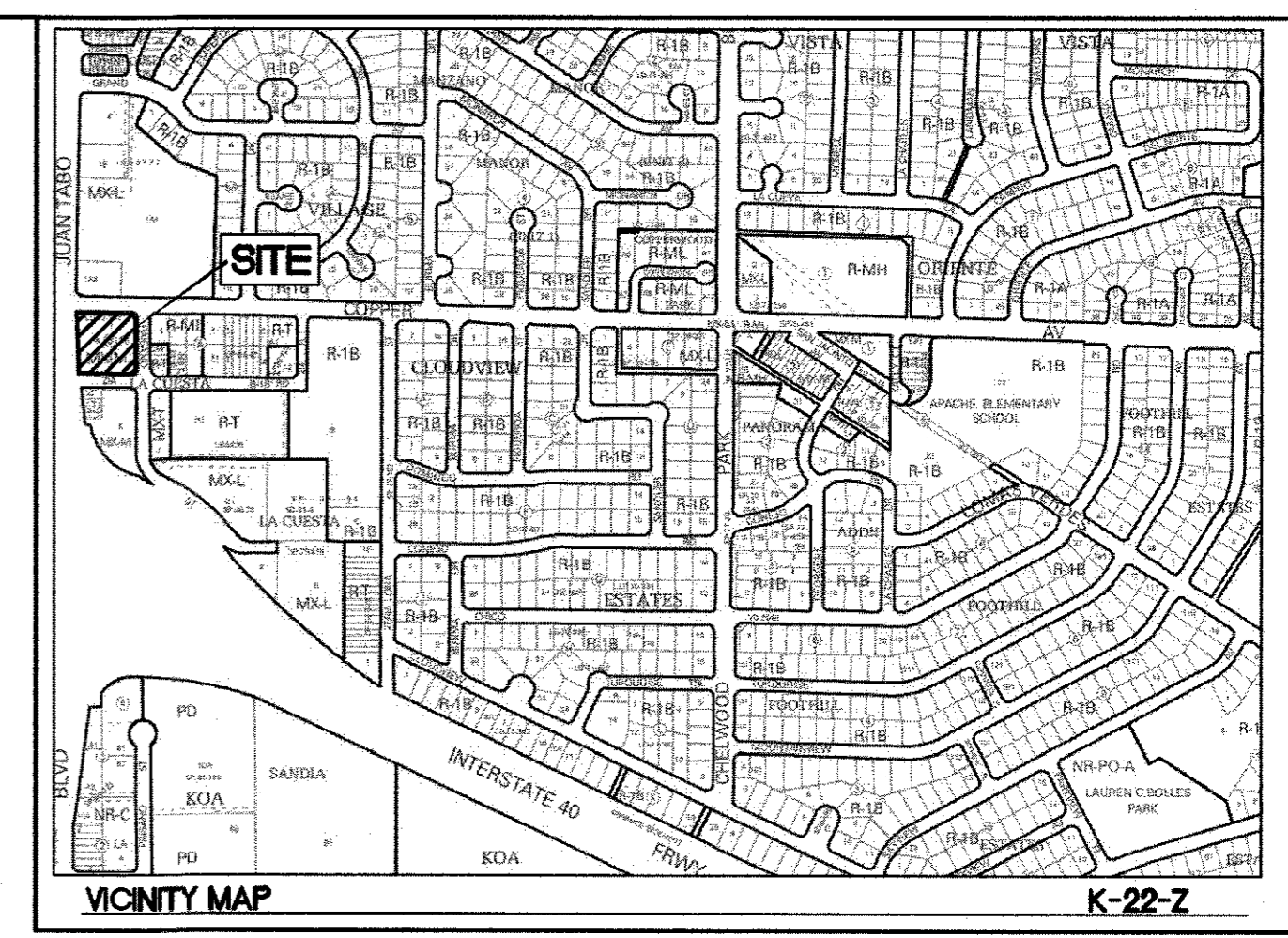


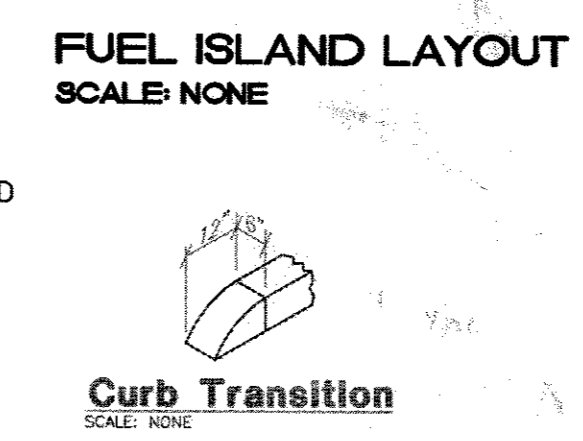
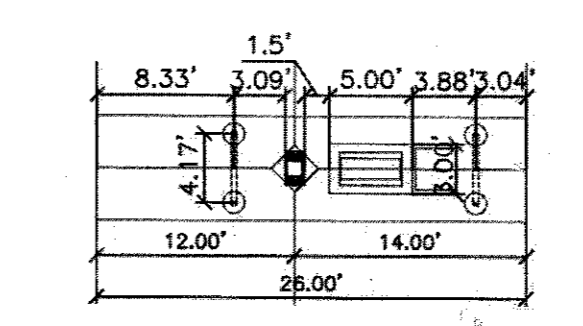
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK/CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- RETAINING WALL
- STREET LIGHTS
- EXISTING CURB & GUTTER



- KEYED NOTES**
- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C6)
 - 2 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C6)
 - 3 ON-SITE CURB & GUTTER (SEE DETAIL SHT. C6)
 - 4 OIL WATER SEPARATOR (SEE DTAIL SHT. C8)
 - 5 CONCRETE SIDEWALK (SEE DETAIL SHT. C7)
 - 6 BOLLARDS (SEE DETAIL SHT. C7)
 - 7 2' CONCRETE RUNDOWN
 - 8 DUMPSTER (SEE DETAIL SHT. C8)
 - 9 GAS PUMP ISLAND (TYP)
 - 10 MAVERIK MONUMENT SIGN (SEE ARCH. PLANS)
 - 11 2.0' STOP BAR
 - 12 BICYCLE RACKS (SEE DETAIL SHT. C7)
 - 13 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C8)
 - 14 CONCRETE SLAB W/CHAMFERED CORNERS
 - 15 RETAINING WALL WITH HAND RAIL AND PEDESTRIAN GUARD (SEE GRADING SHT C2, MAX HEIGHT 4.0', DETAIL SHT. 7)
 - 16 HEADER CURB (SEE DETAIL SHT. C6)
 - 17 ADA PICNIC TABLE (SEE ARCH. PLANS)
 - 18 PICNIC TABLE (SEE ARCH. PLANS)
 - 19 CONCRETE PARKING STALL (SEE DETAIL SHT. C6)
 - 20 PETROLEUM TRENCH CAP SECTION (SEE DETAIL SHT. C6)
 - 21 XACTAIR AIR STATION (SEE DETAIL SHT. C6)
 - 22 TRUNCATED DOMES (SEE DETAIL SHT. C8)
 - 23 "HOOP" BOLLARD (SEE DETAIL SHT. C7)
 - 24 ASPHALT PAVING (SEE GEOTECH REPORT)
 - 25 MAVERIK D/F ILLUMINATED PYLON SIGN (SEE ARCH. PLANS)
 - 26 UNDERGROUND STORAGE FUEL TANKS (REFER MECH. PLANS)
 - 27 SIDEWALK CULVERT COA STD DWG 2236
 - 28 PNM EASEMENTS TO BE VACATED BY DOCUMENT AND/OR PLATTING ACTION
 - 29 EXISTING 6' PUBLIC SIDEWALK
 - 30 ALL UNDER CANOPY LIGHTING TO BE RECESSED PER IDO 4-3(D)(17)(h)
 - 31 TANK PIT WALL TO BE LINED WITH GEOTEXTILE FILTER FABRIC PER XERXES TANK SPEC.
 - 32 3'-0 by 6'-0, 28" HIGH LANDSCAPE PLANTER BOXES
 - 32 12" CONC. LANDSCAPE WALL

CLEAR SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



- NOTES:**
1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
 2. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. ALL UNUSED CURBS CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER, PER COA STD DWG 2415A AND 2430.
 3. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
 4. XACTAIR STATION ON 30"x36" CONCRETE PAD. EQUIPMENT PROVIDED BY OWNER, G.C. TO PROVIDE ELECTRICAL SERVICE AND INSTALL AIR STATION EQUIPMENT.
 5. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
 6. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING PLAN
 - C3. DEVELOPED DRAINAGE PLAN
 - C4. GRADING DETAILS
 - C5. MASTER UTILITY PLAN
 - C6. CONSTRUCTION DETAILS
 - C7. CONSTRUCTION DETAILS
 - C8. CONSTRUCTION DETAILS
 - C9. DEMOLITION PLAN
 - L1. LANDSCAPING PLAN
 - B1. BUILDING ELEVATION & SIGN PLANS
 - SW1. EROSION CONTROL PLAN
 - SW2. EROSION CONTROL DETAILS
 - SW3. EROSION CONTROL DETAILS

LEGAL DESCRIPTION
LOT A AND B, BLOCK 8, LA CUESTA SUBDIVISION

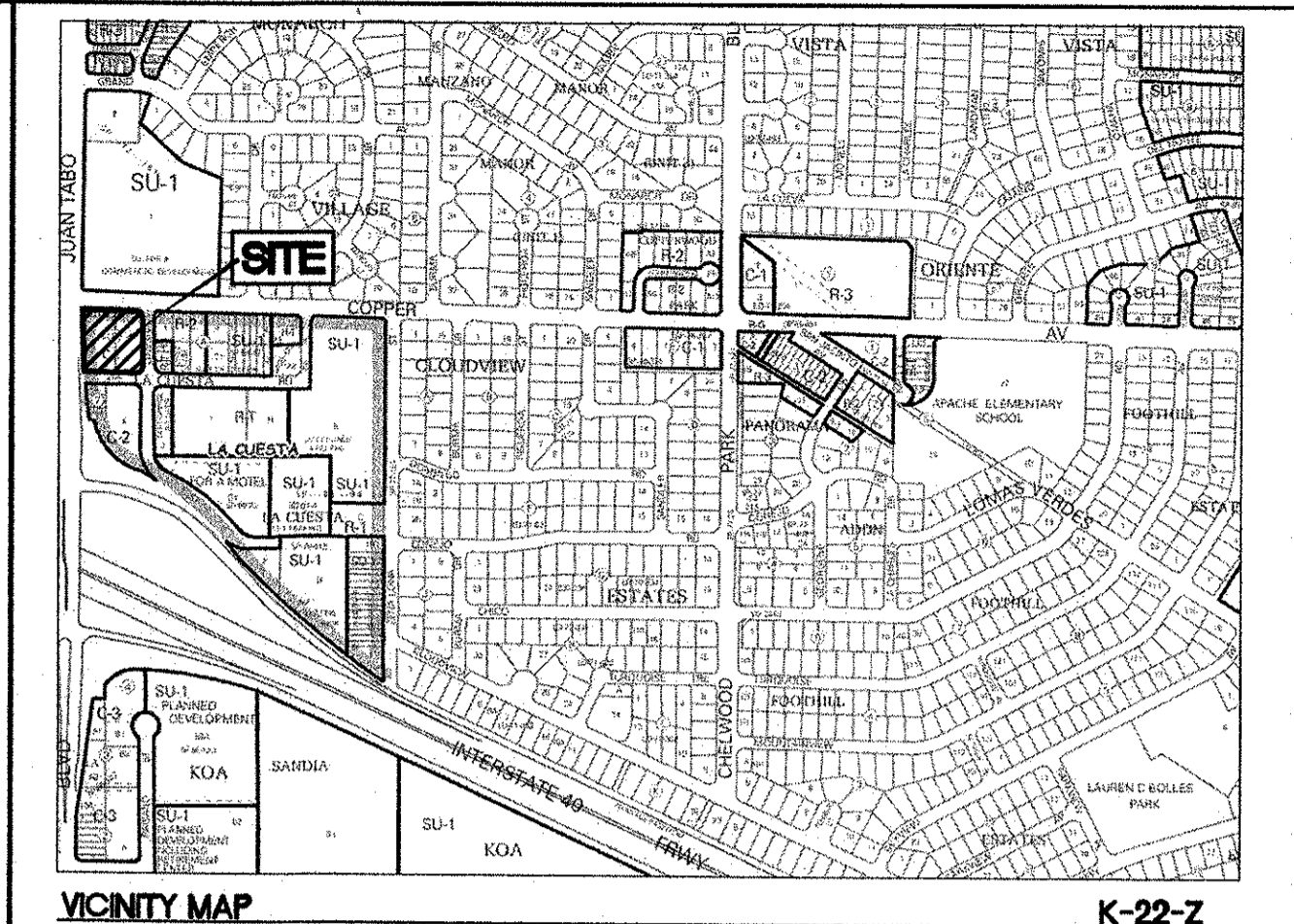
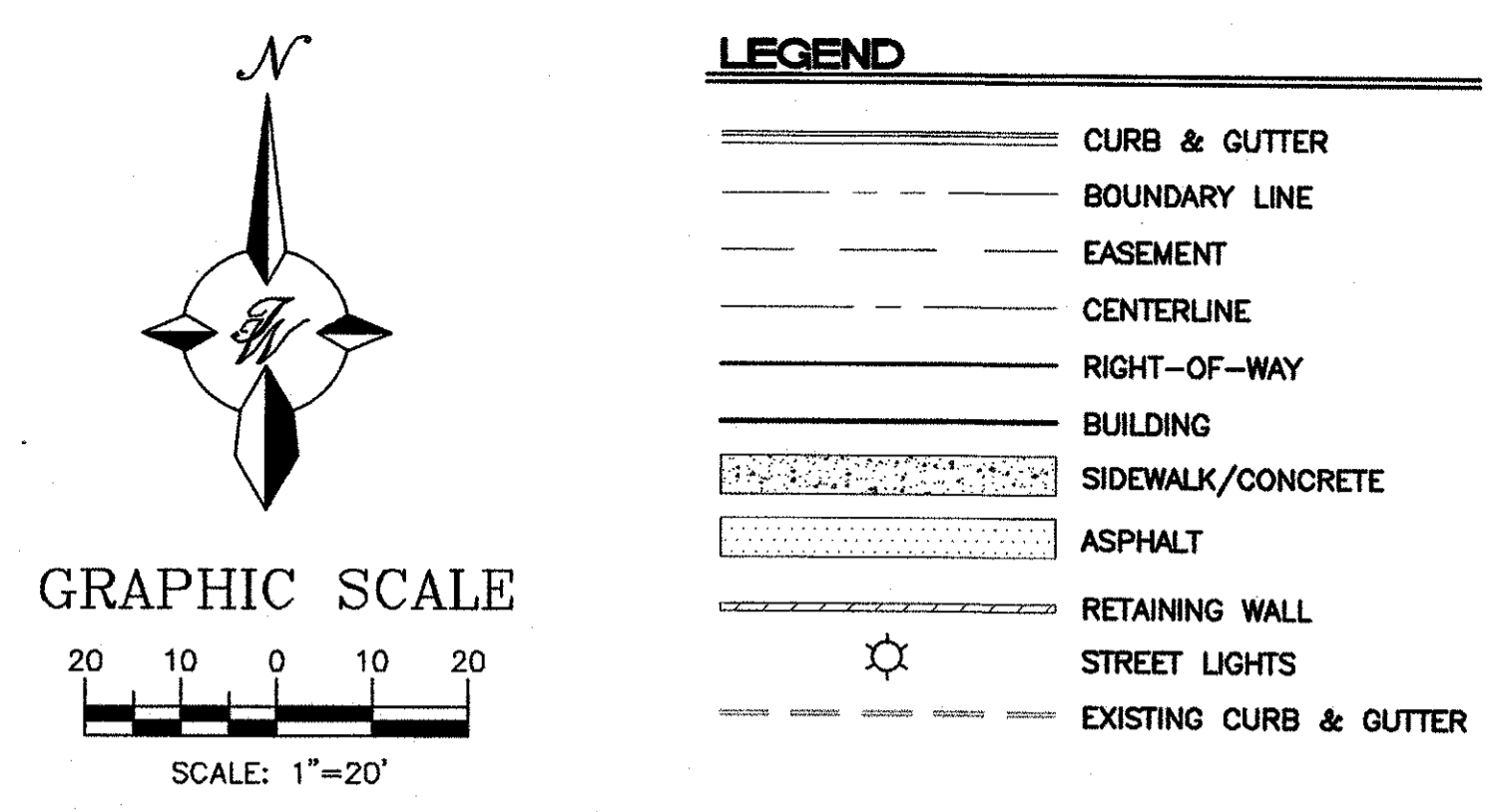
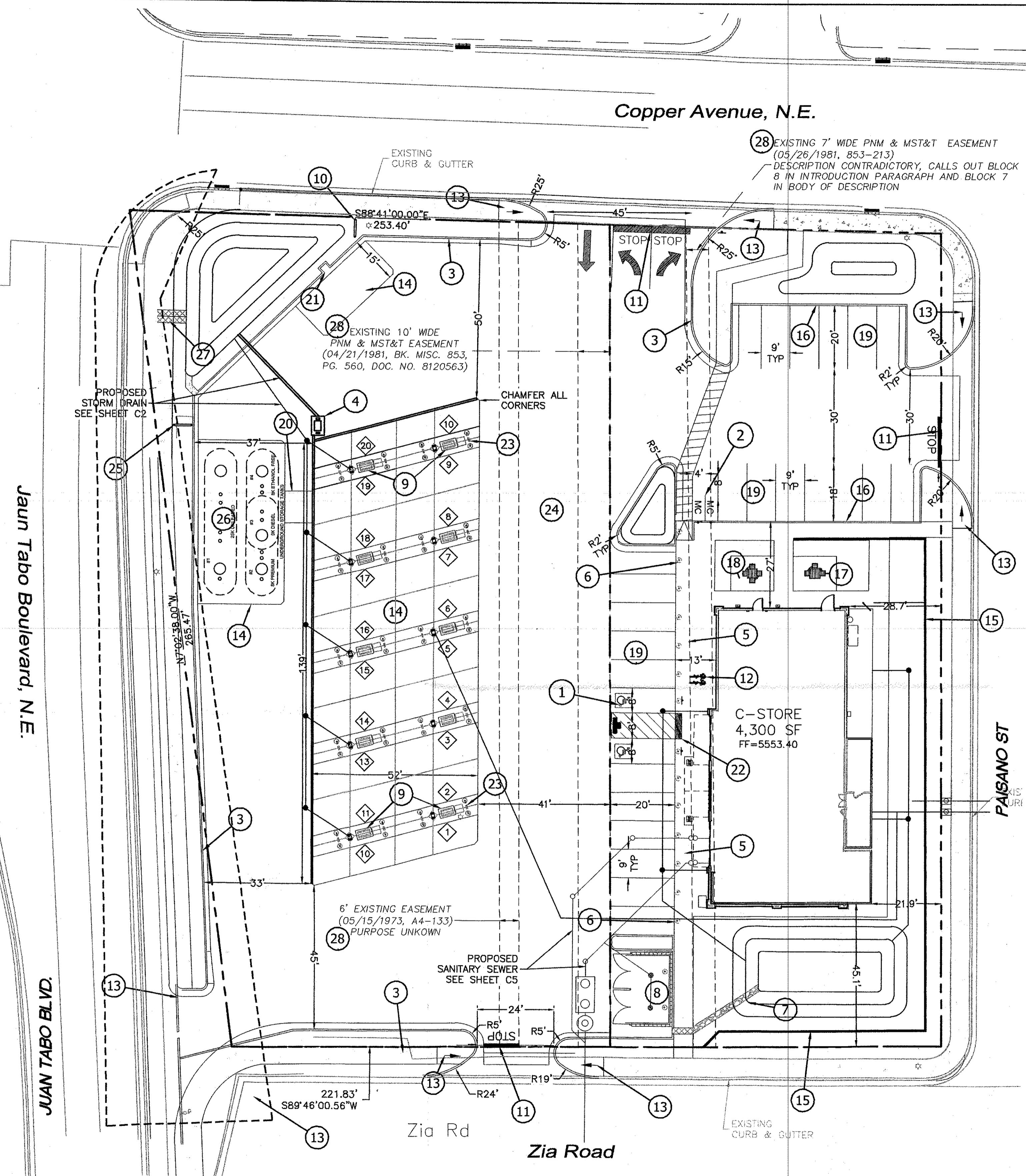
SITE DATA

PROPOSED USAGE:	GAS CONVENIENCE STORE
IDO CLASSIFICATION:	LIGHT VEHICLE FUELING STATION
LOT AREA:	61,753.72 SF (1.41 ACRES)
BUILDING AREA:	4,300 SF
STACK AREA:	2X5 (20 UNITS)
ASPHALT AREA:	
PARKING REQUIRED:	17 SPACES (4 SPACES PER 1,000 SF)
PARKING PROVIDED:	26 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES (1 SPACE VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES
LANDSCAPE AREA REQUIRED:	8,618 SF
LANDSCAPE AREA PROVIDED:	12,125 SF

PROJECT NUMBER:	PR-2018-001411
APPLICATION NUMBER:	SI-2019-00095
Is an Infrastructure List required? (✓) Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<i>Roguel M. M...</i> Traffic Engineer, Transportation Division	5/8/19 Date
<i>[Signature]</i> Water Utility Development	5/8/19 Date
Parks & Recreation Department	Date
<i>James D. Taylor</i> City Engineer	5/9/2019 Date
N/A	Date
* Environmental Health Department (conditional)	Date
N/A	Date
Spill Waste Management	Date
<i>[Signature]</i>	6/18/19 Date
DRB Chairperson, Planning Department	Date
<i>[Signature]</i>	5/8/19 Date
Code Enforcement	Date
* Environmental Health, if necessary	

	MAVERIK 650 JUAN TABO BLVD. NE SITE PLAN FOR BUILDING PERMIT	DRAWN BY pm DATE 05-03-2019 DRAWING 2018046-SP
		SHEET # C1
RONALD R. BOHANNAN P.E. #7868 5/3/2019	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2018046

Z:\2018\2018046 Maverik Juan Tabo & Copper\dwg\DRB\2018046-SP.dwg May 03, 2019 - 10:26am



- KEYED NOTES**
- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C6)
 - 2 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C6)
 - 3 ON-SITE CURB & GUTTER (SEE DETAIL SHT. C6)
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 - 15 RETAINING WALL (SEE GRADING SHT C2, MAX HEIGHT 4.0')
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 - 25 MAVERIK D/F ILLUMINATED PYLON SIGN (SEE ARCH. PLANS)
 - 26 UNDERGROUND STORAGE FUEL TANKS (REFER MECH. PLANS)
 - 27 SIDEWALK CULVERT CDA STD DWG 2236
 - 28 PNM EASEMENTS TO BE VACATED BY PLATTING ACTION

LEGAL DESCRIPTION
 LOT A AND B, BLOCK 8, LA CUESTA SUBDIVISION

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 STACK: 2X5 (20 UNITS)
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PARKING REQUIRED: 17 SPACES (4 SPACES PER 1,000 SF)
 PARKING PROVIDED: 26 SPACES

HC PARKING REQUIRED: 2 SPACES
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 1 SPACE VAN ACCESSIBLE

MC PARKING REQUIRED: 2 SPACES
 MC PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 2 SPACES
 BICYCLE PARKING PROVIDED: 2 SPACES

LANDSCAPE AREA REQUIRED: 9,263 SF
 LANDSCAPE AREA PROVIDED: 9,563 SF

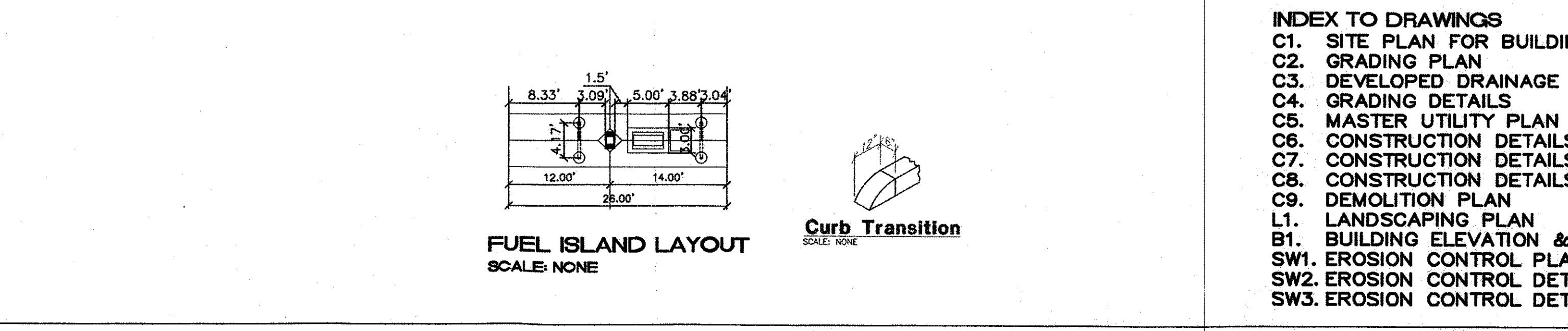
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

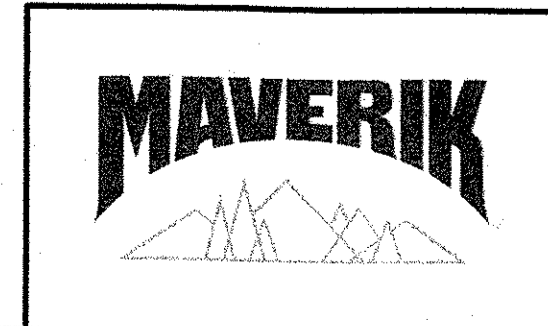
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	2/20/19 /Date
DRB Chairperson, Planning Department	Date
Code Enforcement	Date

* Environmental Health, if necessary



- NOTES:**
1. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
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ENGINEER'S SEAL	MAVERIK 650 JUAN TABO BLVD. NE	DRAWN BY dm
	SITE PLAN FOR BUILDING PERMIT	DATE 1-29-19
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2018046-SP
		SHEET # C1
RONALD R. BOHANNAN P.E. #7868		JOB # 2018046

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Copper Avenue, N.E.

THIS AREA TO BE GRANTED A SIDEWALK/ROAD EASEMENT TO COA. TOTAL SF 1,056 SF.

SWOP #1
TOP=5550.00
BOT=5548.00
VOL= 1,032 CF

5.0' CONC RUNDOWN
2X 2.0' SIDEWALK CULVERTS (S019 PERMIT)
INV.(IN): 5550.00
INV.(OUT): 5549.00

BUILD SIDEWALK CULVERT TO MODIFIED CURB FOR NEW RIGHT-TURN LANE.

1'-6" CONC. WALL TRANSITION END

3.5' CURB CUT

1'-6" CONC. WALL

6" PVC (RD) TYP.

6" TRENCH DRAIN

PROPOSED RIGHT TURN LANE TO BE DETAILED ON COA DRC PLAN SET. NOT PART OF BUILDING PERMIT PLANS.

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

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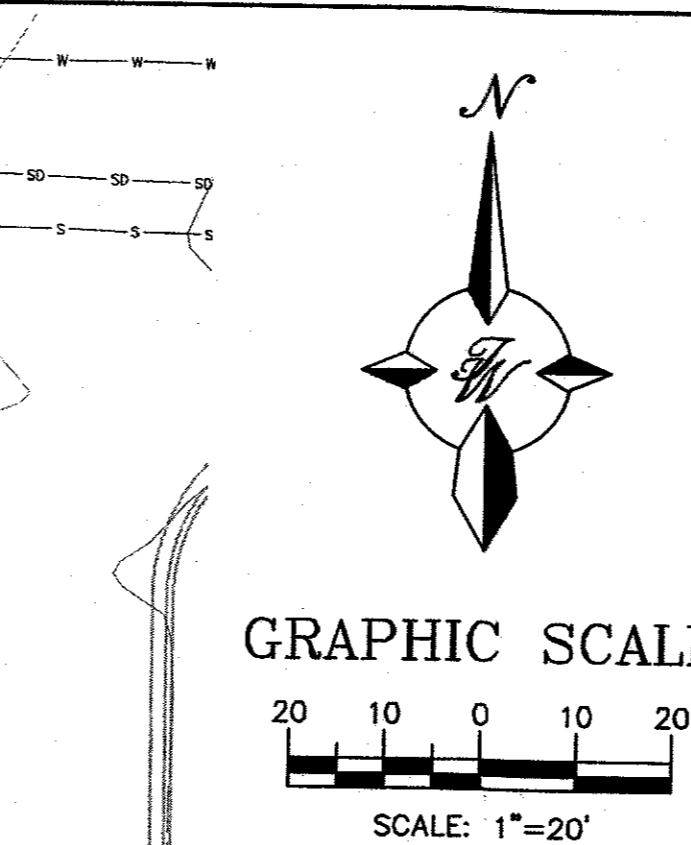
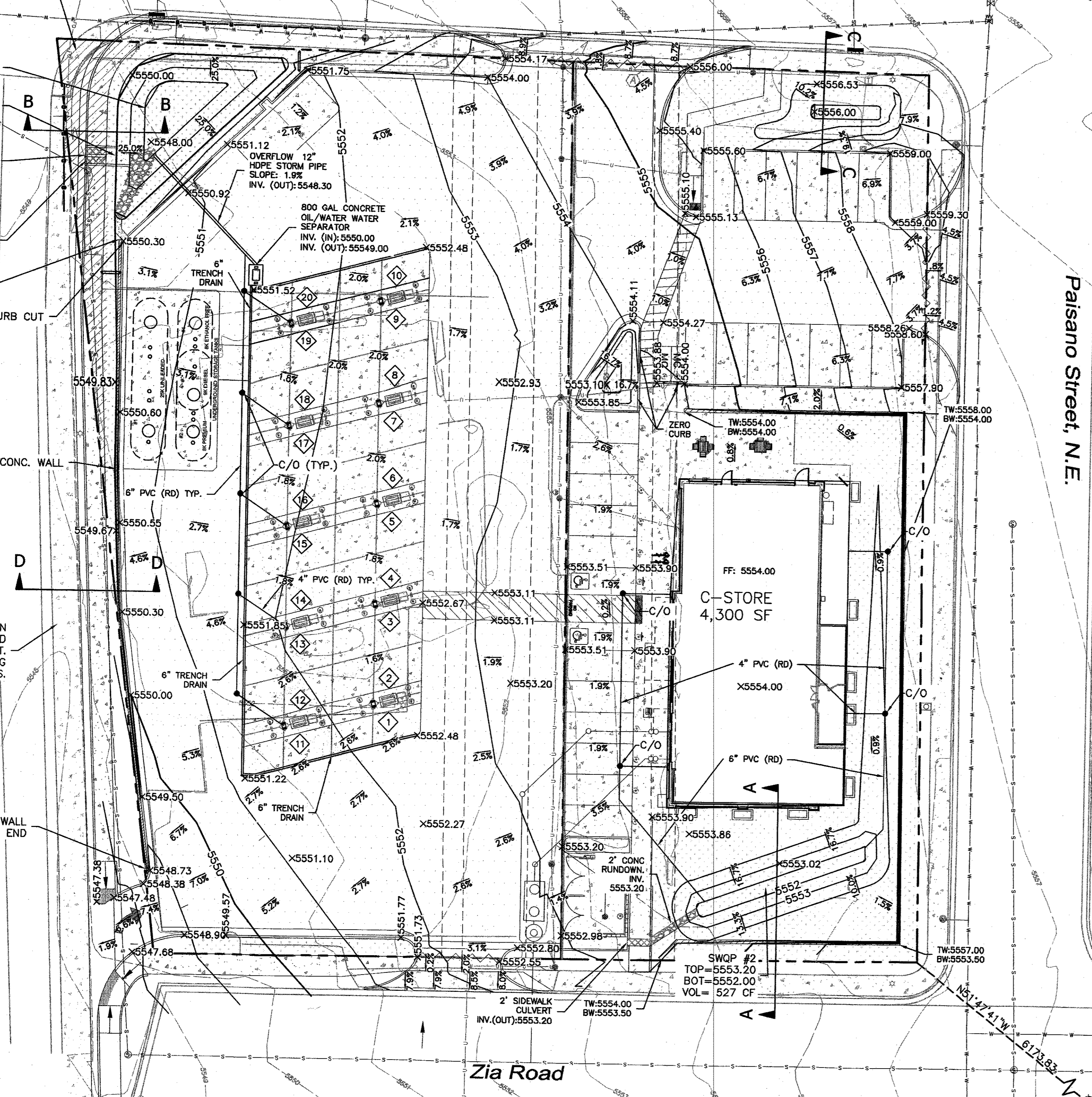
1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

