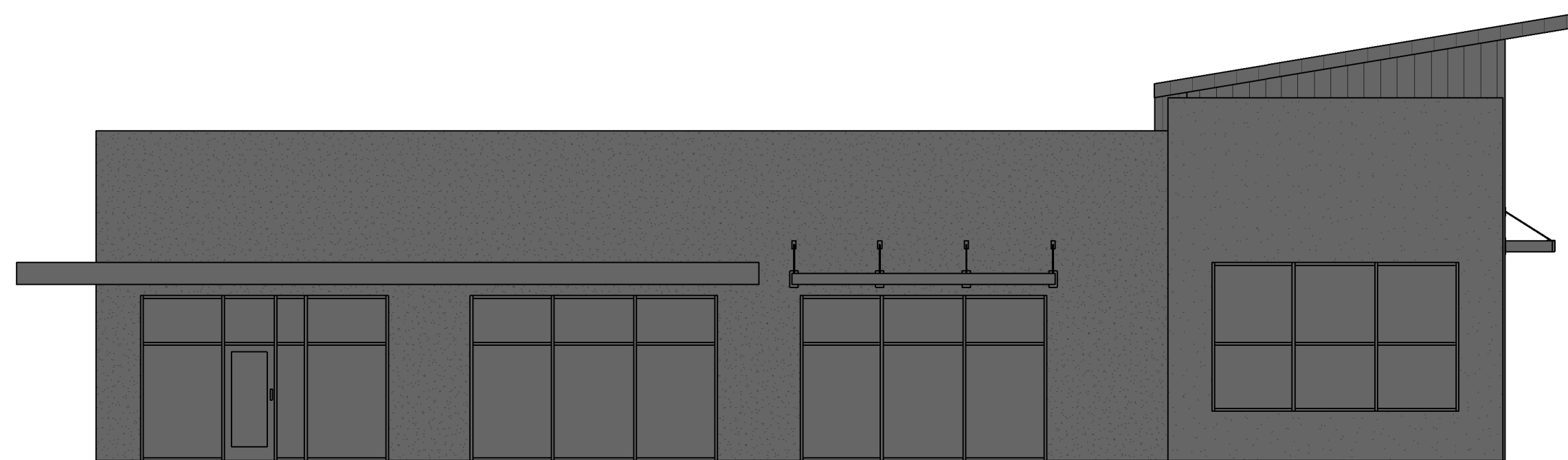


**C4** WEST ELEVATION  
1/8" = 1'-0"  
NO SOLAR EFFECT



SUMMER - MAY 21 @ 9:00 AM

