



DEVELOPMENT REVIEW BOARD APPLICATION

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input checked="" type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Minor Amendment to Infrastructure List		

APPLICATION INFORMATION		
Applicant: Maverik, Inc.		Phone: 801-335-3851
Address: 185 S. State St. Suite 800		Email: Troy.Jorgensen@maverik.com
City: Salt Lake City	State: UT	Zip: 84111
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park Place NE		Email: rrb@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner	List <u>all</u> owners: M-F partnership	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: A 8 Redivision	Block: 8	Unit:
Subdivision/Addition: La Cuesta Subdivision	MRGCD Map No.:	UPC Code: 102205701124833611
Zone Atlas Page(s): K-22-Z	Existing Zoning: MX-M	Proposed Zoning
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 0.7448
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 650 Juan Tabo NE	Between: Copper	and: Juan Tabo Blvd.
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
PR-2018-001411 , PR-2019-002261		

Signature:		Date: 11/5/19			
Printed Name: Ronald R. Bohannon		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent			
FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:			Date:	Project #	

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines unless noted differently below. Bring original Mylar of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

>> INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS

- N/A Interpreter Needed for Hearing? if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form S2 at the front followed by the remaining documents *in the order provided on this form.*
- Zone Atlas map with the entire site clearly outlined and labeled

SKETCH PLAT REVIEW AND COMMENT

- Letter describing, explaining, and justifying the request
- Scale drawing of the proposed subdivision plat (7 copies, folded)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded)

MAJOR SUBDIVISION FINAL PLAT APPROVAL (requires published notice, heard on the DRB Major Case Schedule)

- Letter describing, explaining, and justifying the request
- Copy of recorded IIA
- Proposed Final Plat (7 copies, 24" x 36" folded)
- Design elevations & cross sections of perimeter walls (3 copies)
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- DXF file and hard copy of final plat data for AGIS submitted and approved

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL

- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- Required notice with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination Public Notice Inquiry response
- Proof of emailed notice to applicable Neighborhood Association representatives
- Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal (7 copies, folded)
- Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- Proposed Infrastructure List, if applicable
- DXF file and hard copy of final plat data for AGIS submitted and approved

MINOR AMENDMENT TO PRELIMINARY PLAT OR INFRASTRUCTURE LIST

- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature:	Date: 11-5-2019
Printed Name: <i>Ronald R. Bohannon</i>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers: _____	Project Number _____
Staff Signature: _____	
Date: _____	



TIERRA WEST, LLC

October 5, 2019

Ms. Jolene Wolfley, Chair
Development Review Board
P.O. Box 1293
Albuquerque, NM 87103

**RE: DEVELOPMENT REVIEW BOARD APPROVAL FOR
MINOR AMENDMENT TO INFRASTRUCTURE LIST
MAVERIK GAS AND CONVENIENCE STORE
650 JUAN TABO BLVD. NE, ABQ NEW MEXICO 87123
ZONE ATLAS PAGE K-22-Z**

Dear Ms. Wolfley:

Tierra West, on behalf of Maverik Inc, requests approval of a Minor Amendment to the Infrastructure List for the above referenced project. The amendment is a result of further as-built and survey review of the sewer and storm drain elevations, which confirmed the sewer line extension into Juan Tabo Blvd. was not feasible. Therefore the following item shall be removed from the infrastructure list and resubmitted for DRB review and approval.

- i. Relocate sanitary sewer along Juan Tabo Blvd. to be under new right-turn lane at a length of 285 feet, and install two Type 'C' manholes between Zia Rd. and Copper Ave.

Attached is the amended list.

If you have any questions or require additional information regarding this matter, please feel free to contact me at 505-858-3100.

Sincerely,

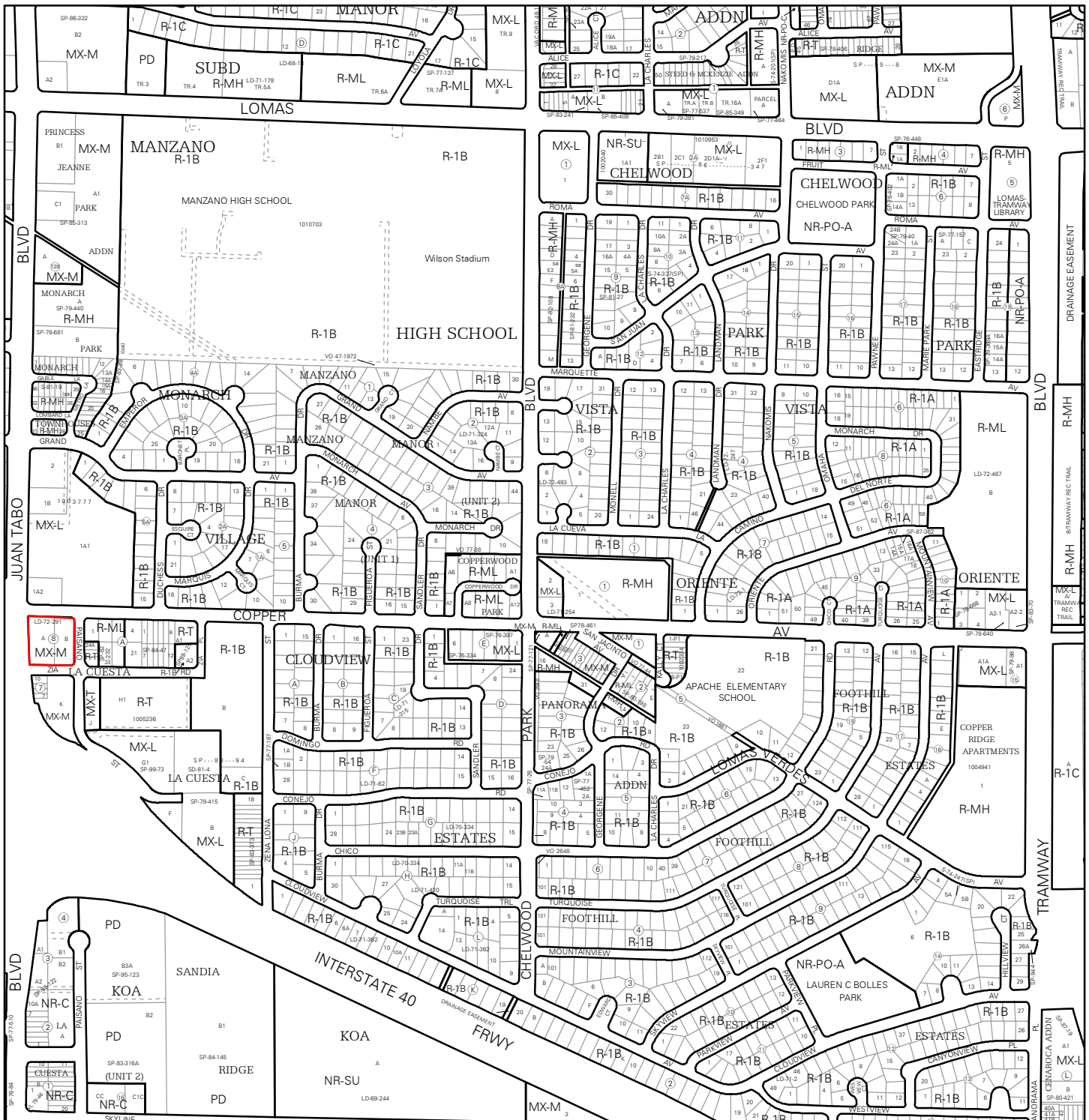
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Christie Hutchings, Maverik Inc.

JN: 2018046
RRB/rs/jg

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
K-22-Z

- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Escarpment
Petroglyph National Monument
Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Maverik inc. Gas & C-Store Development at 650 Juan Tabo Blvd. - SITE PLAN FOR BUILDING PERMIT
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Lot A & B, Block 8 La Cuesta Subdivision, Albuquerque, Bernalillo County, New Mexico
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		11'-0	Northbound right turn lane on Juan Tabo Blvd. at Copper Ave.	650' on Juan Tabo Blvd	I-40 Off-Ramp	Copper Ave.	/	/	/
		Right-in Driveway	16' wide right-in only driveway on Juan Tabo Blvd.	290' south of Juan Tabo Blvd. / Copper Ave. intersection			/	/	/
		4" & 6"	Restripe east leg of Copper Ave. at Juan Tabo Blvd. for dual west bound left turn lanes plus thru / right turn lane.	260' along Copper Ave.	Copper/Juan Tabo	Paisano St.	/	/	/
		6'-0	350' of PCC Sidewalk	Juan Tabo Blvd.	Zia Rd.	Copper Ave.	/	/	/
		2'-0	2x Sidewalk Culvert COA DWG 2236	on Juan Tabo Blvd., 35' south of Copper Ave. intersection			/	/	/
		-	Storm inlet relocations, extension of RCP pipe to new inlet	on Juan Tabo Blvd., 350' and 520' south of Copper Ave. intersection			/	/	/
		6'-0	Sidewalk, curb and gutter replacement of existing driveway cuts	Along Paisano St. Copper Ave., and Zia Rd.			/	/	/
		4'-0	Sewer MH lid adjustment (new eccentric lid for existing MH)	on Juan Tabo Blvd., 40' south of Copper Ave. intersection			/	/	/
		6"	Sewer service connection	Zia Rd.			/	/	/

1. REMOVAL APPROVED 9/25/19

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
		2"	Waterline service connection & meter	Paisano St.			/	/	/	
		ADA Ramps	New ADA ramps at corners of	Juan Tabo Blvd / Paisano St. / Copper Ave. / Zia Rd.			/	/	/	
		-	Remove existing water meters and shutoff at corp stop, abandoned to the main				/	/	/	
		-	Engineer's Certification for Grading & Drainage is required for release of Financial Guarantee				/	/	/	
		8"	Relocate sanitary sewer along Juan Tabo to be under new right turn lane 285' and install two Type 'C' MHs.	Juan Tabo Blvd.	Zia Rd.	Copper Ave.	/	/	/	
		-	Striping modification for left turn lane	Copper Ave.	180-ft to 235-ft from Juan Tabo/Copper		/	/	/	
							<small>2. ADDITION APPROVED 9/25/19</small>			
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
Richard Stevenson NAME (print)	DRB CHAIR - date	PARKS & RECREATION - date
Tierra West LLC FIRM	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
SIGNATURE - date	UTILITY DEVELOPMENT - date	CODE ENFORCEMENT - date
	CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

FIGURE 12
INFRASTRUCTURE LIST
(Rev. 2-16-18)

EXHIBIT "A"
TO SUBMISSION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: PR-2018-001411
DRB Application No.: SI-2019-00095

Maverik Inc. Gas & C-Store Development at 650 Juan Tabo Blvd. - SITE PLAN FOR BUILDING PERMIT
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN
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		Right-in Driveway	16' wide right-in only driveway on Juan Tabo Blvd	290' south of Juan Tabo Blvd.	/	Copper Ave. Intersection	/	/
		4'-2" & 6"	Restripe east leg of Copper Ave. at Juan Tabo Blvd. for dual west-bound left turn lanes plus thru right turn lane.	260' along Copper Ave.	Copper/Juan Tabo	Paisano St.	/	/
		6'-0"	350' of PCC Sidewalk	Juan Tabo Blvd.	Zia Rd.	Copper Ave.	/	/
		2'-0"	2x Sidewalk Culvert COA DWG 2236	on Juan Tabo Blvd., 35' south of Copper Ave.	Intersection		/	/
		-	Storm inlet relocations, extension of RCP pipe to new inlet	on Juan Tabo Blvd., 350' and 520' south of Copper Ave.	Intersection		/	/
		6'-0"	Sidewalk, curb and gutter replacement of existing driveway cuts	Along Paisano St. Copper Ave., and Zia Rd.			/	/
		4'-0"	Sewer MH lid adjustment (new eccentric lid for existing MH)	on Juan Tabo Blvd., 40' south of Copper Ave.	Intersection		/	/
		6"	Sewer service connection	Zia Rd			/	/

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		ADA Ramps	New ADA ramps at corners of	Juan Tabo Blvd / Paisano St. / Copper Ave. / Zia Rd.			/	/
		-	Remove existing water meters and shutoff at corp stop, abandoned to the main				/	/
		-	Engineer's Certification for Grading & Drainage is required for release of Financial Guarantee				/	/
		8"	Relocate sanitary sewer along Juan Tabo to be under new right-turn lane 285'; <i>and install two Type C, MHS</i>	Juan Tabo Blvd.	Zia Rd.	Copper Ave.	/	/
		-	Striping modification for left turn lane	Copper Ave.	180-ft to 235-ft from Juan Tabo/Copper		/	/

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

Approval of Creditable Items:	Impact Fee Administrator Signature	Date	Approval of Creditable Items:	City User Dept. Signature	Date
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- 1
- 2
- 3

AGENT / OWNER **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Richard Stevenson
 NAME (print)
 Tierra West LLC
 FIRM
 SIGNATURE - date *[Signature]* 9/25/19

[Signature] 9-25-19 DRB CHAIR - date
[Signature] 09-25-19 TRANSPORTATION DEVELOPMENT - date
[Signature] 09-15-19 UTILITY DEVELOPMENT - date
 CITY ENGINEER - date *[Signature]* 9/25/19
 PARKS & RECREATION - date
 AMAFCA - date *[Signature]* 9.25.19
 CODE ENFORCEMENT - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Copper Avenue, N.E.

THIS AREA TO BE GRANTED A SIDEWALK/ROAD EASEMENT TO COA. TOTAL SF 1,056 SF.

SWQP #1
TOP=5550.00
BOT=5548.00
VOL= 1,032 CF

5.0' CONC RUNDOWN
2X 2.0' SIDEWALK CULVERTS (S019 PERMIT)
INV.(IN):5550.00
INV.(OUT):5549.00

BUILD SIDEWALK CULVERT TO MODIFIED CURB FOR NEW RIGHT-TURN LANE.

1'-6" CONC. WALL TRANSITION END

3.5' CURB CUT

1'-6" CONC. WALL

PROPOSED RIGHT TURN LANE TO BE DETAILED ON COA DRG PLAN SET. NOT PART OF BUILDING PERMIT PLANS.

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

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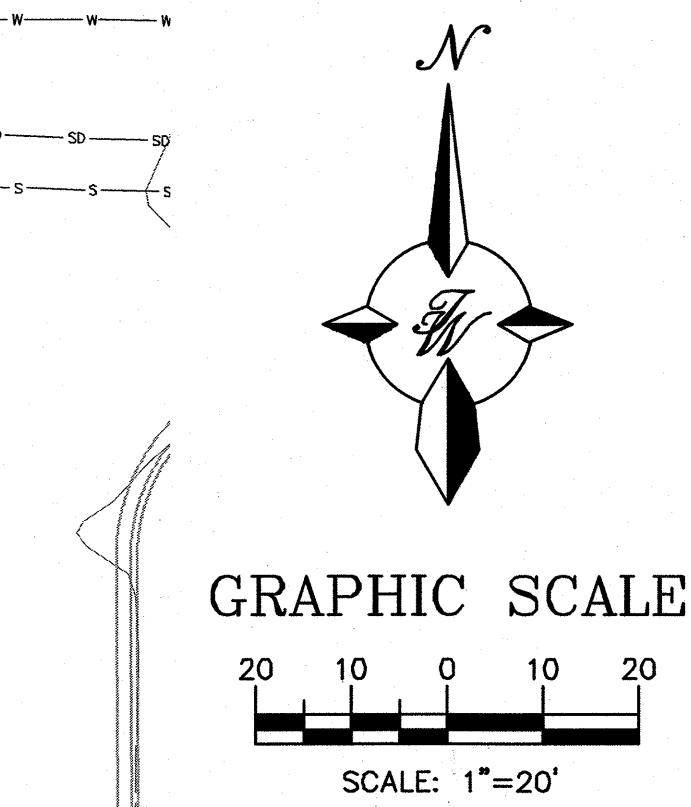
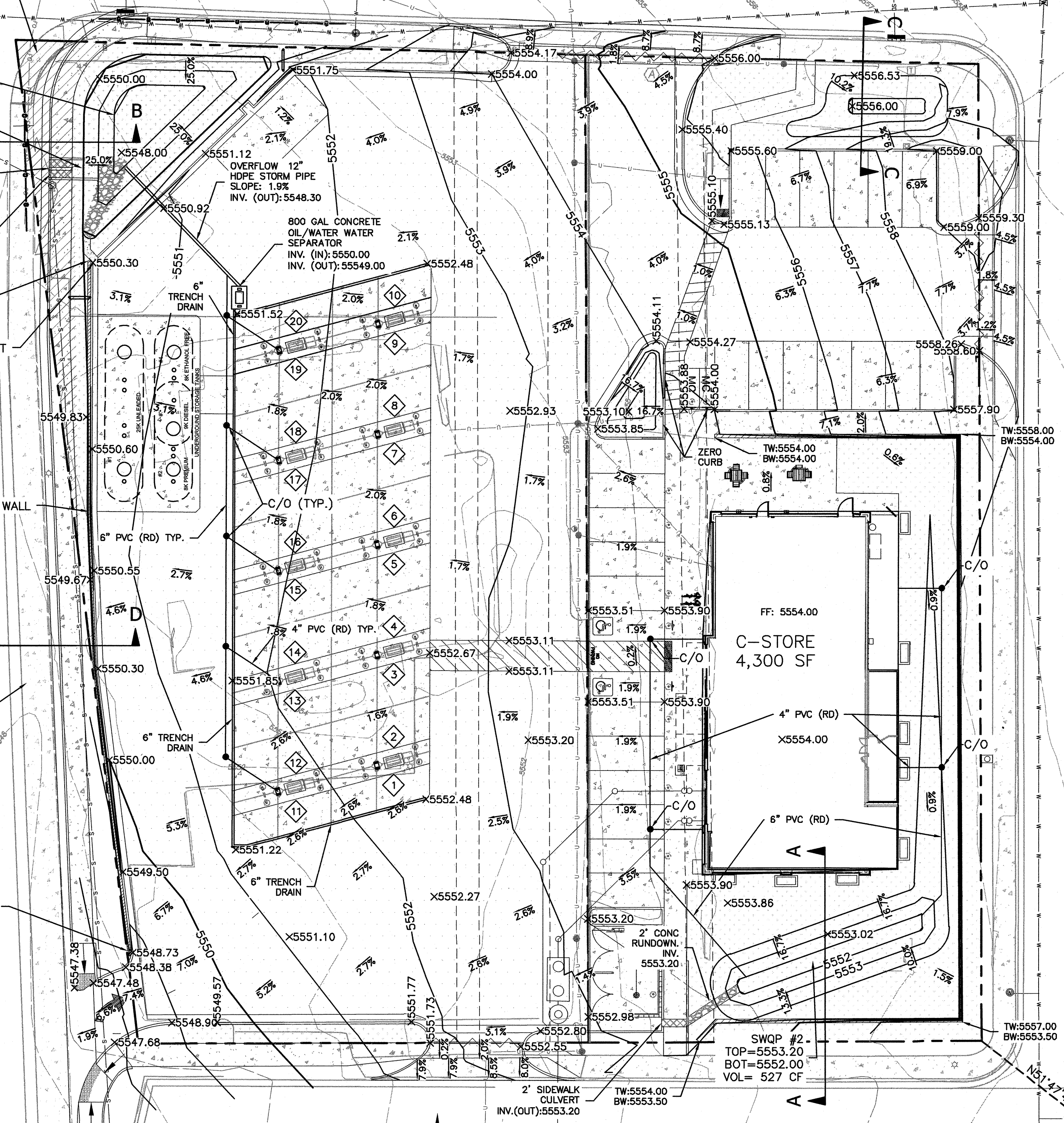
1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

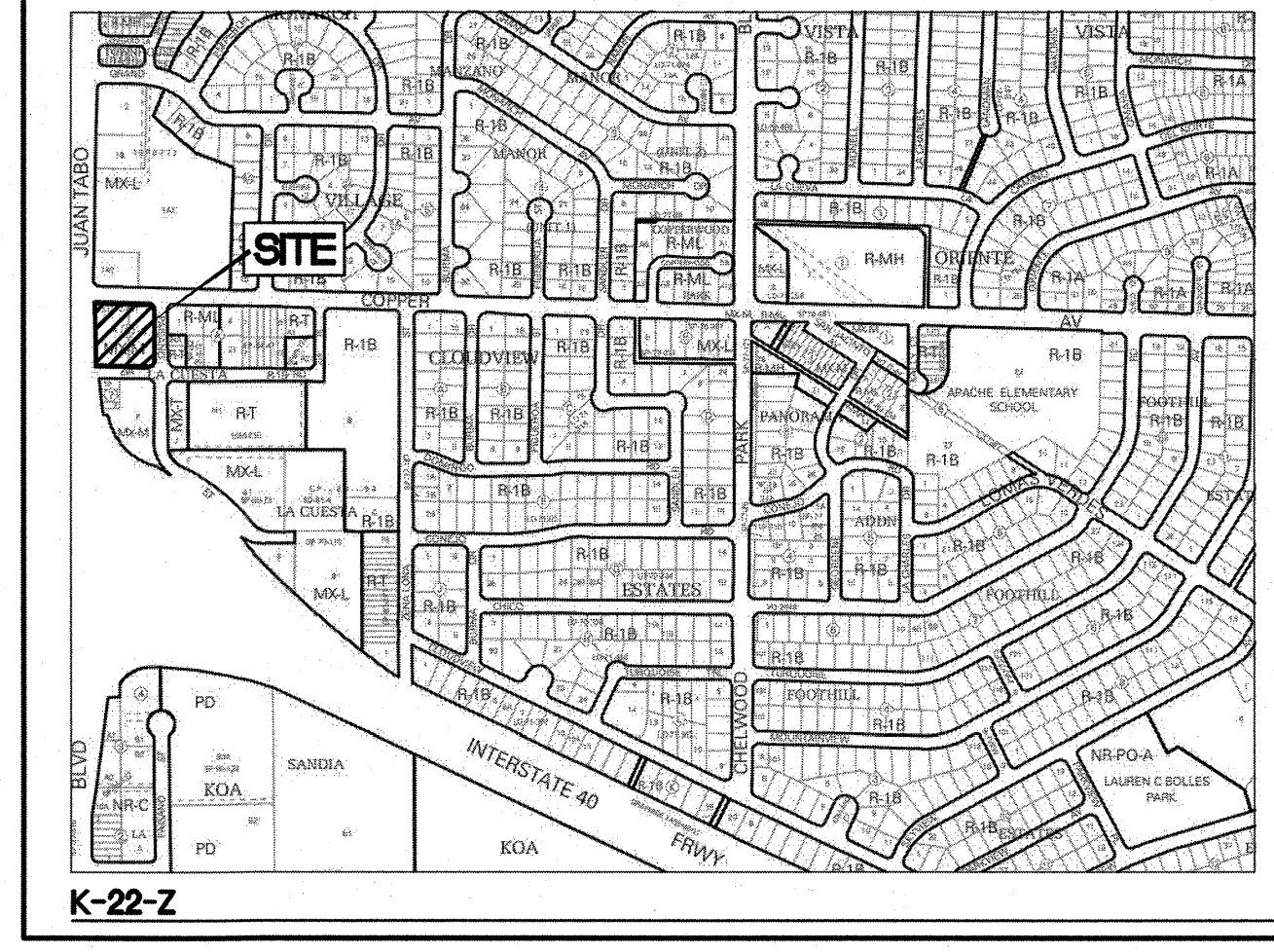
1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END



LEGEND

---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	EXISTING SIDEWALK
---	EXISTING WATER LINE
---	EXISTING STORM LINE
---	EXISTING STORM MANHOLE
---	EXISTING STORM INLET
---	EXISTING SAS LINE
---	EXISTING SAS MANHOLE
---	EXISTING WATER LINE
---	EXISTING WATER VALVE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING POWER POLE
---	EXISTING ELECTRIC LINE
---	EXISTING WALL
---	EXISTING ELECTRICAL BOX
---	EXISTING TRANSFORMER
---	EXISTING LIGHT STANDARD
---	EXISTING TELEPHONE PEDESTAL
---	SIDEWALK
---	RETAINING WALL
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	SPOT ELEVATION (FLOWLINE)
---	EXISTING BOUNDARY LINE
---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
---	EXISTING SPOT ELEVATION



CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

**PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR
(SPECIAL ORDER 19 '80-19')**

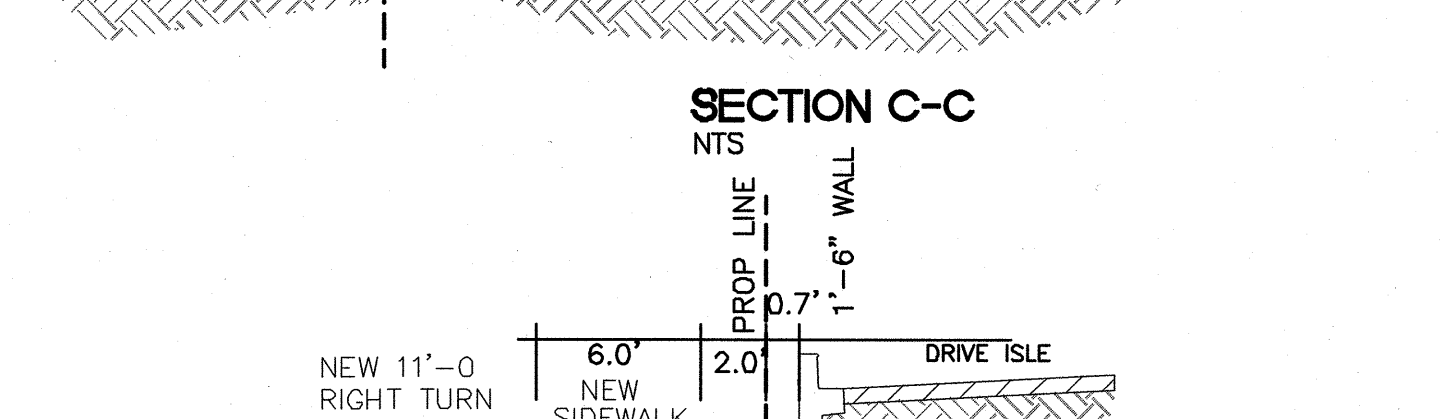
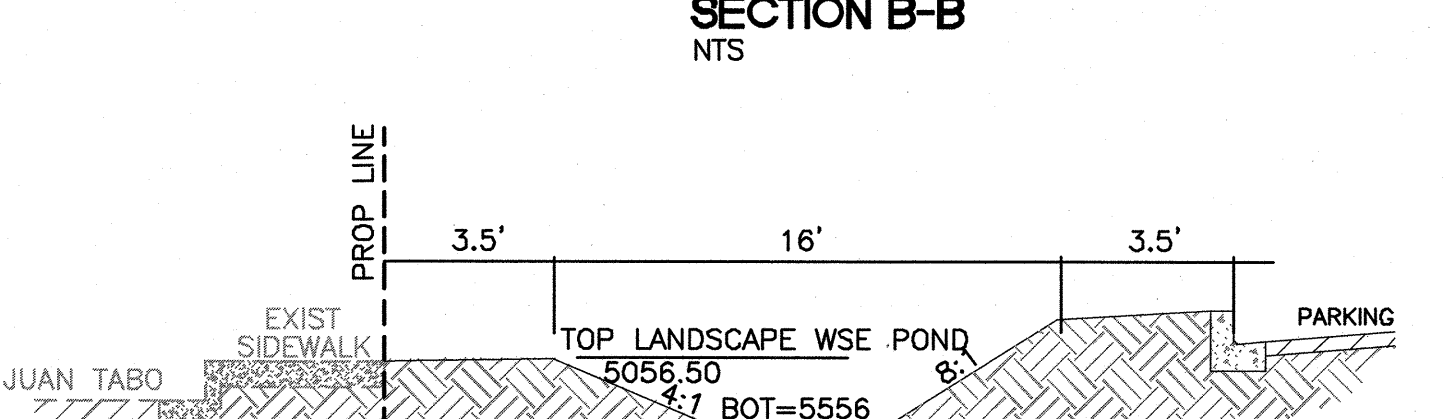
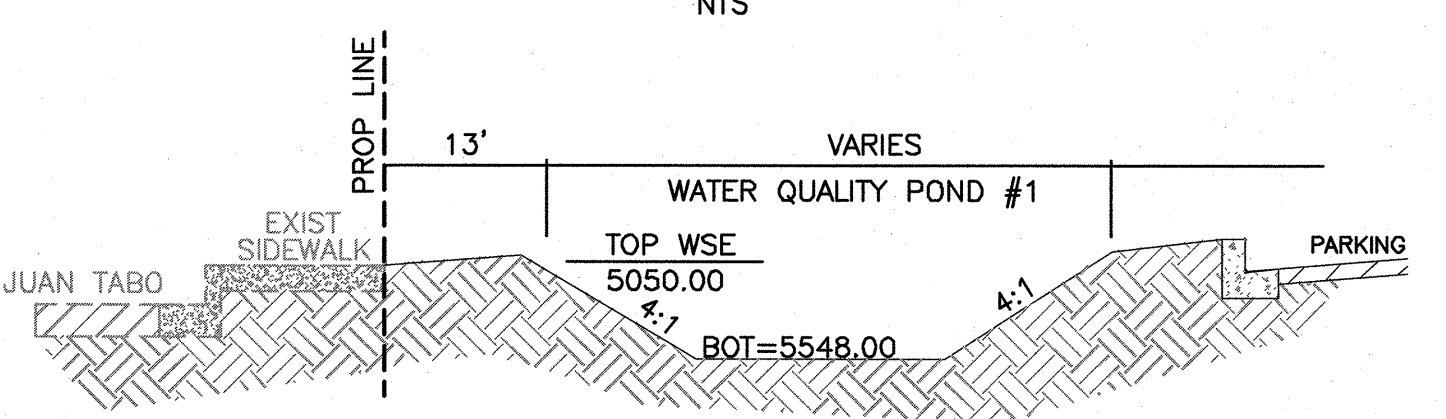
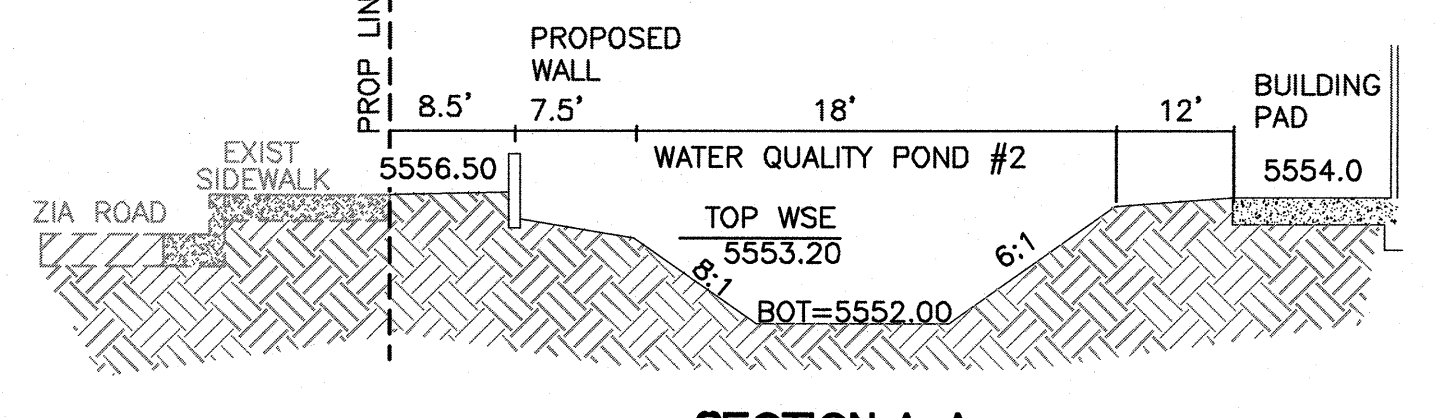
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR MUST CONTACT DAVID S. HARRISON AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

EROSION CONTROL NOTES:

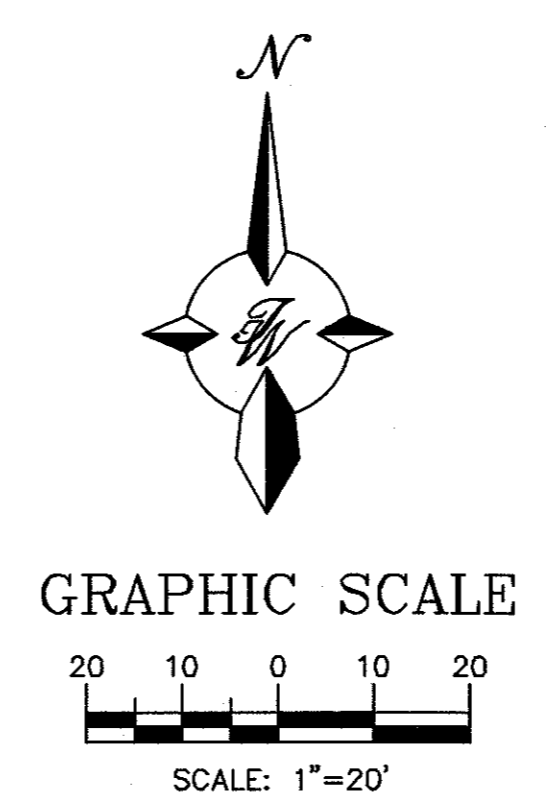
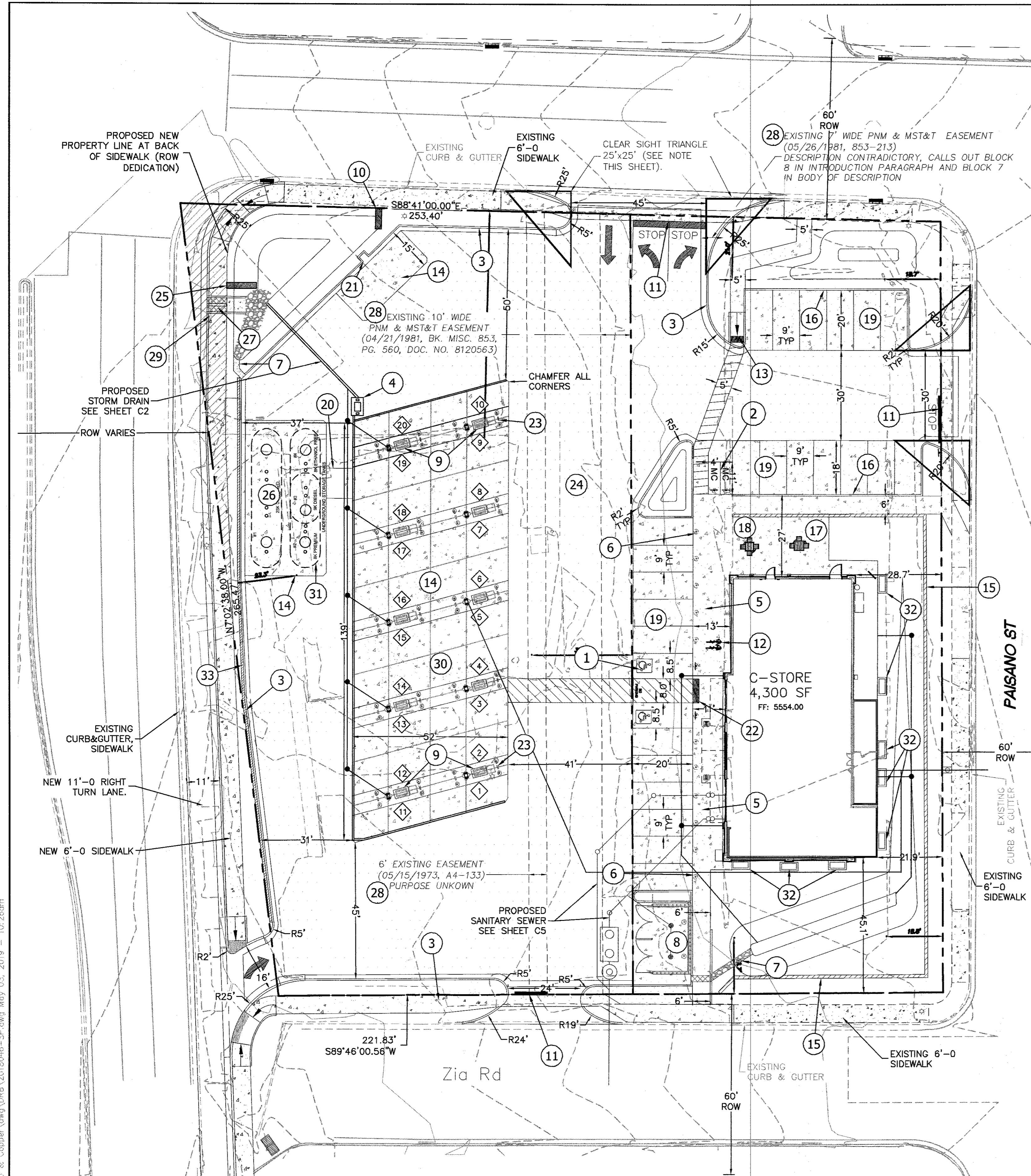
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

A.G.R.S. MONUMENT "2_L22"
STANDARD C.O.A. BRASS DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,480,207.321 US SURVEY FEET
E=1,566,235.48 US SURVEY FEET
PUBLISHED EL=5222.09 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999639275
DELTA ALPHA ANGLE=-0°08'32.78"

- NOTES:**
1. ALL EXISTING EASEMENTS WILL BE VACATED BY DOCUMENT.
 2. A DRAINAGE COVENANT FOR THE SWQP PONDS AND OIL/WATER SEPARATOR WILL BE SUBMITTED TO THE COA PRIOR TO CERTIFICATE OF OCCUPANCY.
 3. REFER TO DRAINAGE PLAN SHEET C4 FOR BMP MAINTENANCE NOTES AND PROPERTY OWNER RESPONSIBILITIES.
 4. ALL OFFSITE PAVING, CURB AND SIDEWALK MODIFICATIONS AND IMPROVEMENTS SHOWN ON THIS PLAN WILL BE DETAILED ON A DRB APPROVED INFRASTRUCTURE LIST WITH CONSTRUCTION DRAWINGS DETAILED ON A PUBLIC IMPROVEMENT WORK ORDER PLAN SET APPROVED BY NM DOT AND COA.
 5. A RIGHT TURN INTO THE SITE FROM JUAN TABO IS PROPOSED AT THE SOUTH WEST CORNER OF THE PARCEL. IF THIS IS APPROVED BY THE NM DOT THE GRADING WILL BE MODIFIED PER GRADING PLAN C3 (GRADING PLAN - PHASE 3).