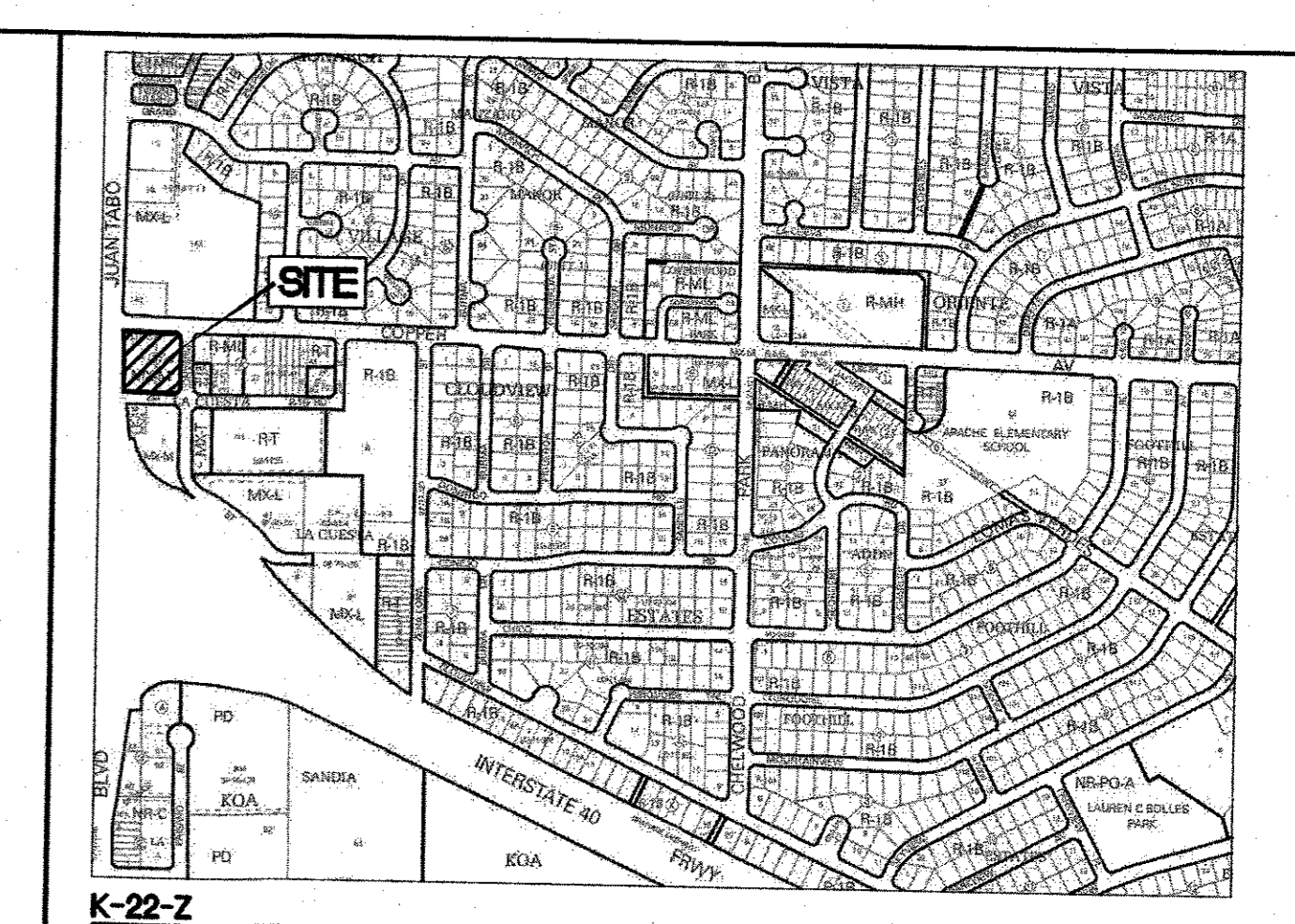
1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END



LEGEND

---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	EXISTING SIDEWALK
---	EXISTING WATER LINE
---	EXISTING STORM LINE
---	EXISTING STORM MANHOLE
---	EXISTING STORM INLET
---	EXISTING SAS LINE
---	EXISTING SAS MANHOLE
---	EXISTING WATER LINE
---	EXISTING WATER VALVE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING POWER POLE
---	EXISTING ELECTRIC LINE
---	EXISTING WALL
---	EXISTING ELECTRICAL BOX
---	EXISTING TRANSFORMER
---	EXISTING LIGHT STANDARD
---	EXISTING TELEPHONE PEDESTAL
---	SIDEWALK
---	RETAINING WALL
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	SPOT ELEVATION (FLOWLINE)
---	EXISTING BOUNDARY LINE
---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
---	EXISTING SPOT ELEVATION



CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (SPECIAL ORDER 10 '80-10')

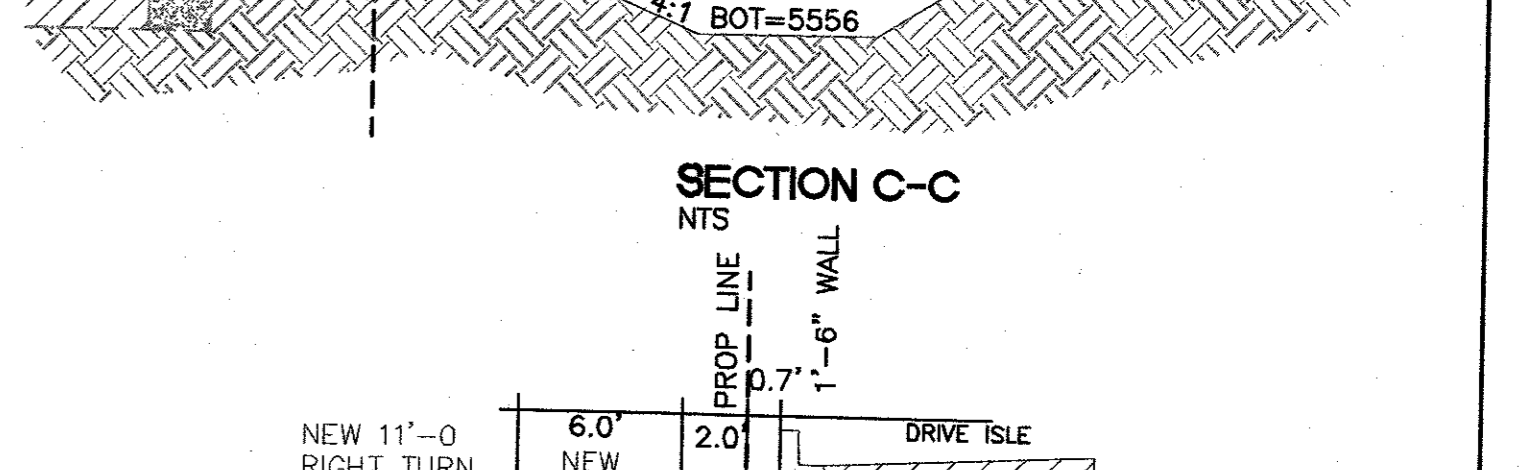
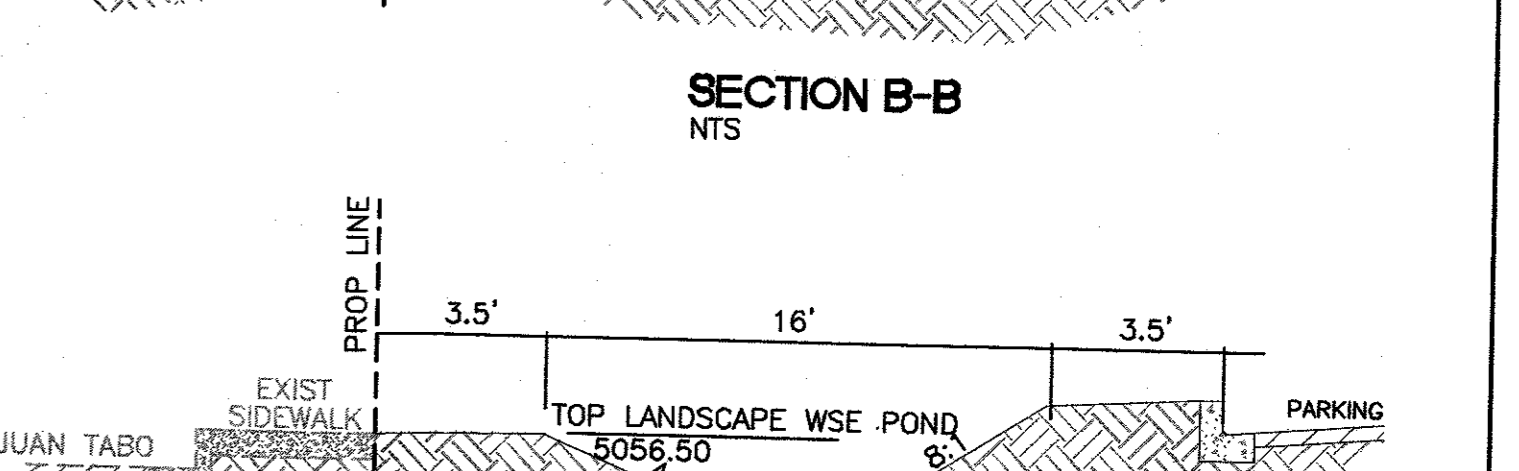
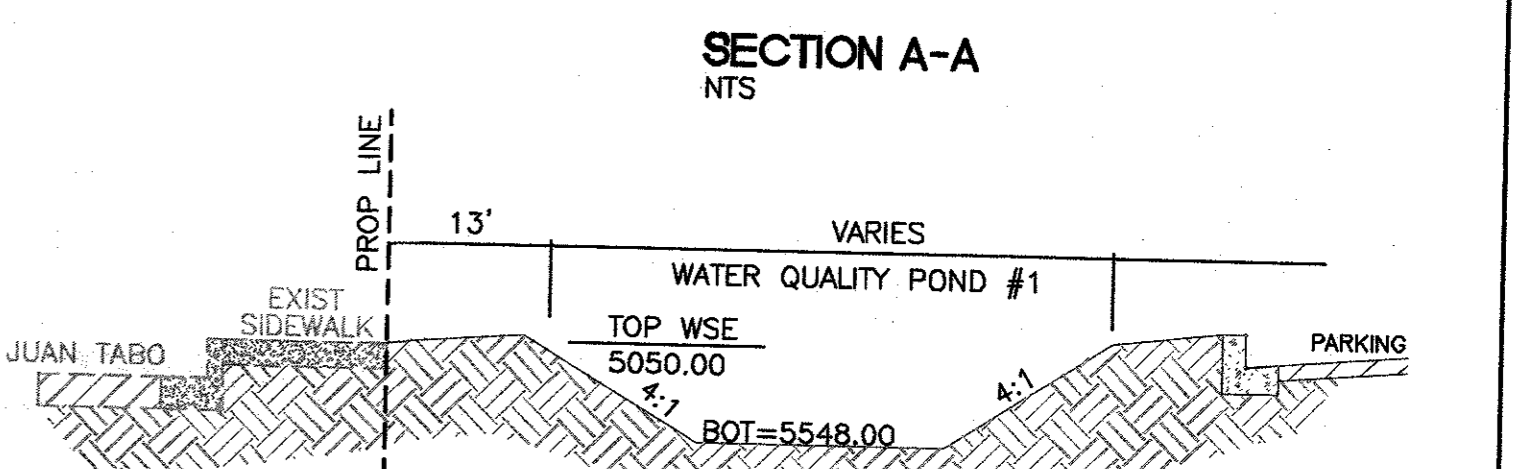
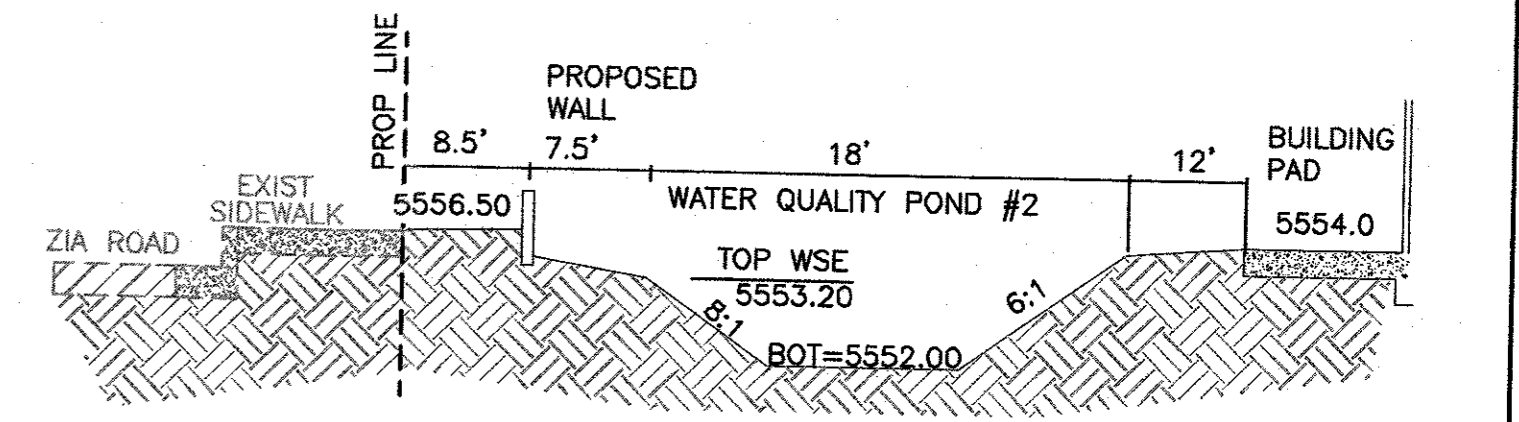
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL '811' [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
6. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR MUST CONTACT DAVID S. HARRISON AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

EROSION CONTROL NOTES:

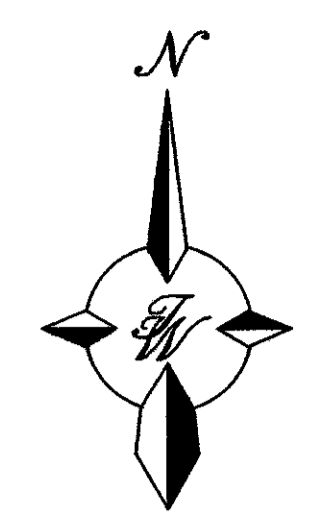
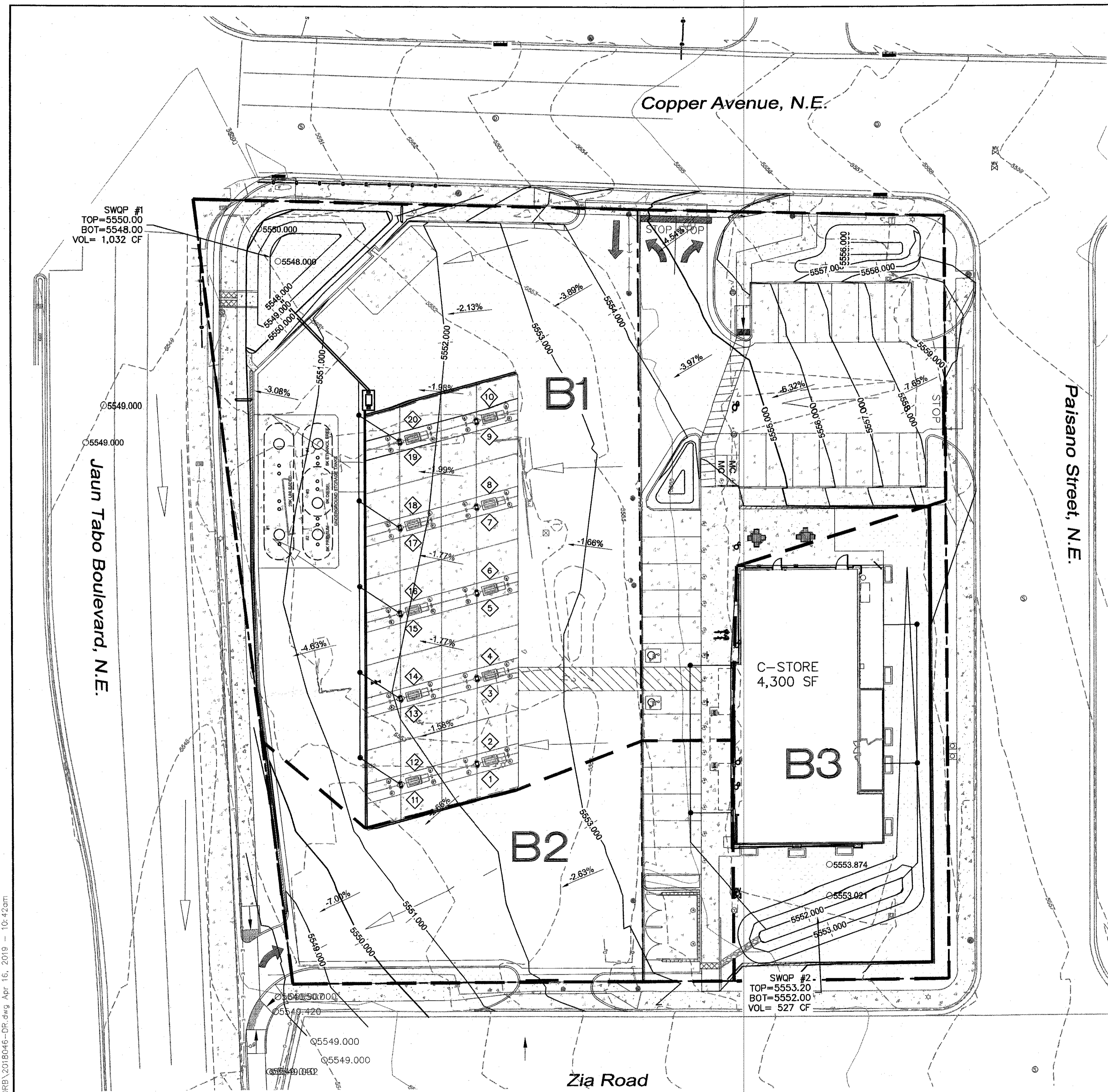
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

A.G.R.S. MONUMENT "2.L22"
STANDARD C.O.A. BRASS DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,480,207.321 US SURVEY FEET
E=1,566,235.48 US SURVEY FEET
PUBLISHED EL=5222.09 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999639275
DELTA ALPHA ANGLE=-0'08"32.78"

- NOTES**
1. ALL EXISTING EASEMENTS WILL BE VACATED BY DOCUMENT.
 2. A DRAINAGE COVENANT FOR THE SWOP PONDS AND OIL/WATER SEPARATOR WILL BE SUBMITTED TO THE COA PRIOR TO CERTIFICATE OF OCCUPANCY.
 3. REFER TO DRAINAGE PLAN SHEET C4 FOR BMP MAINTENANCE NOTES AND PROPERTY OWNER RESPONSIBILITIES.
 4. ALL OFFSITE PAVING, CURB AND SIDEWALK MODIFICATIONS AND IMPROVEMENTS SHOWN ON THIS PLAN WILL BE DETAILED ON A DRB APPROVED INFRASTRUCTURE LIST WITH CONSTRUCTION DRAWINGS DETAILED ON A PUBLIC IMPROVEMENT WORK ORDER PLAN SET APPROVED BY NM DOT AND COA.
 5. A RIGHT TURN INTO THE SITE FROM JUAN TABO IS PROPOSED AT THE SOUTH WEST CORNER OF THE PARCEL. IF THIS IS APPROVED BY THE NM DOT THE GRADING WILL BE MODIFIED PER GRADING PLAN C3 (GRADING PLAN - PHASE 3).

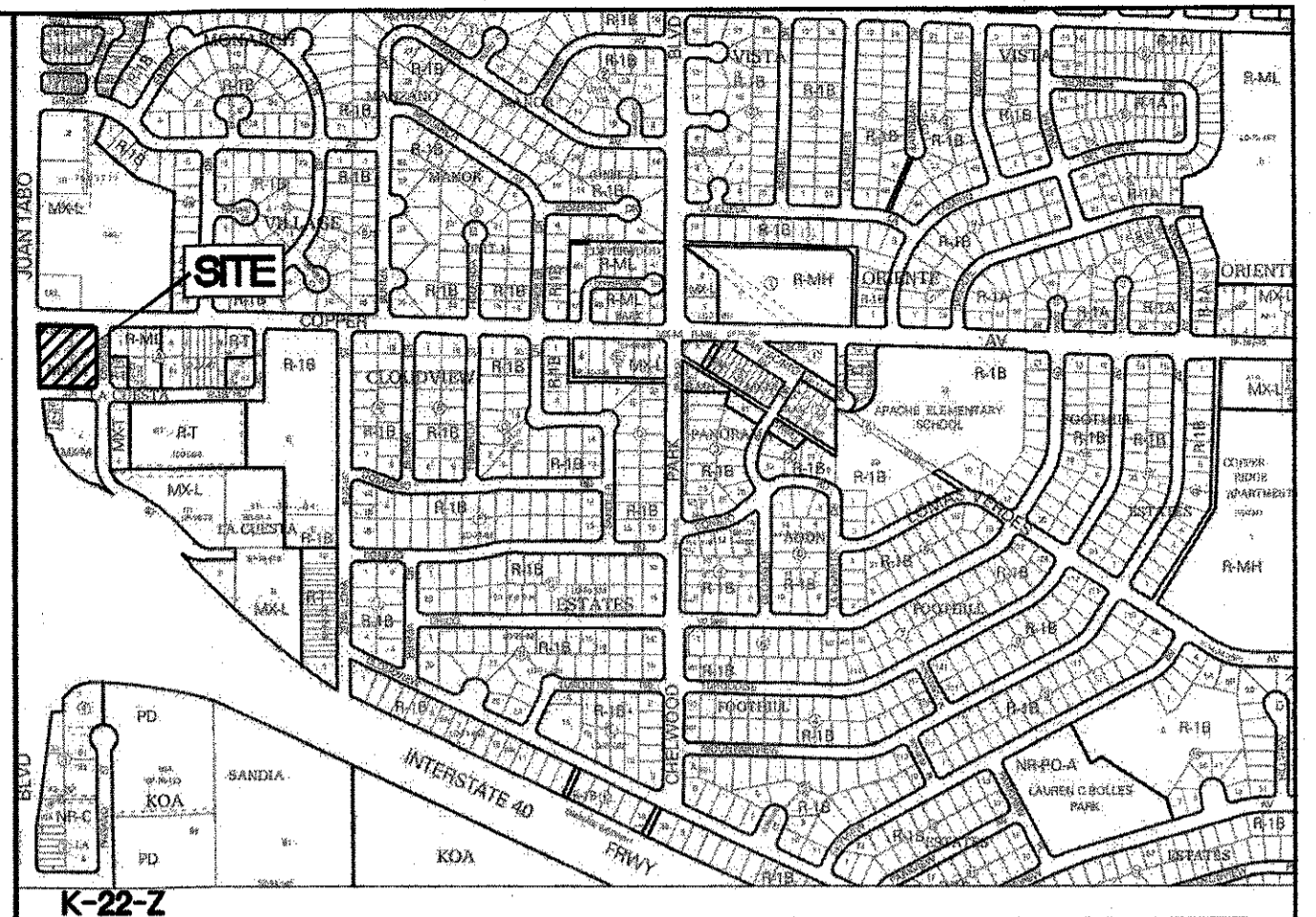
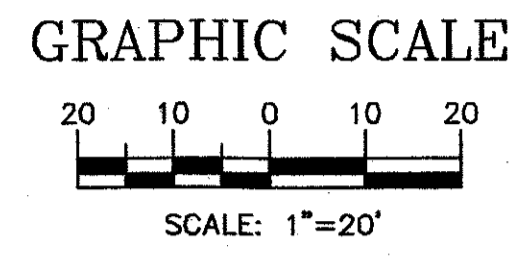


ENGINEER'S SEAL	MAVERIK 650 JUAN TABO BLVD. NE GRADING PLAN	DRAWN BY pm
		DATE 4-16-19
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2018046-GR
RONALD R. BOHANNAN P.E. #7868		SHEET # C2
		JOB # 2018046



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- DRAINAGE BASIN BOUNDARY
- FLOW DIRECTION



MAINTENANCE OF BMPS
 RESPONSIBLE PARTY: PROPERTY OPERATOR
 MAINTENANCE REQUIREMENTS AND FREQUENCY: REFER TABLE THIS PAGE.
 ACCESS TO BMPS: ACCESS SHALL BE PROVIDED VIA SITE ACCESS DRIVES TO SURFACE SWQV POND. ALL REMOVAL AND DISPOSAL OF LANDSCAPING AND SEDIMENT SHALL BE COMPLETED BY CERTIFIED LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE LANDSCAPE MAINTENANCE SPECIFICATION. NO DEBRIS SHALL REMAIN ONSITE AFTER TRIMMING.
 SEDIMENTATION MONITORING SHALL BE COMPLETED BY THE PROPERTY OWNER YEARLY. IF SILT ACCUMULATION EXCEEDS 2 INCHES ON THE SWQV POND GAUGE THEN THE POND BOTTOM SHALL BE EXCAVATED AND STACKED WITHIN 2- FEET OF THE SWQV POND BERM.
 VISUAL INSPECT FOLLOWING STORM EVENTS SHALL BE COMPLETED AS REQUIRED TO ENSURE THE INFILTRATION OF THE SWQV IS ACHIEVED AT ACCEPTABLE RATES. THE SWQV, AT THE MAXIMUM 24" DEPTH, SHOULD INFILTRATE WITHIN 24 HOURS.

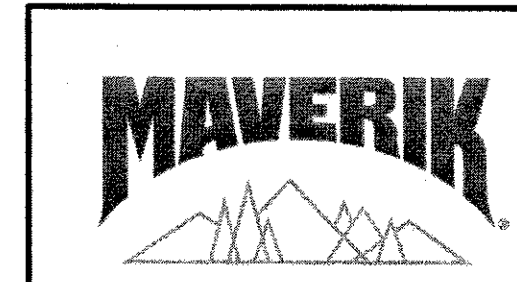
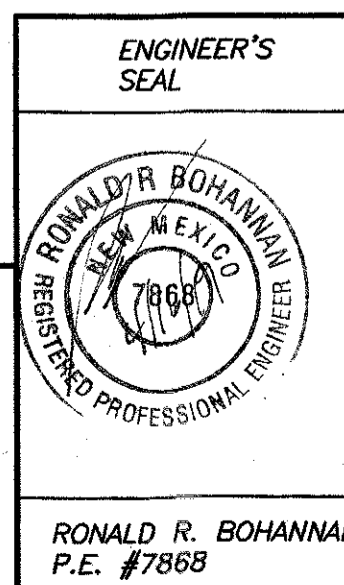
VECTOR CONTROL NOTES:
 ALLOWING CONDITIONS SUCH AS THE ACCUMULATION OF STANDING WATER THAT CAN CONTRIBUTE TO THE BREEDING OF MOSQUITOES IS A VIOLATION OF THE CITY OF ALBUQUERQUE'S INSECT AND RODENT CONTROL ORDINANCE. MAINTENANCE OF THE OIL WATER SEPARATOR AND SWQV PONDS ARE THE RESPONSIBILITY OF THE PROPERTY OPERATOR. IN ORDER TO PREVENT MOSQUITO BREEDING, VEGETATION SHOULD REGULARLY BE CLEARED FROM THE BASIN AND EDGES OF PONDS. THE SITE SHOULD BE MAINTAINED THROUGHOUT THE YEAR IN THIS MANNER. REMOVAL OF VEGETATION CREATES A LESS DESIRABLE SITE FOR MOSQUITO BREEDING. THIS WILL ALSO AID IN THE REDUCTION OF RODENT HARBORAGE. WHEN STANDING WATER DOES EXIST IT SHOULD BE TREATED WITH PUBLICLY AVAILABLE MOSQUITO PRODUCTS (E.G. MOSQUITO DUNKS) AT THE TREATMENT RATE DESIGNATED BY THE PRODUCT LABEL SHOULD A SITE MAINTAIN PERMANENT STANDING WATER, MOSQUITO FISH (GAMBUSIA) CAN BE OBTAINED FROM THE CITY OF ALBUQUERQUE'S ENVIRONMENTAL HEALTH DEPARTMENT FREE OF CHARGE.