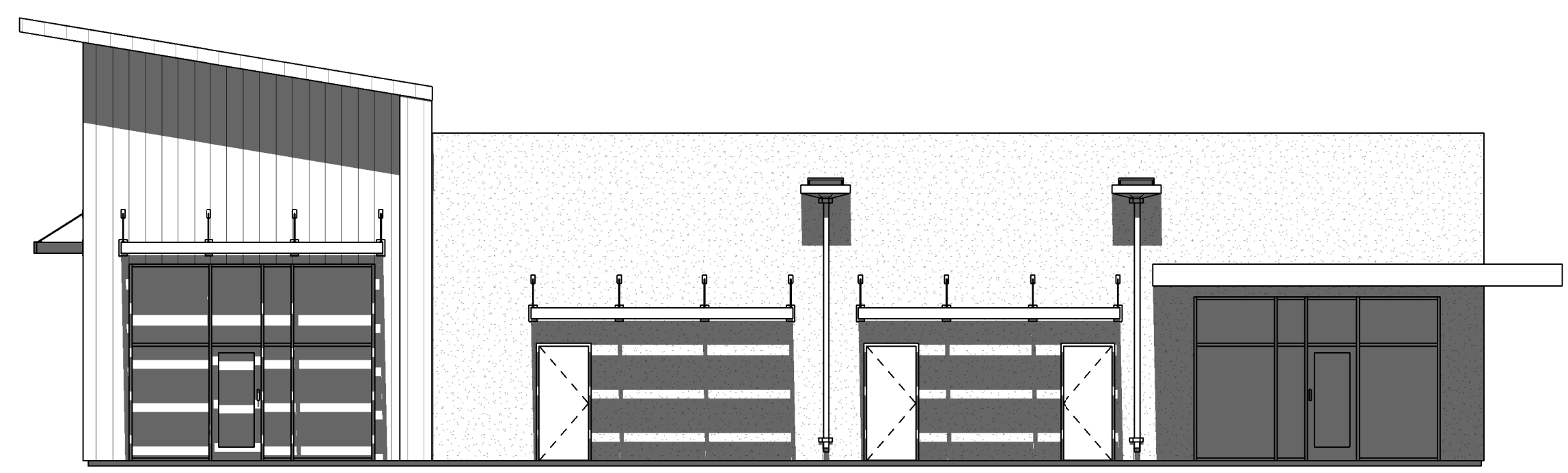




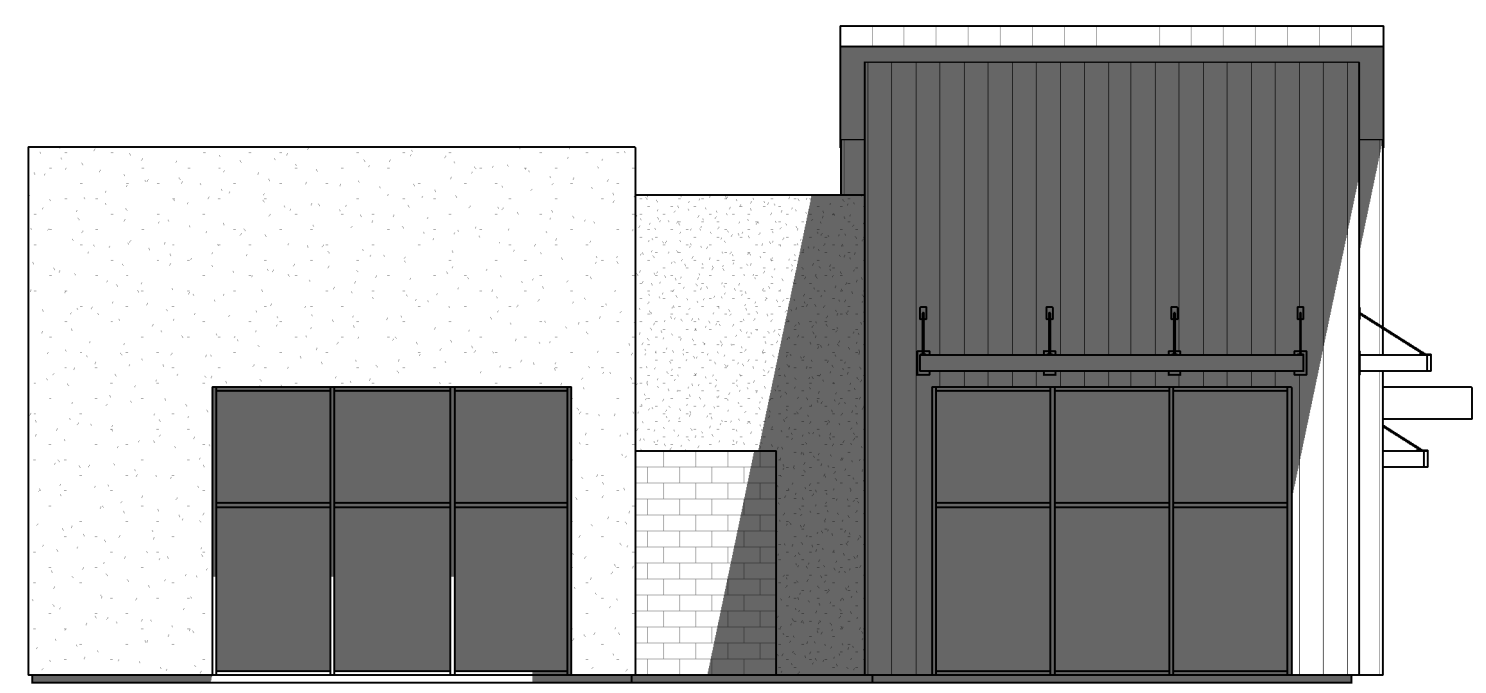
**D1** NORTH ELEVATION  
1/8" = 1'-0" NO SOLAR EFFECT