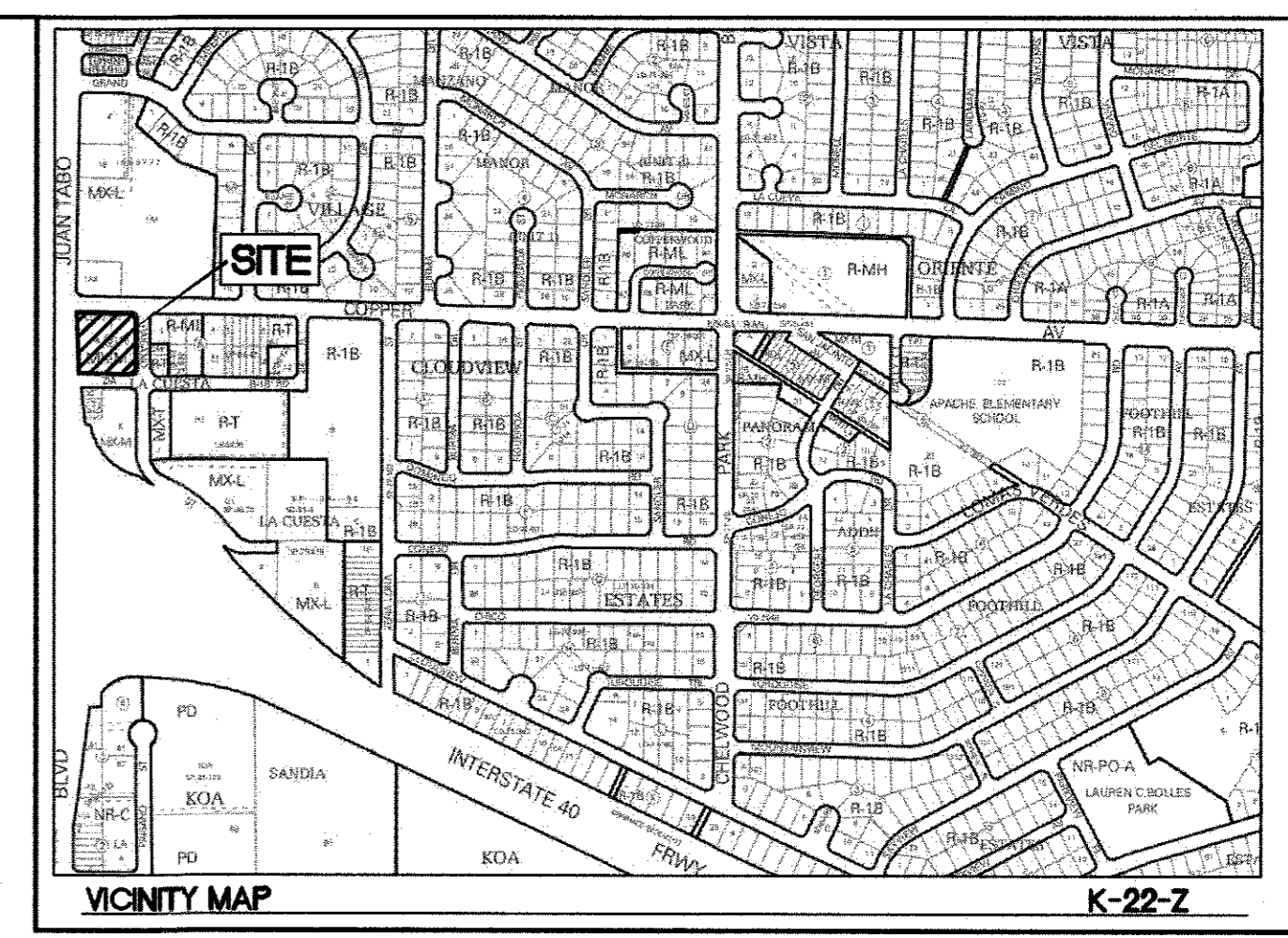


ENGINEER'S SEAL	MAVERIK 650 JUAN TABO BLVD. NE GRADING PLAN	DRAWN BY pm
		DATE 4-16-19
		DRAWING 2018046-GR
SHEET # C2		JOB # 2018046
5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		



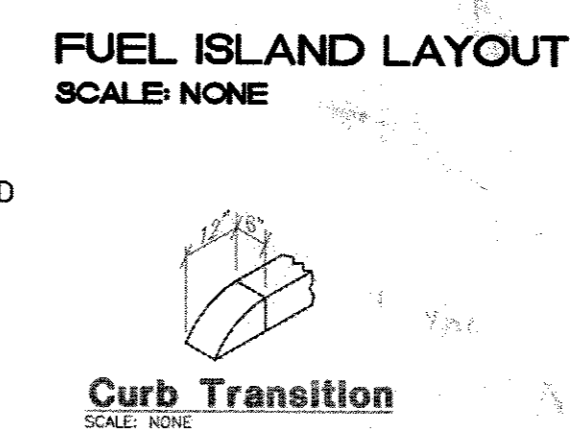
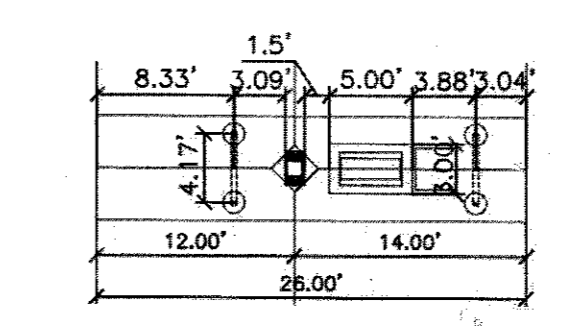
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK/CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- RETAINING WALL
- STREET LIGHTS
- EXISTING CURB & GUTTER



- KEYED NOTES**
- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C6)
 - 2 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C6)
 - 3 ON-SITE CURB & GUTTER (SEE DETAIL SHT. C6)
 - 4 OIL WATER SEPARATOR (SEE DETAIL SHT. C8)
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 - 6 BOLLARDS (SEE DETAIL SHT. C7)
 - 7 2' CONCRETE RUNDOWN
 - 8 DUMPSTER (SEE DETAIL SHT. C8)
 - 9 GAS PUMP ISLAND (TYP)
 - 10 MAVERIK MONUMENT SIGN (SEE ARCH. PLANS)
 - 11 2.0' STOP BAR
 - 12 BICYCLE RACKS (SEE DETAIL SHT. C7)
 - 13 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C8)
 - 14 CONCRETE SLAB W/CHAMFERED CORNERS
 - 15 RETAINING WALL WITH HAND RAIL AND PEDESTRIAN GUARD (SEE GRADING SHT C2, MAX HEIGHT 4.0', DETAIL SHT. 7)
 - 16 HEADER CURB (SEE DETAIL SHT. C6)
 - 17 ADA PICNIC TABLE (SEE ARCH. PLANS)
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 - 20 PETROLEUM TRENCH CAP SECTION (SEE DETAIL SHT. C6)
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 - 23 "HOOP" BOLLARD (SEE DETAIL SHT. C7)
 - 24 ASPHALT PAVING (SEE GEOTECH REPORT)
 - 25 MAVERIK D/F ILLUMINATED PYLON SIGN (SEE ARCH. PLANS)
 - 26 UNDERGROUND STORAGE FUEL TANKS (REFER MECH. PLANS)
 - 27 SIDEWALK CULVERT COA STD DWG 2236
 - 28 PNM EASEMENTS TO BE VACATED BY DOCUMENT AND/OR PLATTING ACTION
 - 29 EXISTING 6' PUBLIC SIDEWALK
 - 30 ALL UNDER CANOPY LIGHTING TO BE RECESSED PER IDO 4-3(D)(17)(h)
 - 31 TANK PIT WALL TO BE LINED WITH GEOTEXTILE FILTER FABRIC PER XERXES TANK SPEC.
 - 32 3'-0 by 6'-0, 28" HIGH LANDSCAPE PLANTER BOXES
 - 32 12" CONC. LANDSCAPE WALL

CLEAR SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



- NOTES:**
1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
 2. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. ALL UNUSED CURBS CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER, PER COA STD DWG 2415A AND 2430.
 3. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
 4. XACTAIR STATION ON 30"x36" CONCRETE PAD. EQUIPMENT PROVIDED BY OWNER, G.C. TO PROVIDE ELECTRICAL SERVICE AND INSTALL AIR STATION EQUIPMENT.
 5. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
 6. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING PLAN
 - C3. DEVELOPED DRAINAGE PLAN
 - C4. GRADING DETAILS
 - C5. MASTER UTILITY PLAN
 - C6. CONSTRUCTION DETAILS
 - C7. CONSTRUCTION DETAILS
 - C8. CONSTRUCTION DETAILS
 - C9. DEMOLITION PLAN
 - L1. LANDSCAPING PLAN
 - B1. BUILDING ELEVATION & SIGN PLANS
 - SW1. EROSION CONTROL PLAN
 - SW2. EROSION CONTROL DETAILS
 - SW3. EROSION CONTROL DETAILS

LEGAL DESCRIPTION
LOT A AND B, BLOCK 8, LA CUESTA SUBDIVISION

SITE DATA

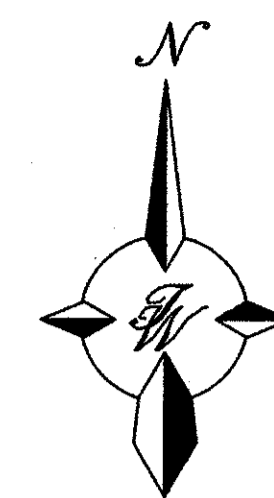
PROPOSED USAGE:	GAS CONVENIENCE STORE
IDO CLASSIFICATION:	LIGHT VEHICLE FUELING STATION
LOT AREA:	61,753.72 SF (1.41 ACRES)
BUILDING AREA:	4,300 SF
STACK:	2X5 (20 UNITS)
ASPHALT AREA:	
PARKING REQUIRED:	17 SPACES (4 SPACES PER 1,000 SF)
PARKING PROVIDED:	26 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES (1 SPACE VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES
LANDSCAPE AREA REQUIRED:	8,618 SF
LANDSCAPE AREA PROVIDED:	12,125 SF

PROJECT NUMBER:	PR-2018-001411
APPLICATION NUMBER:	SI-2019-00095
Is an Infrastructure List required? (✓) Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<i>Roguel M. M...</i> Traffic Engineer, Transportation Division	5/8/19 Date
<i>[Signature]</i> Water Utility Development	5/8/19 Date
Parks & Recreation Department	Date
<i>James D. Taylor</i> City Engineer	5/9/2019 Date
N/A	Date
* Environmental Health Department (conditional)	Date
N/A	Date
Spill Waste Management	Date
<i>[Signature]</i>	6/18/19 Date
DRB Chairperson, Planning Department	Date
<i>[Signature]</i>	5/8/19 Date
Code Enforcement	Date
* Environmental Health, if necessary	

	MAVERIK 650 JUAN TABO BLVD. NE SITE PLAN FOR BUILDING PERMIT	DRAWN BY pm DATE 05-03-2019 DRAWING 2018046-SP
		SHEET # C1
RONALD R. BOHANNAN P.E. #7868 5/3/2019	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	JOB # 2018046

Z:\2018\2018046 Maverik Juan Tabo & Copper\dwg\DRB\2018046-SP.dwg May 03, 2019 - 10:26am

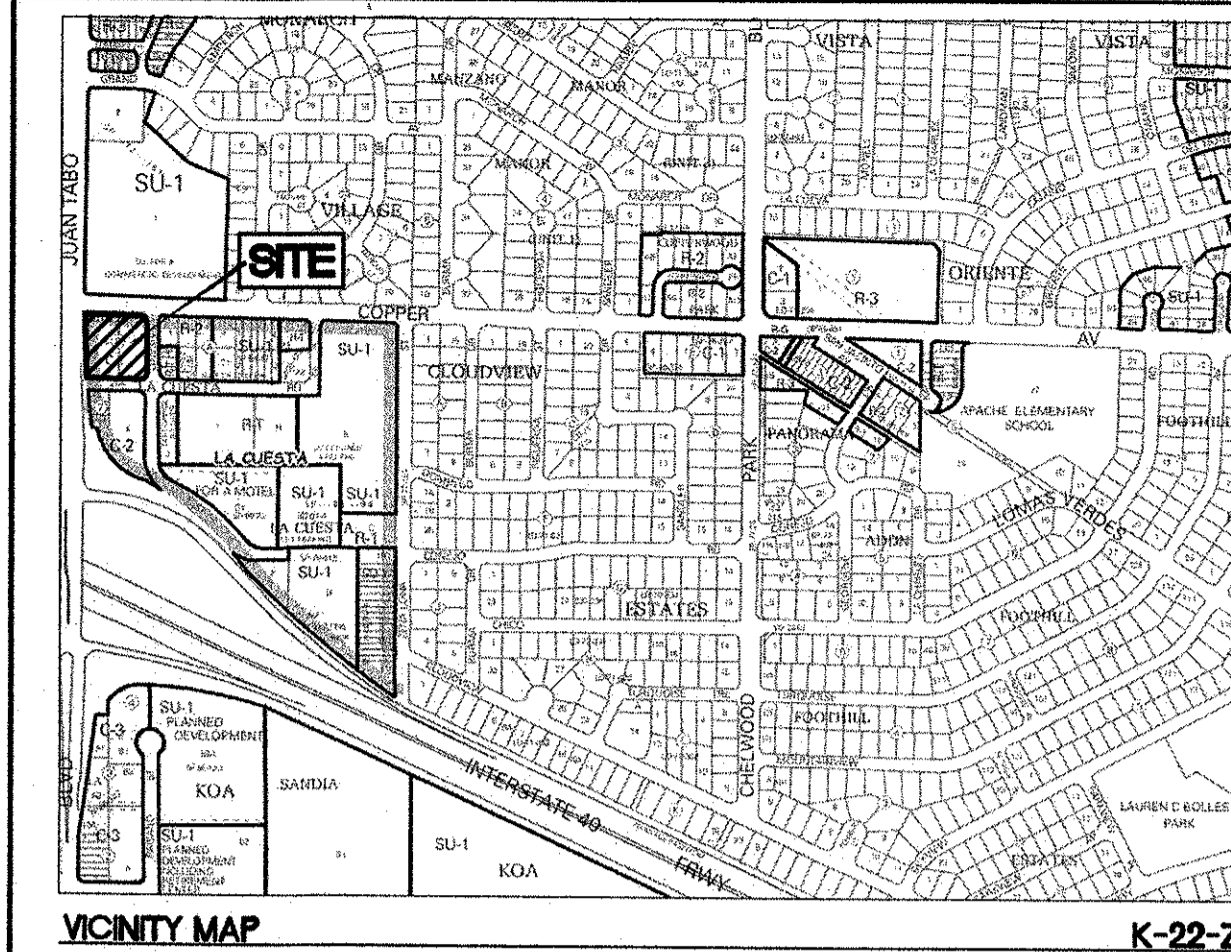
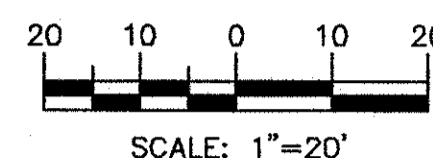
Copper Avenue, N.E.



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK/CONCRETE
- ASPHALT
- RETAINING WALL
- STREET LIGHTS
- EXISTING CURB & GUTTER

GRAPHIC SCALE



LEGAL DESCRIPTION

LOT A AND B, BLOCK 8, LA CUESTA SUBDIVISION

SITE DATA

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 LOT AREA: 61,753.72 SF (1.41 ACRES)

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 PARKING PROVIDED: 26 SPACES

HC PARKING REQUIRED: 2 SPACES
 HC PARKING PROVIDED: 2 SPACES
 1 SPACE VAN ACCESSIBLE

MC PARKING REQUIRED: 2 SPACES
 MC PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 2 SPACES
 BICYCLE PARKING PROVIDED: 2 SPACES

LANDSCAPE AREA REQUIRED: 9,263 SF
 LANDSCAPE AREA PROVIDED: 9,563 SF

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	2/20/19 /Date
DRB Chairperson, Planning Department	Date
Code Enforcement	Date

* Environmental Health, if necessary

KEYED NOTES

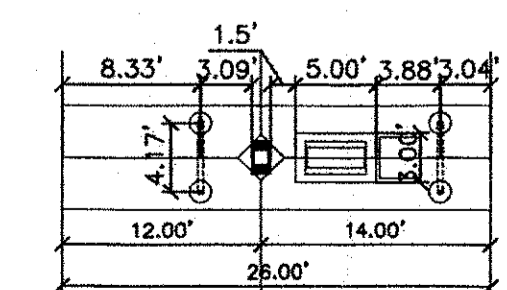
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- 28 PNM EASEMENTS TO BE VACATED BY PLATTING ACTION

NOTES:

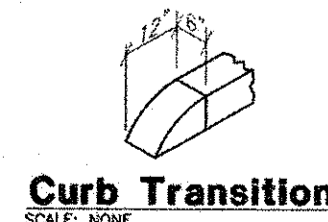
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FUEL ISLAND LAYOUT
SCALE: NONE



Curb Transition
SCALE: NONE



ENGINEER'S SEAL	MAVERIK 650 JUAN TABO BLVD. NE	DRAWN BY pm
	SITE PLAN FOR BUILDING PERMIT	DATE 1-29-19
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2018046-SP
RONALD R. BOHANNAN P.E. #7888		SHEET # C1
		JOB # 2018046

Copper Avenue, N.E.

THIS AREA TO BE GRANTED A SIDEWALK/ROAD EASEMENT TO COA. TOTAL SF 1,056 SF.

SWOP #1
TOP=5550.00
BOT=5548.00
VOL= 1,032 CF

5.0' CONC RUNDOWN
2X 2.0' SIDEWALK CULVERTS (S019 PERMIT)
INV.(IN): 5550.00
INV.(OUT): 5549.00

BUILD SIDEWALK CULVERT TO MODIFIED CURB FOR NEW RIGHT-TURN LANE.

1'-6" CONC. WALL TRANSITION END

3.5' CURB CUT

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL

6" PVC (RD) TYP.

5549.83

5550.60

5549.67

5550.55

5550.30

5549.50

5547.88

5548.73

5548.38

5549.57

5549.96

5549.80

5549.55

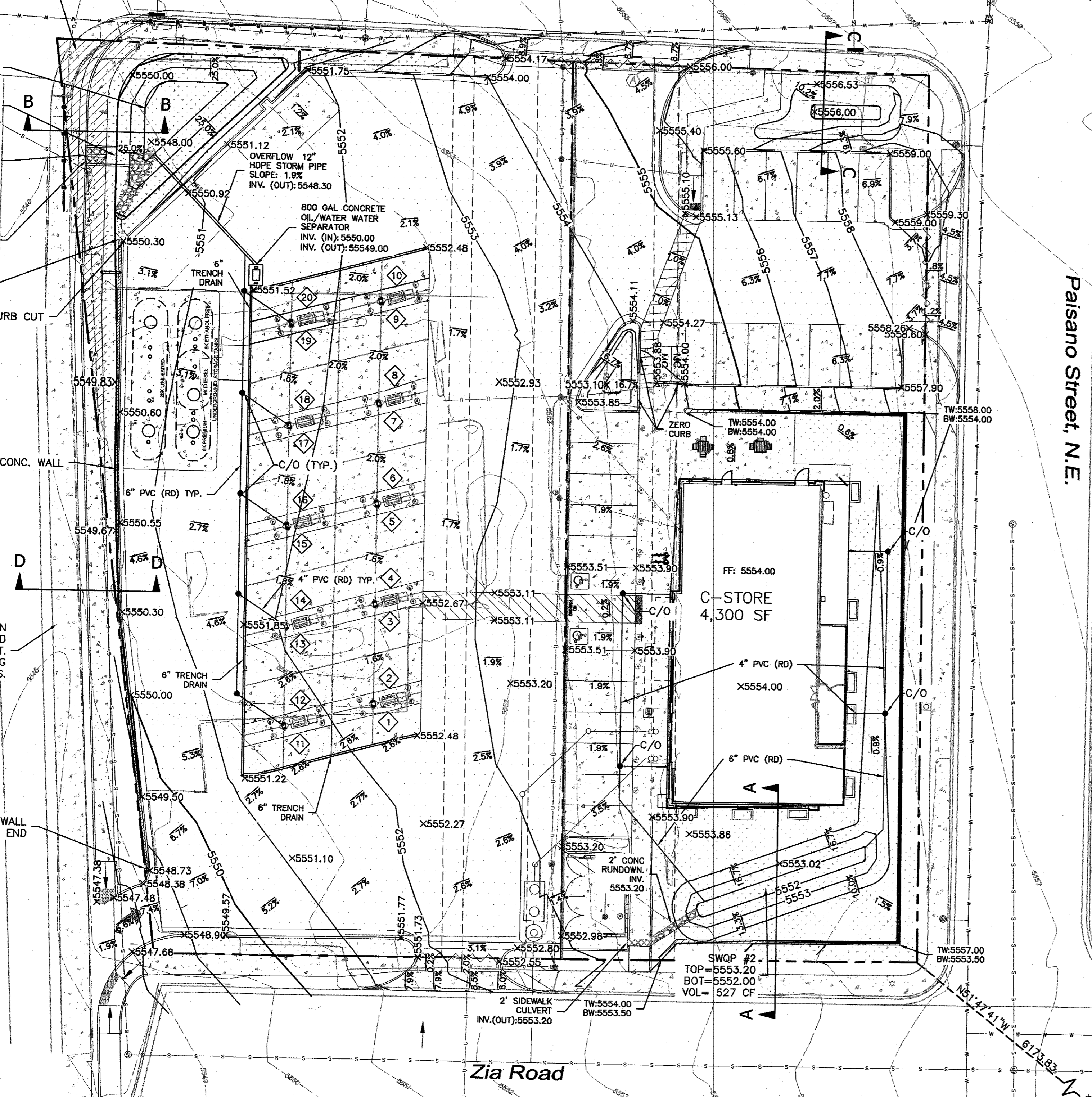
5552.80

5552.55

5552.20

5552.00

5552.00



Juan Tabo Boulevard, N.E.

PROPOSED RIGHT TURN LANE TO BE DETAILED ON COA DRC PLAN SET. NOT PART OF BUILDING PERMIT PLANS.

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

1'-6" CONC. WALL TRANSITION END

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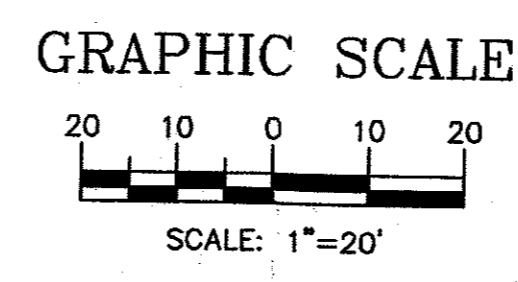
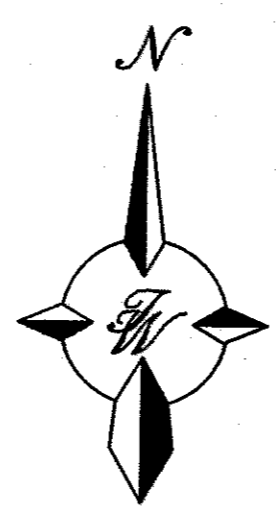
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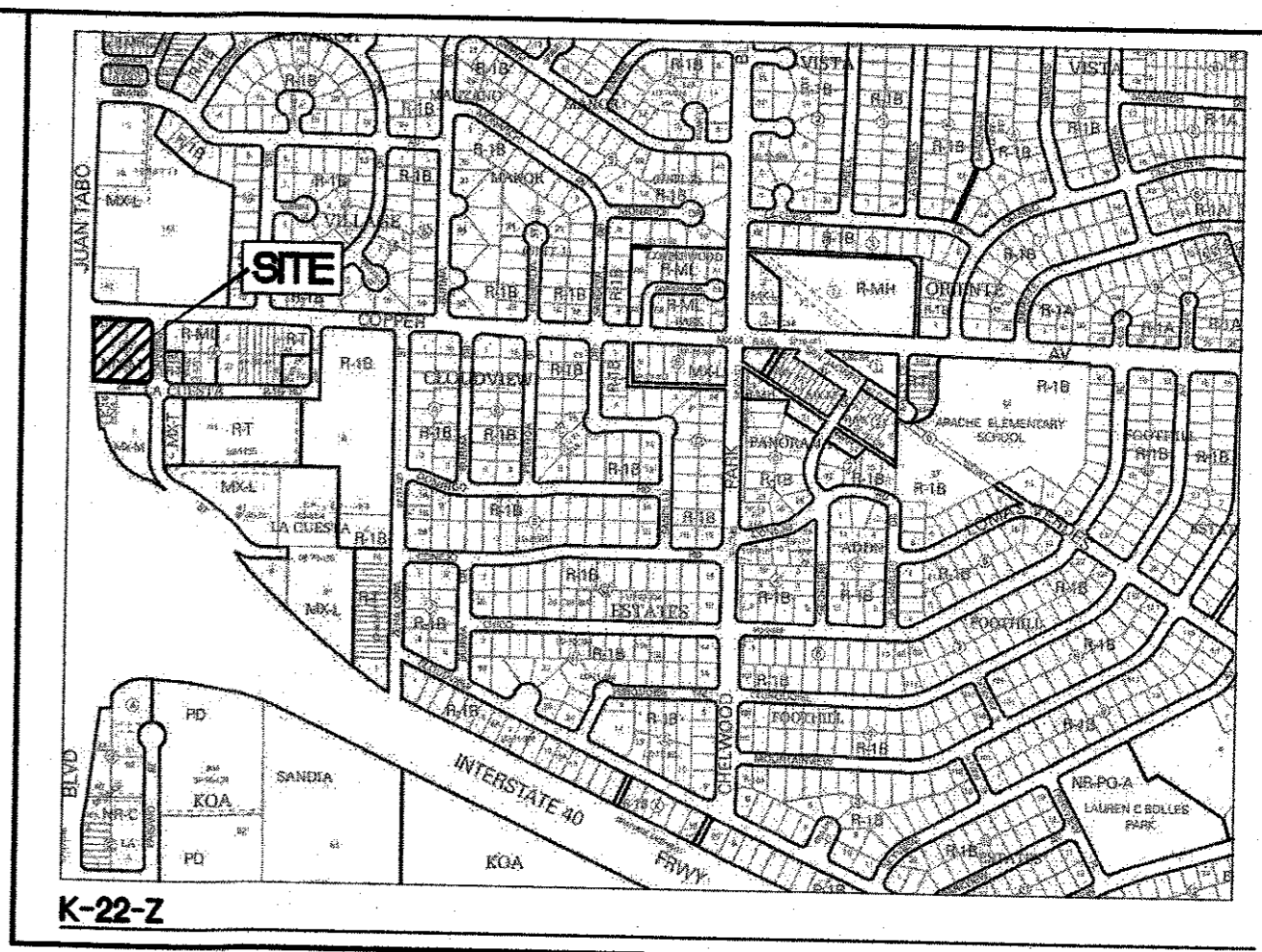
Zia Road

Paisano Street, N.E.



LEGEND

---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	EXISTING SIDEWALK
---	EXISTING WATER LINE
---	EXISTING STORM LINE
---	EXISTING STORM MANHOLE
---	EXISTING STORM INLET
---	EXISTING SAS LINE
---	EXISTING SAS MANHOLE
---	EXISTING WATER LINE
---	EXISTING WATER VALVE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING POWER POLE
---	EXISTING ELECTRIC LINE
---	EXISTING WALL
---	EXISTING ELECTRICAL BOX
---	EXISTING TRANSFORMER
---	EXISTING LIGHT STANDARD
---	EXISTING TELEPHONE PEDESTAL
---	SIDEWALK
---	RETAINING WALL
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	SPOT ELEVATION (FLOWLINE)
---	EXISTING BOUNDARY LINE
---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
---	EXISTING SPOT ELEVATION



CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (SPECIAL ORDER 10 '80-10')

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL '811' [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
6. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR MUST CONTACT DAVID S. HARRISON AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

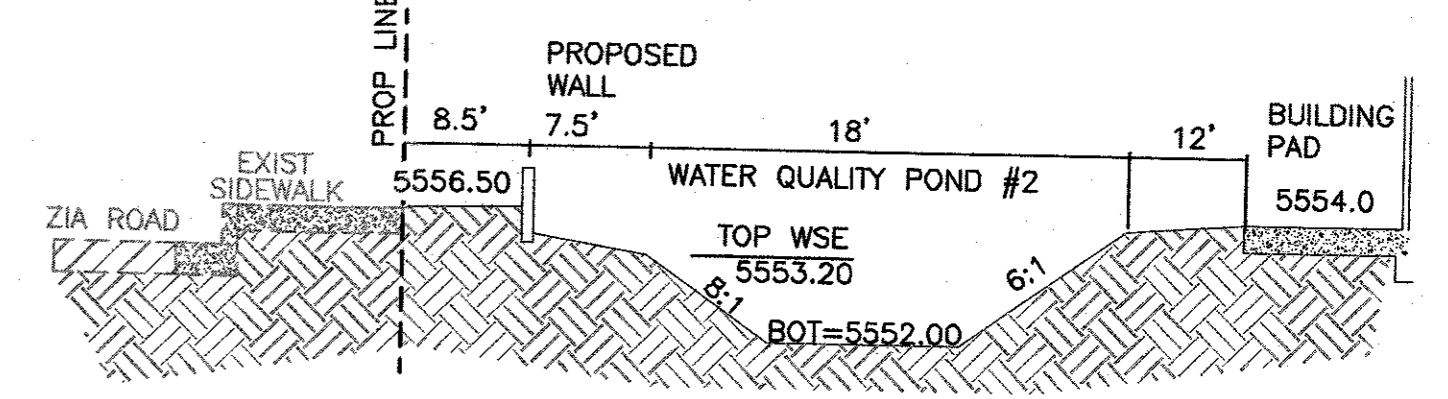
EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

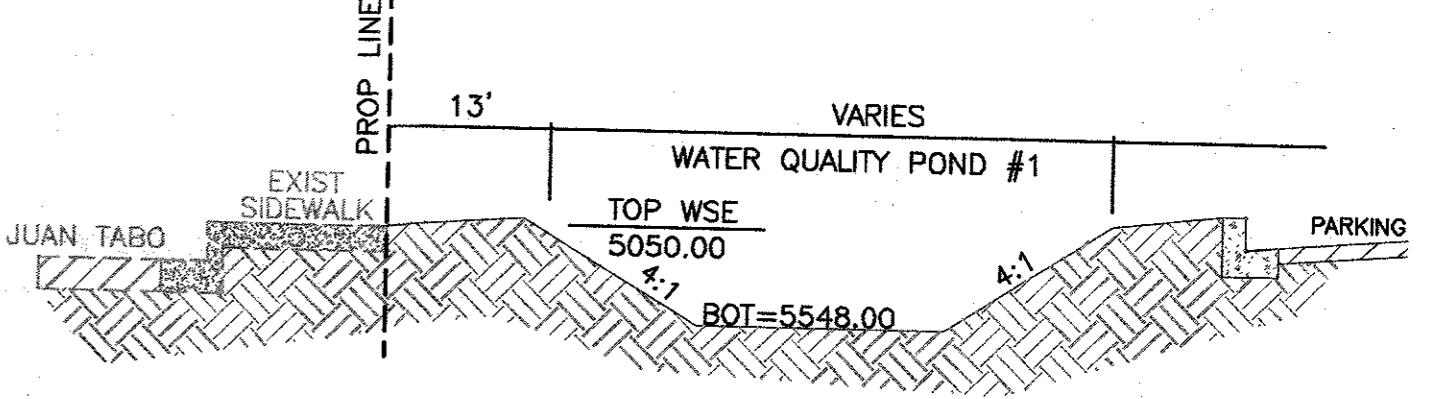
A.G.R.S. MONUMENT "2.L22"
STANDARD C.O.A. BRASS DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,480,207.321 US SURVEY FEET
E=1,566,235.48 US SURVEY FEET
PUBLISHED EL=5222.09 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999639275
DELTA ALPHA ANGLE=-0'08'32.78"

NOTES:

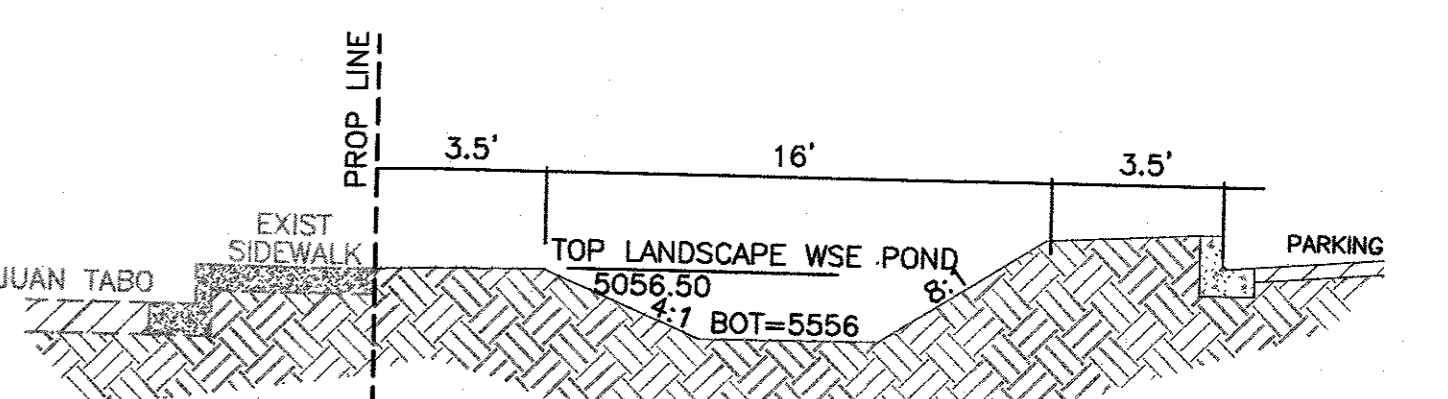
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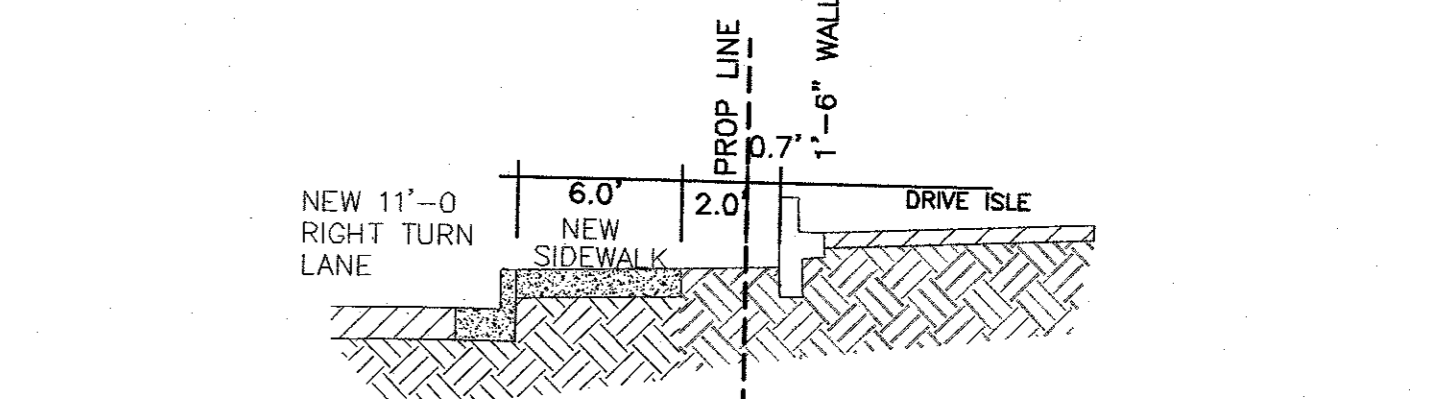
SECTION A-A NTS



SECTION B-B NTS

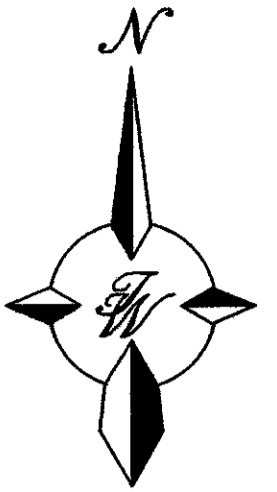
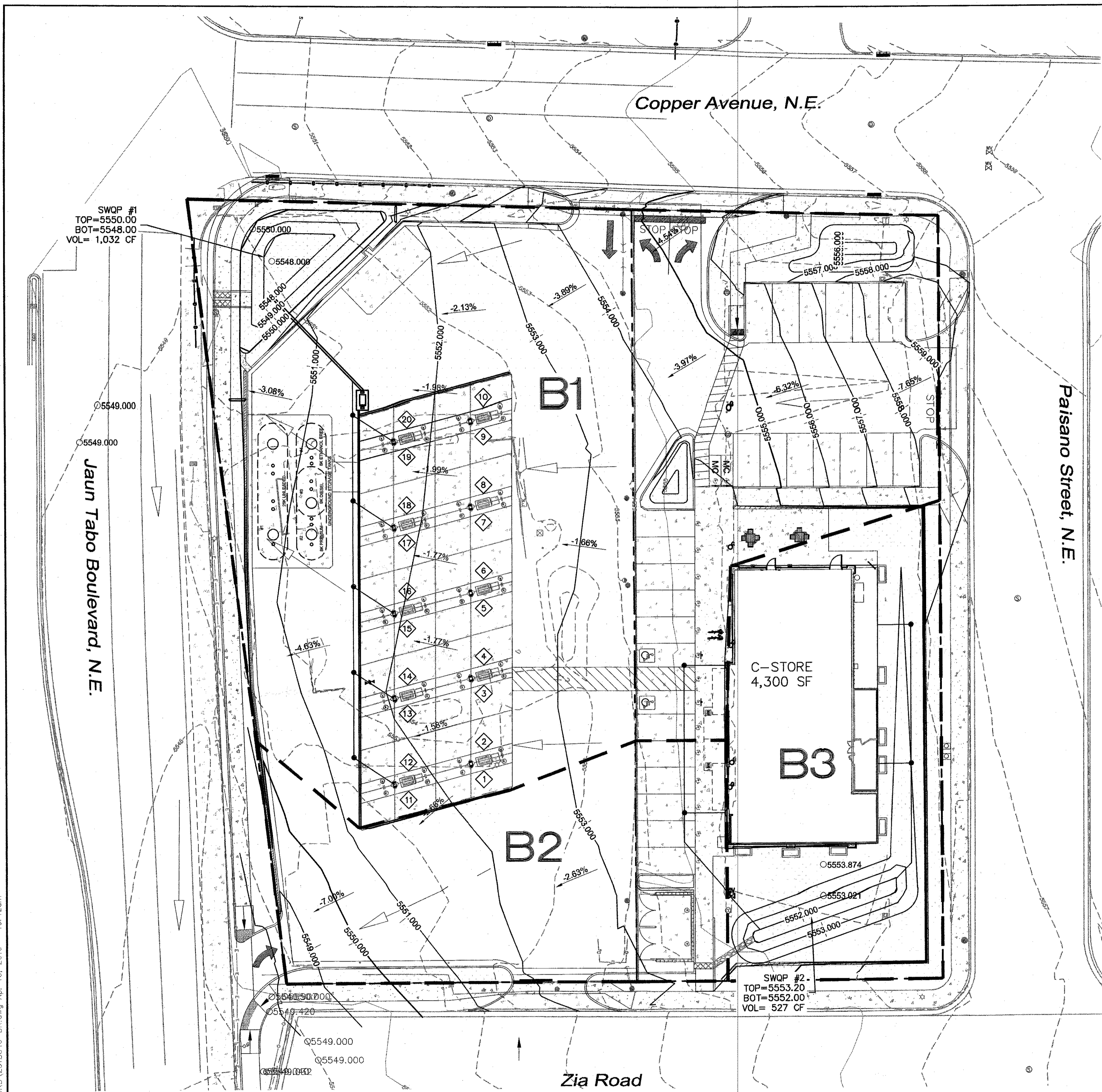


SECTION C-C NTS



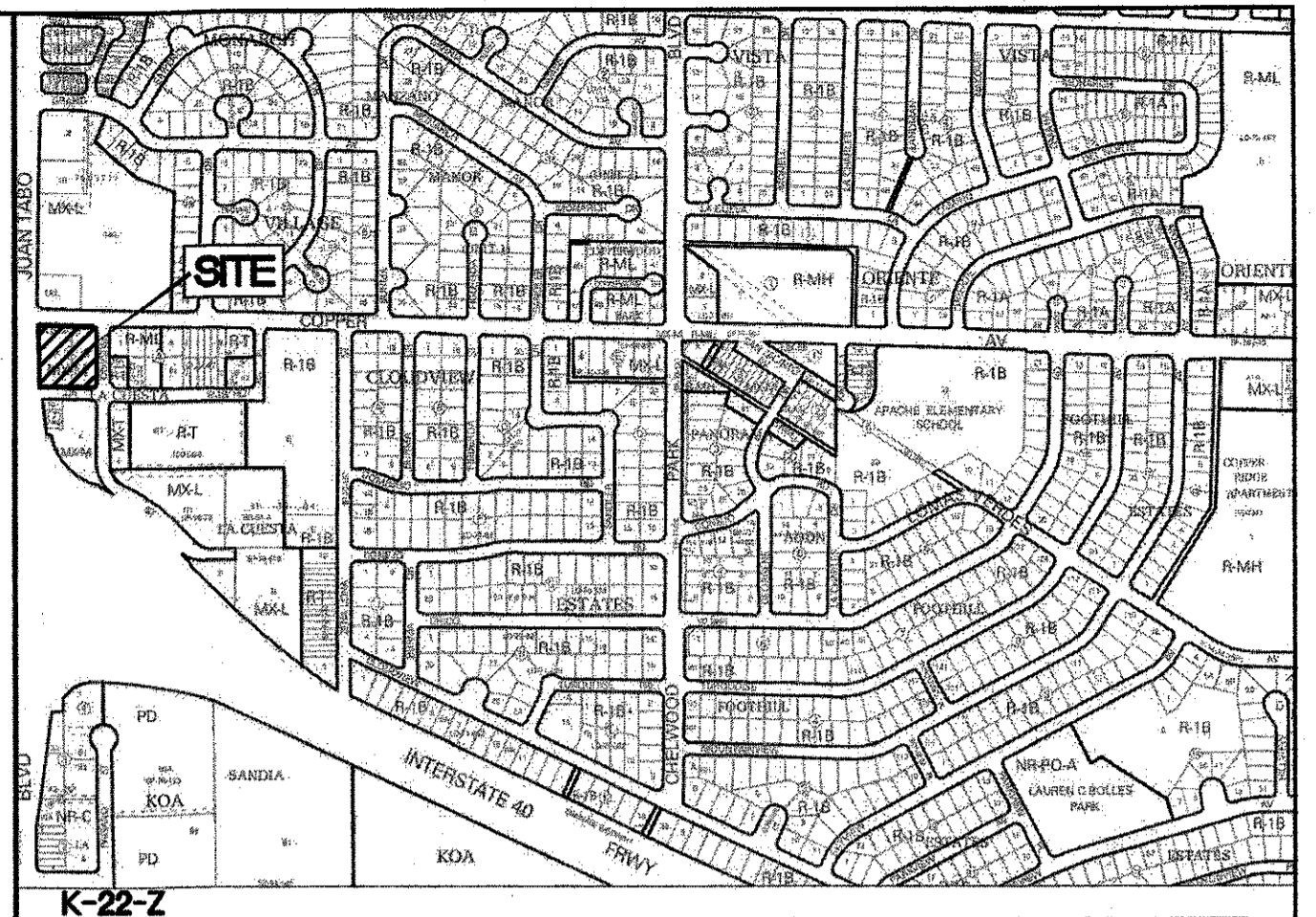
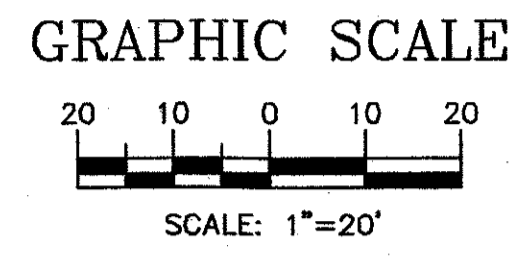
SECTION D-D NTS

ENGINEER'S SEAL 	MAVERIK 650 JUAN TABO BLVD. NE GRADING PLAN	DRAWN BY pm
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DATE 4-16-19
	SHEET # C2	DRAWING 2018046-GR
RONALD R. BOHANNAN P.E. #7868	JOB # 2018046	



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- DRAINAGE BASIN BOUNDARY
- FLOW DIRECTION



MAINTENANCE OF BMPS
 RESPONSIBLE PARTY: PROPERTY OPERATOR
 MAINTENANCE REQUIREMENTS AND FREQUENCY: REFER TABLE THIS PAGE.
 ACCESS TO BMPS: ACCESS SHALL BE PROVIDED VIA SITE ACCESS DRIVES TO SURFACE SWQV POND. ALL REMOVAL AND DISPOSAL OF LANDSCAPING AND SEDIMENT SHALL BE COMPLETED BY CERTIFIED LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE LANDSCAPE MAINTENANCE SPECIFICATION. NO DEBRIS SHALL REMAIN ONSITE AFTER TRIMMING.
 SEDIMENTATION MONITORING SHALL BE COMPLETED BY THE PROPERTY OWNER YEARLY. IF SILT ACCUMULATION EXCEEDS 2 INCHES ON THE SWQV POND GAUGE THEN THE POND BOTTOM SHALL BE EXCAVATED AND STACKED WITHIN 2- FEET OF THE SWQV POND BERM.
 VISUAL INSPECT FOLLOWING STORM EVENTS SHALL BE COMPLETED AS REQUIRED TO ENSURE THE INFILTRATION OF THE SWQV IS ACHIEVED AT ACCEPTABLE RATES. THE SWQV, AT THE MAXIMUM 24" DEPTH, SHOULD INFILTRATE WITHIN 24 HOURS.

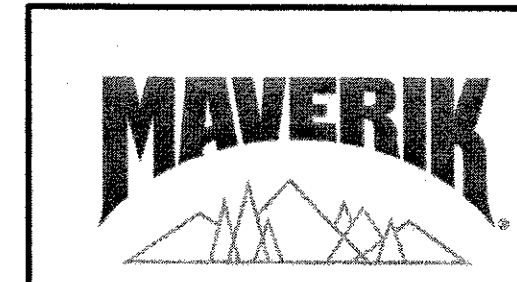
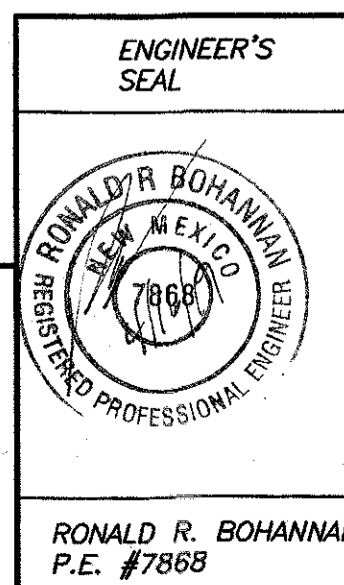
VECTOR CONTROL NOTES:
 ALLOWING CONDITIONS SUCH AS THE ACCUMULATION OF STANDING WATER THAT CAN CONTRIBUTE TO THE BREEDING OF MOSQUITOES IS A VIOLATION OF THE CITY OF ALBUQUERQUE'S INSECT AND RODENT CONTROL ORDINANCE. MAINTENANCE OF THE OIL WATER SEPARATOR AND SWQV PONDS ARE THE RESPONSIBILITY OF THE PROPERTY OPERATOR. IN ORDER TO PREVENT MOSQUITO BREEDING, VEGETATION SHOULD REGULARLY BE CLEARED FROM THE BASIN AND EDGES OF PONDS. THE SITE SHOULD BE MAINTAINED THROUGHOUT THE YEAR IN THIS MANNER. REMOVAL OF VEGETATION CREATES A LESS DESIRABLE SITE FOR MOSQUITO BREEDING. THIS WILL ALSO AID IN THE REDUCTION OF RODENT HARBORAGE. WHEN STANDING WATER DOES EXIST IT SHOULD BE TREATED WITH PUBLICLY AVAILABLE MOSQUITO PRODUCTS (E.G. MOSQUITO DUNKS) AT THE TREATMENT RATE DESIGNATED BY THE PRODUCT LABEL. SHOULD A SITE MAINTAIN PERMANENT STANDING WATER, MOSQUITO FISH (GAMBUSIA) CAN BE OBTAINED FROM THE CITY OF ALBUQUERQUE'S ENVIRONMENTAL HEALTH DEPARTMENT FREE OF CHARGE.

REGULAR MAINTENANCE	FREQUENCY
LITTER MANAGEMENT	
Pick up all litter at site and in Landscape areas and remove from site	Daily
INLETS AND OUTLETS	
Visual inspection for function. Remove silt from slab aprons and debris in pavement areas. Remove all fallen vegetation around inlet and outlet structures.	Monthly
HARD SURFACES	
Sweep all paving regularly. Maintain pavement in autumn after leaf fall. Coordinate with Landscape Contractor if additional maintenance is required.	As required
OCCASIONAL TASKS	
INSPECTION AND INLETS, OUTLETS AND CONTROL CHAMBERS	
Inspect surface structures removing obstructions and silt as necessary. Check there is no physical damage. For below ground control chambers, remove cover and inspect ensuring water is flowing freely and that the exit route for water is unobstructed. Remove debris and silt.	Yearly
POND VEGETATION	
Ensure Pond vegetation is maintained by Landscape Contractor. All weeds and all cuttings removed from site.	As required
SILT MANAGEMENT	
Inspect swales and water quality pond for silt accumulation. Excavate silt, stack and dry within 2-feet of the water quality feature, but outside the design profile where water flows, spread, rake and overseed. Protect surface from siltation and manage main area of basin for design function or appearance.	Yearly
REMEDIAL WORK	
Inspect storm all water quality structures regularly to check for damage or failure. Undertake remedial work as required.	Yearly

CAUTION:
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Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr			SWQV					
				Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Required (cf)	Provided (cf)				
1	40,521	0.930	0.00145	0%	0.000	10%	0.093	0%	0.000	90%	0.837	2.484	0.193	4.67	1.567	0.121	3.12	790	1,032 (#1)
2	10,390	0.239	0.00037	0%	0.000	0%	0.000	0%	0.000	100%	0.239	2.640	0.052	1.25	1.690	0.034	0.85	225	
3	10,843	0.249	0.00039	0%	0.000	50%	0.124	0%	0.000	50%	0.124	1.860	0.039	1.02	1.075	0.022	0.62	117	527 (#2)
Total	61,754	1.418	0.00222		0.000		0.217		0.000		1.200		0.284	6.936		0.177	4.600	1,133	1,559

Equations:			Excess Precipitation, E (in.)			Peak Discharge (cfs/acre)			Water Quality Volume - "First Flush Pond" - Redevelopment Site		
Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)			Zone 4	100-Year	10-Year	Zone 4	100-Year	10-Year	Total Impervious Area =	Area in "Treatment D"	
Volume = Weighted E * Total Area			Ea	0.8	0.28	Qa	2.2	0.87	= 0.0233 x area CF		
Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad			Eb	1.08	0.46	Qb	2.92	1.45	Retainage depth = 0.28"		
WQV _{required} = 0.26*A*43560*(1/12)			Ec	1.46	0.73	Qc	3.73	2.26	Retention Volume =		
			Ed	2.64	1.69	Qd	5.25	3.57			



ENGINEER'S SEAL

MAVERIK
 650 JUAN TABO BLVD. NE
 DRAINAGE PLAN

TIERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierrowestllc.com

DRAWN BY
pm

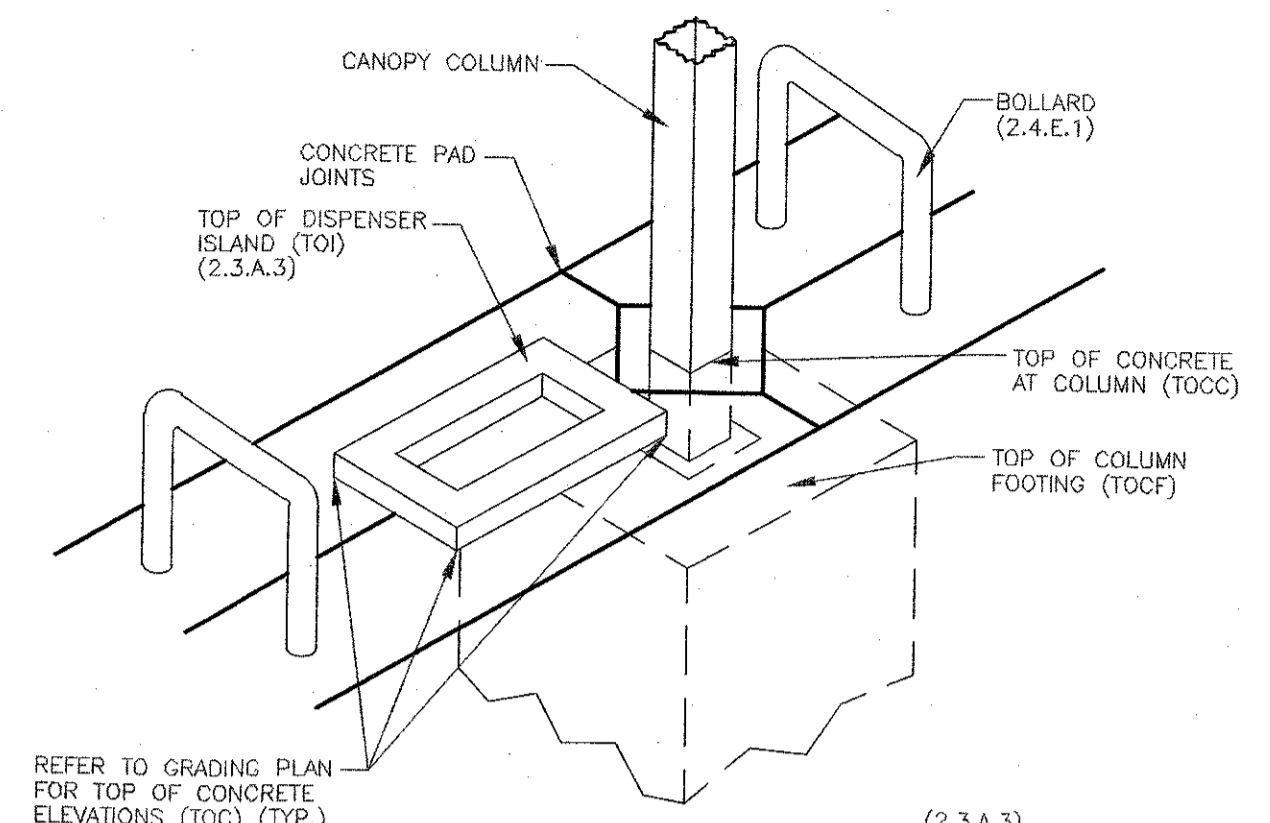
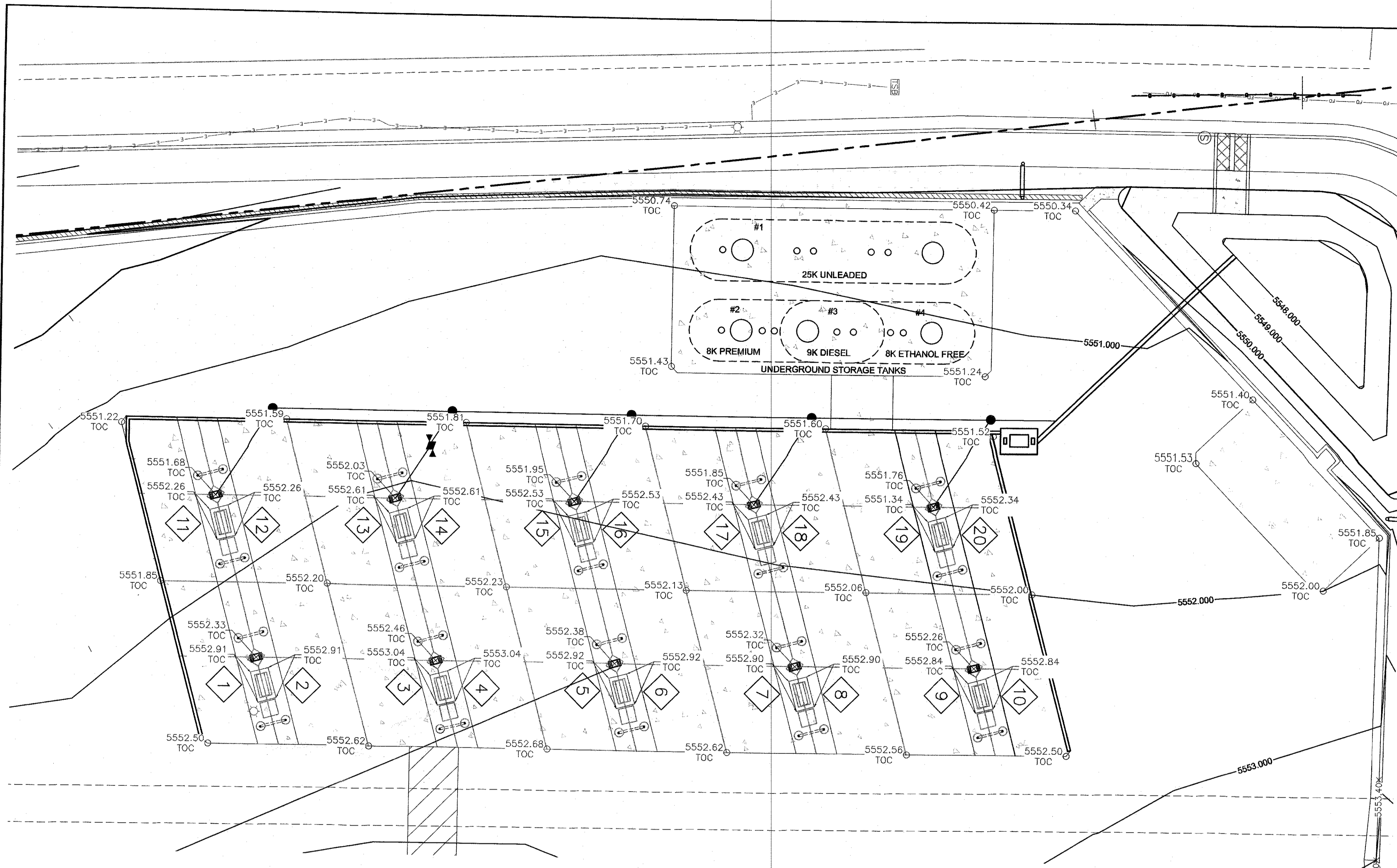
DATE
4-18-19

DRAWING
2018046-DR

SHEET #
C3

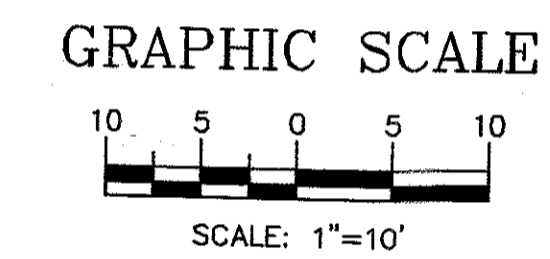
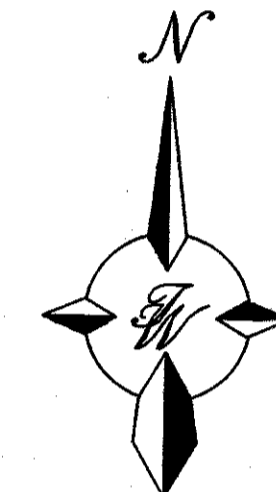
JOB #
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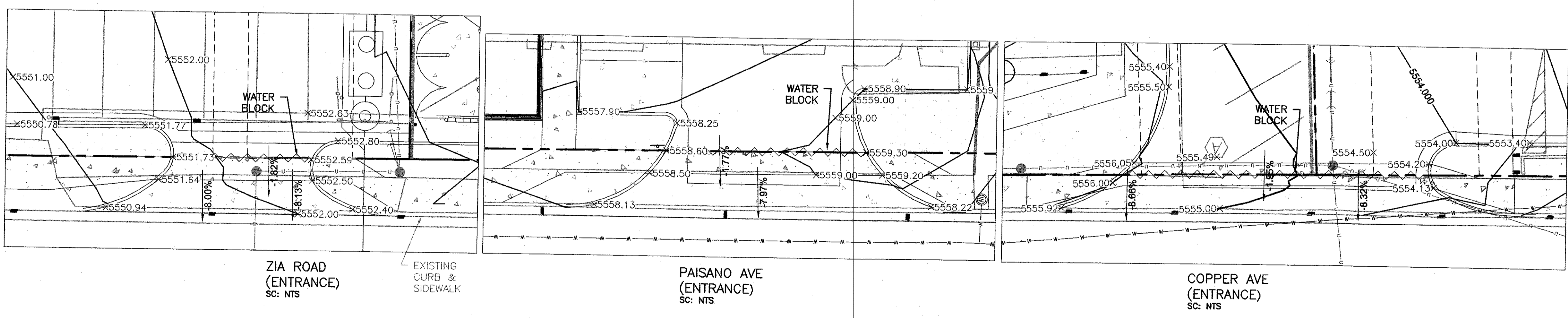
NOTE: TOP OF CONCRETE TO TOP OF SPOT & SPREAD FOOTING SEPARATION IS 36".

NOTE:
6" RAISED VERTICAL CONCRETE ISLAND WITH TOOLED EDGES AND CORNERS TO BE POURED FIRST 5'-0" x 3'-0" CONCRETE ISLAND (NO METAL FORM - VERIFY SIZE WITH DISPENSER MANUF.) AFTER THE 5'-0" x 3'-0" FUEL ISLAND HAS BEEN POURED, SLOPE CONCRETE AWAY FROM ISLAND IN ALL (4) DIRECTIONS.
ALL DISPENSERS TO BE EQUIPPED WITH AN EXTINGUISHER.

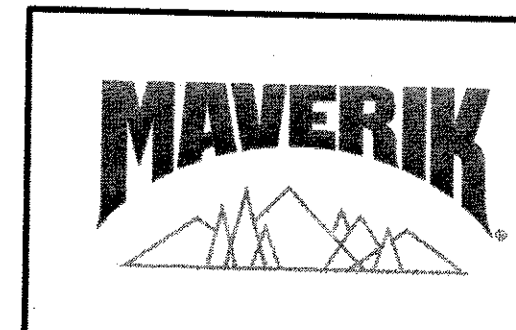


Fuel Dispenser Elevations

FUEL DISPENSER	TOP OF ISLAND	T.O.C. @ COLUMN	TOP OF COL. FTP
1-2	5552.91	5552.33	5552.33
3-4	5553.04	5552.46	5552.46
5-6	5552.96	5552.38	5552.38
7-8	5552.90	5552.32	5552.32
9-10	5552.84	5552.26	5552.26
11-12	5552.26	5551.68	5551.68
13-14	5552.61	5552.03	5552.03
15-16	5552.53	5551.95	5551.95
17-18	5552.43	5551.85	5551.85
19-20	5552.34	5551.76	5551.76



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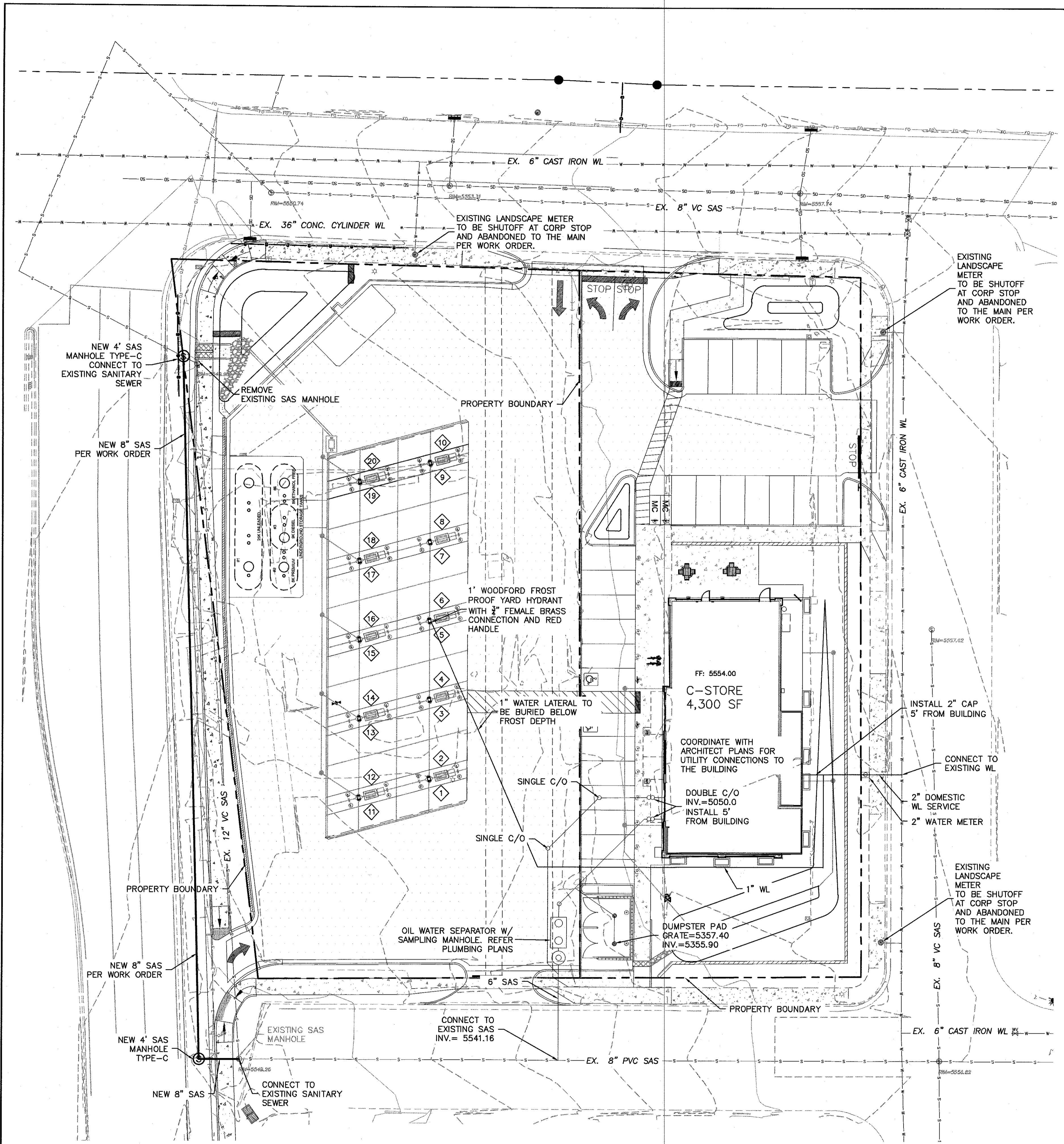
ENGINEER'S SEAL