REGULAR MAINTENANCE	FREQUENCY
LITTER MANAGEMENT	
Pick up all litter at site and in Landscape areas and remove from site	Daily
INLETS AND OUTLETS	
Visual inspection for function. Remove silt from slab aprons and debris in pavement areas. Remove all fallen vegetation around inlet and outlet structures.	Monthly
HARD SURFACES	
Sweep all paving regularly. Maintain pavement in autumn after leaf fall. Coordinate with Landscape Contractor if additional maintenance is required.	As required
OCCASIONAL TASKS	
INSPECTION AND INLETS, OUTLETS AND CONTROL CHAMBERS	
Inspect surface structures removing obstructions and silt as necessary. Check there is no physical damage. For below ground control chambers, remove cover and inspect ensuring water is flowing freely and that the exit route for water is unobstructed. Remove debris and silt.	Yearly
POND VEGETATION	
Ensure Pond vegetation is maintained by Landscape Contractor. All weeds and all cuttings removed from site.	As required
SILT MANAGEMENT	
Inspect swales and water quality pond for silt accumulation. Excavate silt, stack and dry within 2-feet of the water quality feature, but outside the design profile where water flows, spread, rake and overseed. Protect surface from siltation and manage main area of basin for design function or appearance.	Yearly
REMEDIAL WORK	
Inspect storm all water quality structures regularly to check for damage or failure. Undertake remedial work as required.	Yearly

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Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr			SWQV					
				Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Required (cf)	Provided (cf)				
1	40,521	0.930	0.00145	0%	0.000	10%	0.093	0%	0.000	90%	0.837	2.484	0.193	4.67	1.567	0.121	3.12	790	1,032 (#1)
2	10,390	0.239	0.00037	0%	0.000	0%	0.000	0%	0.000	100%	0.239	2.640	0.052	1.25	1.690	0.034	0.85	225	
3	10,843	0.249	0.00039	0%	0.000	50%	0.124	0%	0.000	50%	0.124	1.860	0.039	1.02	1.075	0.022	0.62	117	527 (#2)
Total	61,754	1.418	0.00222		0.000		0.217		0.000		1.200		0.284	6.936		0.177	4.600	1,133	1,559

Equations:			Excess Precipitation, E (in.)			Peak Discharge (cfs/acre)			Water Quality Volume - "First Flush Pond" - Redevelopment Site		
Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)			Zone 4	100-Year	10-Year	Zone 4	100-Year	10-Year	Total Impervious Area =	Area in "Treatment D"	
Volume = Weighted E * Total Area			Ea	0.8	0.28	Qa	2.2	0.87	= 0.0233 x area CF		
Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad			Eb	1.08	0.46	Qb	2.92	1.45	Retainage depth = 0.28"		
WQV _{required} = 0.26*A*43560*(1/12)			Ec	1.46	0.73	Qc	3.73	2.26	Retention Volume =		
			Ed	2.64	1.69	Qd	5.25	3.57			



ENGINEER'S SEAL

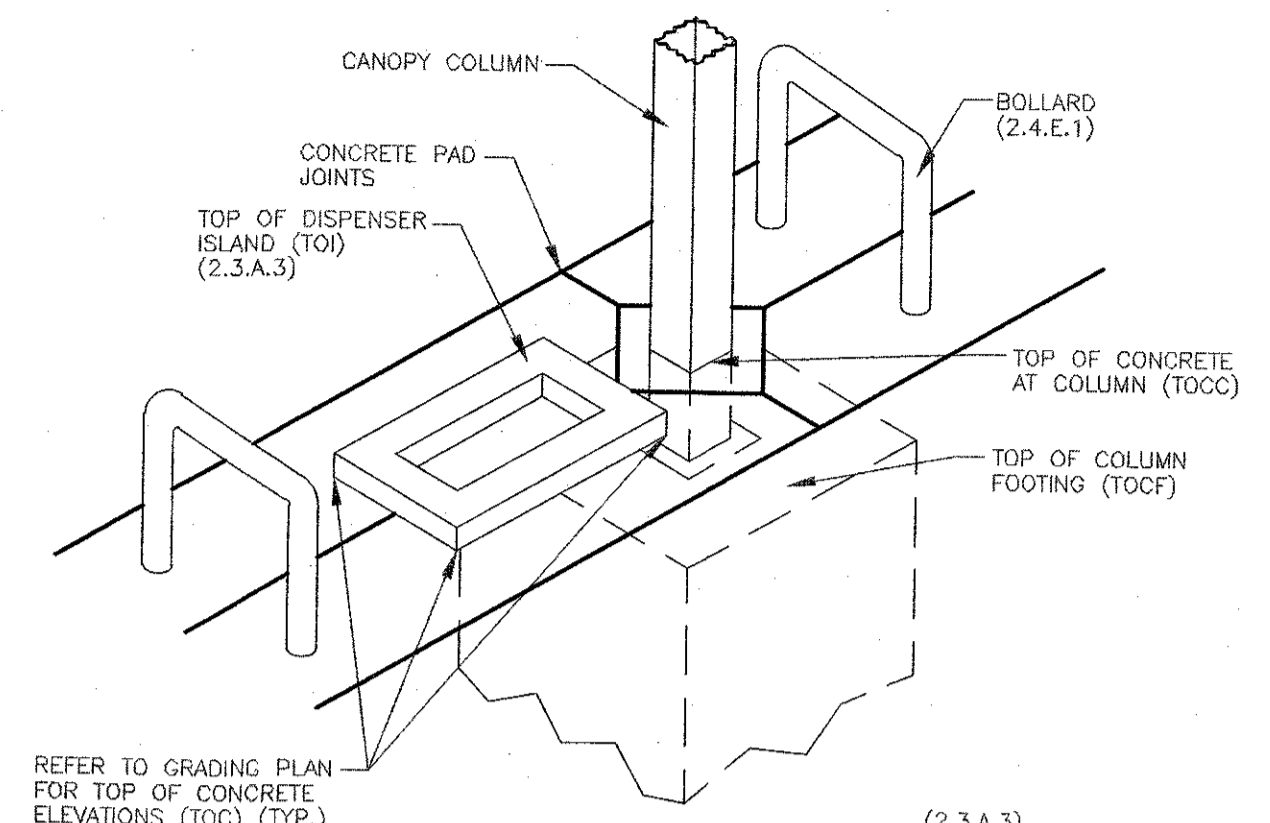
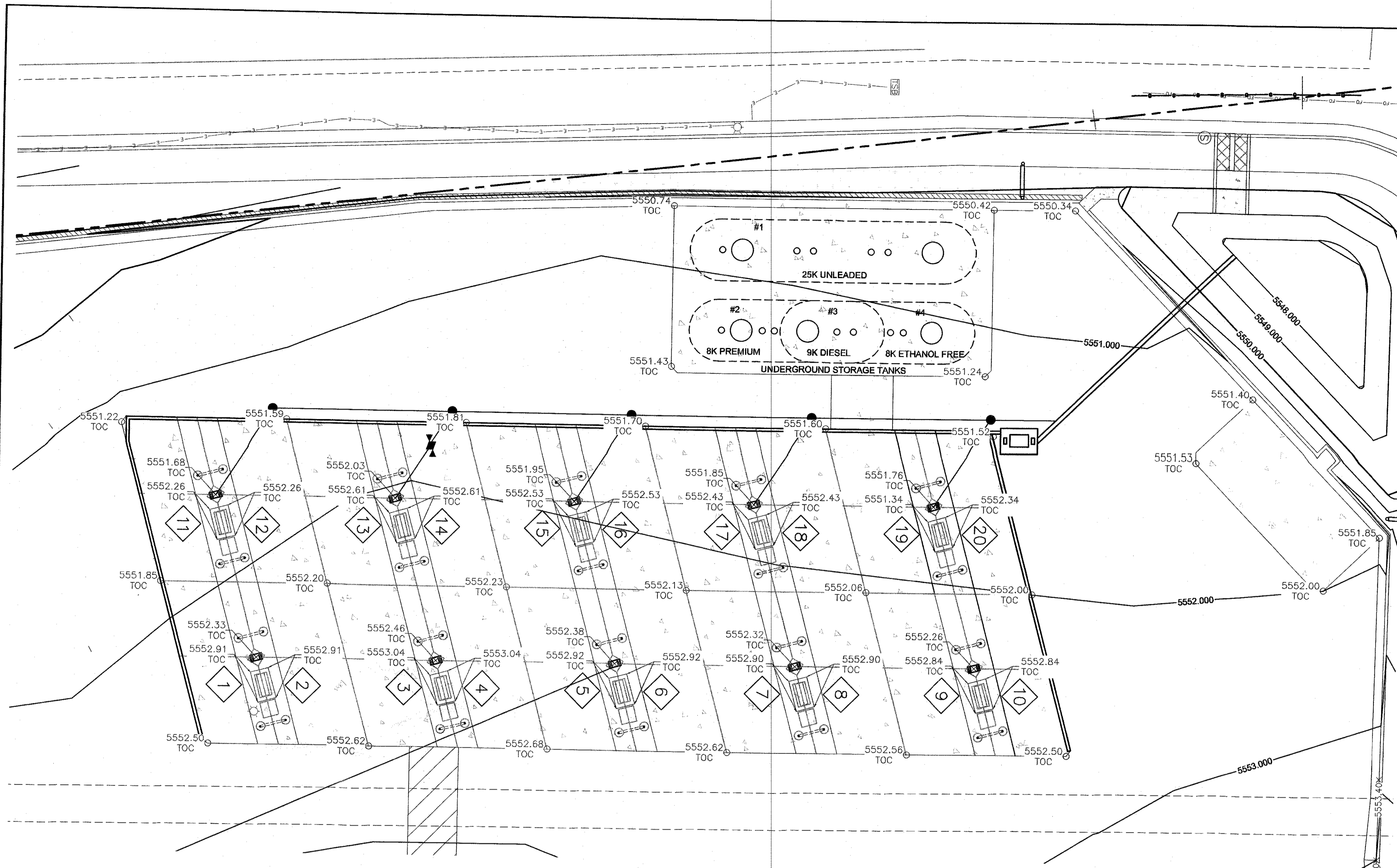
MAVERIK
 650 JUAN TABO BLVD. NE
 DRAINAGE PLAN

TIERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierrowestllc.com

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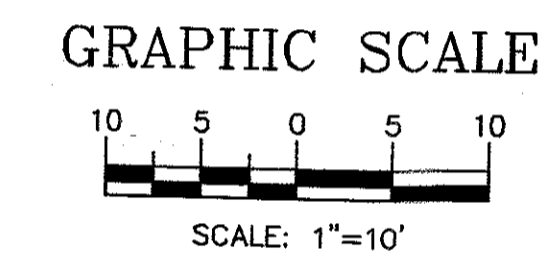
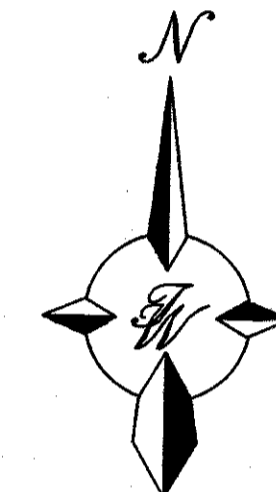
DRAWN BY: pm
DATE: 4-18-19
DRAWING: 2018046-DR
SHEET #: C3
JOB #: 2018046

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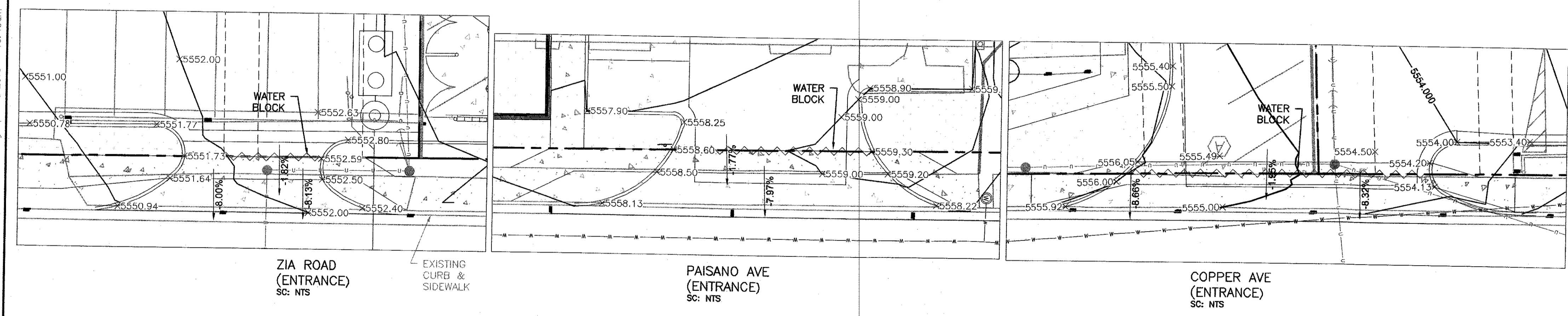
NOTE: TOP OF CONCRETE TO TOP OF SPOT & SPREAD FOOTING SEPARATION IS 36".

NOTE: 6" RAISED VERTICAL CONCRETE ISLAND WITH TOOLED EDGES AND CORNERS TO BE POURED FIRST 5'-0" x 3'-0" CONCRETE ISLAND (NO METAL FORM - VERIFY SIZE WITH DISPENSER MANUF.) AFTER THE 5'-0" x 3'-0" FUEL ISLAND HAS BEEN POURED, SLOPE CONCRETE AWAY FROM ISLAND IN ALL (4) DIRECTIONS. ALL DISPENSERS TO BE EQUIPPED WITH AN EXTINGUISHER.

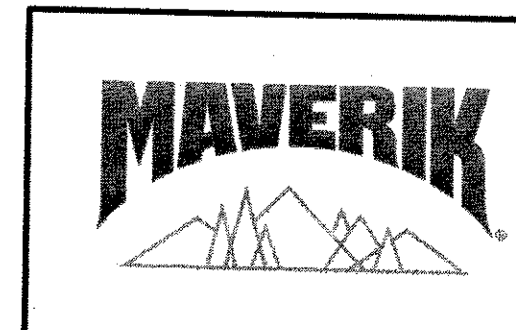


Fuel Dispenser Elevations

FUEL DISPENSER	TOP OF ISLAND	T.O.C. @ COLUMN	TOP OF COL. FTP
1-2	5552.91	5552.33	5552.33
3-4	5553.04	5552.46	5552.46
5-6	5552.96	5552.38	5552.38
7-8	5552.90	5552.32	5552.32
9-10	5552.84	5552.26	5552.26
11-12	5552.26	5551.68	5551.68
13-14	5552.61	5552.03	5552.03
15-16	5552.53	5551.95	5551.95
17-18	5552.43	5551.85	5551.85
19-20	5552.34	5551.76	5551.76



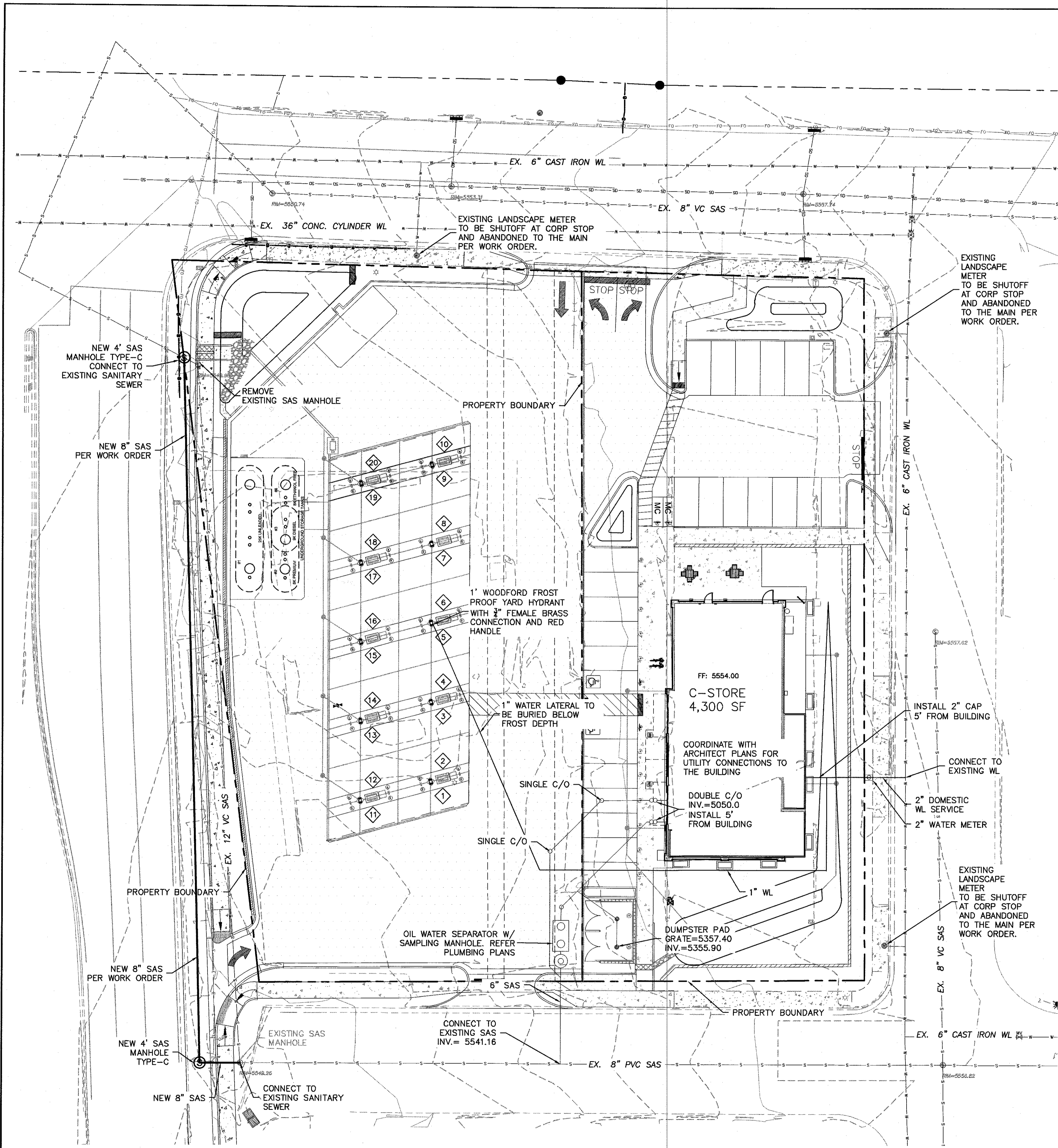
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ENGINEER'S SEAL

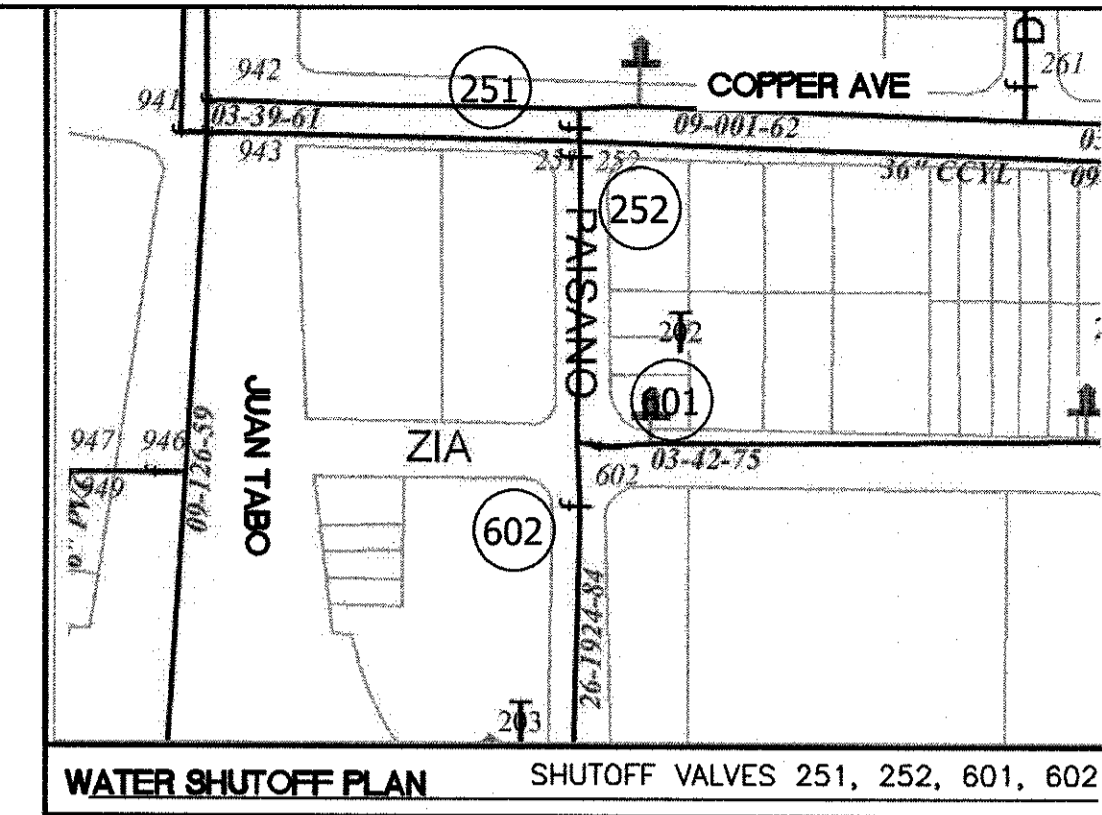
 RONALD R. BOHANNAN
 P.E. #7868

MAVERIK 650 JUAN TABO BLVD. NE GRADING DETAILS	DRAWN BY pm
	DATE 4-16-19
 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2018046-GR-DETAILS
	SHEET # C4
	JOB # 2018046



LEGEND

	EXISTING CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING WATER LINE
	EXISTING STORM LINE
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	EXISTING SAS LINE
	EXISTING SAS MANHOLE
	EXISTING WATER LINE
	EXISTING WATER VALVE
	EXISTING OVERHEAD POWER LINE
	EXISTING POWER POLE
	EXISTING ELECTRIC LINE
	EXISTING WALL
	EXISTING ELECTRICAL BOX
	EXISTING TRANSFORMER
	EXISTING LIGHT STANDARD
	EXISTING TELEPHONE PEDESTAL
	SIDEWALK
	RETAINING WALL
	5010 CONTOUR MAJOR
	5011 CONTOUR MINOR
	x 5048.25 SPOT ELEVATION (FLOWLINE)
	EXISTING BOUNDARY LINE
	5010 EXISTING CONTOUR MAJOR
	5011 EXISTING CONTOUR MINOR
	x 5048.25 EXISTING SPOT ELEVATION

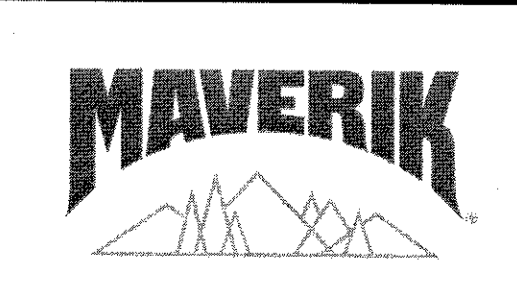
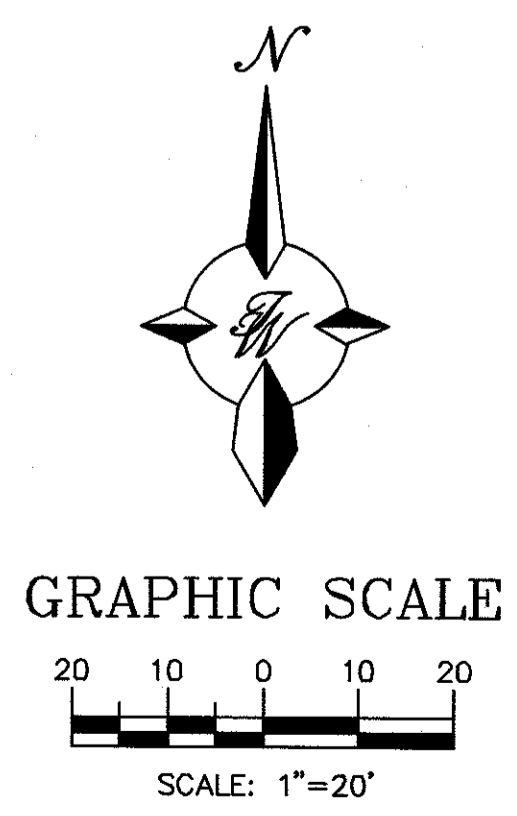


THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT https://www.abcwua.org/Water_Shut_off_and_Turn_on_Procedures.aspx

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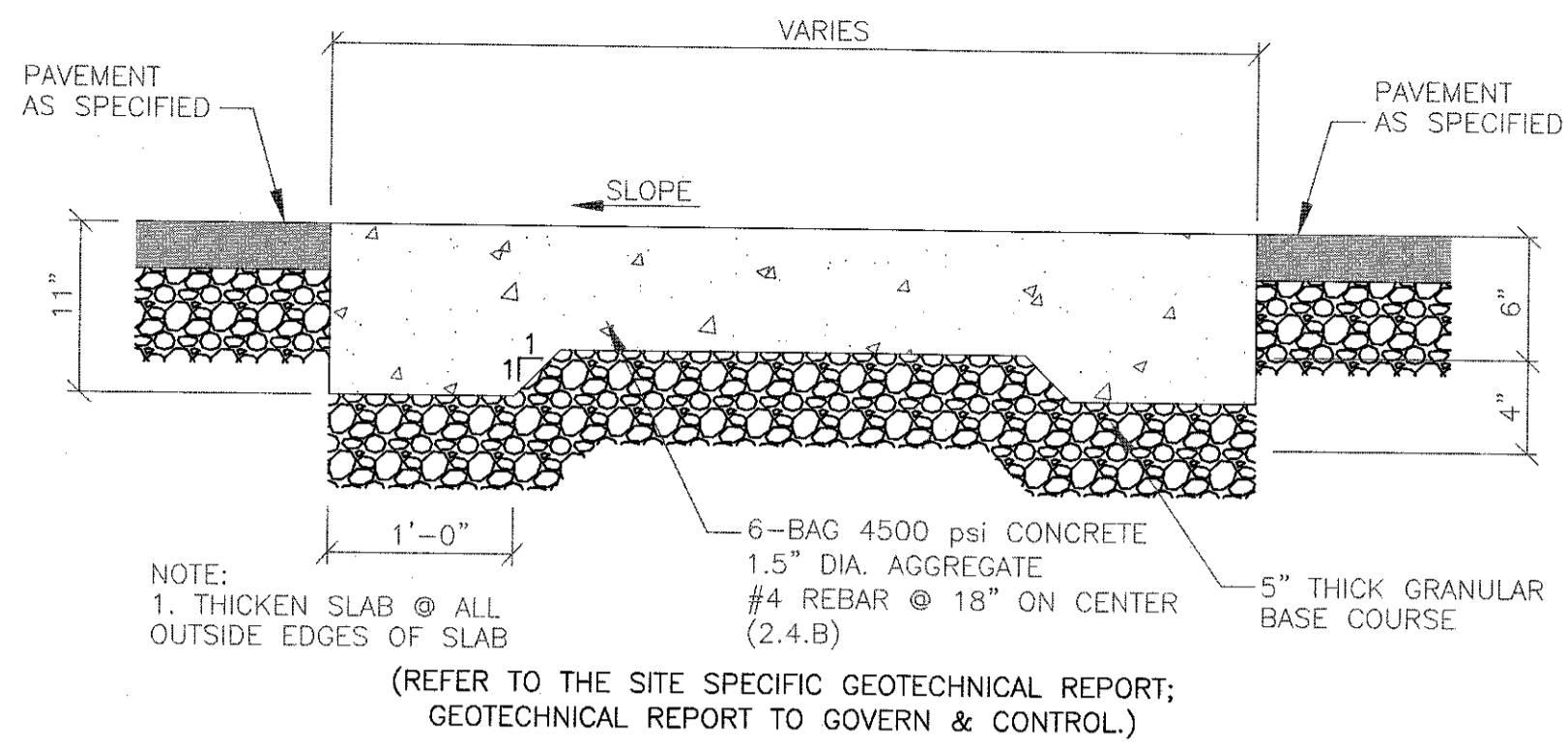
GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- ALL BUILDINGS - CONSTRUCTION TYPE IS II-B

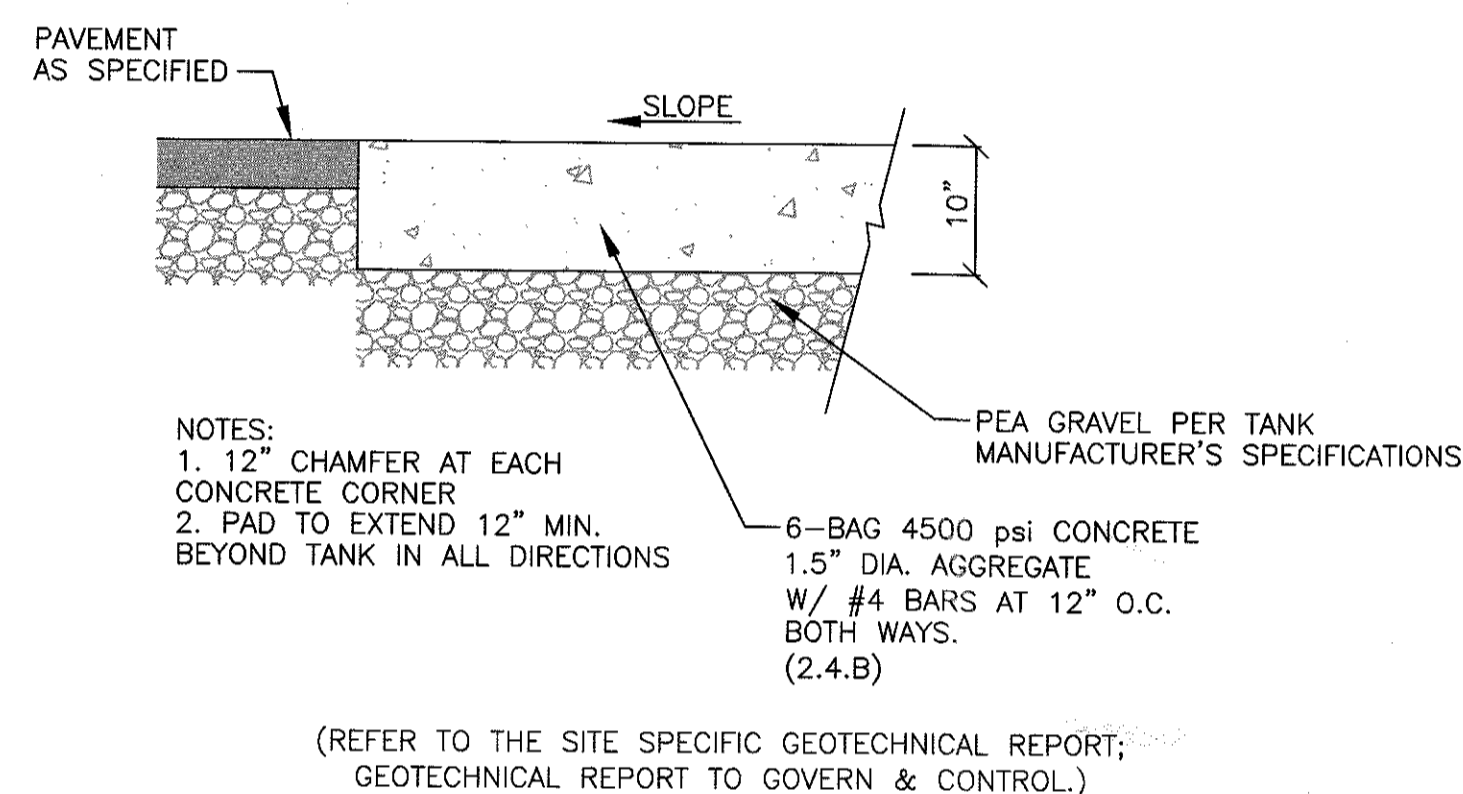


ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MAVERIK 650 JUAN TABO BLVD. NE UTILITY PLAN	DRAWN BY pm DATE 05-08-2019 DRAWING 2018046-MU
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C5 JOB # 2018046

Z:\2018\2018046 Maverik Juan Tabo & Copper\dwg\DRB\2018046-MU.dwg, May 08, 2019 - 8:00am



Petroleum Trench Cap Section
SCALE: NONE



Concrete Pad over Underground Fuel Tanks

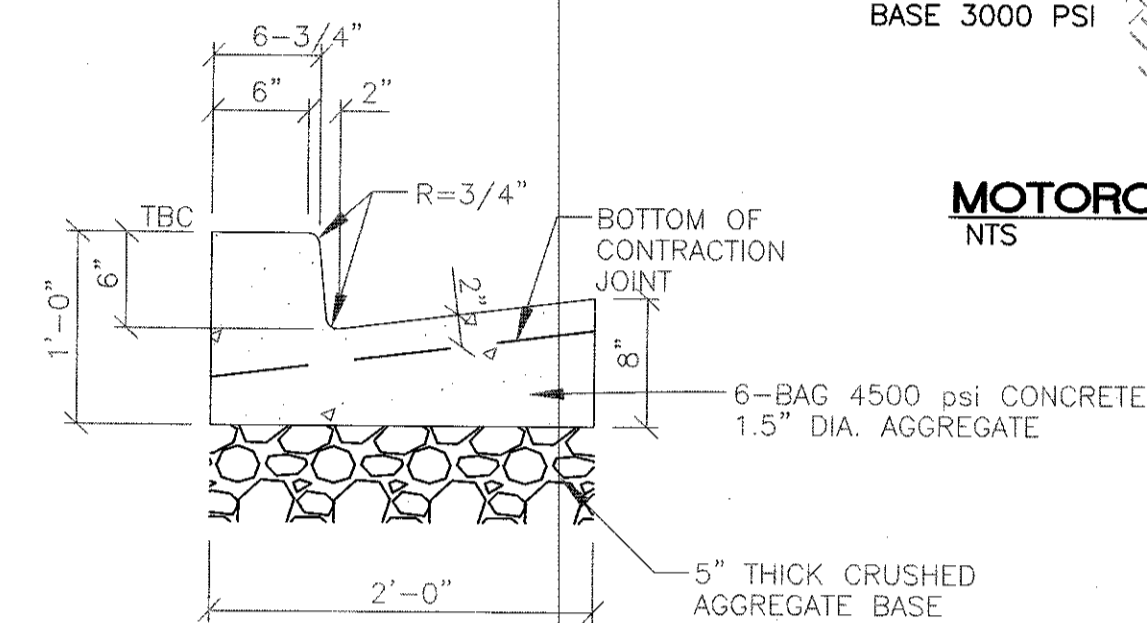
CSC SERVICEWORKS
Making life easy

AIR-Serv XactAir Features
Heavy Duty Stainless Steel Cabinet
30' Top-Mounted Coil Hose & Chuck
3/4 HP High Flow Oil-Free Air Compressor
Digital Air Gauge
High Security Vault
24/7 Wireless Monitoring
Built-In Heater (optional)
Co-Branding Options
Vacuum Feature Available

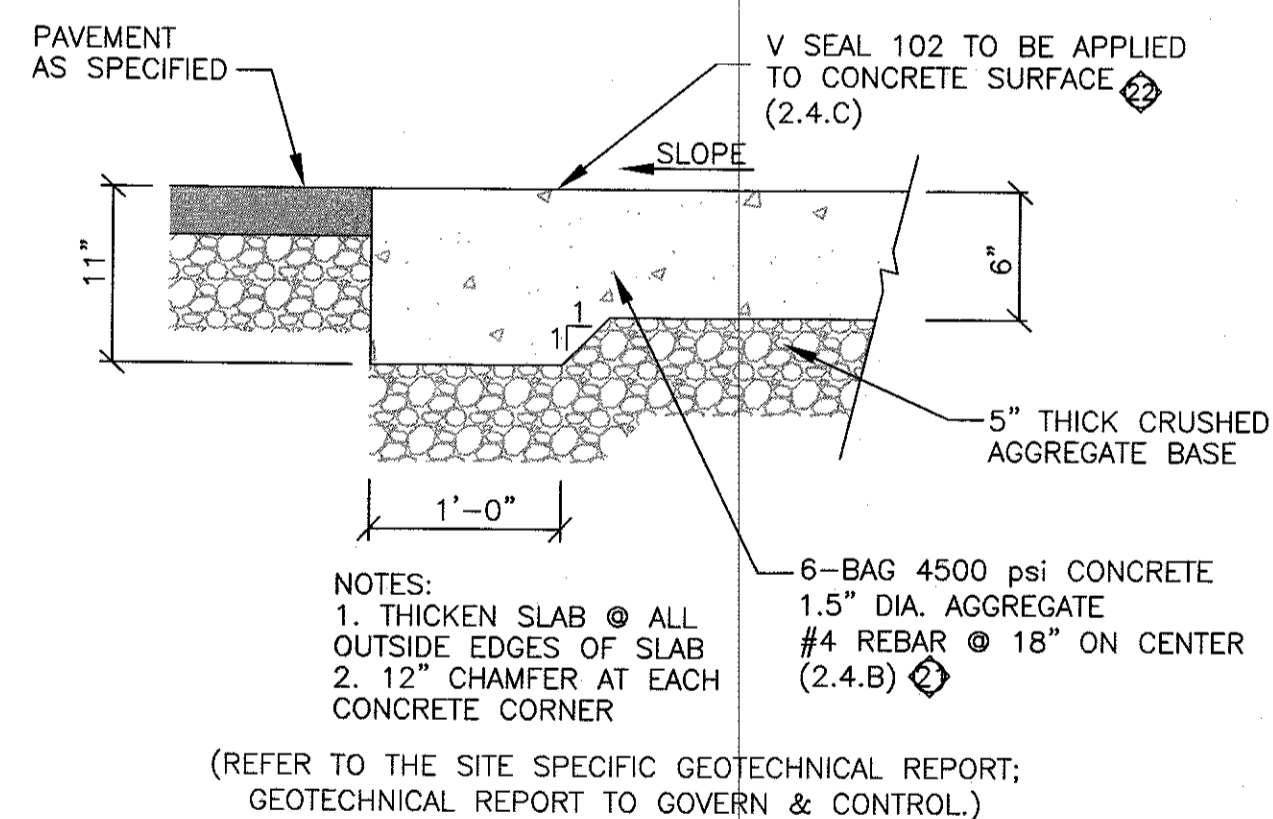
Consumer Benefits
Auto-Calibrated Air Pressure
Credit Cards Accepted
Clear English & Spanish Instructions
Highly Visible LED Sign