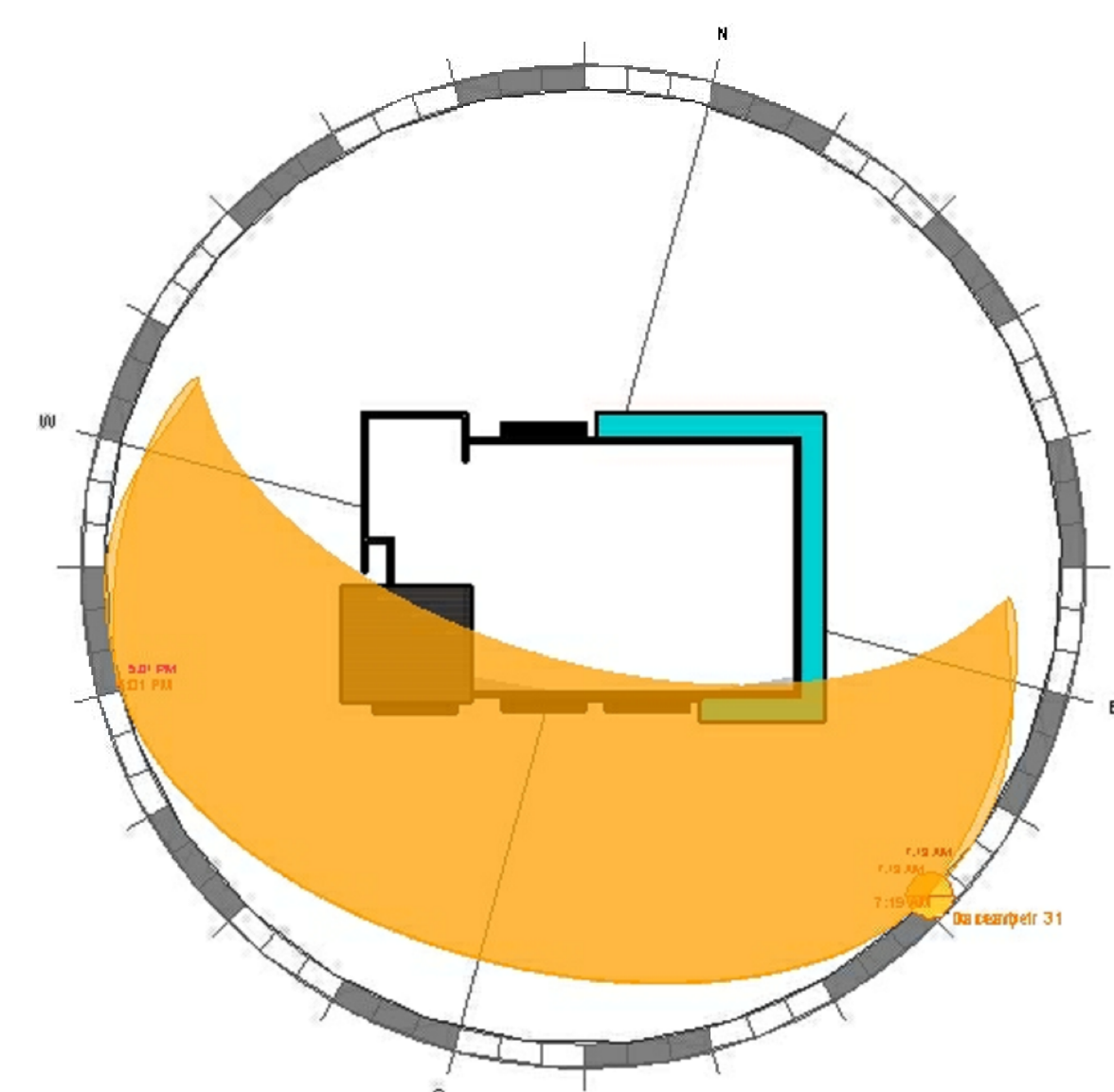
**D4** EAST ELEVATION NO SOLAR EFFECT  
1/8" = 1'-0"



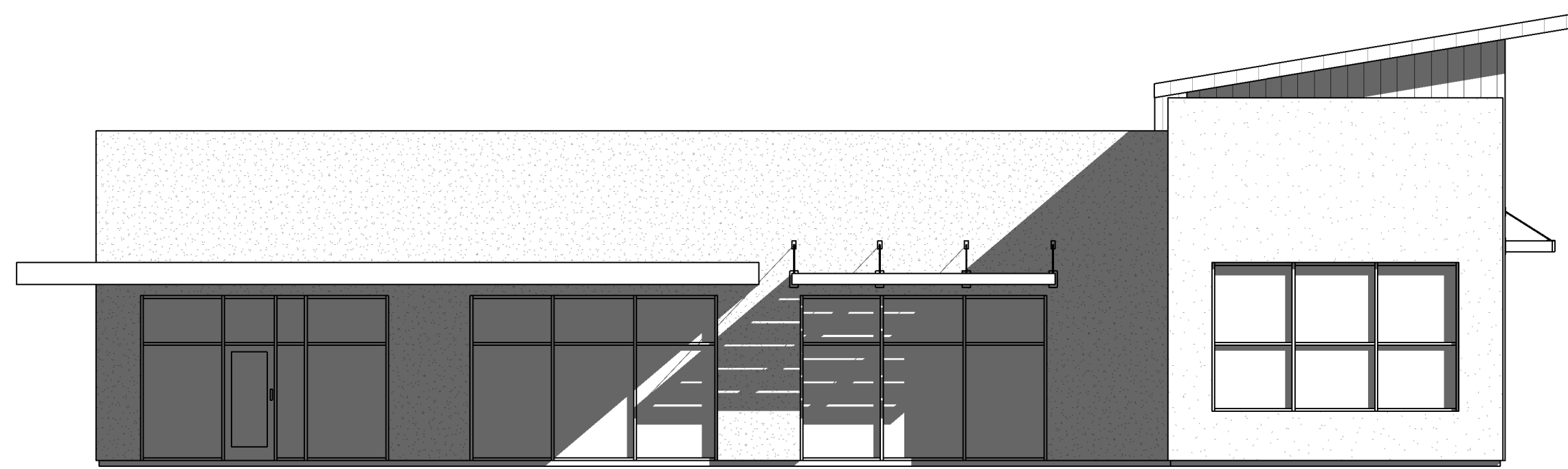
**C1** SOUTH ELEVATION  
1/8" = 1'-0" % SHADED = 95%  
ACHIEVES > 90%