 RONALD R. BOHANNAN
 P.E. #7868

MAVERIK
 650 JUAN TABO BLVD. NE
 GRADING DETAILS

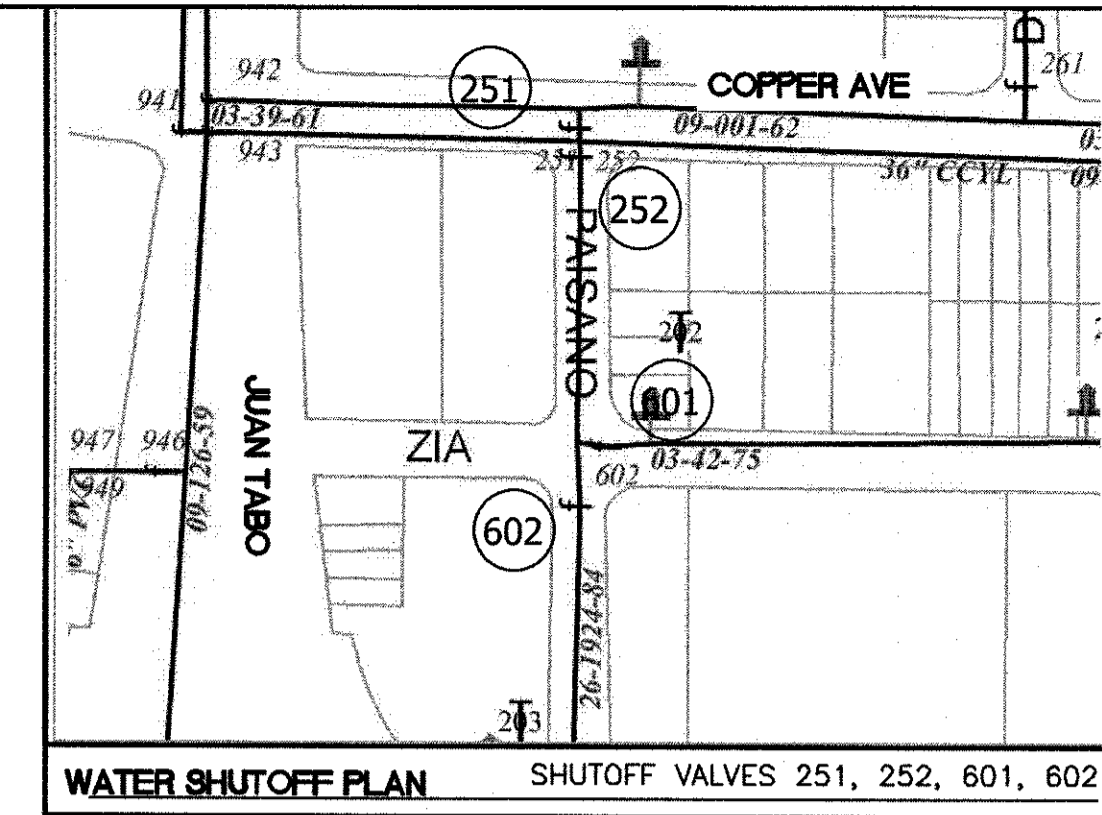
TIERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
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DRAWN BY
pm
 DATE
4-16-19
 DRAWING
2018046-GR-DETAILS
 SHEET #
C4
 JOB #
2018046



LEGEND

	EXISTING CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING WATER LINE
	EXISTING STORM LINE
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	EXISTING SAS LINE
	EXISTING SAS MANHOLE
	EXISTING WATER LINE
	EXISTING WATER VALVE
	EXISTING OVERHEAD POWER LINE
	EXISTING POWER POLE
	EXISTING ELECTRIC LINE
	EXISTING WALL
	EXISTING ELECTRICAL BOX
	EXISTING TRANSFORMER
	EXISTING LIGHT STANDARD
	EXISTING TELEPHONE PEDESTAL
	SIDEWALK
	RETAINING WALL
	5010 CONTOUR MAJOR
	5011 CONTOUR MINOR
	x 5048.25 SPOT ELEVATION (FLOWLINE)
	EXISTING BOUNDARY LINE
	5010 EXISTING CONTOUR MAJOR
	5011 EXISTING CONTOUR MINOR
	x 5048.25 EXISTING SPOT ELEVATION

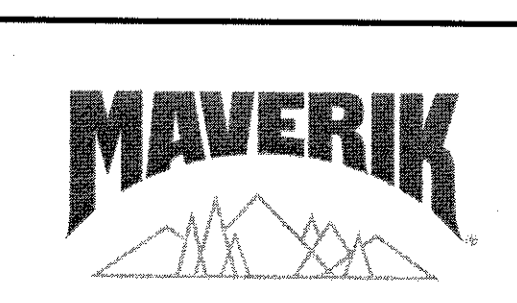
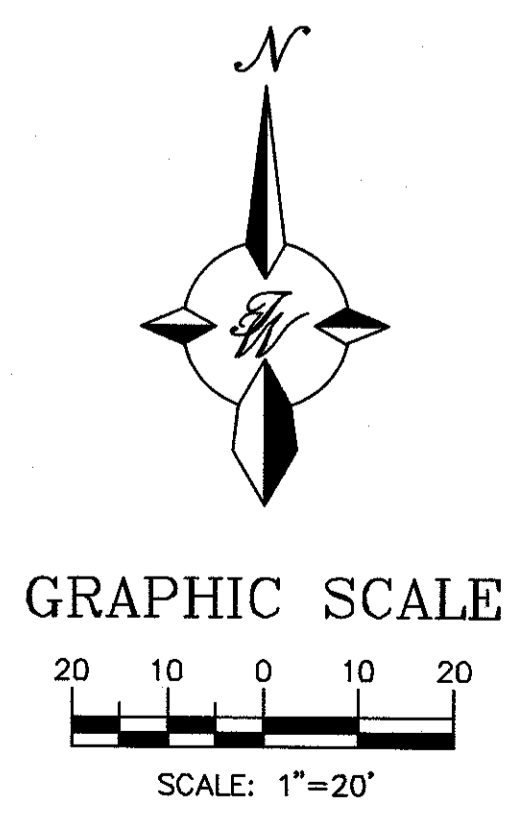


THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT https://www.abcwua.org/Water_Shut_off_and_Turn_on_Procedures.aspx

CAUTION:
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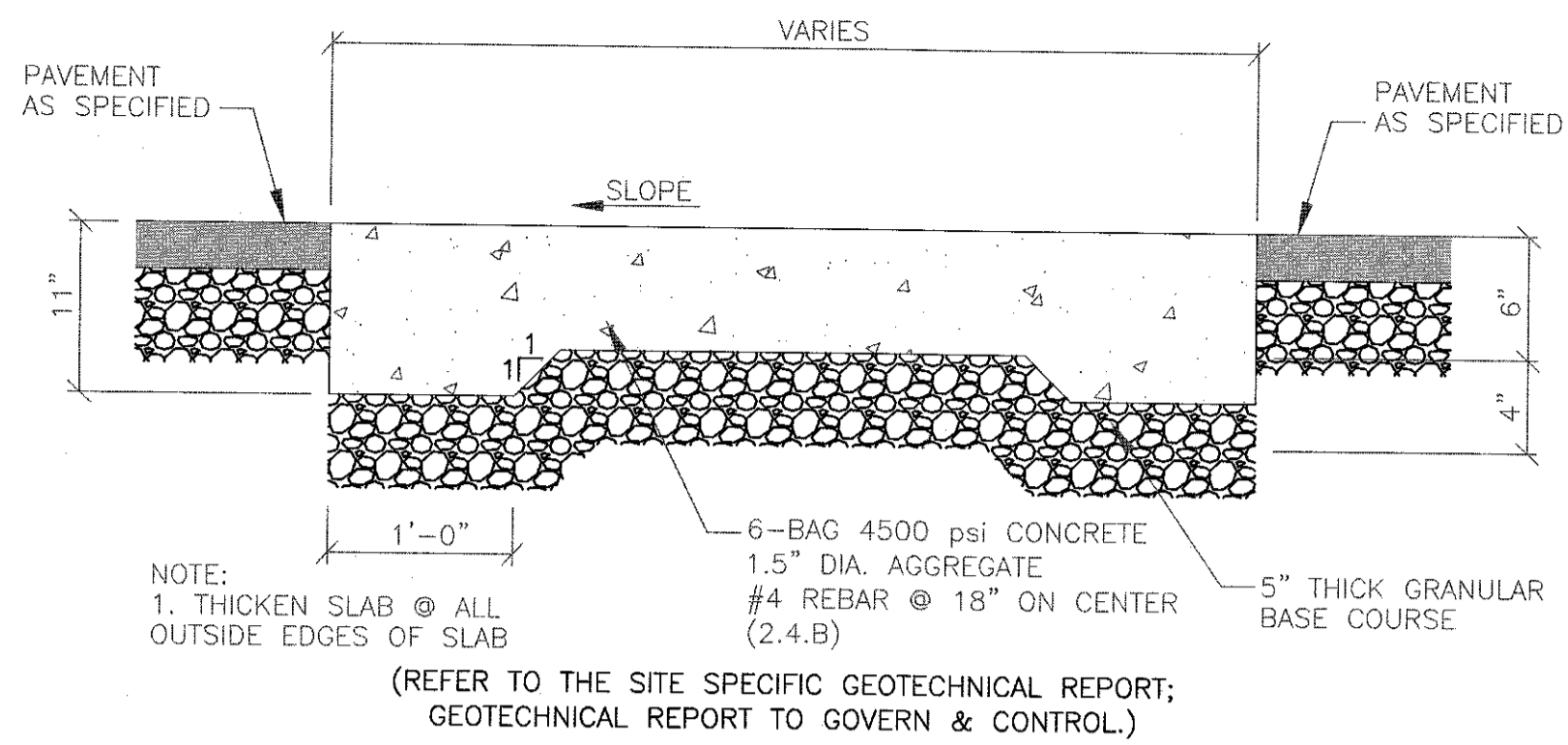
GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- ALL BUILDINGS - CONSTRUCTION TYPE IS II-B

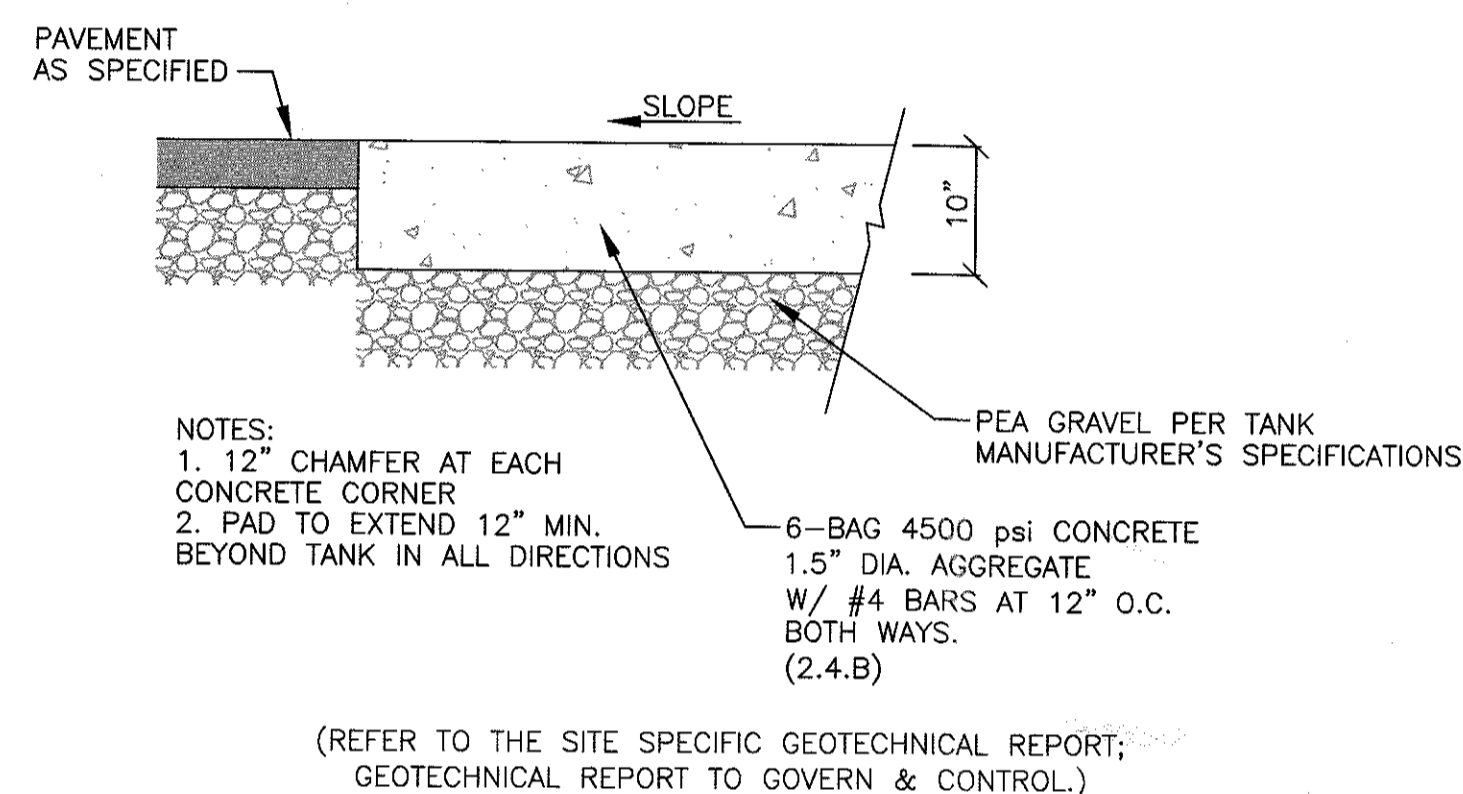


ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MAVERIK 650 JUAN TABO BLVD. NE UTILITY PLAN	DRAWN BY pm DATE 05-08-2019 DRAWING 2018046-MU
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C5 JOB # 2018046

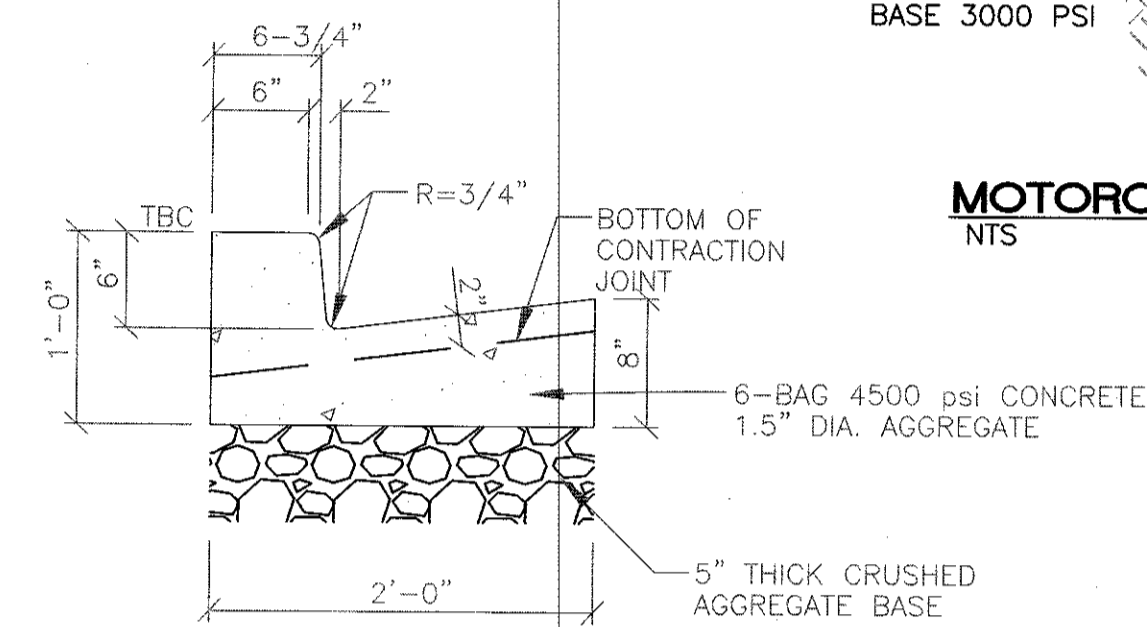
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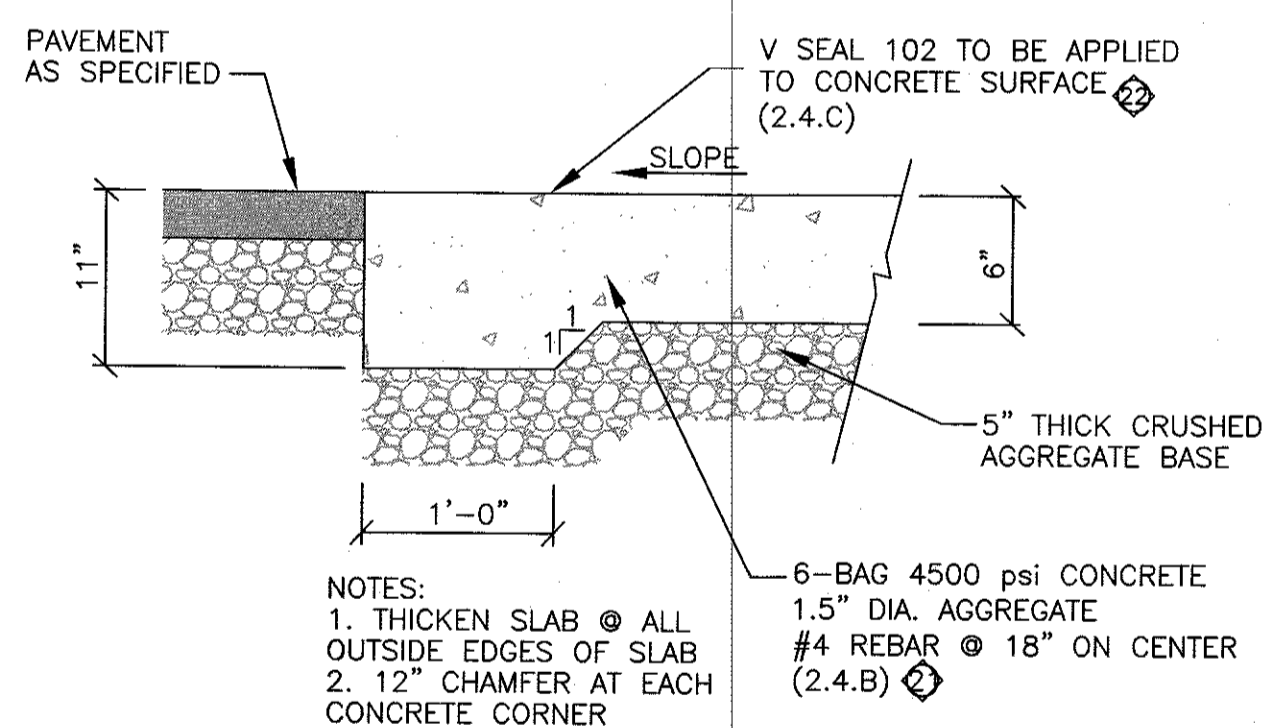
Petroleum Trench Cap Section
SCALE: NONE



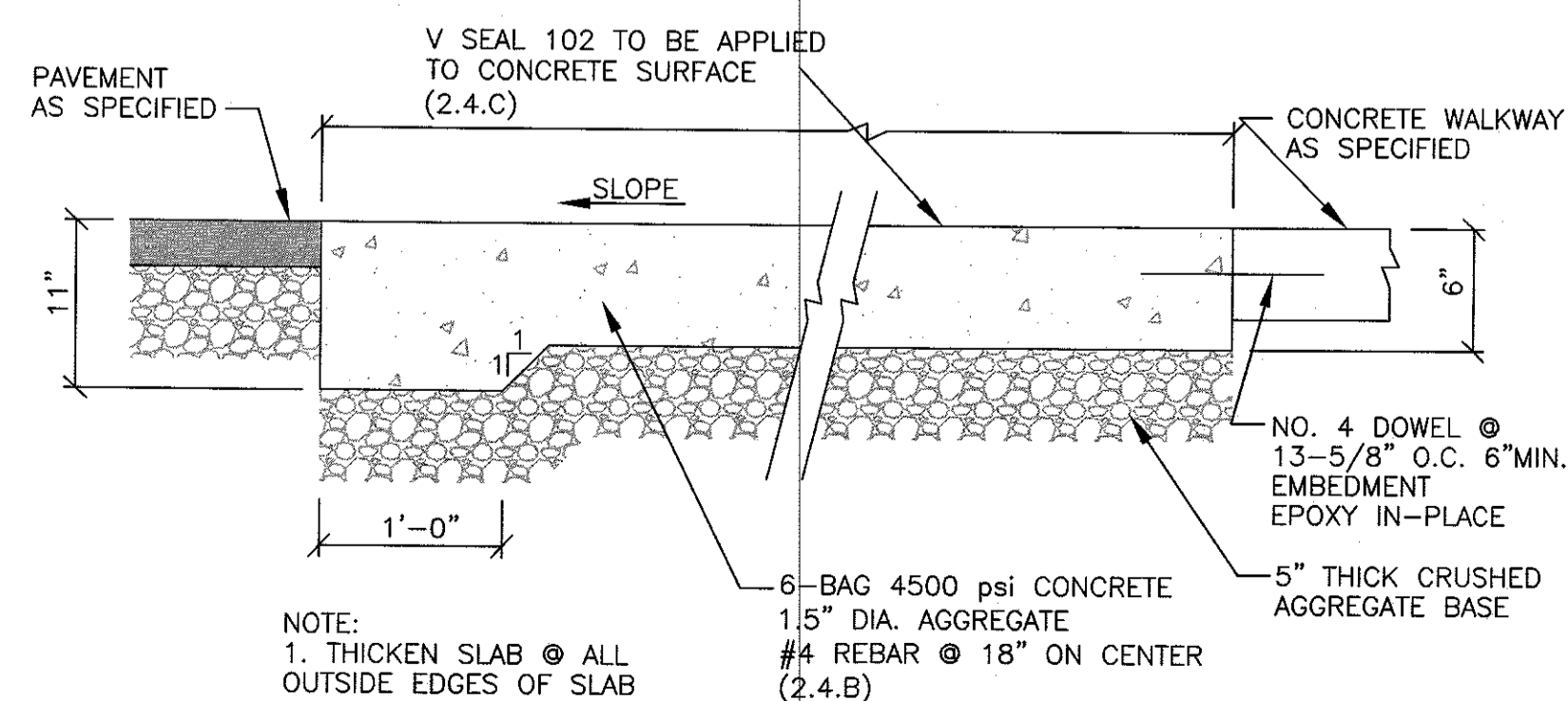
Concrete Pad over Underground Fuel Tanks