Proven Results
Drive Traffic To Your Location
Improve Customer Usability
Differentiate Your Company From Competition
Strengthen Customer Loyalty

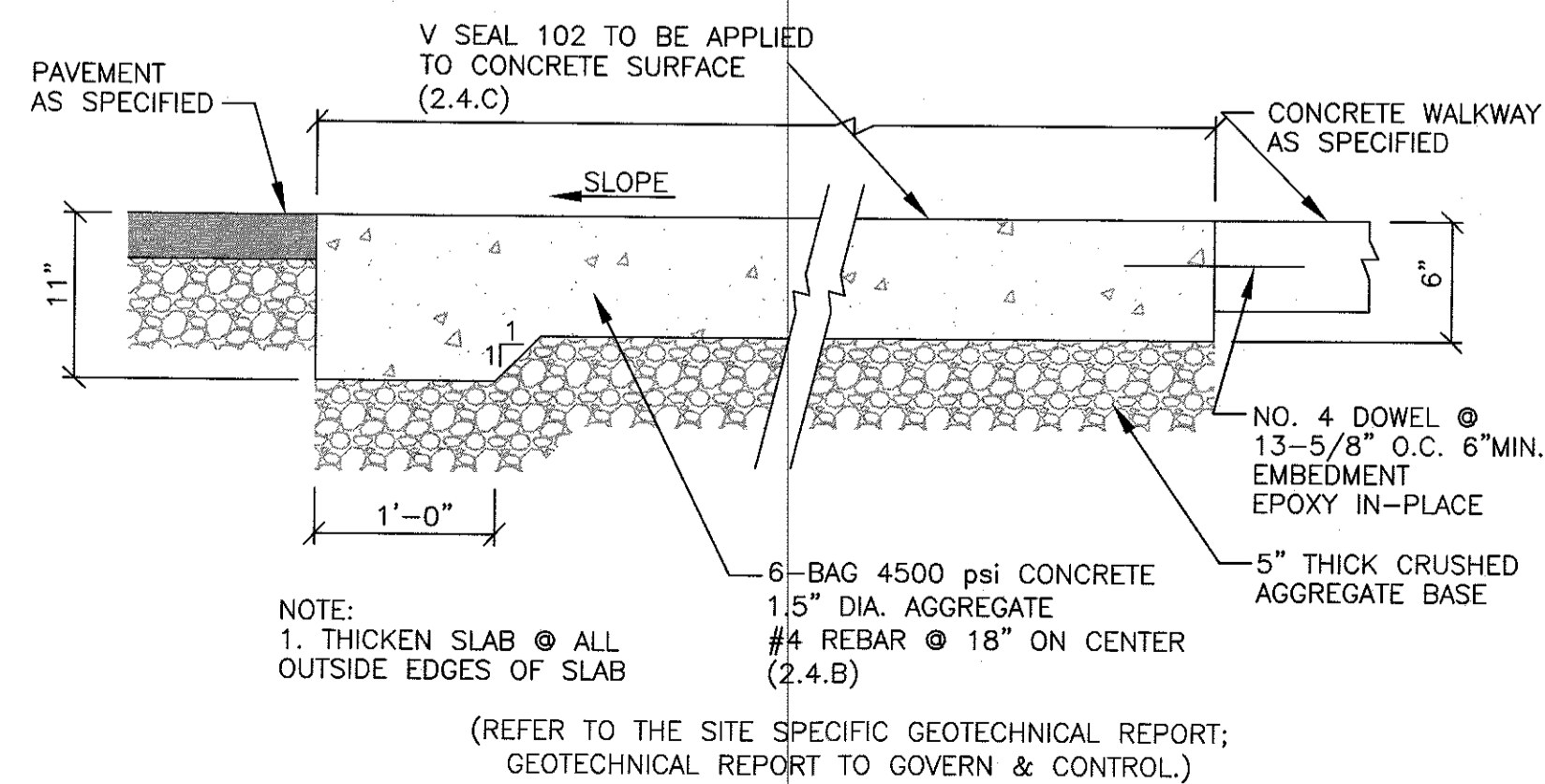
800-247-8363
cscsw.com



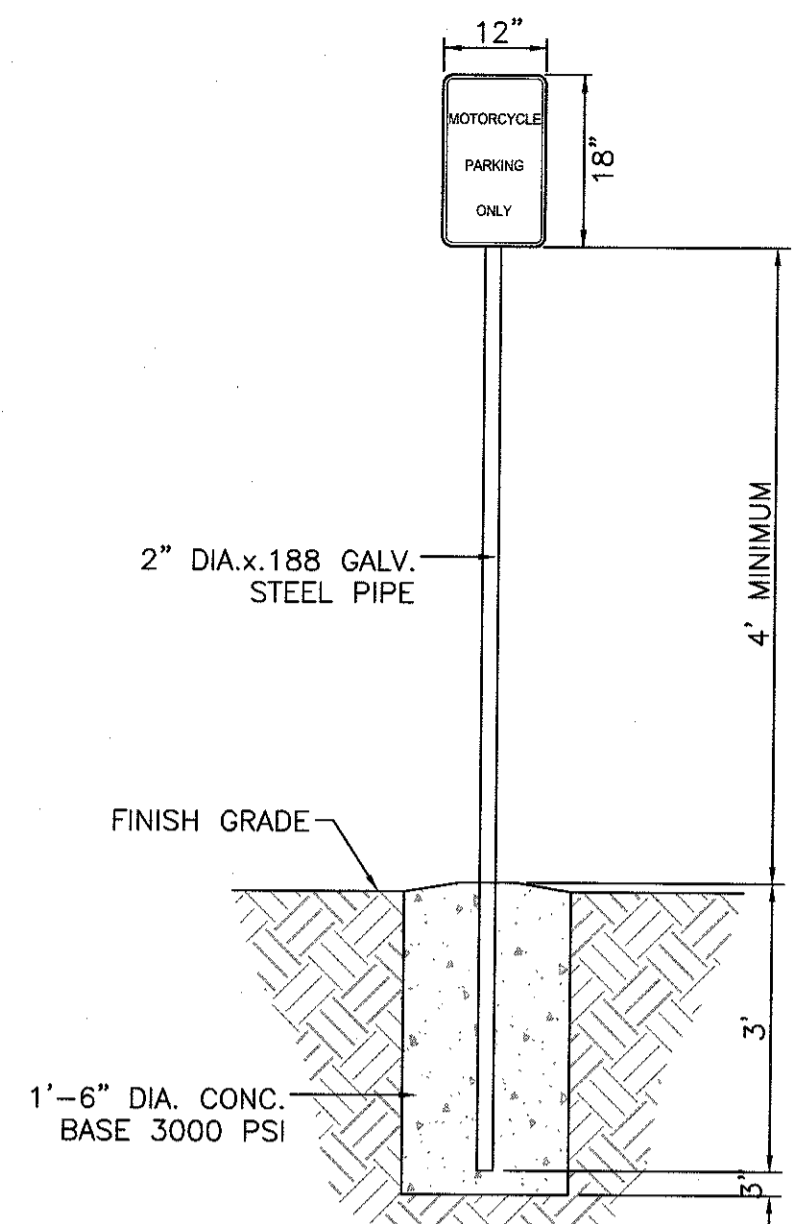
On-Site Curb & Gutter
SCALE: NONE



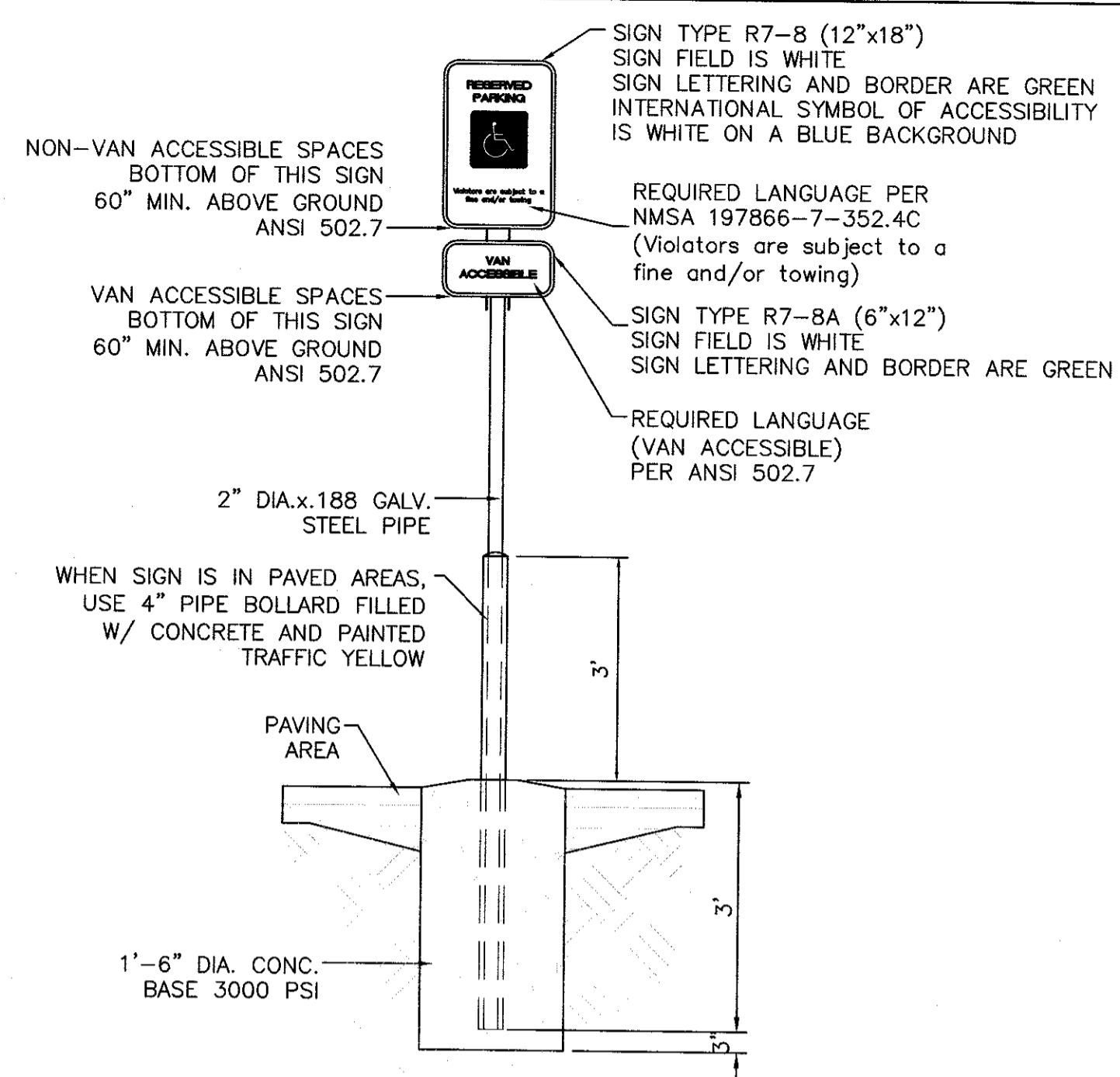
Concrete Pad under Fuel Canopy



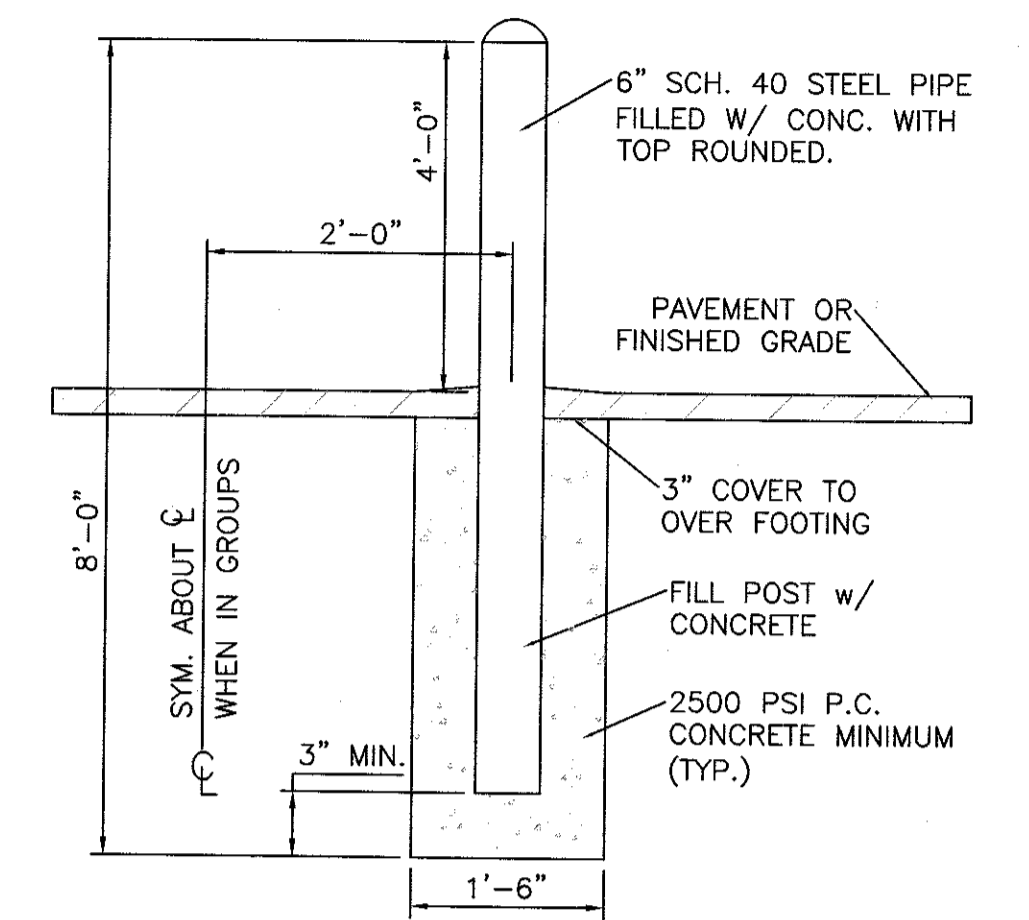
Concrete Parking Stall



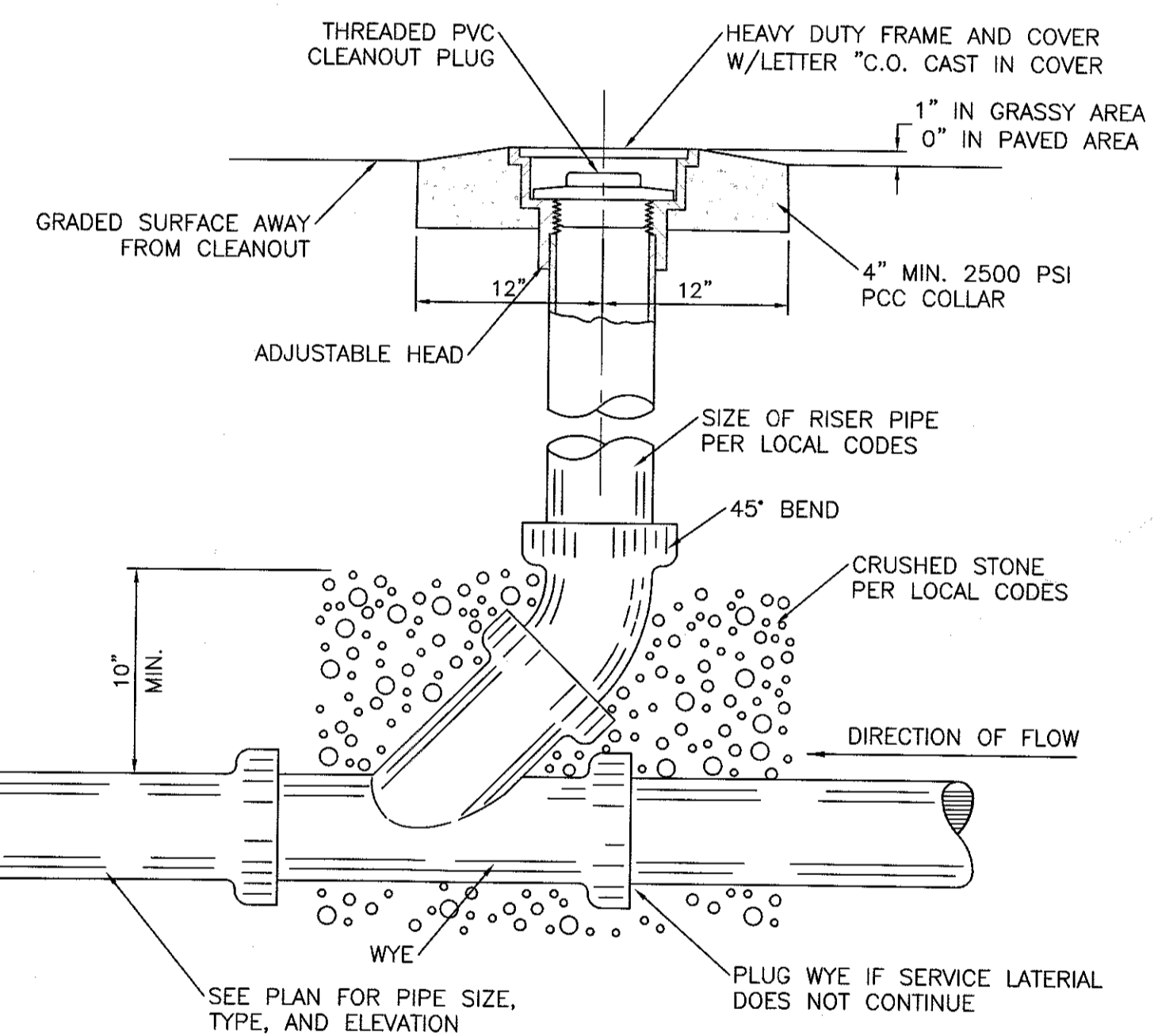
MOTORCYCLE PARKING SIGN
NTS



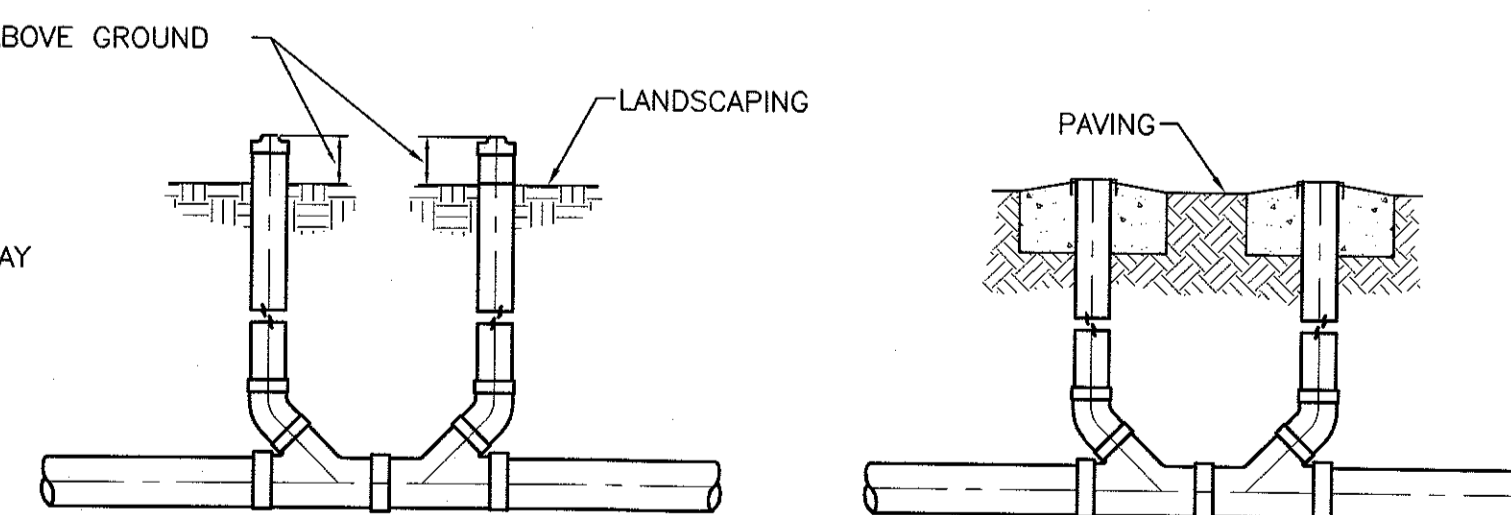
ACCESSIBLE PARKING SIGN
NTS



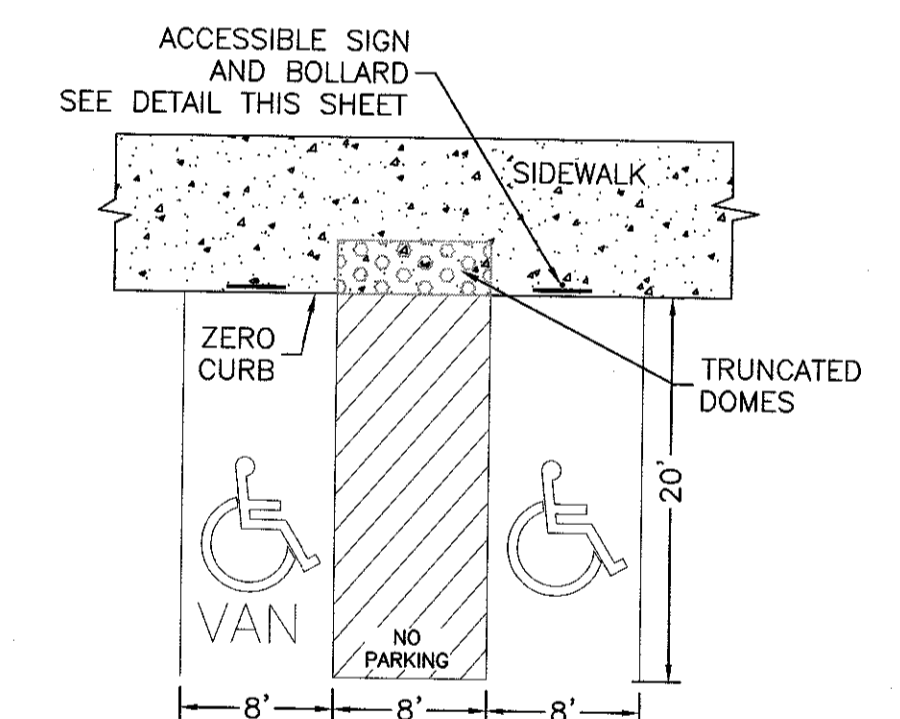
BOLLARD DETAIL
NTS



SANITARY SEWER CLEAN-OUT
NTS

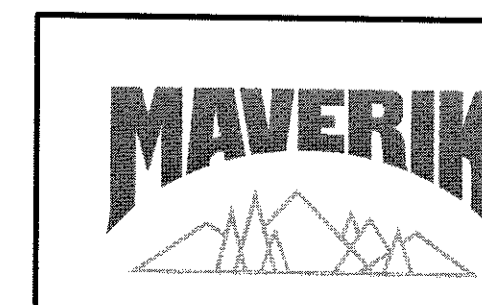


SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



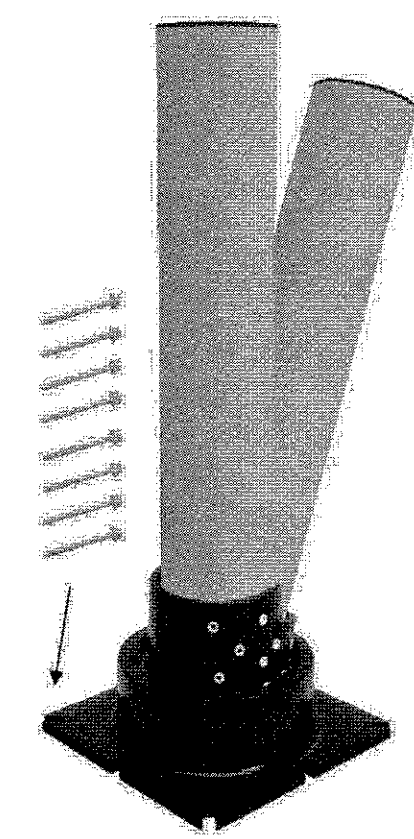
HC PARKING DETAIL
NTS

- NOTES:
1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
2) Parking space lines and diagonal striping to be painted blue.
3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
4) ADA parking areas - not to exceed a slope greater than 2% in any direction



ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868 5/3/2019 RONALD R. BOHANNAN P.E. #7868	MAVERIK 650 JUAN TABO BLVD. NE CONSTRUCTION DETAIL 1	DRAWN BY pm DATE 05-03-2019 DRAWING 2018046_DET SHEET # C6 JOB # 2018046
TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		

SLOWSTOP Rebounding Bollard - 6" (SS6Y-42)



Color: RAL 1023 Safety Yellow Bollard
RAL 9005 Black Base

Diameter: 6.63" (6" ANSI Schedule 40)
Height: 42"

Set Screws: 8 M16 x 2.00
8mm Hex

Cap: Black Plastic

IMPACT SPEED (MPH)	2500	3000	3500	4000	4500	5000	6000	8000
3.0	2.0	2.5	3.0	3.5	4.0	4.5	5.0	6.0
4.0	2.5	3.0	3.5	4.0	4.5	5.0	6.0	7.0
5.0	3.0	3.5	4.0	4.5	5.0	5.5	6.5	7.5
6.0	3.5	4.0	4.5	5.0	5.5	6.0	7.0	8.0
7.0	4.0	4.5	5.0	5.5	6.0	6.5	7.5	8.5
8.0	4.5	5.0	5.5	6.0	6.5	7.0	8.0	9.0
9.0	5.0	5.5	6.0	6.5	7.0	7.5	8.5	9.5
10.0	5.5	6.0	6.5	7.0	7.5	8.0	9.0	10.0
11.0	6.0	6.5	7.0	7.5	8.0	8.5	9.5	10.5
12.0	6.5	7.0	7.5	8.0	8.5	9.0	10.0	11.0