**C4** WEST ELEVATION % SHADED = 90%  
ACHIEVES > 90%  
1/8" = 1'-0"



SUMMER - MAY 21 @ 12:00 PM



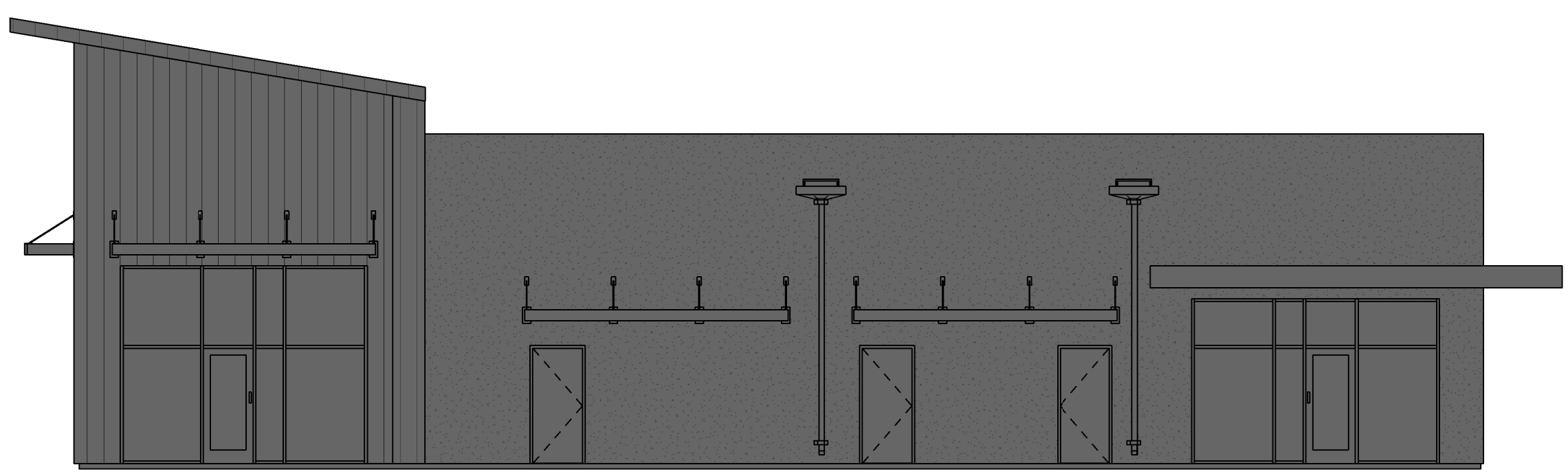
D1 NORTH ELEVATION  
1/8" = 1'-0"