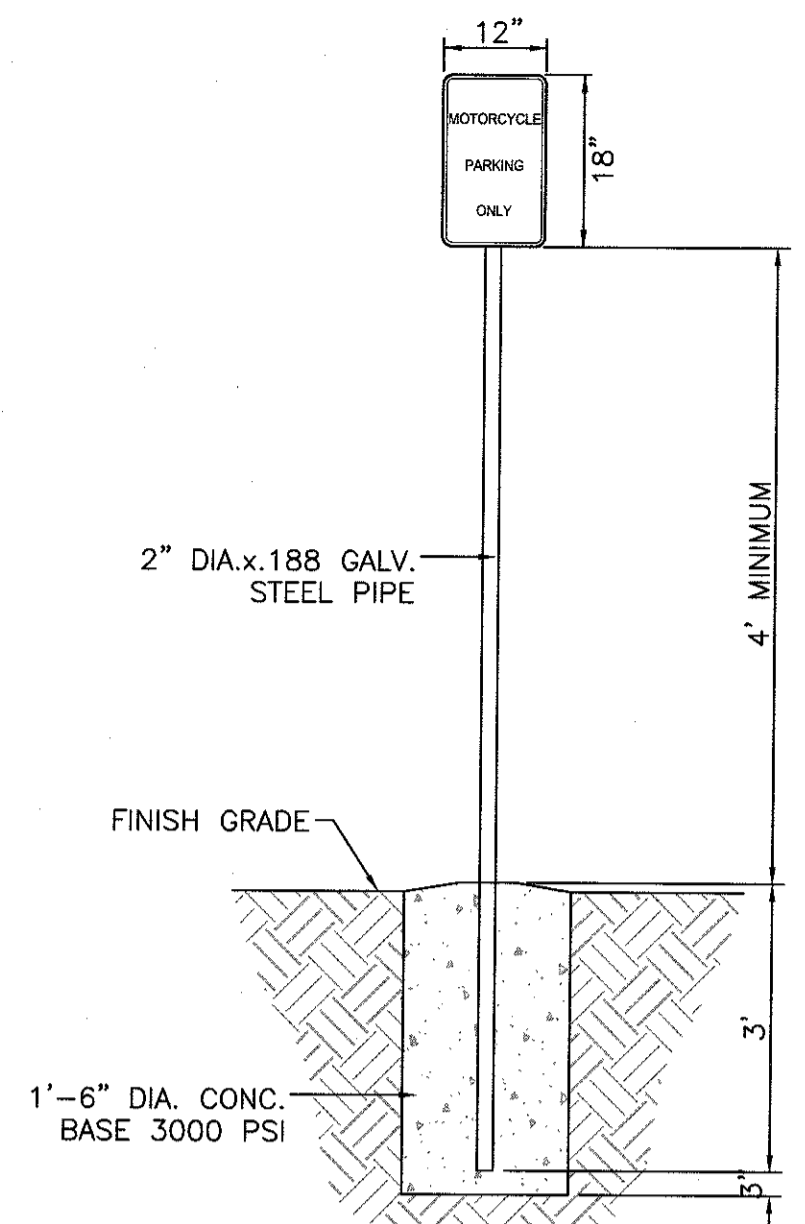
On-Site Curb & Gutter
SCALE: NONE



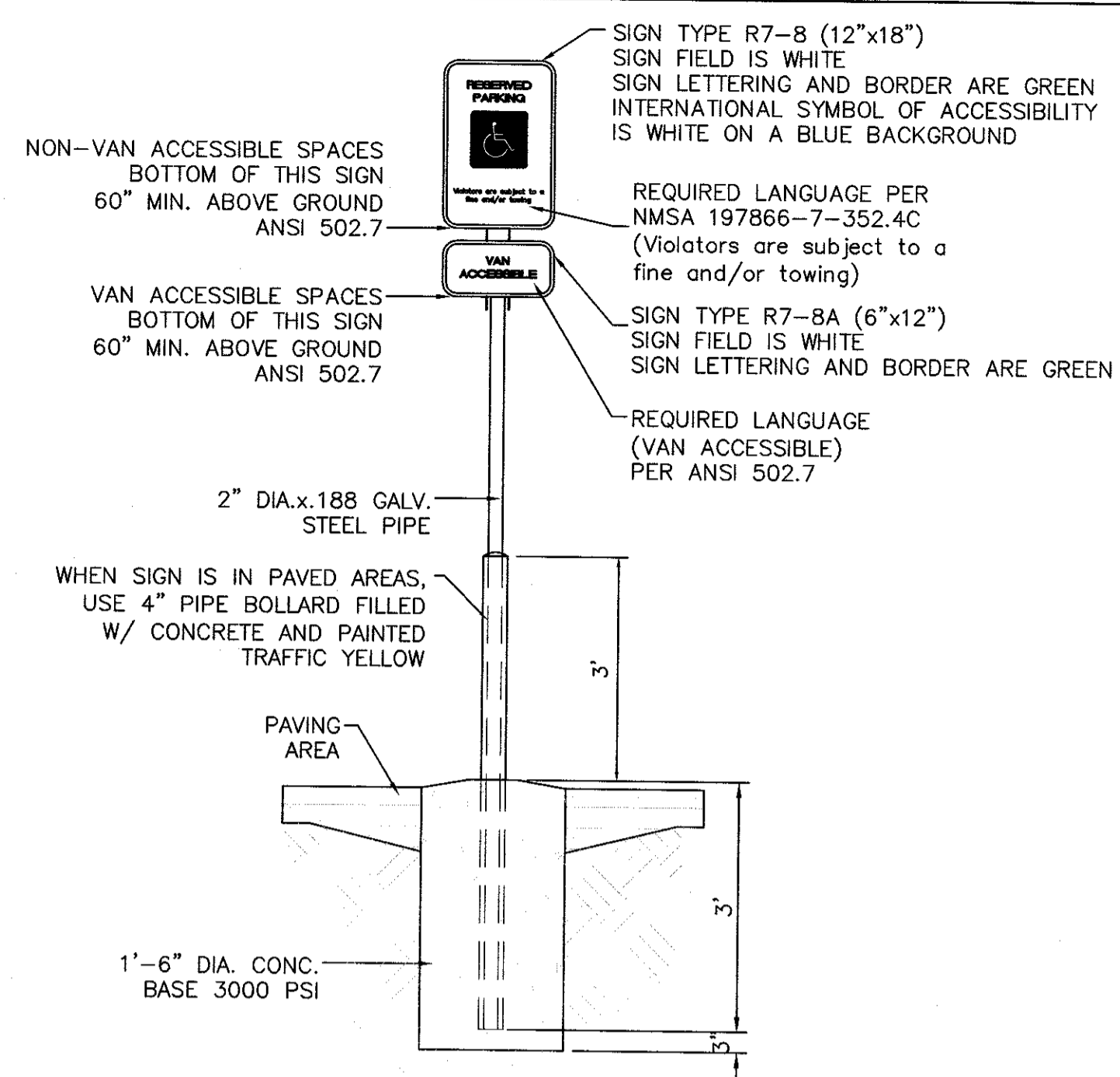
Concrete Pad under Fuel Canopy



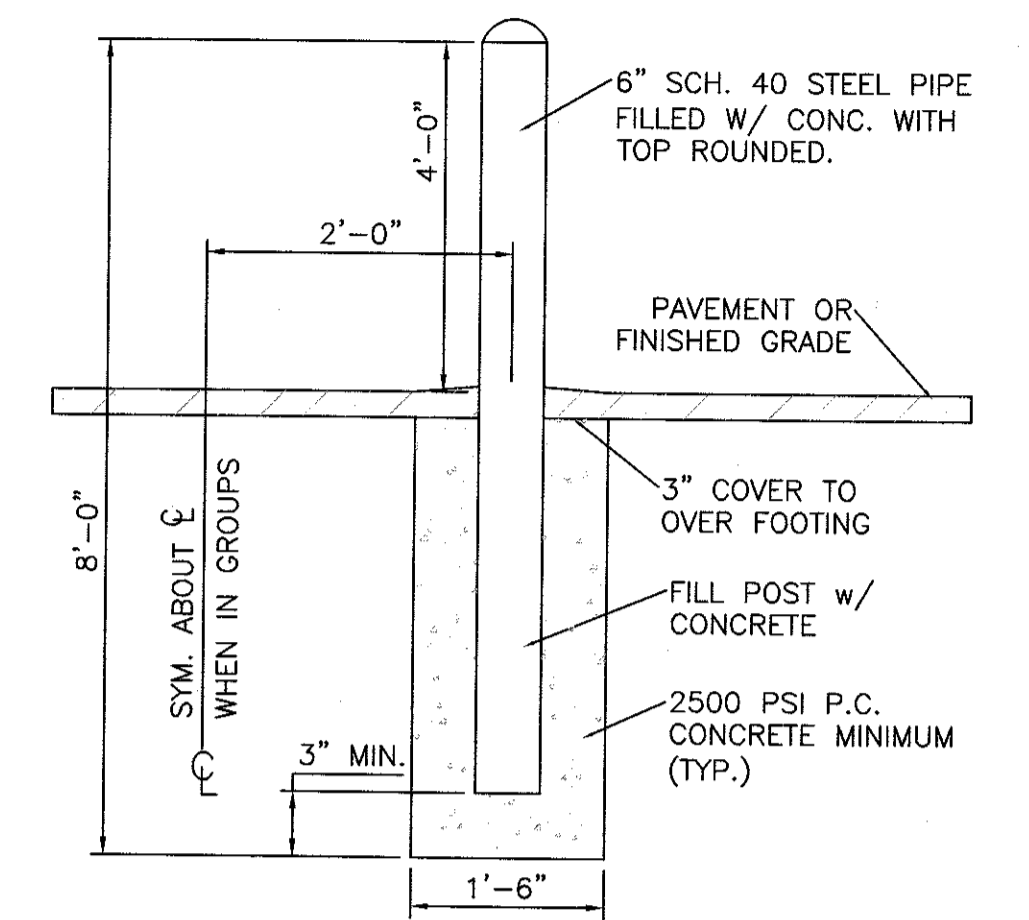
Concrete Parking Stall



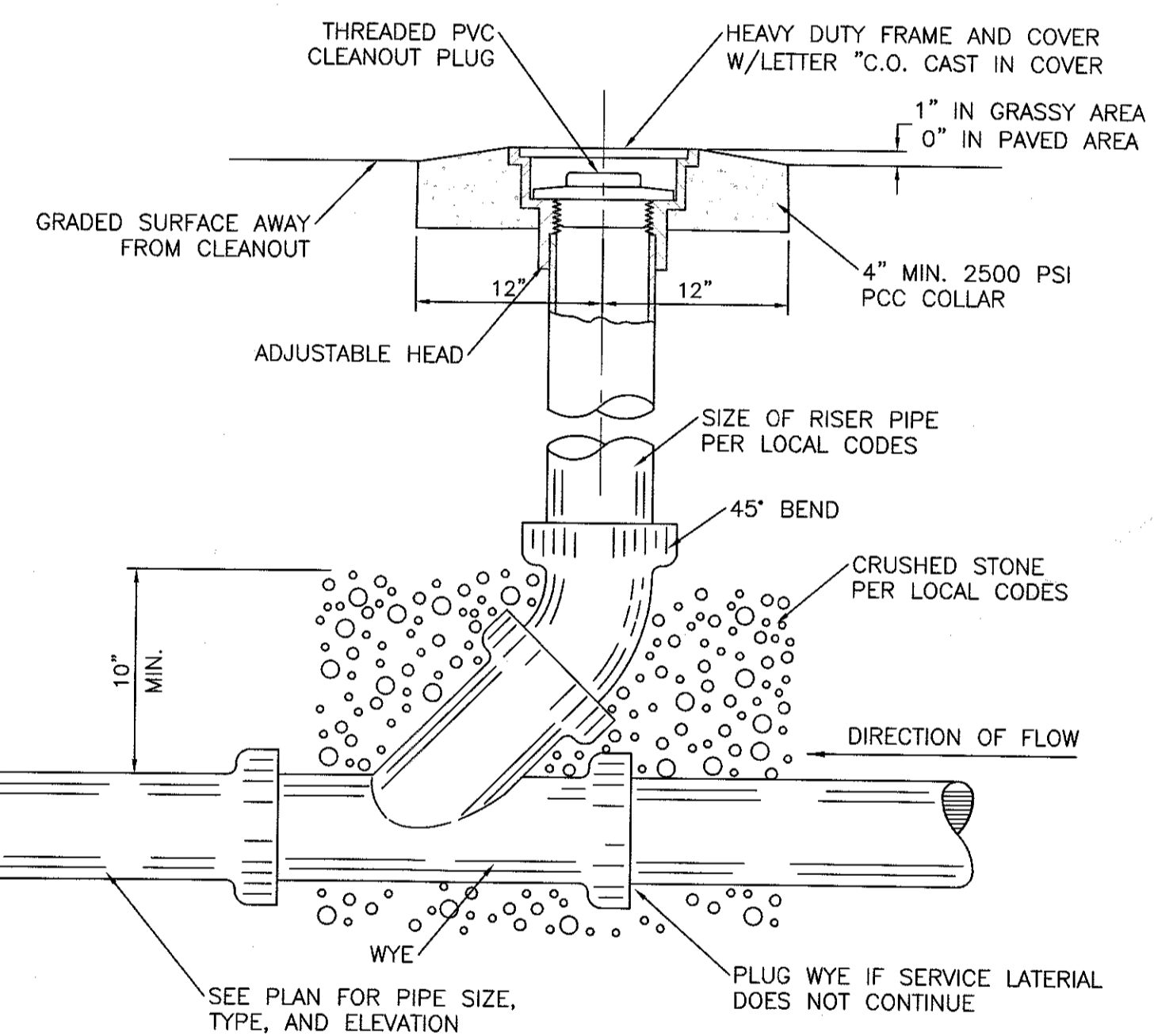
MOTORCYCLE PARKING SIGN
NTS



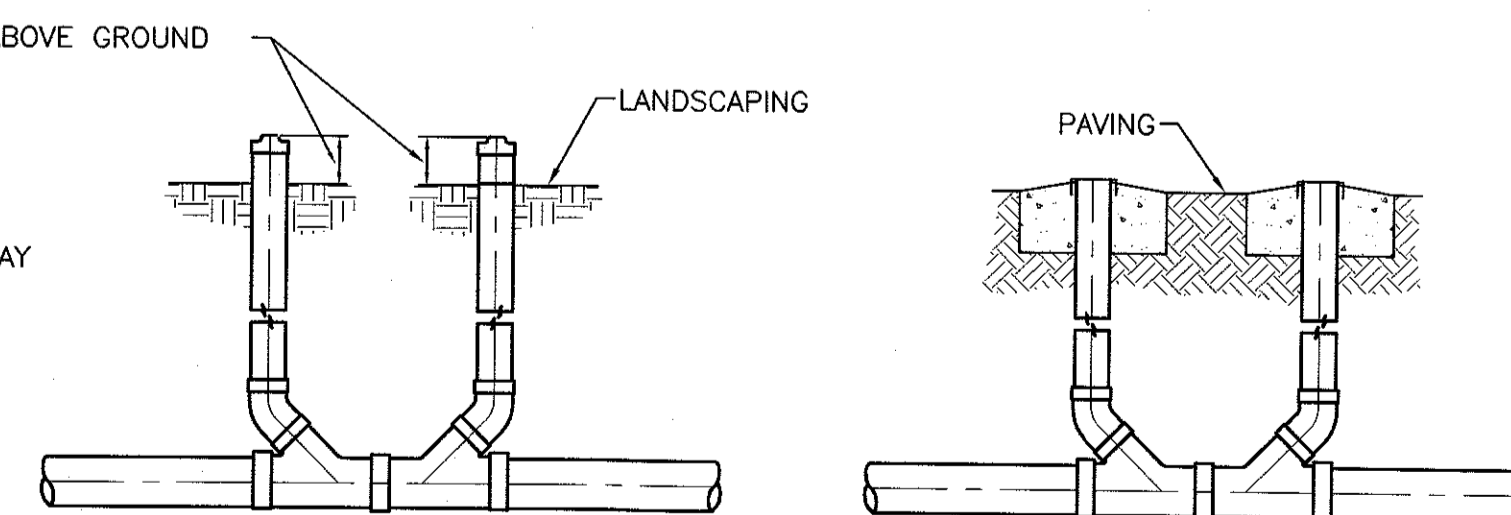
ACCESSIBLE PARKING SIGN
NTS



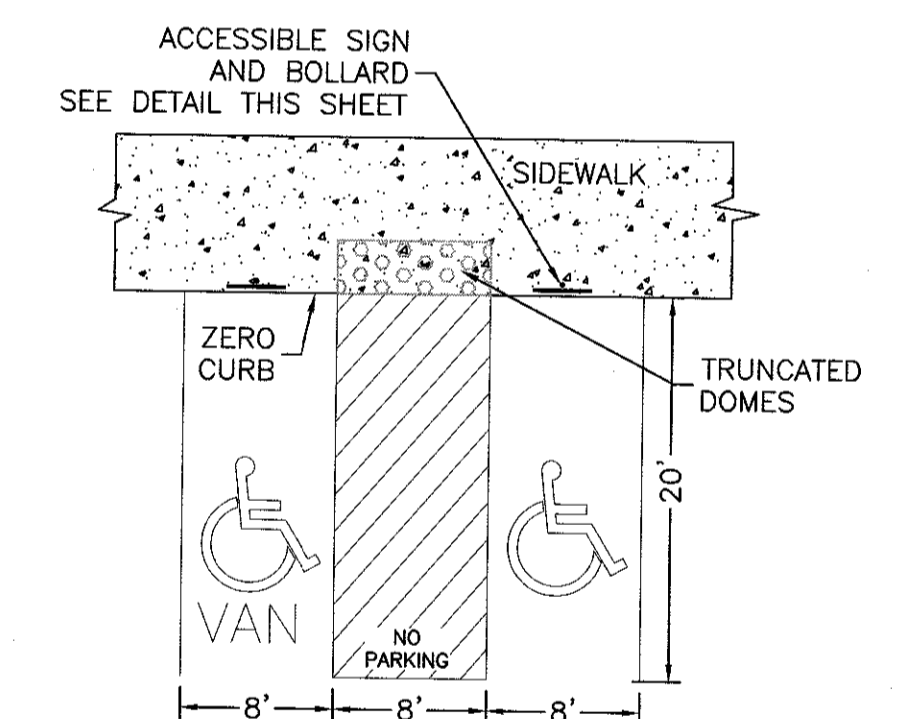
BOLLARD DETAIL
NTS



SANITARY SEWER CLEAN-OUT
NTS

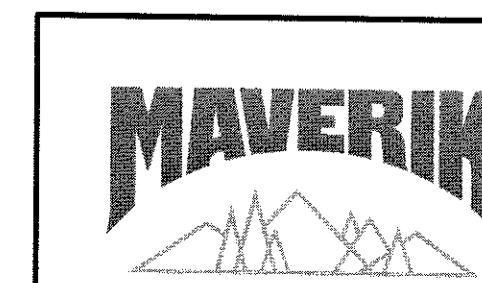


SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



HC PARKING DETAIL
NTS

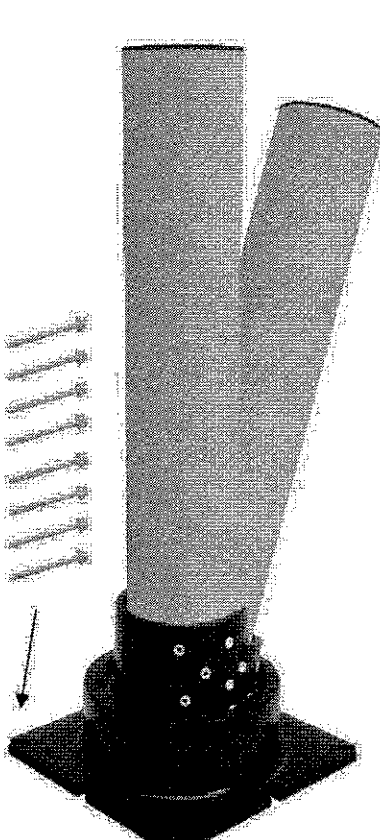
- NOTES:
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue.
 - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
 - 4) ADA parking areas - not to exceed a slope greater than 2% in any direction



ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868 5/3/2019 RONALD R. BOHANNAN P.E. #7868	MAVERIK 650 JUAN TABO BLVD. NE CONSTRUCTION DETAIL 1	DRAWN BY pm DATE 05-03-2019 DRAWING 2018046_DET SHEET # C6 JOB # 2018046
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		

SPEC SHEET SPEC-528_08/22/2017

SlowStop® Rebounding Bollard – 6" (SS6Y-42)



Color: RAL 1023 Safety Yellow Bollard
RAL 9005 Black Base

Diameter: 6.63" (6" ANSI Schedule 40)
Height: 42"

Set Screws: 8 M16 x 2.00
8mm Hex

Cap: Black Plastic

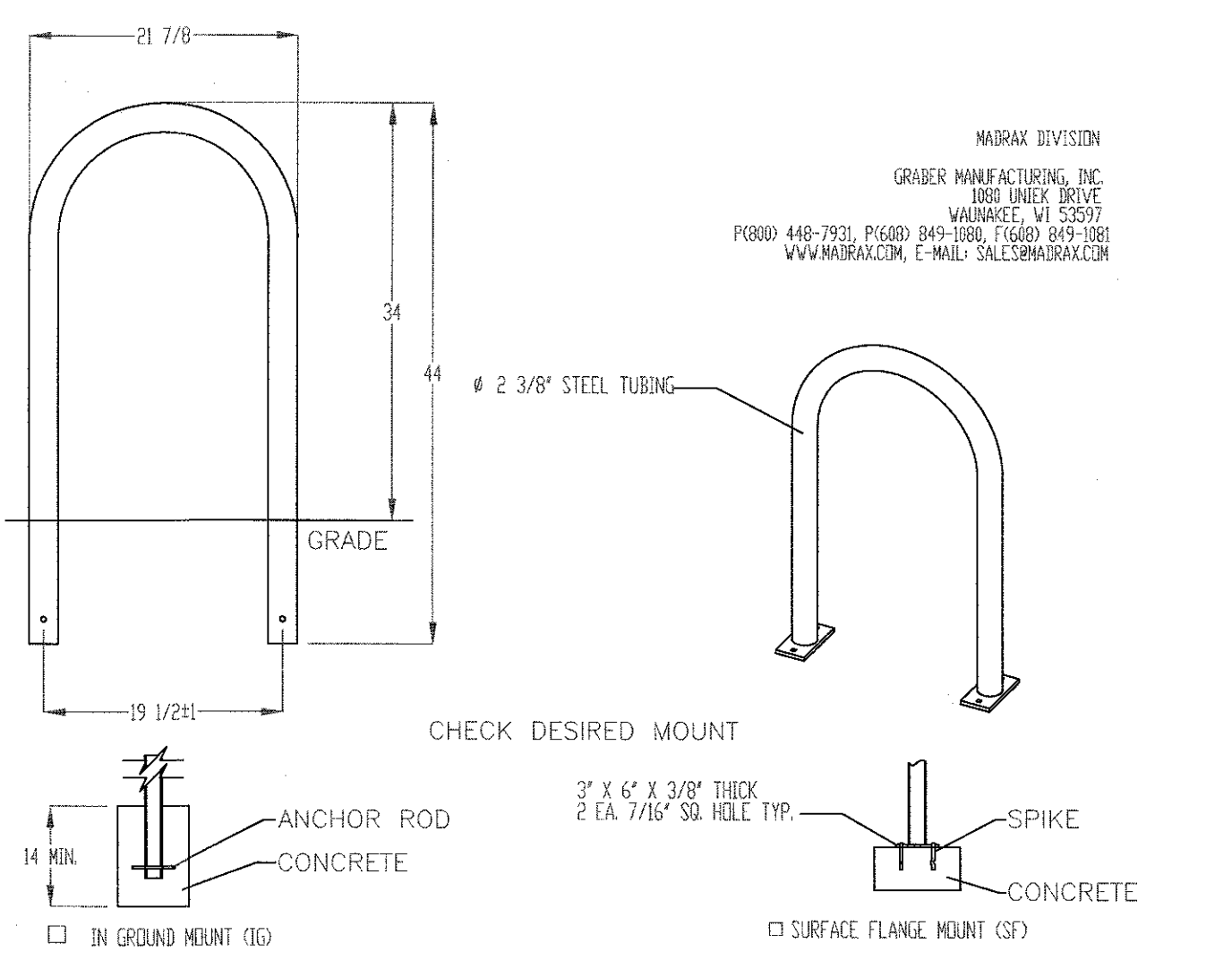
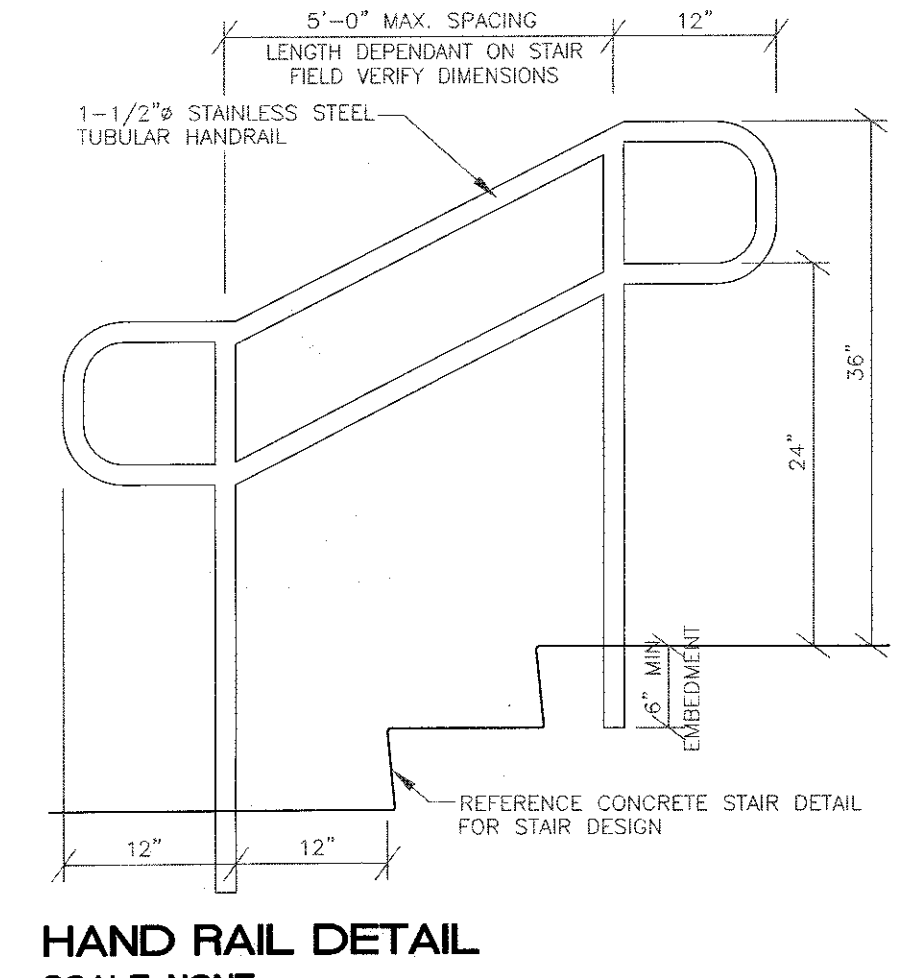
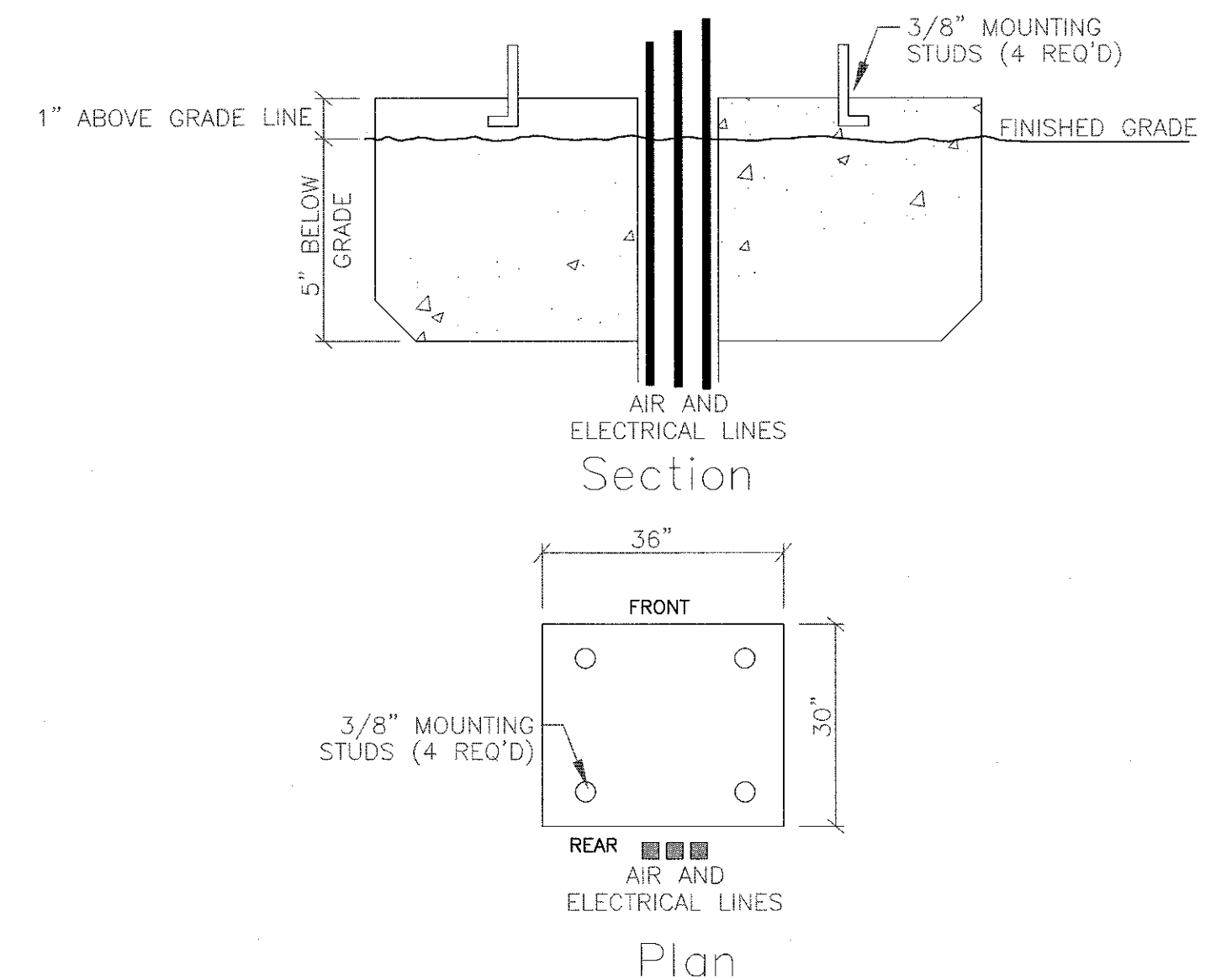
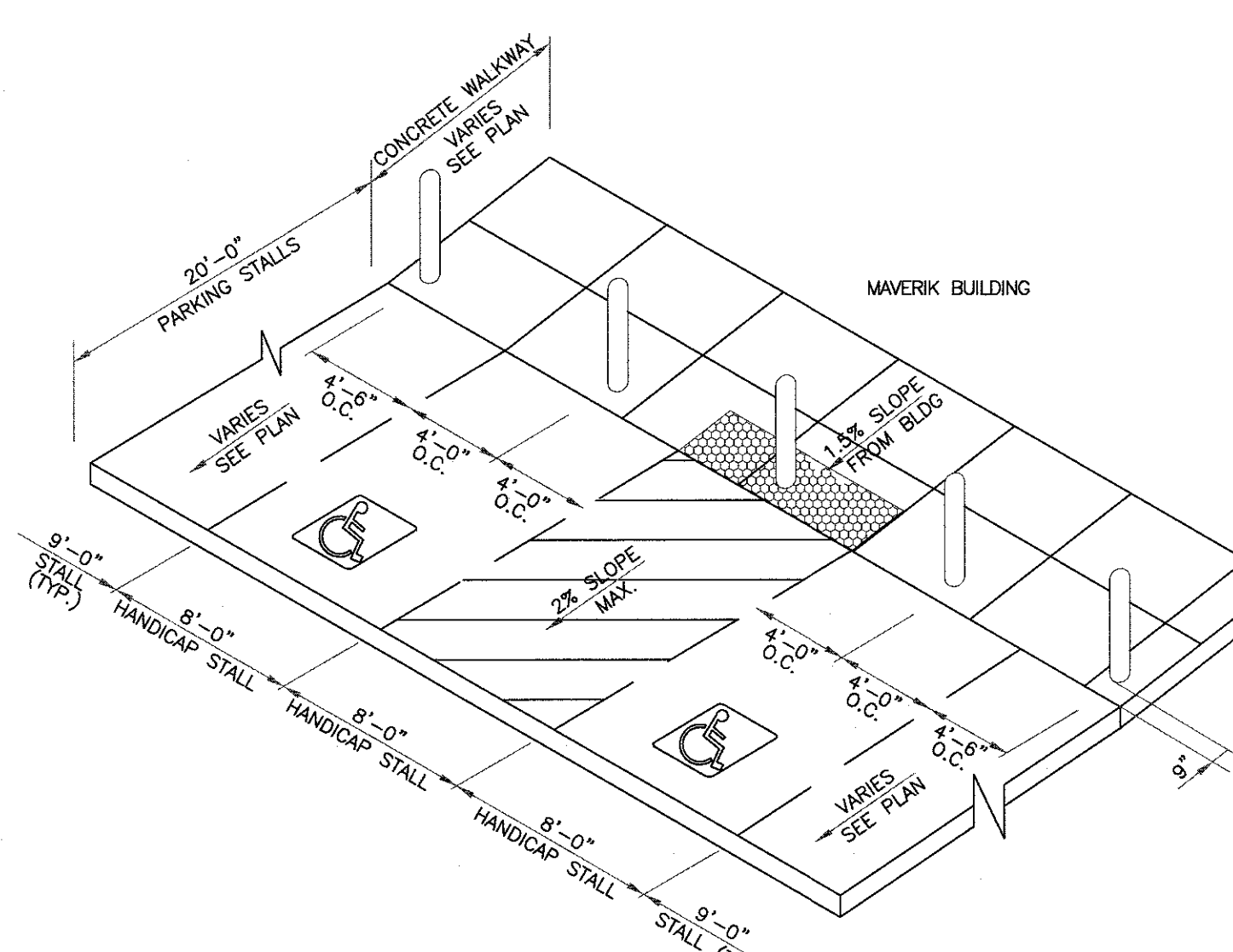
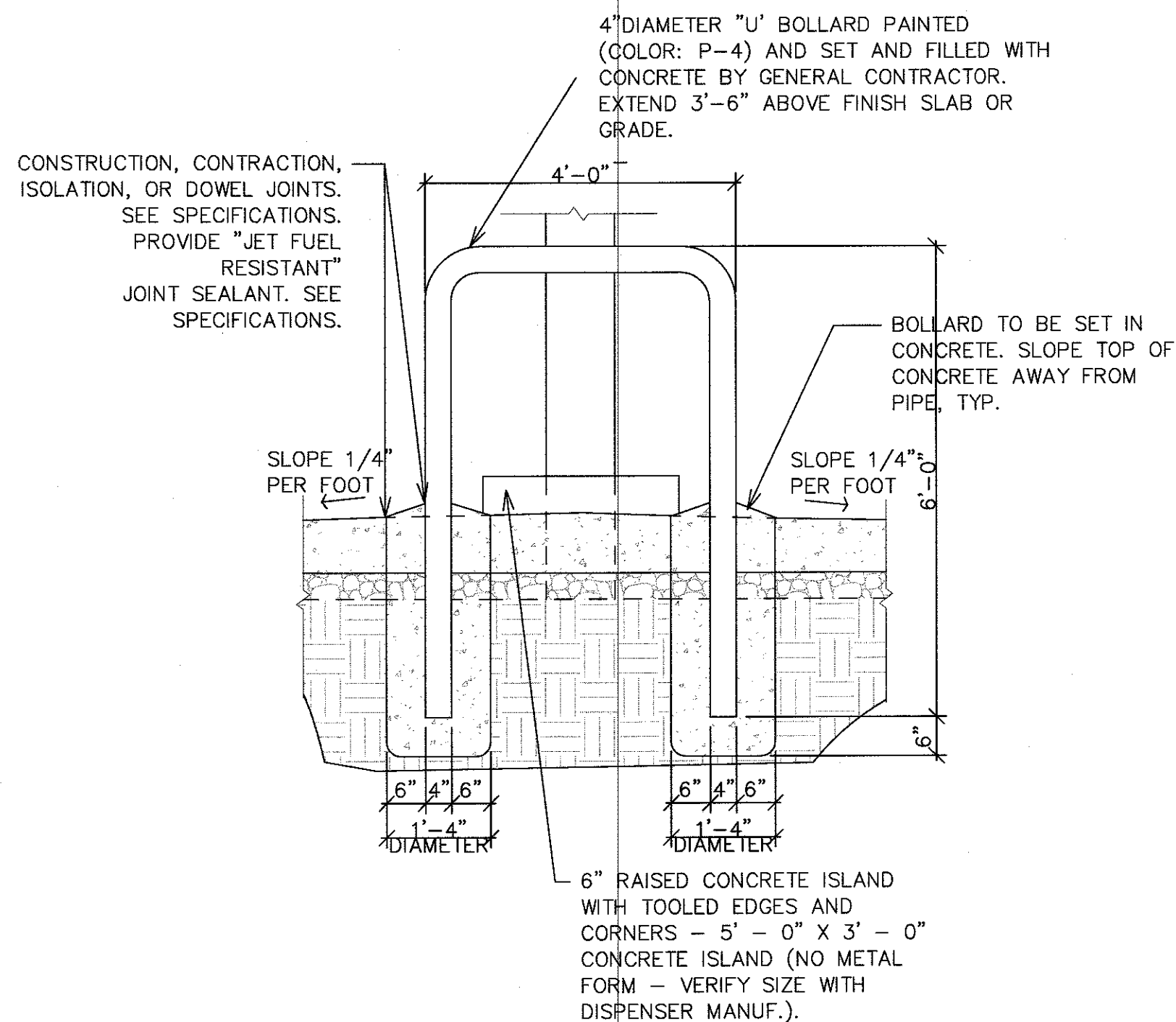
IMPACT SPEED (MPH)	2000	3000	7500	10000	12000	20000	40000	60000
3.0								
3.5								
4.0								
4.5								
5.0								
5.5								
6.0								
6.5								
7.0								
7.5								
8.0								
8.5								
9.0								
9.5								
10.0								
10.5								
11.0								
11.5								
12.0								

Installs with eight (8) 5/8" x 5-1/2" Concrete Screw Anchors

RECOMMENDED USES:

- Heavy Duty
- Loading Docks and Warehouse Entrance Ramps
- Equipment and Storage Rack Guarding
- Utility Protection
- Pedestrian Safety
- Access Denial
- Post-Tensioned Concrete
- Not for R-Rated Security Use

4955 State Dr. • San Antonio, TX 78219
210-736-4477 • 800-736-5256 • Fax 210-734-6448
Email: info@slowstop.com
www.slowstop.com



8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @ 8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

- ### GENERAL NOTES:
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION FOR FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE \pm 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

PRODUCT: 12238-10353
DESCRIPTION: BIKE RACK
DATE: 10-4-18
ENG: SNC

2 BIKE, SURFACE OR IN GROUND MOUNT

NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTARY TO SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

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BIKE RACK DETAIL

SCALE: NONE

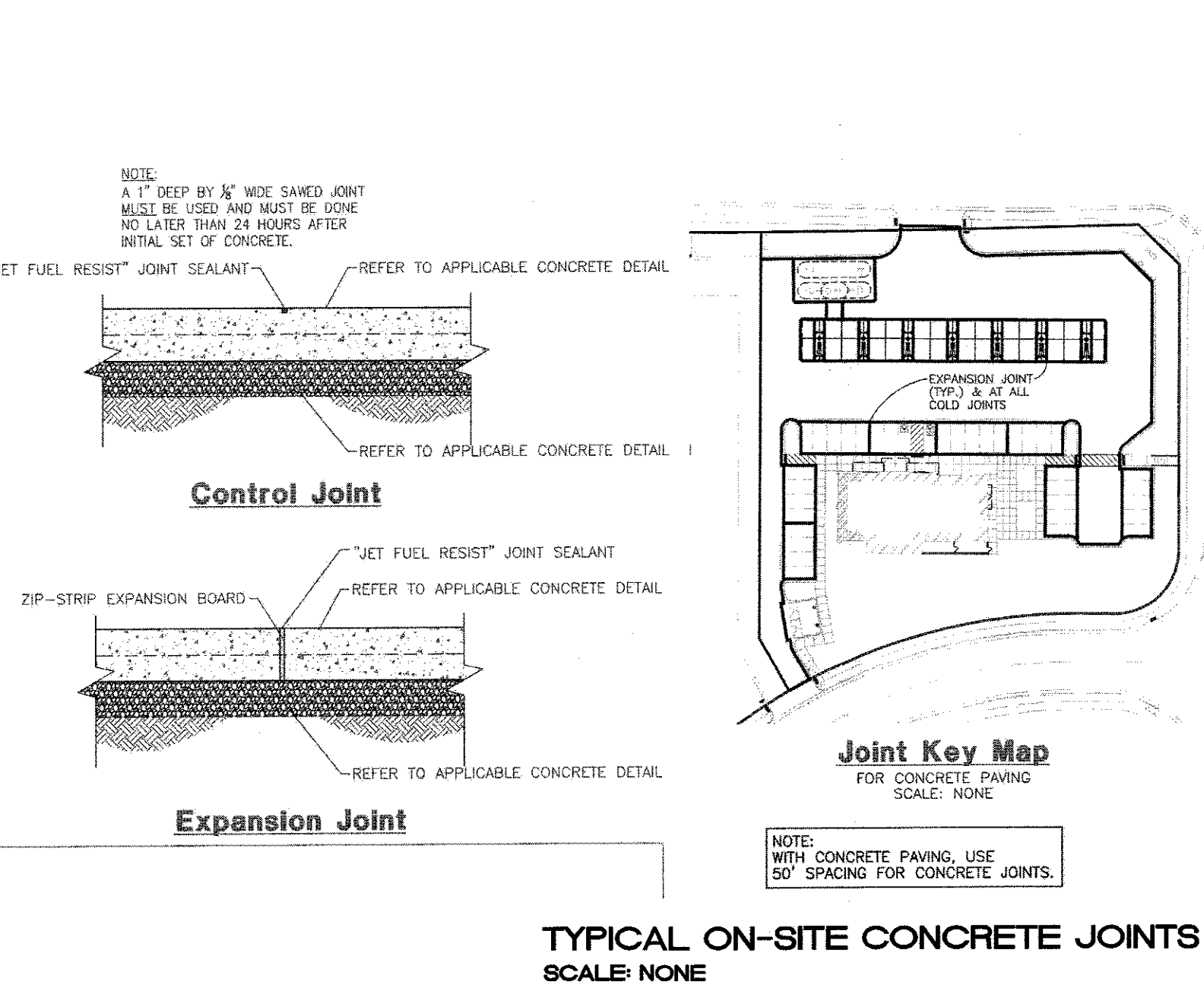
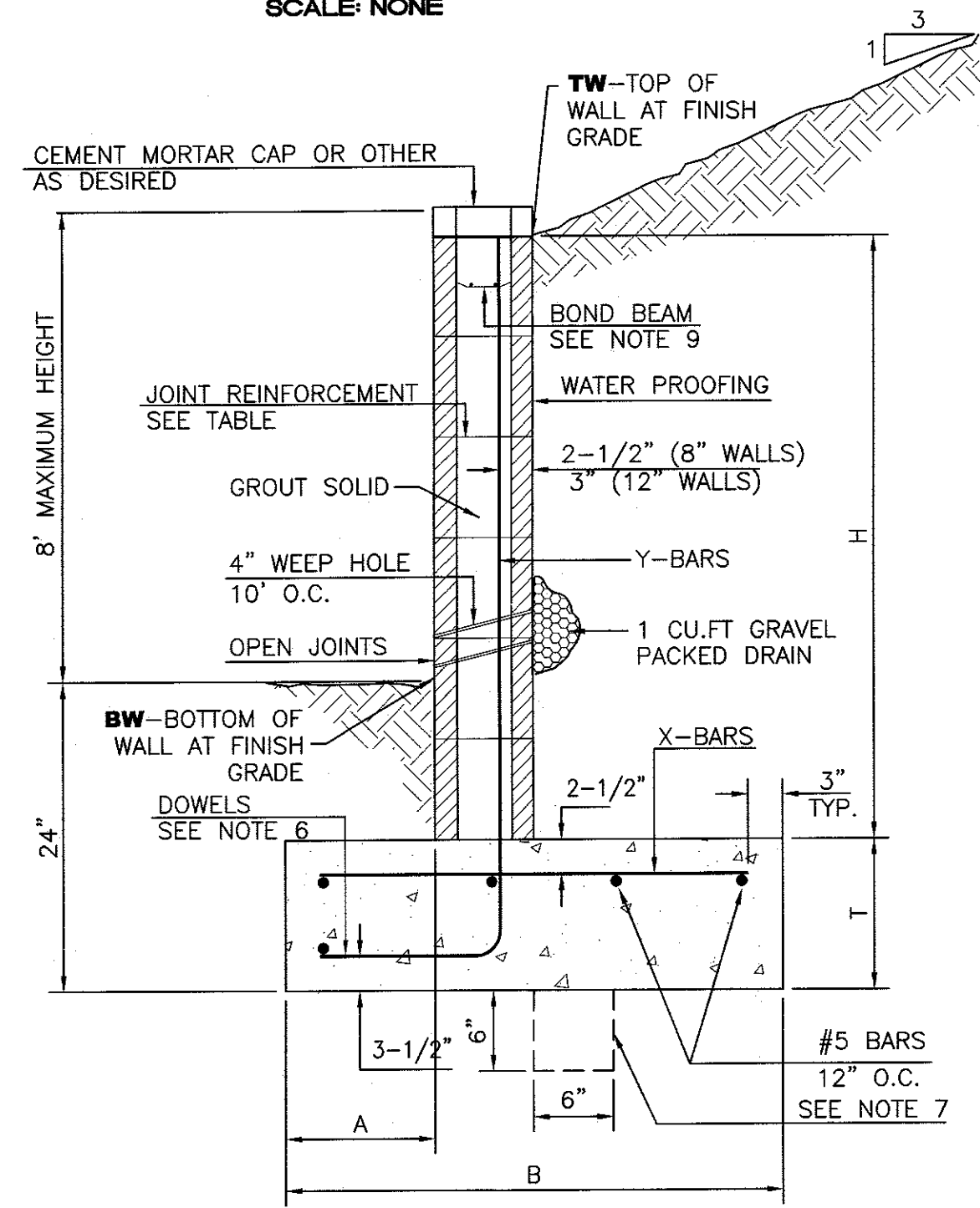
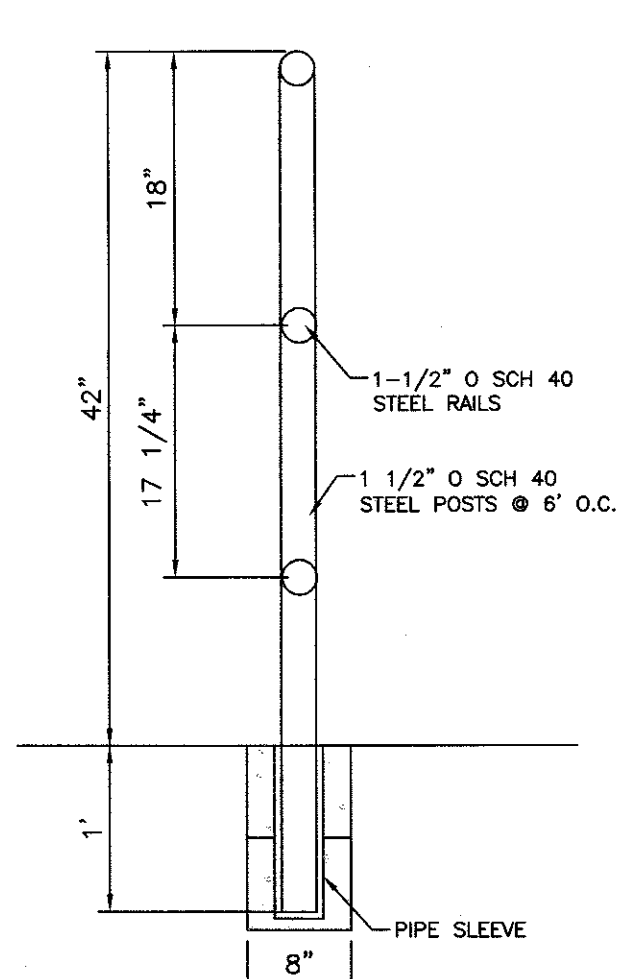
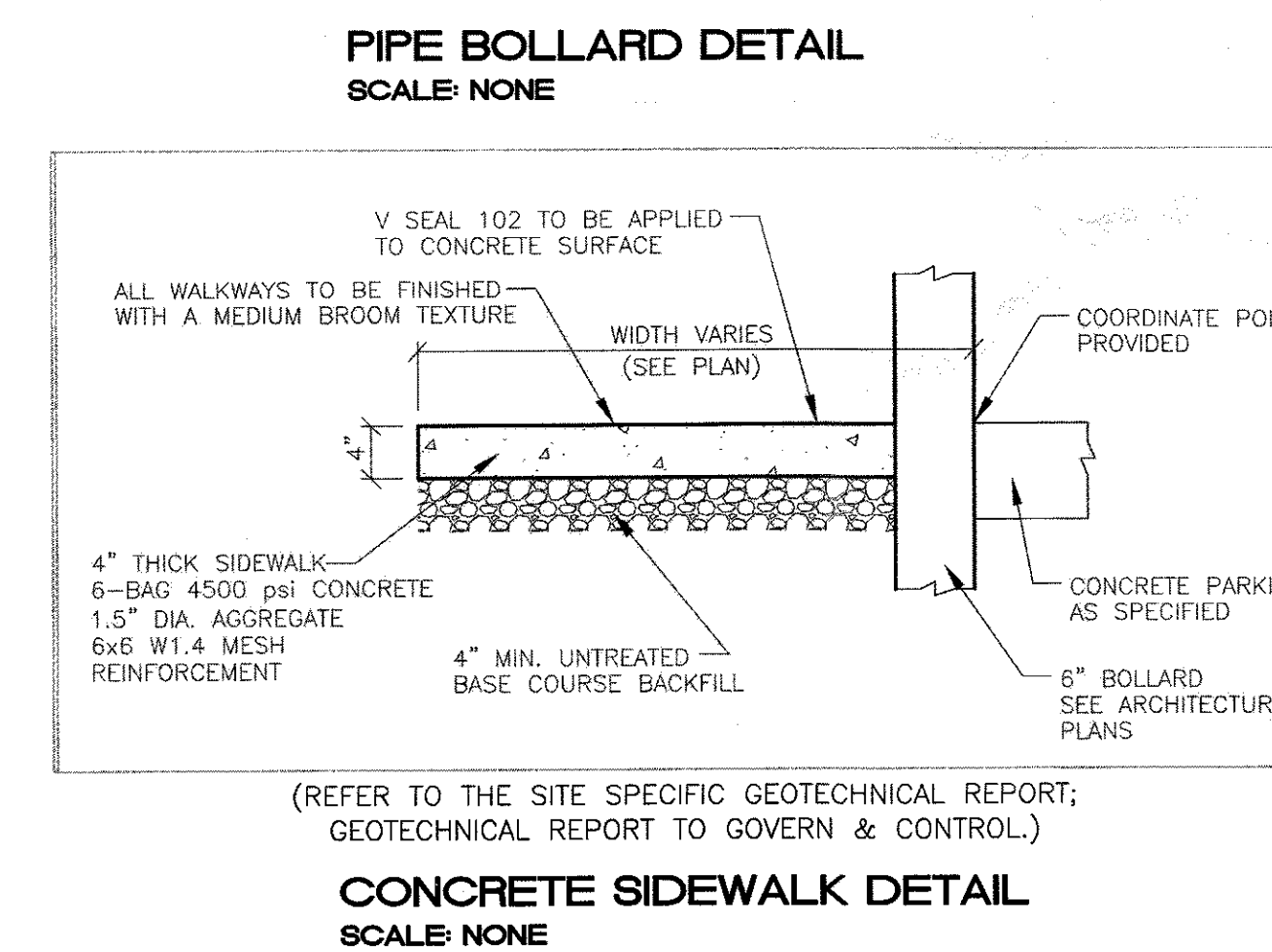
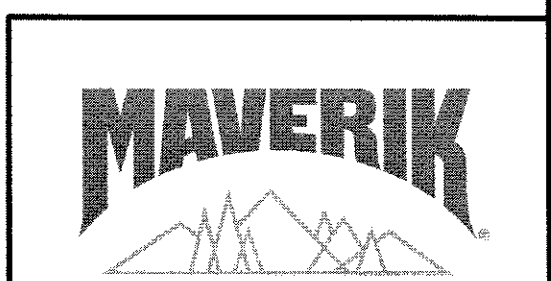
ENGINEER'S SEAL

RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER
5/3/2019

MAVERIK
650 JUAN TABO BLVD. NE
CONSTRUCTION DETAIL 2

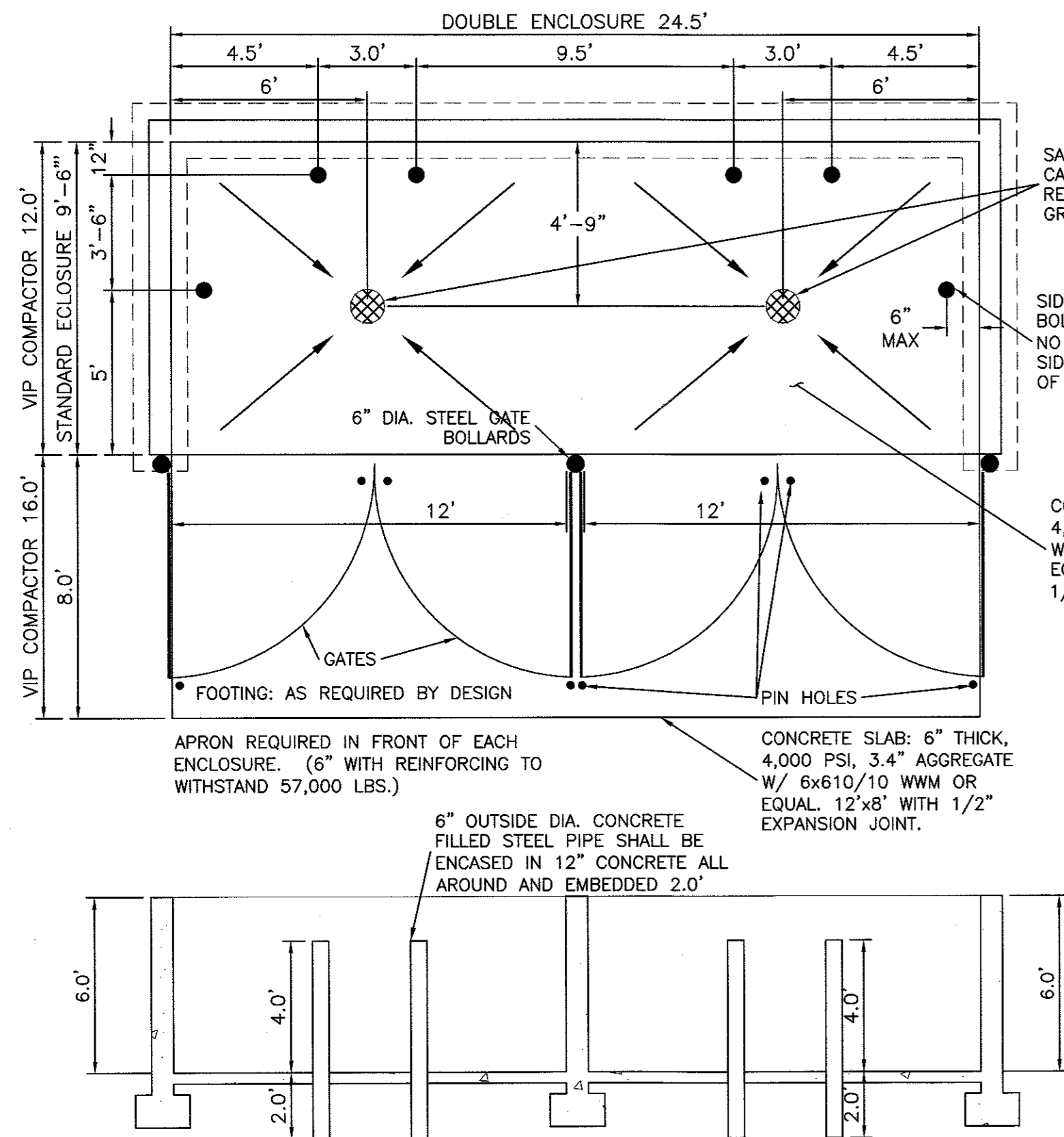
TERRA WEST, LLC
5571 MIDWAY PARK PL. NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrowestllc.com

DRAWN BY
pm
DATE
05-03-2019
DRAWING
2018046_DET
SHEET #
C7
JOB #
2018046



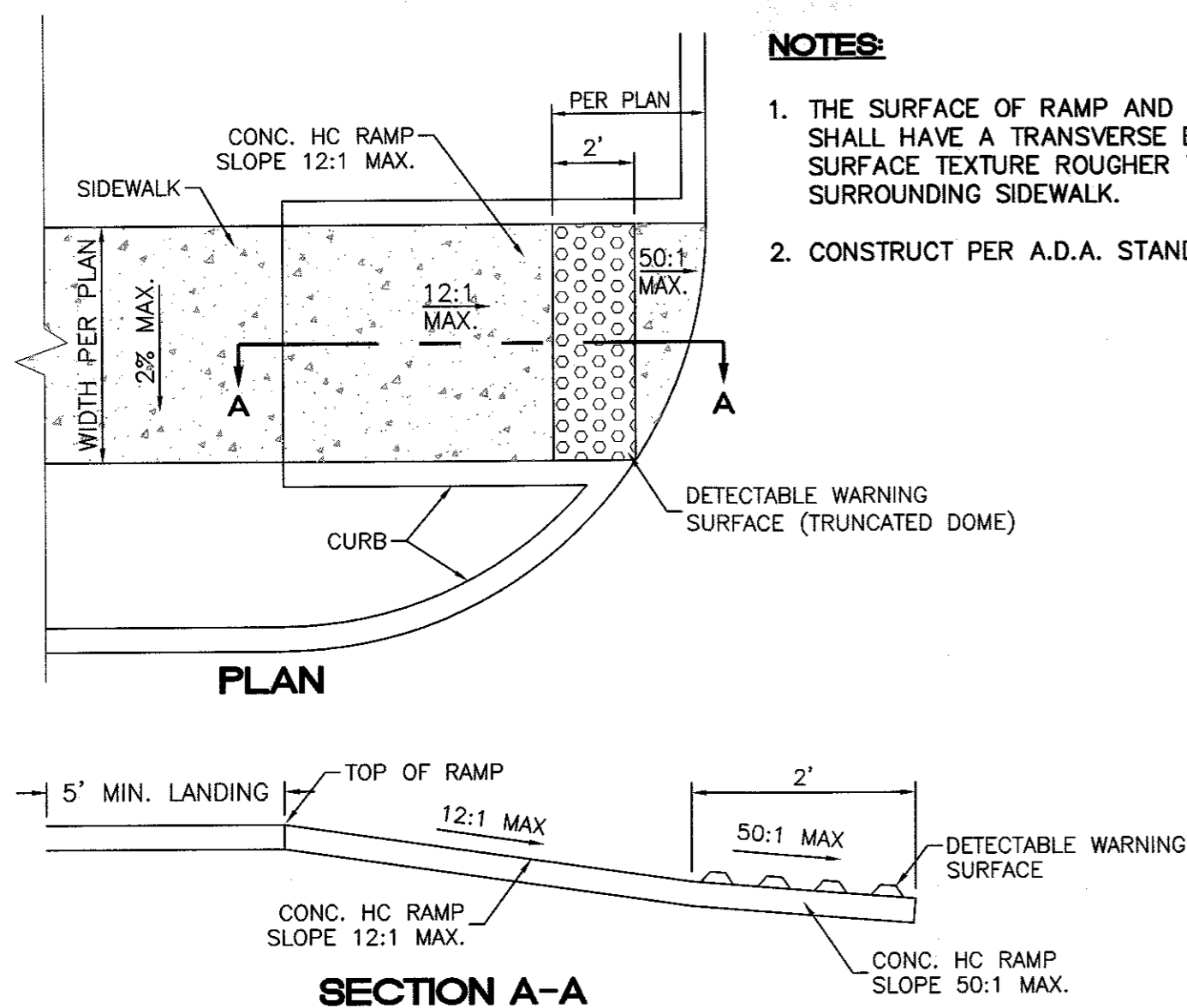
- NOTE: LASER SCREED SPECIFICATIONS - USE SOMERO 240 OR MAVERIK APPROVED EQUIVALENT.
- NOTE: ALL WALKWAYS TO BE FINISHED WITH A MEDIUM BROOM TEXTURE
- NOTE: V SEAL 102 TO BE APPLIED TO ALL CONCRETE, TRUSSING AREAS, PARKING AREAS, AND ALL CONCRETE AREAS IN FRONT OF ENTIRE WIDTH OF BUILDING.

Z:\A\8919\8919046\MAVERIK\Drawings\2018046_DET.dwg (May 03, 2019) - 10:14am



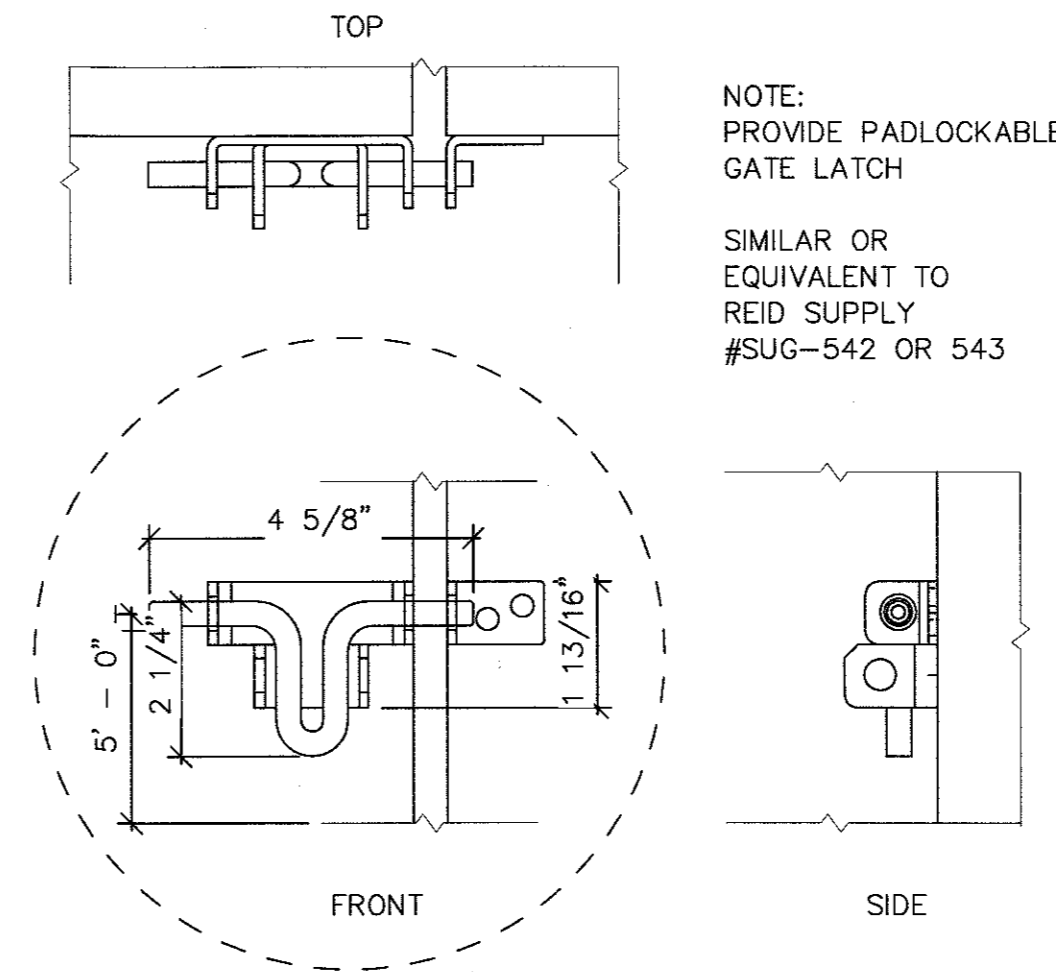
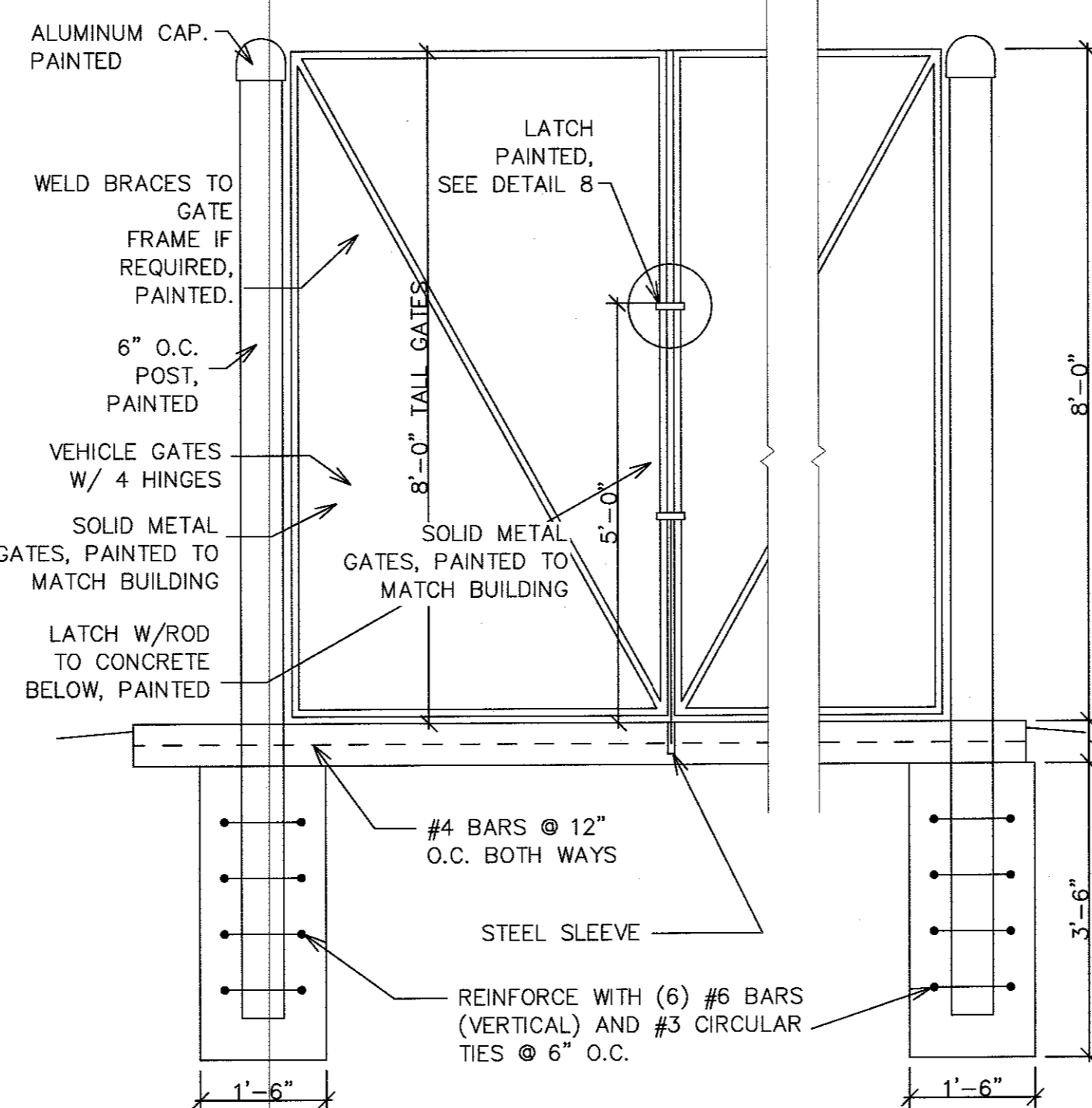
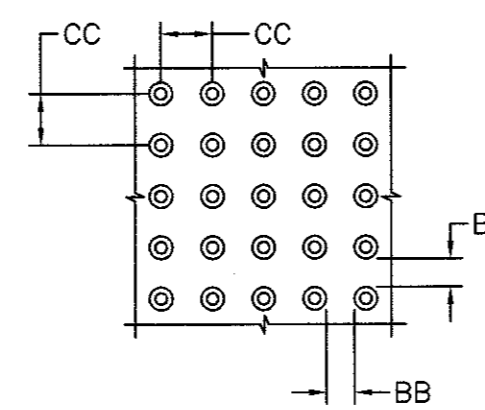
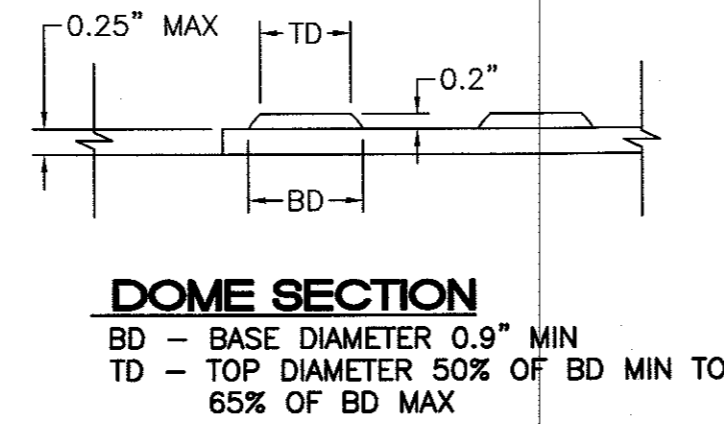
- NOTE:
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

DUMPSTER w/SAS DRAIN - ENCLOSURE DETAIL
NTS

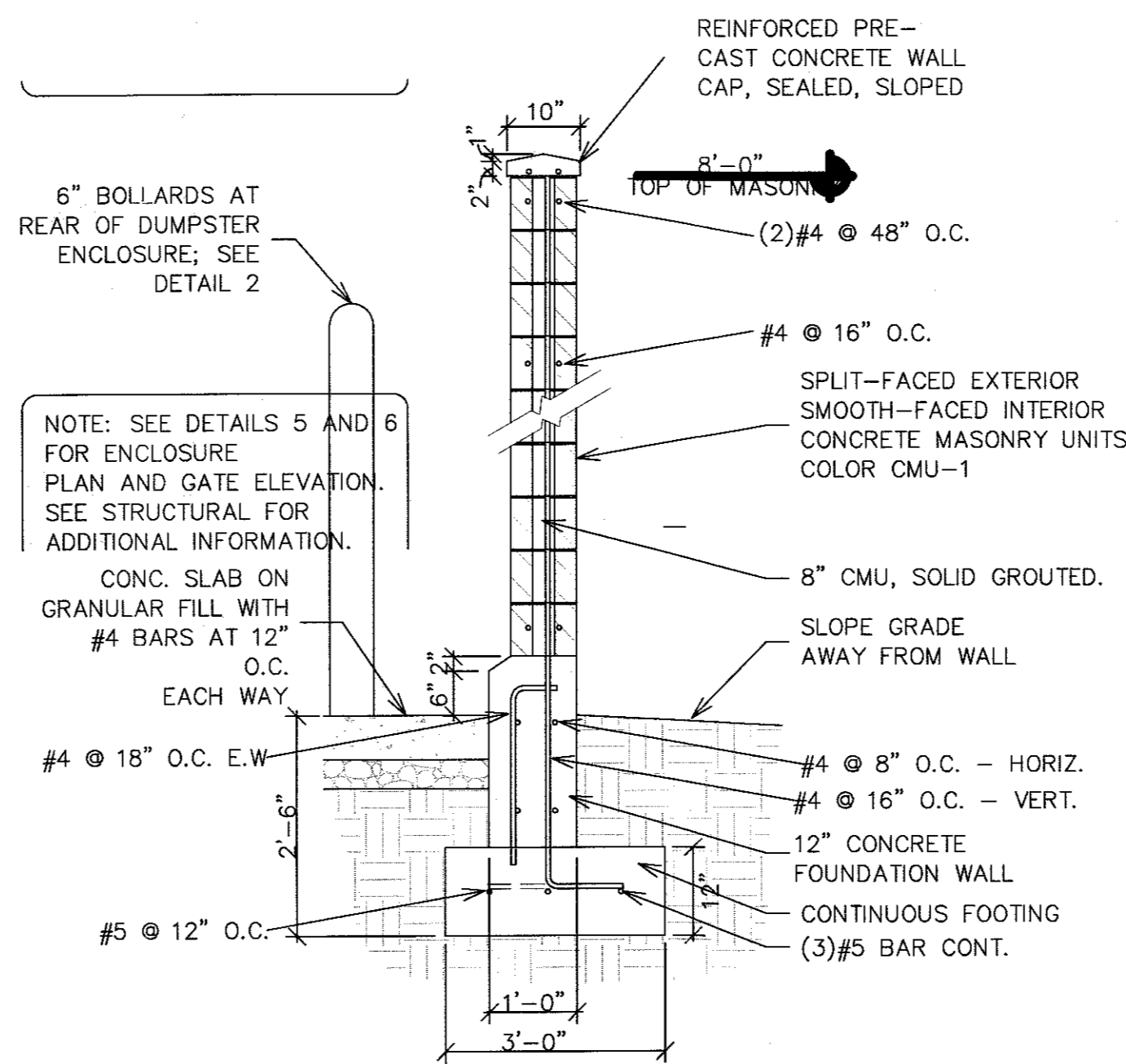


NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.

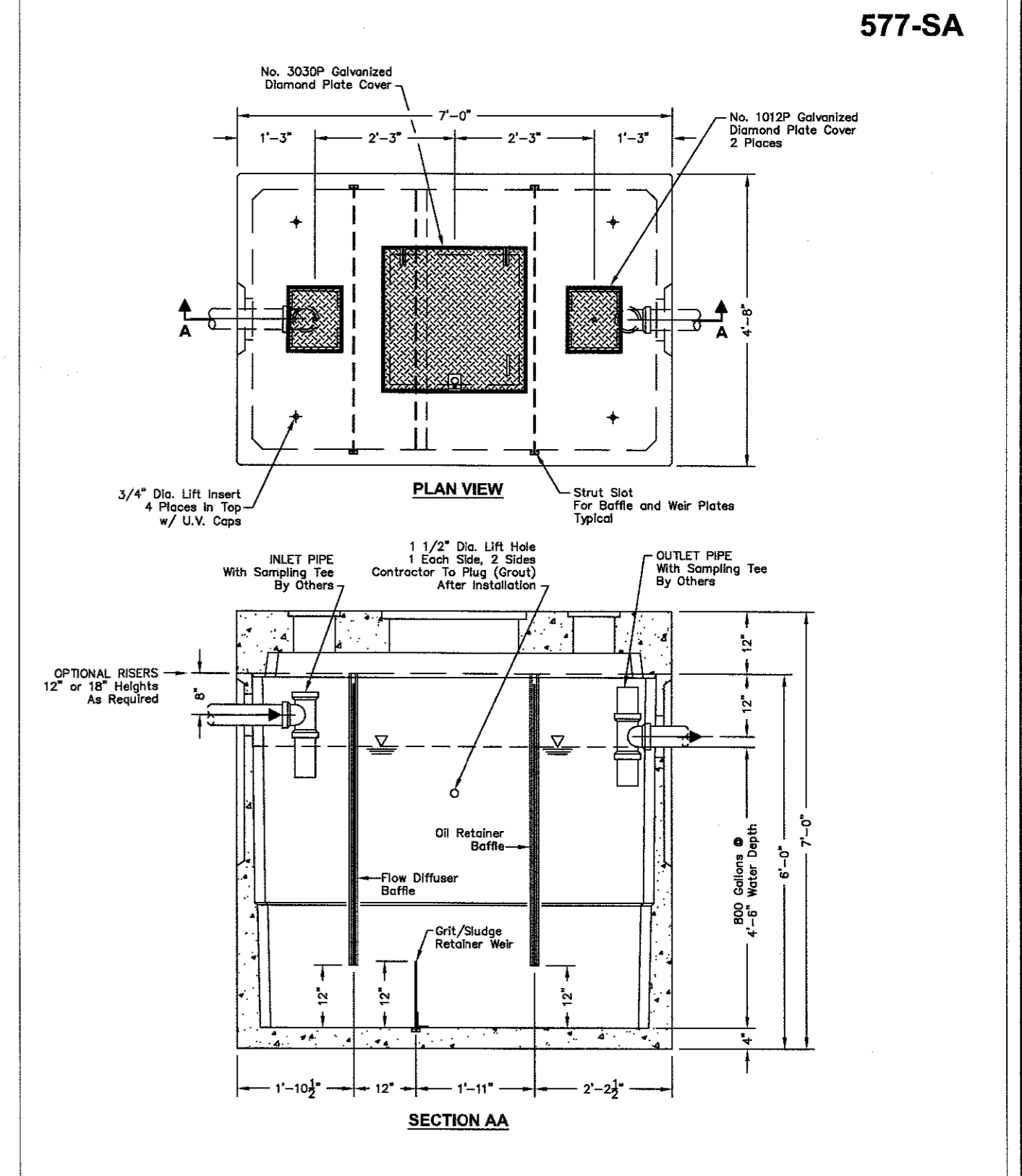
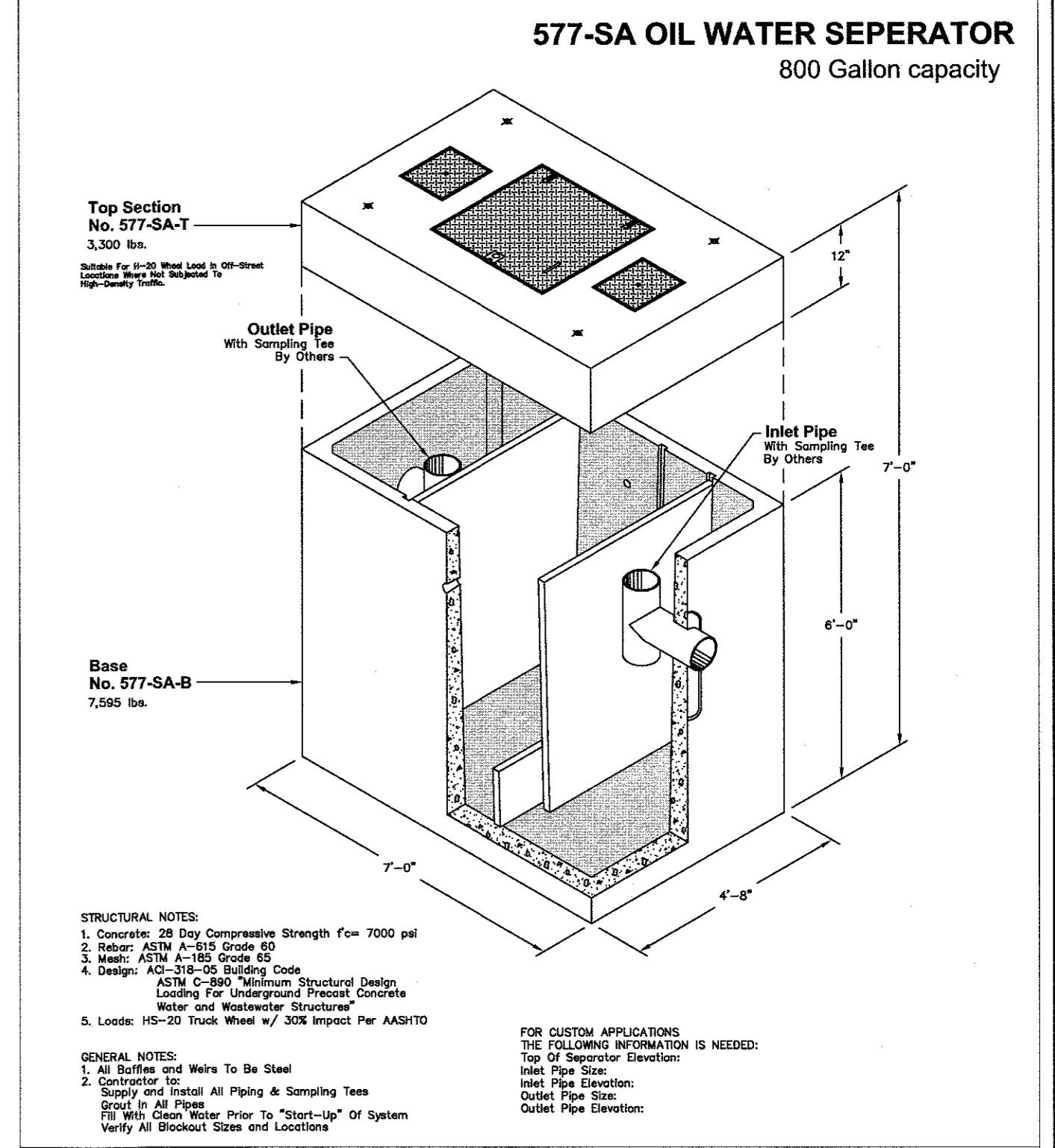


Dumpster Enclosure Gate Detail
SCALE: NONE

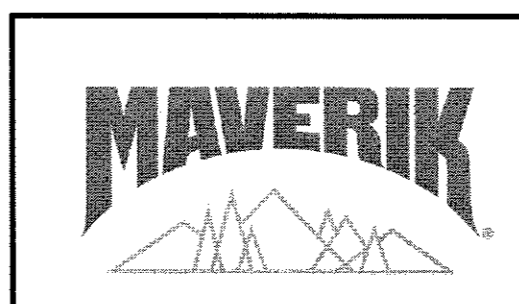


NOTE: SEE DETAILS 5 AND 6 FOR ENCLOSURE PLAN AND GATE ELEVATION. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.