Installs with eight (8) 5/8" x 5-1/2" Concrete Screw Anchors

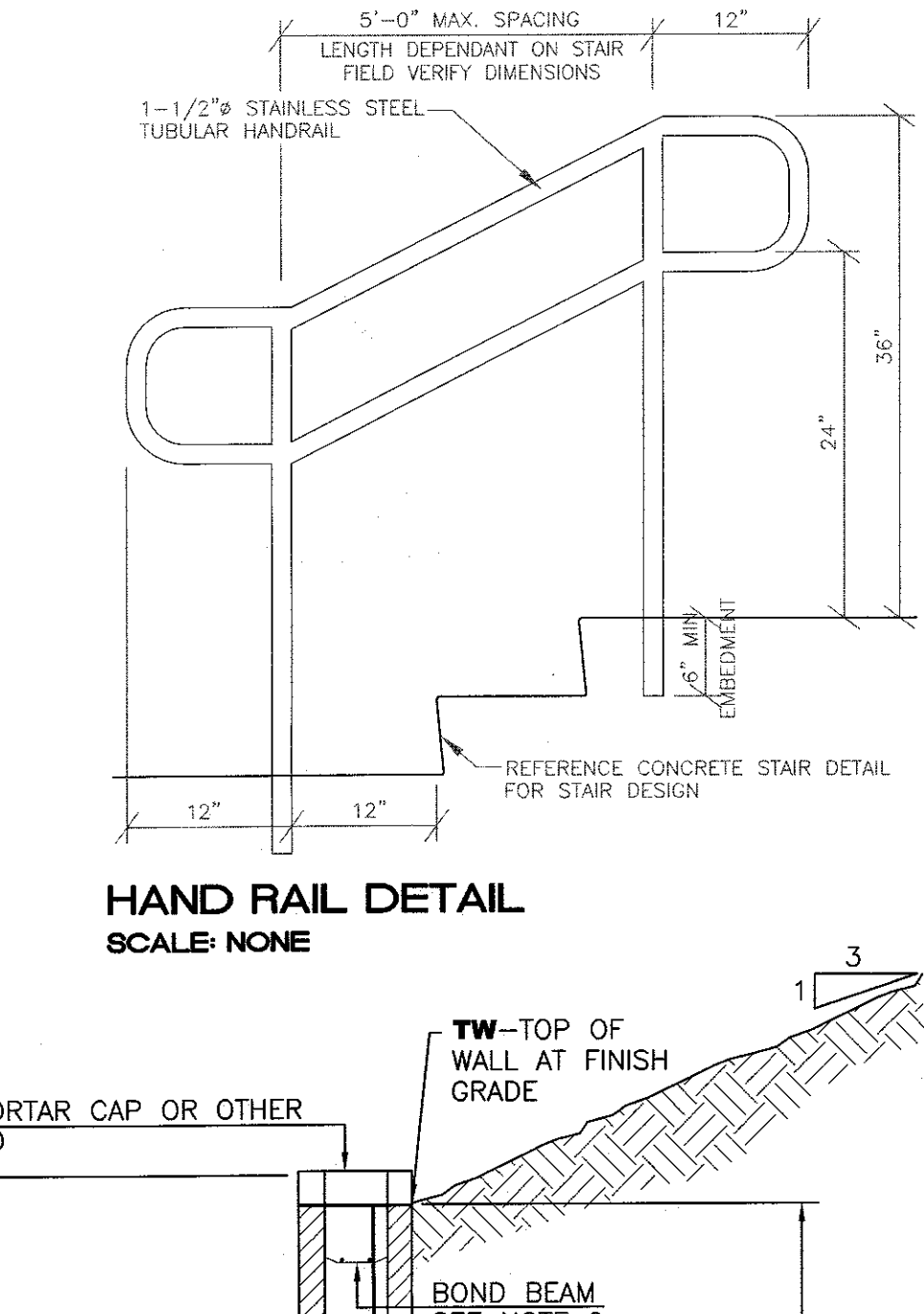
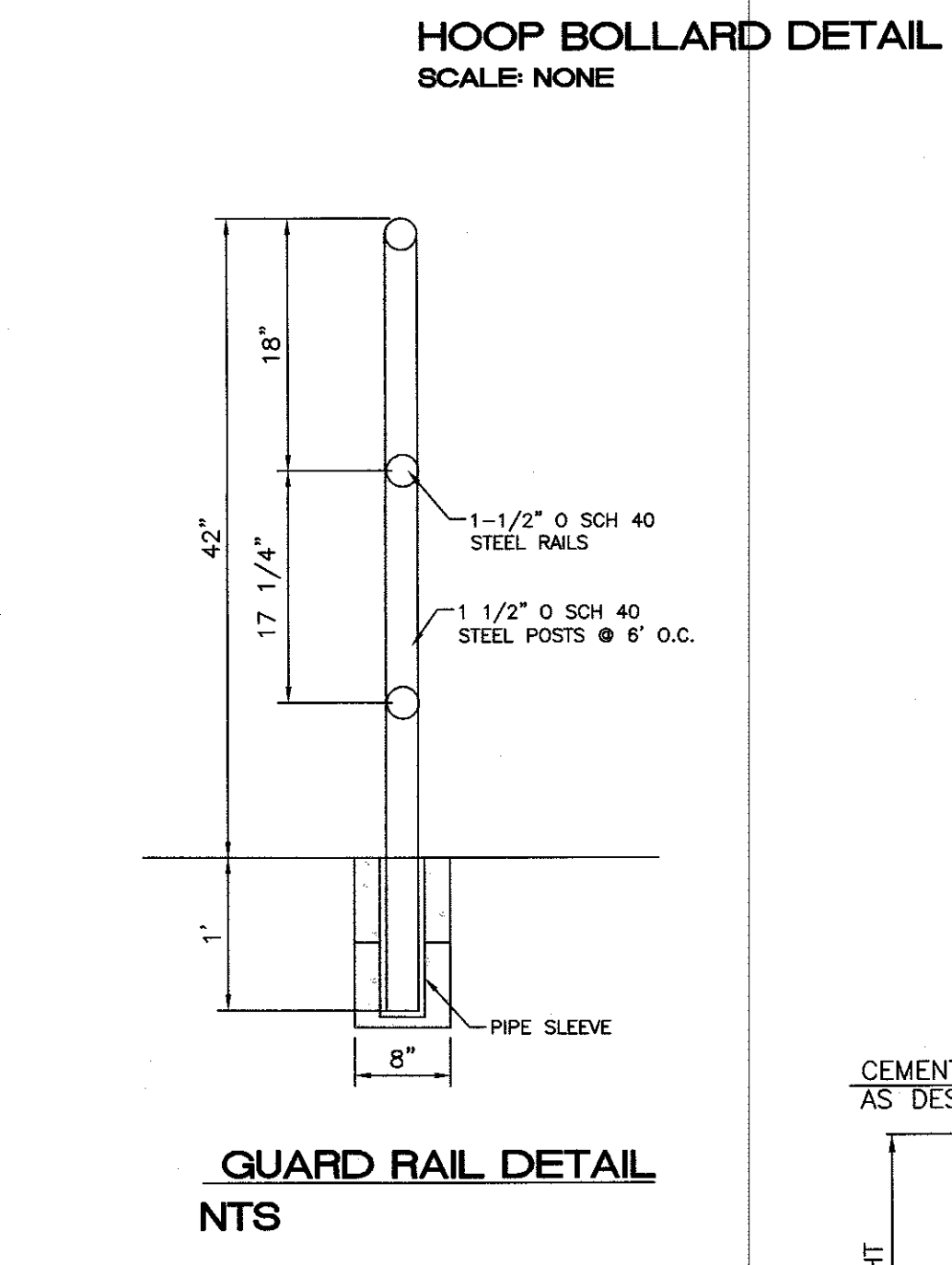
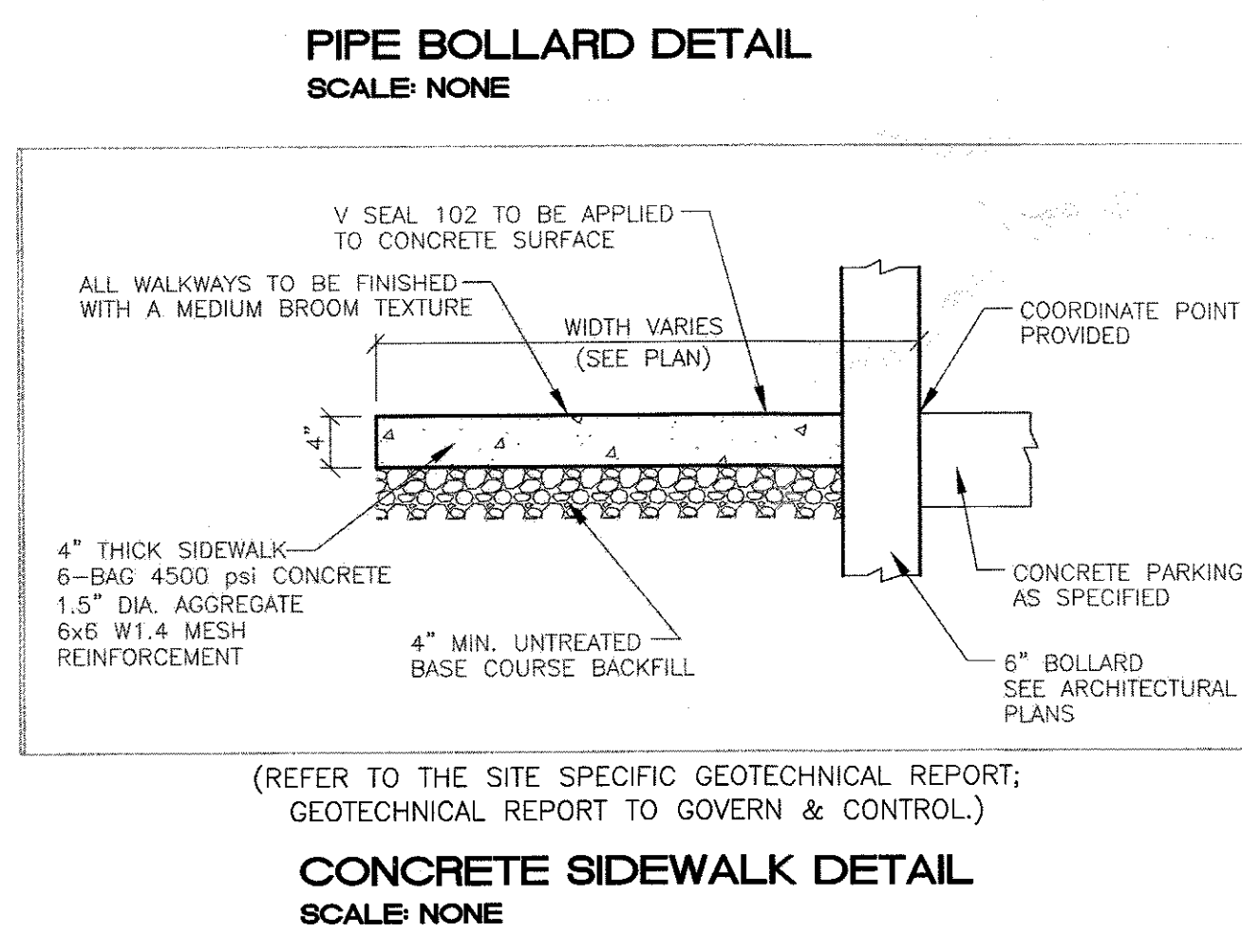
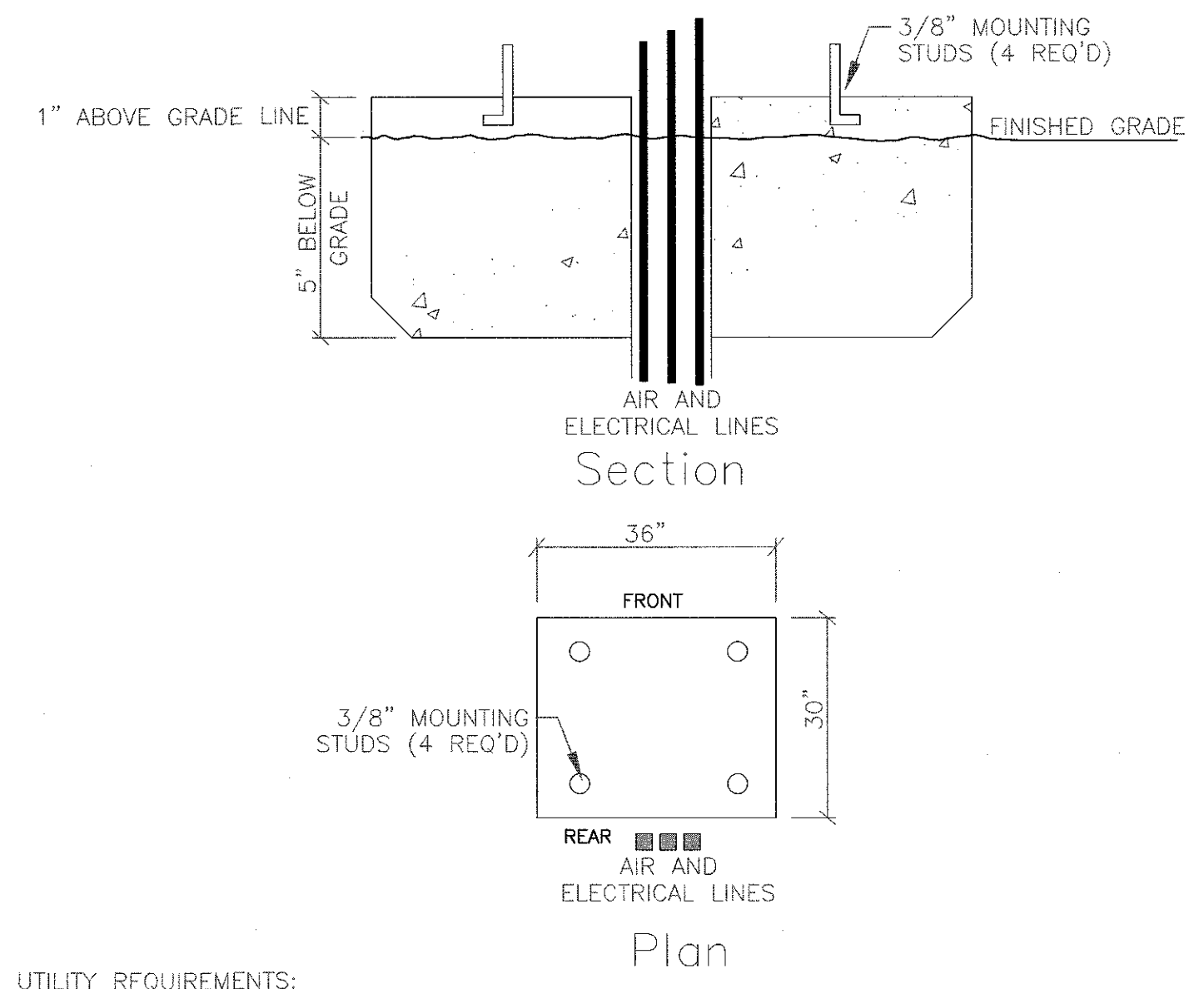
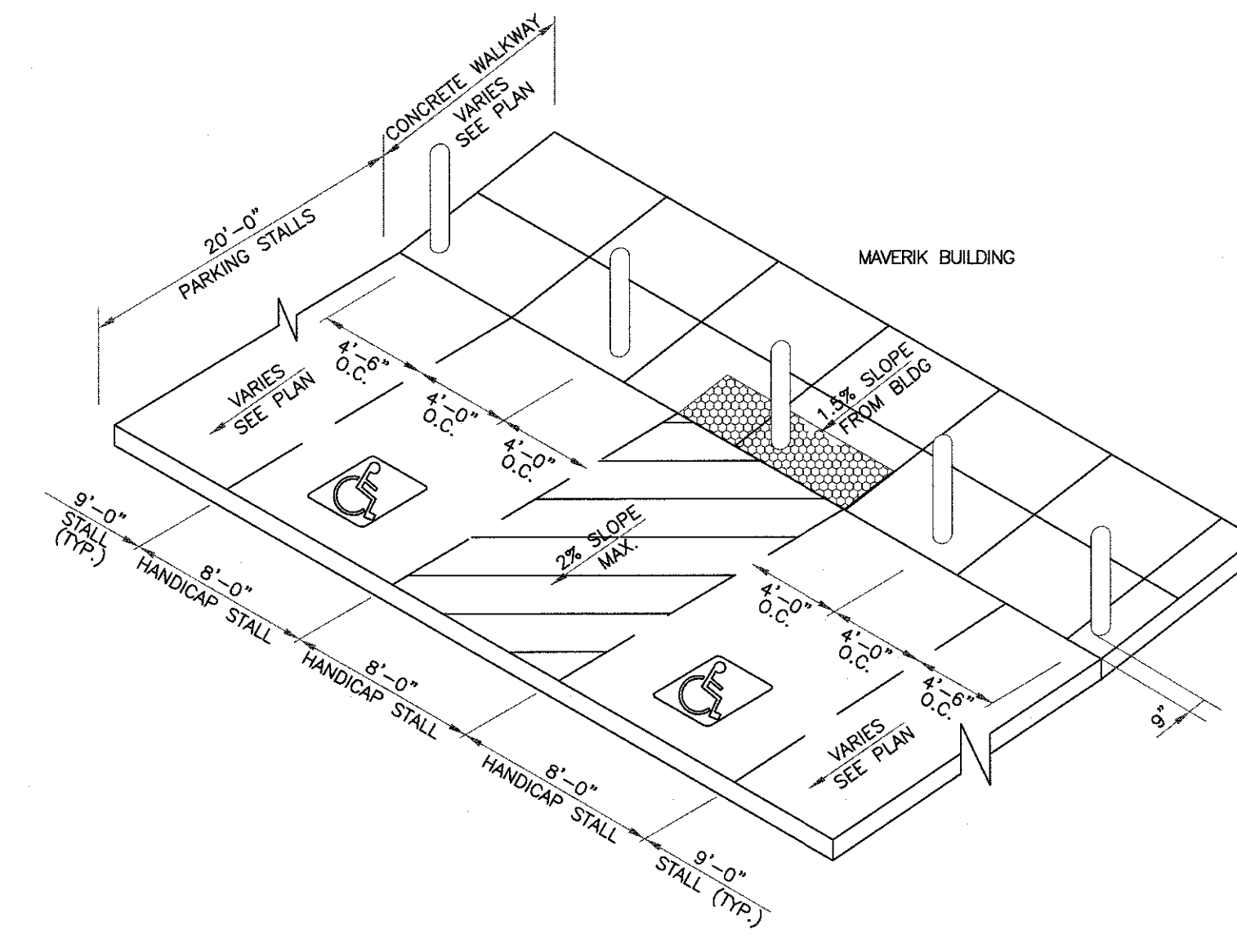
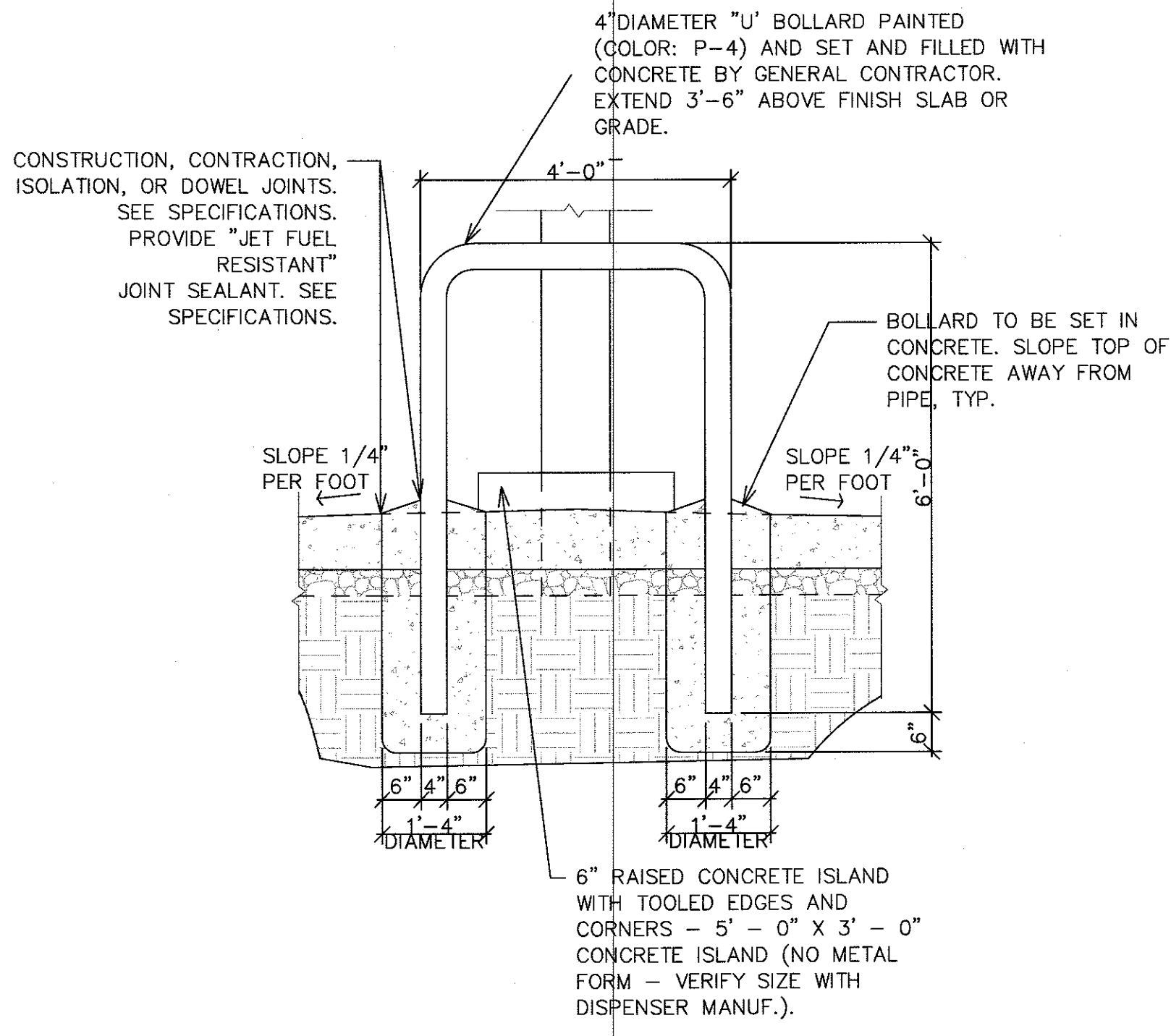
SPECIFICATIONS

- Energy Absorption: 12,934 joules / 9,536 ft.-lb
- Impact Force: 17,387 pounds @ 36" height
- Temperature Rating: -40°
- Pipe Coating: 60um Polyester Outdoor Powder Coat
- 60um Polyester Outdoor Powder Coat
- Cast Iron Coating: Environmentally Friendly Water-Based KTL Coating + Powder Coat CSI Rated

RECOMMENDED USES

- Heavy Duty
- Loading Docks and Warehouse Entrance Barriers
- Equipment and Storage Rack Guarding
- Utility Protection
- Pedestrian Safety
- Access Denial
- Post-Tensioned Concrete
- Not for R-Rated Security Use

4955 State Dr. • San Antonio, TX 78219
210-736-4477 • 800-736-5256 • Fax 210-734-6448
Email: info@slowstop.com
www.slowstop.com



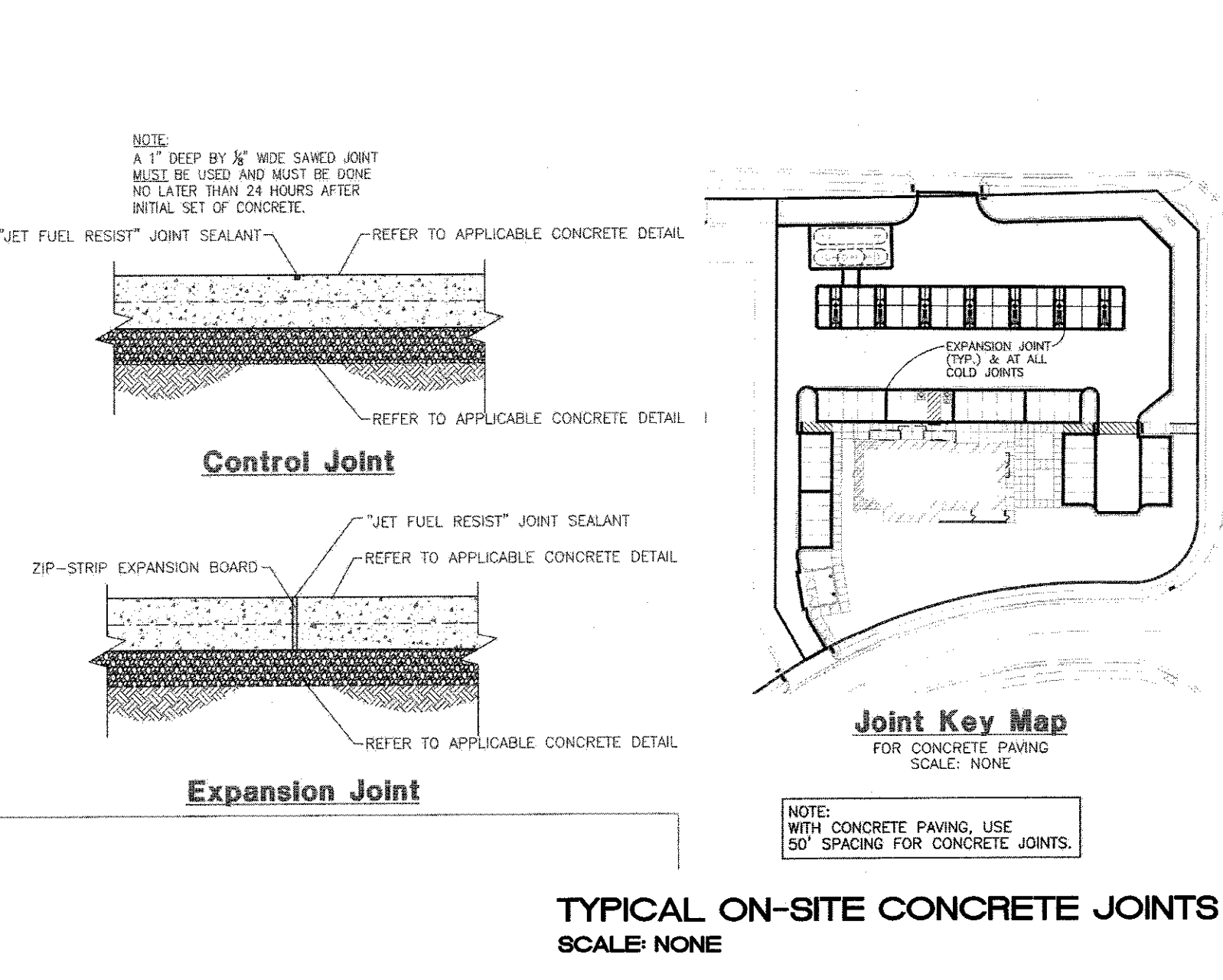
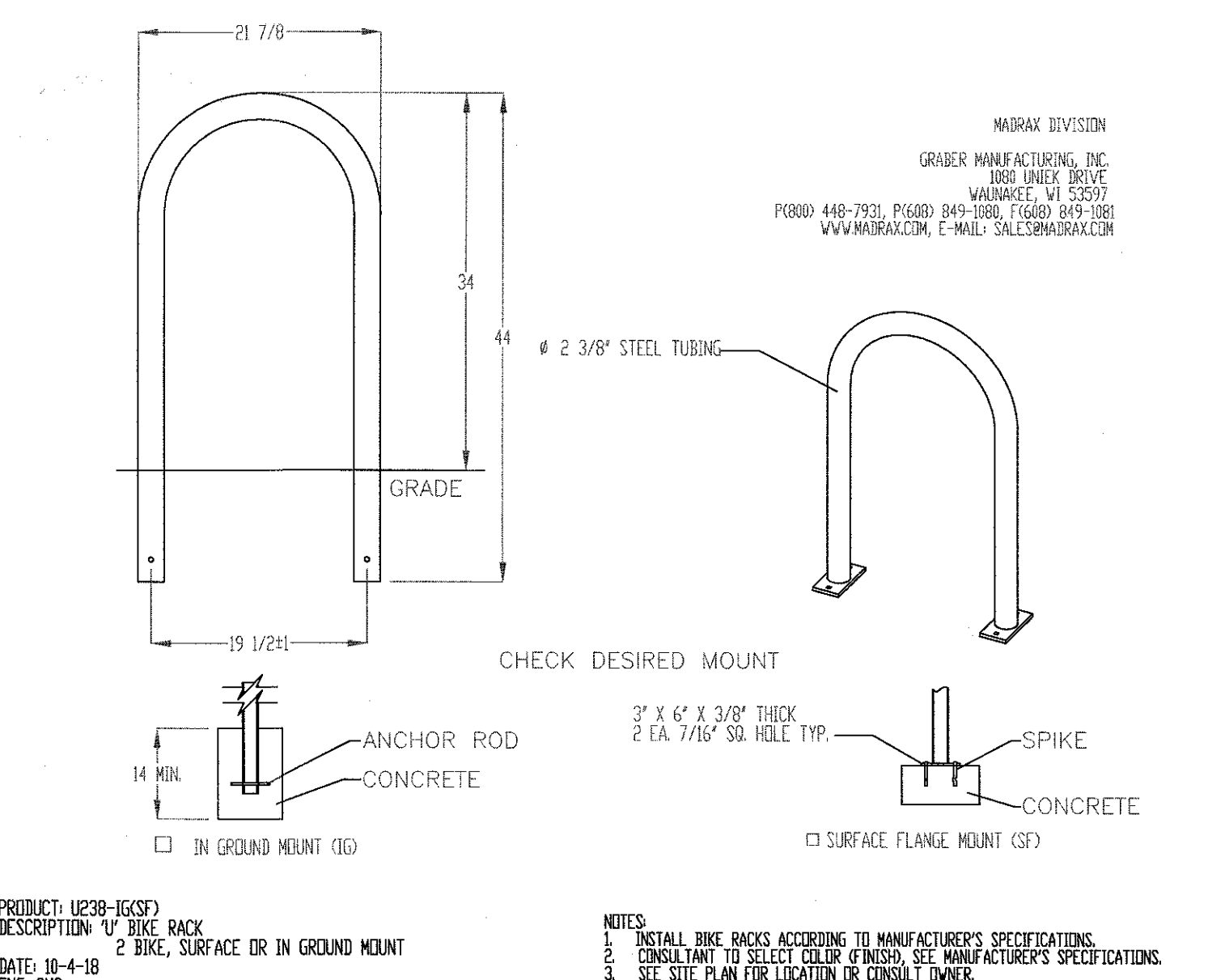
8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

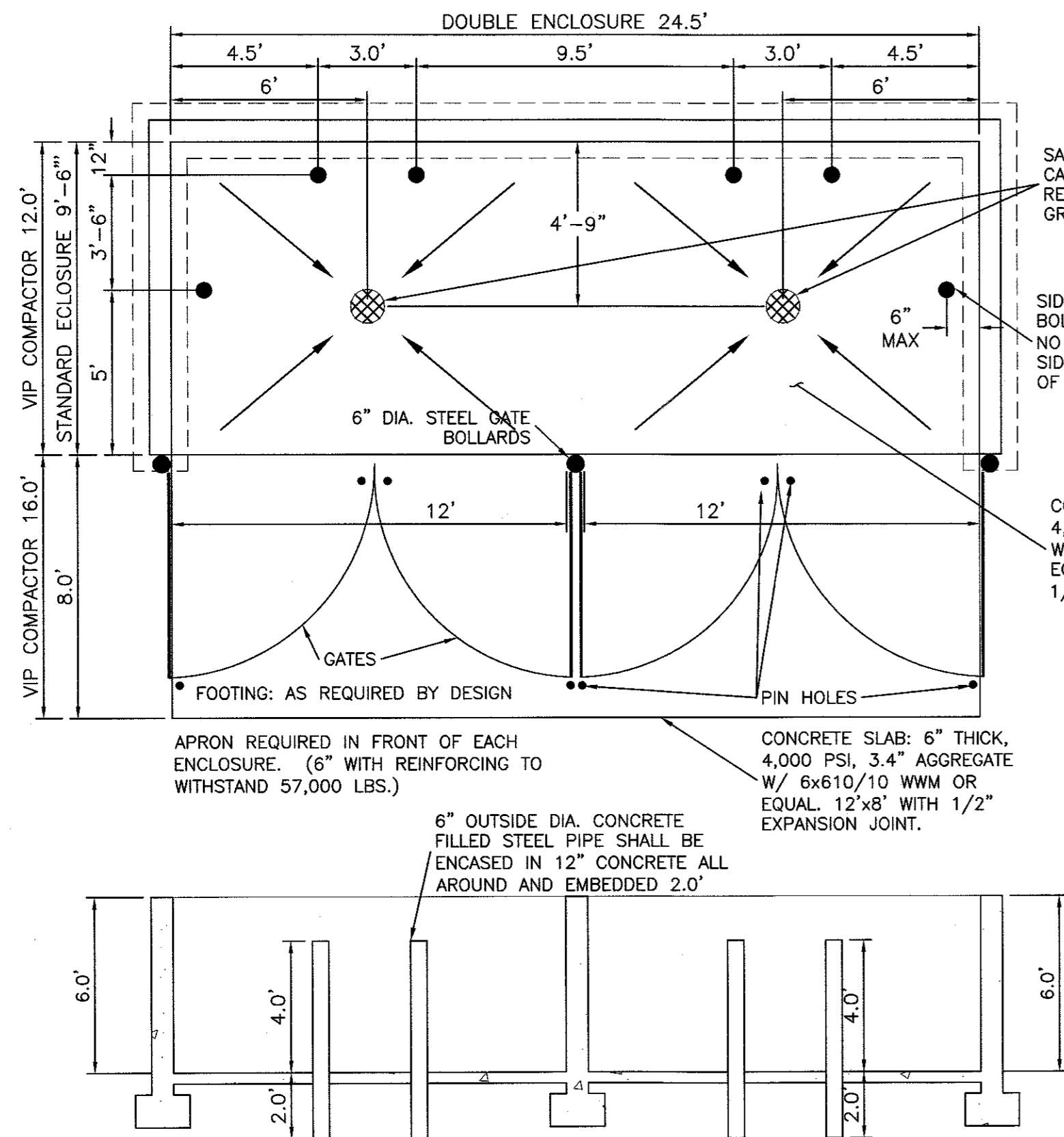
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

- ### GENERAL NOTES:
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



 5/3/2019 RONALD R. BOHANNAN P.E. #7868	MAVERIK 650 JUAN TABO BLVD. NE CONSTRUCTION DETAIL 2	DRAWN BY pm DATE 05-03-2019 DRAWING 2018046_DET
	TIERRA WEST, L.L.C. 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C7 JOB # 2018046

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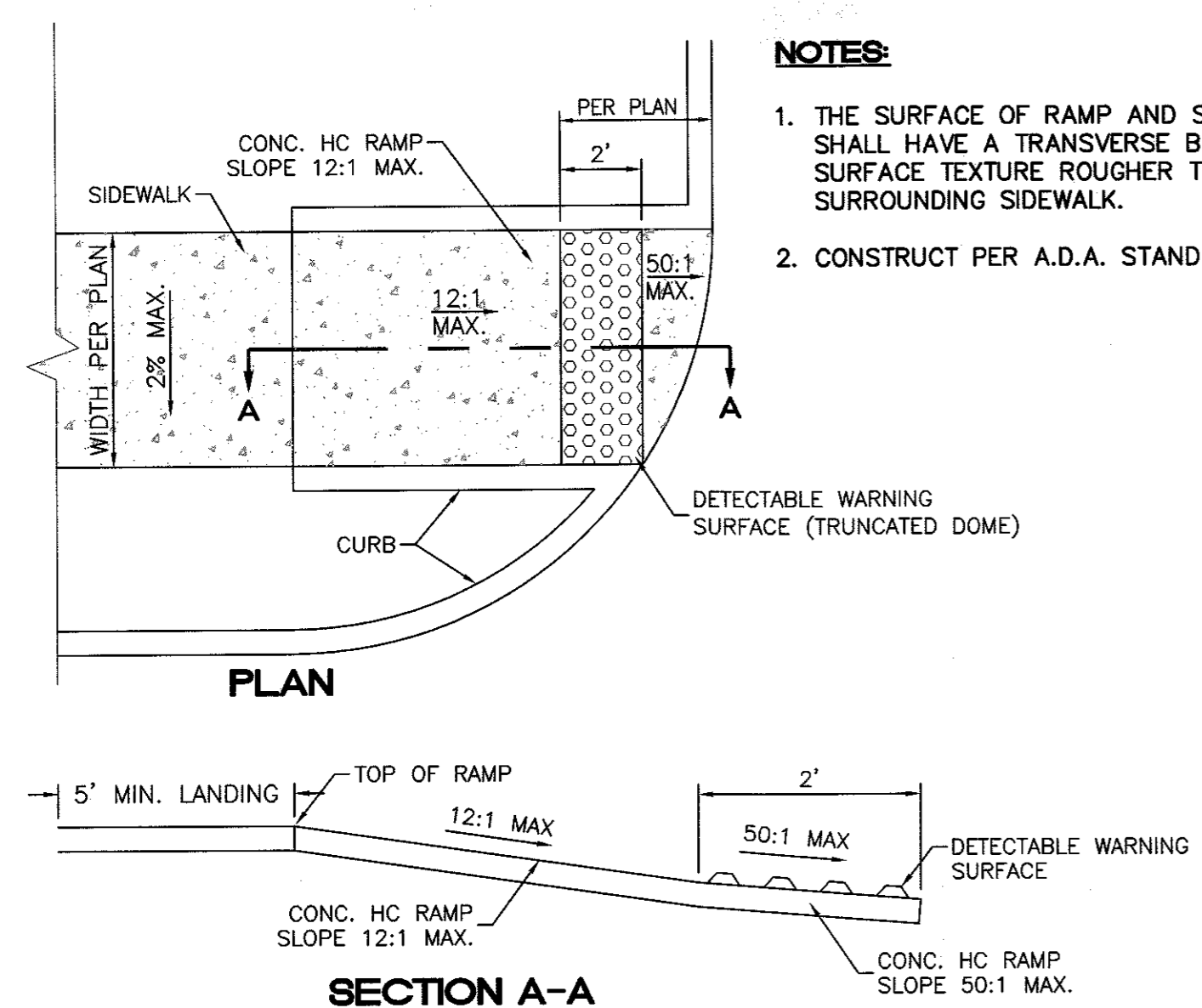


SAS DRAIN AND CLEANOUT, CAN WITHSTAND 57,000 LB. REFUSE VEHICLE. SEE GRADING PLAN FOR DETAILS.