% SHADED = 75  
ACHIEVES > 50%



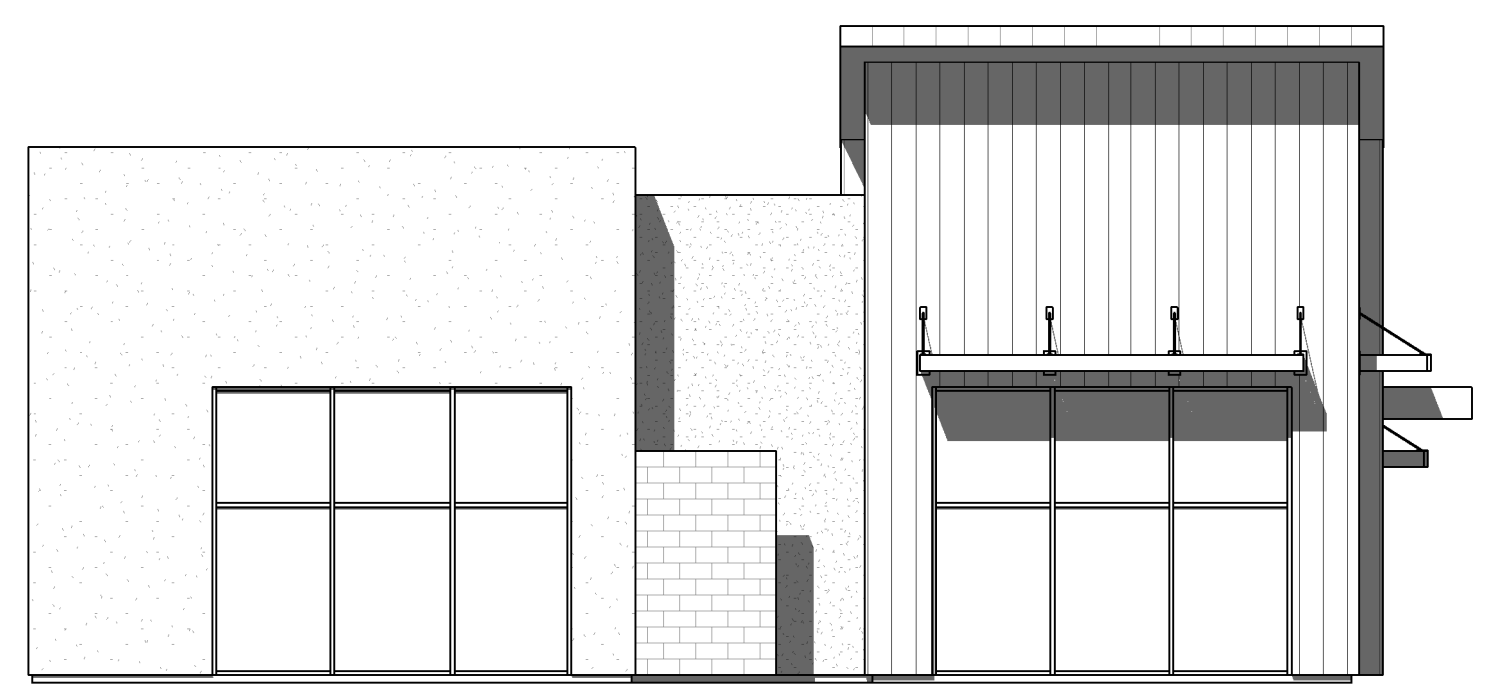
D4 EAST ELEVATION  
1/8" = 1'-0"

NO SOLAR EFFECT



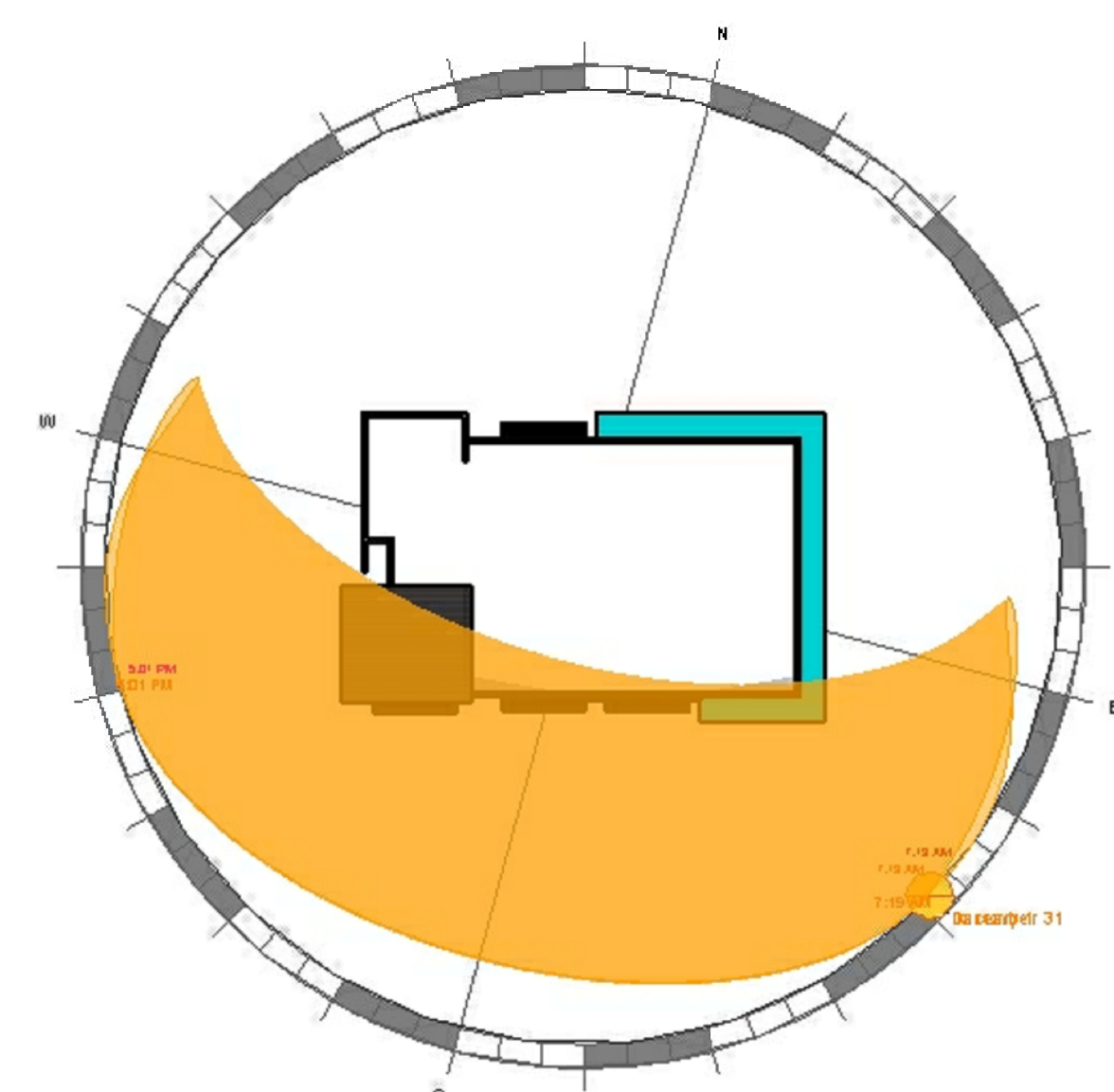
C1 SOUTH ELEVATION  
1/8" = 1'-0"