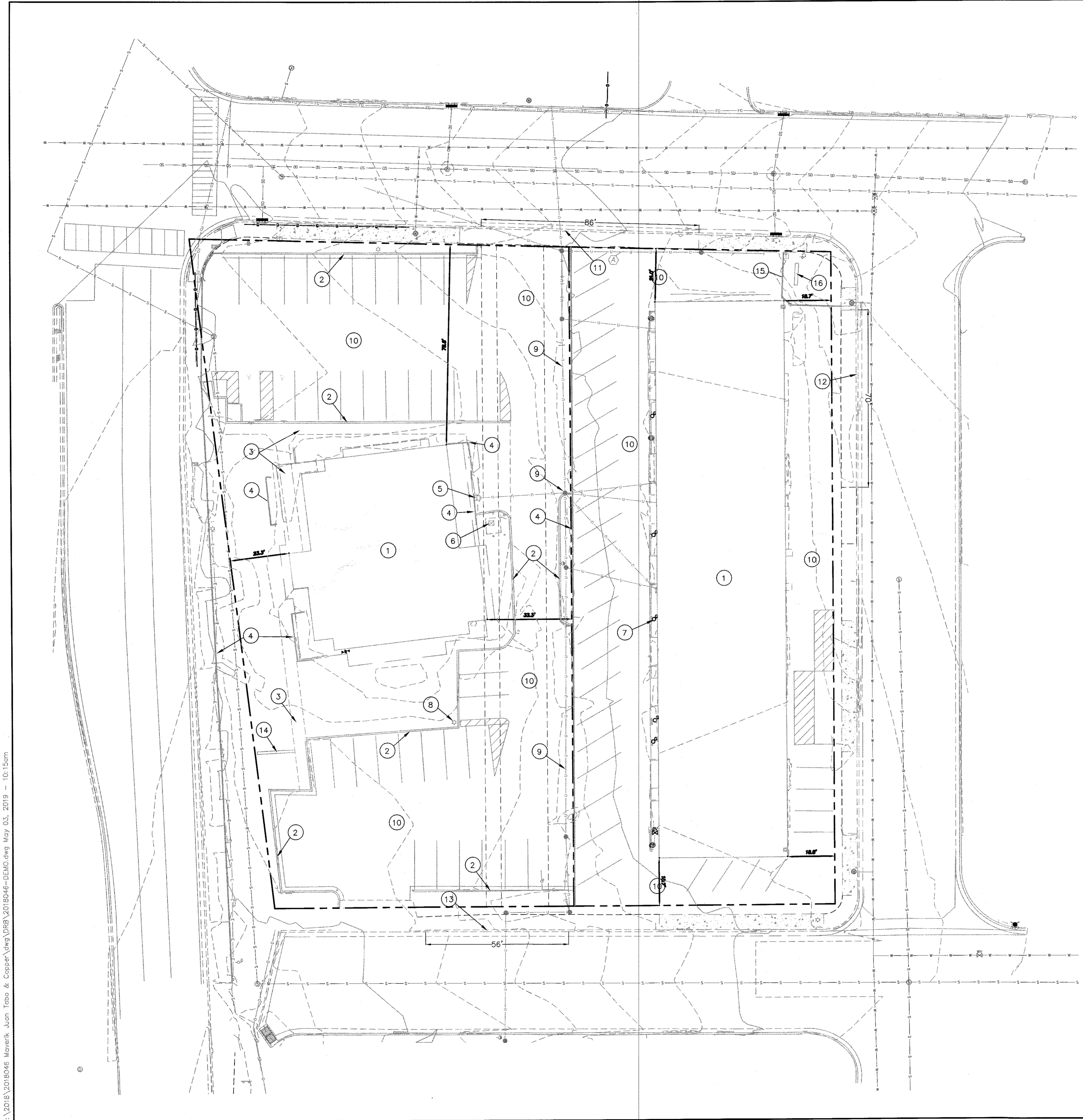
Dumpster Enclosure Wall Section
SCALE: NONE



Z:\2018\2018046_Maverik.dwg: JTabb & Bepko\dwg\2018046_DET.dwg May 03, 2019 11:14am



	MAVERIK 650 JUAN TABO BLVD. NE CONSTRUCTION DETAIL 3	DRAWN BY pm DATE 05-03-2019 DRAWING 2018046_DET SHEET # C8 JOB # 2018046
	TERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	

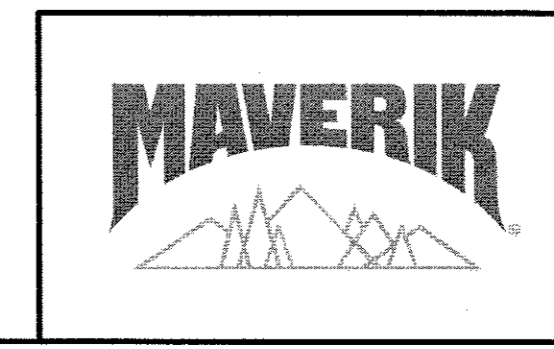


LEGEND

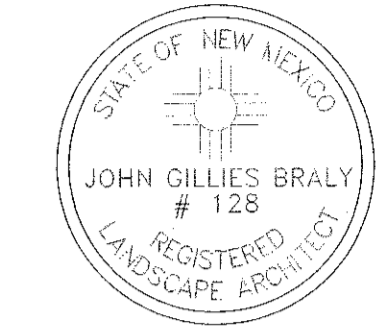
	EXISTING CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING WATER LINE
	EXISTING STORM LINE
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	EXISTING SAS LINE
	EXISTING SAS MANHOLE
	EXISTING WATER LINE
	EXISTING WATER VALVE
	EXISTING OVERHEAD POWER LINE
	EXISTING POWER POLE
	EXISTING ELECTRIC LINE
	EXISTING WALL
	EXISTING ELECTRICAL BOX
	EXISTING TRANSFORMER
	EXISTING LIGHT STANDARD
	EXISTING TELEPHONE PEDESTAL

- KEYED NOTES**
- 1 REMOVE AND DISPOSE EXISTING BUILDING AND FOUNDATION
 - 2 REMOVE AND DISPOSE EXISTING CURB AND GUTTER
 - 3 REMOVE AND DISPOSE EXISTING CONCRETE SIDEWALK
 - 4 REMOVE AND DISPOSE EXISTING WALL
 - 5 REMOVE AND DISPOSE EXISTING ELECTRICAL BOX
 - 6 REMOVE EXISTING TRANSFORMER, RETURN TO PNM
 - 7 REMOVE AND DISPOSE EXISTING GAS METER (TYP)
 - 8 REMOVE AND DISPOSE EXISTING LIGHT STANDARD
 - 9 EXISTING POWER LINE AND POLES TO BE RELOCATED (BY OTHERS)
 - 10 REMOVE AND DISPOSE ALL EXISTING ASPHALT
 - 11 REMOVE AND DISPOSE 86 LF EXISTING CURB AND GUTTER AND SIDEWALK
 - 12 REMOVE AND DISPOSE 70 LF EXISTING CURB AND GUTTER AND SIDEWALK
 - 13 REMOVE AND DISPOSE 56 LF EXISTING CURB AND GUTTER AND SIDEWALK
 - 14 REMOVE AND DISPOSE EXISTING SIGN
 - 15 EXISTING WALL TO REMAIN
 - 16 EXISTING SIGN TO REMAIN

Z:\2018\2018046 MAVERIK Juan Tabo & Cooper\dwg\DRS\2018046-DEM.dwg May 03, 2019 10:15am



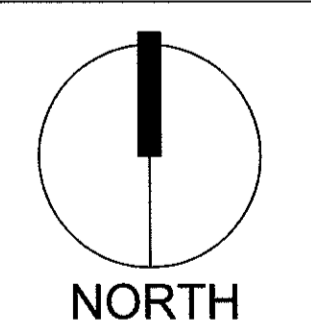
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MAVERIK 650 JUAN TABO BLVD. NE DEMOLITION PLAN	DRAWN BY pm DATE 05-03-2019 DRAWING 2018046-DEMO
	 TERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C9 JOB # 2018046



Date: 01/21/19
Revisions:
▲ 2/20/19
▲ 2/27/19
▲
▲
▲

Drawn by: jc
Reviewed by: jb

Maverik
Fueling Station
650 Juan Tabo NE
Albuquerque, New Mexico



Scale: 1" = 20'
10' 0 20' 40'

Sheet Title:
Landscape Plan

Sheet Number:

LS-01

SITE DATA

GROSS LOT AREA (1.41 ac)	61,753 SF
LESS BUILDING(S)	4,300 SF
NET LOT AREA	57,453 SF
REQUIRED LANDSCAPE	
15% OF NET LOT AREA	8,618 SF
PROPOSED LANDSCAPE	12,125 SF
PERCENT OF NET LOT AREA	21 %
HIGH WATER USE TURF	
MAX. 20% OF LANDSCAPE AREA	SF
PROPOSED HIGH WATER USE TURF	SF
PERCENT OF LANDSCAPE AREA	%
REQUIRED STREET TREES	
1 PER 30 L.F. OF STREET FRONTAGE	29
PROVIDED STREET TREES	29
REQUIRED PARKING LOT TREES	
1 PER 10 SPACES	
27 SPACES/10	3
PROVIDED PARKING LOT TREES	3
TOTAL TREE REQUIRED/PROVIDED (2" cal or 6' ht.)	32/32
REQUIRED LANDSCAPE COVERAGE	
75% LIVE VEGETATIVE MATERIAL (12,125 SF PROPOSED LANDSCAPE X 75%)	9,094 SF MIN.
GROUND COVER COVERAGE	8,478 SF
NATIVE SEED COVERAGE	775 SF
TOTAL GROUND COVER COVERAGE	9,253 SF
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	76%

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10 AND I.D.O.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

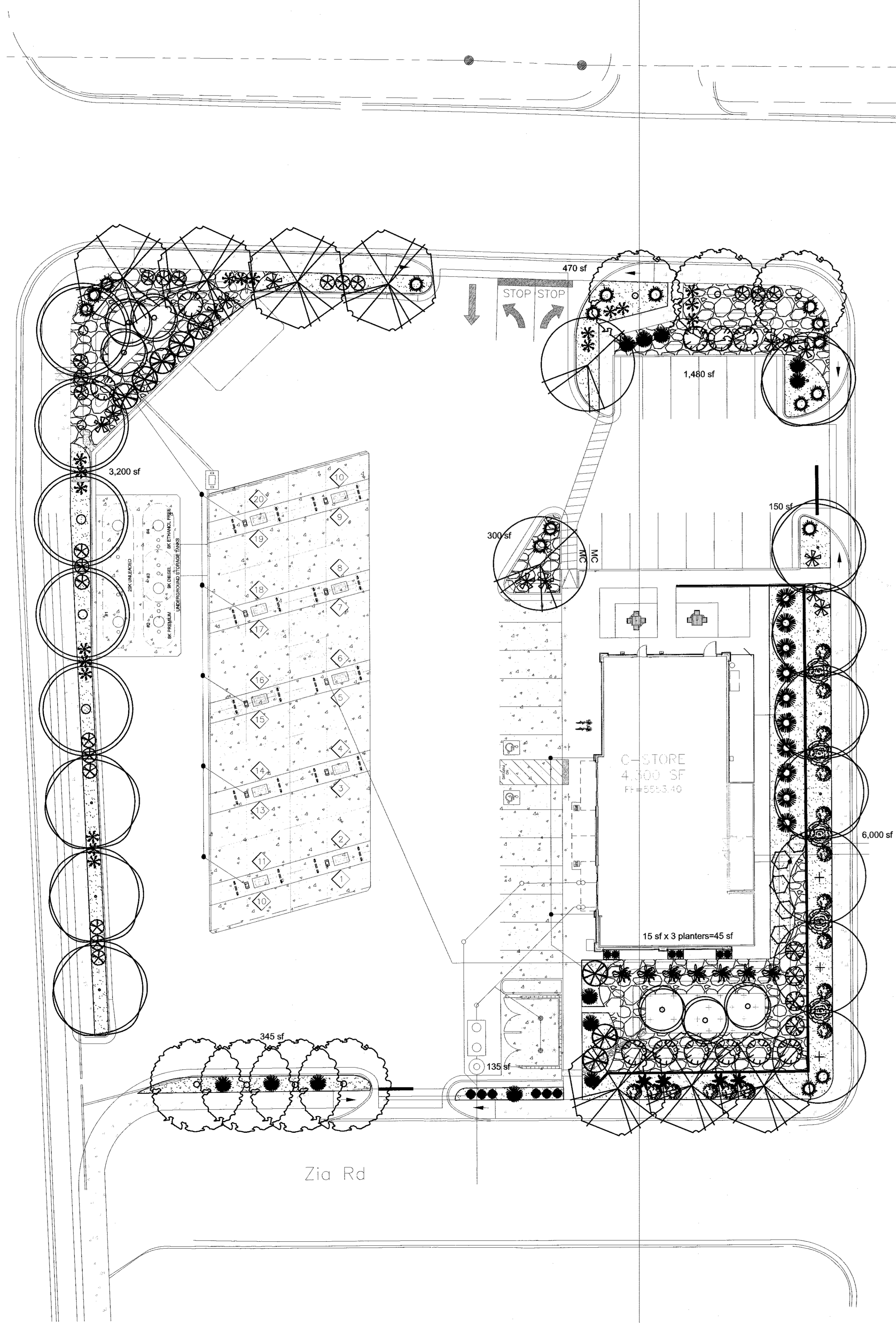
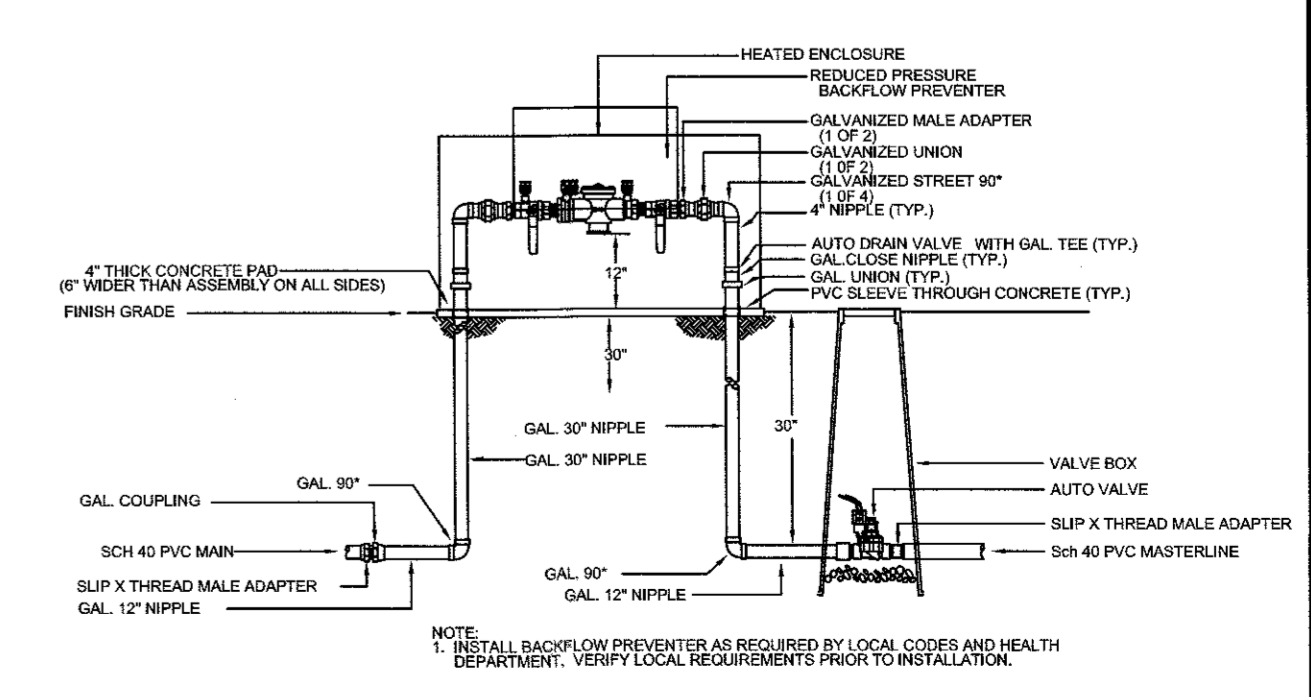
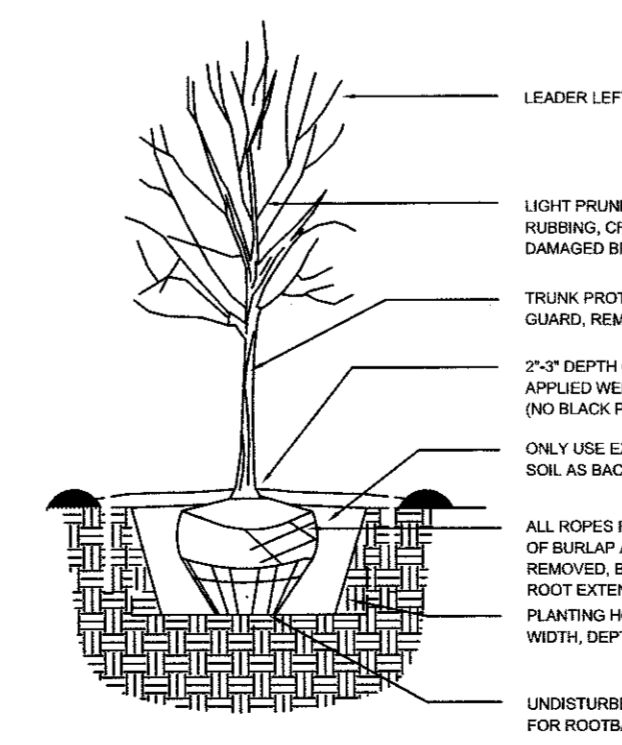
PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
7		Quercus Texas Red Oak	2" B&B	50'/45'	40 sf=280 sf	Medium	6-2 gph
3		Ulmus Lacebark Elm	2" B&B	50'/20'	40 sf=120 sf	Medium	6-2 gph
5		Celtis occidentalis Common Hackberry	2" B&B	40'/40'	35 sf=175 sf	Medium + 6-2 gph	
8		Gleditsia triacanthos inermis Honeylocust	2" B&B	50'/45'	30 sf=240 sf	Medium	6-2 gph
7		Pistacia chinensis Chinese Pistache	2" B&B	30'/35'	45 sf=315 sf	Medium + 6-2 gph	
2		Prunus cerasifera Purple Leaf Plum	2" B&B	20'/20'	35 sf=70 sf	Medium	6-2 gph
6		Forestiera NM Olive	15-Gal	20'/20'	100 sf=600 sf	Medium	6-2 gph
Shrubs/Groundcovers							
16		Caryopteris clandonensis Blue Mist	1-Gal	3'/3'	25 sf=400 sf	Medium	2-2 gph
21		Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	4'/4'	35 sf=735 sf	Low	2-1 gph
5		Fallugia Apache Plume	5-Gal	6'/7'	49 sf=245 sf	Low	2-2 gph
17		Juniperus sabinia 'Buffalo' Buffalo Juniper (female)	5-Gal	11'/12'	70 sf=1190 sf	Low +	2-2 gph
8		Caesalpinia Bird of Paradise	5-Gal	8'/8'	100 sf=800 sf	Medium	2-2 gph
4		Perovskia atriplicifolia Russian Sage	5-Gal	5'/5'	30 sf=120 sf	Medium	2-2 gph
11		Rhus trilobata 3 Leaf Sumac	5-Gal	6'/6'	30 sf=330 sf	Medium	2-2 gph
5		Chamaetaria Fernbush	5-Gal	5'/6'	64 sf=320 sf	Medium+	2-2 gph
13		Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	35 sf=455 sf	Low	2-2 gph
12		Dasyliodon Sotol	5-Gal	5'/5'	35 sf=420 sf	Medium+	2-2 gph
7		Rosmarinus officinalis Rosemary	5-Gal	6'/6'	64 sf=448 sf	Low +	2-2 gph
6		Nandina Firepower Heavenly Bamboo	5-Gal	3'/3'	20 sf=120 sf	Medium+	2-2 gph
Grasses							
10		Panicum Switch Grass	5-Gal	8'/6'	40 sf=400 sf	Medium	2-2 gph
6		Calamagrostis Karl Foerster Grass	1-Gal	3'/2'	10 sf=60 sf	Medium	2-2 gph
19		Muhlenbergia Deer Grass	5-Gal	4'/4'	25 sf=475 sf	Low+	2-2 gph
4		Nolina Bear Grass	5-Gal	5'/5'	40 sf=160 sf	Low+	2-2 gph

Total Landscape Coverage=8,478 SF

MATERIALS LEGEND

- 1/4" CRUSHED GRAVEL AT 2" DEPTH
- 2"-4" COBBLESTONE AT 4" DEPTH
- NATIVE SEED



S:\2019\14-0114\140114\140114.dwg, 1/21/19, 10:58:58 AM, J. GILLIE'S BRALY, 1/21/19, 10:58:58 AM, J. GILLIE'S BRALY

This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of YESCO LLC. Permission to copy or revise this drawing can only be obtained through a written agreement with YESCO.

The colors shown are only approximated on any computer monitor, inkjet or laser print. The final product may vary slightly in color from your computer monitor or print.

This sign will be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions

No.	Date / Description
Initial (RD)	05.05.2018
R1	05.06.2018
R2	04.29.2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

.....
YESCO A/E Signature / Date

.....
Client Signature / Date

.....
Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 04.29.2019

Site Map

17594

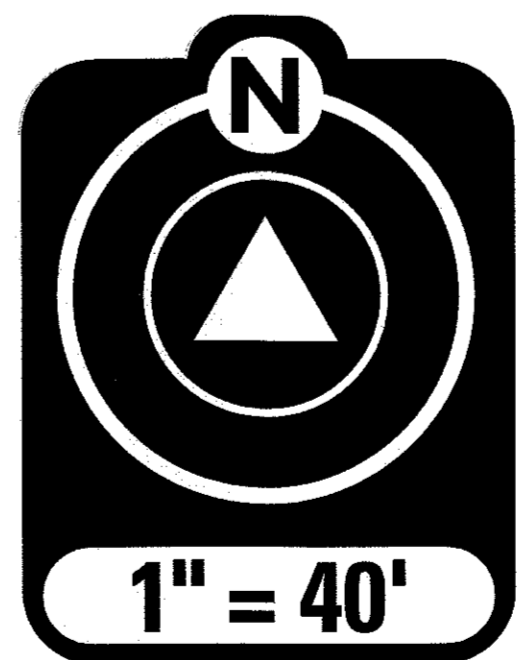
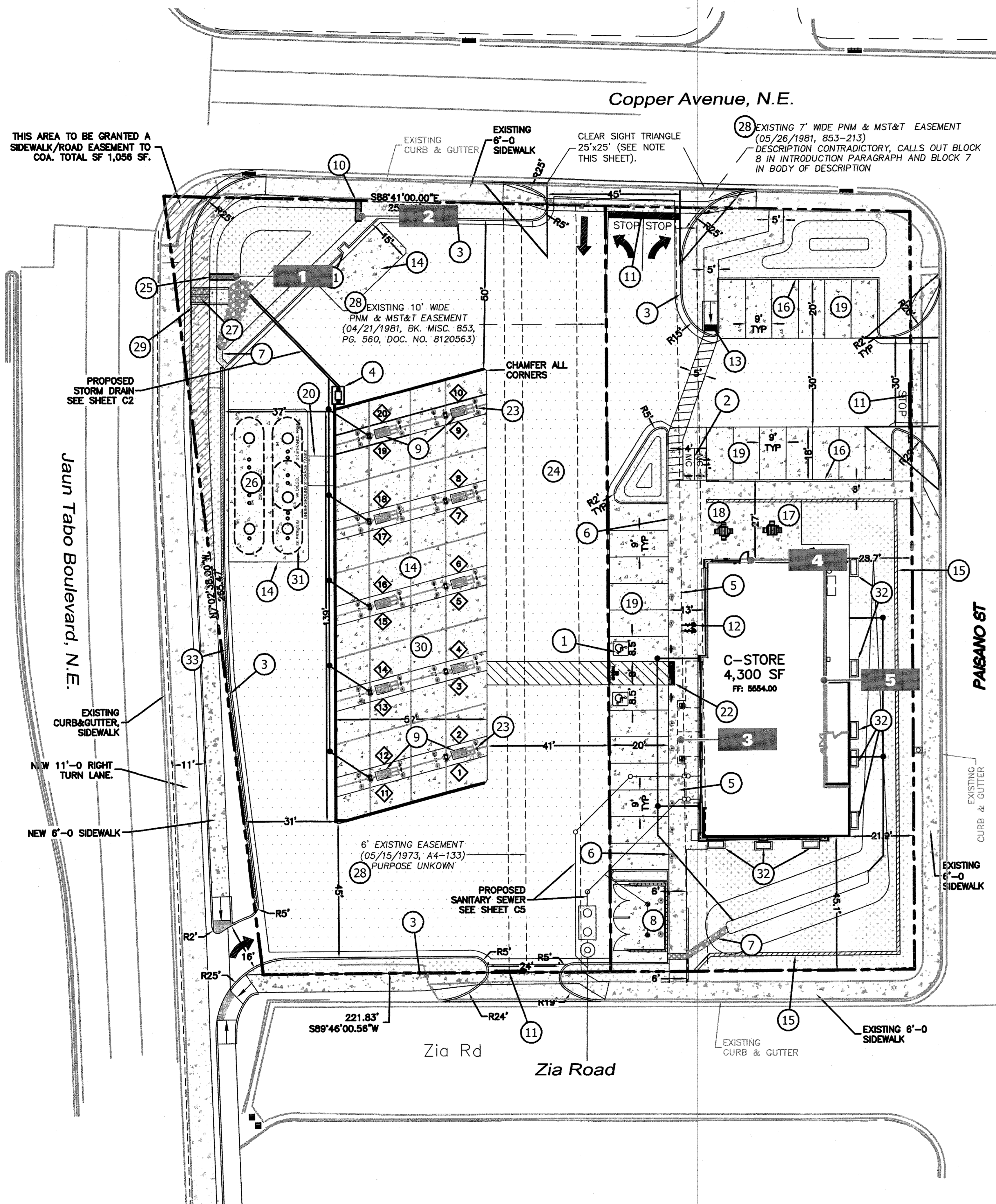
R2

JO #

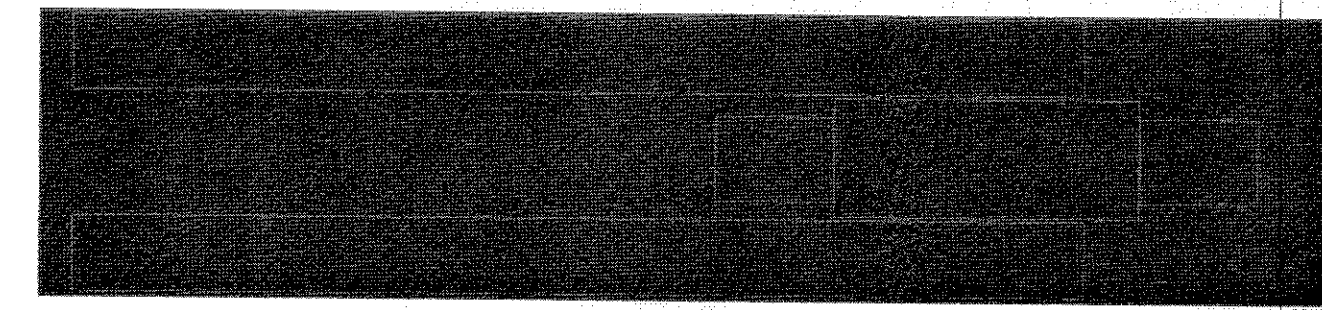
scale: as noted

ART

0.1



DSGN_17594_Maverik - Albuquerque_ART 0.1_Site Map.at



1.3 TOP VIEW

All widths to be determined by pipe size & Led price cab.



1.1 SIDE VIEW

1 D/F ILLUMINATED PYLON SIGN
SCALE: 1/4" = 1'-0"

Internally illuminated extruded aluminum cabinet w/ painted finish [see color key]. Retainer size as req. White polycarbonate face w/ 1st surface vinyl [see color key]. White L.E.D illumination.

L.E.D. price changer aluminum cabinets w/ painted finish [see color key]. Retainer size as req. White polycarbonate faces for products w/ 1st surface vinyl [see color key]. White L.E.D illumination.

Internally illuminated extruded aluminum cabinets w/ painted finish [see color key]. 1 5/8" retainer. White polycarbonate face w/ 1st surface digitally printed graphics [color correct-ed]. White L.E.D illumination.

Painted aluminum pole covers to be painted to resemble wood. Pipe and pole cover widths to be determined by engineer.

Aluminum cap w/ no structure.

YESCO to provide durarock base. Contractor to provide stone vanveer.

3" mowpad provided by YESCO.

SCOPE OF WORK:
MANUFACTURE & INSTALL ONE (1) POLE SIGNS WITH FLAG MOUNTED CABINETS.

ELECTRICAL
POWER TO DISPLAY LOCATION: BY OTHERS OR EXISTING
HOOKUP AT DISPLAY: BY YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	VINYL	3M 3630-69 DURANODIC
2	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
3	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
4	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
	PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS



1.2 REVERSE VIEW

Sign Area: 48.33ft²

Sign Area: 63.33ft²

Sign Area: 25.00ft²

Price on street side

YESCO
DESIGN

1605 South Gramercy Rd.
Salt Lake City, UT 84104
801.487.8481

www.yesco.com
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Revisions

No.	Date / Description
Initial (RD)	09.05.2019
R1	09.06.2019
R2	04.29.2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 04.29.2019

Pylon Sign

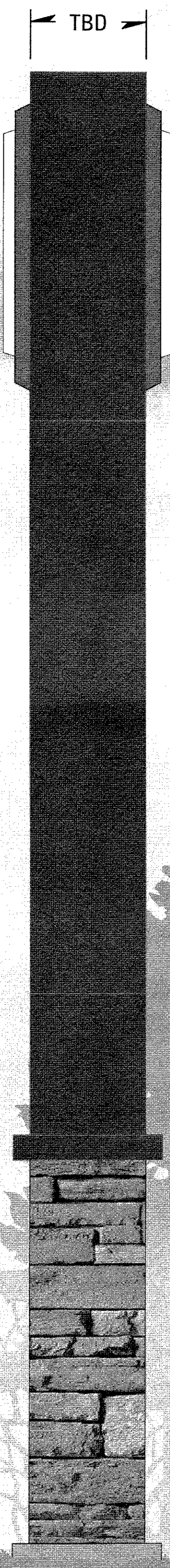
17594 R2

JO #

scale: as noted

ART 1.0

DSGN_17594_Maverik - Albuquerque - ART 1.0_Pole Sign.ai

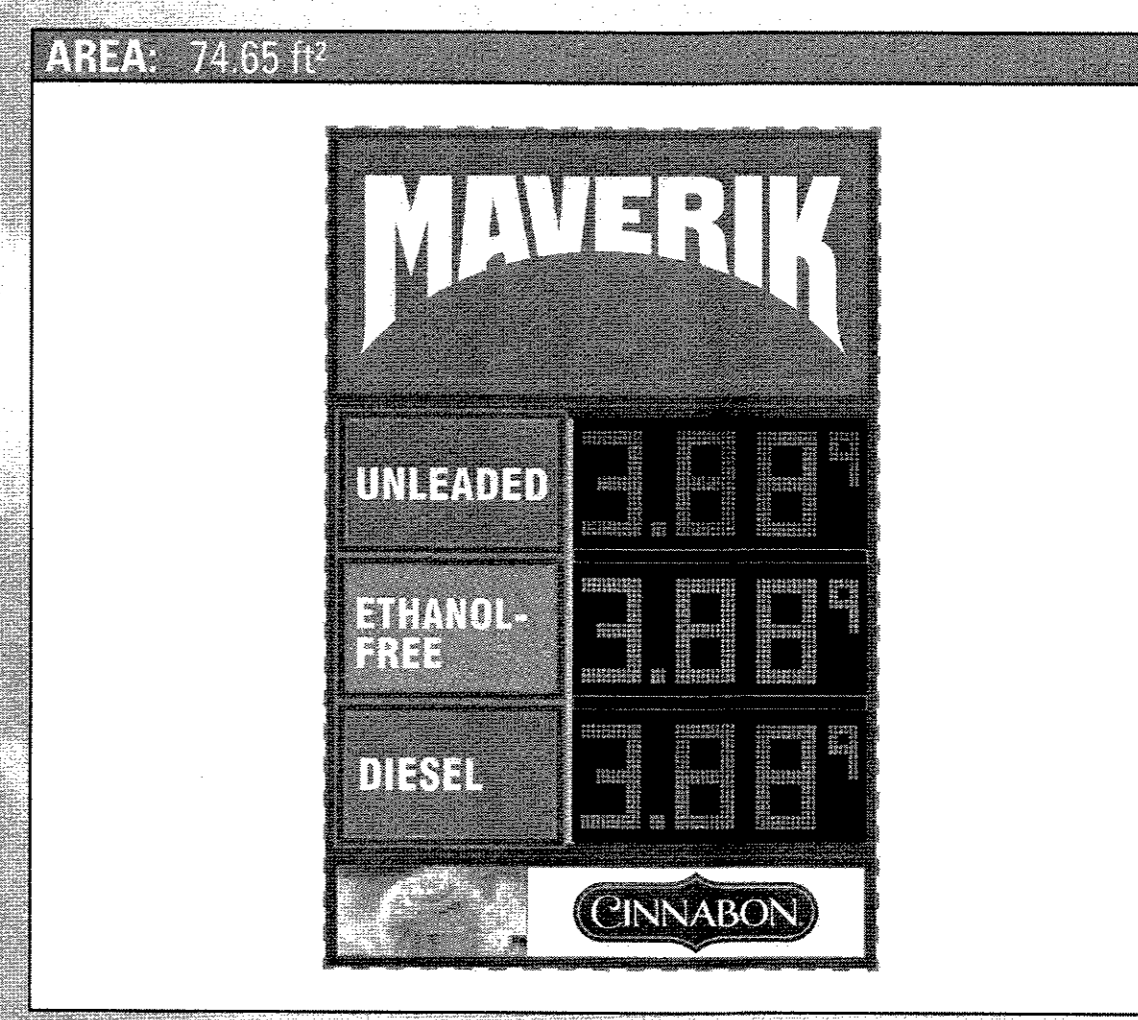


2.1 SIDE VIEW



2 D/F ILLUMINATED MONUMENT SIGN
SCALE: 1/2" = 1'-0"

SCOPE OF WORK:
MANUFACTURE & INSTALL ONE [1] MONUMENT SIGN.