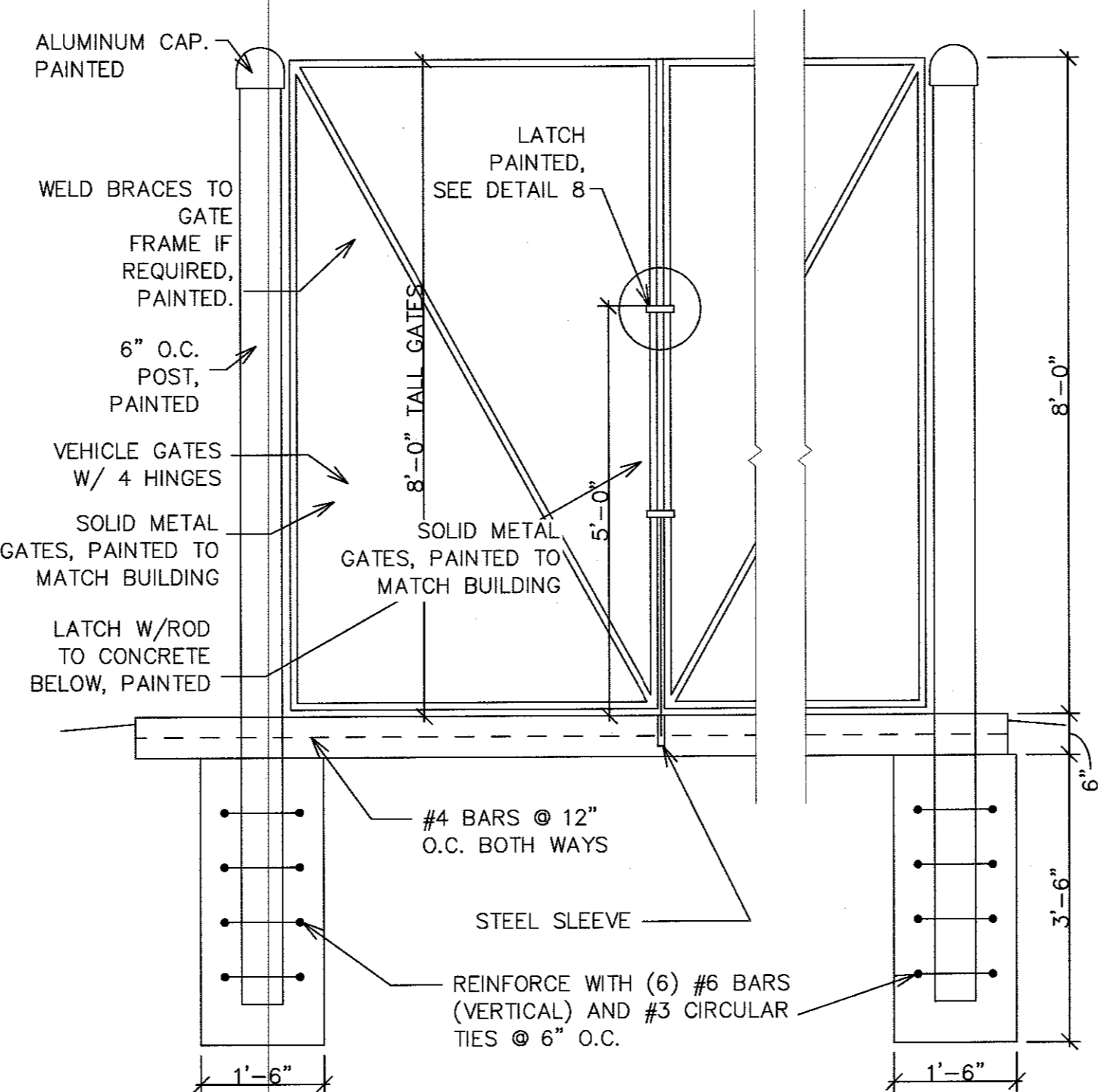
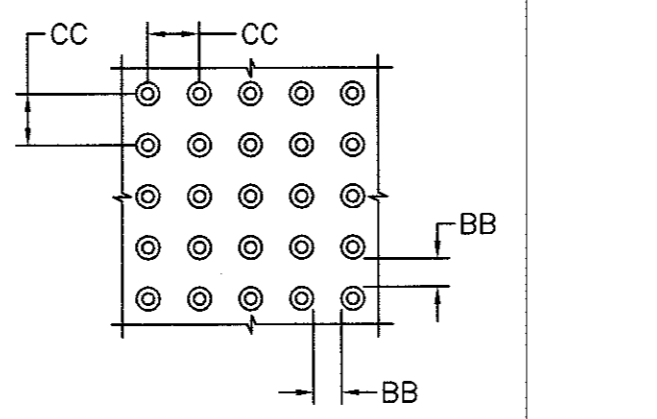
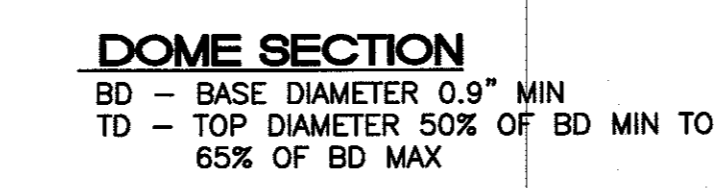
SIDE BOLLARDS REQUIRED. BOLLARDS ARE TO MEASURE NO MORE THAN 6" FROM SIDE CMU WALL TO CENTER OF BOLLARD.

- NOTE:
- THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 - SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

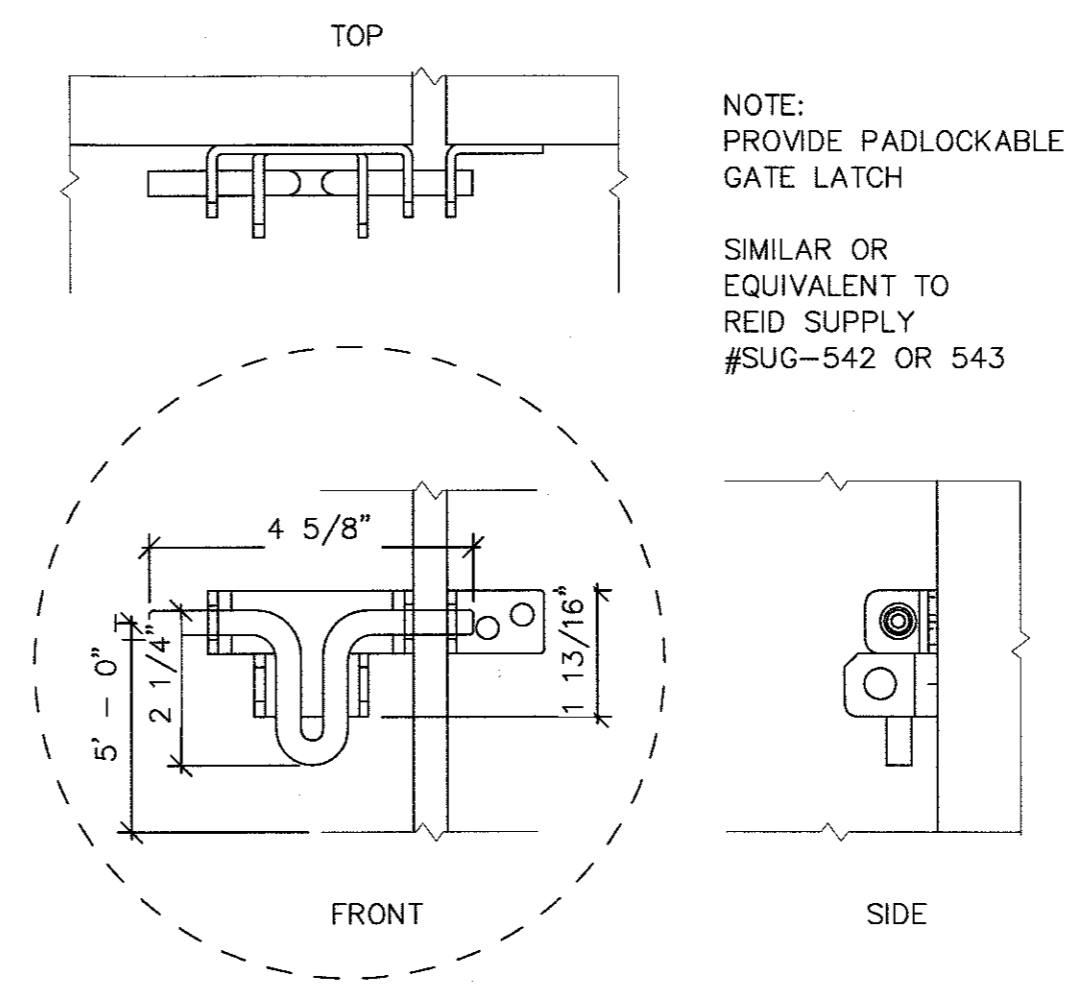
DUMPSTER w/SAS DRAIN - ENCLOSURE DETAIL
NTS



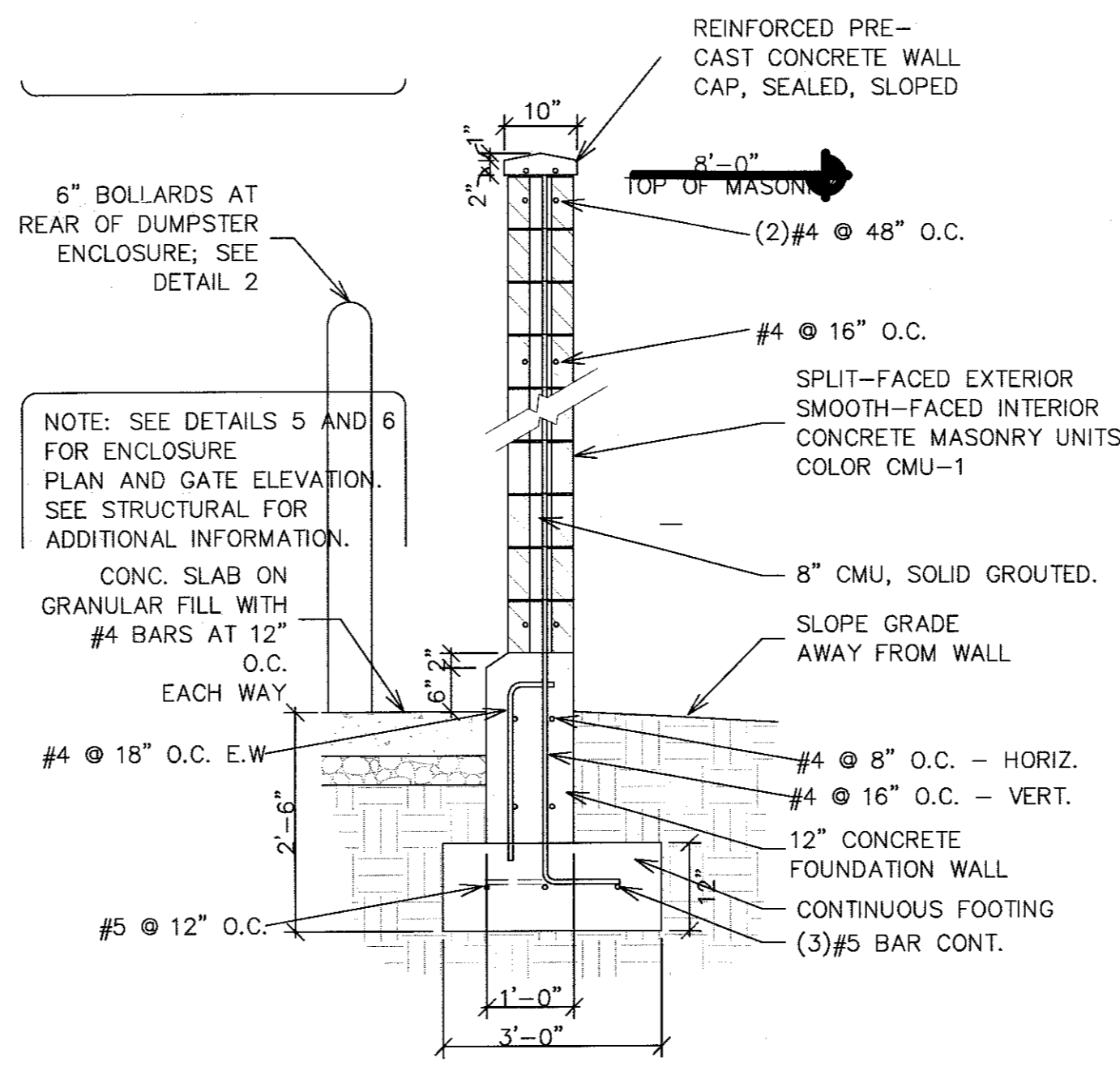
- NOTES:
- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 - CONSTRUCT PER A.D.A. STANDARDS.



Dumpster Enclosure Gate Detail
SCALE: NONE

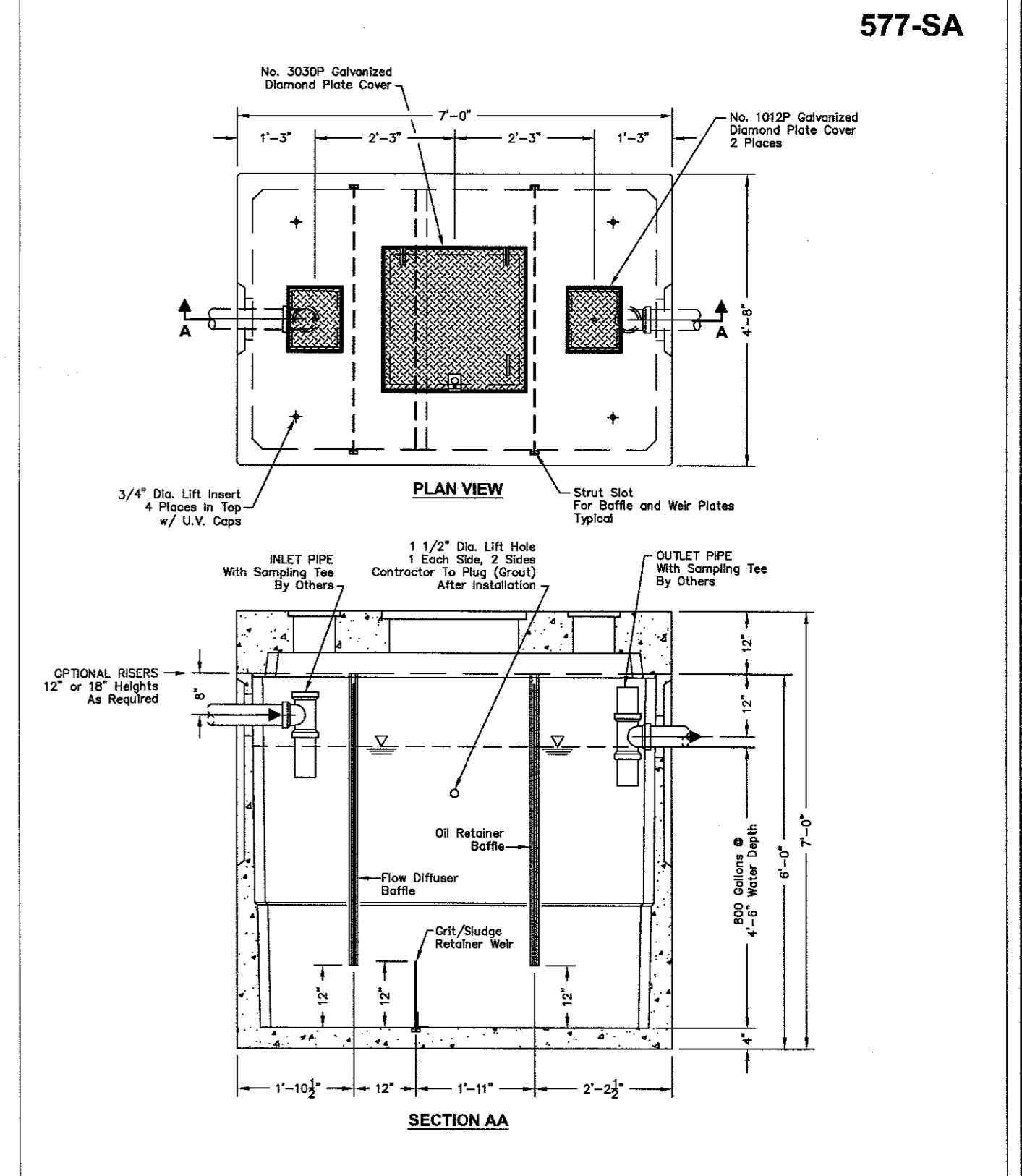
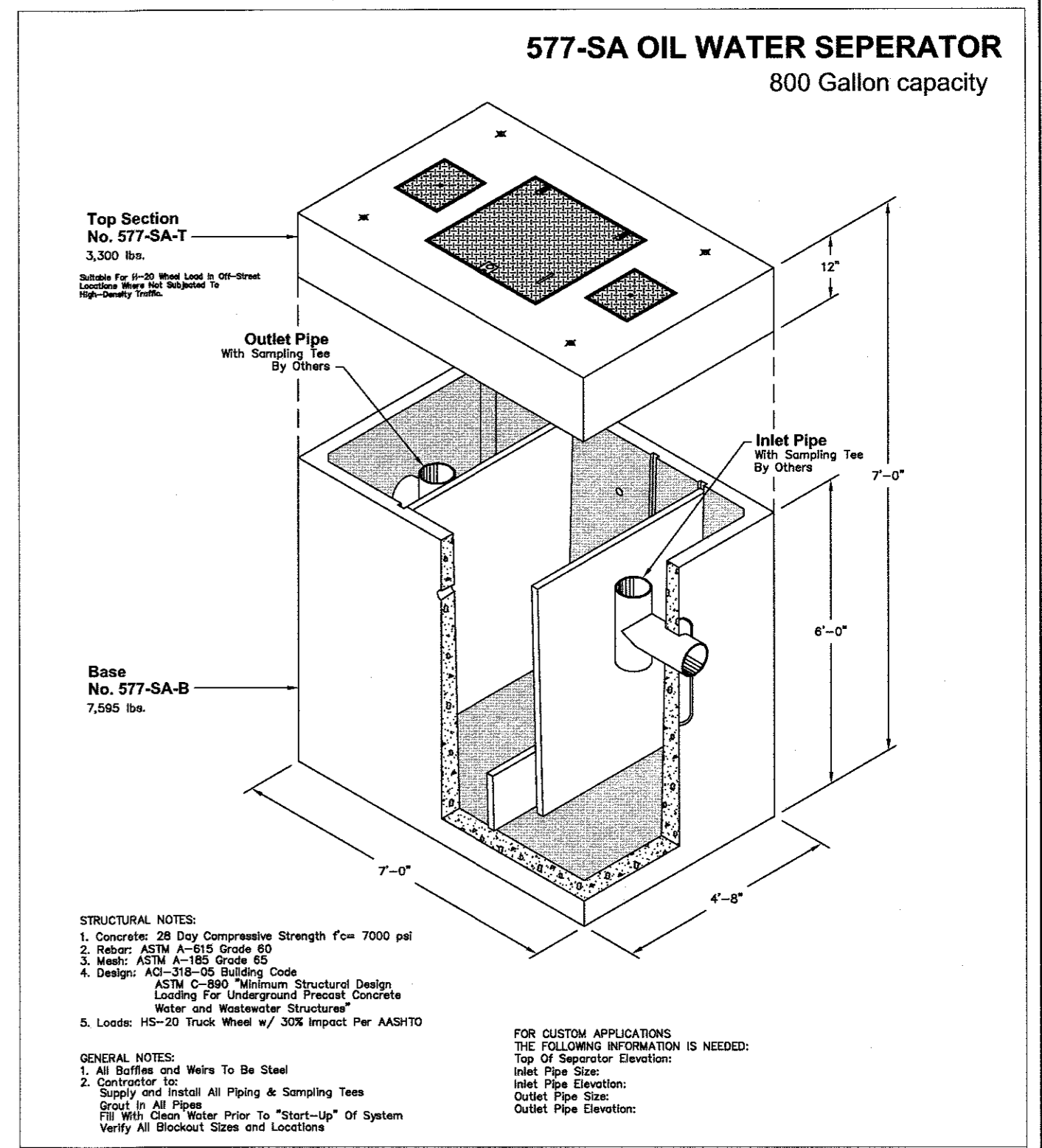


Dumpster Enclosure Gate Latch Detail
SCALE: NONE

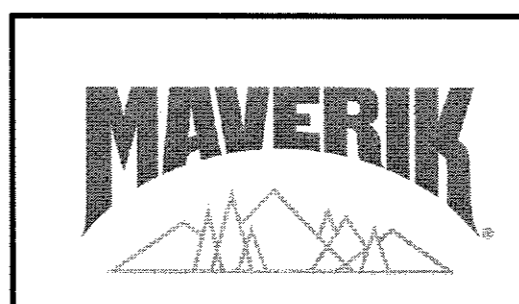


NOTE: SEE DETAILS 5 AND 6 FOR ENCLOSURE PLAN AND GATE ELEVATION. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.

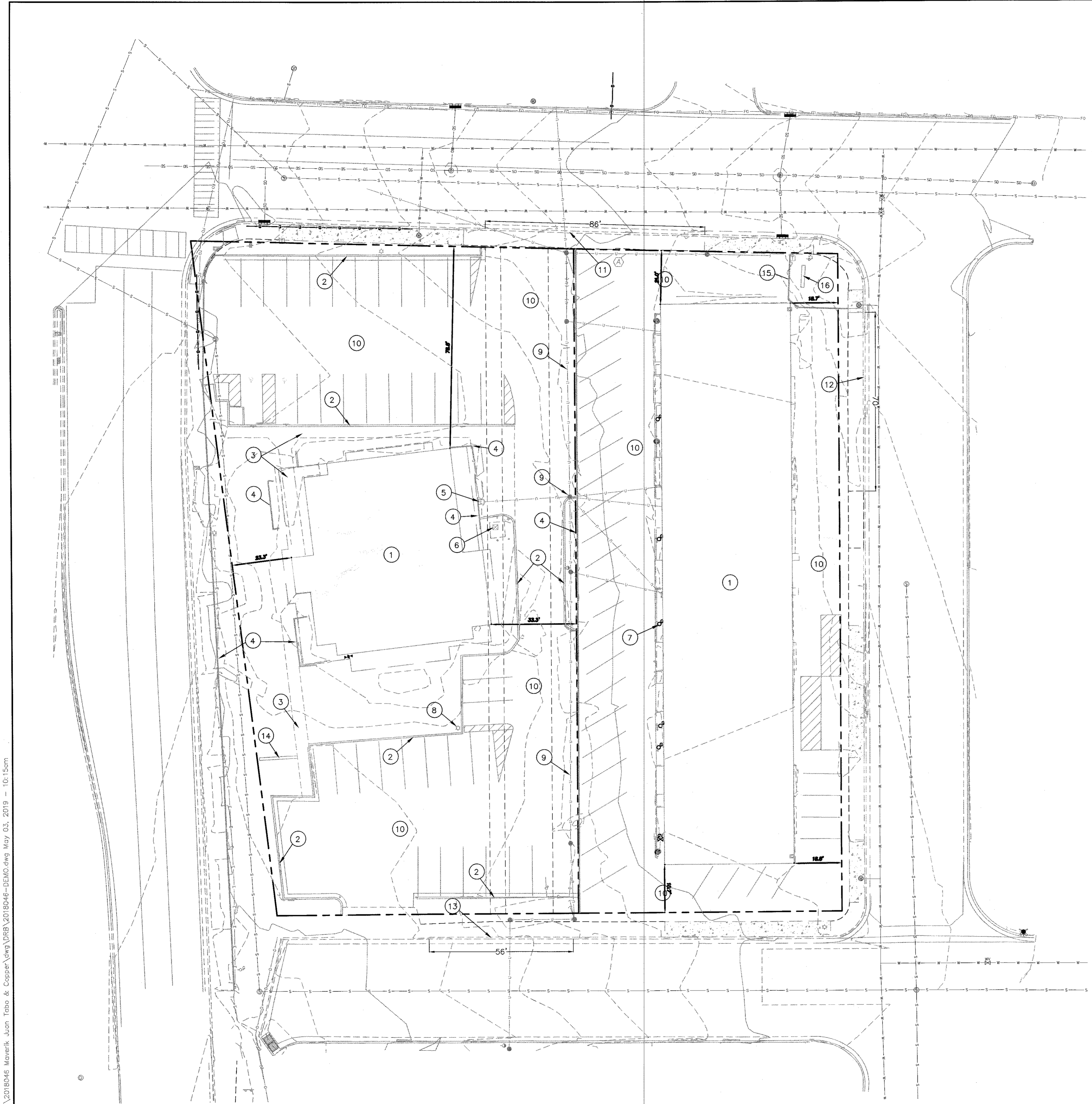
Dumpster Enclosure Wall Section
SCALE: NONE



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	MAVERIK 650 JUAN TABO BLVD. NE CONSTRUCTION DETAIL 3	DRAWN BY pm DATE 05-03-2019 DRAWING 2018046_DET SHEET # C8 JOB # 2018046
	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	

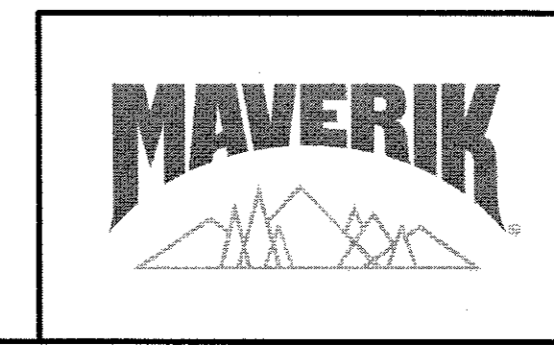


LEGEND

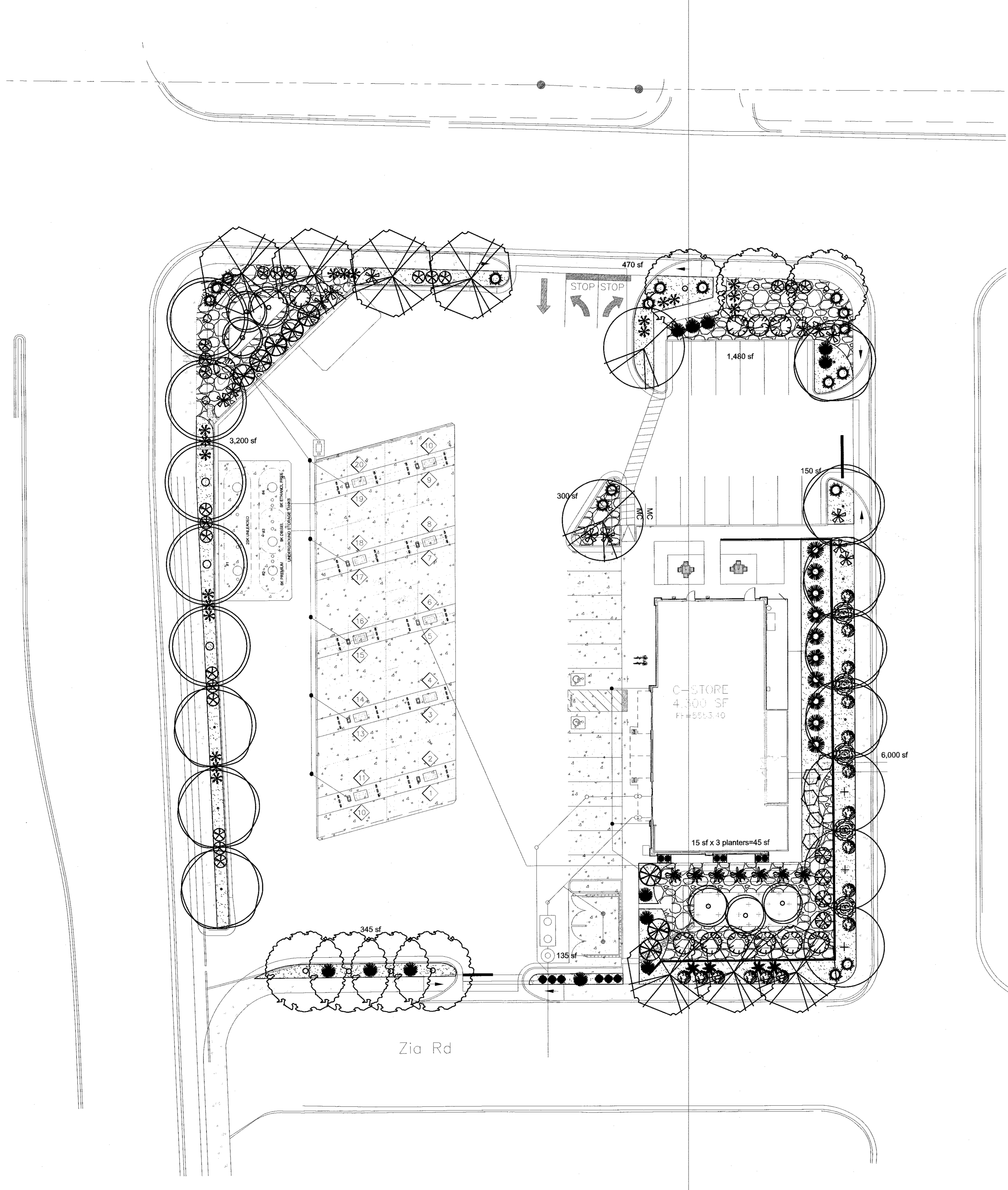
	EXISTING CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING WATER LINE
	EXISTING STORM LINE
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	EXISTING SAS LINE
	EXISTING SAS MANHOLE
	EXISTING WATER LINE
	EXISTING WATER VALVE
	EXISTING OVERHEAD POWER LINE
	EXISTING POWER POLE
	EXISTING ELECTRIC LINE
	EXISTING WALL
	EXISTING ELECTRICAL BOX
	EXISTING TRANSFORMER
	EXISTING LIGHT STANDARD
	EXISTING TELEPHONE PEDESTAL

- KEYED NOTES**
- 1 REMOVE AND DISPOSE EXISTING BUILDING AND FOUNDATION
 - 2 REMOVE AND DISPOSE EXISTING CURB AND GUTTER
 - 3 REMOVE AND DISPOSE EXISTING CONCRETE SIDEWALK
 - 4 REMOVE AND DISPOSE EXISTING WALL
 - 5 REMOVE AND DISPOSE EXISTING ELECTRICAL BOX
 - 6 REMOVE EXISTING TRANSFORMER, RETURN TO PNM
 - 7 REMOVE AND DISPOSE EXISTING GAS METER (TYP)
 - 8 REMOVE AND DISPOSE EXISTING LIGHT STANDARD
 - 9 EXISTING POWER LINE AND POLES TO BE RELOCATED (BY OTHERS)
 - 10 REMOVE AND DISPOSE ALL EXISTING ASPHALT
 - 11 REMOVE AND DISPOSE 86 LF EXISTING CURB AND GUTTER AND SIDEWALK
 - 12 REMOVE AND DISPOSE 70 LF EXISTING CURB AND GUTTER AND SIDEWALK
 - 13 REMOVE AND DISPOSE 56 LF EXISTING CURB AND GUTTER AND SIDEWALK
 - 14 REMOVE AND DISPOSE EXISTING SIGN
 - 15 EXISTING WALL TO REMAIN
 - 16 EXISTING SIGN TO REMAIN

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ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MAVERIK 650 JUAN TABO BLVD. NE DEMOLITION PLAN	DRAWN BY pm DATE 05-03-2019 DRAWING 2018046-DEMO
	 TERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C9 JOB # 2018046



SITE DATA

GROSS LOT AREA (1.41 ac)	61,753 SF
LESS BUILDING(S)	4,300 SF
NET LOT AREA	57,453 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	8,618 SF
PROPOSED LANDSCAPE	12,125 SF
PERCENT OF NET LOT AREA	21 %
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	SF
PROPOSED HIGH WATER USE TURF	SF
PERCENT OF LANDSCAPE AREA	%

REQUIRED STREET TREES 1 PER 30' L.F. OF STREET FRONTAGE	29
PROVIDED STREET TREES	29
REQUIRED PARKING LOT TREES 1 PER 10 SPACES	
27 SPACES/10	3
PROVIDED PARKING LOT TREES	3
TOTAL TREE REQUIRED/PROVIDED (2" cal or 6' ht.)	32/32

REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (12,125 SF PROPOSED LANDSCAPE X 75%)	9,094 SF MIN.
GROUND COVER COVERAGE	8,478 SF
NATIVE SEED COVERAGE	775 SF
TOTAL GROUND COVER COVERAGE	9,253 SF
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	76%

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10 AND I.D.O.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