NO SOLAR EFFECT



C4 WEST ELEVATION  
1/8" = 1'-0"

% SHADED = 5%  
DOES NOT ACHIEVE > 50%

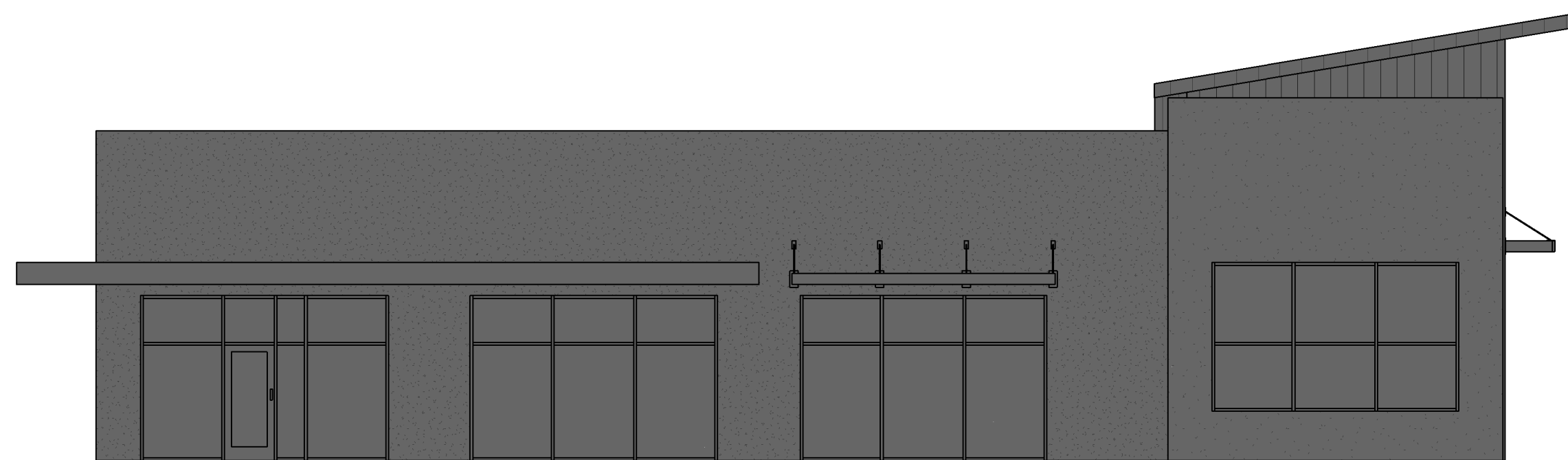


SUMMER - MAY 21 @ 4:00 PM

Nuevo Atrisco Retail Building #2