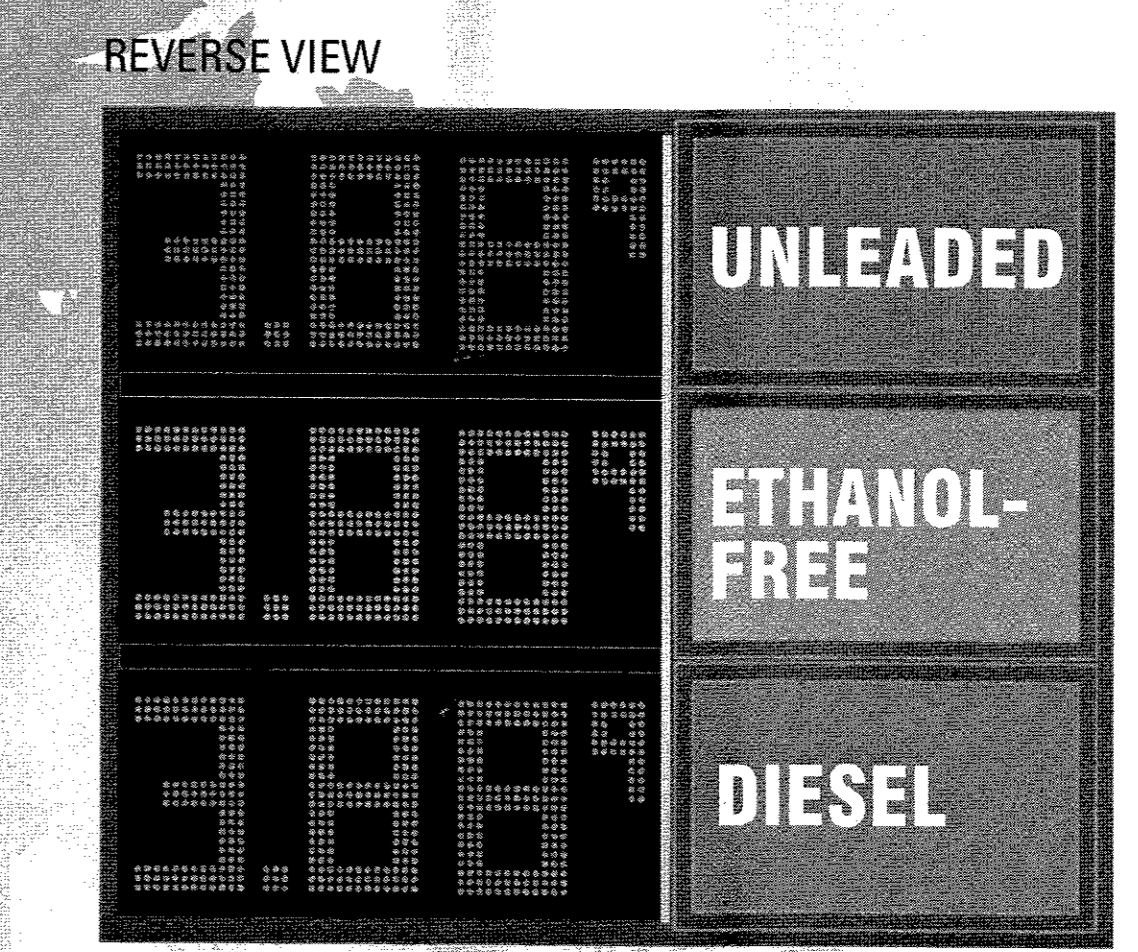


ELECTRICAL
POWER TO DISPLAY LOCATION: BY OTHERS OR EXISTING
HOOKUP AT DISPLAY: BY YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	VINYL	3M 3630-69 DURANODIC
2	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
3	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
4	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
5	PAINT	SHERWIN WILLIAMS #0 MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
6	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS



YESCO
DESIGN

1605 South Gramercy Rd.
Salt Lake City, UT 84104
801.487.8481

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This sign will be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions

No.	Date / Description
Initial (PRO)	05.05.2016
R1	09.06.2016
R2	04.29.2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date
Client Signature / Date
Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM
Acct. Exec: Matt Wren
Designer: Justin Raymond

Date: 04.29.2019

Monument Sign

17594 R2

JO #

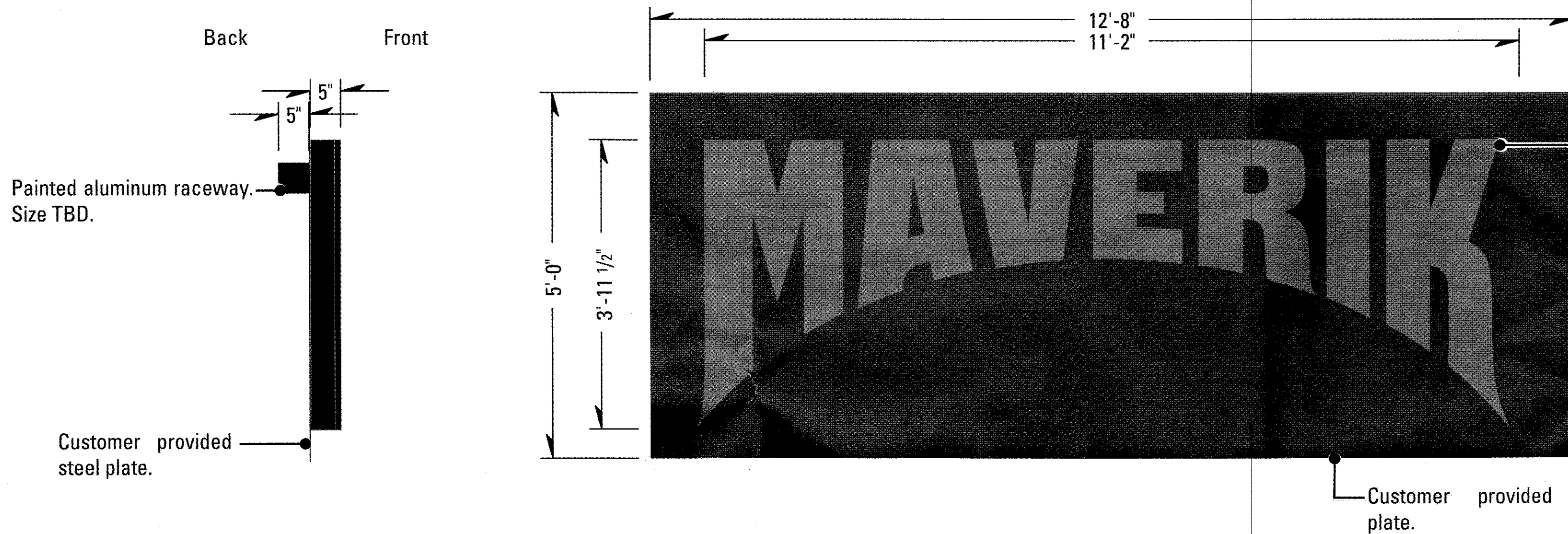
scale: as noted
ART 2.0

This design does not constitute production ready artwork and is to be used exclusively for proofing and review purposes only.

DSGN_17594_Maverik - Albuquerque-ART 2.0_Monument Sign.ai



3.2 3D VIEW



3.1 SIDE VIEW

3 PAN CHANNEL LETTERS ON STEEL PANEL CABINET
SCALE: 3/8" = 1'-0"

SCOPE OF WORK:

MANUFACTURE & INSTALL ONE (1) SET OF ILLUMINATED CHANNEL LETTER ON CUSTOMER PROVIDED STEEL PANEL.
MANUFACTURE & INSTALL ONE (1) RACEWAY.

PERMITTING SIGN AREA: 84ft²

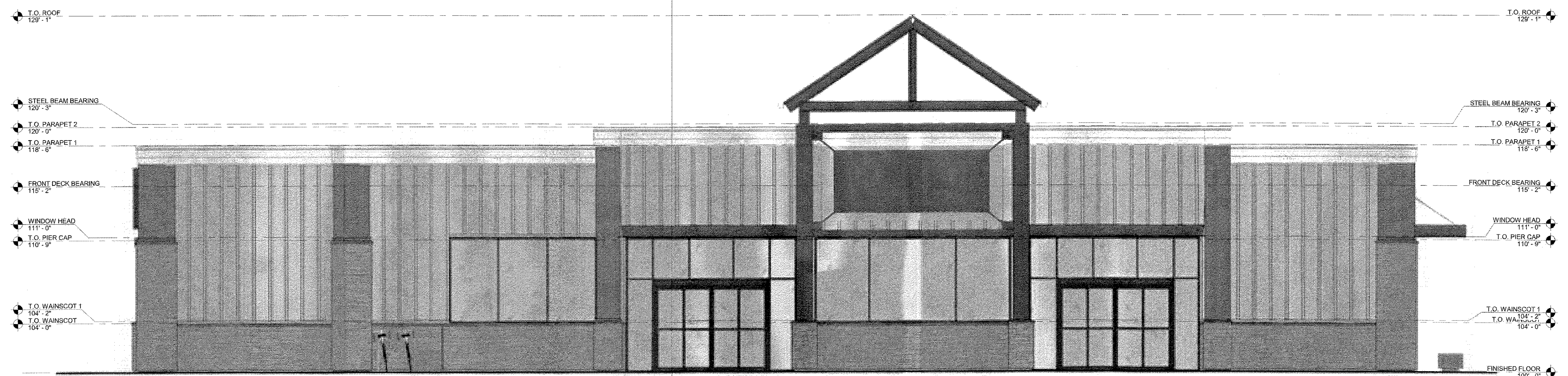
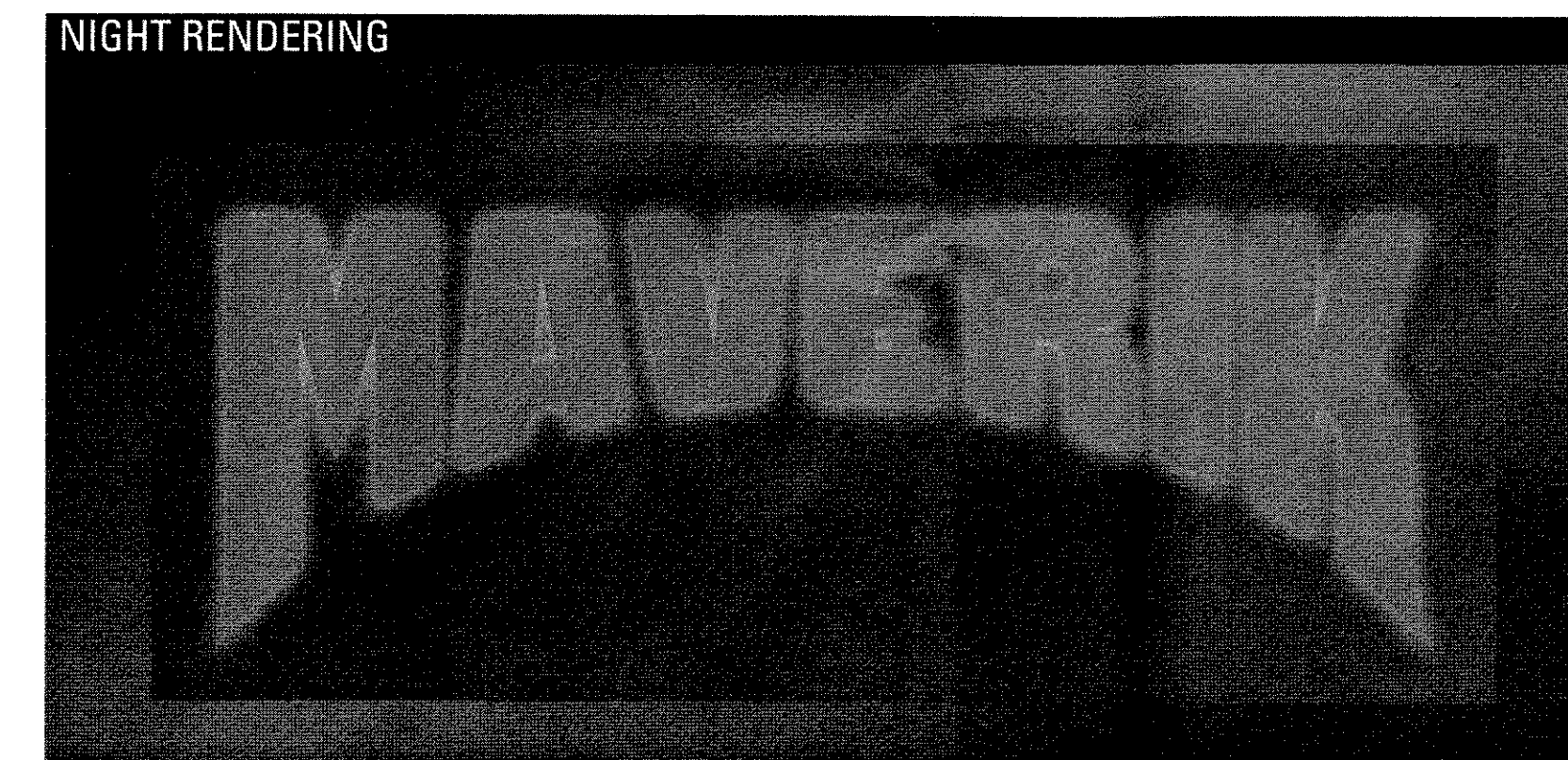
FINAL ELECTRICAL CONNECTION BY: YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

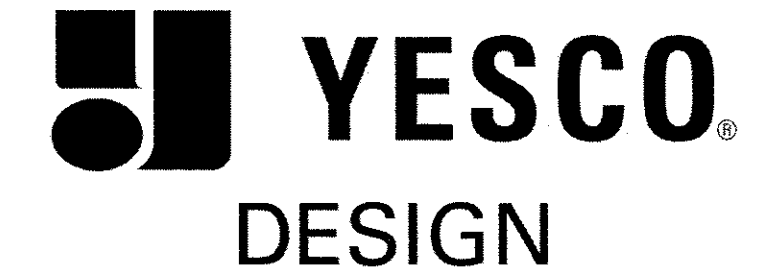
1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	PREPAINT	DURANODIC BRONZE
	VINYL	3M 3630-69 DURANODIC
	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
	PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

NOTE:
FIELD SURVEY REQUIRED PRIOR TO FABRICATION.
ENGINEERING TO DETERMINE ATTACHMENT POINTS.



3.2 DETAIL ELEVATION
SCALE: 3/32" = 1'-0"



1605 South Gramercy Rd.
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801.487.8481
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Revisions

No.	Date / Description
Initial (R0)	08.05.2018
R1	08.06.2018
R2	04.29.2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

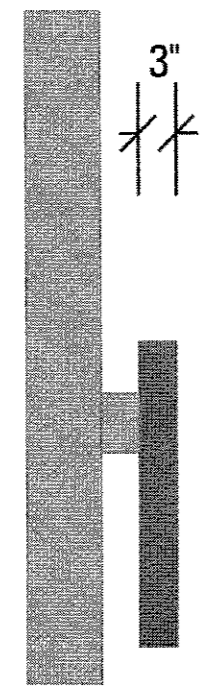
Acct. Exec: Matt Wren
Designer: Justin Raymond
Date: 04.29.2019

Front Sign

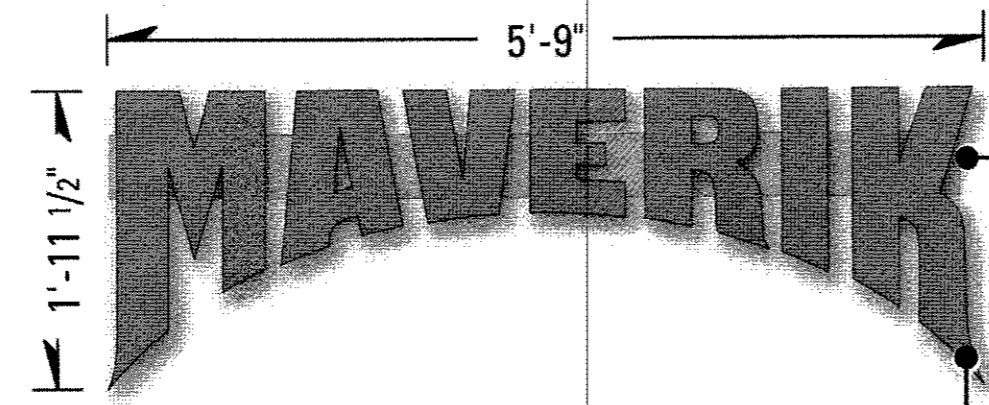
17594 **R2**
JO #

scale: as noted
ART **3.0**

DSGN_17594_Maverik - Albuquerque_ART 3.0_Front Sign.ai



4.1 SIDE VIEW



3" x 5" extruded aluminum raceway w/ painted finish [to match building].

5" deep aluminum channel letter w/ 3RK32 or 2282 Red Arcylic faces. 1" bronze trim cap & pre-painted returns [see color key]. White L.E.D illumination. Mounted to raceway

4 PAN CHANNEL LETTERS 24" LETTER SET
SCALE: 3/8" = 1'-0"

SCOPE OF WORK:

MANUFACTURE & INSTALL ONE (1) SET L.E.D. ILLUMINATED PAN CHANNEL LETTERS. MOUNT TO BUILDING ON RACEWAY.

PERMITTING SIGN AREA: 11.5ft² ELECTRICAL: 2 Amps 120 V

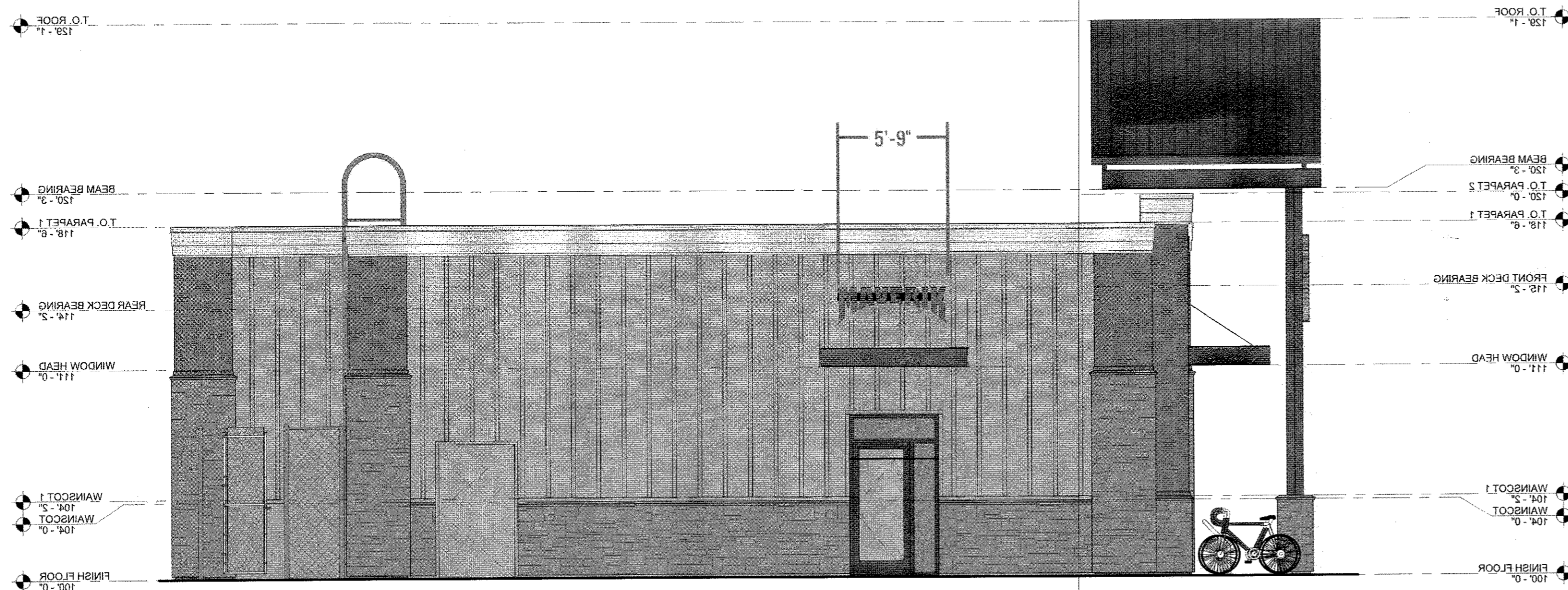
FINAL ELECTRICAL CONNECTION BY: YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

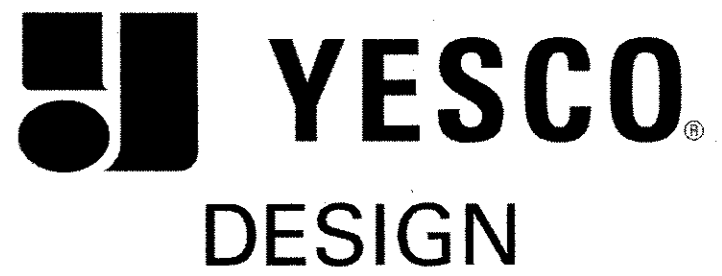
1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	PREPAINT	DURANODIC BRONZE
	VINYL	3M 3630-69 DURANODIC
	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
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	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
	PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
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NOTE:
FIELD SURVEY REQUIRED PRIOR TO FABRICATION.



4.2 DETAIL ELEVATION
SCALE: 3/32" = 1'-0"



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801.487.8481

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Revisions

No.	Date / Description
Initial (R0)	03 05 2018
R1	09 06 2018
R2	04 29 2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

.....
YESCO A/E Signature / Date

.....
Client Signature / Date

.....
Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 04.29.2019

Side Sign

17594

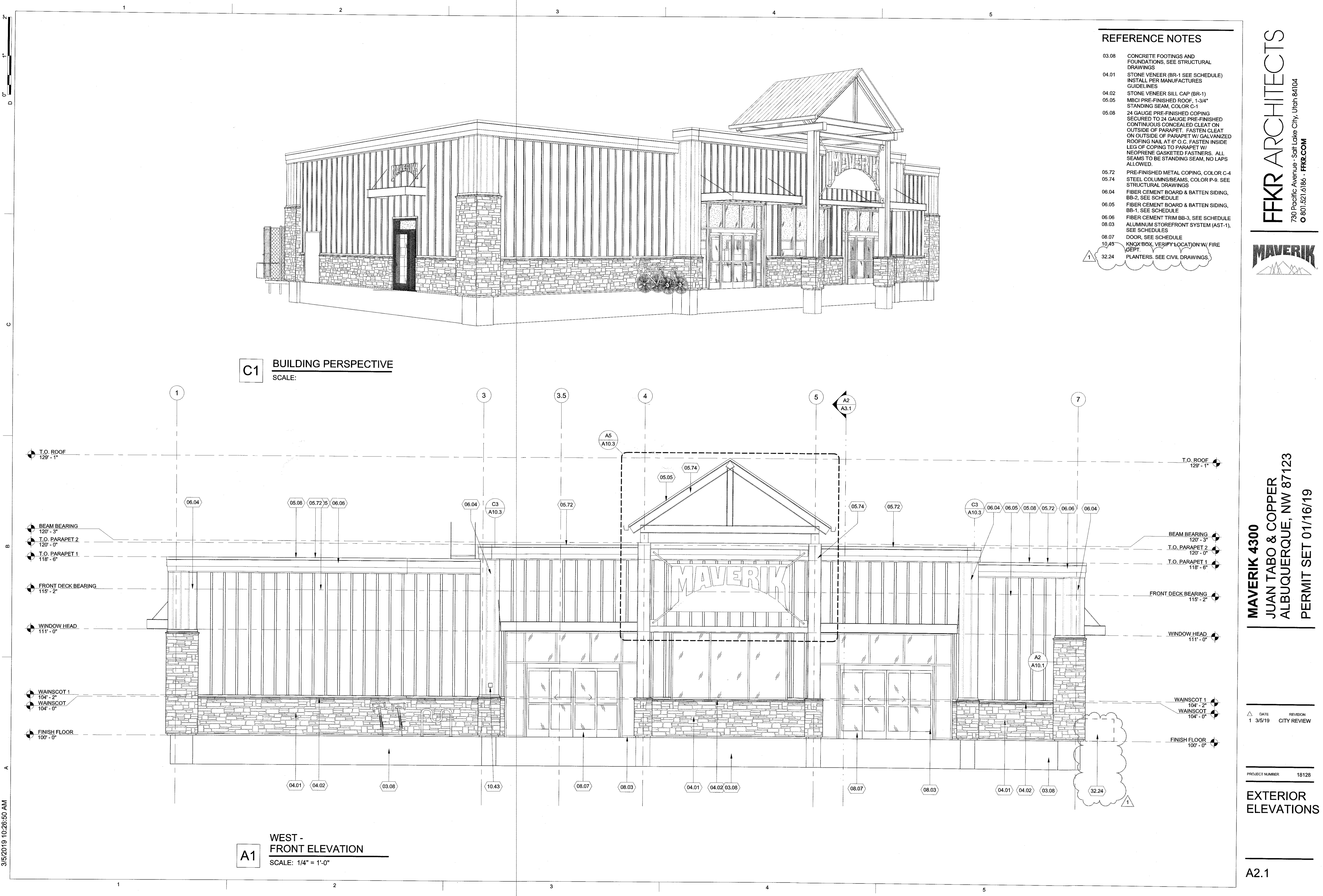
R2

JO #

scale: as noted

ART

4.0



- REFERENCE NOTES**
- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
 - 04.01 STONE VENEER (BR-1 SEE SCHEDULE) INSTALL PER MANUFACTURES GUIDELINES
 - 04.02 STONE VENEER SILL CAP (BR-1)
 - 05.05 MBCI PRE-FINISHED ROOF, 1-3/4" STANDING SEAM, COLOR C-1
 - 05.08 24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTNERS. ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED.
 - 05.72 PRE-FINISHED METAL COPING, COLOR C-4
 - 05.74 STEEL COLUMNS/BEAMS, COLOR P-9. SEE STRUCTURAL DRAWINGS
 - 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE
 - 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
 - 06.06 FIBER CEMENT TRIM BB-3, SEE SCHEDULE
 - 08.03 ALUMINUM STOREFRONT SYSTEM (AST-1), SEE SCHEDULES
 - 08.07 DOOR, SEE SCHEDULE
 - 10.43 KNOX BOX, VERIFY LOCATION W/ FIRE DEPT.
 - 32.24 PLANTERS. SEE CIVIL DRAWINGS.

C1 BUILDING PERSPECTIVE
SCALE:

A1 WEST - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

FFKR ARCHITECTS
730 Pacific Avenue · Salt Lake City, Utah 84104
O 801.521.6186 · FFKR.COM

MAVERIK

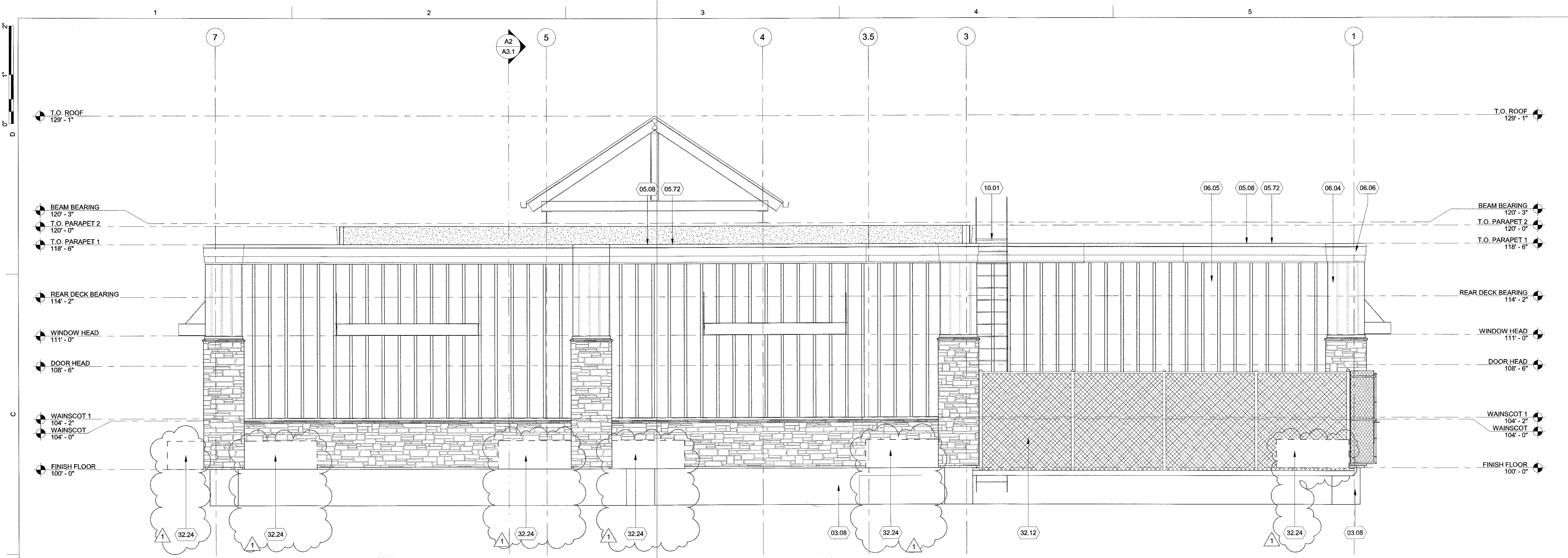
MAVERIK 4300
JUAN TABO & COPPER
ALBUQUERQUE, NW 87123
PERMIT SET 01/16/19

DATE	REVISION
1 3/5/19	CITY REVIEW

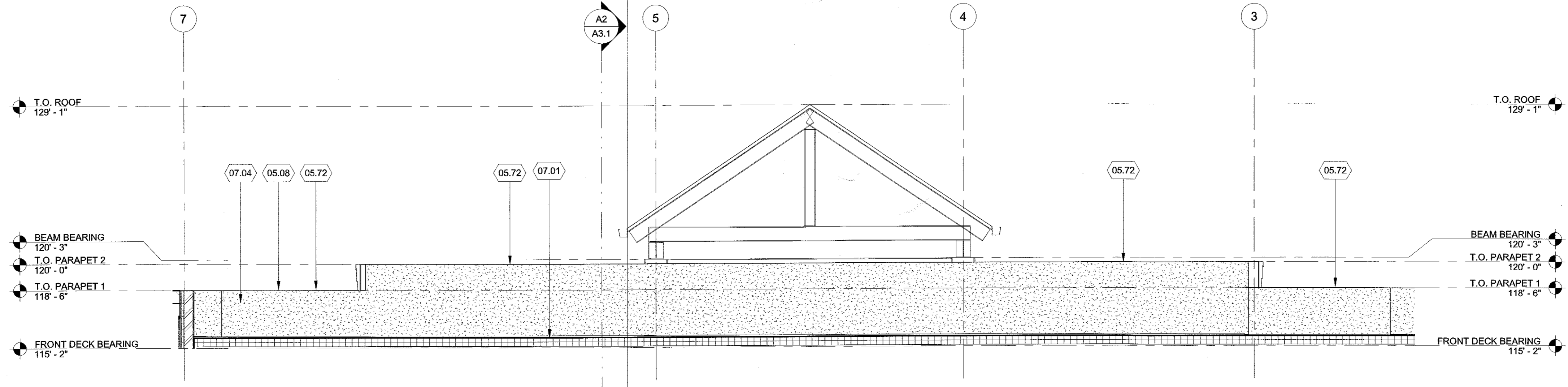
PROJECT NUMBER 18128

EXTERIOR ELEVATIONS

3/5/2019 10:26:50 AM



C1 EAST - REAR ELEVATION
SCALE: 1/4" = 1'-0"

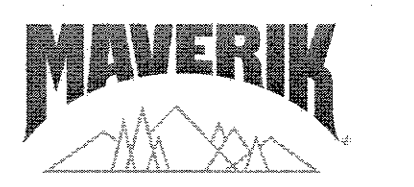


A1 PARTIAL FRONT WALL REAR VIEW ELEVATION
SCALE: 1/4" = 1'-0"

REFERENCE NOTES

03.08	CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
05.08	24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTENERS. ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED.
05.72	PRE-FINISHED METAL COPING, COLOR C-4
06.04	FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE
06.05	FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
06.06	FIBER CEMENT TRIM BB-3, SEE SCHEDULE
07.01	SINGLE-PLY ROOFING MEMBRANE OVER 5'(MIN) POLYISOCYANURATE INSULATION, OVERLAP JOINTS, SEE SPECIFICATIONS AND COMCHECK CALCS.
07.04	WRAP MEMBRANE UP UNDER CAP, OVER WALL, AND UNDER THE METAL ROOFING
10.01	ROOF ACCESS LADDER W/ SECURITY GATE. COLOR TO MATCH SIDING BB-1
32.12	8'-0" HIGH CHAIN-LINK FENCE W/ PRIVACY SLATS OR CMU WALL W/ GATE, SEE ELEVATIONS
32.24	PLANTERS. SEE CIVIL DRAWINGS.

GENERAL NOTES

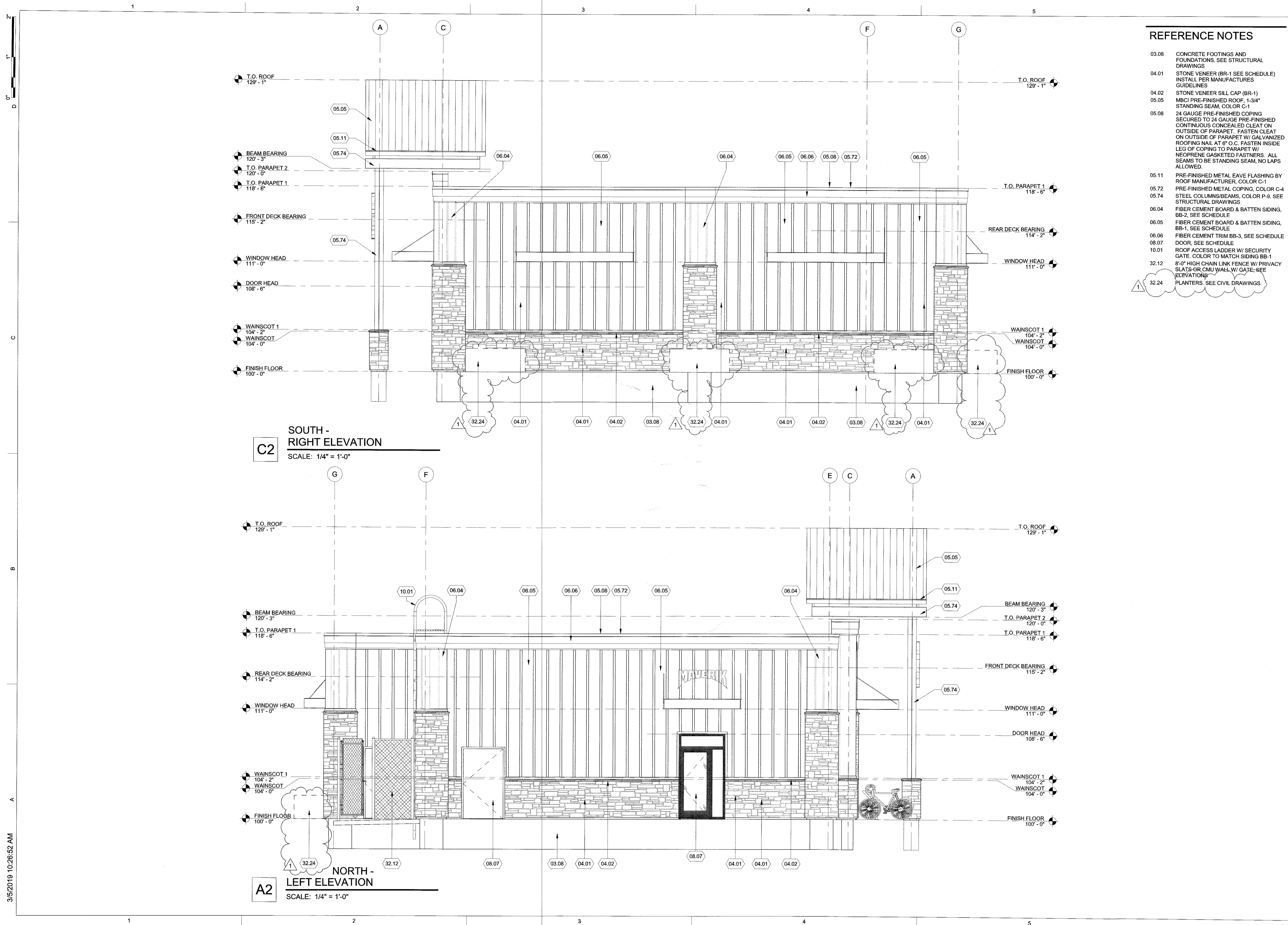


DATE	REVISION
1 3/5/19	CITY REVIEW

PROJECT NUMBER 18128

EXTERIOR ELEVATIONS

3/5/2019 10:26:51 AM



- REFERENCE NOTES**
- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
 - 04.01 STONE VENEER (BR-1 SEE SCHEDULE) INSTALL PER MANUFACTURERS GUIDELINES
 - 04.02 STONE VENEER SILL CAP (BR-1)
 - 05.05 MBCI PRE-FINISHED ROOF, 1-3/4" STANDING SEAM, COLOR C-1
 - 05.08 24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTENERS. ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED.
 - 05.11 PRE-FINISHED METAL EAVE FLASHING BY ROOF MANUFACTURER, COLOR C-1
 - 05.72 PRE-FINISHED METAL COPING, COLOR C-4
 - 05.74 STEEL COLUMNS/BEAMS, COLOR P-9. SEE STRUCTURAL DRAWINGS
 - 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE
 - 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
 - 06.06 FIBER CEMENT TRIM BB-3, SEE SCHEDULE
 - 08.07 DOOR, SEE SCHEDULE
 - 10.01 ROOF ACCESS LADDER W/ SECURITY GATE. COLOR TO MATCH SIDING BB-1
 - 32.12 8'-0" HIGH CHAIN LINK FENCE W/ PRIVACY SLATS-OR CMU WALL W/ GATE; SEE ELEVATIONS
 - 32.24 PLANTERS. SEE CIVIL DRAWINGS

C2
SOUTH - RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

A2
NORTH - LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

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MAVERIK

MAVERIK 4300
JUAN TABO & COPPER
ALBUQUERQUE, NW 87123
PERMIT SET 01/16/19

DATE	REVISION
1 3/5/19	CITY REVIEW

PROJECT NUMBER 18128

EXTERIOR ELEVATIONS

3/5/2019 10:26:52 AM