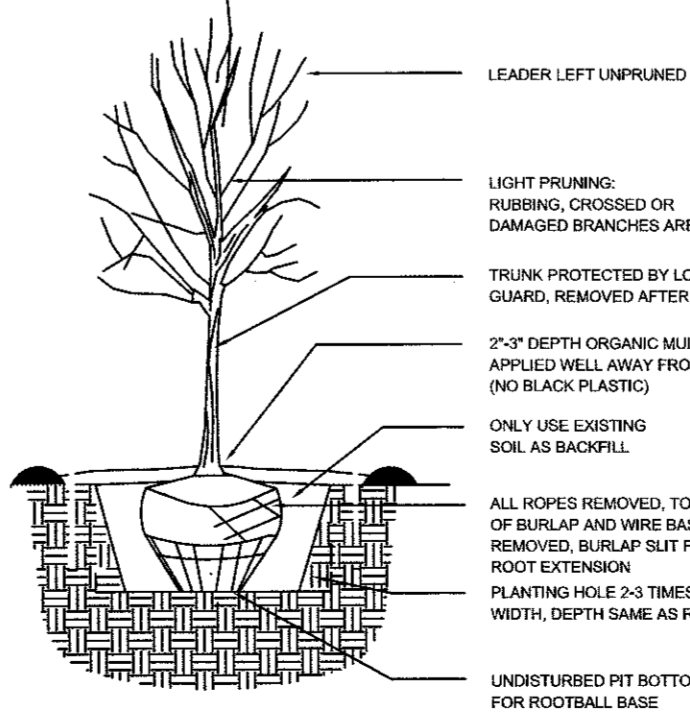
PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
7		Quercus Texas Red Oak	2" B&B	50'/45'	40 sf=280 sf	Medium	6-2 gph
3		Ulmus Lacebark Elm	2" B&B	50'/20'	40 sf=120 sf	Medium	6-2 gph
5		Callis occidentalis Common Hackberry	2" B&B	40'/40'	35 sf=175 sf	Medium + 6-2 gph	
8		Gleditsia triacanthos inermis Honeylocust	2" B&B	50'/45'	30 sf=240 sf	Medium	6-2 gph
7		Pistacia chinensis Chinese Pistache	2" B&B	30'/35'	45 sf=315 sf	Medium + 6-2 gph	
2		Prunus cerasifera Purple Leaf Plum	2" B&B	20'/20'	35 sf=70 sf	Medium	6-2 gph
6		Forestiera NM Olive	15-Gal	20'/20'	100 sf=600 sf	Medium	6-2 gph
Shrubs/Groundcovers							
16		Caryopteris clandonensis Blue Mist	1-Gal	3'/3'	25 sf=400 sf	Medium	2-2 gph
21		Eriocameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	4'/4'	35 sf=735 sf	Low	2-1 gph
5		Fallugia Apache Plume	5-Gal	6'/7'	49 sf=245 sf	Low	2-2 gph
17		Juniperus sabinia 'Buffalo' Buffalo Juniper (female)	5-Gal	11'/12'	70 sf=1190 sf	Low +	2-2 gph
8		Caesalpinia Bird of Paradise	5-Gal	8'/8'	100 sf=800 sf	Medium	2-2 gph
4		Perovskia atriplicifolia Russian Sage	5-Gal	5'/5'	30 sf=120 sf	Medium	2-2 gph
11		Rhus trilobata 3 Leaf Sumac	5-Gal	6'/6'	30 sf=330 sf	Medium	2-2 gph
5		Chamaebatia Fernbush	5-Gal	5'/6'	64 sf=320 sf	Medium+	2-2 gph
13		Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	35 sf=455 sf	Low	2-2 gph
12		Dasyliiron Sotol	5-Gal	5'/5'	35 sf=420 sf	Medium+	2-2 gph
7		Rosmarinus officinalis Rosemary	5-Gal	6'/6'	64 sf=448 sf	Low +	2-2 gph
6		Nandina Firepower Heavenly Bamboo	5-Gal	3'/3'	20 sf=120 sf	Medium+	2-2 gph
Grasses							
10		Panicum Switch Grass	5-Gal	8'/6'	40 sf=400 sf	Medium	2-2 gph
6		Calamagrotis Karl Foerster Grass	1-Gal	3'/2'	10 sf=60 sf	Medium	2-2 gph
19		Muhlenbergia Deer Grass	5-Gal	4'/4'	25 sf=475 sf	Low+	2-2 gph
4		Nolina Bear Grass	5-Gal	5'/5'	40 sf=160 sf	Low+	2-2 gph

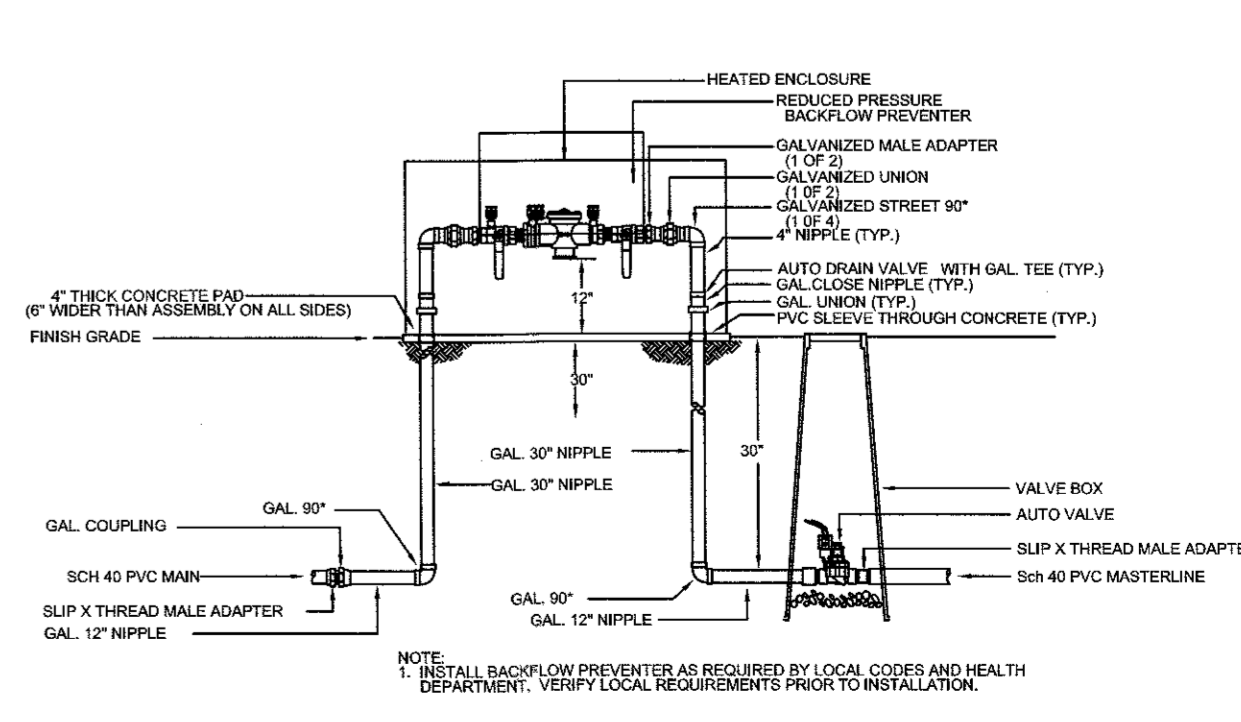
MATERIALS LEGEND

- 1/4" CRUSHED GRAVEL AT 2" DEPTH
- 2"-4" COBBLESTONE AT 4" DEPTH
- NATIVE SEED

Total Landscape Coverage=8,478 SF

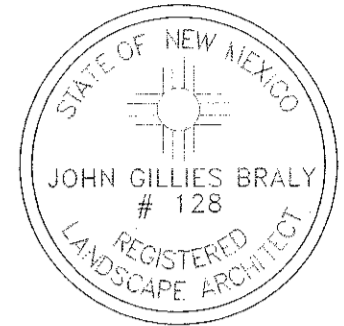


TREE PLANTING DETAIL



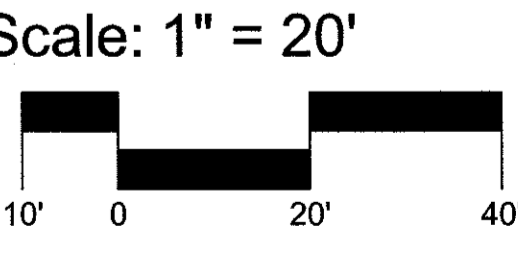
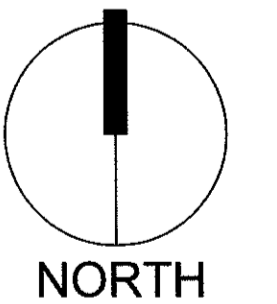
RP BACKFLOW/MASTER VALVE DETAIL

growing better **Up Heads**
LANDSCAPE CONTRACTORS
www.headsuplandscape.com
PO Box 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com



Date: 01/21/19
Revisions:
▲ 2/20/19
▲ 2/27/19
▲
▲
▲
▲
Drawn by: jc
Reviewed by: jb

Maverik
Fueling Station
650 Juan Tabo NE
Albuquerque, New Mexico



Sheet Title:
Landscape Plan

Sheet Number:

LS-01

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The colors shown are only approximated on any computer monitor, inkjet or laser print. The final product may vary slightly in color from your computer monitor or print.

This sign will be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions

No.	Date / Description
Initial (RD)	09.05.2018
R1	09.06.2018
R2	04.29.2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

.....
YESCO A/E Signature / Date

.....
Client Signature / Date

.....
Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 04.29.2019

Site Map

17594

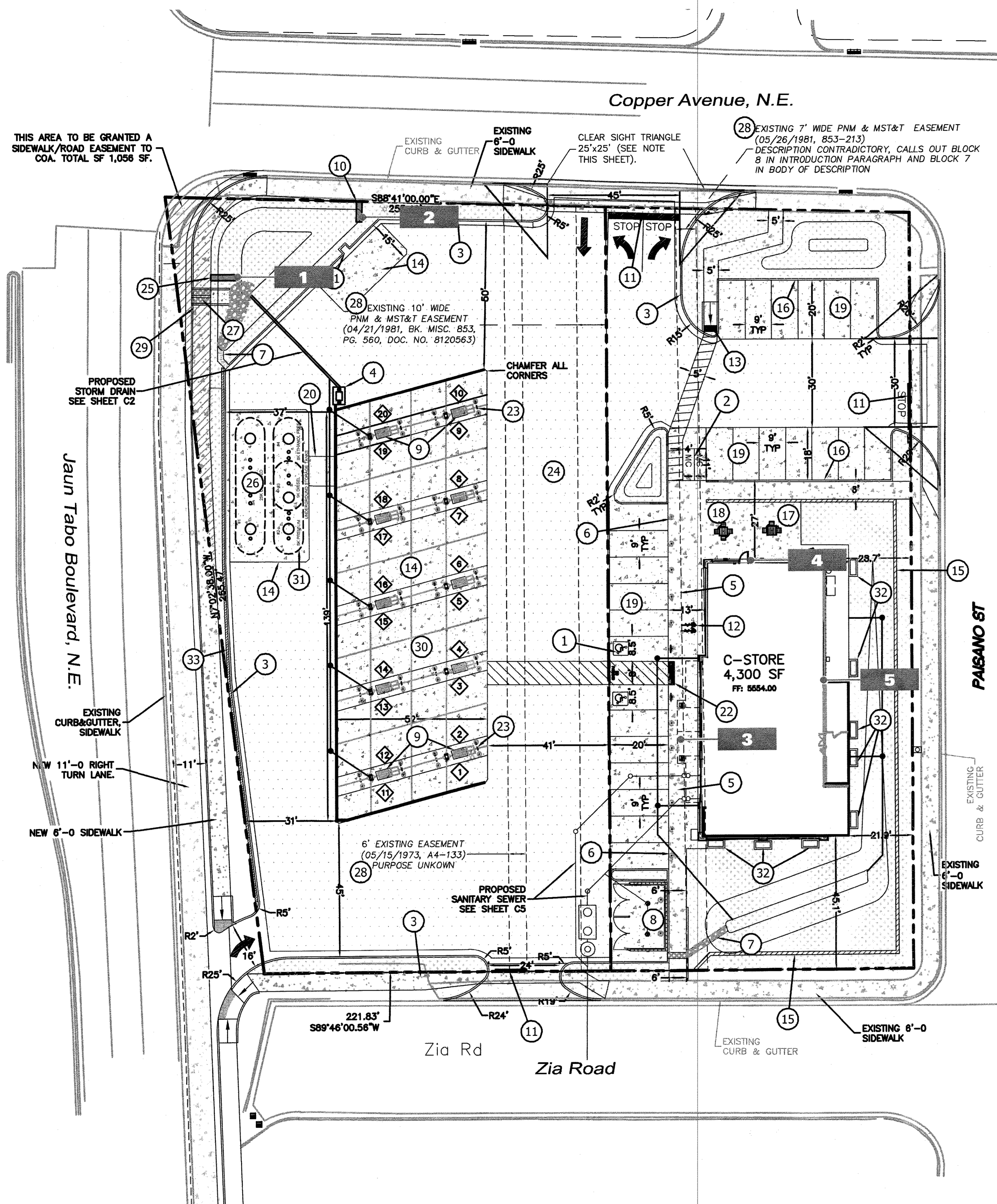
R2

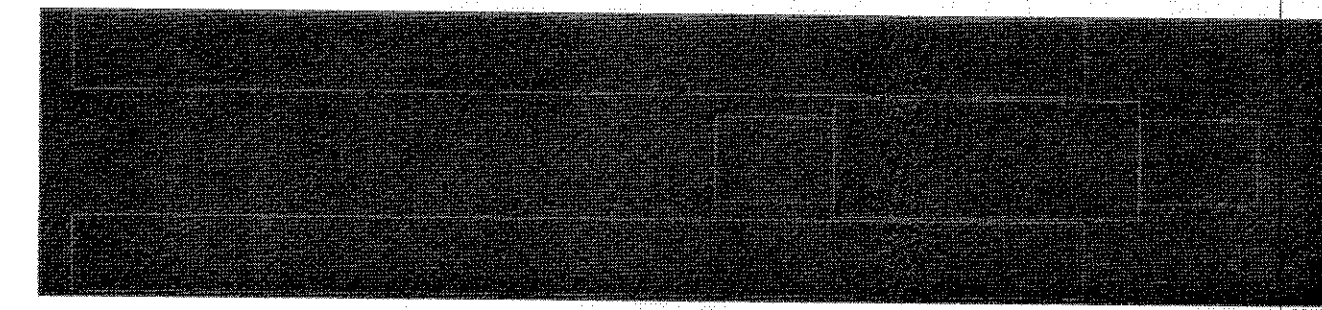
JO #

scale: as noted

ART

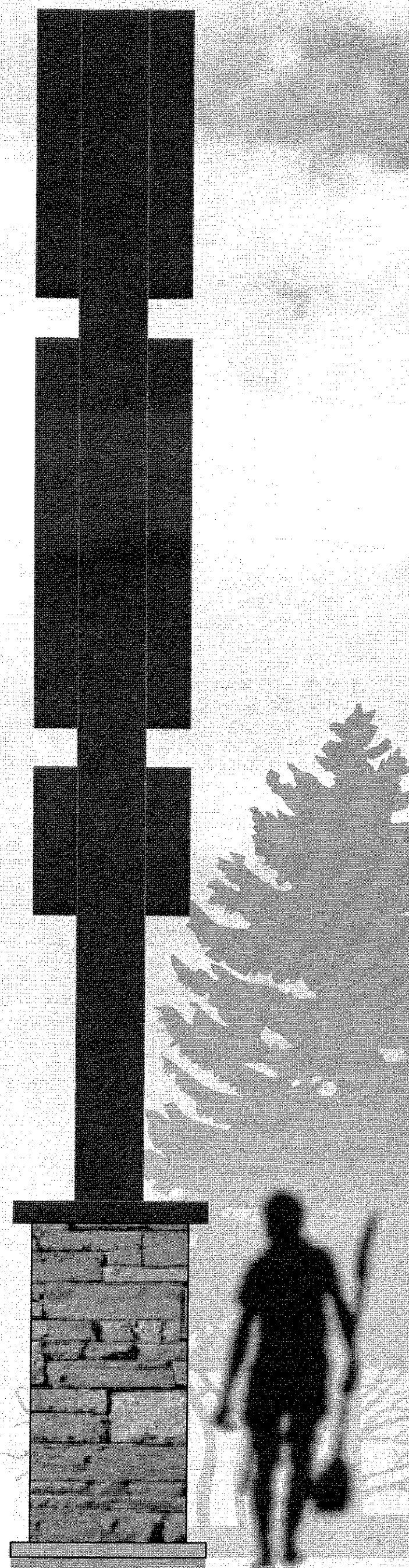
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1.3 TOP VIEW

All widths to be determined by pipe size & Led price cab.



1.1 SIDE VIEW



1 D/F ILLUMINATED PYLON SIGN

SCALE: 1/4" = 1'-0"

Internally illuminated extruded aluminum cabinet w/ painted finish [see color key]. Retainer size as req. White polycarbonate face w/ 1st surface vinyl [see color key]. White L.E.D illumination.

L.E.D. price changer aluminum cabinets w/ painted finish [see color key]. Retainer size as req. White polycarbonate faces for products w/ 1st surface vinyl [see color key]. White L.E.D illumination.

Internally illuminated extruded aluminum cabinets w/ painted finish [see color key]. 1 5/8" retainer. White polycarbonate face w/ 1st surface digitally printed graphics [color correct-ed]. White L.E.D illumination.

Painted aluminum pole covers to be painted to resemble wood. Pipe and pole cover widths to be determined by engineer.

Aluminum cap w/ no structure.

YESCO to provide durarock base. Contractor to provide stone vanveer.

3" mowpad provided by YESCO.



1.2 REVERSE VIEW

SCOPE OF WORK:
MANUFACTURE & INSTALL ONE (1) POLE SIGNS WITH FLAG MOUNTED CABINETS.

ELECTRICAL
POWER TO DISPLAY LOCATION: BY OTHERS OR EXISTING
HOOKUP AT DISPLAY: BY YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	VINYL	3M 3630-69 DURANODIC
2	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
3	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
4	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
	PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

YESCO
DESIGN

1605 South Gramercy Rd.
Salt Lake City, UT 84104
801.487.8481

www.yesco.com
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R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM
Acct. Exec: Matt Wren
Designer: Justin Raymond

Date: 04.29.2019

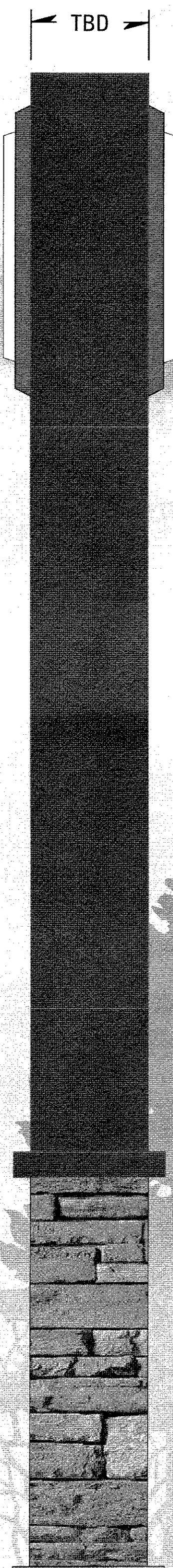
Pylon Sign

17594 **R2**

JO #

scale: as noted
ART **1.0**

DSGN_17594_Maverik - Albuquerque - ART 1.0_Pole Sign.ai



2.1 SIDE VIEW



2 D/F ILLUMINATED MONUMENT SIGN
SCALE: 1/2" = 1'-0"

Sign Area: 24.5ft²
Internally illuminated aluminum cabinet w/ painted finish [see color key]. Retainer size as req. Clear formed face w/ 2st surface decoration [see color key] (only copy is raised). White L.E.D illumination.

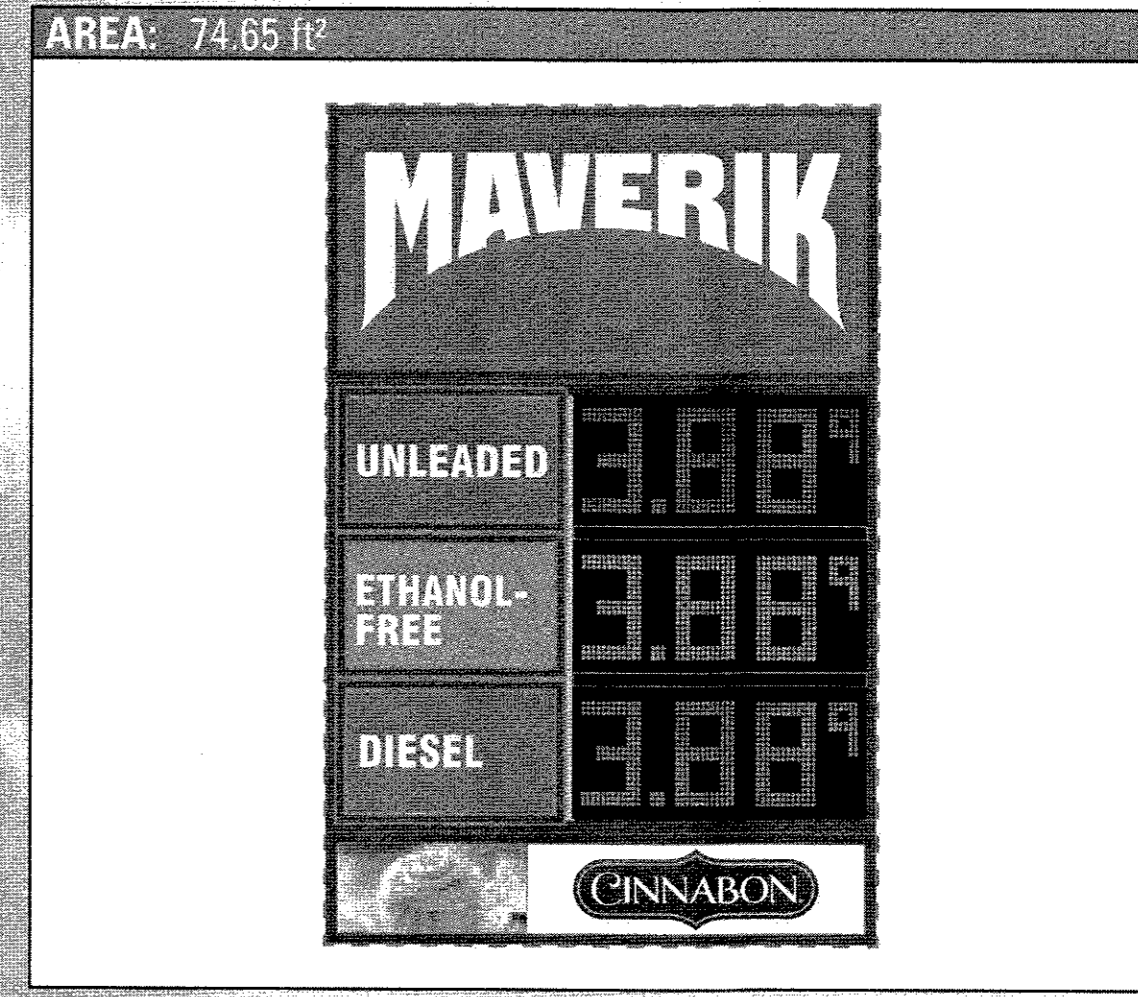
Sign Area: 40.25ft²
price changer aluminum cabinet w/ painted finish [see color key]. Retainer size as req. White polycarbonate faces for products w/ 1st surface vinyl [see color key]. White L.E.D illumination.

Sign Area: 9.92ft²
internally illuminated aluminum cabinet(s) w/ painted finish [see color key]. 1 5/8" retainer. White polycarbonate face w/ 1st surface digitally printed graphics [color corrected]. White L.E.D illumination. Painted aluminum cap.

YESCO to provide durarock base. Contractor to provide stone vanveer.

Concrete mow-pad.

SCOPE OF WORK:
MANUFACTURE & INSTALL ONE [1] MONUMENT SIGN.

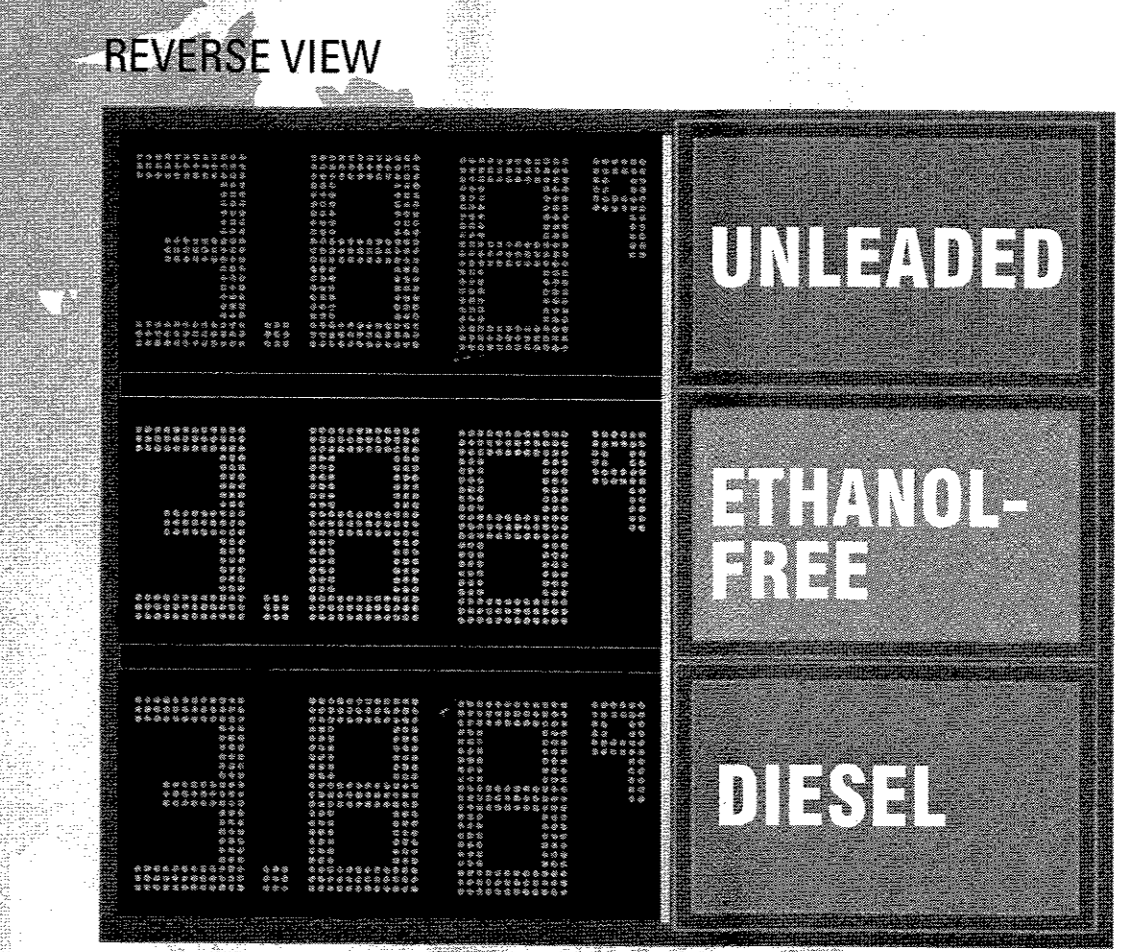


ELECTRICAL
POWER TO DISPLAY LOCATION: BY OTHERS OR EXISTING
HOOKUP AT DISPLAY: BY YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	VINYL	3M 3630-69 DURANODIC
2	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
3	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
4	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
5	PAINT	SHERWIN WILLIAMS #0 MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
6	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS



YESCO
DESIGN

1605 South Gramercy Rd.
Salt Lake City, UT 84104
801.487.8481

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This sign will be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions

No.	Date / Description
Initial (PRO)	05.05.2016
R1	09.06.2016
R2	04.29.2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM
Acct. Exec: Matt Wren
Designer: Justin Raymond

Date: 04.29.2019
Monument Sign

17594 **R2**

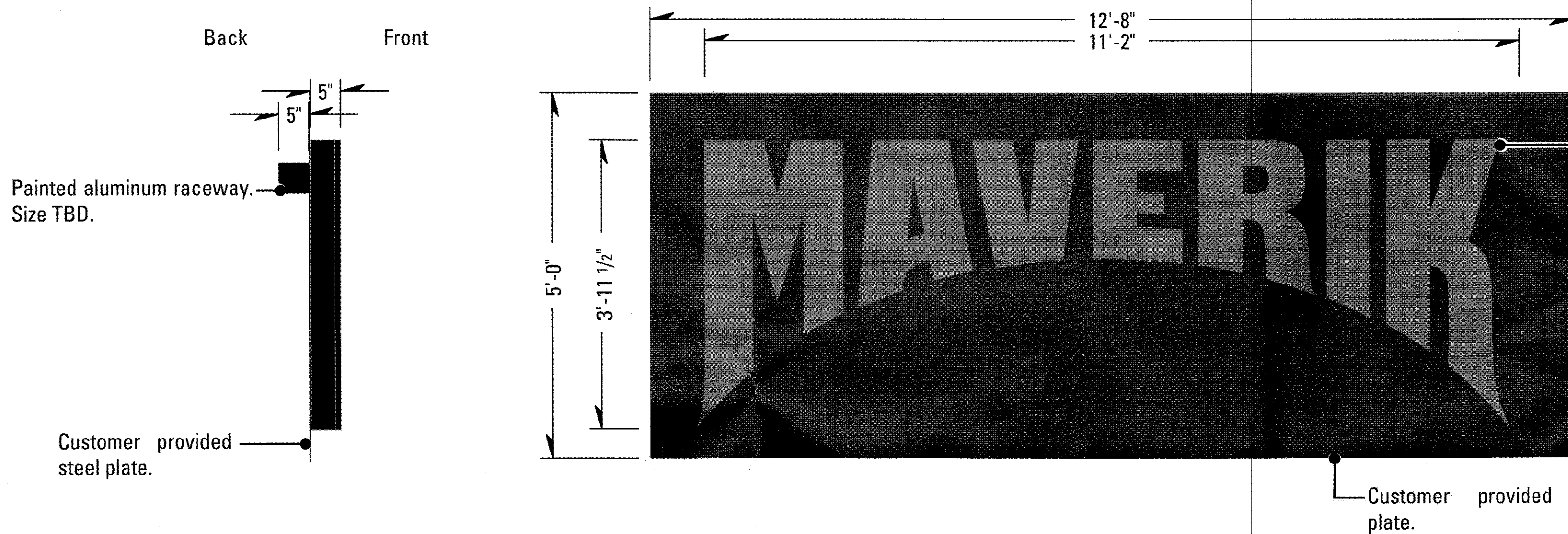
JO #

scale: as noted
ART **2.0**

DSGN_17594_Maverik - Albuquerque-ART 2.0_Monument Sign.ai



3.2 3D VIEW



3.1 SIDE VIEW

3 PAN CHANNEL LETTERS ON STEEL PANEL CABINET
SCALE: 3/8" = 1'-0"

SCOPE OF WORK:

MANUFACTURE & INSTALL ONE (1) SET OF ILLUMINATED CHANNEL LETTER ON CUSTOMER PROVIDED STEEL PANEL.
MANUFACTURE & INSTALL ONE (1) RACEWAY.