Unser Blvd + Central Ave NW  
Albuquerque, NM 87121

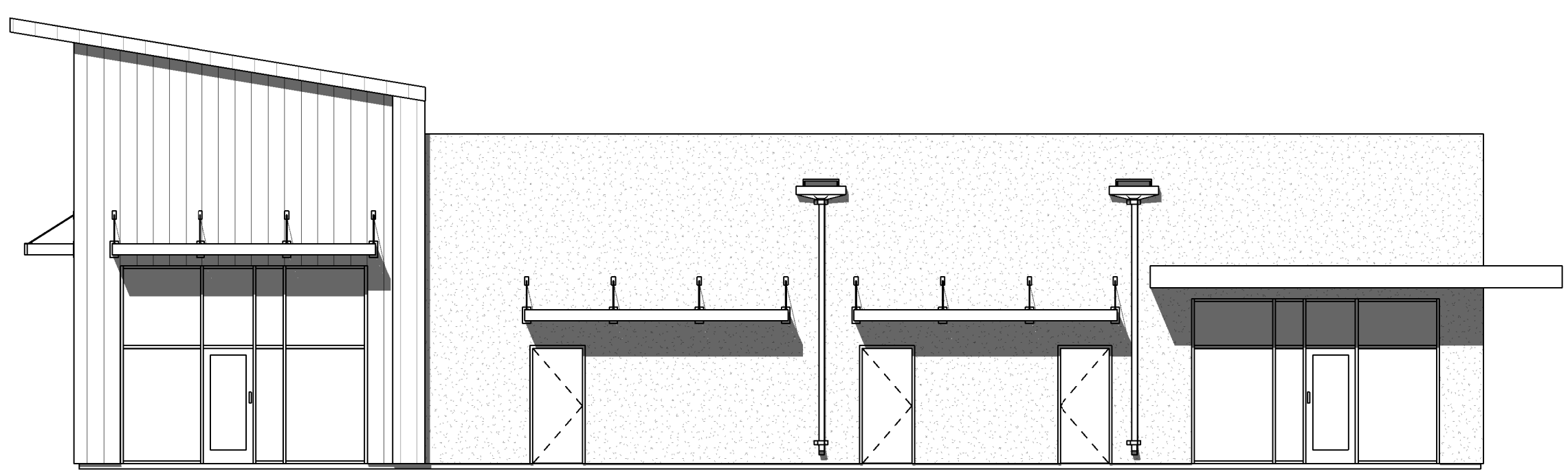




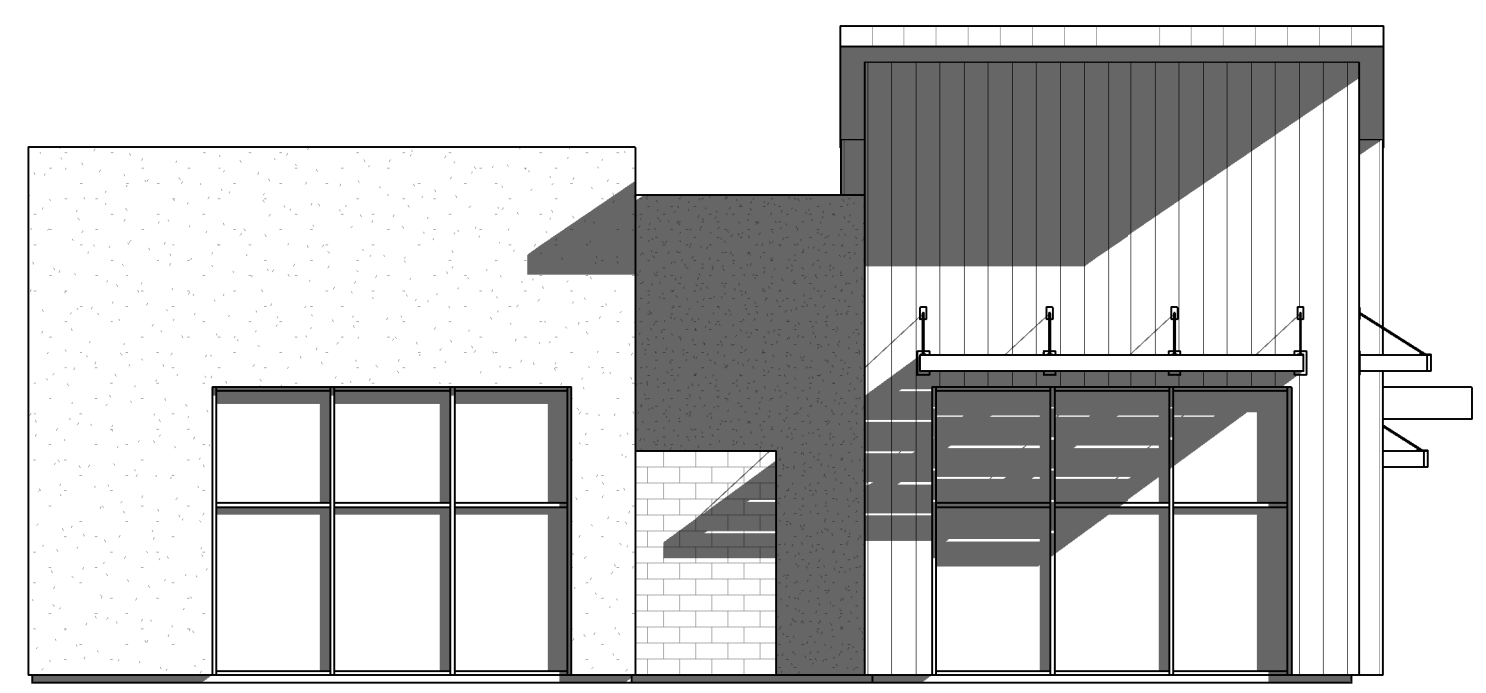
**D1** NORTH ELEVATION NO SOLAR EFFECT  
1/8" = 1'-0"