PERMITTING SIGN AREA: 84ft²

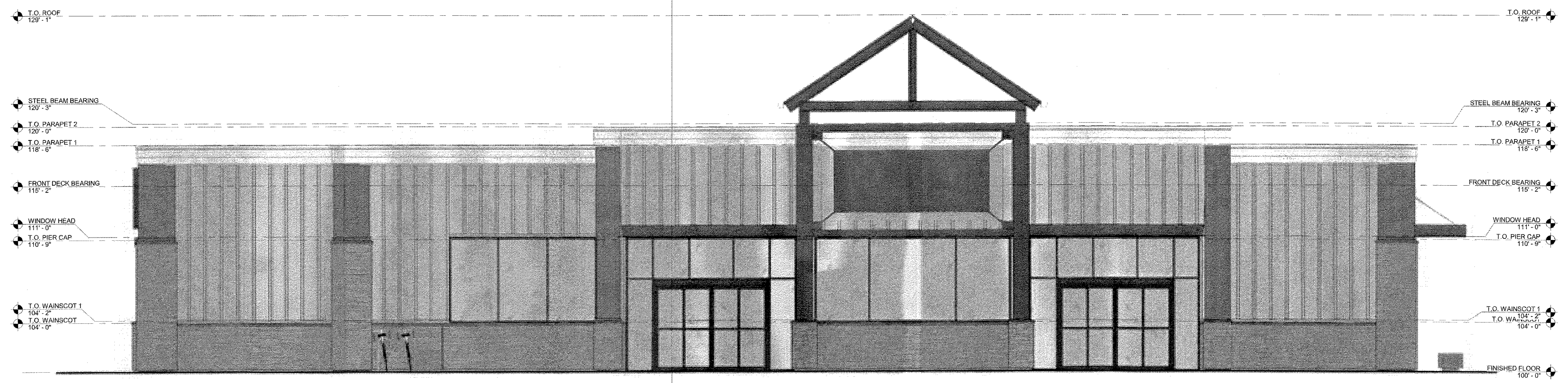
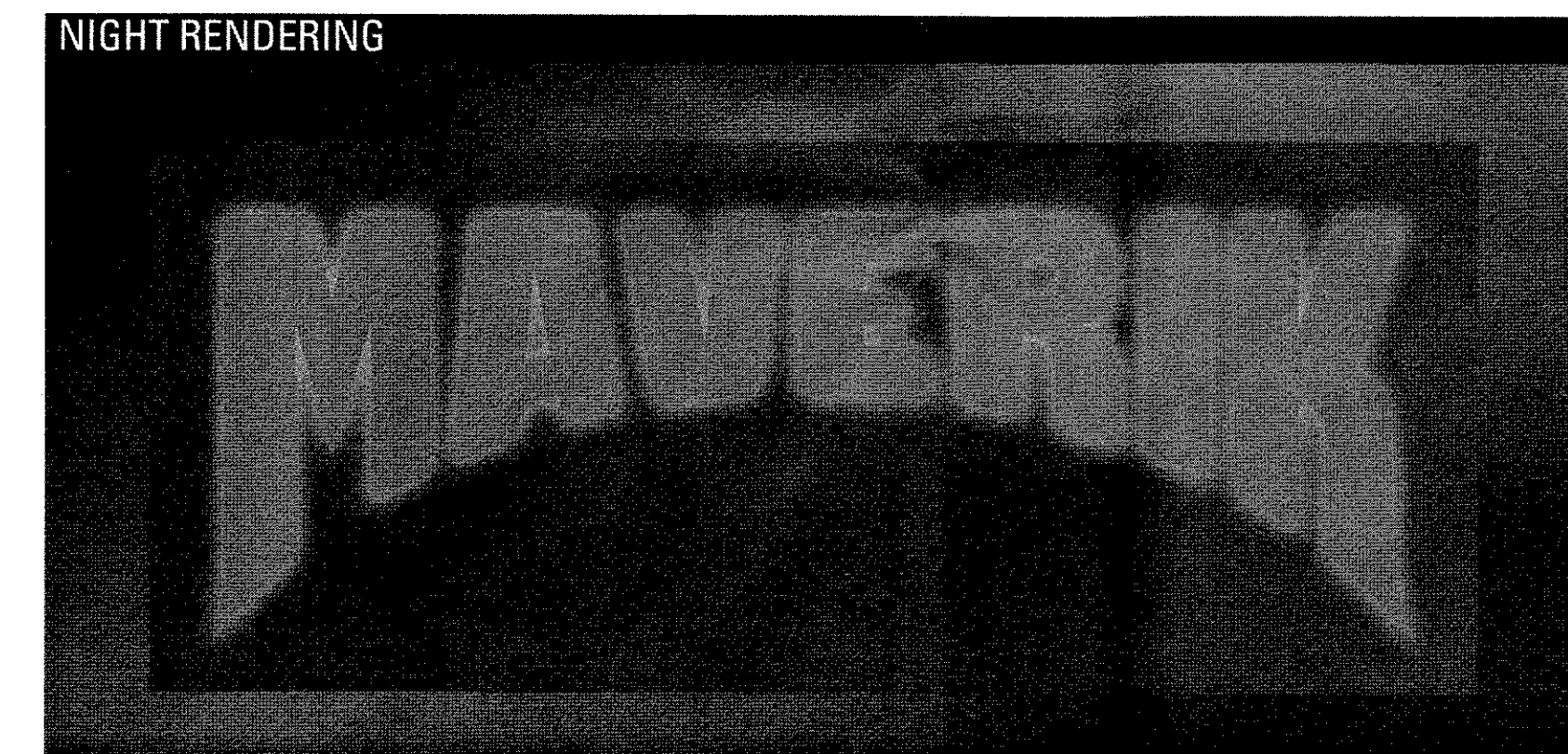
FINAL ELECTRICAL CONNECTION BY: YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	PREPAINT	DURANODIC BRONZE
	VINYL	3M 3630-69 DURANODIC
	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
	PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

NOTE:
FIELD SURVEY REQUIRED PRIOR TO FABRICATION.
ENGINEERING TO DETERMINE ATTACHMENT POINTS.



3.2 DETAIL ELEVATION
SCALE: 3/32" = 1'-0"

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This sign will be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions

No.	Date / Description
Initial (R0)	00.05.2018
R1	09.06.2018
R2	04.29.2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 04.29.2019

Front Sign

17594

R2

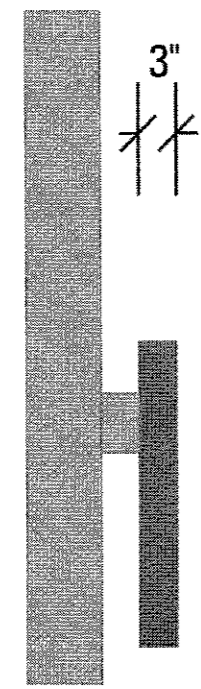
JO #

scale: as noted

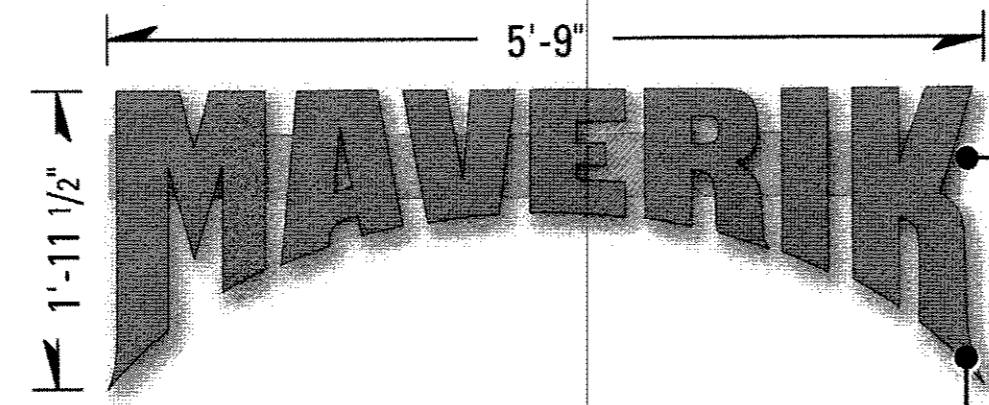
ART

3.0

DSGN_17594_Maverik - Albuquerque_ART 3.0_Front Sign.ai



4.1 SIDE VIEW



3" x 5" extruded aluminum raceway w/ painted finish [to match building].

5" deep aluminum channel letter w/ 3RK32 or 2282 Red Arcylic faces. 1" bronze trim cap & pre-painted returns [see color key]. White L.E.D illumination. Mounted to raceway

4 PAN CHANNEL LETTERS 24" LETTER SET
SCALE: 3/8" = 1'-0"

SCOPE OF WORK:
MANUFACTURE & INSTALL ONE (1) SET L.E.D. ILLUMINATED PAN CHANNEL LETTERS. MOUNT TO BUILDING ON RACEWAY.

PERMITTING SIGN AREA: 11.5ft² ELECTRICAL: 2 Amps 120 V

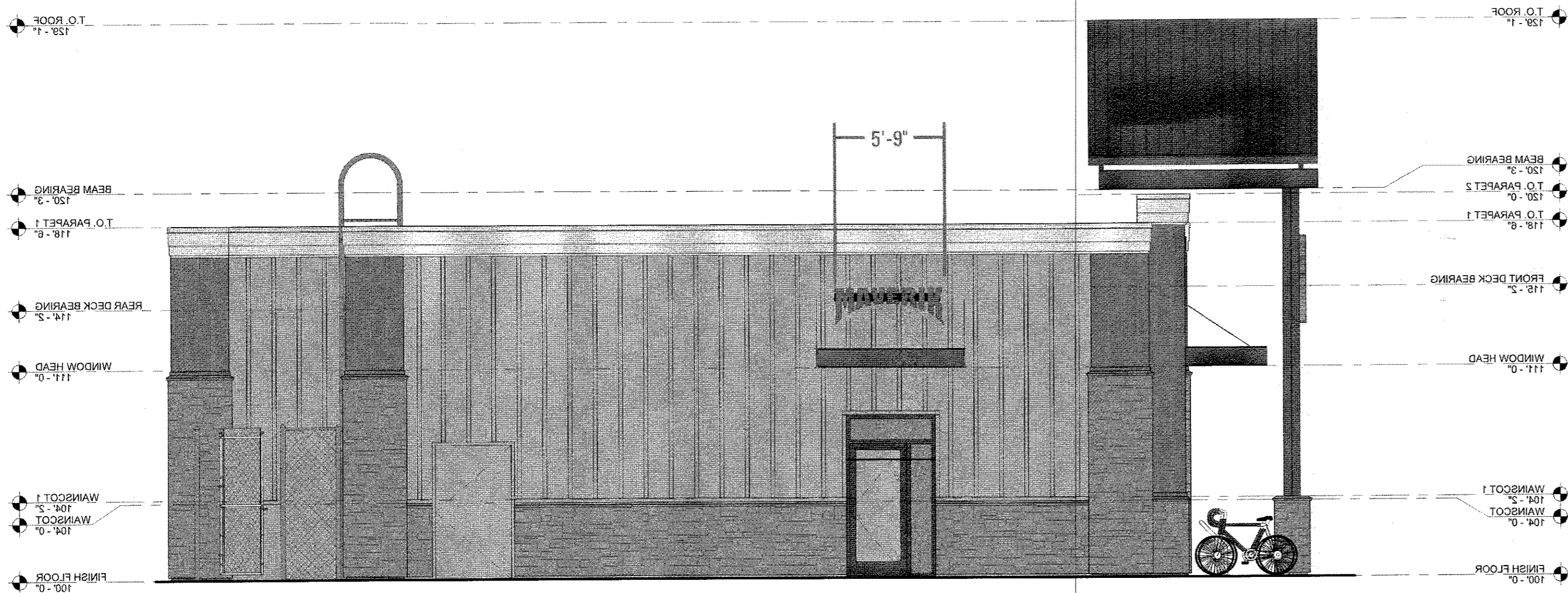
FINAL ELECTRICAL CONNECTION BY: YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
PREPAINT	DURANODIC BRONZE
VINYL	3M 3630-69 DURANODIC
PMS	PANTONE® 186c
VINYL	3M 3630-33 "RED"
PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
VINYL	3M 3630-26 "GREEN"
PAINT	DUPONT #K 9441
VINYL	3M 3630-26 "LT EUROPEAN BLUE"
PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
VINYL	AVERY UC 908-811-T "PANTONE 427c"
PMS	PANTONE® 2945c
VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

NOTE:
FIELD SURVEY REQUIRED PRIOR TO FABRICATION.



4.2 DETAIL ELEVATION
SCALE: 3/32" = 1'-0"



1605 South Gramercy Rd.
Salt Lake City, UT 84104
801.487.8481
www.yesco.com

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UL This sign will be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions

No.	Date / Description
Initial (R0)	03 05 2018
R1	09 06 2018
R2	04 29 2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM
Acct. Exec: Matt Wren
Designer: Justin Raymond

Date: 04.29.2019

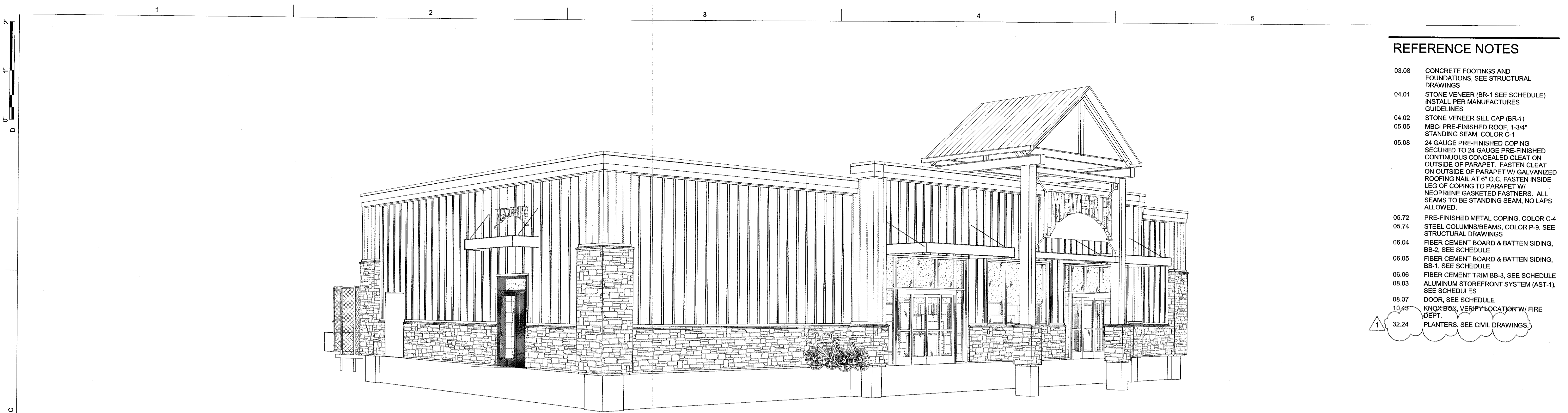
Side Sign

17594 R2

JO #

scale: as noted
ART 4.0

DSGN_17594_Maverik - Albuquerque - ART 4.0_Side Sign.ai

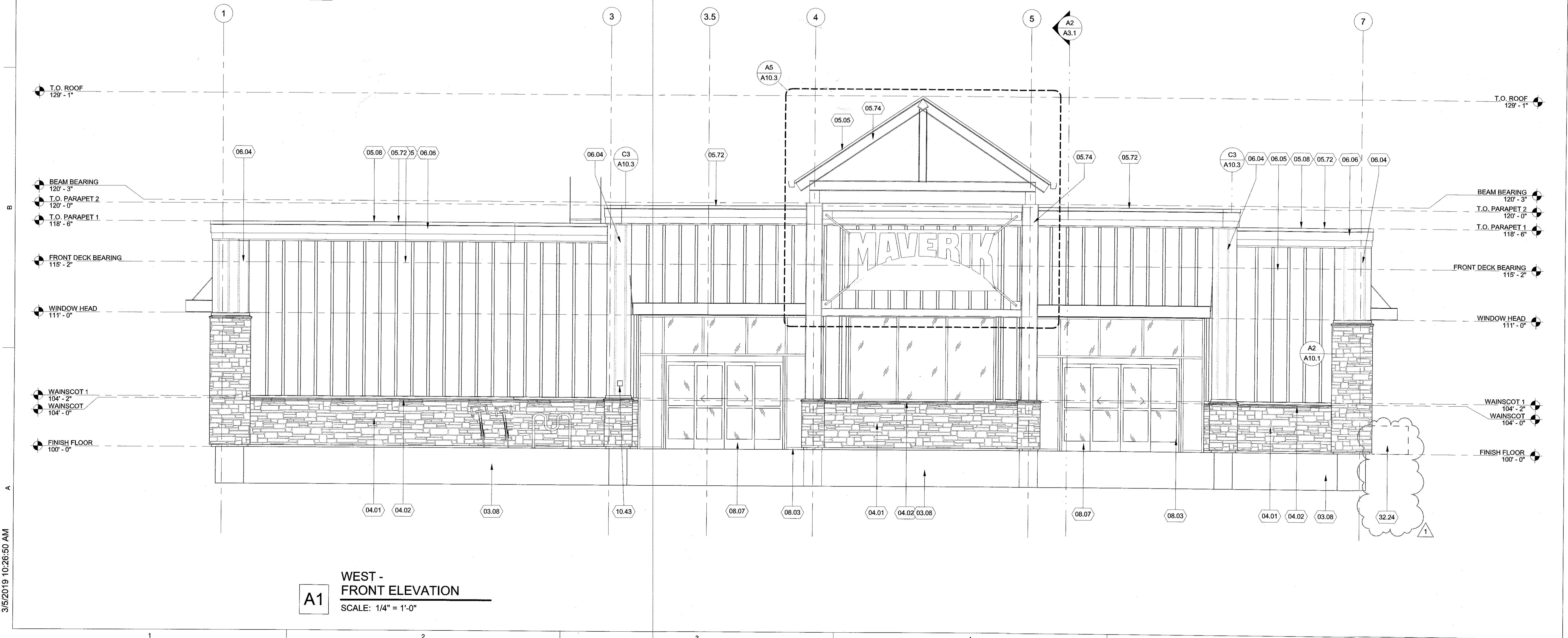


C1 BUILDING PERSPECTIVE
SCALE:

- REFERENCE NOTES**
- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
 - 04.01 STONE VENEER (BR-1 SEE SCHEDULE) INSTALL PER MANUFACTURES GUIDELINES
 - 04.02 STONE VENEER SILL CAP (BR-1)
 - 05.05 MBCI PRE-FINISHED ROOF, 1-3/4" STANDING SEAM, COLOR C-1
 - 05.08 24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTNERS. ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED.
 - 05.72 PRE-FINISHED METAL COPING, COLOR C-4
 - 05.74 STEEL COLUMNS/BEAMS, COLOR P-9. SEE STRUCTURAL DRAWINGS
 - 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE
 - 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
 - 06.06 FIBER CEMENT TRIM BB-3, SEE SCHEDULE
 - 08.03 ALUMINUM STOREFRONT SYSTEM (AST-1), SEE SCHEDULES
 - 08.07 DOOR, SEE SCHEDULE
 - 10.43 KNOX BOX, VERIFY LOCATION W/ FIRE DEPT.
 - 32.24 PLANTERS. SEE CIVIL DRAWINGS.

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O 801.521.6186 · FFKR.COM

MAVERIK



A1 WEST - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

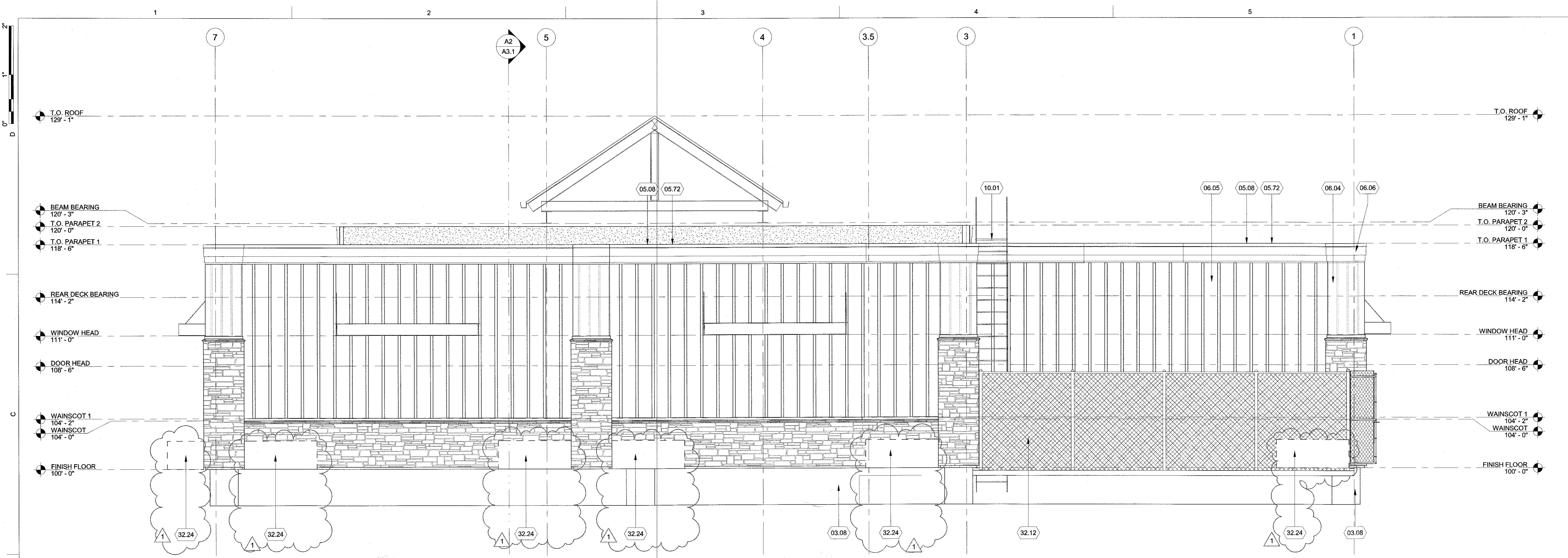
MAVERIK 4300
JUAN TABO & COPPER
ALBUQUERQUE, NW 87123
PERMIT SET 01/16/19

DATE	REVISION
1 3/5/19	CITY REVIEW

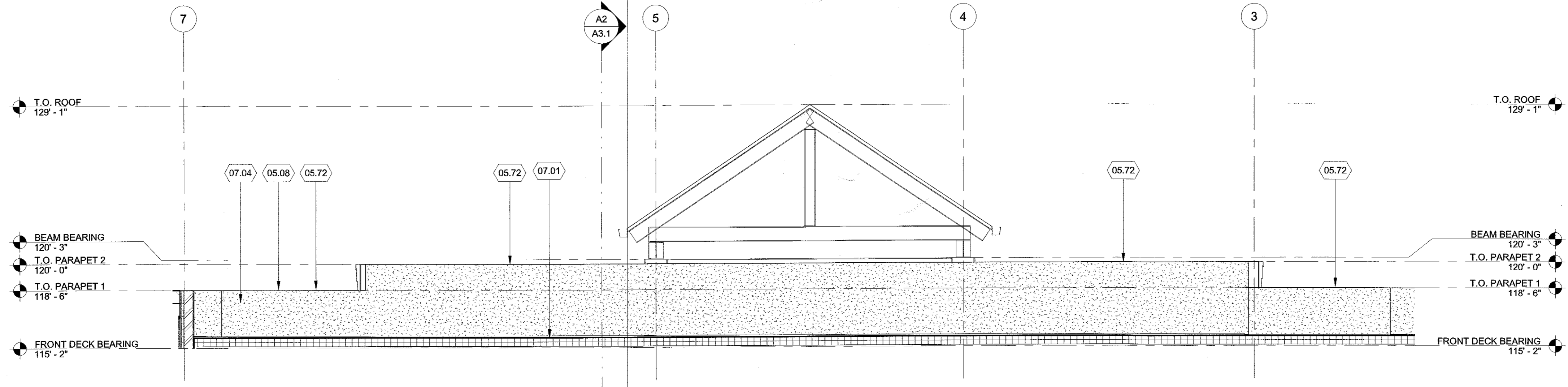
PROJECT NUMBER 18128

EXTERIOR ELEVATIONS

3/5/2019 10:26:50 AM



C1 EAST - REAR ELEVATION
SCALE: 1/4" = 1'-0"

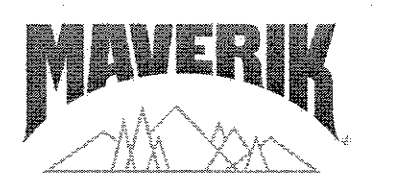


A1 PARTIAL FRONT WALL REAR VIEW ELEVATION
SCALE: 1/4" = 1'-0"

REFERENCE NOTES

03.08	CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
05.08	24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTNERS. ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED.
05.72	PRE-FINISHED METAL COPING, COLOR C-4
06.04	FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE
06.05	FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
06.06	FIBER CEMENT TRIM BB-3, SEE SCHEDULE
07.01	SINGLE-PLY ROOFING MEMBRANE OVER 5'(MIN) POLYISOCYANURATE INSULATION, OVERLAP JOINTS, SEE SPECIFICATIONS AND COMCHECK CALCS.
07.04	WRAP MEMBRANE UP UNDER CAP, OVER WALL, AND UNDER THE METAL ROOFING
10.01	ROOF ACCESS LADDER W/ SECURITY GATE. COLOR TO MATCH SIDING BB-1
32.12	8'-0" HIGH CHAIN-LINK FENCE W/ PRIVACY SLATS OR CMU WALL W/ GATE, SEE ELEVATIONS
32.24	PLANTERS. SEE CIVIL DRAWINGS.

GENERAL NOTES



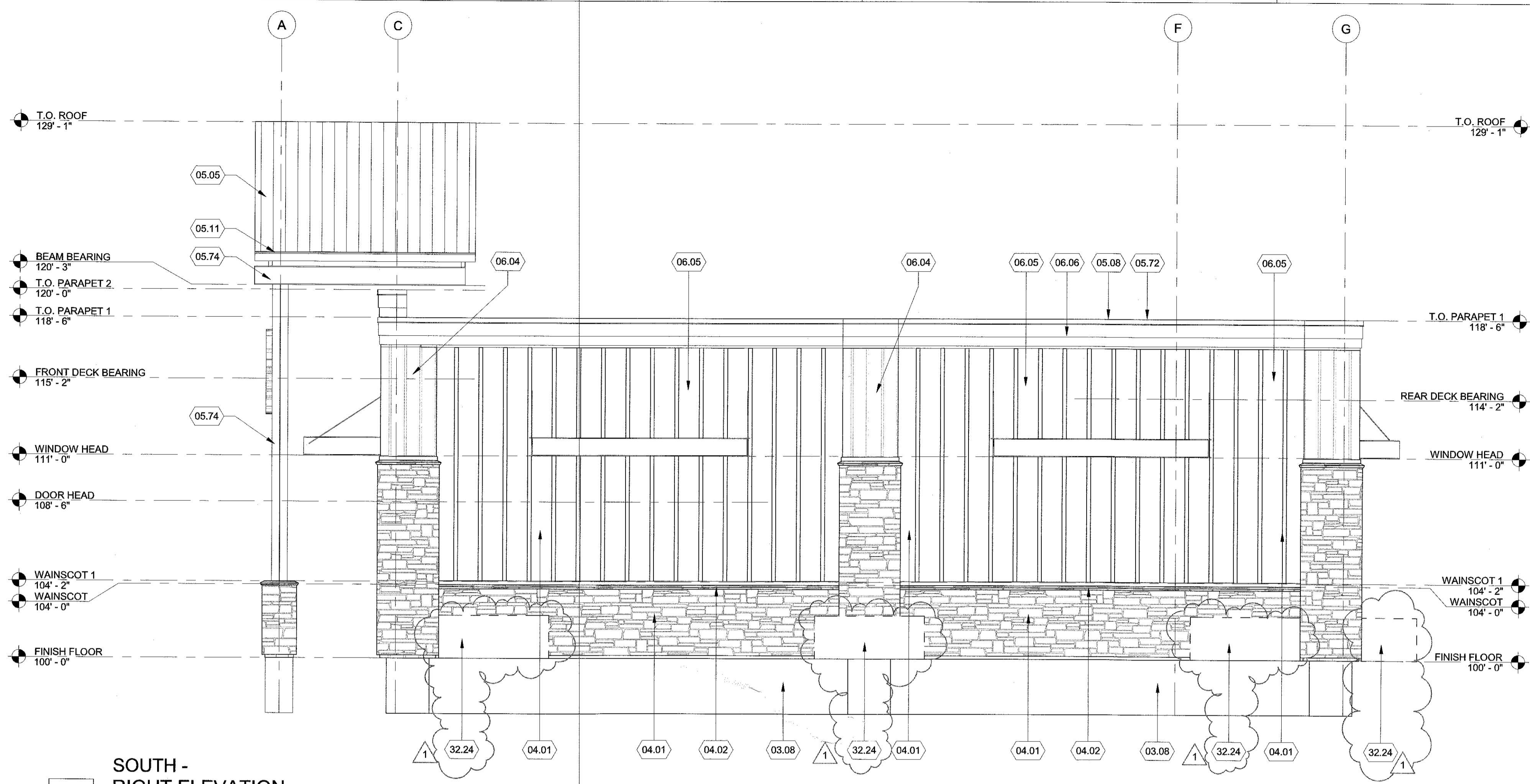
DATE	REVISION
1 3/5/19	CITY REVIEW

PROJECT NUMBER 18128

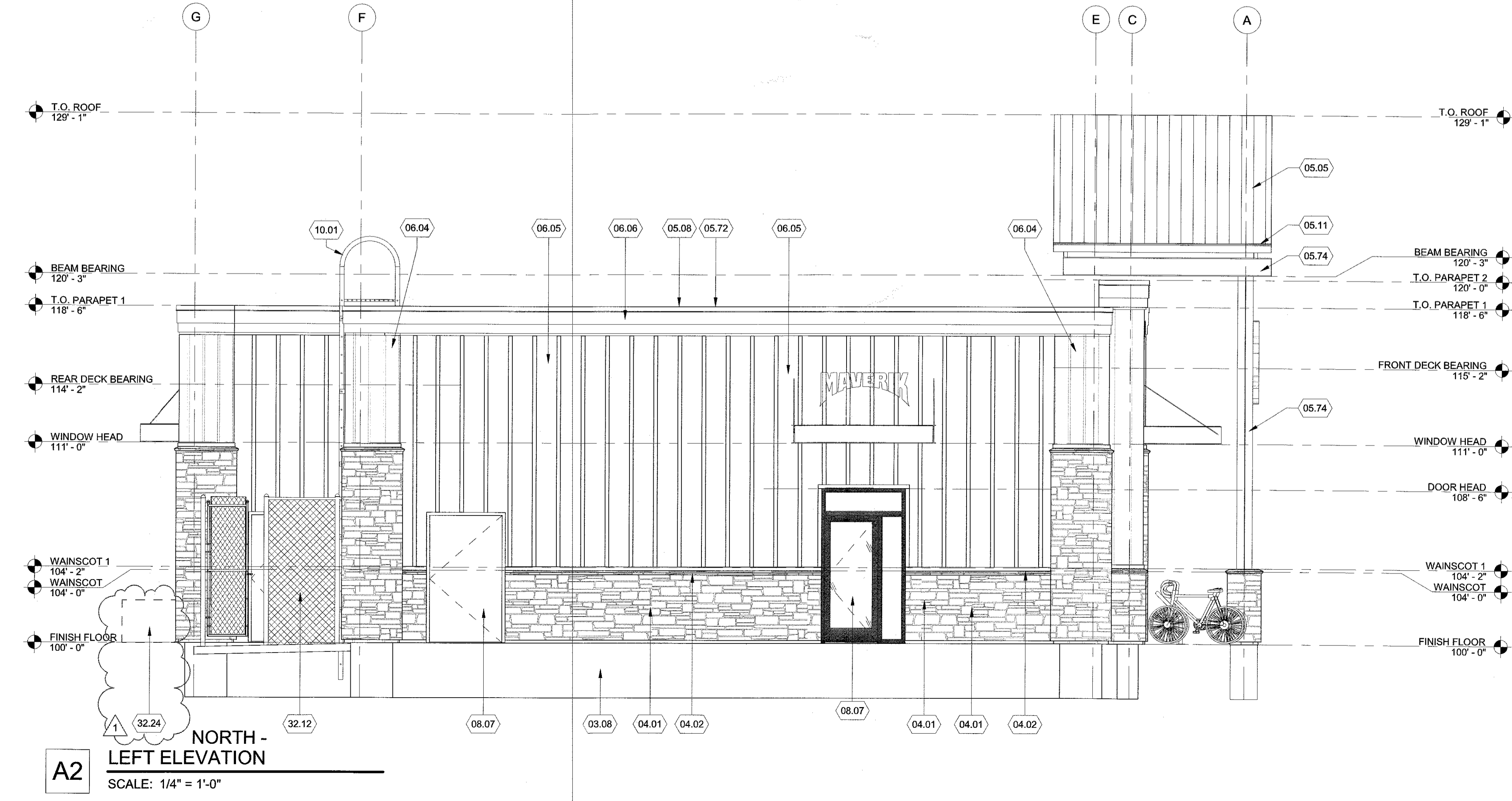
EXTERIOR ELEVATIONS

3/5/2019 10:26:51 AM

3/5/2019 10:26:52 AM



C2
SOUTH -
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



A2
NORTH -
LEFT ELEVATION
SCALE: 1/4" = 1'-0"

- REFERENCE NOTES**
- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
 - 04.01 STONE VENEER (BR-1 SEE SCHEDULE) INSTALL PER MANUFACTURERS GUIDELINES
 - 04.02 STONE VENEER SILL CAP (BR-1)
 - 05.05 MBCI PRE-FINISHED ROOF, 1-3/4" STANDING SEAM, COLOR C-1
 - 05.08 24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTENERS. ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED.
 - 05.11 PRE-FINISHED METAL EAVE FLASHING BY ROOF MANUFACTURER, COLOR C-1
 - 05.72 PRE-FINISHED METAL COPING, COLOR C-4
 - 05.74 STEEL COLUMNS/BEAMS, COLOR P-9. SEE STRUCTURAL DRAWINGS
 - 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE
 - 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
 - 06.06 FIBER CEMENT TRIM BB-3, SEE SCHEDULE
 - 08.07 DOOR, SEE SCHEDULE
 - 10.01 ROOF ACCESS LADDER W/ SECURITY GATE. COLOR TO MATCH SIDING BB-1
 - 32.12 8'-0" HIGH CHAIN LINK FENCE W/ PRIVACY SLATS OR CMU WALL W/ GATE. SEE ELEVATIONS
 - 32.24 PLANTERS. SEE CIVIL DRAWINGS

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MAVERIK 4300
JUAN TABO & COPPER
ALBUQUERQUE, NW 87123
PERMIT SET 01/16/19

DATE	REVISION
1 3/5/19	CITY REVIEW

PROJECT NUMBER 18128

EXTERIOR ELEVATIONS