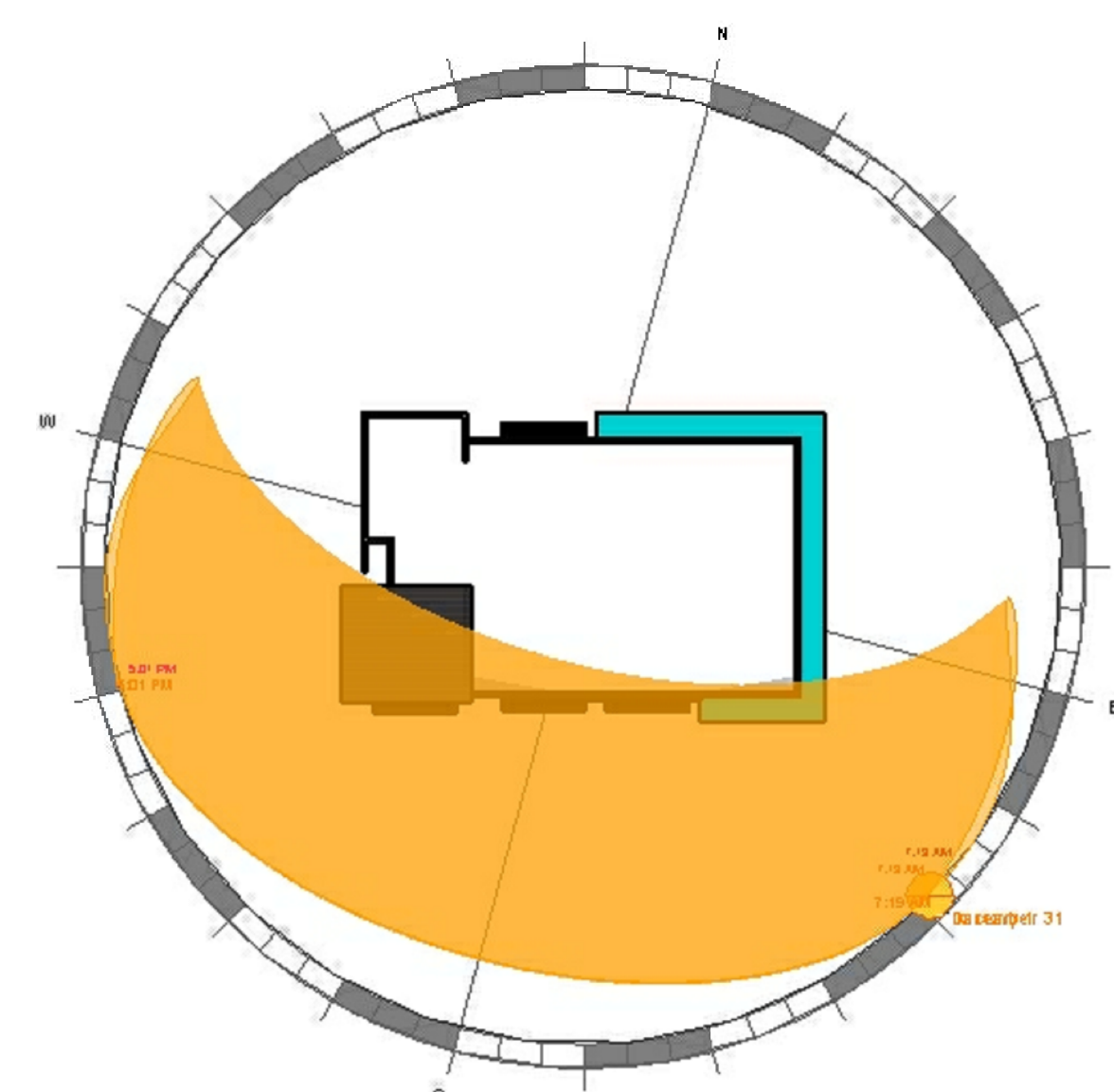
**D4** EAST ELEVATION NO SOLAR EFFECT  
1/8" = 1'-0"



**C1** SOUTH ELEVATION % EXPOSED = 90%  
ACHIEVES > 75%  
1/8" = 1'-0"



**C4** WEST ELEVATION % EXPOSED = 75%  
ACHIEVES > 75%  
1/8" = 1'-0"



WINTER - NOVEMBER 21 @ 12:00 PM